



## Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

### MEMORANDUM

**TO:** Allison Morgan, Caprei  
Craig Eisenberg

**FROM:** Krista Flynt, Planner 1

**DATE:** Feb. 26, 2021

**SUBJECT:** SP20-131 Site Plan – Planning Review 1

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

**TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER:** Krista Flynt  
**EMAIL:** [kflynt@parkeronline.org](mailto:kflynt@parkeronline.org)  
**PHONE:** 303.805.3331

#### GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards (DDS). Copies of these documents are available at:  
[Parker 2035 Master Plan](#)  
[Development Design Standards](#)  
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. If any comments in the redline file are unclear you may ask staff for an example of what they are looking for.
6. Due to the large amount of missing information. The second review will contain many new comments to address that are not contained in this review.
7. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**

### Site Plan and Project Details

1. All site plan comments from the planning department are included in the attached site plan redlines.

Comment Addressed:  Yes  No  
Response:

All comments addressed.

2. In your next submittal include your playground plans in with your site plan set, as well as all additional sheets requested by planning staff in the redline comments (like trash enclosure fence elevations, etc.) Please include all in ONE PDF document labeled "Site plan set V2"

Comment Addressed:  Yes  No  
Response:

### OUTSIDE REFERRAL AGENCY COMMENTS

Please address all outside referral agency comments with a written response. The following agencies have provided comments for review:

- Town of Parker – Building Department
- Cherry Creek Basin Basin Water Quality
- Town of Parker – Environmental (Construction Plans)
- Town of Parker – Stormwater (Construction Plans)
- Town of Parker – Stormwater (Drainage Report)
- Town of Parker – Stormwater (Site plan)
- Town of Parker – Fire Life Safety
- IREA
- Parker Water and Sanitation
- PSCO of Colorado


Please keep an eye out in eTRAKiT for the comment to the following reviews:

- Town of Parker – Civil (Construction Plans)
- Town of Parker – Civil (Drainage Report)
- Town of Parker – Civil (Site Plan)
- Town of Parker – Civil (Traffic Impact Study)


These comments are available on eTRAKiT. Please address accordingly.

Comment(s) Addressed:  Yes  No

Response:

NLS Parker LLC  
By:   
\_\_\_\_\_  
Property Owner

  
\_\_\_\_\_  
Date

Dan Skeehan, P.E.   
\_\_\_\_\_  
Project Representative

5/11/21  
\_\_\_\_\_  
Date

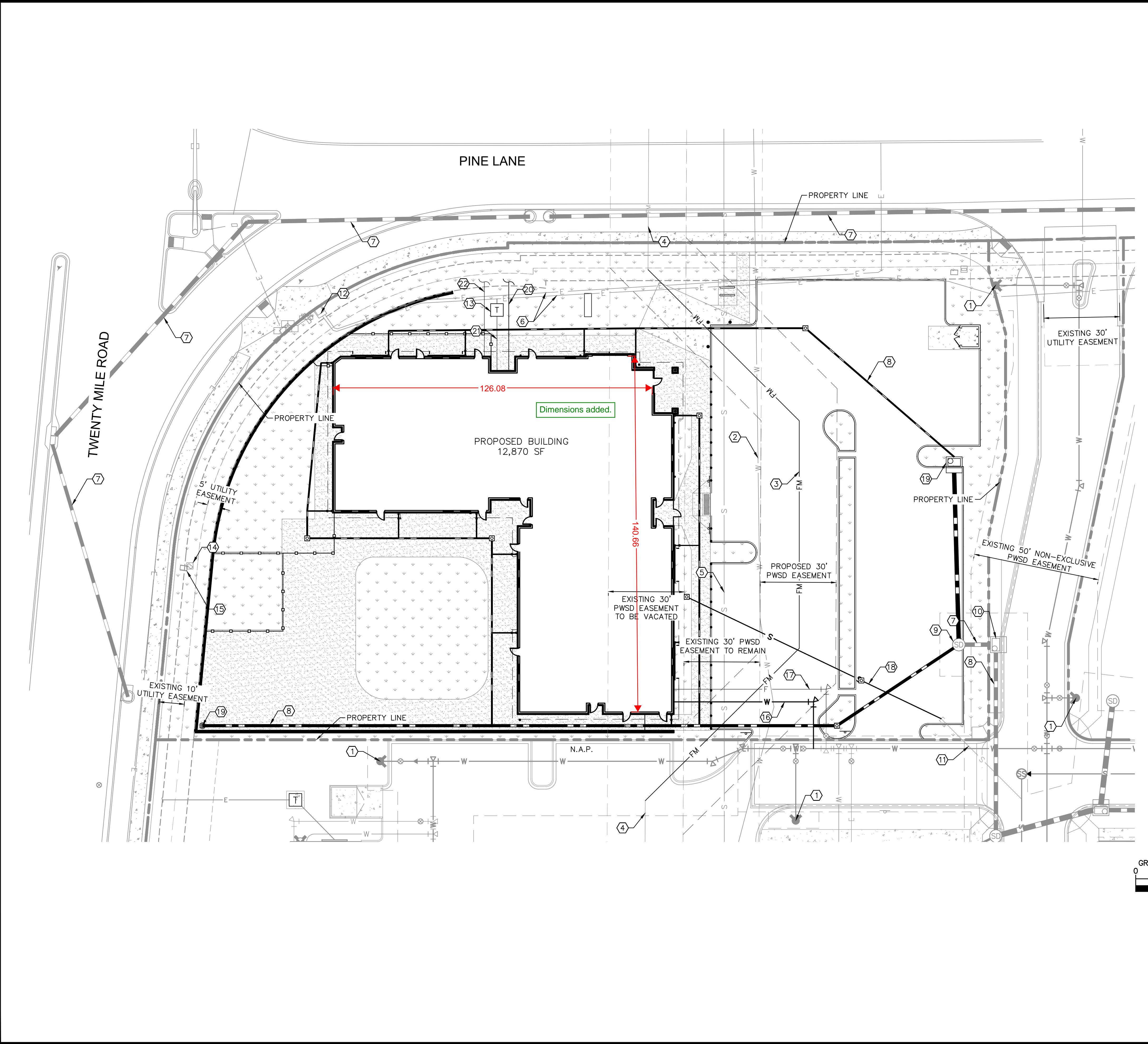








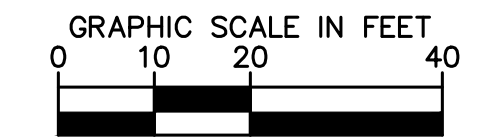
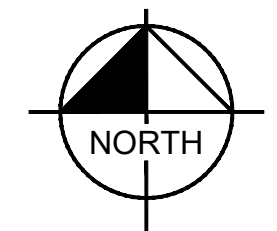
K:\DEV\_CAD\096895001 - Lot 6 Parker & Pine\096895001SP\_UT.dwg, Newstcom, Mr. The document contains preliminary concepts and designs presented here, as an informational reference only. It is not intended for construction. No liability shall be assumed by Kimley-Horn and Associates, Inc. for any errors or omissions in this document without written authorization and adaptation by Kimley-Horn and Associates, Inc.



**UTILITY LEGEND**

	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATER LINE
	PROPOSED STORM DRAINAGE LINE
	EXISTING STORM DRAINAGE LINE
	EXISTING GAS LINE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING ELECTRIC LINE
	EXISTING FIRE HYDRANT W/ BOLLARDS
	PROPOSED METER
	EXISTING SANITARY SEWER MANHOLE

- SITE KEYNOTES**
- ① EXISTING FIRE HYDRANT
  - ② EXISTING 20" DIP WATER MAIN
  - ③ PROPOSED 8" C900 PVC EFFLUENT FORCE MAIN
  - ④ EXISTING 8" FORCE MAIN
  - ⑤ EXISTING 27" ACP SANITARY SEWER MAIN
  - ⑥ EXISTING UNDERGROUND ELECTRIC LINE
  - ⑦ EXISTING STORM SEWER MAIN
  - ⑧ PROPOSED STORM SEWER
  - ⑨ EXISTING STORM MANHOLE
  - ⑩ EXISTING STORM INLET
  - ⑪ EXISTING 6" SEWER STUB
  - ⑫ EXISTING ELECTRIC TRANSFORMER
  - ⑬ PROPOSED ELECTRIC TRANSFORMER
  - ⑭ EXISTING TELEPHONE PEDESTAL
  - ⑮ EXISTING ELECTRIC VAULT
  - ⑯ PROPOSED 1.5" DOMESTIC WATER LINE
  - ⑰ PROPOSED 6" FIRE LINE
  - ⑱ PROPOSED 6" SANITARY SEWER LINE @ 1.0% MIN
  - ⑲ PROPOSED STORM INLET
  - ⑳ PROPOSED GAS LINE
  - ㉑ PROPOSED ELECTRIC LINE
  - ㉒ PROPOSED TELEPHONE LINE



NO.	REVISION	BY	DATE	APPR

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 Denver, Colorado 80237 (303) 728-2300

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 DRAWN BY: NMH  
 CHECKED BY: DLS  
 DATE: 12/23/2020

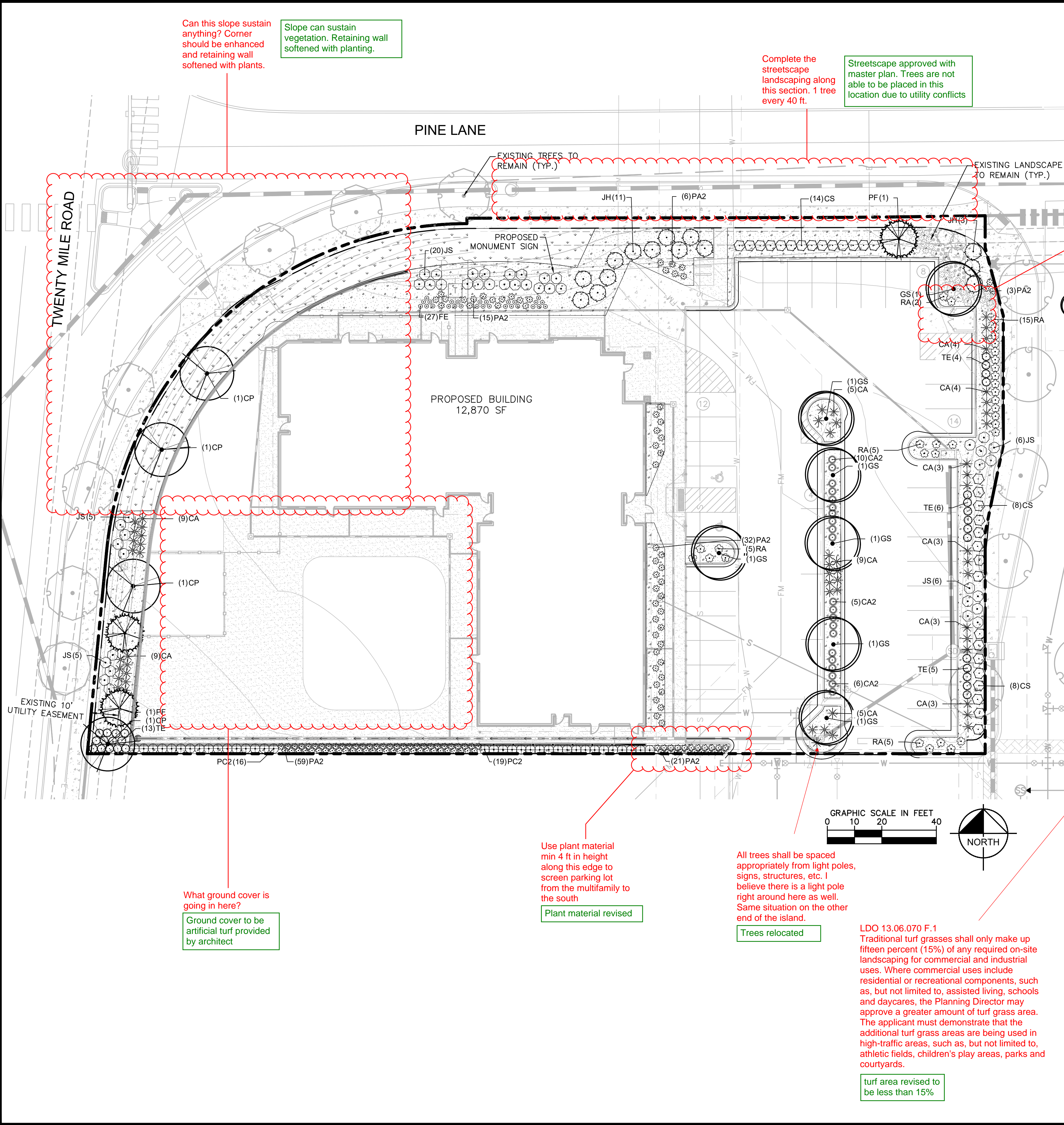
**LOT 6 PARKER AND PINE FILING 1**  
 PARKER, CO  
 EVERBROOK ACADEMY SITE PLAN  
 UTILITY PLAN

**PRELIMINARY**  
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PROJECT NO.  
 096895001

DRAWING NAME  
 096895001SP\_UT

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### PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
CP	4	4	CELTIS OCCIDENTALIS 'PRAIRIE PRIDE'	PRAIRIE PRIDE COMMON HACKBERRY	B & B	2" CAL MIN	12'-14' HT MIN
GS	7	7	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'™	SHADEMASTER LOCUST	B & B	2" CAL MIN	6' HT MIN
PF	3	3	PICEA PUNGENS 'FAT ALBERT'	COLORADO SPRUCE	B & B		6' HT MIN
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
CA2	21	21	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	5 GAL	SEE PLAN	24" HT MIN
CA	57	57	CORNUS SERICEA 'ARCTIC FIRE'	ARCTIC FIRE DOGWOOD	5 GAL	SEE PLAN	24" FULL
CS	30	30	CYTISUS PURGANS 'SPANISH GOLD'	SPANISH GOLD BROOM	5 GAL	SEE PLAN	24" FULL
FE	27	27	FESTUCA GLAUCA 'ELIJAH BLUE'	BLUE FESCUE	1 GAL	SEE PLAN	12" HT MIN
JH	14	14	JUNIPERUS HORIZONTALIS	CREeping JUNIPER	5 GAL	SEE PLAN	36" SPRD MIN
JS	42	42	JUNIPERUS SABINA	SAVIN JUNIPER	5 GAL	SEE PLAN	24" FULL
PA2	136	136	PEROVSKIA X 'LITTLE SPIRE'	LITTLE SPIRE RUSSIAN SAGE	5 GAL	SEE PLAN	18" FULL
PC2	35	35	PINUS MUGO 'COMPACTA'	DWARF MUGO PINE	5 GAL	SEE PLAN	18" FULL
RA	32	32	RIBES ALPINUM 'GREEN MOUND'	GREEN MOUND ALPINE CURRANT	5 GAL	SEE PLAN	18" FULL
TE	28	28	THUJA OCCIDENTALIS 'EMERALD'	EMERALD ARBORVITAE	5 GAL	SEE PLAN	18" FULL
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING
KB	2,874 SF	2,874 SF	KEN-TEX BLUEGRASS	KEN-TEX BLUEGRASS	SOD		
R	9,495 SF	9,495 SF	ROCK MULCH	2"-6" RIVER ROCK MULCH	-		

### LANDSCAPE CALCULATIONS

**PERIMETER LANDSCAPING**  
 ADJACENT NON-RESIDENTIAL: 1 TREE & 5 SHRUBS PER 40 LINEAR FEET  
 ADJACENT RESIDENTIAL: 1 TREE & 5 SHRUBS PER 25 LINEAR FEET  
 10 SHRUBS MAY BE SUBSTITUTED FOR 1 TREE

	REQUIRED	PROVIDED
240 LF NORTH PERIMETER	6 TREES + 30 SHRUBS	1 TREE + 92 SHRUBS
153 LF EAST PERIMETER	5 TREES + 25 SHRUBS	78 SHRUBS
234 LF SOUTH PERIMETER	9 TREES + 46 SHRUBS	136 SHRUBS
217 LF WEST PERIMETER	5 TREES + 25 SHRUBS	5 TREES + 28 SHRUBS
OVERALL % OF TREES TO BE EVERGREEN*	25 - 50%	27%
PERIMETER % OF TREES TO BE EVERGREEN*	40 - 60%	43%

\*EVERGREEN SHRUBS ARE INCLUDED IN THIS PERCENTAGE AS SHRUBS HAVE BEEN SUBSTITUTED FOR TREES

**PARKING LOT LANDSCAPING**

	REQUIRED	PROVIDED
1 TREE & 5 SHRUBS PER 162 SF ISLAND	7 TREES & 35 SHRUBS	7 TREES & 35 SHRUBS
1 SHRUB PER ADDITIONAL 15 SF		

**MINIMUM SITE LANDSCAPING STANDARDS**

	REQUIRED	PROVIDED
SITE AREA: 60,112 SF	10,930 SF	10,930 SF
15% TOTAL SITE AREA	9,014 SF	9,014 SF
1 TREE+5 SHRUBS/1,500 SF OF SITE	7 TREES + 35 SHRUBS	7 TREES + 35 SHRUBS
LANDSCAPE AREA TO BE LIVING LANDSCAPE MATERIAL	75%	75%

Annotations: 'Add information on street trees provided.', 'Street trees provided and approved with master plan', '8 trees. This is the amount of open space you actually provided divided by 1,500. Fractions are rounded up.', '2 additional trees added', 'You have so far provided 13 trees and 369 according to your table above.', 'Acknowledged', 'No open space provided on site. Calculations shown in table refer to overall requirements.', 'Provide a sheet with colored overlay of areas you are considering open space.', 'Provide a row for total sum of required and provided.', 'Row added'

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 CHECKED BY: DLS  
 DATE: 12/23/2020

**LOT 6 PARKER AND PINE FILING 1**  
 PARKER, CO  
 EVERBROOK ACADEMY SITE PLAN  
 LANDSCAPE PLAN

PRELIMINARY  
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PROJECT NO.  
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exterior elevations where reviewed and coordinated with Krista Flynt. See revised sheet addressing comments.

Each facade has been labeled a FRONT or SIDE. Review the design requirements in the DDS beginning on page 49. Your building design doesn't address the street or corner.

Please review the design requirements of the Parker and Pine PD. Trellis-style awnings in grey or black metal will serve as overhangs at entries protruding at minimum 2 ft.

EXTERIOR ELEVATIONS GENERAL NOTES	
1.	ALL MATERIALS NOT LABELED ARE TYPICAL FOR ALL SIMILAR LOCATIONS. QUESTIONS SHALL BE REFERRED TO THE ARCHITECT.
2.	EIFS SHALL BE DRYVIT, COMMERCIAL GRADE AS FOLLOWS: GENESIS BASE COAT, REINFORCING MESH BASE & FINISH COATS SHALL BE PROVIDED OVER MINIMUM 1" EPS INSULATION BOARD, MECHANICALLY FASTENED OVER DRAINAGE MAT & WEATHER RESISTIVE BARRIER OVER EXTERIOR SHEATHING.
3.	ALL EIFS SHALL BE INSTALLED AS PER MFR'S RECOMMENDATIONS, INCLUDING ALL SEALANT, FLASHING, AND JOINERY AT DISSIMILAR MATERIALS. PROVIDE PANZER 20 REINFORCING MESH TO 8'-0" A.F.F. (TYP.)
4.	PROVIDE BLOCKING IN FACADE TO SUPPORT ALL BUILDING SIGNAGE.
5.	REFER TO ELECTRICAL DRAWINGS FOR LIGHTING INFORMATION.

EXTERIOR FINISH LEGEND	
TAG	DESCRIPTION
AS-1	ASPHALT SHINGLES: TIMBERLINE HD, COLOR: WEATHERED WOOD
BK-1	BRICK: INTERSTATE BRICK BY BASALITE, COLOR: ALMOND
EIFS-1	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #110 VANDYKE
EIFS-2	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #139 ADOBE ACCENT
EIFS-3	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #622B GRAY FLANNEL
GL-1	STOREFRONT GLAZING, COLOR: CLEAR
GU-1	PRE FINISHED ALUM GUTTER AND DOWNSPOUTS, COLOR: TO MATCH PM-1
PM-1	PRE FINISHED METAL TRIM AND FLASHING: PAC-CLAD, COLOR: GRANITE
SD-1	FIBER CEMENT SIDING: NICHHA VINTAGE WOOD, COLOR: CEDAR #EPC762F. TRIM TO MATCH CEDAR PANEL COLOR.
ST-1	STONE: CULTURED STONE, DRystack LEDGESTONE, COLOR: CHARDONNAY
ST-2	STONE SILL: READING ROCK, ROCKCAST, SMOOTH, COLOR: CREAM BUFF
WN-1	VINYL WINDOWS, COLOR: ALMOND
WN-2	CLEAR ANODIZED ALUMINUM STOREFRONT
SFT	VENTED VINYL SOFFIT: STANDARD COLOR TO MATCH BUILDING FASCIA BD. COLOR AS CLOSE AS POSSIBLE
DOOR FRAMES	PAINT BOTH SIDES OF EXTERIOR H.M. DOORS AND FRAMES. COLOR: PPG 6-230 ALUMINUM U.N.O. (NO SUBSTITUTIONS ALLOWED)

DDS page 57. 1. Front and Side Facades  
a. All front and side building facades that face a public roadway shall include a minimum of two (2) of the following building elements (see figures 81 and 82):  
i. Awnings  
ii. Canopies  
iii. Arcades  
iv. Galleries  
v. Tower elements  
vi. Prominent roof feature

Your north side only has prominent roof features. The west side has no architectural detailing.



Store fronts must be black metal frames. Can the door/glazing be centered between the columns.

elements added

emphasize entrance

What is the purpose of this door?  
to cover the utilities attached to the

DDS pg 55 D  
Articulation and detailing is required where the roof meets the wall using cornices, eaves, or rakes as detailing. Moldings, brackets, exposed rafters of at least twelve (12) inches and finials shall be used to give the roof/cornice proper visual weight and proportion to the building (see figure 76).

Key plan is for elevation location only. Scale not needed. Refer to plan sheets for scaled drawings.

KEY PLAN  
SCALE: N.T.S.

draw to scale, provide scale.

Call out locations of all RTUs. Is the screening fence tall enough to fully screen all RTUs? Will any be wall mounted? show location of any wall mounted utilities.

Provide a 3d rendering to show how wall setbacks align with roof changes. Provide multiple perspectives, but especially from the North/east and SouthWest angles.

See renderings

M:\Learning Care Group\20028 Everbrook - Parker, CO\02 SD\Rendering\Reference\20028\_A5.0\_Exterior Elevations.dwg Rachel Hort

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Denver, Colorado 80237 (303) 228-2300

LOT 6 PARKER AND PINE FILING 1  
PARKER, CO  
EVERBROOK ACADEMY SITE PLAN  
ARCHITECTURAL ELEVATIONS

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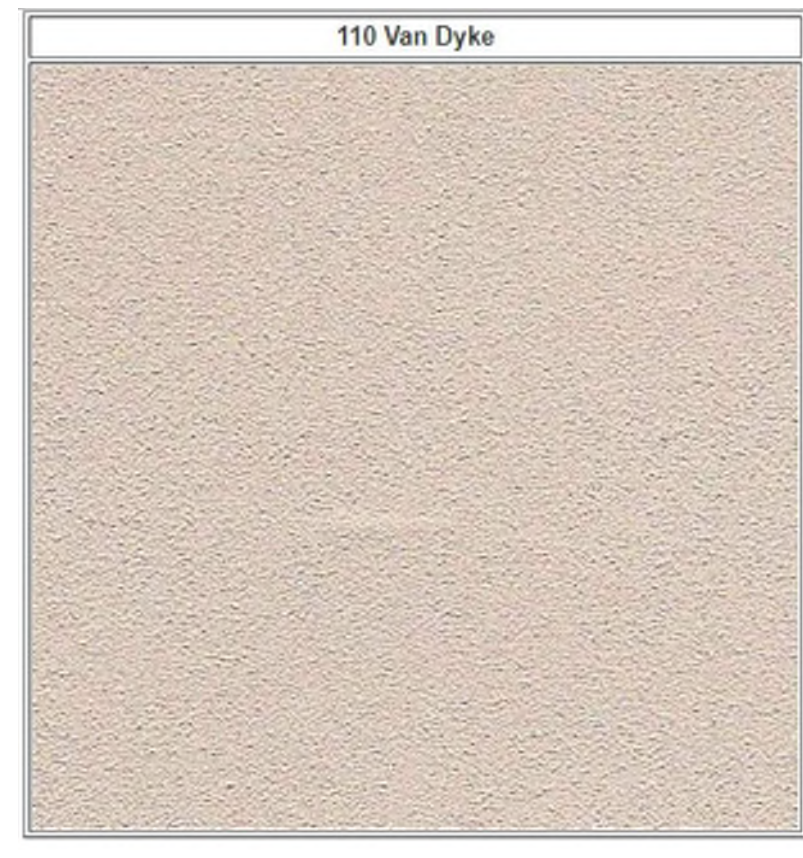
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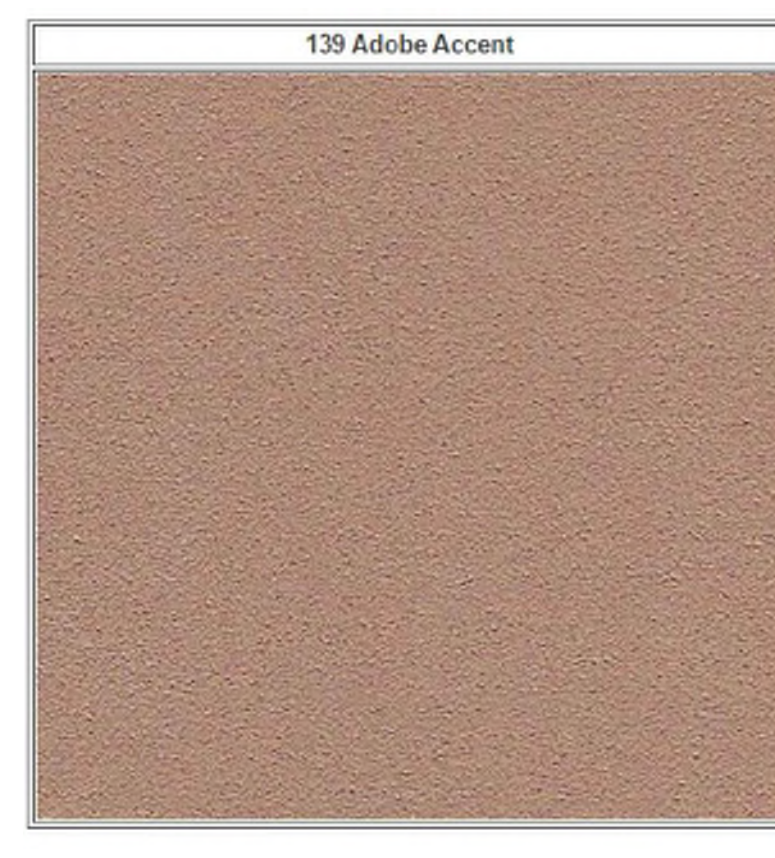
AS-1



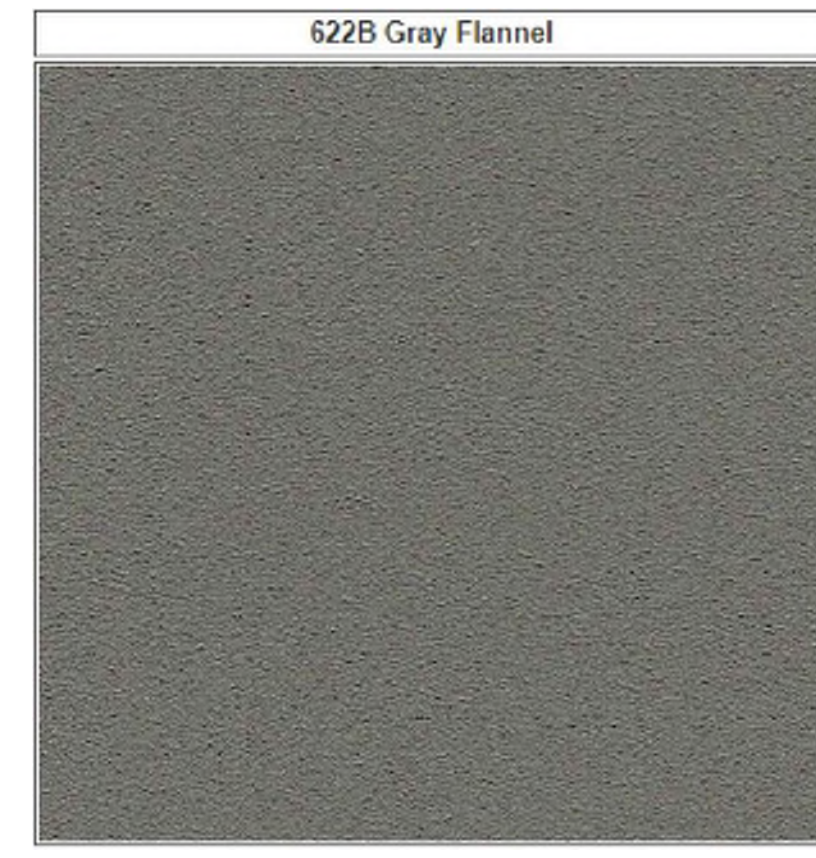
BK-1



EIFS-1



EIFS-2



EIFS-3



PM-1



SD-1

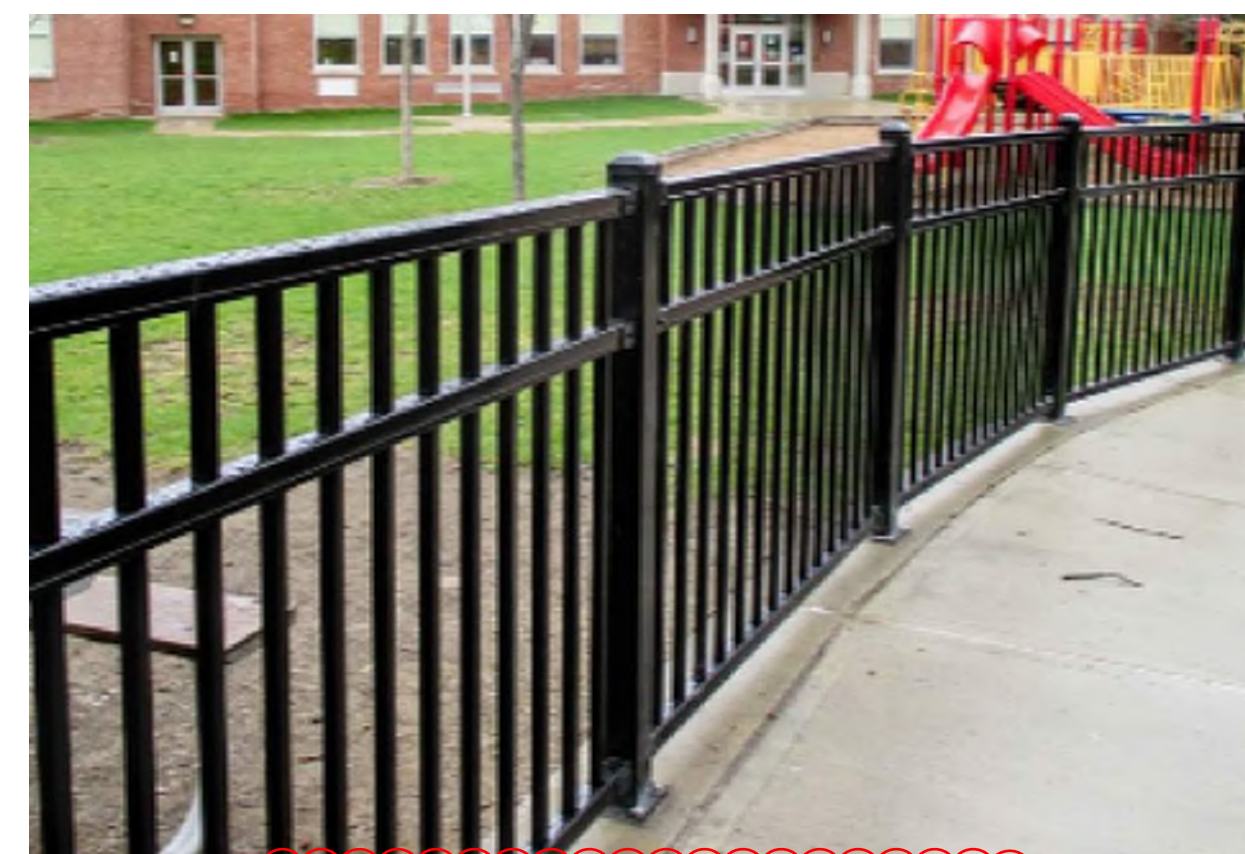


ST-1



ST-2

Reviewed and coordinated with Krista Flynt. See revised sheet addressing comments.



**ORNAMENTAL FENCE**

Provide materials and elevations for your retaining wall.  
 see updated sheet

provided details with dimensions

Provide frame material and color.

Window frames must be black or grey metal according to the design guidelines of the Parker and Pine PD

Height of fence? provide elevations

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DOOR FRAMES	PANT BOTH SIDES OF EXTERIOR H.M. DOORS AND FRAMES. COLOR: PPG 6-230 ALUMINUM U.N.O. (NO SUBSTITUTIONS ALLOWED)

Show swatch and call out material of door and window frames. Must be black or grey metal.

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NBB  
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 DATE: 12/11/2020

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 PARKER, CO  
 EVERBROOK ACADEMY SITE PLAN  
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MATERIALS BOARD

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