

LOT 6 PARKER AND PINE PARKER WATER AND SANITATION DISTRICT UTILITY PLANS (EFFLUENT FORCE MAIN)

LOT 6 - PARKER AND PINE FILING 1.
SITUATED IN THE SE 1/4 OF SECTION 9 AND THE SW 1/4
OF SECTION 10, T.6S., R.66W. OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS,
STATE OF COLORADO

CONTACTS:

DEVELOPER:
NLD BROOMFIELD, LLC.
C/O CAPITAL REAL ESTATE, INC.
60 SOUTH 6TH STREET, SUITE 2630
MINNEAPOLIS, MN 55402
TEL: (612) 313-0126
CONTACT: ALLISON MORGAN

ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
4582 SOUTH ULSTER STREET, SUITE 1500
DENVER, CO 80237
TEL: (303) 228-2318
CONTACT: DAN SKEEHAN, P.E.

LANDSCAPE ARCHITECT:
KIMLEY-HORN AND ASSOCIATES, INC.
4582 SOUTH ULSTER STREET, SUITE 1500
DENVER, CO 80237
TEL: (303) 228-2300
CONTACT: CHRIS HEPLER P.L.A.

TELEPHONE:
CENTURYLINK
1801 CALIFORNIA STREET, SUITE 240
DENVER, CO 80202
CONTACT: IZZY MILLER
EMAIL: IZZY.MILLER@CENTURYLINK.COM

GAS SERVICE:
XCEL ENERGY
1800 LARIMER STREET
DENVER, CO 80202
CONTACT: RON JOHNSON
EMAIL: RON.H.JOHNSON@XCELENERGY.COM

ARCHITECT:
ADA ARCHITECTS, INC.
17710 DETROIT AVE
CLEVELAND, OH 44107
TEL: (216) 521-5134
CONTACT: JAVIER CORA

SURVEYOR:
ENGINEERING SERVICE COMPANY
1300 SOUTH POTOMAC ST. SUITE 126
AURORA, CO 80012
TEL: (303) 337-1393

TELEVISION:
COMCAST
1601 MILE HIGH STADIUM CIRCLE
DENVER, CO 80204
CONTACT: DEAN FLENTHROPE
EMAIL: DEAN_FLENTHROPE@CABLE.COMCAST.COM

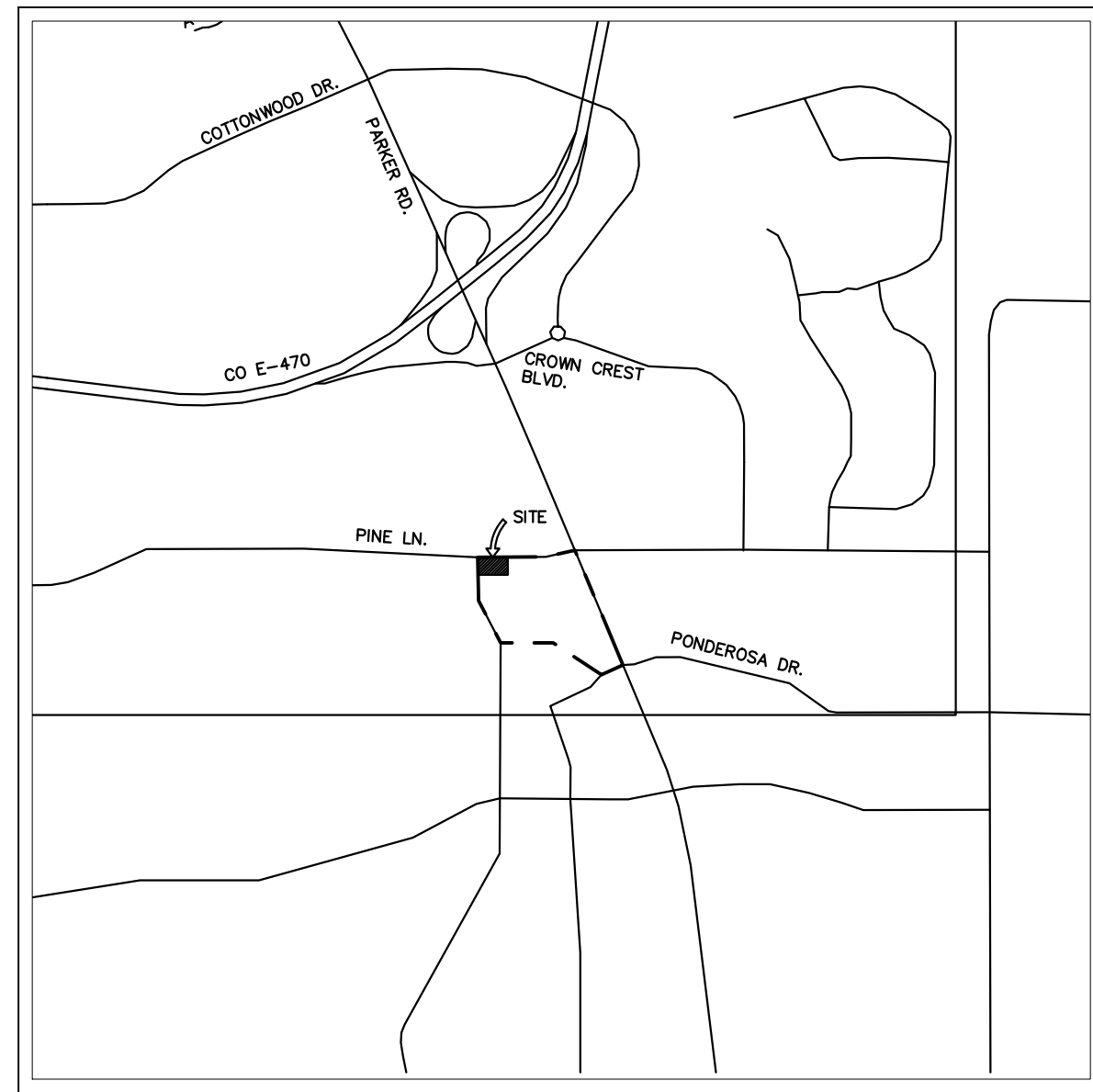
WATER/SANITARY SEWER:
PARKER WATER AND SANITATION DISTRICT
18100 E. WOODMAN ROAD
PARKER, CO 80134
TEL: (303) 841-4627
CONTACT: DRAVTON SANDERSON

ELECTRICAL SERVICE:
IREA
5496 US HWY 85
SEDALIA, CO 80135
TEL: (303) 688-7431
CONTACT: AMANDA STEINER

TOWN OF PARKER:
TOWN OF PARKER
20120 EAST MAINSTREET
PARKER, CO 80138-7334
TEL: (303) 805-3199
CONTACT: STACEY NERGER

FIRE DEPARTMENT:
TOWN OF PARKER
20120 E. MAINSTREET
PARKER, CO 80138
TEL: (303) 805-3169
CONTACT: RANDY CAPRA

TOWN OF PARKER PLAN REVIEW:
20120 E. MAINSTREET
PARKER, CO 80138
TEL: (303) 805-3174
CONTACT: BRYCE MATTHEWS



VICINITY MAP
1"=2,000'

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
CONSTRUCTION DOCUMENTS: PARKER WATER AND SANITATION DISTRICT	
W1.0	COVER SHEET
W1.1	WATER AND SANITARY SEWER NOTES
W1.2	UTILITY PLAN
W1.3	PLAN & PROFILE
W1.4	UTILITY DETAILS

FLOODPLAIN NOTE

BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 08035C0067G AND DATED MARCH 16, 2016 - SUBJECT PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.

LEGAL DESCRIPTION

LOT 6, PARKER AND PINE FILING 1, SITUATED IN THE SOUTHEAST 1/4 OF SECTION 9 AND THE SOUTHWEST 1/4 OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO.

BENCHMARK

DOUGLAS CONTROL MONUMENT #1.095035, A 3 1/4" ALUMINUM CAP.

ELEVATION = 5906.34 FEET (NAVD 1988), AS PUBLISHED BY DOUGLAS COUNTY.

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE BASED UPON THE WEST LINE OF THE SW 1/4 OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN BEARING N00°17'51"E AS REFERENCED ON THE PLAT OF PARKER AUTO PLAZA FILING NO. 1 AND BOUND BY THE MONUMENTS SHOWN HEREON.

SUMMARY OF QUANTITIES*

DESCRIPTION	QTY.	UNIT
8" PVC	261	LF

*QUANTITIES ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO CONSTRUCTION

THE DISTRICT INSPECTOR MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO START OF CONSTRUCTION. CALL PARKER WATER AND SANITATION DISTRICT AT 303-841-4627. THE DISTRICT WILL PROVIDE PERIODIC INSPECTIONS OF THE WORK. 24 HOUR NOTICE TO THE INSPECTOR IS REQUIRED FOR SCHEDULING INSPECTIONS. ANY WORK ACCOMPLISHED WITHOUT THE APPROVAL OF THE INSPECTOR WILL BE SUBJECT TO REJECTION.

REVIEWED FOR CONFORMANCE TO PARKER WATER AND SANITATION DISTRICT STANDARDS.

BY: _____ (DISTRICT REPRESENTATIVE)

DATE: _____

APPROVED FOR CONSTRUCTION:
PARKER WATER AND SANITATION DISTRICT

BY: _____ (DISTRICT ENGINEER)

DATE: _____

DISTRICT ACCEPTANCE NOTE

- UPON COMPLETION OF SANITARY AND WATER CONSTRUCTION AND TESTING, THE DEVELOPER OR CONTRACTOR SHALL CONTACT THE DISTRICT FOR PROBATIONARY ACCEPTANCE INSPECTION. A PUNCHLIST WILL BE PROVIDED FOR THE DEVELOPER AND CONTRACTOR UPON COMPLETION OF THE INITIAL WALK-THRU AND PROBATIONARY ACCEPTANCE WILL BE ISSUED FOLLOWING COMPLETION AND ACCEPTANCE OF THE WORK OUTLINED IN THE PUNCHLIST.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE PROPER FUNCTIONING OF THE LINES FOR UP TO TWO (2) YEARS FROM THE DATE OF PROBATIONARY ACCEPTANCE OF THE LINES BY THE DISTRICT. ANY MALFUNCTION DURING THIS PERIOD OF GUARANTEE SHALL BE REMEDIATED BY THE CONTRACTOR TO THE SATISFACTION OF THE DISTRICT ENGINEER AT NO EXPENSE TO THE DISTRICT.
- THE DATE OF FINAL ACCEPTANCE WILL BE INDICATED IN THE CONDITION OF THE PROBATIONARY ACCEPTANCE LETTER. THE DEVELOPER SHALL BE RESPONSIBLE FOR CONTACTING THE DISTRICT FOR FINAL INSPECTION AND FINAL ACCEPTANCE.

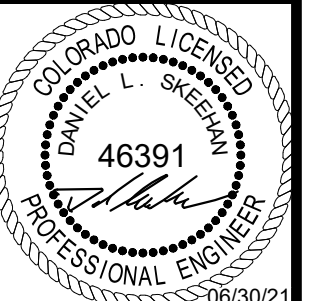
I:\dev\civil\096895001 - lot 6 parker & pine\CADD\plans\sheet\096895001_U1.dwg Newsfrom: M:\... THIS DOCUMENT, INCLUDING ALL CONTENTS AND FIGURES, IS THE PROPERTY OF KIMLEY-HORN AND ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

NO.	REVISION	BY	DATE

Kimley»Horn
2021 KIMLEY-HORN AND ASSOCIATES, INC.
4582 South Ulster Street, Suite 1500
Denver, Colorado 80237 (303) 228-2300

DESIGNED BY: MCN
DRAWN BY: NMH
CHECKED BY: DLS
DATE: 06/30/2021

LOT 6 PARKER AND PINE FILING 1
PARKER, CO
EVERBROOK ACADEMY CONSTRUCTION DOCUMENTS
COVER SHEET



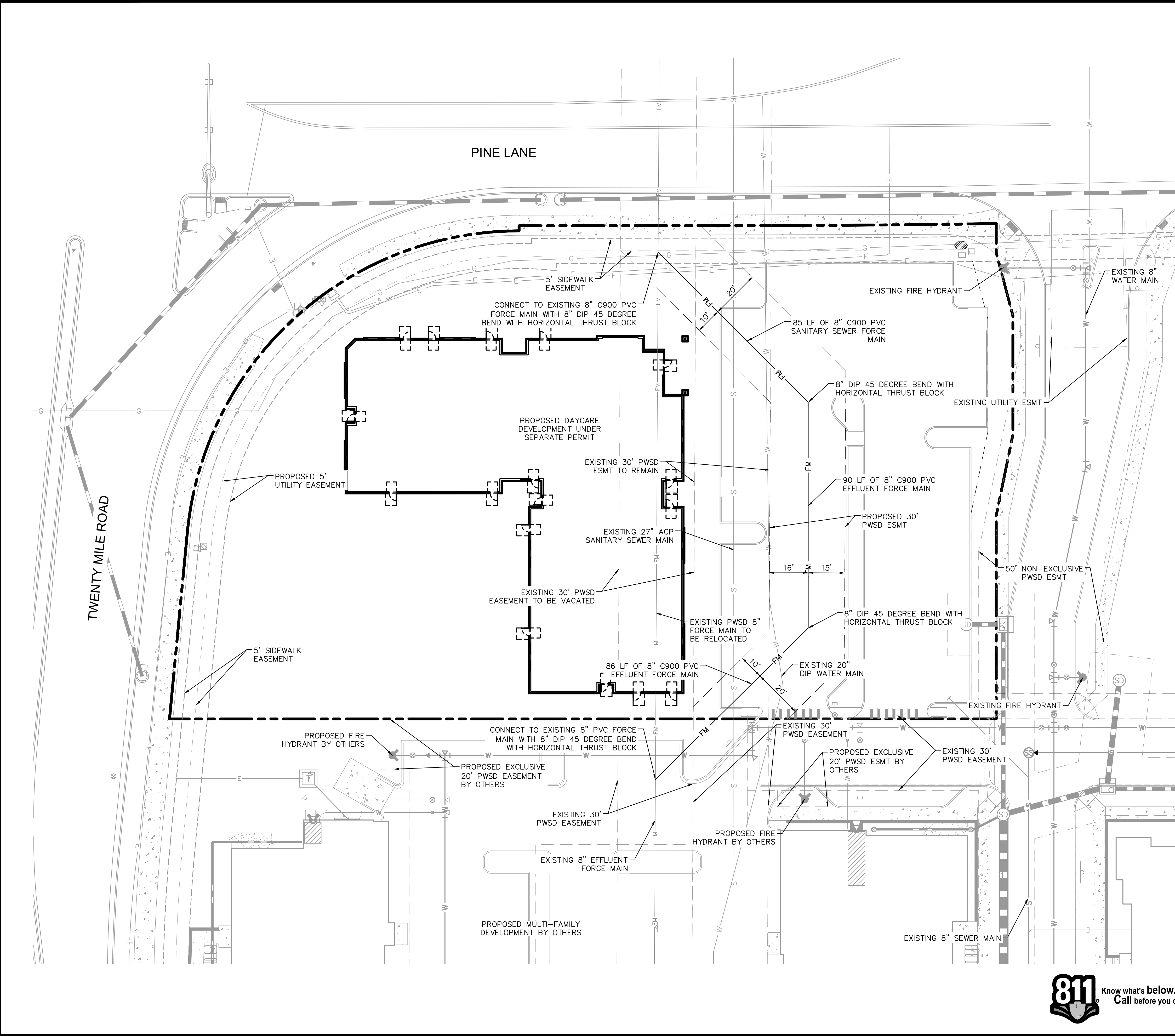
PROJECT NO.
096895001

DRAWING NAME
096895001CV_U1

W1.0



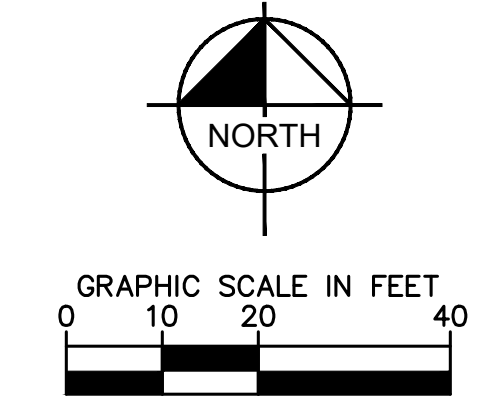
I:\projects\096895001 - lot 6 parker & pine\cadd\plansheet\096895001_CD_UT.dwg Newsfrom: Mr. Newsfrom
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UTILITY LEGEND

---	EXISTING PROPERTY LINE
- - -	EXISTING EASEMENT
- · - · -	PROPOSED EASEMENT
FM	PROPOSED SANITARY SEWER FORCE MAIN
---	EXISTING STORM DRAINAGE LINE
G	EXISTING GAS LINE
W	EXISTING WATER LINE
S	EXISTING SANITARY SEWER LINE
E	EXISTING ELECTRIC LINE
○	EXISTING SANITARY SEWER MANHOLE

- NOTES:**
1. DUE TO IMPACT TO PWSO TREATMENT PLANT, GC SHALL SCHEDULE/COORDINATE ALL EFFLUENT FORCE MAIN CONSTRUCTION WITH PWSO INSPECTOR, AND PROVIDE PWSO INSPECTOR AN UP TO DATE PROJECT SCHEDULE AT ALL TIMES.
 2. EXISTING EFFLUENT LINE MUST BE PROTECTED FROM ALL CONSTRUCTION ACTIVITY.
 3. ALL WORK WITHIN THE PWSO EASEMENT MUST BE COORDINATED WITH PWSO INSPECTOR.
 4. NEW EFFLUENT FORCE MAIN SHALL BE CONSTRUCTED AND TESTED PRIOR TO CONNECTING TO EXISTING EFFLUENT FORCE MAIN.
 5. ALL FITTINGS SHALL BE RESTRAINED DIP WITH POLY WRAP AND PROTECTO 401 LINING. USE EBAA IRON SERIES PV 2000 FOR DIP TO PVC RESTRAINT.
 6. LINED CONTAINMENT POND REQUIRED TO DRAIN EFFLUENT FORCE MAIN. POND TO BE PUMPED INTO ADJACENT SANITARY SEWER MANHOLE.

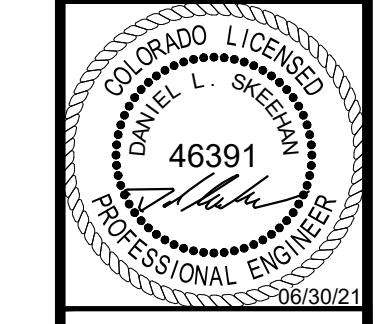


NO.	REVISION	BY	DATE	APPR

Kimley»Horn
 2021 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237, (303) 728-2300

DESIGNED BY: MCN
 DRAWN BY: NMH
 CHECKED BY: DLS
 DATE: 06/30/2021

LOT 6 PARKER AND PINE FILING 1
 PARKER, CO
 EVERBROOK ACADEMY CONSTRUCTION DOCUMENTS
 UTILITY PLAN

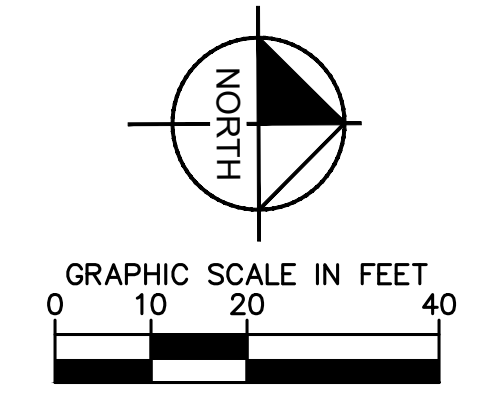
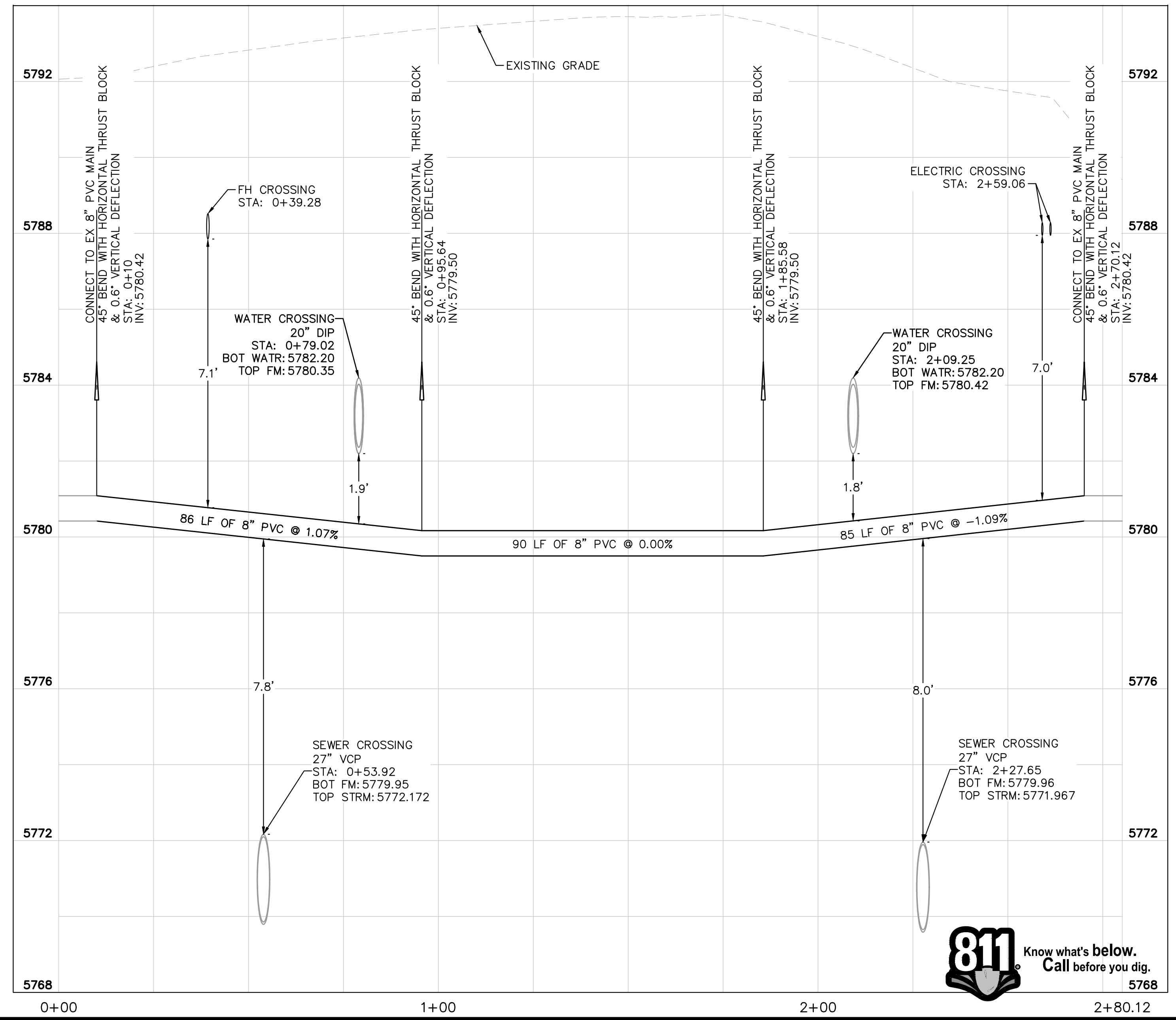
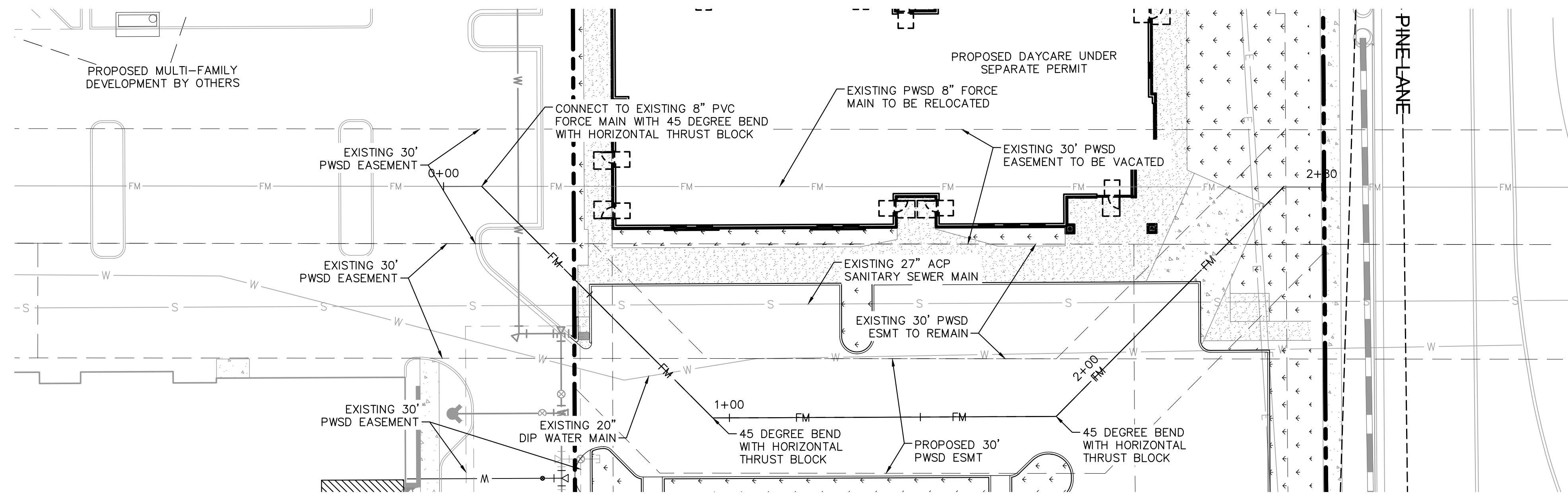


PROJECT NO.
096895001

DRAWING NAME
096895001CD_UT

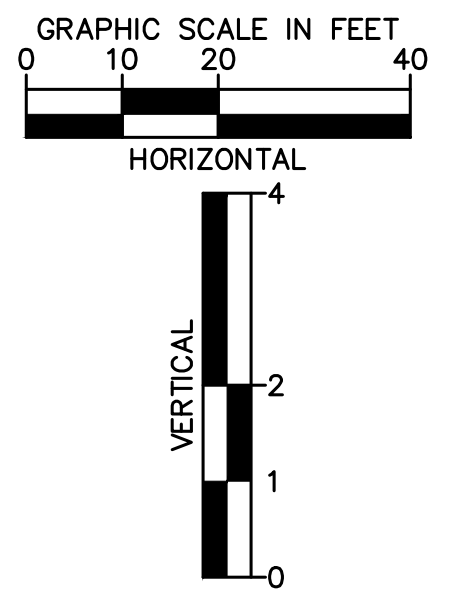
W1.2

I:\projects\096895001 - Lot 6 Parker & Pine\096895001_CD_UT_DP.dwg Newsletters: MJD
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- UTILITY LEGEND**
- EXISTING PROPERTY LINE
 - EXISTING EASEMENT
 - PROPOSED EASEMENT
 - PROPOSED SANITARY SEWER FORCE MAIN
 - EXISTING STORM DRAINAGE LINE
 - EXISTING GAS LINE
 - EXISTING WATER LINE
 - EXISTING SANITARY SEWER LINE
 - EXISTING ELECTRIC LINE
 - EXISTING SANITARY SEWER MANHOLE

NOTES:
 1. CONTRACTOR TO FIELD VERIFY SIZE, INVERT, AND LOCATION OF ALL EXISTING UTILITIES.



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 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 728-2300

DESIGNED BY: MCN
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 CHECKED BY: DLS
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LOT 6 PARKER AND PINE FILING 1
 PARKER, CO
 EVERBROOK ACADEMY CONSTRUCTION DOCUMENTS
 PLAN & PROFILE



PROJECT NO.
096895001

DRAWING NAME
096895001CD_UT_PP

W1.3

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INSPECTION POLICY:

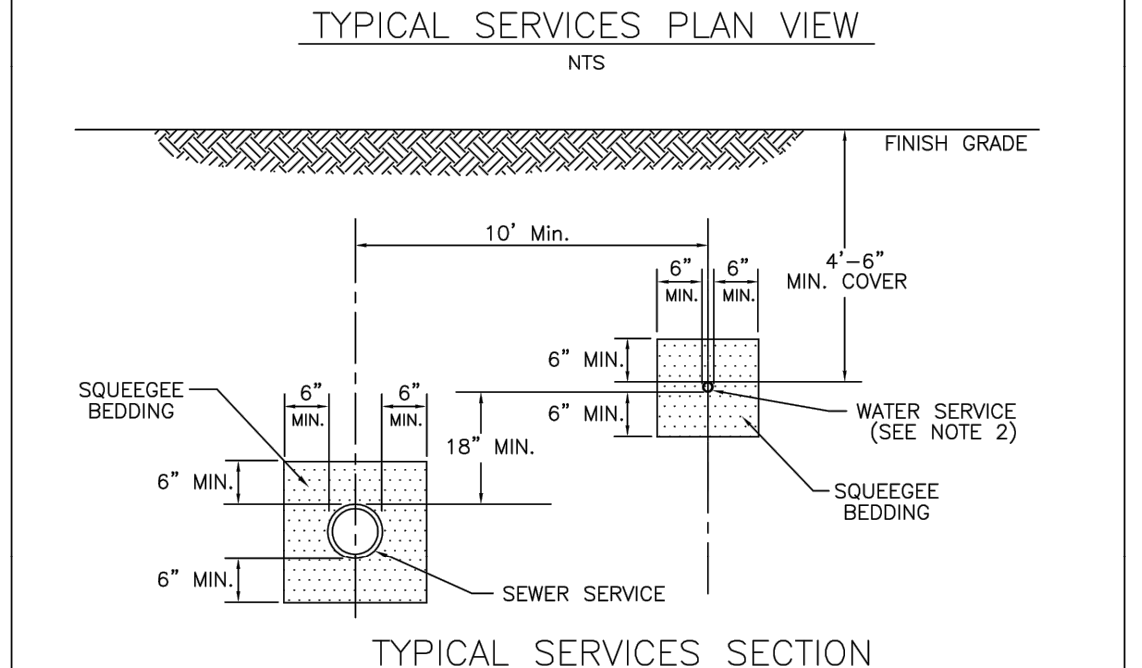
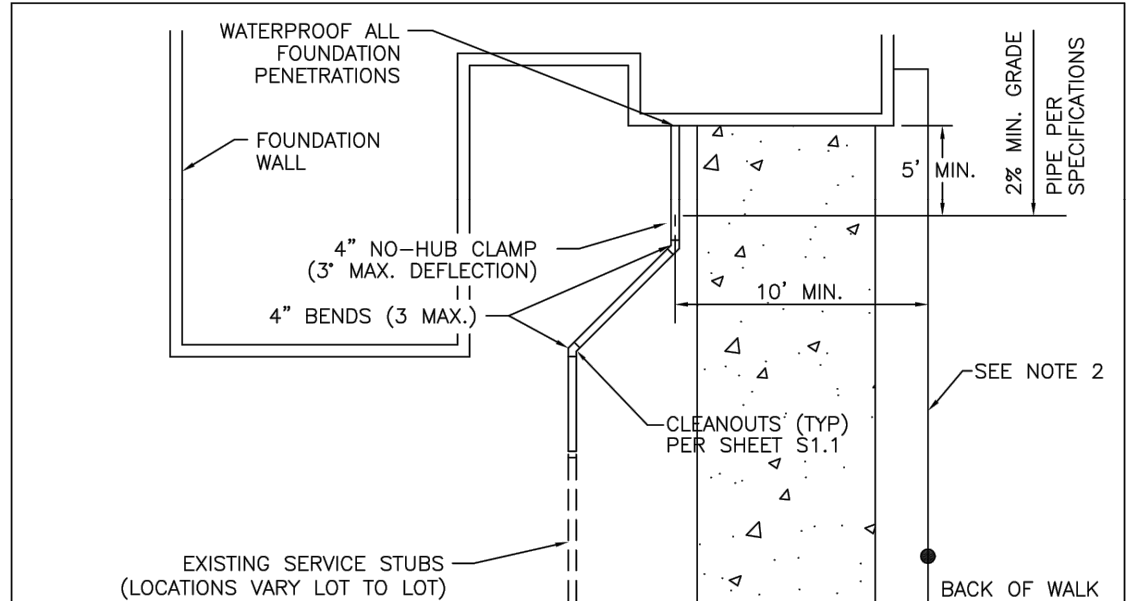
1. ALL SERVICE INSPECTIONS MUST BE SCHEDULED WITH THE DISTRICT OFFICE AT LEAST 24 HOURS IN ADVANCE OF THE REQUESTED INSPECTION.
2. IF THE CONTRACTOR IS NOT READY FOR INSPECTION WHEN THE INSPECTOR ARRIVES AT THE SITE, A RE-INSPECTION WILL HAVE TO BE SCHEDULED IN ACCORDANCE WITH NOTE 1 ABOVE AND A RE-INSPECTION FEE CHARGED.
3. SHOULD THE SERVICE LINES BE DAMAGED BY LATER CONSTRUCTION, AN INSPECTION OF THE REPAIR WILL BE REQUIRED IN ACCORDANCE WITH NOTES 1 AND 2 ABOVE.
4. THE CONTRACTOR SHALL LEAVE ALL PIPE AND FITTINGS EXPOSED FOR THE INSPECTOR TO OBSERVE. INSPECTORS WILL NOT ENTER ANY EXCAVATIONS TO CHECK MATERIALS. THE TOP LAYER OF BEDDING CAN BE ADDED AFTER THE INSPECTION HAS BEEN COMPLETED.
5. ALL EXCAVATIONS SHALL BE IN ACCORDANCE WITH OSHA STANDARDS.
6. LOTS WITHOUT BUILDING ADDRESSES OR LOT AND BLOCK NUMBERS BEFORE DISTRICT INSPECTION OR METER SET WILL FAIL AUTOMATICALLY.
7. CONTRACTOR MUST BE PRESENT AT TIME OF INSPECTION UNLESS COORDINATED WITH DISTRICT INSPECTOR.

INSTALLATION NOTES:

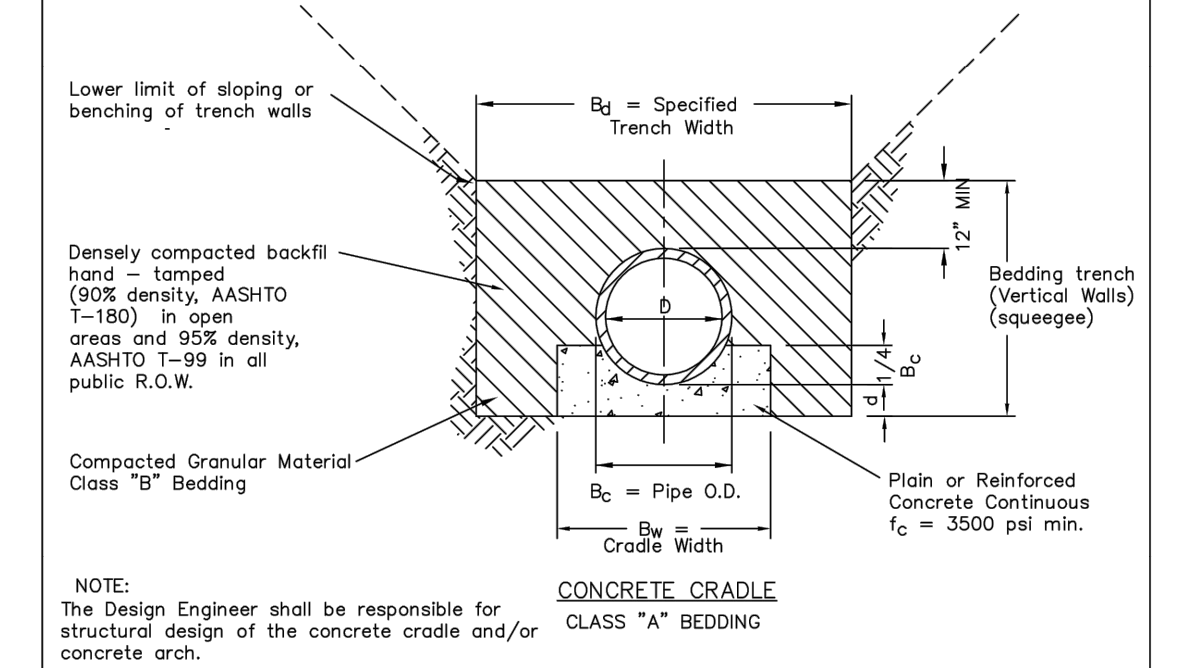
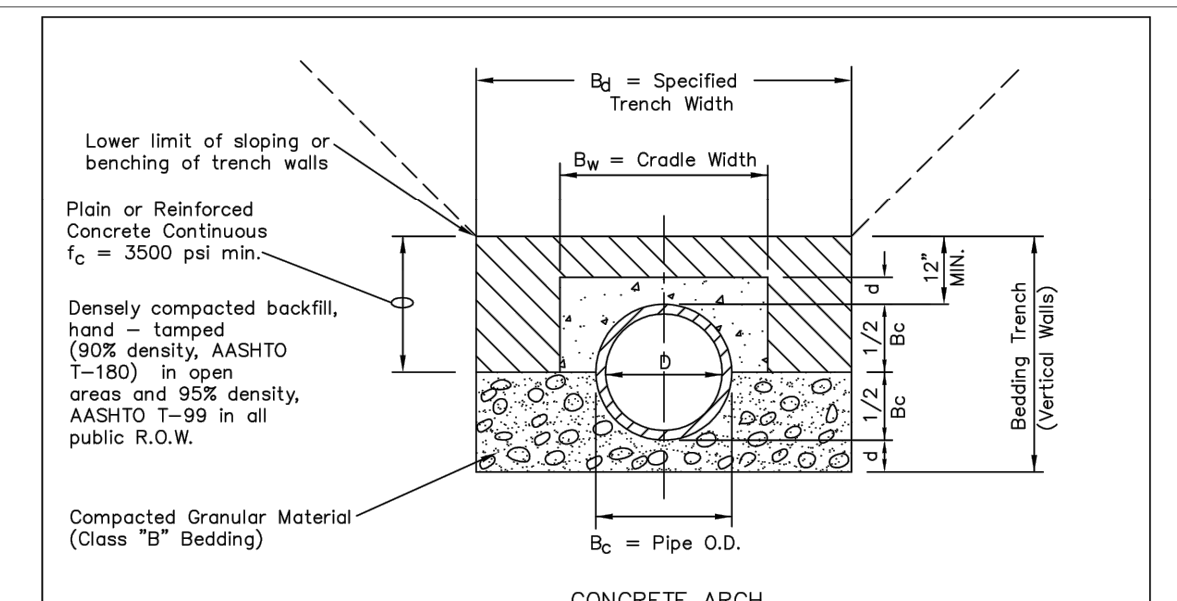
SEWER:

1. ACCEPTABLE PIPE MATERIALS ARE TO BE SDR 35 PVC PIPE, ABS PIPE AND PVC SCHD 40 PIPE. APPROVED BEDDING IS TO BE SQUEEGEE.
2. NO-HUB CLAMPS SHALL BE USED TO JOIN 2 MALE PIPE ENDS WITH A MAXIMUM DEFLECTION OF 3'.
3. MINIMUM GRADE SHALL BE 2X.
4. INSTALLATION SHALL INCLUDE NO MORE THAN 3 BENDS. 90° BENDS ARE NOT ALLOWED. SOLVENT WELDED PIPE WILL NOT BE ALLOWED.
5. CLEAN-OUTS SHALL BE INSTALLED AT 100' INTERVALS AND EVERY CHANGE IN DIRECTION. CLEAN-OUTS ARE NOT REQUIRED FOR SERVICES LESS THAN 100' UNLESS THERE ARE CHANGES IN DIRECTION. PROVIDE DUAL CLEAN-OUT WITHIN 5 FEET OF FOUNDATION.
6. STRESSING OF THE PIPE BETWEEN FITTINGS WILL NOT BE ALLOWED.
7. SEWER SERVICE LINE SHALL NOT BE LOCATED UNDER CONCRETE SURFACE.
8. ALL SERVICES WILL BE PERMANENTLY MARKED ON CURB FACE AS FOLLOWS:
 "X" FOR SANITARY SEWER SERVICE
 "V" FOR WATER SERVICES

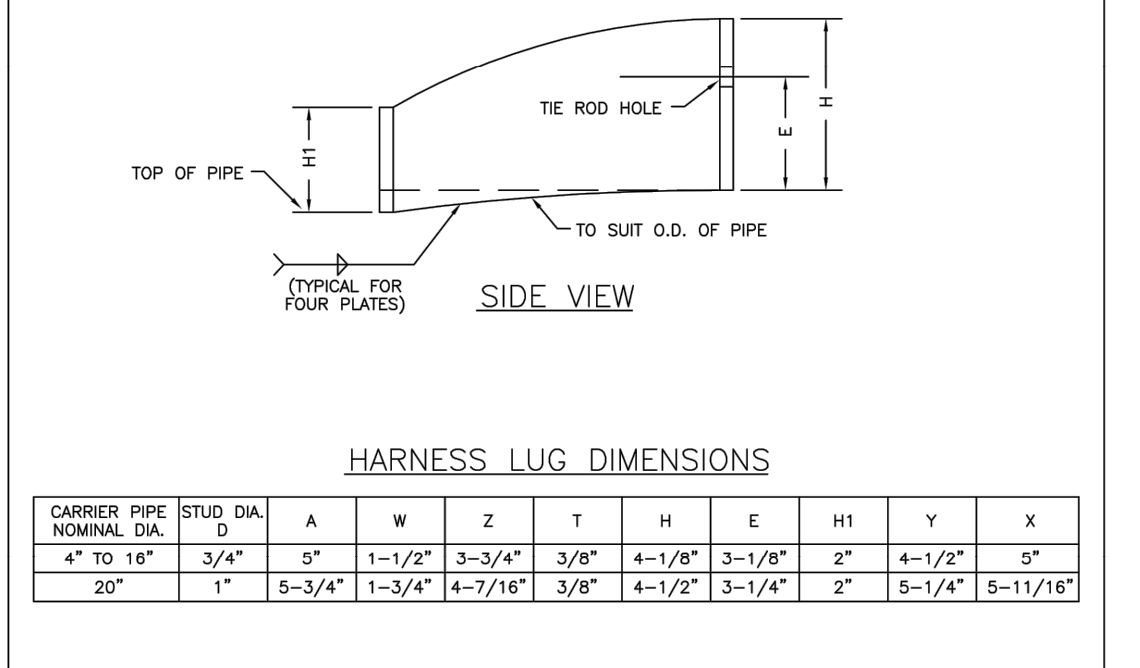
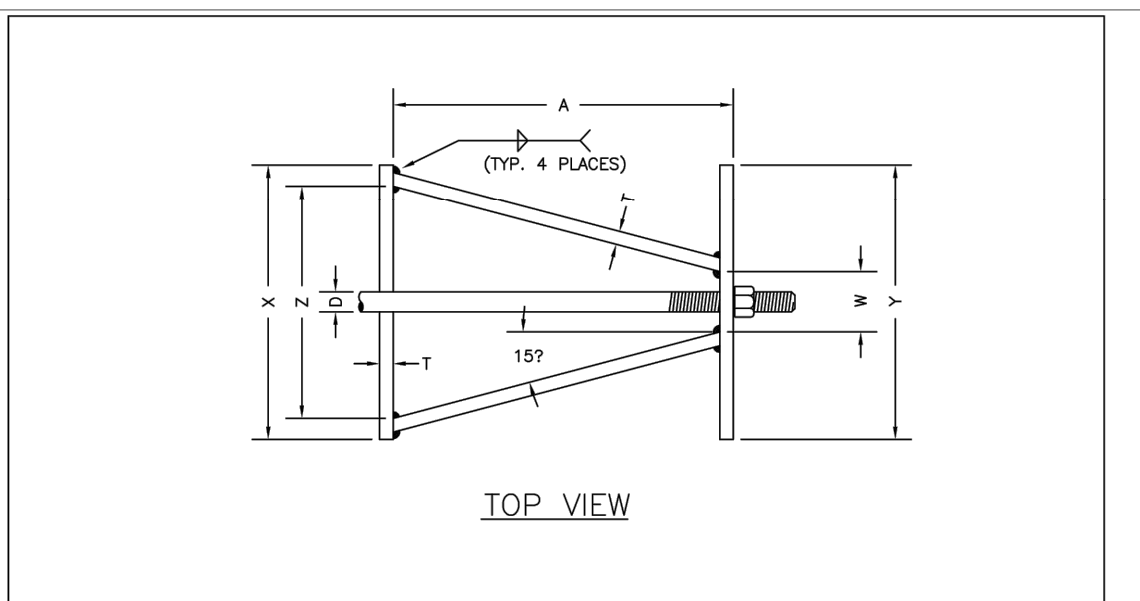
PARKER WATER & SANITATION DISTRICT	
DISTRICT POLICIES & INSTALLATION NOTES FOR SEWER SERVICES	
SCALE: NONE	DATE: 2/96
APPROVED: PVR	5/02 10/16
DIRECTOR OF ENGINEERING	1/16
2016 REVISION	SHEET S1.1



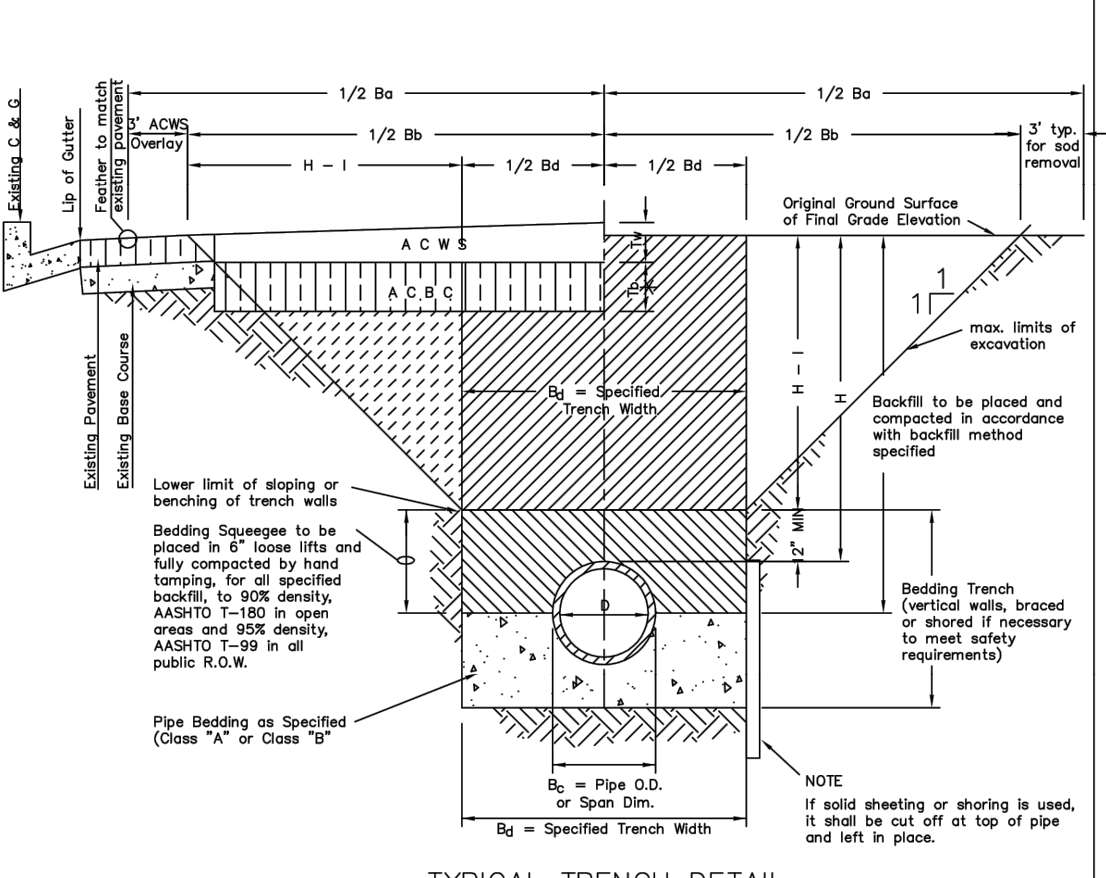
PARKER WATER & SANITATION DISTRICT	
TYPICAL SEWER SERVICES	
SCALE: NONE	DATE: 2/96
APPROVED: PVR	2/00 10/16
DIRECTOR OF ENGINEERING	10/16
2016 REVISION	SHEET S1.2



PARKER WATER & SANITATION DISTRICT	
TRENCHING AND BEDDING DETAIL - CLASS "A"	
SCALE: NONE	DATE: 2/96
APPROVED: PVR	1/16 10/16
DIRECTOR OF ENGINEERING	10/16
2016 REVISION	SHEET S4.2



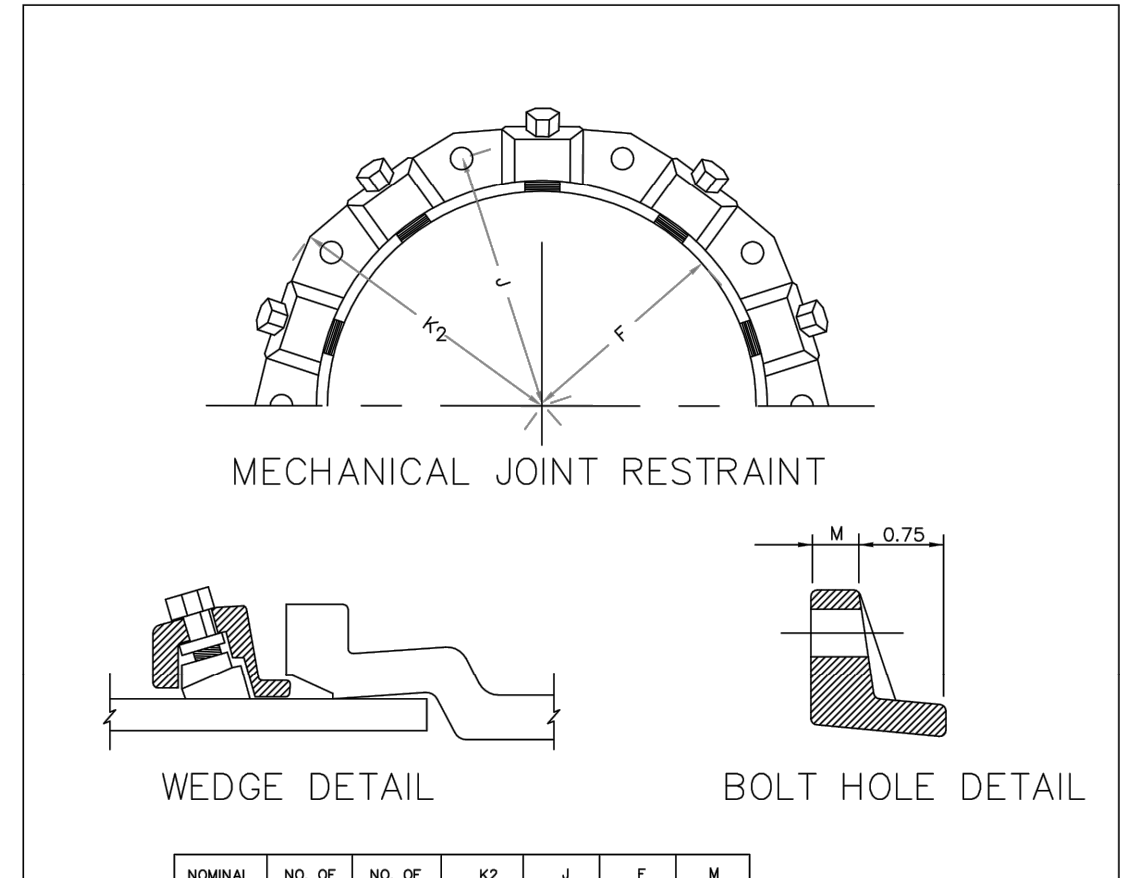
PARKER WATER & SANITATION DISTRICT	
HARNES LUG DETAILS	
SCALE: NONE	DATE: 2/96
APPROVED: PVR	1/16 10/16
DIRECTOR OF ENGINEERING	10/16
2016 REVISION	SHEET W3.16



NOTES:

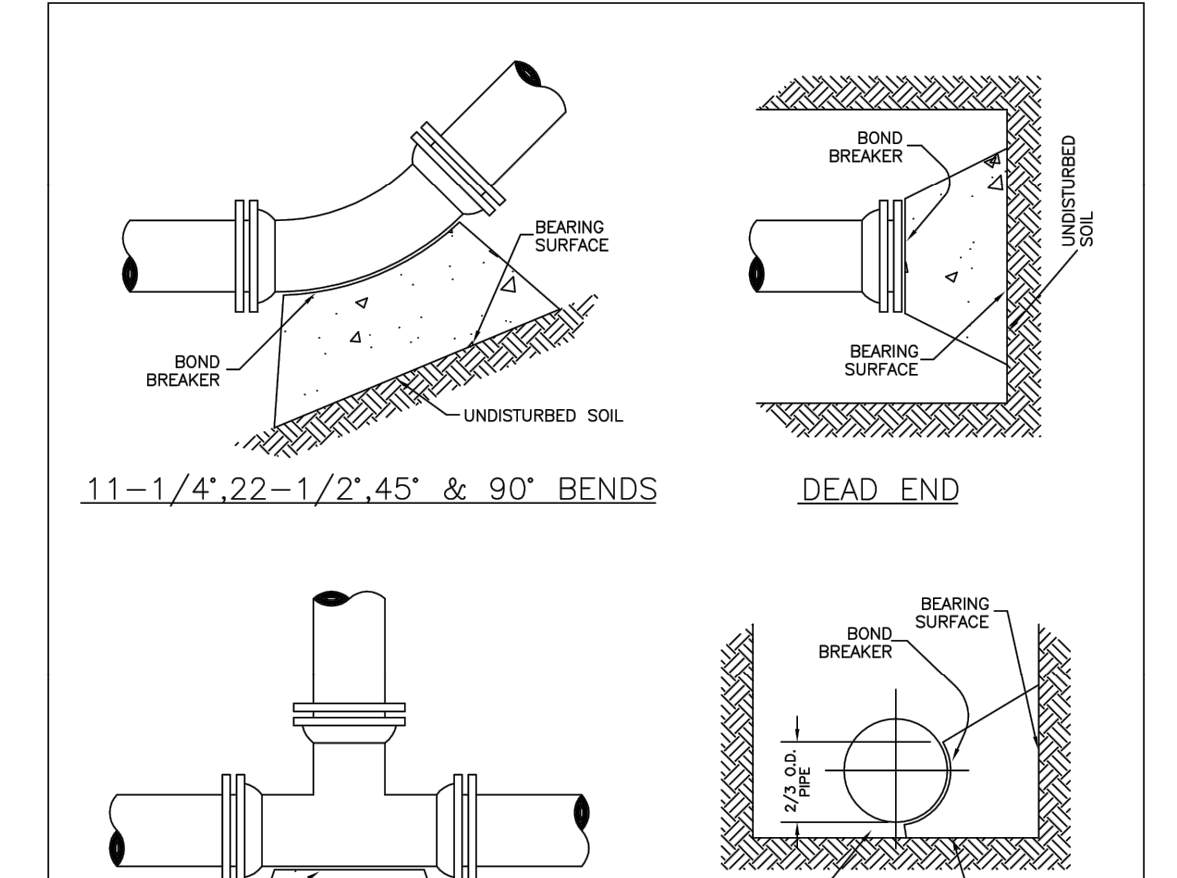
1. Sloping or benching of trench side walls where permitted shall be in accordance with applicable Federal, State and Local safety regulations.
2. Trench shall be braced and shored as necessary to allow safe working conditions or to protect adjacent utilities, structures, etc. Unless otherwise specified on the plans, no pavement will be made for removal, replacement or restoration of curb and gutter, utilities, adjacent structures, etc. outside the maximum limits of excavation as shown and the contractor shall be responsible for protection of same.
3. If dimension $\frac{H}{B} \leq 2$, then existing asphalt pavement shall be removed and replaced up to the gutter. Maximum asphalt soil width, B_2 & B_3 , shall then be based upon this actual width.

PARKER WATER & SANITATION DISTRICT	
SEWER TRENCHING AND BEDDING DETAIL	
SCALE: NONE	DATE: 2/96
APPROVED: PVR	5/08 1/16 10/16
DIRECTOR OF ENGINEERING	10/16
2016 REVISION	SHEET S4.1



NOMINAL PIPE SIZE	NO. OF BOLTS	NO. OF WEDGES	K2 INCHES	J INCHES	F INCHES	M INCHES
4"	2	2				
6"	6	3	11.12	9.5	7.00	0.88
8"	6	4	13.37	11.75	9.15	1.00
10"	6	6	15.62	14.00	11.20	1.00
12"	8	8	17.88	16.25	13.30	1.25
4"	4	2				
6"	6	3	11.12	9.5	7.00	0.88
8"	6	4	13.37	11.75	9.15	1.00
10"	6	6	15.62	14.00	11.20	1.00
12"	8	8	17.88	16.25	13.30	1.25

PARKER WATER & SANITATION DISTRICT	
MECHANICAL JOINT RESTRAINT DETAILS	
SCALE: NONE	DATE: 2/96
APPROVED: PVR	2/00 12/07 1/16 10/16
DIRECTOR OF ENGINEERING	10/16
2016 REVISION	SHEET W3.17



MINIMUM BEARING SURFACE AREA (IN SQUARE FEET)

PIPE SIZE	11-1/4"	22-1/2"	45"	90"	DEAD END
4"	1.00	1.50	1.50	1.50	3.00
6"	1.00	1.25	2.25	4.00	3.00
8"	1.00	2.25	4.00	7.50	3.00
10"	2.00	4.25	8.25	15.25	11.00
12"	3.50	6.50	12.50	23.00	16.50
20"	5.00	10.00	18.50	36.50	25.00
24"	6.50	13.50	25.00	47.00	33.00

PARKER WATER & SANITATION DISTRICT	
CONCRETE KICKBLOCKS BEARING SURFACES AND INSTALLATION	
SCALE: NONE	DATE: 2/96
APPROVED: PVR	4/01 1/16 10/16
DIRECTOR OF ENGINEERING	10/16
2016 REVISION	SHEET W3.18

NO.	REVISION	BY	DATE

Kimley»Horn
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 4582 South Ulster Street, Suite 1500
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LOT 6 PARKER AND PINE FILING 1
 PARKER, CO
 EVERBROOK ACADEMY CONSTRUCTION DOCUMENTS
 UTILITY DETAILS

PROFESSIONAL ENGINEER
 LICENSE NO. 46391
 EXPIRES 06/30/24

PROJECT NO. 096895001
 DRAWING NAME 096895001DT_UT
W1.4

