



## Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

### MEMORANDUM

**TO:** Allison Morgan, Caprei  
Craig Eisenberg

**FROM:** Krista Flynt, Planner 1

**DATE:** June 7, 2021

**SUBJECT:** SP20-131 Site Plan – Planning Review 2

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

**TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER:** Krista Flynt  
**EMAIL:** [kflynt@parkeronline.org](mailto:kflynt@parkeronline.org)  
**PHONE:** 303.805.3331

#### GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards (DDS). Copies of these documents are available at:  
[Parker 2035 Master Plan](#)  
[Development Design Standards](#)  
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. If any comments in the redline file are unclear you may ask staff for an example of what they are looking for.
6. Due to the large amount of missing information. The second review will contain many new comments to address that are not contained in this review.
7. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**

### Site Plan and Project Details

1. All site plan comments from the planning department are included in the attached site plan redlines.

Comment Addressed:  Yes  No  
Response:

Acknowledged.

2. In your next submittal include your playground plans in with your site plan set, as well as all additional sheets requested by planning staff in the redline comments (like trash enclosure fence elevations, etc.) Please include all in ONE PDF document labeled "Site plan set V3."

Comment Addressed:  Yes  No  
Response:

Playground is shown on the Playground Equipment Detail / Sheet 10Site Plan. One PDF has been created and is labeled "Site Plan Set V3"

3. Please ensure that your file names are labeled clearly, and not all titled KH comment responses, and who you are responding to in the file name.

Comment Addressed:  Yes  No  
Response:

File names have been changed to be more descriptive.

4. Respond to ALL comments in greenline comment response. Do not respond "See revised sheet." This ensures that all comments are reviewed and none are missed, as many in Comment 1 were left unaddressed.

Comment Addressed:  Yes  No  
Response:

Acknowledged. Greenline responses will be more detailed.

### OUTSIDE REFERRAL AGENCY COMMENTS

Please address all outside referral agency comments with a written response. The following agencies have provided comments for review:

- Town of Parker Environmental –
  - Construction Plans
- Town of Parker Stormwater –

- Construction Plans
- Drainage Report
- Town of Parker Civil –
  - Construction Plans #
  - Site Plan #
- Town of Parker – Fire Life Safety
- IREA
- Parker Water and Sanitation
- Public Service Company of Colorado

# Please keep an eye out in eTRAKiT for the comment to the following reviews:

These comments are available on eTRAKiT. Please address accordingly.

Comment(s) Addressed:  Yes  No

Response:

Acknowledged.

\_\_\_\_\_  
Property Owner

\_\_\_\_\_  
Date

Dan Skeeahan, P.E.

6/29/2021

\_\_\_\_\_  
Project Representative

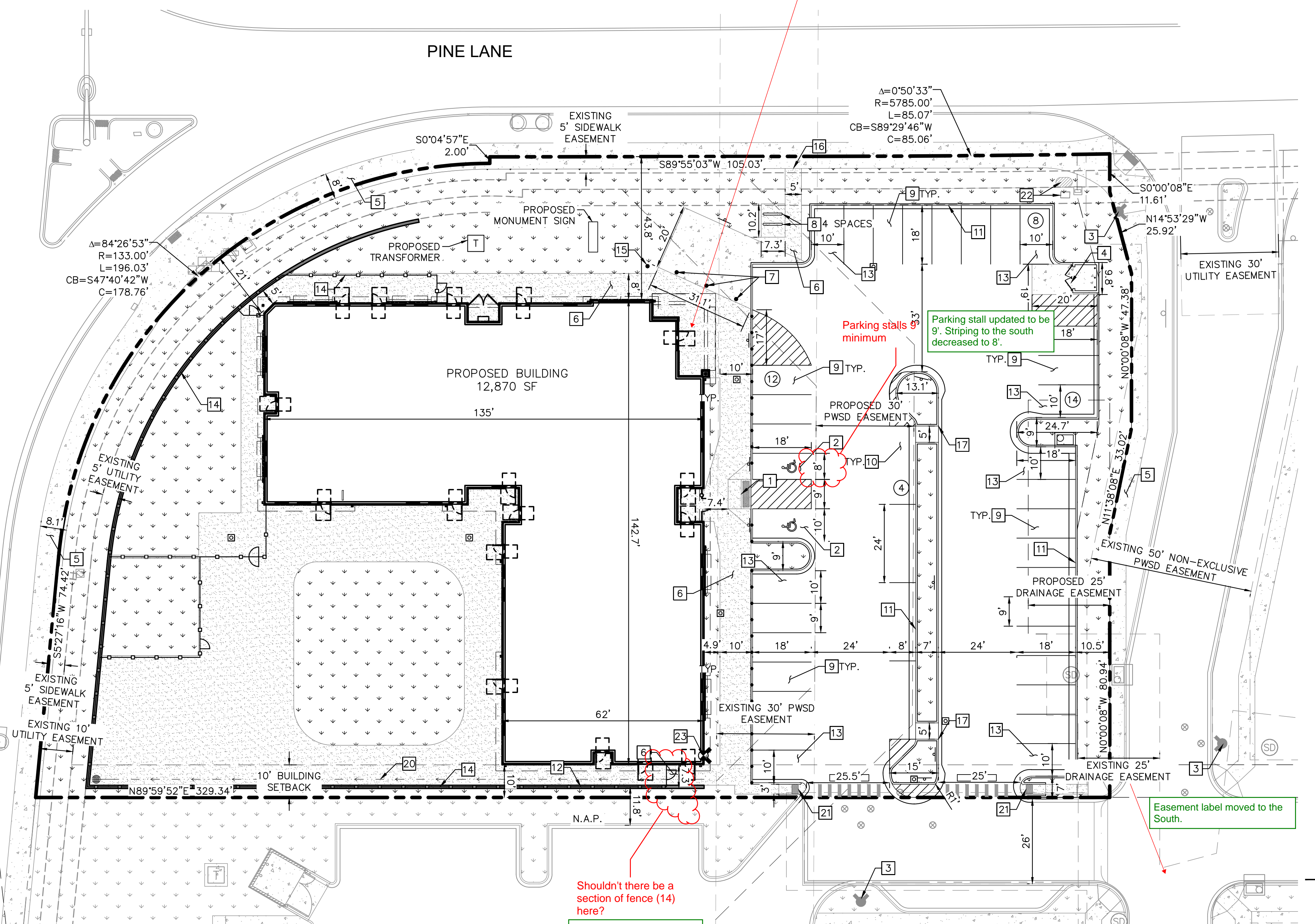
\_\_\_\_\_  
Date





K:\DEV\_CAD\096895001 - Lot 6, Parker, CO\096895001.dwg, New from: Mr. [Name], [Address], [City], [State], [Zip]. THE DOCUMENT CONTAINS UNRECORDED CHANGES AND DESIGNS. IT IS THE USER'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE INFORMATION FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELEASE OF THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

TWENTY MILE ROAD

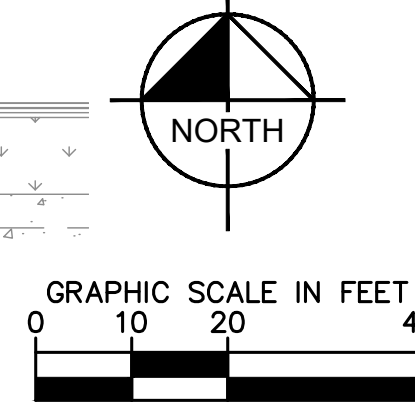


**LEGEND**

	PROPERTY LINE
	EASEMENT BOUNDARY
	STANDARD DUTY ASPHALT PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	PROPOSED STRIPING
	PARKING COUNT
	EXISTING FIRE HYDRANT
	PROPOSED STORM INLET
	PROPOSED RETAINING WALL AND FENCE
	FDC
	PROPOSED SIGN

- KEY NOTES**
- 1 ADA ACCESSIBLE SIDEWALK RAMP.
  - 2 ADA PARKING STALLS.
  - 3 EXISTING FIRE HYDRANT.
  - 4 TRASH ENCLOSURE. REFER TO ARCH PLANS.
  - 5 EXISTING CONCRETE SIDEWALK, SIZE PER PLAN.
  - 6 CONCRETE SIDEWALK, SIZE PER PLAN.
  - 7 PROPOSED REMOVABLE BOLLARDS.
  - 8 BIKE RACK.
  - 9 STANDARD 9'X18' PARKING STALL.
  - 10 STANDARD 8'X24' PARALLEL PARKING SPACE.
  - 11 18" CURB AND GUTTER.
  - 12 RETAINING WALL WITH FENCE SEE SHEET 04 FOR GRADING INFORMATION AND 11 FOR ARCH PLANS DETAILS.
  - 13 ISLAND ADJACENT 10'X18' PARKING STALL.
  - 14 METAL ORNAMENTAL FENCE. REFER TO ARCH PLANS.
  - 15 FLAG POLE. REFER TO ARCH PLANS.
  - 16 5' WIDE PEDESTRIAN CONNECTION.
  - 17 2' WIDE CURB CUT.
  - 18 6" CURB AND INTEGRAL SIDEWALK.
  - 19 BOLLARDS @ 5' O.C. REFER TO ARCH PLANS.
  - 20 CONCRETE CHANNEL. SEE SHEET C6.1 FOR CHANNEL DETAIL.
  - 21 PROPOSED ADA ACCESSIBLE SIDEWALK RAMP PER TOWN OF PARKER STD DETAIL 18.
  - 22 EXISTING ELECTRICAL EQUIPMENT
  - 23 PROPOSED FIRE DEPARTMENT CONNECTION

- NOTES:**
1. ALL LIGHTING ON-SITE, EXTERIOR, UNROOFED LIGHTING SHALL CONFORM TO THE TOWN'S LIGHTING STANDARDS.
  2. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM A PUBLIC RIGHT OF WAY.
  3. LOCATION OF TRASH RECEPTACLES SHALL BE SCREENED BY A SOLID SCREEN FENCE SURROUNDING AT LEAST 3 SIDES OF THE CONTAINER.
  4. ALL DIMENSIONS AND RADII ARE TO FLOWLINE OF CURB AND GUTTER UNLESS OTHERWISE NOTED.
  5. REFER TO SITE ELECTRICAL PLANS FOR LIGHT POLE LOCATIONS.



NO.	REVISION	BY	DATE	APPR

**Kimley»Horn**  
 2021 KIMLEY-HORN AND ASSOCIATES, INC.  
 4582 South South Ulster Street, Suite 1500  
 Denver, Colorado 80237 (303) 728-2300

DESIGNED BY: MCN  
 DRAWN BY: NMH  
 CHECKED BY: DLS  
 DATE: 05/07/2021

**LOT 6 PARKER AND PINE FILING 1**  
 PARKER, CO  
 EVERBROOK ACADEMY SITE PLAN  
 SITE PLAN

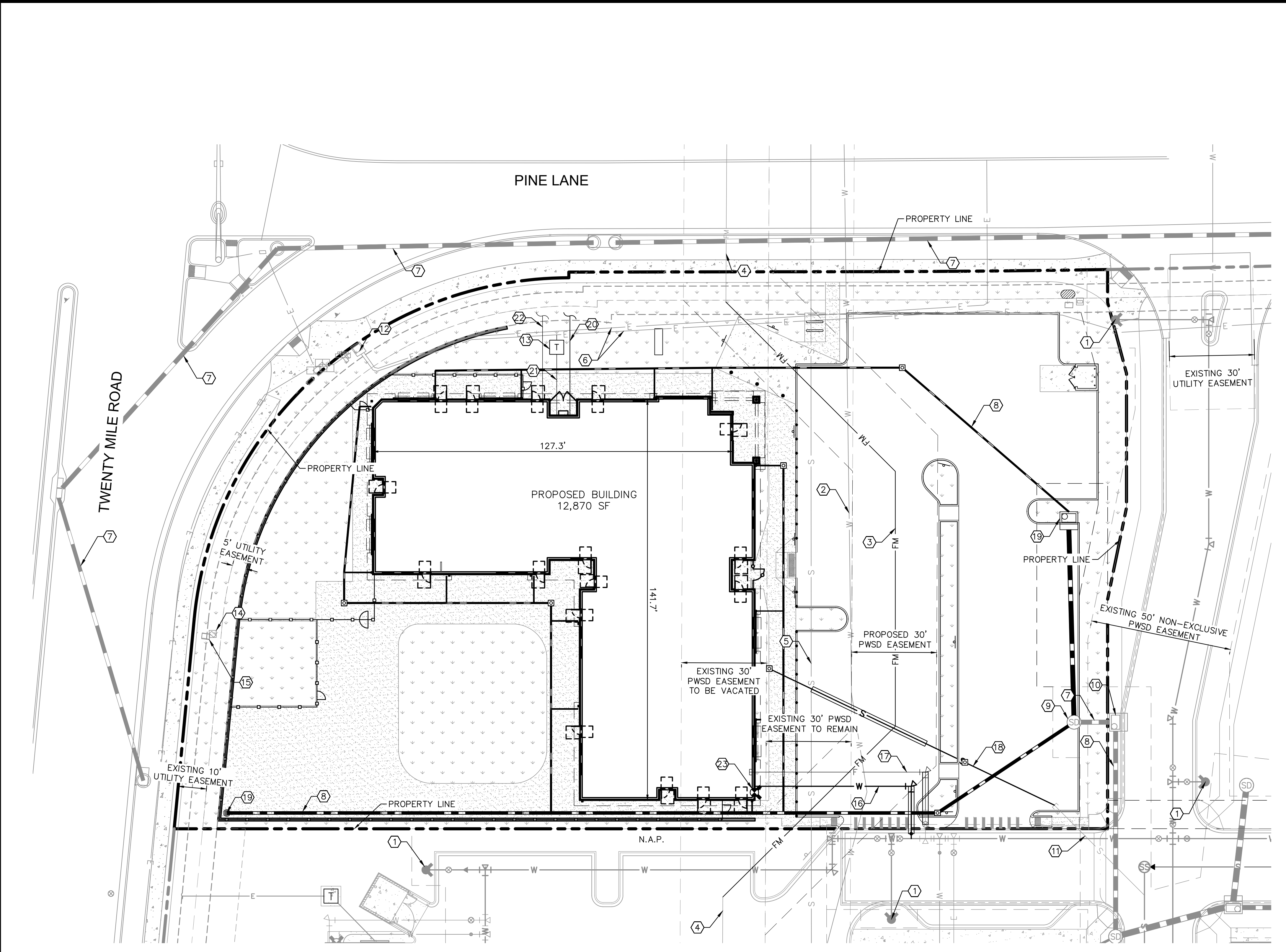
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 NOT FOR  
 CONSTRUCTION  
**Kimley»Horn**  
 Kimley-Horn and Associates, Inc.

PROJECT NO.  
096895001

DRAWING NAME  
096895001SP\_SP



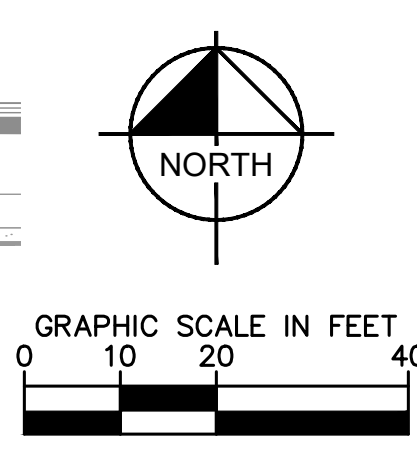
K:\DEV\_C\096895001 - Lot 6, Parker & Pine\CAD\Drawings\096895001 UT.dwg, New York, NY  
 THE DOCUMENT CONTAINS PRELIMINARY CONCEPTS AND DESIGNS. IT IS NOT TO BE USED FOR CONSTRUCTION. THE USER SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



**UTILITY LEGEND**

	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATER LINE
	PROPOSED STORM DRAINAGE LINE
	EXISTING STORM DRAINAGE LINE
	EXISTING GAS LINE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING ELECTRIC LINE
	EXISTING FIRE HYDRANT W/ BOLLARDS
	PROPOSED METER
	EXISTING SANITARY SEWER MANHOLE

- SITE KEYNOTES**
- ① EXISTING FIRE HYDRANT
  - ② EXISTING 20" DIP WATER MAIN
  - ③ PROPOSED 8" C900 PVC EFFLUENT FORCE MAIN
  - ④ EXISTING 8" FORCE MAIN
  - ⑤ EXISTING 27" ACP SANITARY SEWER MAIN
  - ⑥ EXISTING UNDERGROUND ELECTRIC LINE
  - ⑦ EXISTING STORM SEWER MAIN
  - ⑧ PROPOSED STORM SEWER
  - ⑨ EXISTING STORM MANHOLE
  - ⑩ EXISTING STORM INLET
  - ⑪ EXISTING 6" SEWER STUB
  - ⑫ EXISTING ELECTRIC TRANSFORMER
  - ⑬ PROPOSED ELECTRIC TRANSFORMER
  - ⑭ EXISTING TELEPHONE PEDESTAL
  - ⑮ EXISTING ELECTRIC VAULT
  - ⑯ PROPOSED 1.5" DOMESTIC WATER LINE
  - ⑰ PROPOSED 6" FIRE LINE
  - ⑱ PROPOSED 6" SANITARY SEWER LINE @ 1.0% MIN
  - ⑲ PROPOSED STORM INLET
  - ⑳ PROPOSED GAS LINE
  - ㉑ PROPOSED ELECTRIC LINE
  - ㉒ PROPOSED TELEPHONE LINE
  - ㉓ PROPOSED FIRE DEPARTMENT CONNECTION



NO.	REVISION	BY	DATE	APPR

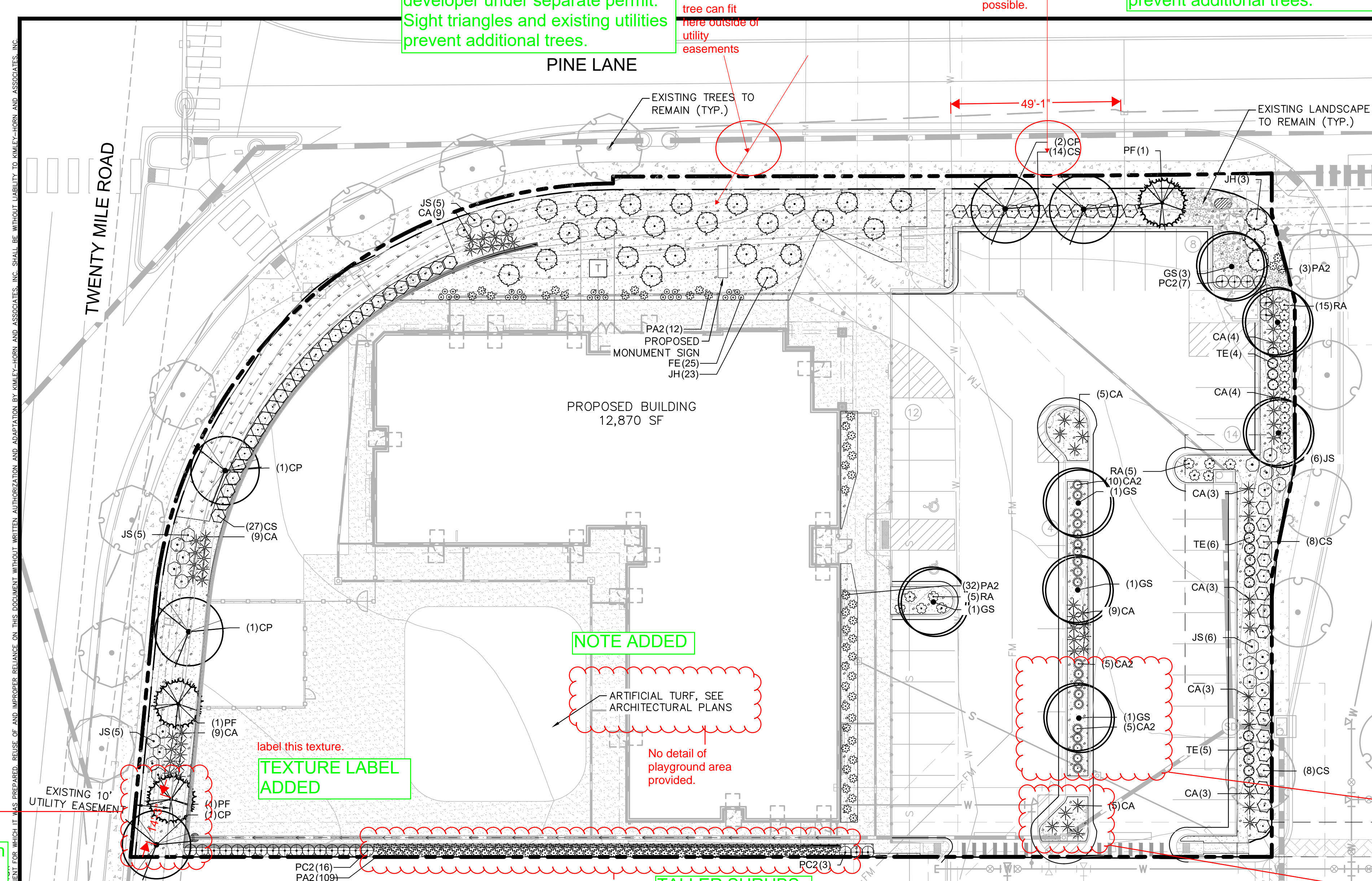
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**LOT 6 PARKER AND PINE FILING 1**  
 PARKER, CO  
 EVERBROOK ACADEMY SITE PLAN  
 UTILITY PLAN

**PRELIMINARY**  
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PROJECT NO.  
096895001  
 DRAWING NAME  
096895001SP\_UT



Street trees provided by Overall developer under separate permit. Sight triangles and existing utilities prevent additional trees.

It appears tree can fit here outside of utility easements. Provide documentation if not possible.

Street trees provided by Overall developer under separate permit. Sight triangles and existing utilities prevent additional trees.

### LANDSCAPE CALCULATIONS

PERIMETER LANDSCAPING	REQUIRED	PROVIDED
ADJACENT NON-RESIDENTIAL: 1 TREE & 5 SHRUBS PER 40 LINEAR FEET	6 TREES + 30 SHRUBS	3 TREES + 88 SHRUBS
ADJACENT RESIDENTIAL: 1 TREE & 5 SHRUBS PER 25 LINEAR FEET	5 TREES + 25 SHRUBS	3 78 SHRUBS
10 SHRUBS MAY BE SUBSTITUTED FOR 1 TREE	9 TREES + 46 SHRUBS	137 SHRUBS
	25 TREES + 126 SHRUBS	5 TREES + 28 SHRUBS
	25 - 50%	6 TREE + 331 SHRUBS (206 SHRUBS SUBSTITUTED FOR 19 REQUIRED TREES)
	40 - 60%	27%
		43%

MINIMUM SITE LANDSCAPING STANDARDS	REQUIRED	PROVIDED
1 TREE & 5 SHRUBS PER 162 SF ISLAND	7 TREES & 35 SHRUBS	7 TREES & 35 SHRUBS
1 SHRUB PER ADDITIONAL 15 SF		

PERCENTAGE OF TREES TO BE EVERGREEN*	REQUIRED	PROVIDED
240 LF NORTH PERIMETER	6 TREES + 30 SHRUBS	3 TREES + 88 SHRUBS
183 LF EAST PERIMETER	5 TREES + 25 SHRUBS	3 78 SHRUBS
234 LF SOUTH PERIMETER	9 TREES + 46 SHRUBS	137 SHRUBS
217 LF WEST PERIMETER	25 TREES + 126 SHRUBS	5 TREES + 28 SHRUBS
REINSTATE TOTAL	25 - 50%	6 TREE + 331 SHRUBS (206 SHRUBS SUBSTITUTED FOR 19 REQUIRED TREES)
OVERALL % OF TREES TO BE EVERGREEN*	40 - 60%	27%
		43%

PARKING LOT LANDSCAPING	REQUIRED	PROVIDED
1 TREE & 5 SHRUBS PER 162 SF ISLAND	7 TREES & 35 SHRUBS	7 TREES & 35 SHRUBS
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FACADE NOTES PROVIDED

Label what is adjacent to for each facade.

MANY OF THE ISLANDS CANNOT HOLD TREES DUE TO UTILITY CONFLICTS. TREES PLACED WITHIN LANDSCAPE MEDIAN FOR PARKING LOT COVERAGE WITHOUT UT CONFLICTS

PERCENTAGE UPDATED

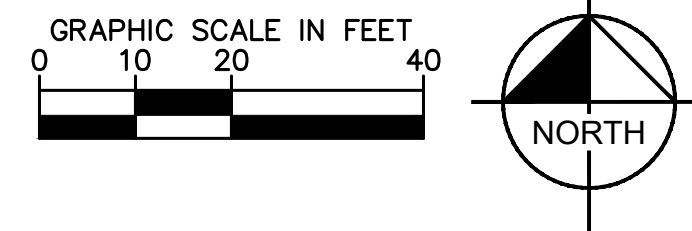
CALCULATION UPDATED

ACKNOWLEDGED AND CONFIRMED

TREE CAN NOT BE PLACED HERE DUE TO UTILITY CONFLICTS (STORM PIPE)

### PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	MATURE HT.	VERY LOW	LOW	MEDIUM	HIGH
	CP	5	CELTIS OCCIDENTALIS 'PRAIRIE PRIDE'	PRAIRIE PRIDE COMMON HACKBERRY	B & B	2" CAL MIN	12'-14' HT MIN	50' HT X 40' SPRD.		X		
	GS	7	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' TM	SHADEMASTER LOCUST	B & B	2" CAL MIN	10' - 12' HT. MIN.	45' HT X 40' SPRD.		X		
	PF	3	PICEA PUNGENS 'FAT ALBERT'	COLORADO SPRUCE	B & B		6' HT MIN	40' HT X 20' SPRD.			X	
	CA2	20	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	5 GAL	SEE PLAN	24" HT MIN	3-5' HT.		X		
	CA	66	CORNUS SERICEA 'ARCTIC FIRE'	ARCTIC FIRE DOGWOOD	5 GAL	SEE PLAN	24" FULL	3-4' HT.			X	
	CS	57	CYTISUS PURGANS 'SPANISH GOLD'	SPANISH GOLD BROOM	5 GAL	SEE PLAN	24" FULL	3-4' HT.		X		
	FE	25	FESTUCA GLAUCA 'ELIJAH BLUE'	BLUE FESCUE	1 GAL	SEE PLAN	12" HT MIN	8-12" HT.		X		
	JH	26	JUNIPERUS HORIZONTALIS	CREeping JUNIPER	5 GAL	SEE PLAN	36" SPRD MIN	5-1.5' HT.		X		
	JS	27	JUNIPERUS SABINA	SAVIN JUNIPER	5 GAL	SEE PLAN	24" FULL	4-6' HT.		X		
	PA2	156	PEROVSKIA X 'LITTLE SPIRE'	LITTLE SPIRE RUSSIAN SAGE	5 GAL	SEE PLAN	18" FULL	3-4' HT.		X		
	PC2	26	PINUS MUGO 'COMPACTA'	DWARF MUGO PINE	5 GAL	SEE PLAN	24" FULL	3-5' HT.		X		
	RA	25	RIBES ALPINUM 'GREEN MOUND'	GREEN MOUND ALPINE CURRANT	5 GAL	SEE PLAN	18" FULL	2-3' HT.			X	
	TE	15	THUJA OCCIDENTALIS 'EMERALD'	EMERALD ARBORVITAE	5 GAL	SEE PLAN	18" FULL	15' HT.			X	
	KB	1,156 SF	KEN-TEX BLUEGRASS	KEN-TEX BLUEGRASS	SOD						X	
	R	10,671 SF	ROCK MULCH	2"-6" RIVER ROCK MULCH								



**Kimley**  
 2021 KIMLEY-HORN AND ASSOCIATES, INC.  
 4582 South Smith Street, Suite 200  
 Denver, Colorado 80237 (303) 721-1111

DESIGNED BY: MCN  
 DRAWN BY: NMH  
 CHECKED BY: DLS  
 DATE: 05/07/2021

LOT 6 PARKER AND PINE FILING 1  
 PARKER, CO  
 EVERBROOK ACADEMY SITE PLAN  
 LANDSCAPE PLAN

PRELIMINARY  
 FOR REVIEW ONLY  
 NOT FOR CONSTRUCTION  
 KimleyHorn  
 Kimley-Horn and Associates, Inc.

PROJECT NO.  
 096895001

DRAWING NAME  
 096895001SP\_LA

06 OF 15

NO.	REVISION	BY	DATE	APPR

Spacing between trees increased

TEXTURE LABEL ADDED

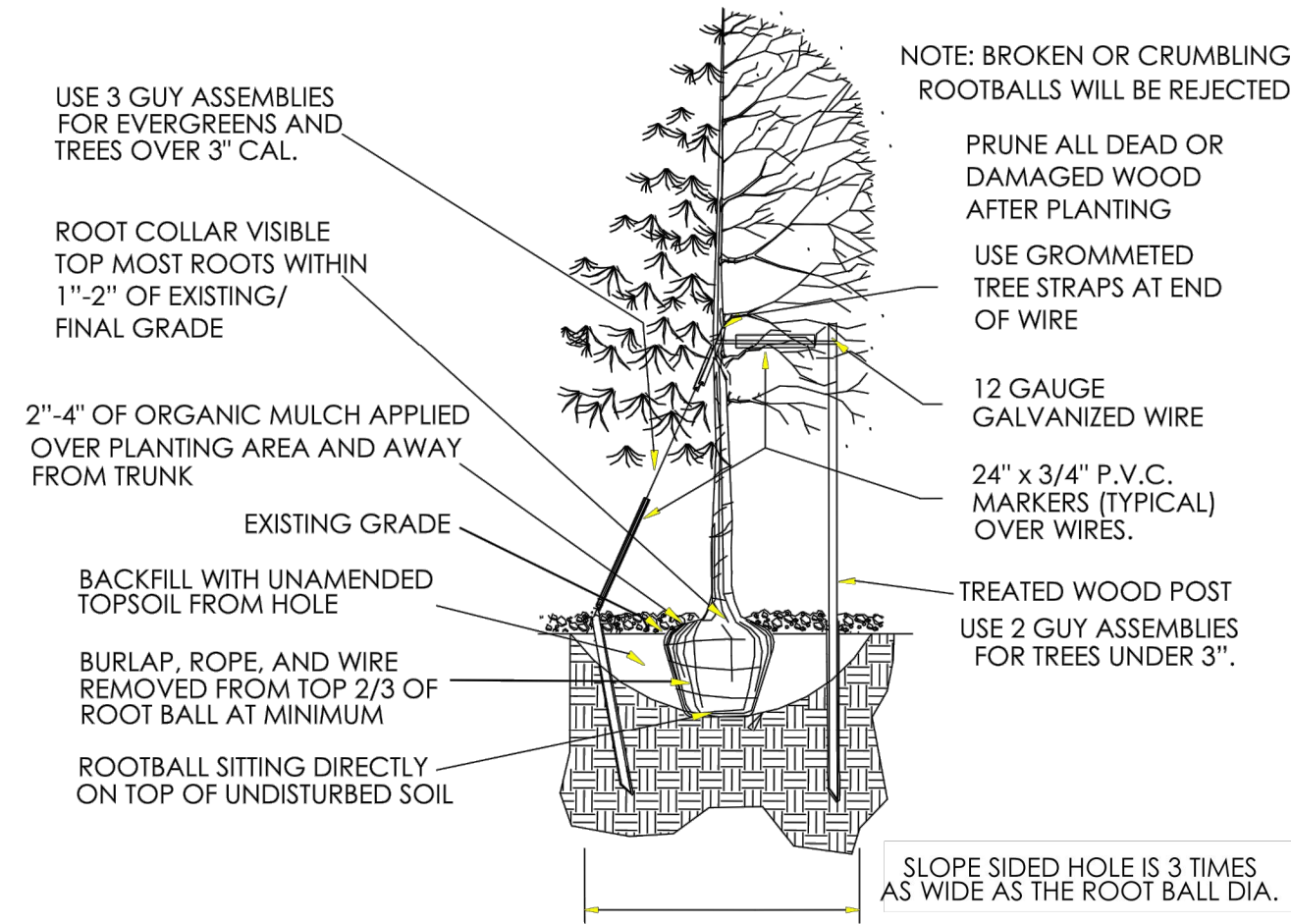
NOTE ADDED

TALLER SHRUBS ADDED

SPREAD PROVIDED

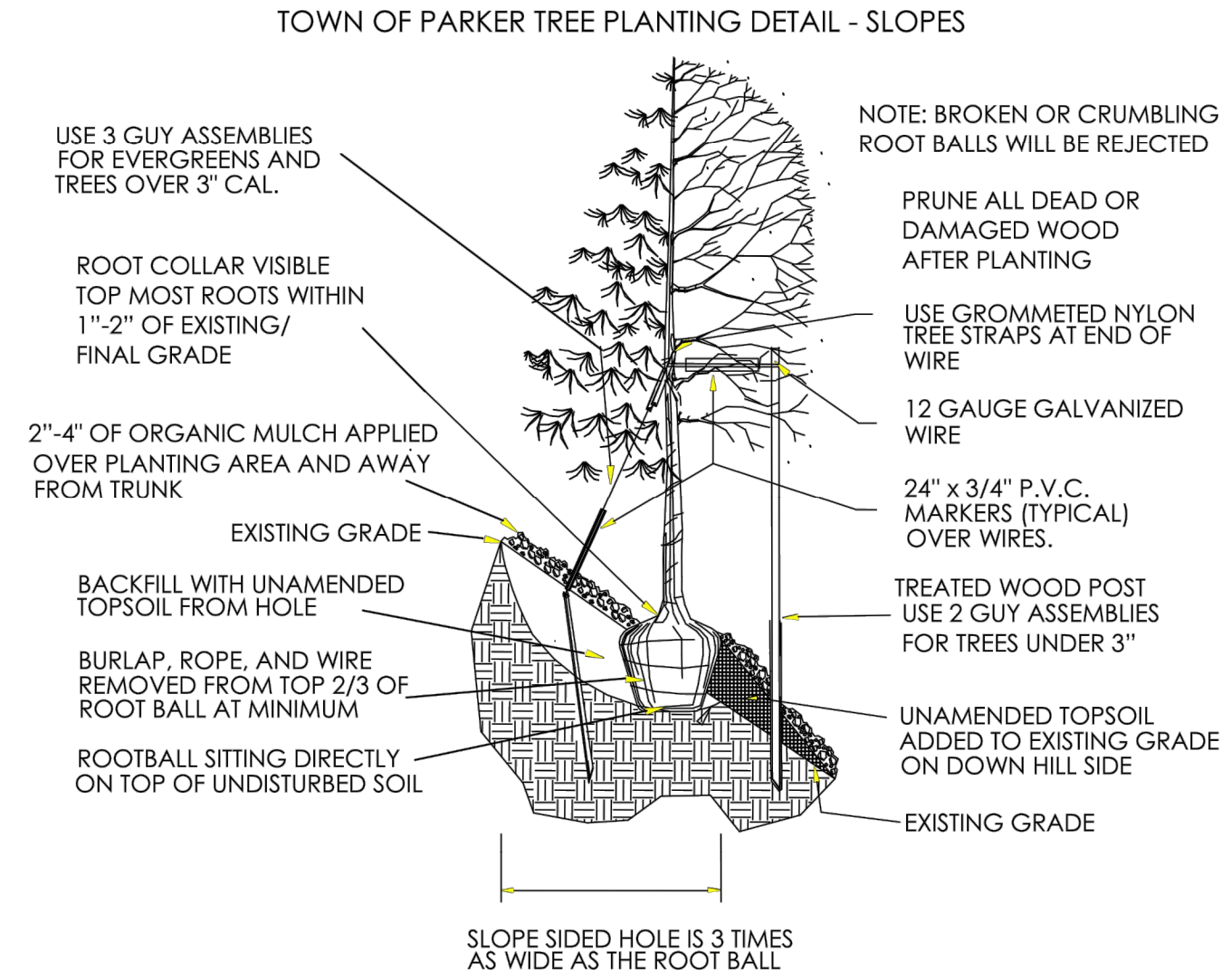
K:\DEN\_Civil\096895001 - Lot 6 Parker & Pine CADD\PlanSheets\096895001SP\_LA.dwg - Newstcom, Max  
 THIS DOCUMENT, TOGETHER WITH THE CONCEPT AND DESIGN PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE PROVIDED ONLY FOR THE SPECIFIC SERVICE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

**TOWN OF PARKER PLANTING STANDARDS**

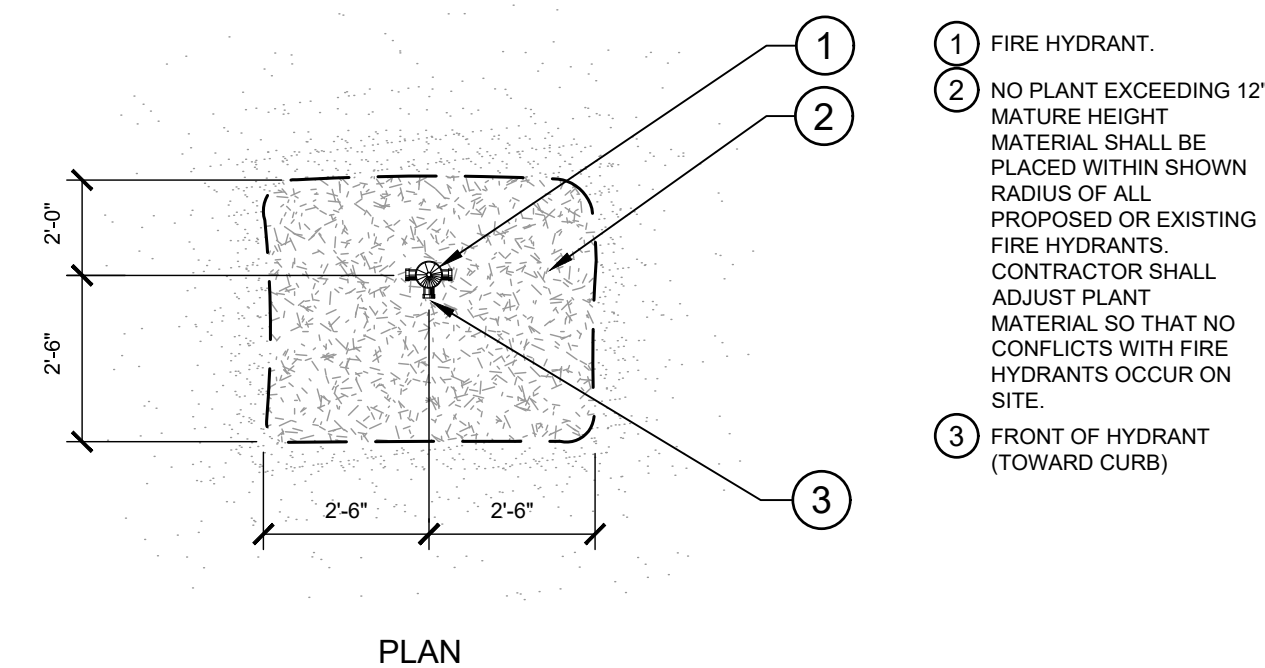
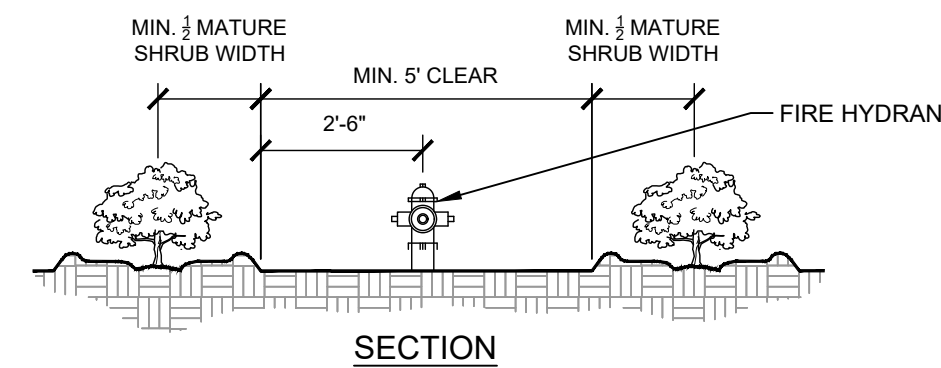
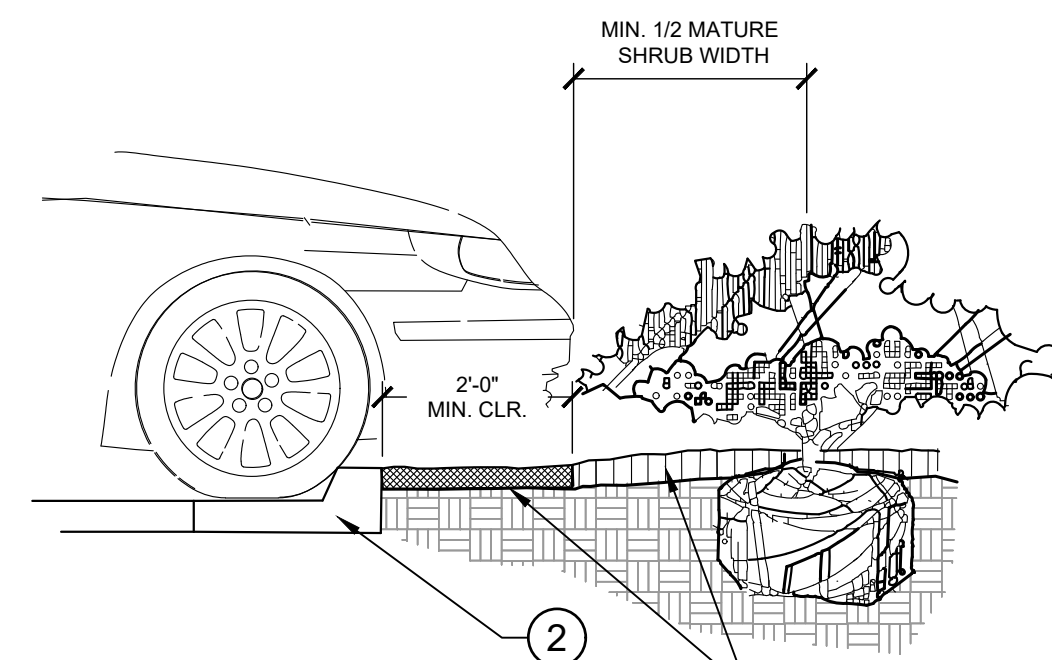
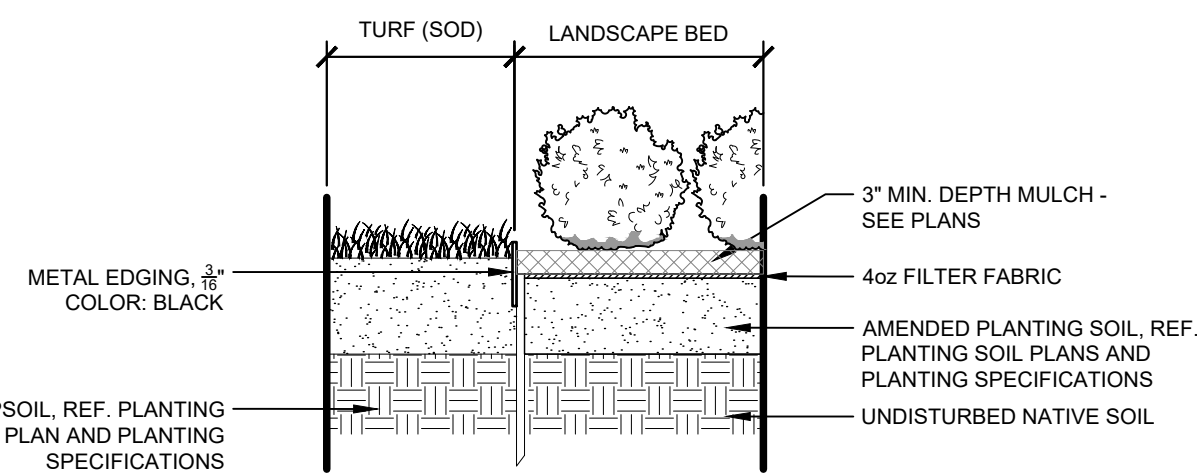
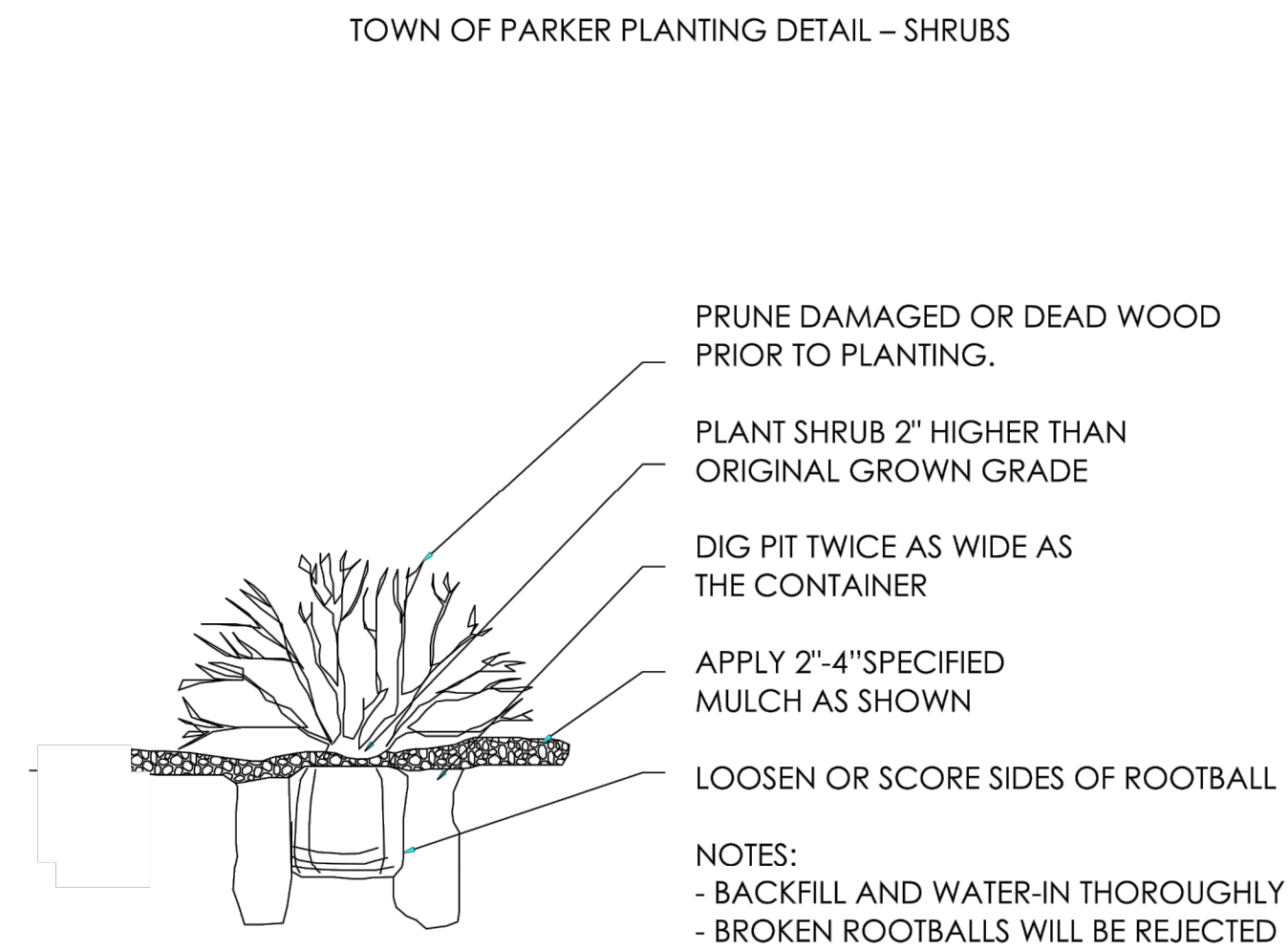


- Excavate planting holes with sloping sides. Make excavations at least three times as wide as the root ball diameter and no deeper than the distance from the top most roots in the root ball to the bottom of the root ball to allow for settling. Do not disturb soil at bottom of planting holes, but do score the sides of the planting hole. The planting area shall be loosened and aerated at least three times the diameter of the root ball. Backfill shall consist of existing on site topsoil – no amendments shall be used unless otherwise specified.
- Trees shall be planted with the root collar/flare visible above grade AND two or more structural roots located within the top 1" to 2" of the root ball/finished grade measured 3" to 4" from trunk. This includes trees that are set on slopes (see slope planting detail). Trees that do not have a visible root collar shall be rejected. Do not cover the root ball with soil.
- When root ball will remain intact, cut off bottom 1/4 of wire basket before placing tree in hole, cut off remainder of basket AFTER tree is set in hole, remove basket completely. At a minimum, the top 2/3 of the burlap and basket shall be removed from the root ball on all trees. Remove all nylon ties, twine, rope and burlap. Remove unnecessary packing material.
- Form soil into a 3" to 5" tall watering ring (saucer) around planting area. This is not necessary in irrigated turf areas. Apply 2" to 4" depth of specified mulch over planting area and inside saucers, away from trunk.
- Staking and guying of trees is optional in most planting situations. In areas of extreme winds, or on steep slopes, staking may be required to stabilize trees. Staking and guying must be removed within 1 year of planting date.
- Tree wrap is *not* to be used on any new plantings, except in late fall planting situations, and only then after consultation with the Town Arborist.
- Resetting of improperly planted trees will only be allowed if it is determined that doing so will in no way compromise the root ball, and shall only be done with approval of the Town Arborist.

**TOWN OF PARKER PLANTING STANDARDS**



**TOWN OF PARKER PLANTING STANDARDS**



**TOWN OF PARKER LANDSCAPE MAINTENANCE NOTES**

- ALL PLANTINGS SHALL BE MAINTAINED IN A HEALTHY AND ATTRACTIVE MANNER, AS DETERMINED BY THE TOWN. MAINTENANCE SHALL BE CONDUCTED BY THE PROPERTY OWNER OF RECORD, THE PROPERTY OWNER'S AGENT OR TENANT OR A HOMEOWNERS ASSOCIATION WHICH HAS ASSUMED LANDSCAPE MAINTENANCE RESPONSIBILITY.
- ALL ORNAMENTAL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS, AND LITTER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, WATERING, FERTILIZING, WEEDING, CLEANING, MOWING, EDGING, BALDING, PRUNING, TRIMMING, SPRAYING, CULTIVATING, OR OTHER MAINTENANCE AS DEEMED AND IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. AREAS OF NATIVE OR NATURALIZED LANDSCAPE ARE EXEMPT FROM THIS LEVEL OF MAINTENANCE. ACCEPTABLE MAINTENANCE OF NATIVE PLANTS INCLUDES, BUT IS NOT LIMITED TO, REMOVAL OF DEAD OR DISEASED PLANTS, WEED CONTROL, AND SEASONAL MOWING.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OF THEIR DEATH, UNLESS SEASONAL CONDITIONS PROHIBIT REMOVAL AND REPLACEMENT. IN SUCH CASE, THE REMOVAL AND REPLACEMENT SHALL OCCUR WITHIN A REASONABLE PERIOD OF TIME APPROVED BY THE TOWN.
- NON-LIVING LANDSCAPE MATERIALS SUCH AS ROCK, STONE, BARK CHIPS AND SHAVINGS WHICH NO LONGER COVER THE AREA IN WHICH THEY WERE ORIGINALLY DEPOSITED SHALL BE REGULARLY REPLENISHED TO MAINTAIN THE FULL COVERAGE TO A MINIMUM DEPTH OF THREE (3) INCHES FOR ROCK, MULCHES AND FOUR (4) INCHES FOR WOOD MULCH.
- LANDSCAPING STRUCTURAL FEATURES (E.G. FENCING, WALLS, PLANTER BOXES) AND SITE FINISHINGS SHALL BE MAINTAINED IN A SOUND, STRUCTURAL AND ATTRACTIVE CONDITION. IRRIGATION SYSTEMS ARE TO BE MONITORED AND ADJUSTED PERIODICALLY TO ENSURE THAT THE WATER DEMANDS OF ALL PLANT MATERIALS ARE MET.
- IRRIGATION SYSTEM REPAIRS SHALL BE MADE WITHIN SEVEN (7) DAYS OF DISCOVERY OF DAMAGE UNLESS SEASONAL CONDITIONS PROHIBIT REPAIRS.
- LANDSCAPE AREAS SHALL BE FREE FROM TRASH AND DEBRIS.
- FAILURE TO BEREADE DEAD LANDSCAPE MATERIALS WITHIN A REASONABLE PERIOD OF TIME, AS SPECIFIED IN PARAGRAPH (2) ABOVE, SHALL BE CONSIDERED A VIOLATION OF THE SITE PLAN APPROVAL AND IS SUBJECT TO ENFORCEMENT AND PENALTY PROVISIONS OF THIS TITLE.

4 METAL EDGER AT PLANTING BED

1" = 1"  
 096-895-001-21

5 PARKING SPACE/CURB PLANTING SECTION

NTS

6 SHRUB PLANTING AT FIRE HYDRANT SECTION / PLAN

NTS

NO.	REVISION	BY	DATE	APPRO

**Kimley»Horn**  
 2021 KIMLEY-HORN AND ASSOCIATES, INC.  
 4582 South Smith Street, Suite 1500  
 Denver, Colorado 80237 (303) 728-2300

DESIGNED BY: MCN  
 DRAWN BY: NMH  
 CHECKED BY: DLS  
 DATE: 05/07/2021

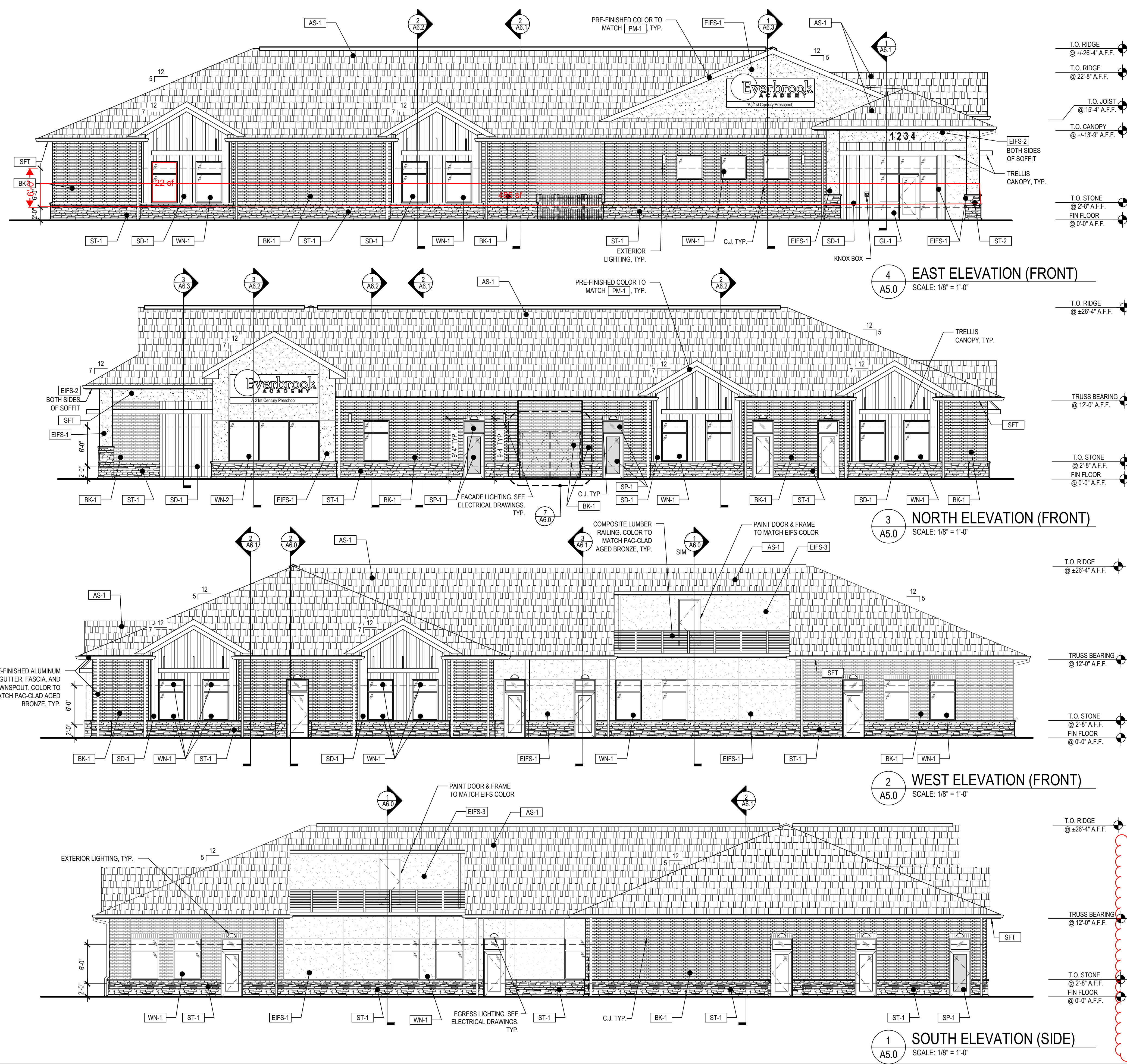
**LOT 6 PARKER AND PINE FILING 1**  
 PARKER, CO  
 EVERBROOK ACADEMY SITE PLAN  
 LANDSCAPE DETAILS

PRELIMINARY  
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 CONSTRUCTION  
**Kimley»Horn**  
 Kimley-Horn and Associates, Inc.

PROJECT NO.  
 096895001  
 DRAWING NAME  
 096895001SP\_LA



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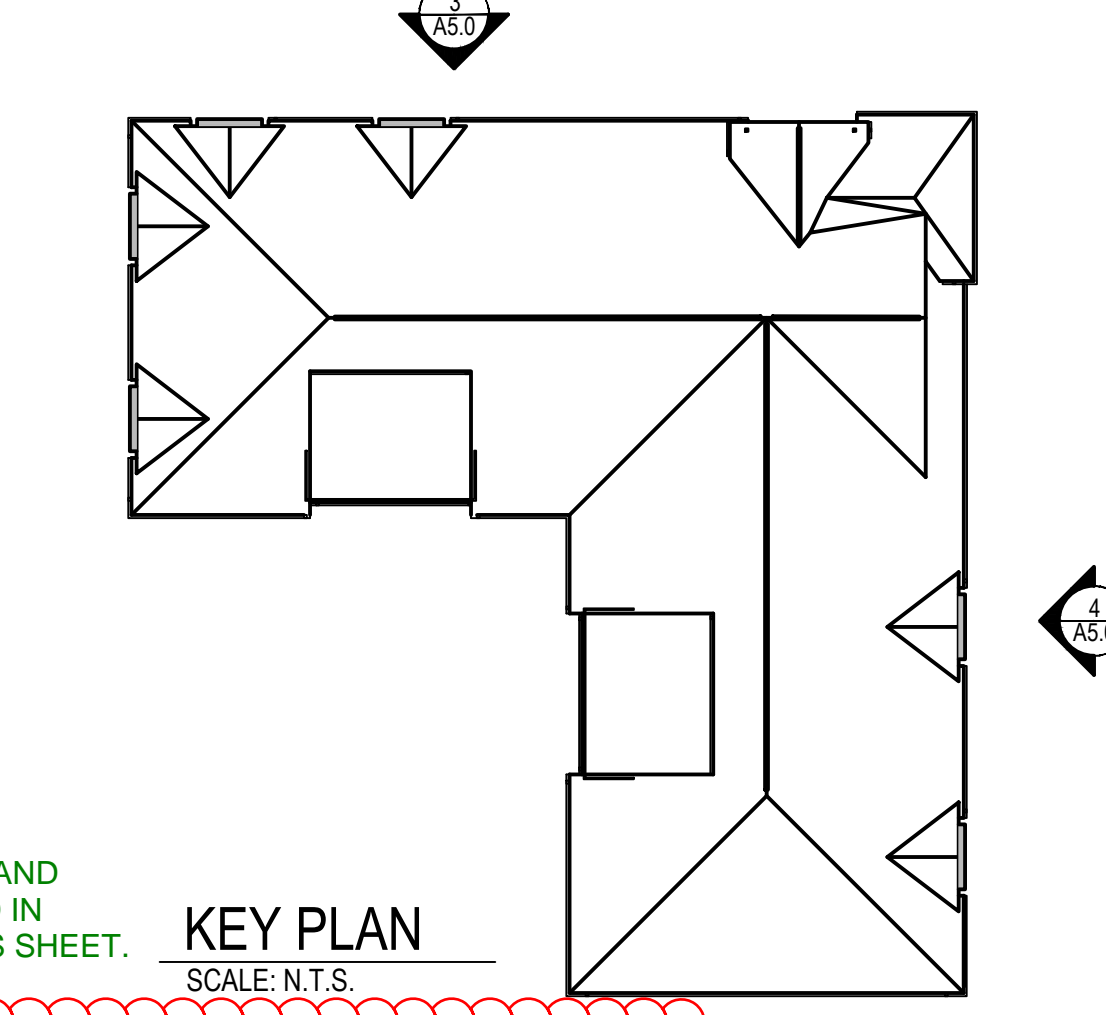


### EXTERIOR ELEVATIONS GENERAL NOTES

- ALL MATERIALS NOT LABELED ARE TYPICAL FOR ALL SIMILAR LOCATIONS. QUESTIONS SHALL BE REFERRED TO THE ARCHITECT.
- EIFS SHALL BE DRYVIT, COMMERCIAL GRADE AS FOLLOWS: GENESIS BASE COAT, REINFORCING MESH BASE & FINISH COATS SHALL BE PROVIDED OVER MINIMUM 1" EPS INSULATION BOARD, MECHANICALLY FASTENED OVER DRAINAGE MAT & WEATHER RESISTIVE BARRIER OVER EXTERIOR SHEATHING.
- ALL EIFS SHALL BE INSTALLED AS PER MFR'S RECOMMENDATIONS, INCLUDING ALL SEALANT, FLASHING, AND JOINERY AT DISSIMILAR MATERIALS. PROVIDE PANZER 20 REINFORCING MESH TO 8'-0" A.F.F. (TYP.)
- PROVIDE BLOCKING IN FACADE TO SUPPORT ALL BUILDING SIGNAGE.
- REFER TO ELECTRICAL DRAWINGS FOR LIGHTING INFORMATION.

### EXTERIOR FINISH LEGEND

TAG	DESCRIPTION
AS-1	ASPHALT SHINGLES: TIMBERLINE HD, COLOR: WEATHERED WOOD
BK-1	BRICK: INSTATE BRICK BY BASALITE, COLOR: ALMOND
EIFS-1	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #110 VANDYKE
EIFS-2	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #139 ADOBE ACCENT
EIFS-3	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #622B GRAY FLANNEL
GL-1	BLACK STOREFRONT WITH CLEAR GLASS
GU-1	PRE FINISHED ALUM GUTTER AND DOWNSPOUTS, COLOR: TO MATCH PM-1
PM-1	PRE FINISHED METAL TRIM AND FLASHING: PAC-CLAD, COLOR: GRANITE
SD-1	FIBER CEMENT SIDING: NICHIA VINTAGE WOOD, COLOR: CEDAR #PC26ZF, TRIM TO MATCH CEDAR PANEL COLOR.
SP-1	SPANDREL GLASS, STANDARD COLOR: TBD
ST-1	STONE: CULTURED STONE, DRystack LEDGESTONE, COLOR: CHARDONNAY
ST-2	STONE SILL: READING ROCK, ROCKCAST, SMOOTH, COLOR: CREAM BUFF
WN-1	VINYL WINDOWS, COLOR: TBD
SFT	VENTED VINYL SOFFIT, STANDARD COLOR TO MATCH BUILDING FASCIA BD. COLOR AS CLOSE AS POSSIBLE
DOOR FRAMES	PAINT BOTH SIDES OF EXTERIOR H.M. DOORS AND FRAMES. COLOR: GREY



**RESPONSE: SHEET WAS DELETED AND CHART WAS INCLUDED IN COLORED ELEVATIONS SHEET.**

MATERIAL CALCULATIONS			TRANSPARENCY AREA			
Elevation	Sq. Ft.	Percentage	Elevation	Sq. Ft.	Percentage	
East Elevation	Brick & Stone	1,366	68%	Transparency Area	852	
	EIFS	341	17%	Glazing provided	172	20%
	Composite Wood	308	15%	Add'l Glazing outside req'd zone	80	9%
	<b>Total</b>	<b>2,015</b>	<b>100%</b>	<b>Total Glazing</b>	<b>252</b>	<b>30%</b>
North Elevation	Brick & Stone	1,202	65%	Transparency Area	817	
	EIFS	339	18%	Glazing provided	204	25%
	Fiber cement boards	308	17%	Add'l Glazing outside req'd zone	43	5%
	<b>Total</b>	<b>1,849</b>	<b>100%</b>	<b>Total Glazing</b>	<b>247</b>	<b>30%</b>
West Elevation	Brick & Stone	1,274	69%	Transparency Area	853	
	EIFS	598	30%	Glazing provided	216	25%
	Composite Wood	120	6%	Add'l Glazing outside req'd zone	51	6%
	<b>Total</b>	<b>1,992</b>	<b>100%</b>	<b>Total Glazing</b>	<b>267</b>	<b>31%</b>
South Elevation	Brick & Stone	1,274	69%	Transparency Area	807	
	EIFS	598	30%	Glazing provided	158	20%
	Composite Wood	120	6%	Add'l Glazing outside req'd zone	42	5%
	<b>Total</b>	<b>1,992</b>	<b>100%</b>	<b>Total Glazing</b>	<b>200</b>	<b>25%</b>

**RESPONSE: ADD ROW FOR REQUIRED TRANSPARENCY. SEE REVISED COLORED ELEVATIONS SHEET**

DATE: 05/07/2021  
 BY: NBB  
 REVISION: NBB  
 NO.: CPH  
 PROJECT NO.: 096895001  
 DRAWING NAME: 09 OF 15

**Kimley»Horn**  
 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
 4582 South Ulster Street, Suite 1500  
 Denver, Colorado 80237 (303) 228-2300

**LOT 6 PARKER AND PINE FILING 1**  
 PARKER, CO  
 EVERBROOK ACADEMY SITE PLAN  
 ARCHITECTURAL ELEVATIONS

Move to next page.  
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M:\Learning\_Care\_Group\20028\_Everbrook-Parker\_CO\02\_SD\_Rendering\Reference\20028\_A5.0\_Exterior\_Elevations.dwg Rachel Hort  
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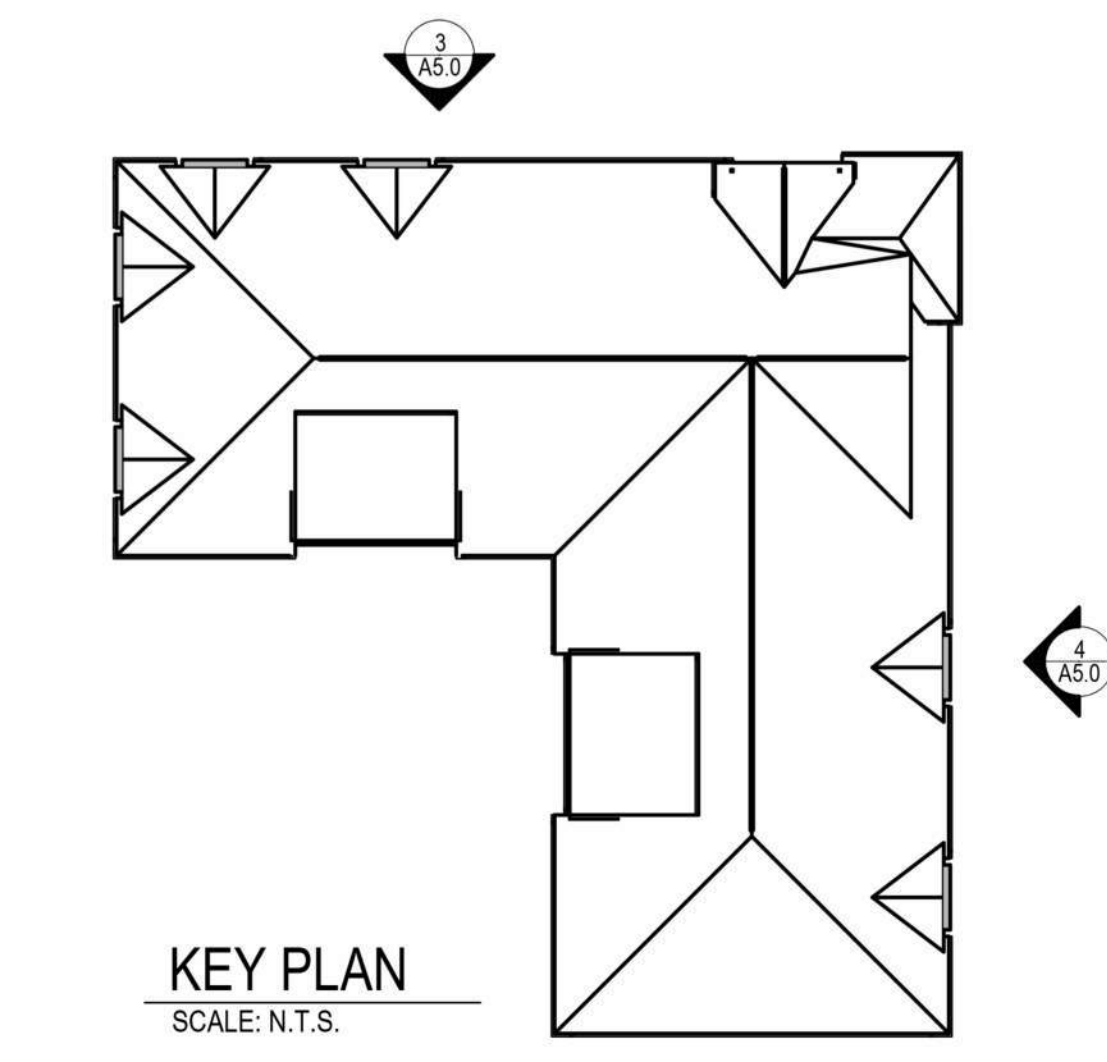


### EXTERIOR ELEVATIONS GENERAL NOTES

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- EIFS SHALL BE DRYVIT, COMMERCIAL GRADE AS FOLLOWS. GENESIS BASE COAT, REINFORCING MESH BASE & FINISH COATS SHALL BE PROVIDED OVER MINIMUM 1" EPS INSULATION BOARD, MECHANICALLY FASTENED OVER DRAINAGE MAT & WEATHER RESISTIVE BARRIER OVER EXTERIOR SHEATHING.
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### EXTERIOR FINISH LEGEND

TAG	DESCRIPTION
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BK-1	BRICK: INTERSTATE BRICK BY BASALITE, COLOR: ALMOND
EIFS-1	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #110 VANDYKE
EIFS-2	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #139 ADOBE ACCENT
EIFS-3	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: TO MATCH SHINGLE ROOF
GL-1	BLACK STOREFRONT WITH CLEAR GLASS
GU-1	PRE FINISHED ALUM GUTTER AND DOWNSPOUTS, COLOR: TO MATCH PM-1
PM-1	PRE FINISHED METAL TRIM AND FLASHING: PAC-CLAD, COLOR: GRANITE
SD-1	FIBER CEMENT SIDING: NICHHA VINTAGE WOOD, COLOR: CEDAR #EPC762F. TRIM TO MATCH CEDAR PANEL COLOR.
SP-1	SPANDREL GLASS, STANDARD COLOR TBD
ST-1	STONE: CULTURED STONE, DRYSTACK LEDGESTONE, COLOR: CHARDONNAY
ST-2	STONE SILL: READING ROCK, ROCKCAST, SMOOTH, COLOR: CREAM BUFF
WN-1	VINYL WINDOWS, COLOR: TBD <b>CHANGED TO GREY</b>
SFT	VENTED VINYL SOFFIT. STANDARD COLOR TO MATCH BUILDING FASCIA BD. COLOR AS CLOSE AS POSSIBLE
DOOR FRAMES	PAINT BOTH SIDES OF EXTERIOR H.M. DOORS AND FRAMES. COLOR: GREY



### MATERIAL CALCULATIONS

Elevation	Sq. Ft.	Percentage
<b>East Elevation</b>		
Brick & Stone	1,366	68%
EIFS	341	17%
Composite Wood	308	15%
<b>Total</b>	<b>2,015</b>	<b>100%</b>
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Brick & Stone	1,202	65%
EIFS	339	18%
Fiber cement boards	308	17%
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EIFS	598	30%
Composite Wood	120	6%
<b>Total</b>	<b>1,992</b>	<b>100%</b>
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Brick & Stone	1,274	64%
EIFS	598	30%
Composite Wood	120	6%
<b>Total</b>	<b>1,992</b>	<b>100%</b>

### TRANSPARENCY AREA

Elevation	Sq. Ft.	Percentage
<b>East Elevation</b>		
Transparency Area	852	
Glazing provided	172	20%
Add'l Glazing outside req'd zone	80	9%
<b>Total Glazing</b>	<b>252</b>	<b>30%</b>
<b>North Elevation</b>		
Transparency Area	817	
Glazing provided	204	25%
Add'l Glazing outside req'd zone	43	5%
<b>Total Glazing</b>	<b>247</b>	<b>30%</b>
<b>West Elevation</b>		
Transparency Area	853	
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**Kimley»Horn**  
 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
 4582 South Ute Street, Suite 1500  
 Denver, Colorado 80237 (303) 228-2300

LOT 6 PARKER AND PINE FILING 1  
 PARKER, CO  
 EVERBROOK ACADEMY SITE PLAN  
 ARCHITECTURAL ELEVATIONS

PRELIMINARY  
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 NOT FOR CONSTRUCTION  
 Kimley»Horn and Associates, Inc.  
 PROJECT NO. 096895001  
 DRAWING NAME

10 OF 15



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Street Intersection (Northwest)



Building Playground (Southwest)

NO.	REVISION	BY	DATE	APPROV.

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 4582 South Ulster Street, Suite 1500  
 Denver, Colorado 80237 (303) 728-2500

NBB  
 NBB  
 CPH  
 DATE: 05/07/2021

LOT 6 PARKER AND PINE FILING 1  
 PARKER, CO  
 EVERBROOK ACADEMY SITE PLAN  
 ARCHITECTURAL RENDERINGS

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 Kimley-Horn and Associates, Inc.

PROJECT NO.  
096895001

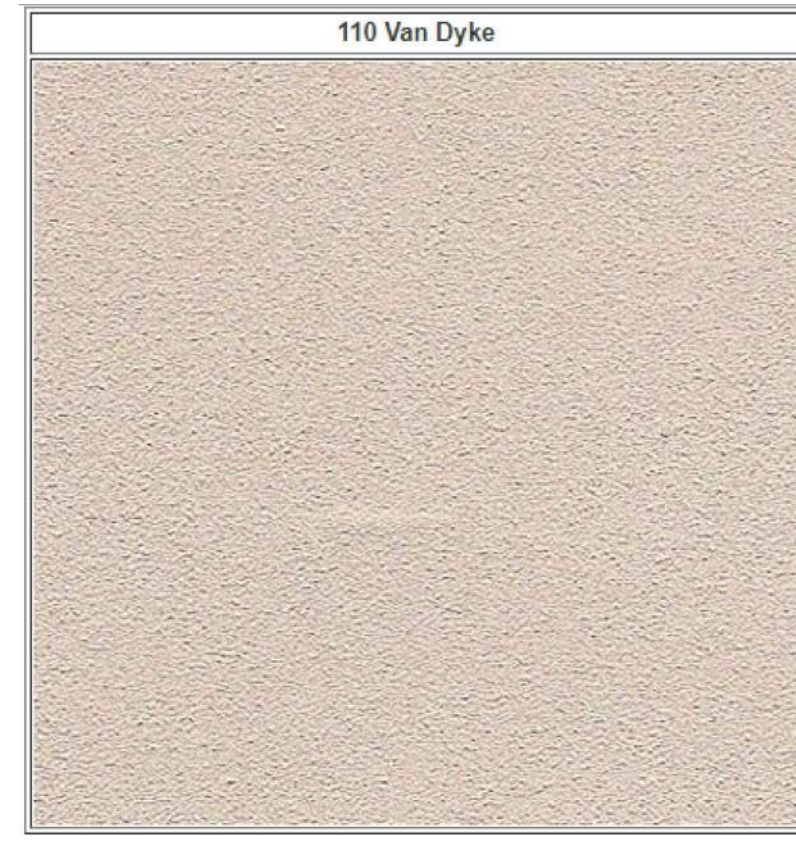
M:\Learning\_Care\_Group\2028\_Everbrook-Parker\_CO\02\_SDA\Materials\_Beck\Materials\_Beck\Material Board.dwg - Rachel Horn  
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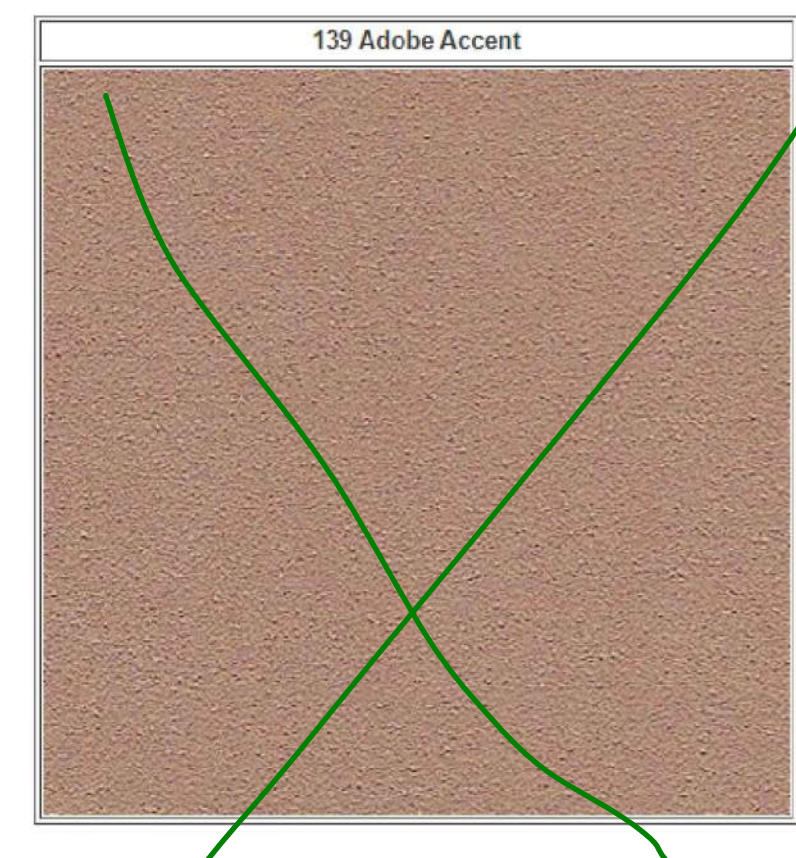
AS-1



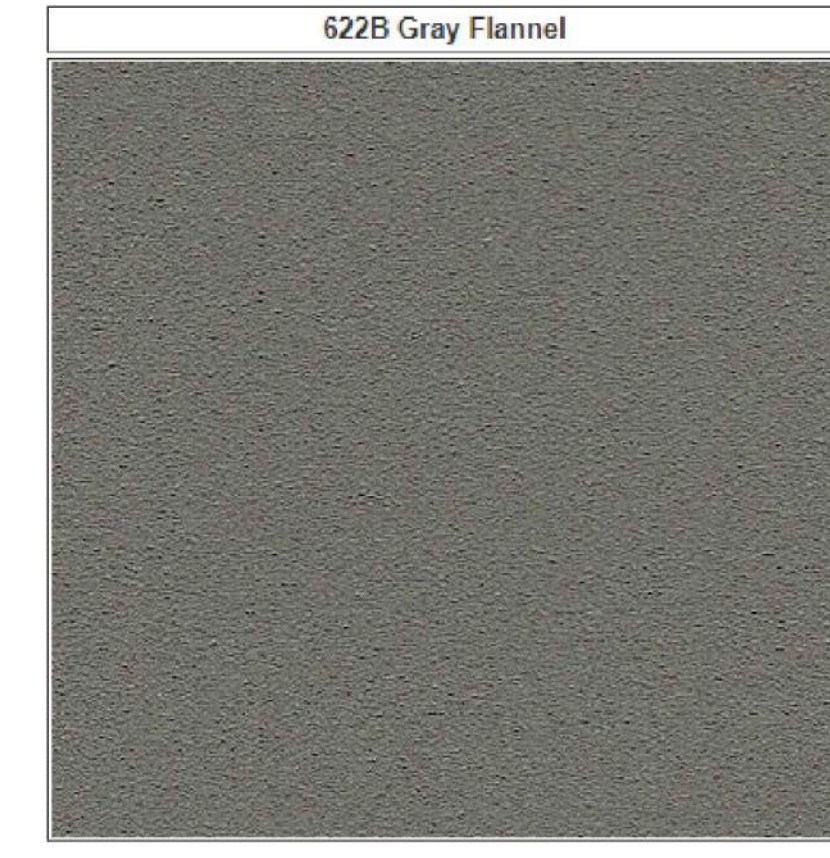
BK-1



EIFS-1



EIFS-2



EIFS-3



PM-1



SD-1



ST-1



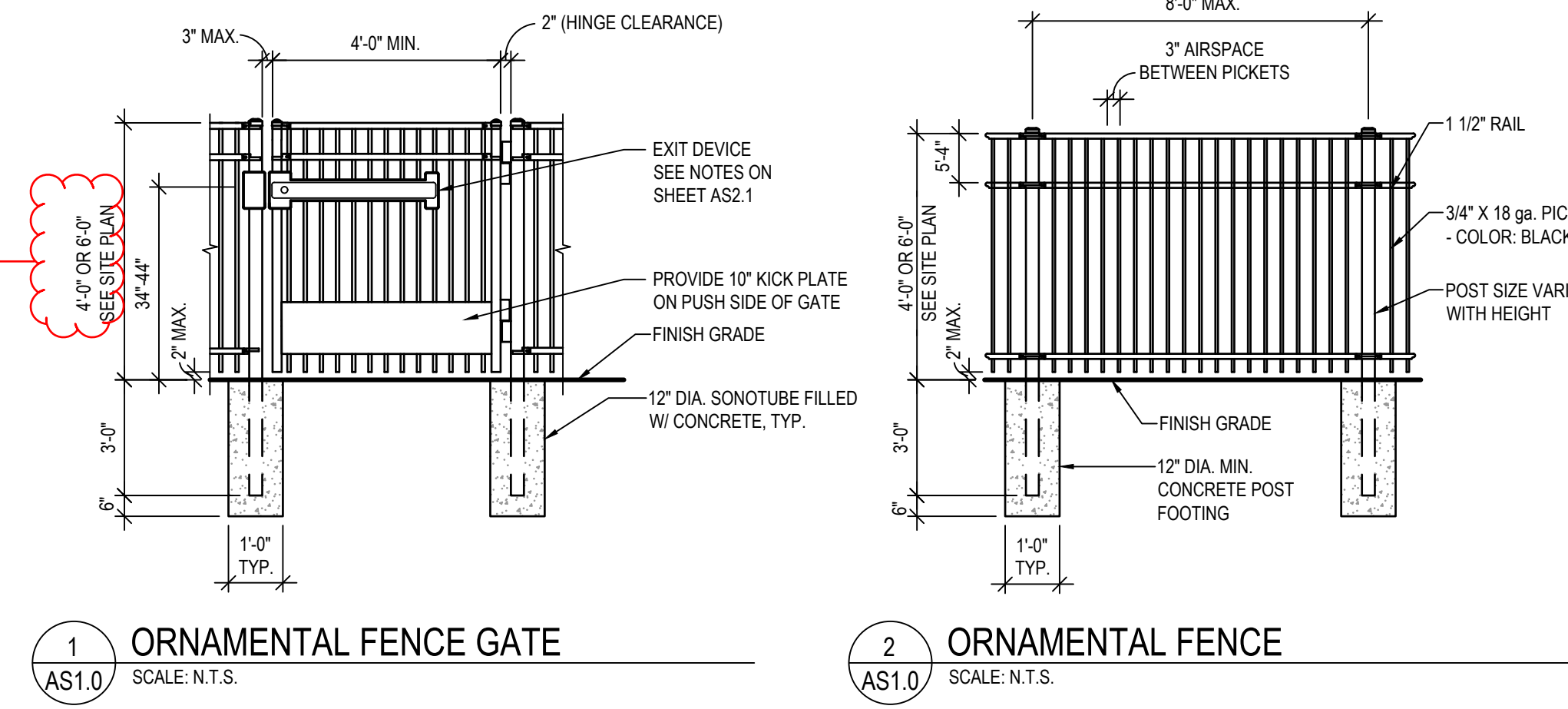
ST-2



RETAINING WALL

(SIMILAR TO KEYSTONE COMPAC, COLOR SANDSTONE/BROWN)

RESPONSE: CLARIFIED THAT MOST FENCES ARE 6' HIGH. ADDED A SEPARATE 4' HIGH FENCE DETAIL.  
 Where fence is 4 foot and where it is 6 foot is not clarified on site plan.



Provide awning detail. Label color.

RESPONSE: added product spec and typical photo to this sheet

There is no additional sheet with retaining wall elevations per greenline note.

RESPONSE: REFER TO ADDED ELEVATIONS



ORNAMENTAL FENCE

There is no sheet provided addressing comments. All comments should be addressed in greenlines and additional labeling should be added to site plan set.

RESPONSE: ADDRESSED ALL COMMENTS

Provide frame material to ensure compliance with PD guidelines, as requested in last comment.

RESPONSE: CLARIFIED THAT STOREFRONTS ARE ALUMINUM

Label as black or grey per PD guidelines.

RESPONSE: THESE ARE HALLOW METAL (H.M.) DOORS. HAVE COMPLIED WITH PD GUIDELINES.

EXTERIOR FINISH LEGEND

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AS-1	ASPHALT SHINGLES: TIMBERLINE HD, COLOR: WEATHERED WOOD
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DOOR FRAMES	PAINT BOTH SIDES OF EXTERIOR H.M. DOORS AND FRAMES. COLOR: GREY

No swatch of grey provided as requested. Material no longer part of description. Must be metal per PD guidelines.

**Kimley»Horn**  
 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
 4582 South Ute Street, Suite 1500  
 Denver, Colorado 80237 (303) 728-2300

NBB  
 NBB  
 CPH  
 DATE: 05/07/2021

**LOT 6 PARKER AND PINE FILING 1**  
 PARKER, CO  
 EVERBROOK ACADEMY SITE PLAN  
 ARCHITECTURAL MATERIALS BOARD

PRELIMINARY  
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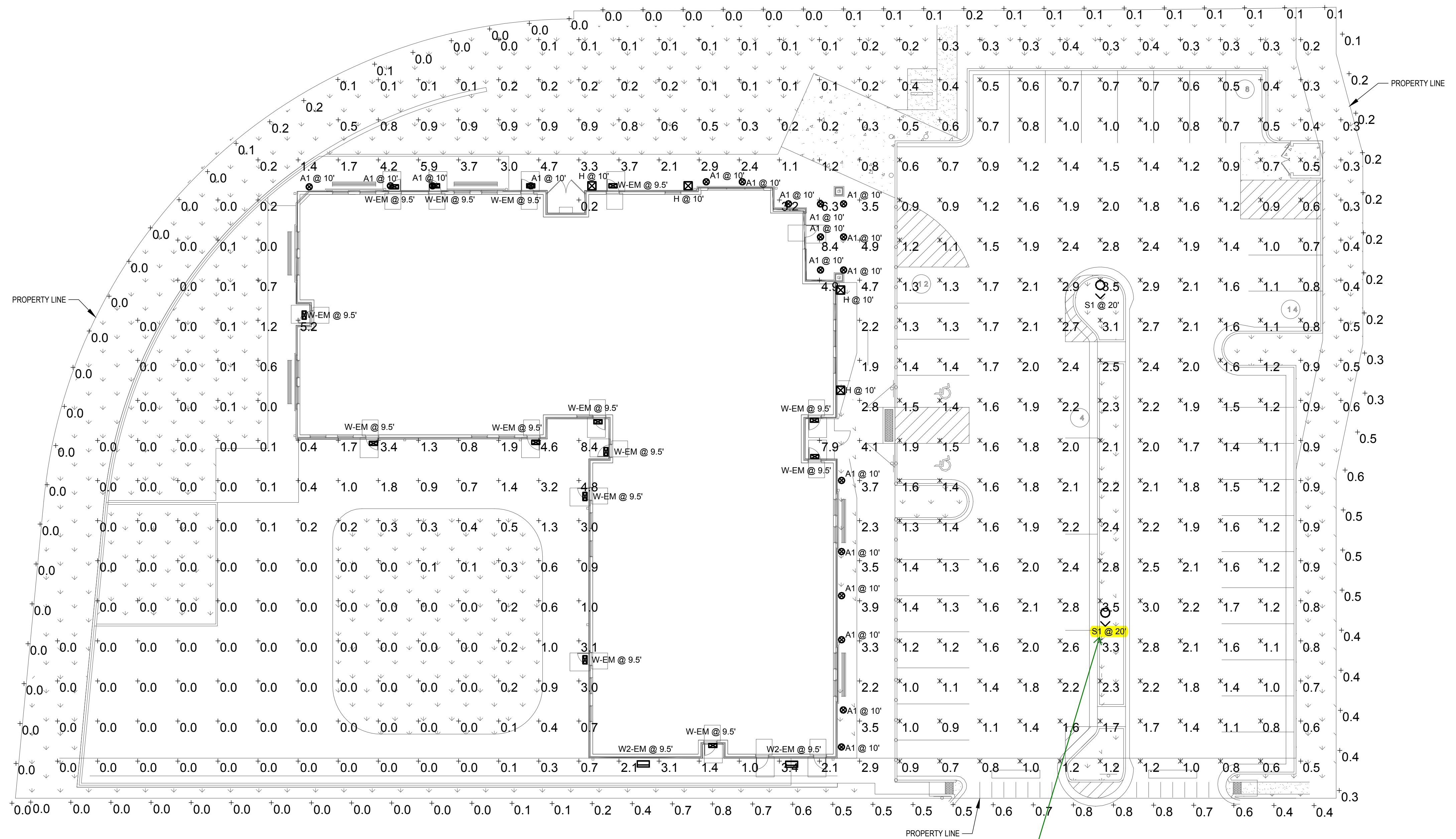
PROJECT NO.  
 096895001

DRAWING NAME

13 OF 15

Add sheet note: All parking lot lights, except those required for security as provided herein, shall be extinguished within one (1) hour after the end of business hours and remain extinguished until one (1) hour prior to the commencement of business hours.

RESPONSE:  
NOTE WAS ADDED.  
SEE REVISED SHEET.



RESPONSE:  
THIS DESIGNATION IS CORRECT AND COORDINATED WITH THE CUT SHEET ON THE NEXT SHEET.

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	S1	2	SIGNIFY GARDCO	ECF-S-48L-900-NW-G2-5	EcoForm Area LED ECF - Small, 48 LED's, 4000K CCT, TYPE 5 OPTIC, No Shield, pole mounted at 20' AFF	(3) LEDGINE SLD LIGHT ARRAY(S) DRIVEN AT 900mA	1	ecf-s-48l-900-nw-g2-5.lvs	18939	0.85	135.1
	A1	19	SIGNIFY LIGHTING - LIGHTOLIER	P4RDL0835CL210U	LYTEPROFILE 4.5 INCH ROUND, Downlight mounted in canopy at 12' aff	LED	1	P4RDL20835CL210U.lvs	2081	0.23	19.7
	W-EM	14	Barron Lighting Group	WLZ1-3-4K	Blackformed metal housing, emergency wall sconce mounted at 9.5' aff	Four (4) white LEDs with optics below each	1	WLZ1-3-4K.IES	1509	0.85	15.1239
	H	4	BARRON LIGHTING GROUP	SLW-15-4K-AC	LED WALL PACK MOUNTED AT 10' AFF	WPL01N-AC	1	SLW-15-4K-AC.IES	1529	0.85	15.8
	W2-EM	2	BARRON LIGHTING GROUP	SLW-15-4K-AC	LED WALL PACK MOUNTED AT 9.5' AFF	WPL01N-AC	1	SLW-15-4K-AC (1).IES	1529	0.85	15.8

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Green Space	+	1.2 fc	8.4 fc	0.0 fc	N/A	N/A
Parking Lot	X	1.6 fc	3.5 fc	0.5 fc	7.0:1	3.2:1
Site Boundary	+	0.2 fc	0.8 fc	0.0 fc	N/A	N/A

**1 PHOTOMETRIC PLAN**  
12 OF 13 SCALE: 1/16" = 1'-0"

RESPONSE:  
HIGHLIGHTED THE FIXTURE DESIGNATIONS FOR YOUR CONVENIENCE.

Make fixture color not black so can see on photometric plan.

G:\working\cove\parker\COVD\parker\working\1\_of\_2\_photometric\plan.dwg Kimley-Horn and Associates, Inc. 05/07/2021 10:00 AM

NO.	REVISION	BY	DATE	APPR

**Kimley»Horn**  
2020 KIMLEY-HORN AND ASSOCIATES, INC.  
4582 South Ulster Street, Suite 1500  
Denver, Colorado 80237 (303) 728-2300

DESIGNED BY: JTK  
DRAWN BY: JTK  
CHECKED BY: DPS  
DATE: 05/07/2021

**LOT 6 PARKER AND PINE FILING 1**  
PARKER, CO  
EVERBROOK ACADEMY SITE PLAN  
PHOTOMETRIC PLAN

PRELIMINARY  
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Kimley-Horn and Associates, Inc.

PROJECT NO.  
DRAWING NAME  
PHOTOMETRIC PLAN  
**14 OF 15**

25760 First Street  
Cleveland, OH 44145  
P 440 871 2410  
F 440 871 7954  
tesengineering.com



