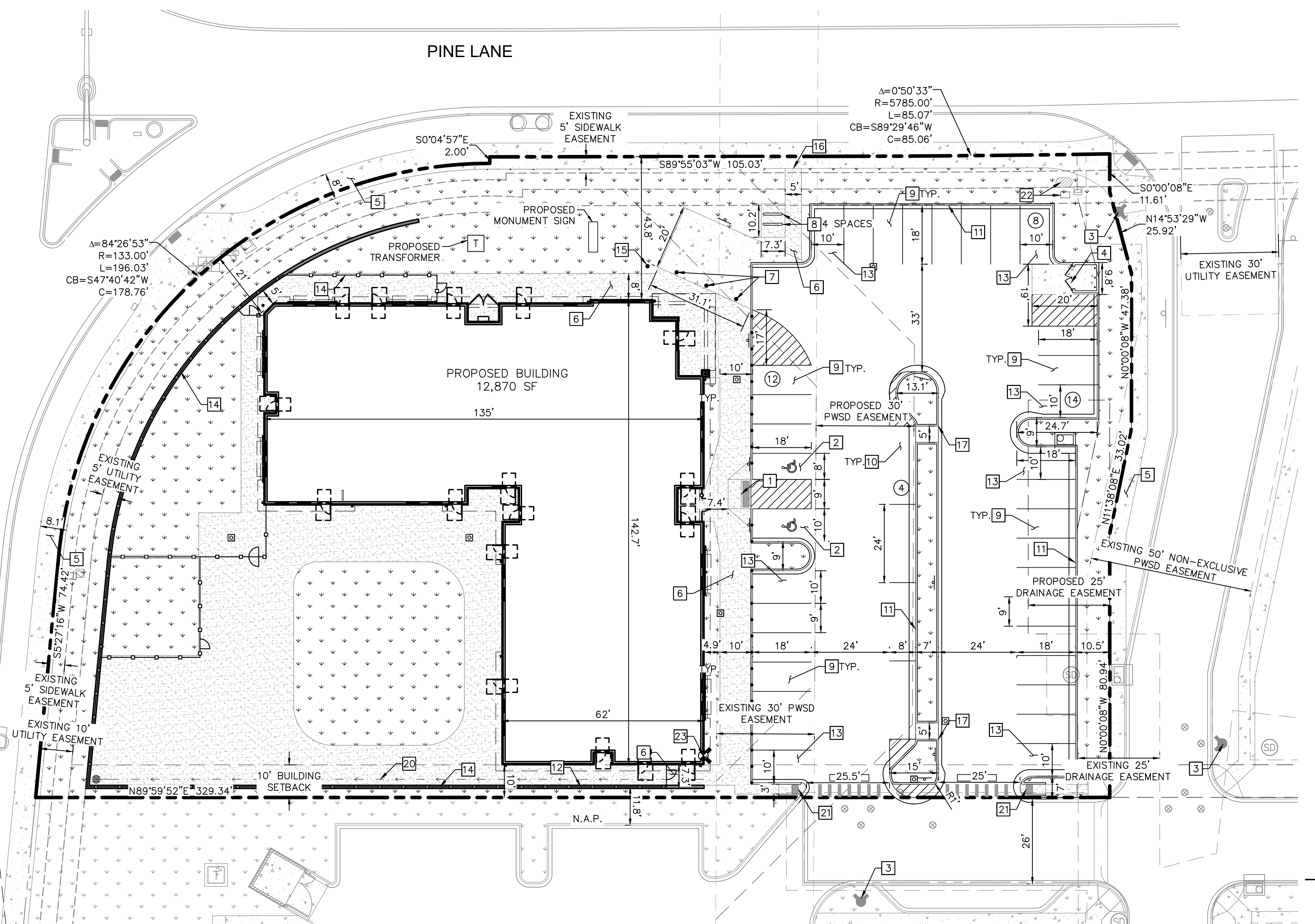


K:\DEV_C\1\096895001 - Lot 6, Parker & Pine\CAD\1\096895001\SP.dwg, New York, NY. THE DOCUMENT CONTAINS PRELIMINARY CONCEPTS AND DESIGNS PREPARED FOR THE PROJECT AND IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC.

TWENTY MILE ROAD



LEGEND

	PROPERTY LINE
	EASEMENT BOUNDARY
	STANDARD DUTY ASPHALT PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	PROPOSED STRIPING
	PARKING COUNT
	EXISTING FIRE HYDRANT
	PROPOSED STORM INLET
	PROPOSED RETAINING WALL AND FENCE
	FDC
	PROPOSED SIGN

- KEY NOTES**
- 1 ADA ACCESSIBLE SIDEWALK RAMP.
 - 2 ADA PARKING STALLS.
 - 3 EXISTING FIRE HYDRANT.
 - 4 TRASH ENCLOSURE. REFER TO ARCH PLANS.
 - 5 EXISTING CONCRETE SIDEWALK, SIZE PER PLAN.
 - 6 CONCRETE SIDEWALK, SIZE PER PLAN.
 - 7 PROPOSED REMOVABLE BOLLARDS.
 - 8 BIKE RACK.
 - 9 STANDARD 9'X18' PARKING STALL.
 - 10 STANDARD 8'X24' PARALLEL PARKING SPACE.
 - 11 18" CURB AND GUTTER.
 - 12 RETAINING WALL WITH FENCE SEE SHEET 04 FOR GRADING INFORMATION AND 11 FOR ARCH PLANS DETAILS.
 - 13 ISLAND ADJACENT 10'X18' PARKING STALL.
 - 14 METAL ORNAMENTAL FENCE. REFER TO ARCH PLANS.
 - 15 FLAG POLE. REFER TO ARCH PLANS.
 - 16 5' WIDE PEDESTRIAN CONNECTION.
 - 17 2' WIDE CURB CUT.
 - 18 6" CURB AND INTEGRAL SIDEWALK.
 - 19 BOLLARDS @ 5' O.C. REFER TO ARCH PLANS.
 - 20 CONCRETE CHANNEL. SEE SHEET C6.1 FOR CHANNEL DETAIL.
 - 21 PROPOSED ADA ACCESSIBLE SIDEWALK RAMP PER TOWN OF PARKER STD DETAIL 18.
 - 22 EXISTING ELECTRICAL EQUIPMENT
 - 23 PROPOSED FIRE DEPARTMENT CONNECTION

- NOTES:**
1. ALL LIGHTING ON-SITE, EXTERIOR, UNROOFED LIGHTING SHALL CONFORM TO THE TOWN'S LIGHTING STANDARDS.
 2. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM A PUBLIC RIGHT OF WAY.
 3. LOCATION OF TRASH RECEPTACLES SHALL BE SCREENED BY A SOLID SCREEN FENCE SURROUNDING AT LEAST 3 SIDES OF THE CONTAINER.
 4. ALL DIMENSIONS AND RADII ARE TO FLOWLINE OF CURB AND GUTTER UNLESS OTHERWISE NOTED.
 5. REFER TO SITE ELECTRICAL PLANS FOR LIGHT POLE LOCATIONS.

NO.	REVISION	BY	DATE	APPR

Kimley»Horn

2021 KIMLEY-HORN AND ASSOCIATES, INC.
4582 South Ulster Street, Suite 1500
Denver, Colorado 80237 (303) 728-2300

DESIGNED BY: MCN
DRAWN BY: NMH
CHECKED BY: DLS
DATE: 05/07/2021

LOT 6 PARKER AND PINE FILING 1
PARKER, CO
EVERBROOK ACADEMY SITE PLAN
SITE PLAN

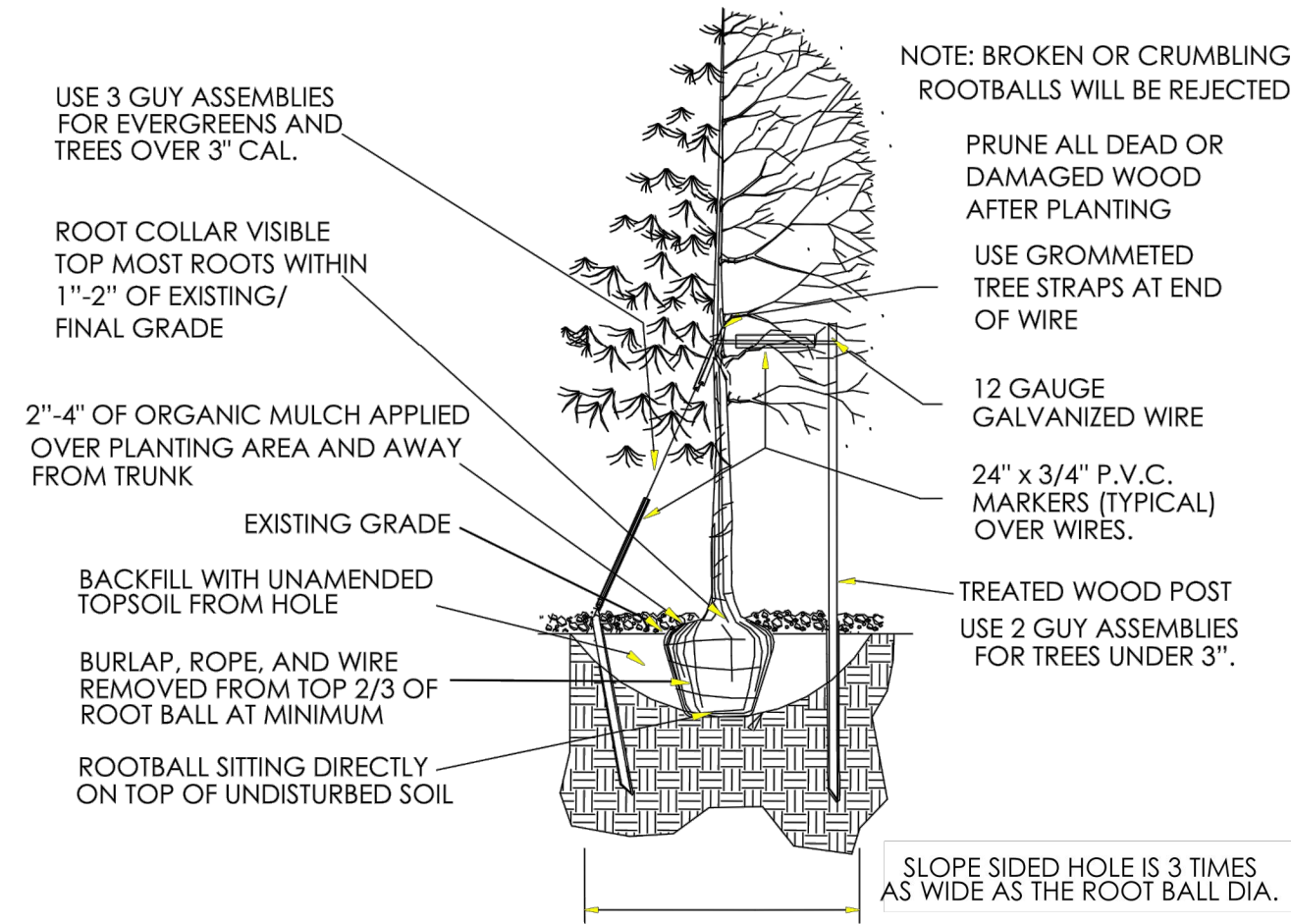
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PROJECT NO.
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DRAWING NAME
096895001SP_SP

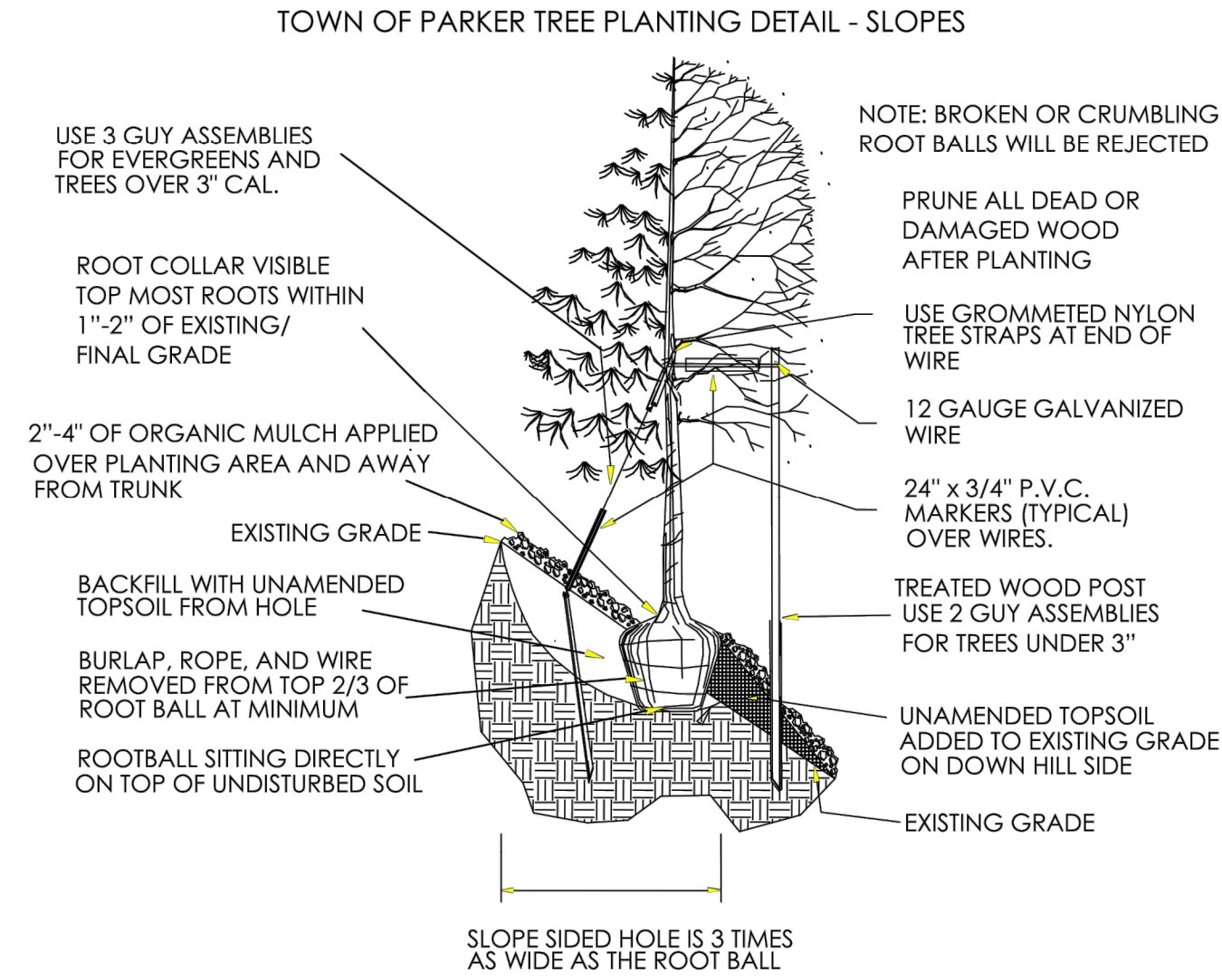
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TOWN OF PARKER PLANTING STANDARDS

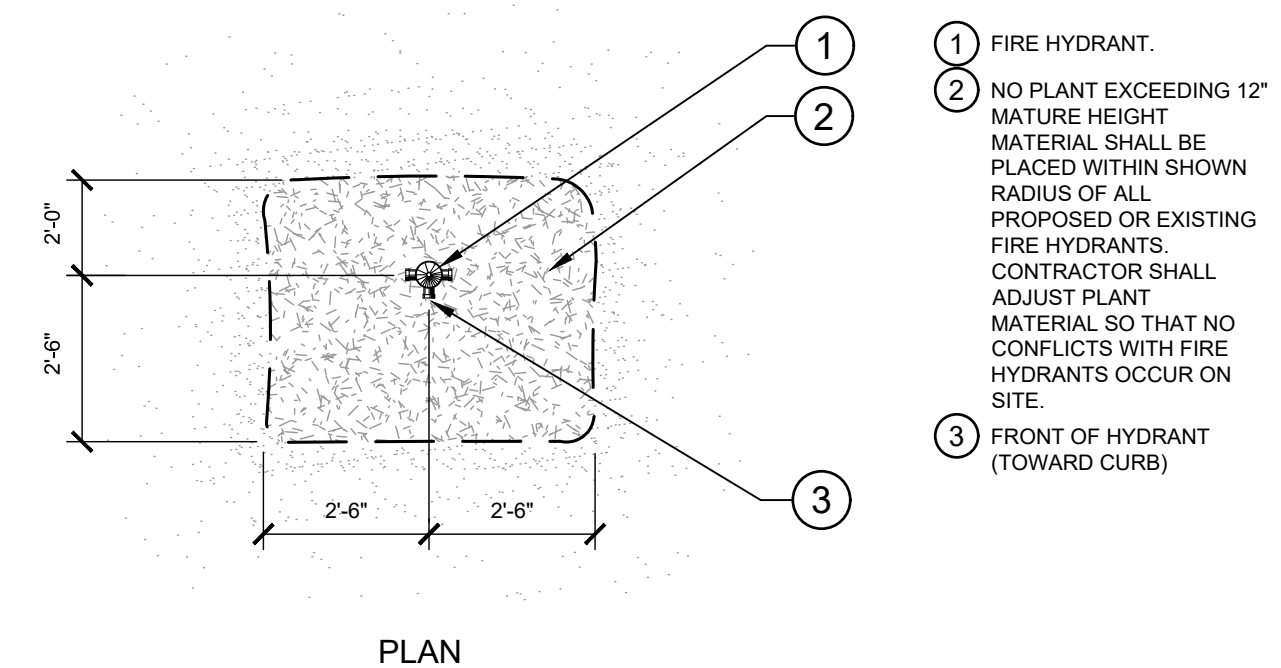
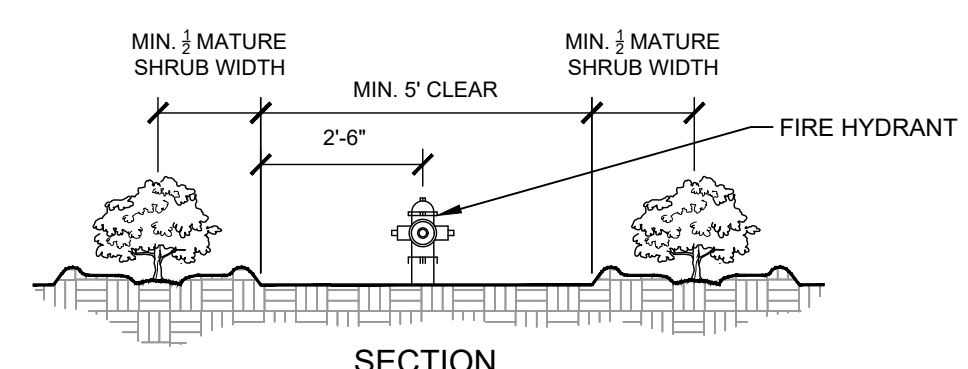
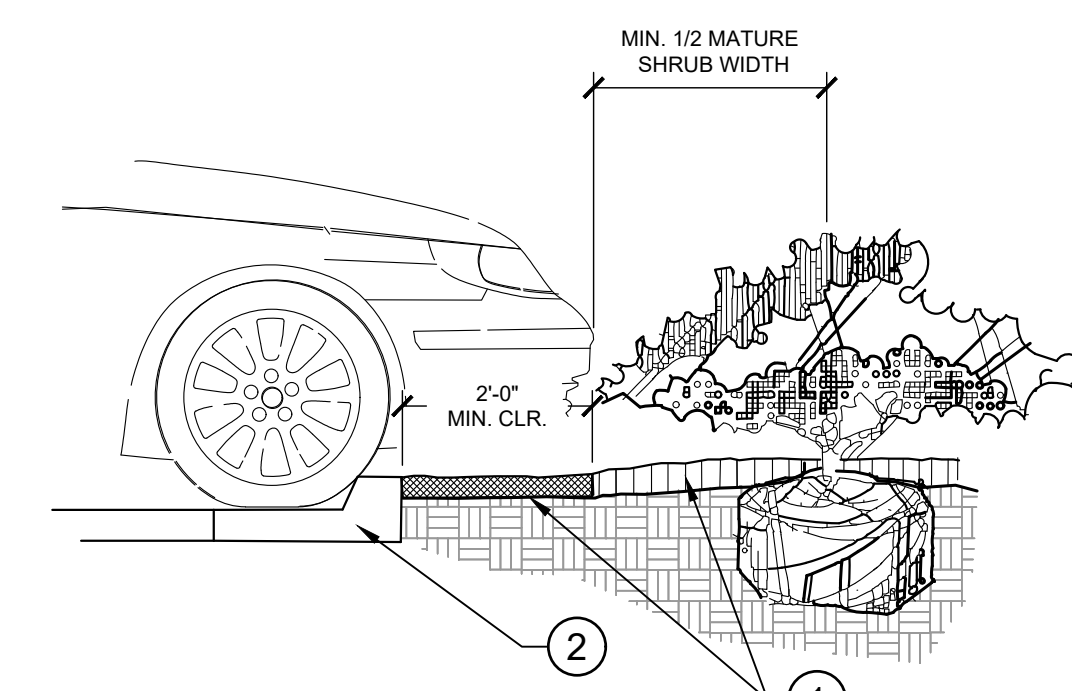
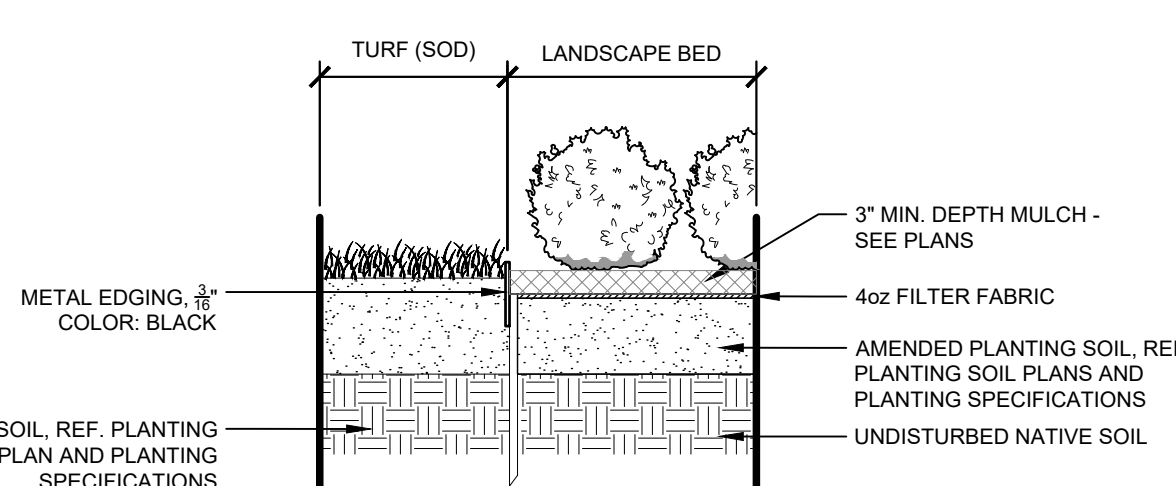
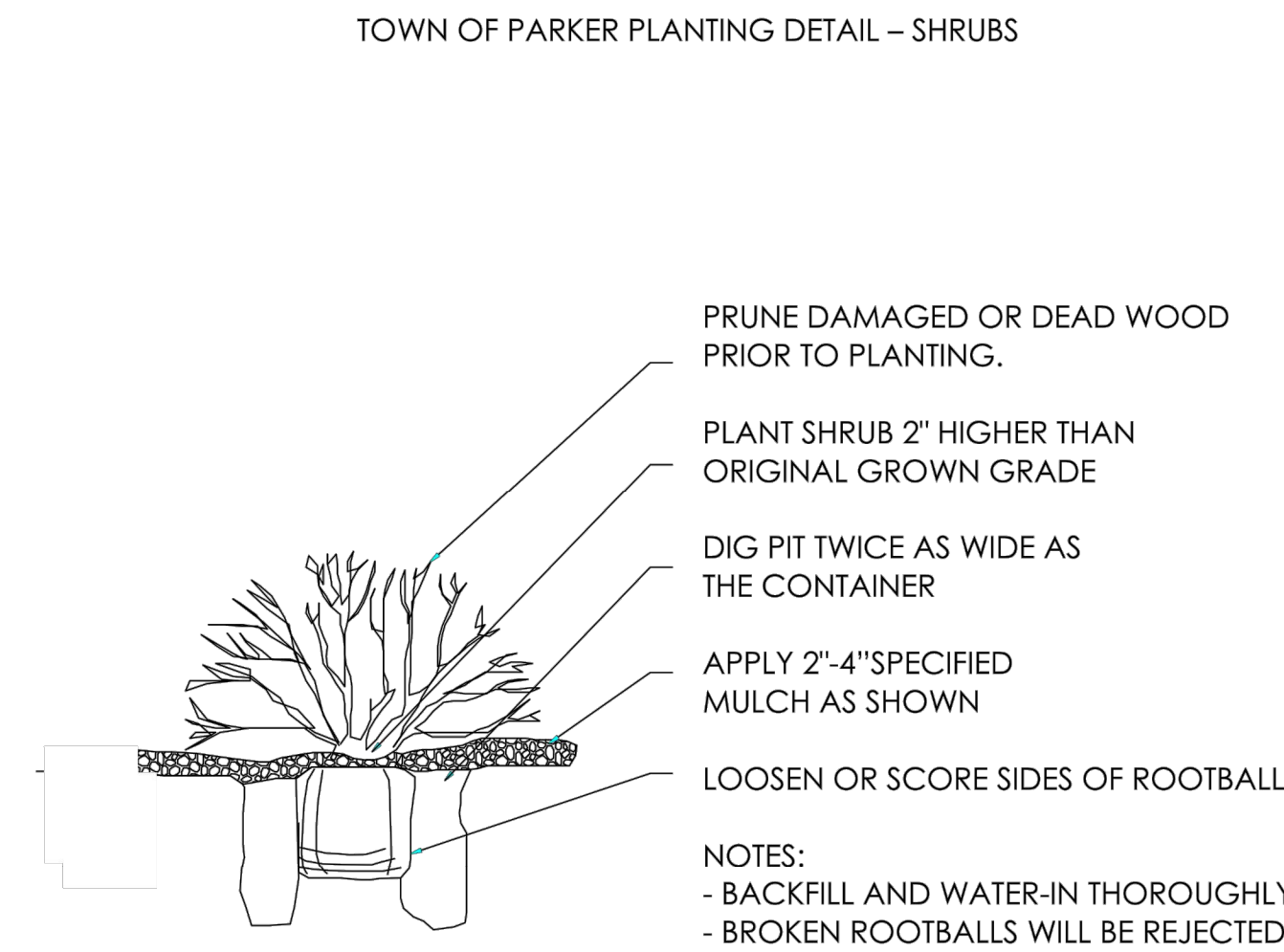


- Excavate planting holes with sloping sides. Make excavations at least three times as wide as the root ball diameter and no deeper than the distance from the top most roots in the root ball to the bottom of the root ball to allow for settling. Do not disturb soil at bottom of planting holes, but do score the sides of the planting hole. The planting area shall be loosened and aerated at least three times the diameter of the root ball. Backfill shall consist of existing on site topsoil – no amendments shall be used unless otherwise specified.
- Trees shall be planted with the root collar/flare visible above grade AND two or more structural roots located within the top 1" to 2" of the root ball/finished grade measured 3" to 4" from trunk. This includes trees that are set on slopes (see slope planting detail). Trees that do not have a visible root collar shall be rejected. Do not cover the root ball with soil.
- When root ball will remain intact, cut off bottom 1/4 of wire basket before placing tree in hole, cut off remainder of basket AFTER tree is set in hole, remove basket completely. At a minimum, the top 2/3 of the burlap and basket shall be removed from the root ball on all trees. Remove all nylon ties, twine, rope and burlap. Remove unnecessary packing material.
- Form soil into a 3" to 5" tall watering ring (saucer) around planting area. This is not necessary in irrigated turf areas. Apply 2" to 4" depth of specified mulch over planting area and inside saucers, away from trunk.
- Staking and guying of trees is optional in most planting situations. In areas of extreme winds, or on steep slopes, staking may be required to stabilize trees. Staking and guying must be removed within 1 year of planting date.
- Tree wrap is *not* to be used on any new plantings, except in late fall planting situations, and only then after consultation with the Town Arborist.
- Resetting of improperly planted trees will only be allowed if it is determined that doing so will in no way compromise the root ball, and shall only be done with approval of the Town Arborist.

TOWN OF PARKER PLANTING STANDARDS



TOWN OF PARKER PLANTING STANDARDS



TOWN OF PARKER LANDSCAPE MAINTENANCE NOTES

- ALL PLANTINGS SHALL BE MAINTAINED IN A HEALTHY AND ATTRACTIVE MANNER, AS DETERMINED BY THE TOWN. MAINTENANCE SHALL BE CONDUCTED BY THE PROPERTY OWNER OF RECORD, THE PROPERTY OWNER'S AGENT OR TENANT OR A HOMEOWNERS ASSOCIATION WHICH HAS ASSUMED LANDSCAPE MAINTENANCE RESPONSIBILITY.
- ALL ORNAMENTAL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS, AND LITTER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, WATERING, FERTILIZING, WEEDING, CLEANING, MOWING, EDGING, BALDING, PRUNING, TRIMMING, SPRAYING, CULTIVATING, OR OTHER MAINTENANCE AS DEEMED AND IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. AREAS OF NATIVE OR NATURALIZED LANDSCAPE ARE EXEMPT FROM THIS LEVEL OF MAINTENANCE. ACCEPTABLE MAINTENANCE OF NATIVE PLANTS INCLUDES, BUT IS NOT LIMITED TO, REMOVAL OF DEAD OR DISEASED PLANTS, WEED CONTROL, AND SEASONAL MOWING.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OF THEIR DEATH, UNLESS SEASONAL CONDITIONS PROHIBIT REMOVAL AND REPLACEMENT. IN SUCH CASE, THE REMOVAL AND REPLACEMENT SHALL OCCUR WITHIN A REASONABLE PERIOD OF TIME APPROVED BY THE TOWN.
- NON-LIVING LANDSCAPE MATERIALS SUCH AS ROCK, STONE, BARK CHIPS AND SHAVINGS WHICH NO LONGER COVER THE AREA IN WHICH THEY WERE ORIGINALLY DEPOSITED SHALL BE REGULARLY REPLENISHED TO MAINTAIN THE FULL COVERAGE TO A MINIMUM DEPTH OF THREE (3) INCHES FOR ROCK, MULCHES AND FOUR (4) INCHES FOR WOOD MULCH.
- LANDSCAPING STRUCTURAL FEATURES (E.G. FENCING, WALLS, PLANTER BOXES) AND SITE FINISHINGS SHALL BE MAINTAINED IN A SOUND, STRUCTURAL AND ATTRACTIVE CONDITION. IRRIGATION SYSTEMS ARE TO BE MONITORED AND ADJUSTED PERIODICALLY TO ENSURE THAT THE WATER DEMANDS OF ALL PLANT MATERIALS ARE MET.
- IRRIGATION SYSTEM REPAIRS SHALL BE MADE WITHIN SEVEN (7) DAYS OF DISCOVERY OF DAMAGE UNLESS SEASONAL CONDITIONS PROHIBIT REPAIRS.
- LANDSCAPE AREAS SHALL BE FREE FROM TRASH AND DEBRIS.
- FAILURE TO BEREADE DEAD LANDSCAPE MATERIALS WITHIN A REASONABLE PERIOD OF TIME, AS SPECIFIED IN PARAGRAPH (2) ABOVE, SHALL BE CONSIDERED A VIOLATION OF THE SITE PLAN APPROVAL AND IS SUBJECT TO ENFORCEMENT AND PENALTY PROVISIONS OF THIS TITLE.

4 METAL EDGER AT PLANTING BED

1" = 1"
 096-895-001-21

5 PARKING SPACE/CURB PLANTING SECTION

6 SHRUB PLANTING AT FIRE HYDRANT SECTION / PLAN

NO.	REVISION	BY	DATE	APPRO

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 4582 South Smith Street, Suite 1500
 Denver, Colorado 80237 (303) 728-2300

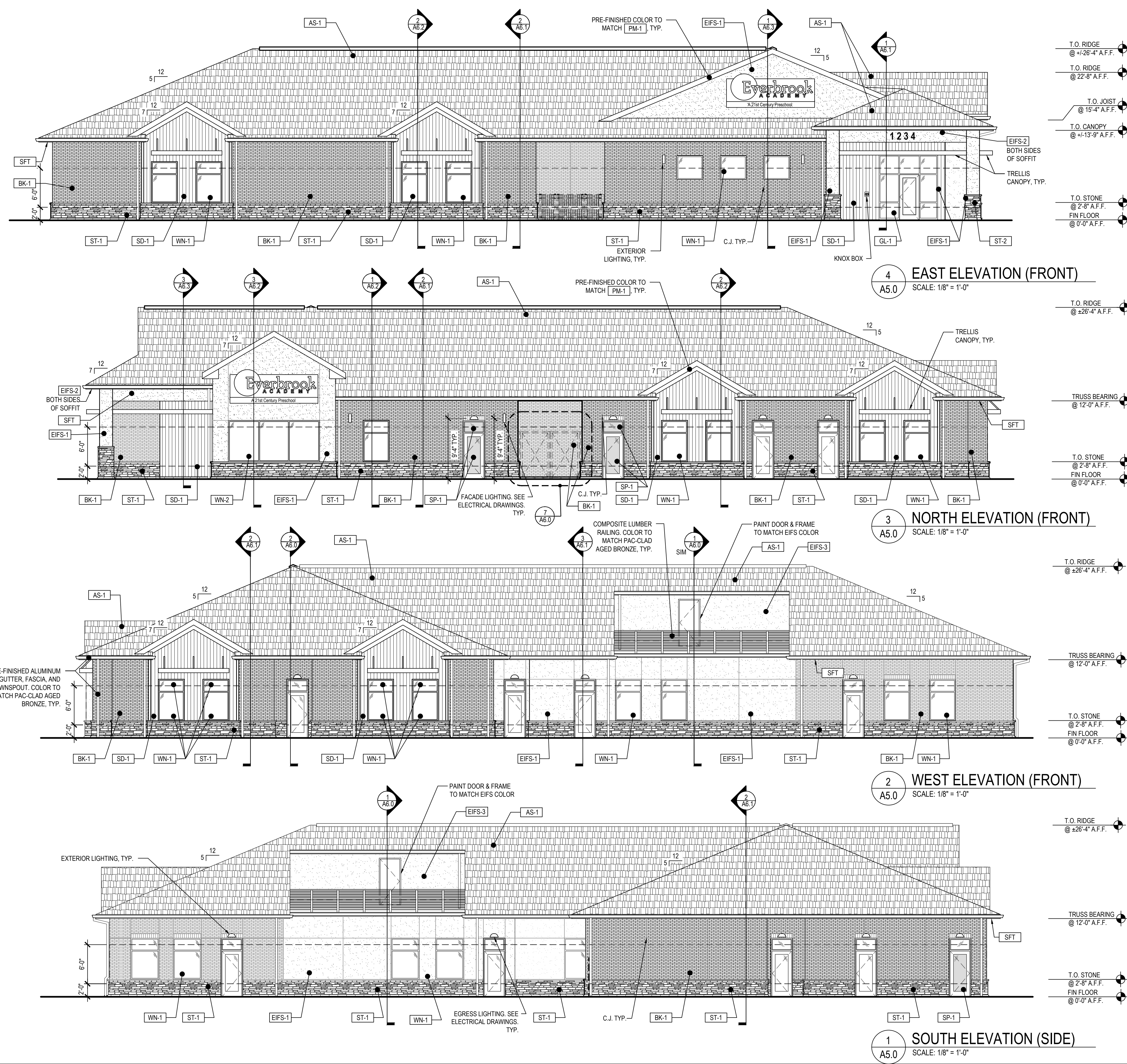
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 DRAWN BY: NMH
 CHECKED BY: DLS
 DATE: 05/07/2021

LOT 6 PARKER AND PINE FILING 1
 PARKER, CO
 EVERBROOK ACADEMY SITE PLAN
 LANDSCAPE DETAILS

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PROJECT NO.
 096895001
 DRAWING NAME
 096895001SP_LA

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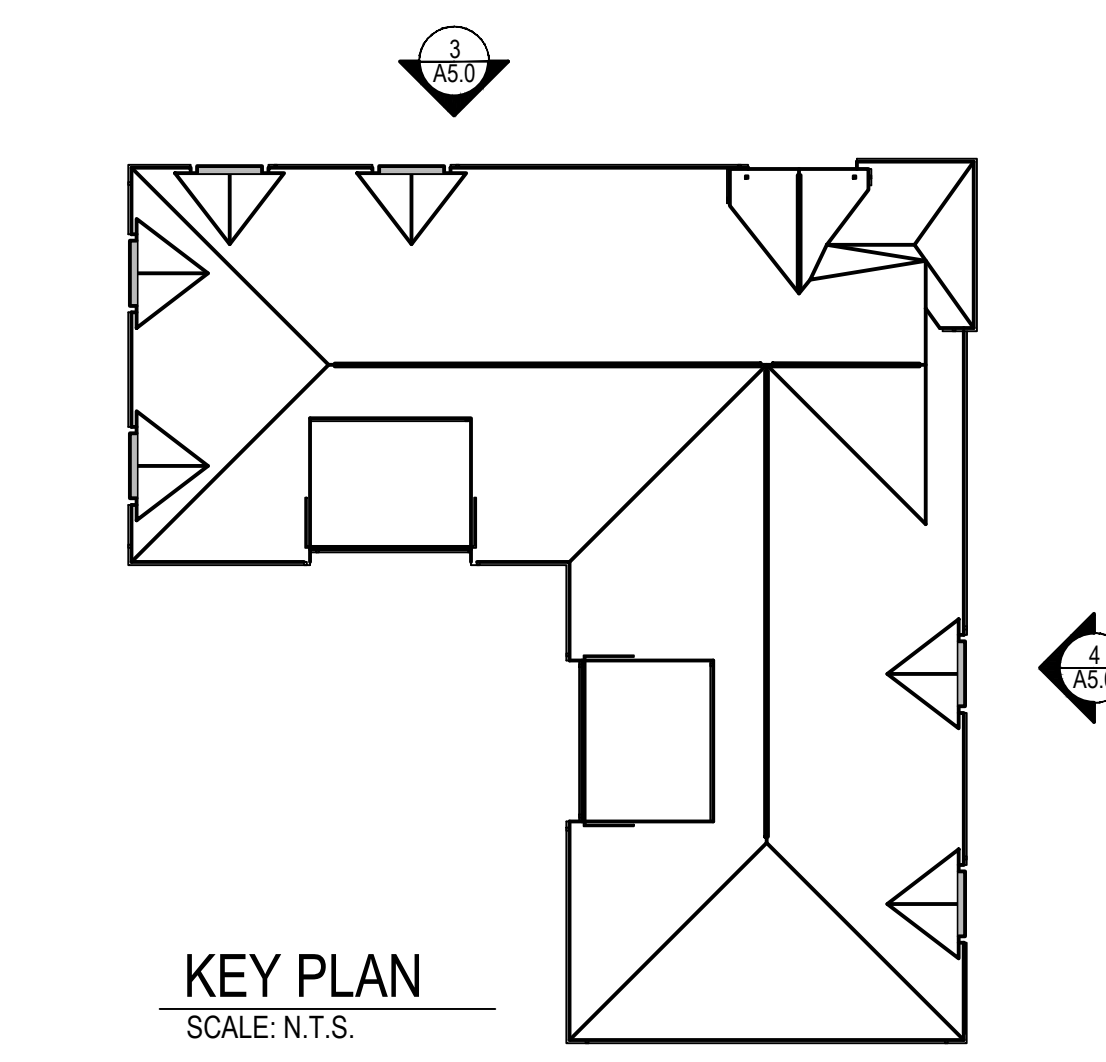


EXTERIOR ELEVATIONS GENERAL NOTES

- ALL MATERIALS NOT LABELED ARE TYPICAL FOR ALL SIMILAR LOCATIONS. QUESTIONS SHALL BE REFERRED TO THE ARCHITECT.
- EIFS SHALL BE DRYVIT, COMMERCIAL GRADE AS FOLLOWS: GENESIS BASE COAT, REINFORCING MESH BASE & FINISH COATS SHALL BE PROVIDED OVER MINIMUM 1" EPS INSULATION BOARD, MECHANICALLY FASTENED OVER DRAINAGE MAT & WEATHER RESISTIVE BARRIER OVER EXTERIOR SHEATHING.
- ALL EIFS SHALL BE INSTALLED AS PER MFR'S RECOMMENDATIONS, INCLUDING ALL SEALANT, FLASHING, AND JOINERY AT DISSIMILAR MATERIALS. PROVIDE PANZER 20 REINFORCING MESH TO 8'-0" A.F.F. (TYP.)
- PROVIDE BLOCKING IN FACADE TO SUPPORT ALL BUILDING SIGNAGE.
- REFER TO ELECTRICAL DRAWINGS FOR LIGHTING INFORMATION.

EXTERIOR FINISH LEGEND

TAG	DESCRIPTION
AS-1	ASPHALT SHINGLES: TIMBERLINE HD, COLOR: WEATHERED WOOD
BK-1	BRICK: INSTERSTATE BRICK BY BASALITE, COLOR: ALMOND
EIFS-1	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #110 VANDYKE
EIFS-2	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #139 ADOBE ACCENT
EIFS-3	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #622B GRAY FLANNEL
GL-1	BLACK STOREFRONT WITH CLEAR GLASS
GU-1	PRE FINISHED ALUM GUTTER AND DOWNSPOUTS, COLOR: TO MATCH PM-1
PM-1	PRE FINISHED METAL TRIM AND FLASHING: PAC-CLAD, COLOR: GRANITE
SD-1	FIBER CEMENT SIDING: NICHIA VINTAGE WOOD, COLOR: CEDAR #EPC162F, TRIM TO MATCH CEDAR PANEL COLOR.
SP-1	SPANDREL GLASS, STANDARD COLOR: TBD
ST-1	STONE: CULTURED STONE, DRystack LEDGESTONE, COLOR: CHARDONNAY
ST-2	STONE SILL: READING ROCK, ROCKCAST, SMOOTH, COLOR: CREAM BUFF
WN-1	VINYL WINDOWS, COLOR: TBD
SFT	VENTED VINYL SOFFIT, STANDARD COLOR TO MATCH BUILDING FASCIA BD, COLOR AS CLOSE AS POSSIBLE
DOOR FRAMES	PAINT BOTH SIDES OF EXTERIOR H.M. DOORS AND FRAMES. COLOR: GREY



MATERIAL CALCULATIONS			TRANSPARENCY AREA		
Elevation	Sq. Ft.	Percentage	Elevation	Sq. Ft.	Percentage
East Elevation			East Elevation		
Brick & Stone	1,366	68%	Transparency Area	852	
EIFS	341	17%	Glazing provided	172	20%
Composite Wood	308	15%	Add'l Glazing outside req'd zone	80	9%
Total	2,015	100%	Total Glazing	252	30%
North Elevation			North Elevation		
Brick & Stone	1,202	65%	Transparency Area	817	
EIFS	339	18%	Glazing provided	204	25%
Fiber cement boards	308	17%	Add'l Glazing outside req'd zone	43	5%
Total	1,849	100%	Total Glazing	247	30%
West Elevation			West Elevation		
Brick & Stone	1,274	64%	Transparency Area	853	
EIFS	598	30%	Glazing provided	216	25%
Composite Wood	120	6%	Add'l Glazing outside req'd zone	51	6%
Total	1,992	100%	Total Glazing	267	31%
South Elevation			South Elevation		
Brick & Stone	1,274	64%	Transparency Area	807	
EIFS	598	30%	Glazing provided	158	20%
Composite Wood	120	6%	Add'l Glazing outside req'd zone	42	5%
Total	1,992	100%	Total Glazing	200	25%

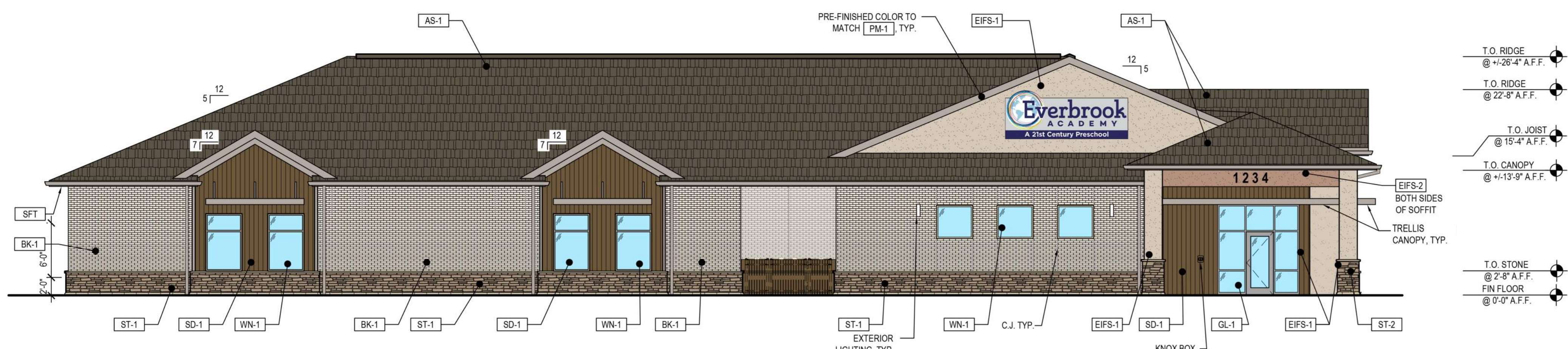
LOT 6 PARKER AND PINE FILING 1
 PARKER, CO
 EVERBROOK ACADEMY SITE PLAN
 ARCHITECTURAL ELEVATIONS

NBB
 NBB
 CPH
 DATE: 05/07/2021

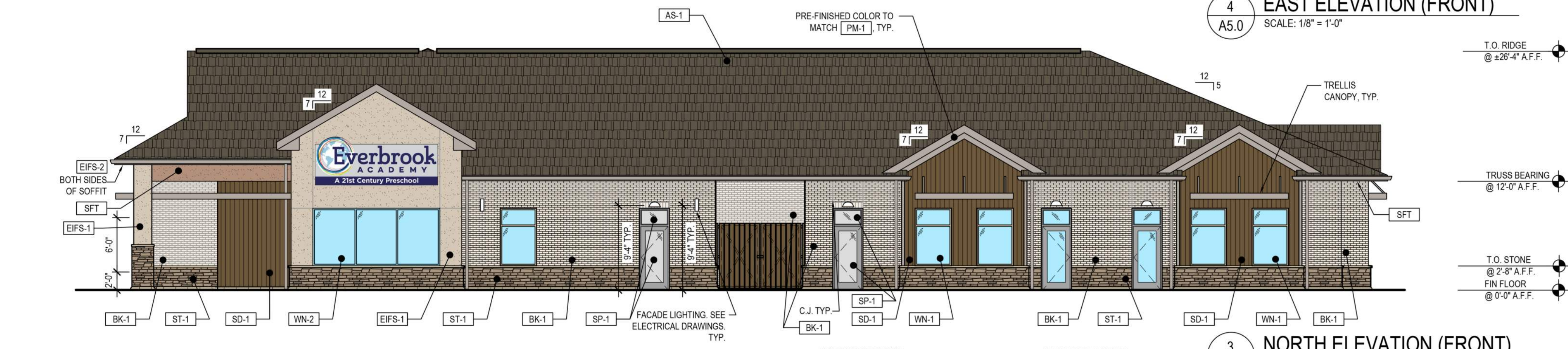
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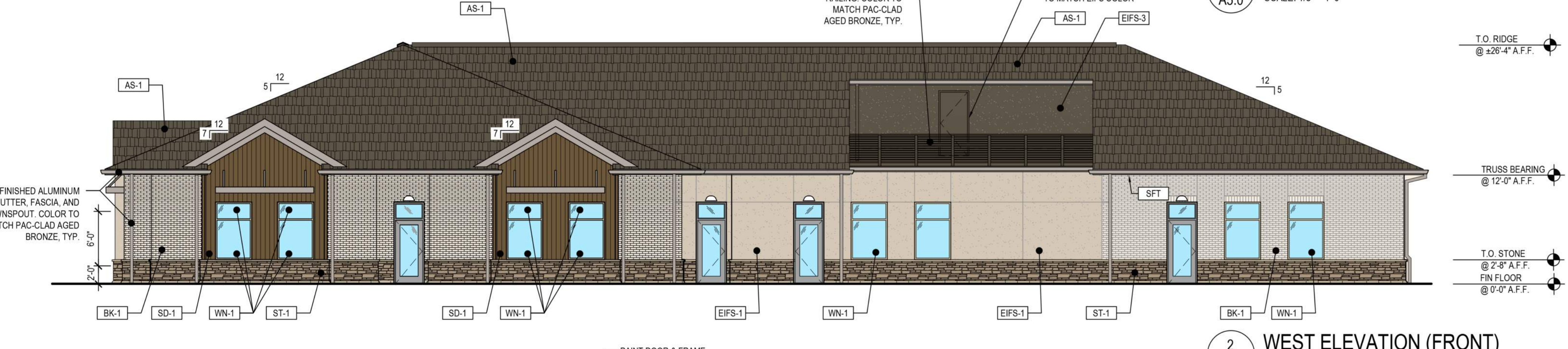
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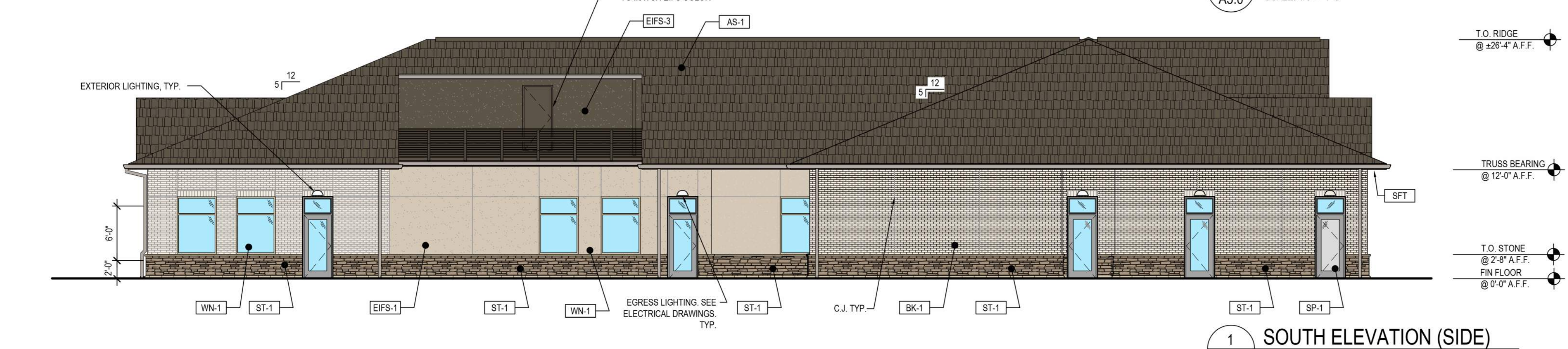
4 EAST ELEVATION (FRONT)
 A5.0 SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION (FRONT)
 A5.0 SCALE: 1/8" = 1'-0"



2 WEST ELEVATION (FRONT)
 A5.0 SCALE: 1/8" = 1'-0"

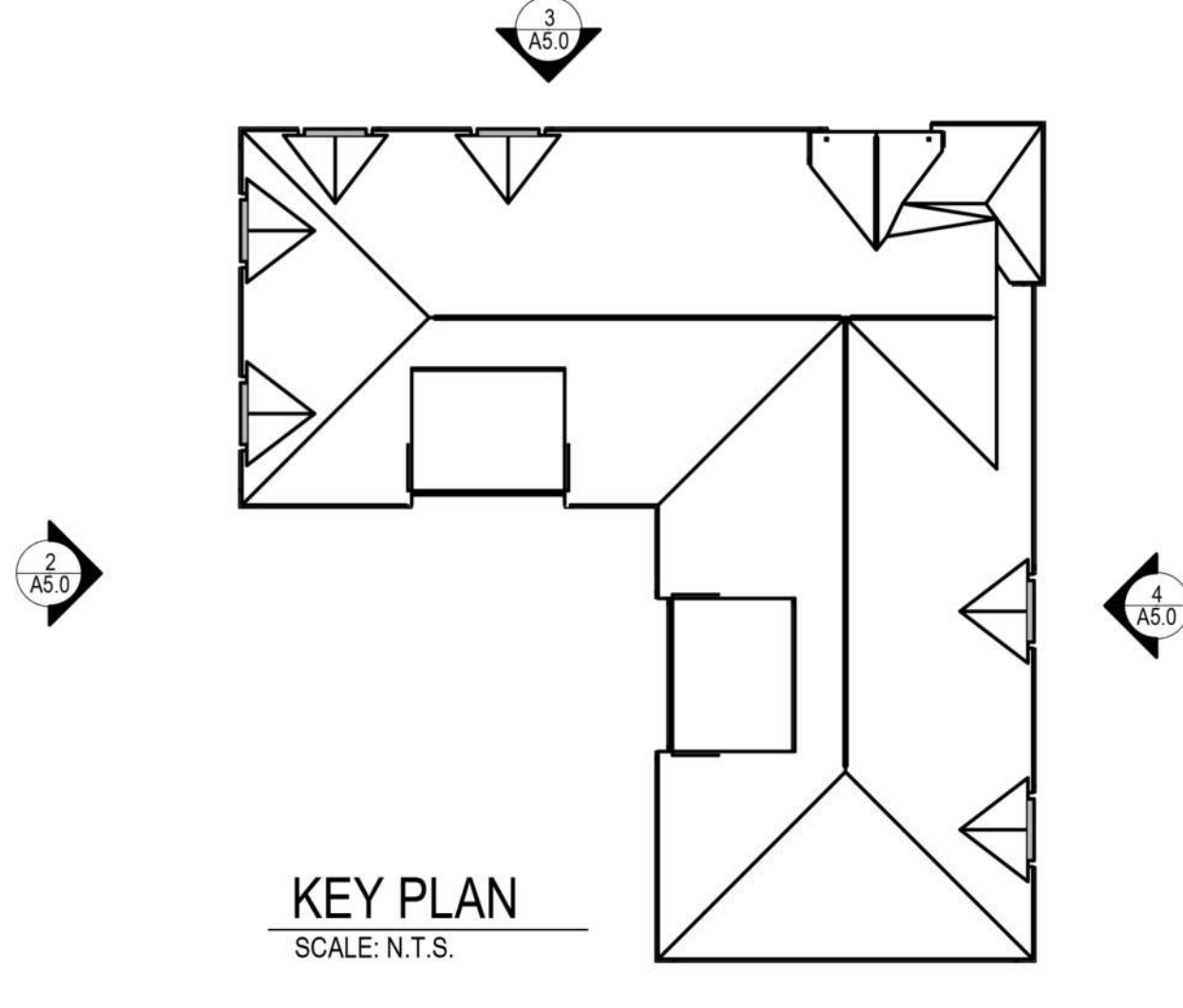


1 SOUTH ELEVATION (SIDE)
 A5.0 SCALE: 1/8" = 1'-0"

- ### EXTERIOR ELEVATIONS GENERAL NOTES
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 5. REFER TO ELECTRICAL DRAWINGS FOR LIGHTING INFORMATION.

EXTERIOR FINISH LEGEND

TAG	DESCRIPTION
AS-1	ASPHALT SHINGLES: TIMBERLINE HD, COLOR: WEATHERED WOOD
BK-1	BRICK: INTERSTATE BRICK BY BASALITE, COLOR: ALMOND
EIFS-1	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #110 VANDYKE
EIFS-2	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #139 ADOBE ACCENT
EIFS-3	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: TO MATCH SHINGLE ROOF
GL-1	BLACK STOREFRONT WITH CLEAR GLASS
GU-1	PRE FINISHED ALUM GUTTER AND DOWNSPOUTS, COLOR: TO MATCH PM-1
PM-1	PRE FINISHED METAL TRIM AND FLASHING: PAC-CLAD, COLOR: GRANITE
SD-1	FIBER CEMENT SIDING: NICHHA VINTAGE WOOD, COLOR: CEDAR #EPC762F. TRIM TO MATCH CEDAR PANEL COLOR.
SP-1	SPANDREL GLASS, STANDARD COLOR TBD
ST-1	STONE: CULTURED STONE, DRystack LEDGESTONE, COLOR: CHARDONNAY
ST-2	STONE SILL: READING ROCK, ROCKCAST, SMOOTH, COLOR: CREAM BUFF
WN-1	VINYL WINDOWS, COLOR: TBD
SFT	VENTED VINYL SOFFIT. STANDARD COLOR TO MATCH BUILDING FASCIA BD. COLOR AS CLOSE AS POSSIBLE
DOOR FRAMES	PAINT BOTH SIDES OF EXTERIOR H.M. DOORS AND FRAMES. COLOR: GREY



Kimley»Horn
 2020 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ute Street, Suite 1500
 Denver, Colorado 80237 (303) 228-2300

NBB
 NBB
 CPH
 DATE: 05/07/2021

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 PARKER, CO
 EVERBROOK ACADEMY SITE PLAN
 ARCHITECTURAL ELEVATIONS

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Northwest Perspective



Main Entrance (Northeast View)

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NBB	BY
CPH	DATE
DATE: 05/07/2021	REVISION
LOT 6 PARKER AND PINE FILING 1 PARKER, CO EVERBROOK ACADEMY SITE PLAN ARCHITECTURAL RENDERINGS	
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Kimley»Horn Kimley-Horn and Associates, Inc.	
PROJECT NO. 096895001	
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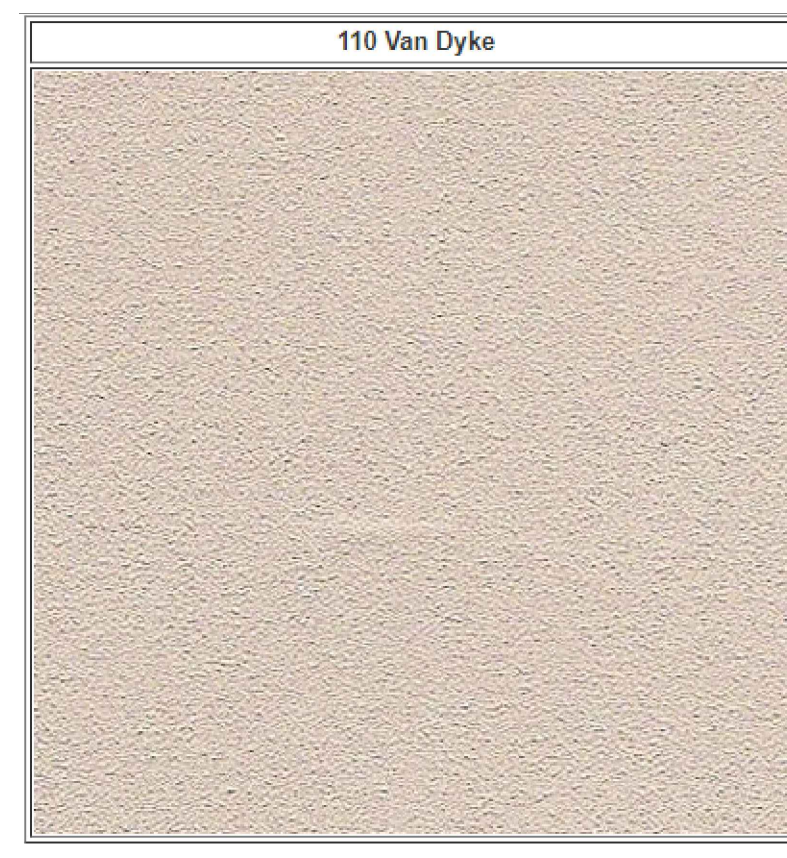
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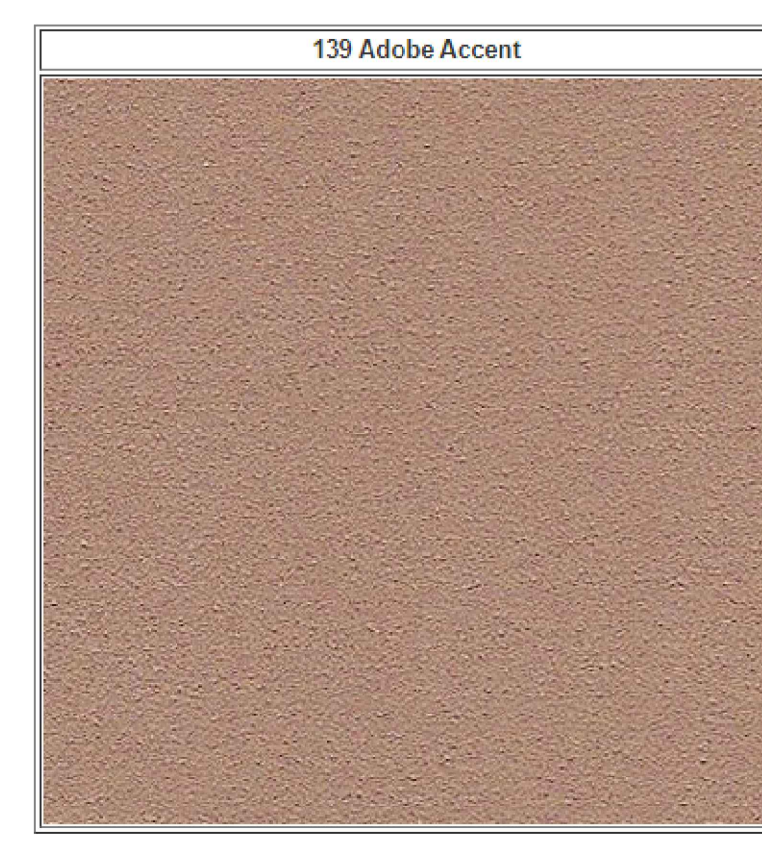
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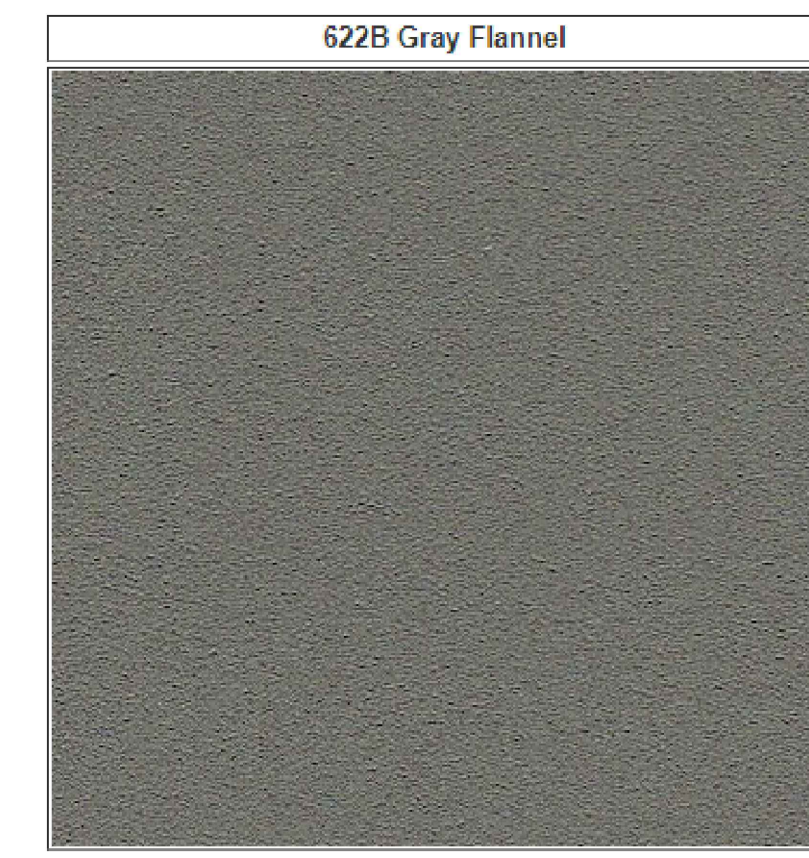
BK-1



EIFS-1



EIFS-2



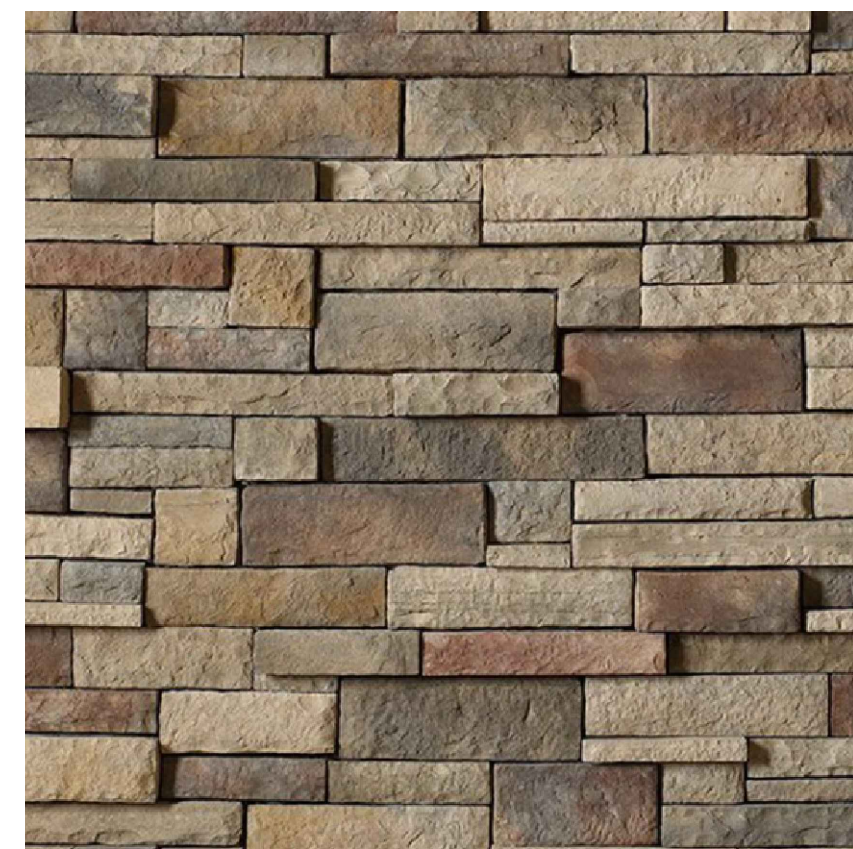
EIFS-3



PM-1



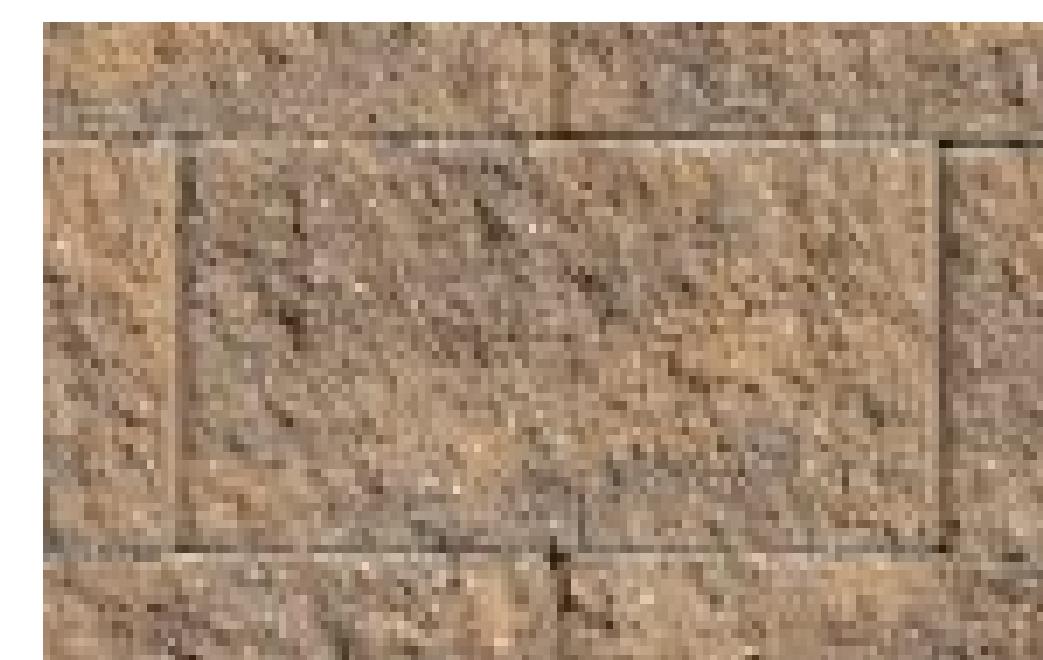
SD-1



ST-1

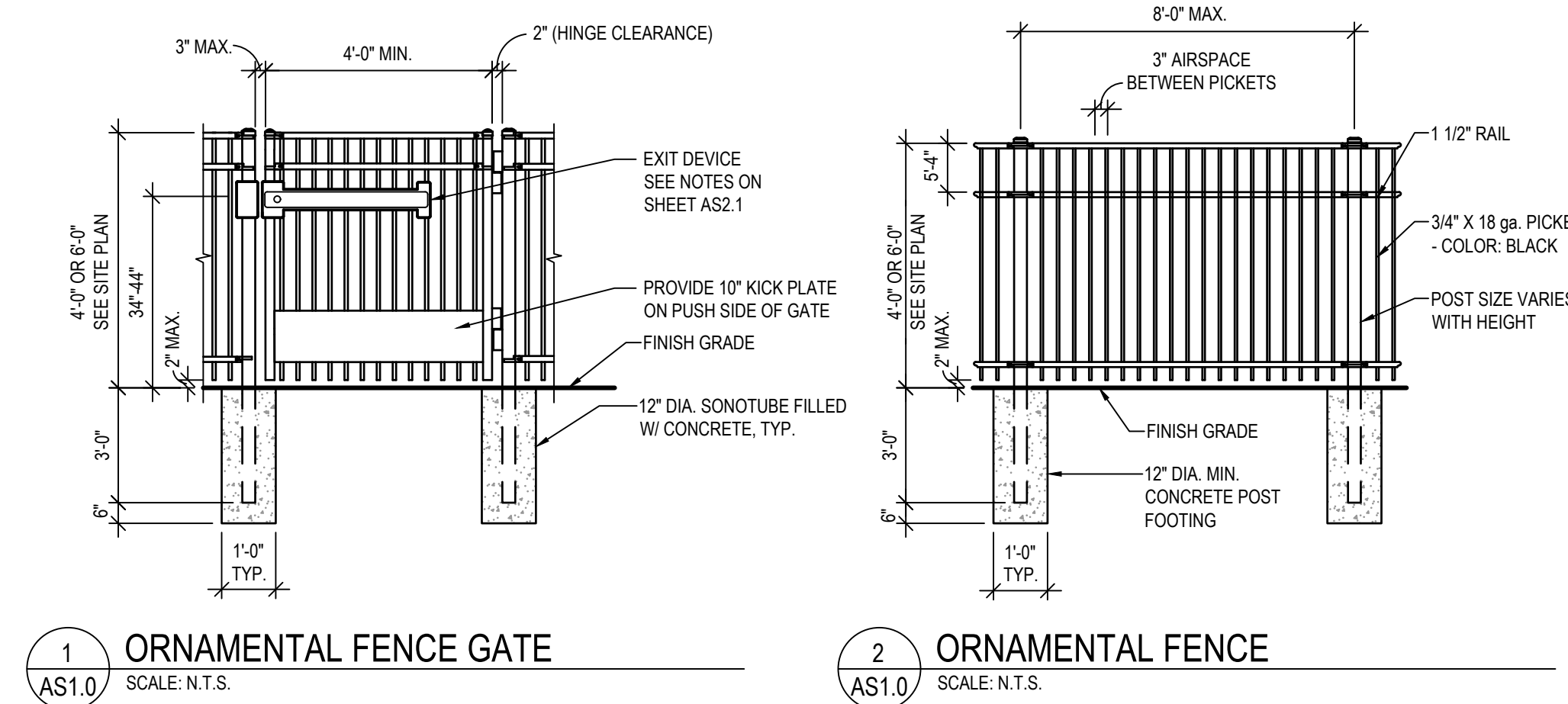


ST-2



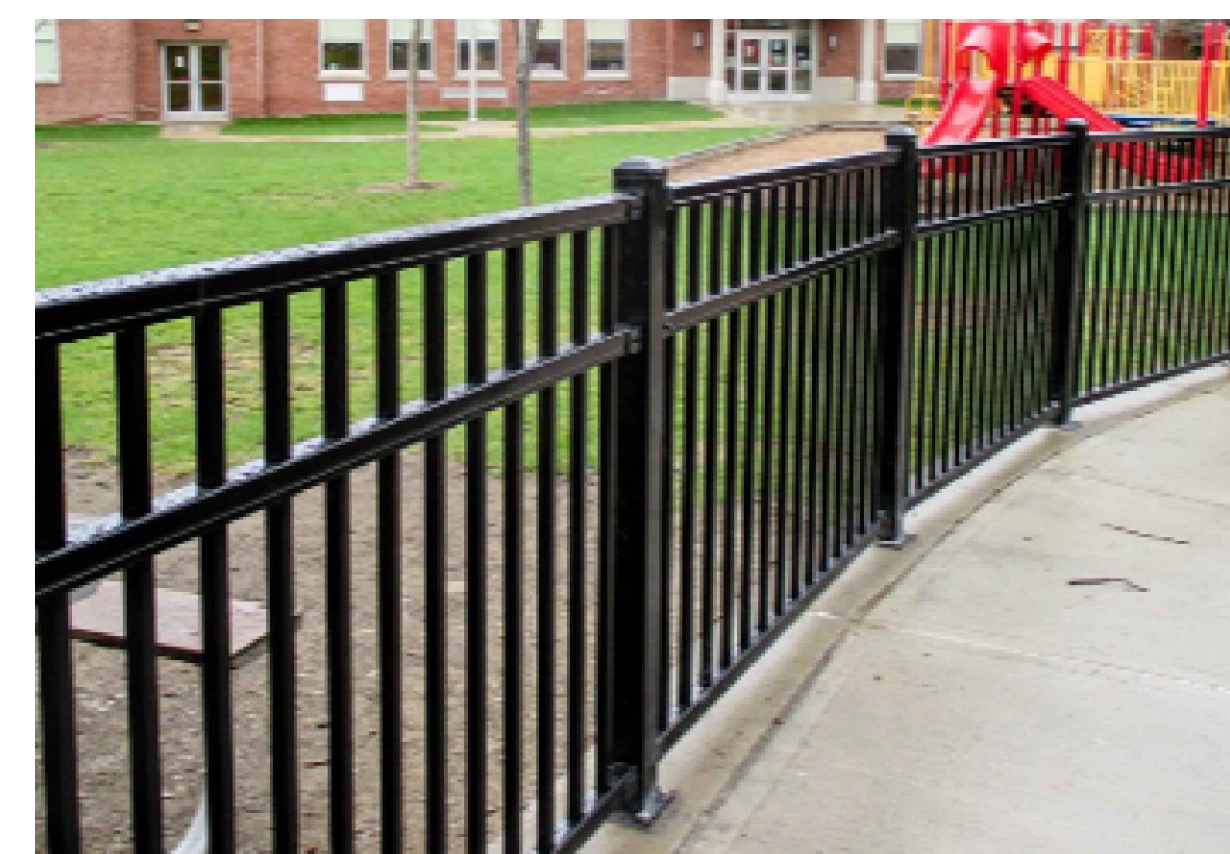
RETAINING WALL

(SIMILAR TO KEYSTONE COMPAC, COLOR SANDSTONE/BROWN)



1 ORNAMENTAL FENCE GATE
SCALE: N.T.S.

2 ORNAMENTAL FENCE
SCALE: N.T.S.



ORNAMENTAL FENCE

EXTERIOR FINISH LEGEND	
TAG	DESCRIPTION
AS-1	ASPHALT SHINGLES: TIMBERLINE HD, COLOR: WEATHERED WOOD
BK-1	BRICK: INTERSTATE BRICK BY BASALITE, COLOR: ALMOND
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EIFS-2	EIFS: DRYVIT, INSULATION, FINISH: SANDPEBBLE DPR, COLOR: #139 ADOBE ACCENT
EIFS-3	EIFS: DRYVIT, INSULATION, FINISH: SANDPEBBLE DPR, COLOR: #622B GRAY FLANNEL
GL-1	BLACK STOREFRONT WITH CLEAR GLASS
GU-1	PRE FINISHED ALUM GUTTER AND DOWNSPOUTS, COLOR: TO MATCH PM-1
PM-1	PRE FINISHED METAL TRIM AND FLASHING: PAC-CLAD, COLOR: GRANITE
SD-1	FIBER CEMENT SIDING: NICHHA VINTAGE WOOD, COLOR: CEDAR #EPC762F. TRIM TO MATCH CEDAR PANEL COLOR.
SP-1	SPANDREL GLASS, STANDARD COLOR:TBD
ST-1	STONE: CULTURED STONE, DRYSTACK LEDGESTONE, COLOR: CHARDONNAY
ST-2	STONE SILL: READING ROCK, ROCKCAST, SMOOTH, COLOR: CREAM BUFF
WN-1	VINYL WINDOWS, COLOR: TBD
SFT	VENTED VINYL SOFFIT. STANDARD COLOR TO MATCH BUILDING FASCIA BD. COLOR AS CLOSE AS POSSIBLE
DOOR FRAMES	PAINT BOTH SIDES OF EXTERIOR H.M. DOORS AND FRAMES. COLOR: GREY

NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
 2020 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ute Street, Suite 1500
 Denver, Colorado 80237 (303) 728-2300

NBB
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 DATE: 05/07/2021

LOT 6 PARKER AND PINE FILING 1
 PARKER, CO
 EVERBROOK ACADEMY SITE PLAN
 ARCHITECTURAL MATERIALS BOARD

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Kimley»Horn
 Kimley-Horn and Associates, Inc.

PROJECT NO.
 096895001
 DRAWING NAME

