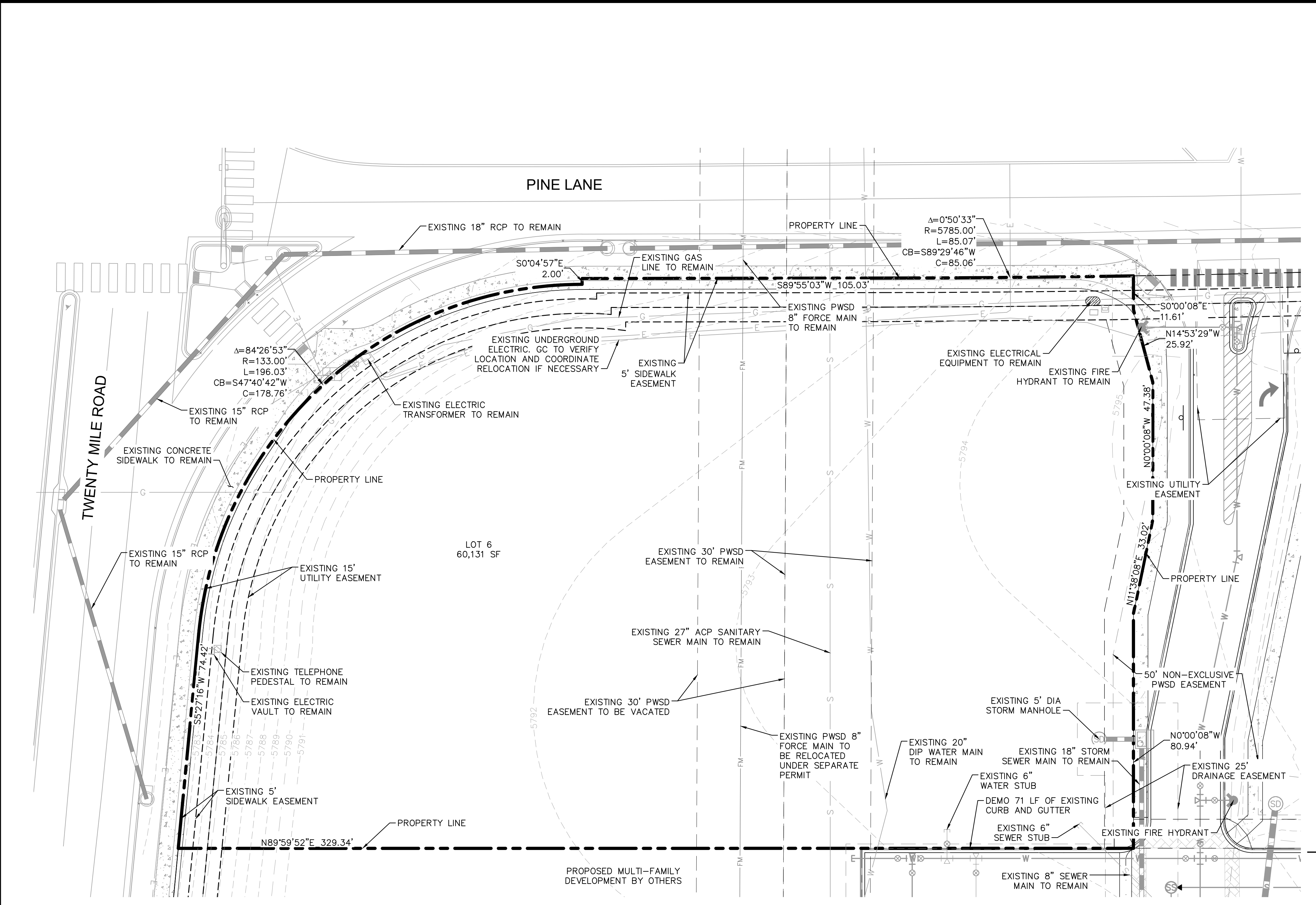


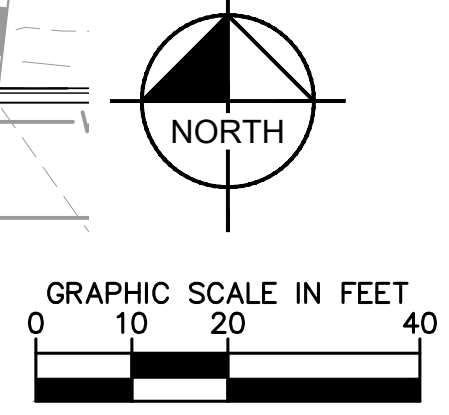
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LEGEND

- — — — — EXISTING PROPERTY LINE
- — — — — EXISTING EASEMENT LINE
- — — — — EXISTING STORM SEWER LINE
- — — — — EXISTING UNDERGROUND POWER LINE
- — — — — EXISTING FORCE PIPE
- — — — — EXISTING WATER LINE
- — — — — EXISTING GAS LINE
- — — — — EXISTING TELECOMM LINE
- — — — — EXISTING COMMUNICATIONS LINE
- — — — — EXISTING CABLE LINE
- — — — — EXISTING SANITARY SEWER LINE
- — — — — EXISTING CCTV LINE
- ⊙ EXISTING SANITARY SEWER MANHOLE
- ⊙ EXISTING STORM SEWER MANHOLE
- ⊙ EXISTING WATER BEND
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER VALVE
- ⊙ EXISTING WATER SERVICE
- ⊙ EXISTING SANITARY SEWER SERVICE
- ⊙ EXISTING SANITARY SEWER BEND
- ⊙ EXISTING STORM INLET

- DEMOLITION NOTES**
1. ALL EXISTING IMPROVEMENTS TO BE PROTECTED IN PLACE, UNLESS SPECIFICALLY CALLED OUT AS 'TO BE REMOVED.'
 2. UTILITIES ARE SHOWN PER ENGINEERING SERVICE COMPANY SURVEY DATED MARCH 20, 2014 AND PARKER AND PINE FILING 1 CONSTRUCTION PLANS (INFRASTRUCTURE) BY KIMLEY-HORN AND ASSOCIATES, INC.



NO.	REVISION	BY	DATE	APPR

Kimley»Horn

2021 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 728-2300

DESIGNED BY: MCH
 DRAWN BY: NMH
 CHECKED BY: DLS
 DATE: 06/30/2021

LOT 6 PARKER AND PINE FILING 1
 PARKER, CO
 EVERBROOK ACADEMY SITE PLAN
 EXISTING CONDITIONS

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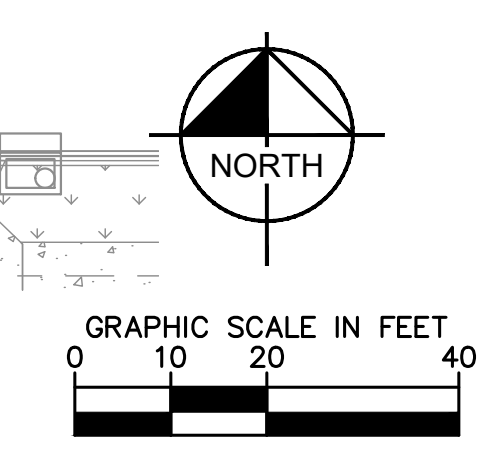
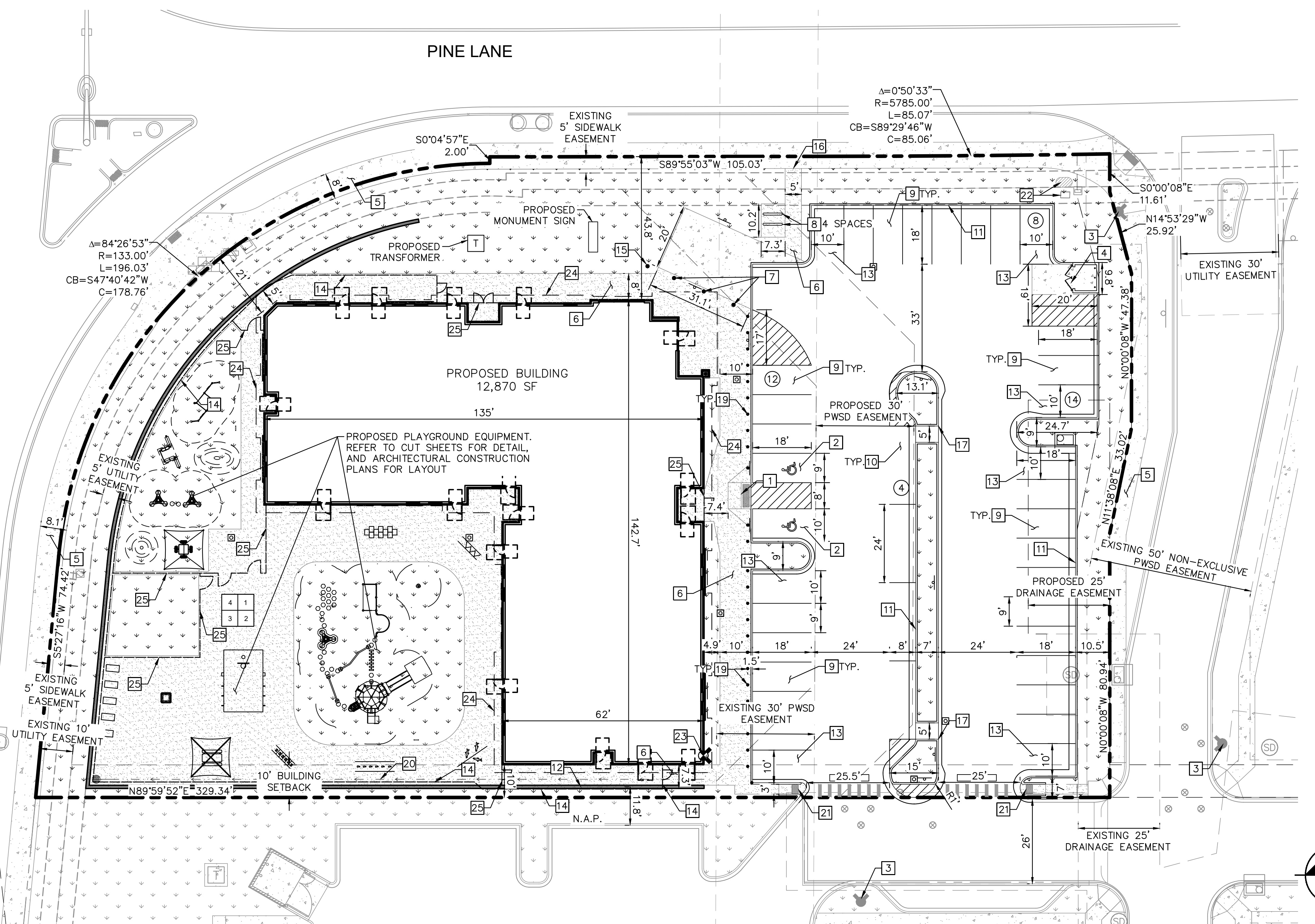
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TWENTY MILE ROAD



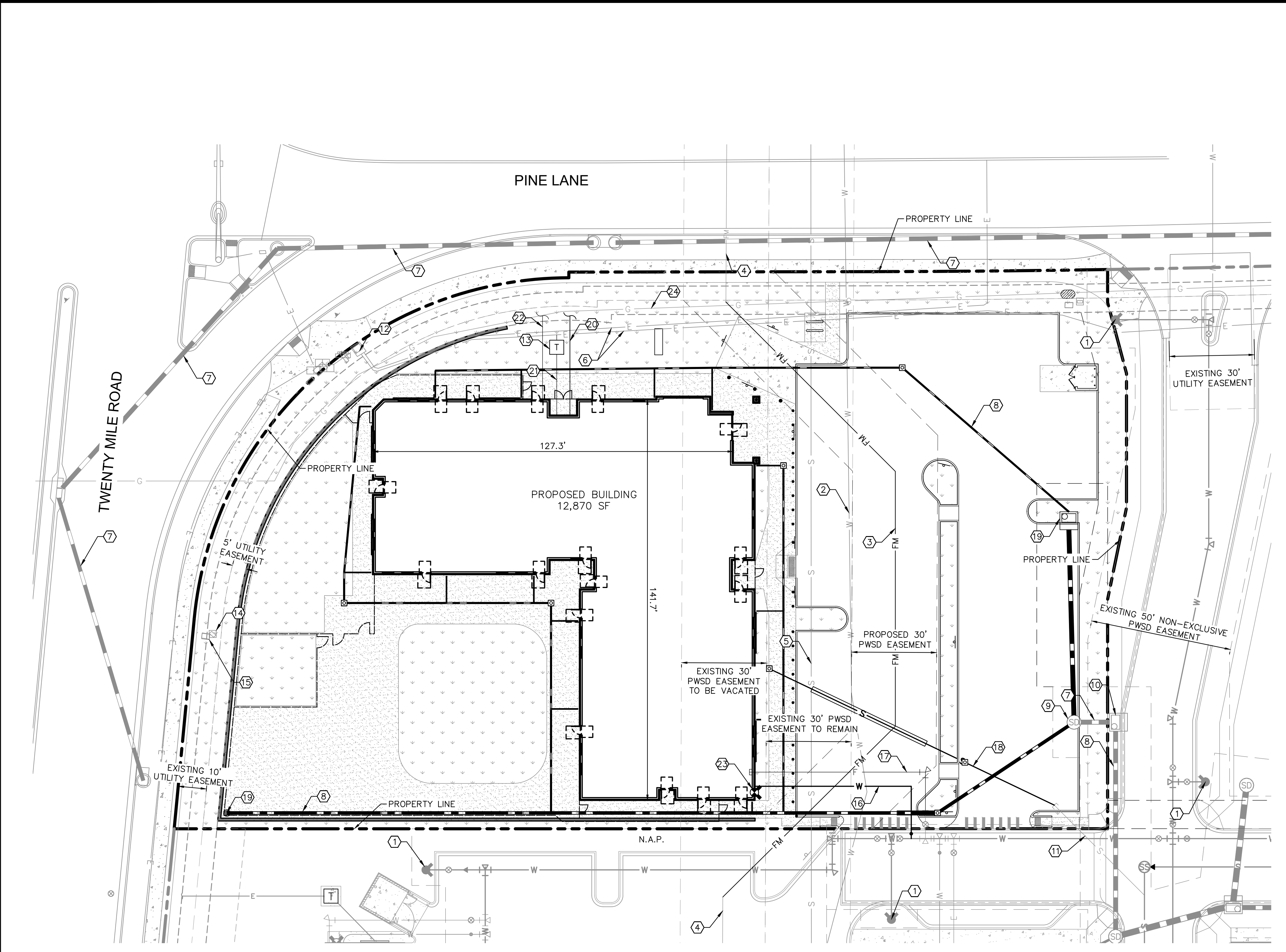
LEGEND

	PROPERTY LINE
	EASEMENT BOUNDARY
	STANDARD DUTY ASPHALT PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	PROPOSED STRIPING
	PARKING COUNT
	EXISTING FIRE HYDRANT
	PROPOSED STORM INLET
	PROPOSED RETAINING WALL AND FENCE
	FDC
	PROPOSED SIGN
	PROPOSED FENCE

- KEY NOTES**
- 1 ADA ACCESSIBLE SIDEWALK RAMP.
 - 2 ADA PARKING STALLS.
 - 3 EXISTING FIRE HYDRANT.
 - 4 TRASH ENCLOSURE. REFER TO ARCH PLANS.
 - 5 EXISTING CONCRETE SIDEWALK, SIZE PER PLAN.
 - 6 CONCRETE SIDEWALK, SIZE PER PLAN.
 - 7 PROPOSED REMOVABLE BOLLARDS.
 - 8 BIKE RACK.
 - 9 STANDARD 9'X18' PARKING STALL.
 - 10 STANDARD 8'X24' PARALLEL PARKING SPACE.
 - 11 18" CURB AND GUTTER.
 - 12 RETAINING WALL WITH FENCE SEE SHEET 04 FOR GRADING INFORMATION AND 14 FOR ARCH PLANS DETAILS.
 - 13 ISLAND ADJACENT 10'X18' PARKING STALL.
 - 14 6' METAL ORNAMENTAL FENCE. REFER TO ARCH PLANS.
 - 15 FLAG POLE. REFER TO ARCH PLANS.
 - 16 5' WIDE PEDESTRIAN CONNECTION.
 - 17 2' WIDE CURB CUT.
 - 18 6" CURB AND INTEGRAL SIDEWALK.
 - 19 BOLLARDS @ 5' O.C. REFER TO ARCH PLANS.
 - 20 CONCRETE CHANNEL. SEE SHEET C6.1 FOR CHANNEL DETAIL.
 - 21 PROPOSED ADA ACCESSIBLE SIDEWALK RAMP PER TOWN OF PARKER STD DETAIL 18.
 - 22 EXISTING ELECTRICAL EQUIPMENT
 - 23 PROPOSED FIRE DEPARTMENT CONNECTION
 - 24 PROPOSED BUILDING OVERHANG
 - 25 4' METAL ORNAMENTAL FENCE. REFER TO ARCH PLANS.
- NOTES:**
1. ALL LIGHTING ON-SITE, EXTERIOR, UNROOFED LIGHTING SHALL CONFORM TO THE TOWN'S LIGHTING STANDARDS.
 2. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM A PUBLIC RIGHT OF WAY.
 3. LOCATION OF TRASH RECEPTACLES SHALL BE SCREENED BY A SOLID SCREEN FENCE SURROUNDING AT LEAST 3 SIDES OF THE CONTAINER.
 4. ALL DIMENSIONS AND RADII ARE TO FLOWLINE OF CURB AND GUTTER UNLESS OTHERWISE NOTED.
 5. REFER TO SITE ELECTRICAL PLANS FOR LIGHT POLE LOCATIONS.

<h1 style="margin: 0;">Kimley»Horn</h1> <p style="font-size: 8px; margin: 0;">2021 KIMLEY-HORN AND ASSOCIATES, INC. 4582 South Ute Street, Suite 1500 Denver, Colorado 80237 (303) 728-2300</p>	<p style="font-size: 8px; margin: 0;">NO. _____</p> <p style="font-size: 8px; margin: 0;">REVISION _____</p> <p style="font-size: 8px; margin: 0;">BY _____</p> <p style="font-size: 8px; margin: 0;">DATE _____</p> <p style="font-size: 8px; margin: 0;">APPR _____</p>
<p style="font-size: 10px; margin: 0;">LOT 6 PARKER AND PINE FILING 1</p> <p style="font-size: 10px; margin: 0;">PARKER, CO</p> <p style="font-size: 10px; margin: 0;">EVERBROOK ACADEMY SITE PLAN</p> <p style="font-size: 10px; margin: 0;">SITE PLAN</p>	
<p style="font-size: 8px; margin: 0;">PRELIMINARY</p> <p style="font-size: 8px; margin: 0;">FOR REVIEW ONLY</p> <p style="font-size: 8px; margin: 0;">NOT FOR CONSTRUCTION</p> <p style="font-size: 8px; margin: 0;">Kimley»Horn</p> <p style="font-size: 8px; margin: 0;">Kimley-Horn and Associates, Inc.</p> <p style="font-size: 8px; margin: 0;">PROJECT NO. 096895001</p> <p style="font-size: 8px; margin: 0;">DRAWING NAME 096895001SP_SP</p>	
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UTILITY LEGEND

	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATER LINE
	PROPOSED STORM DRAINAGE LINE
	EXISTING STORM DRAINAGE LINE
	EXISTING GAS LINE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING ELECTRIC LINE
	EXISTING FIRE HYDRANT W/ BOLLARDS
	PROPOSED METER
	EXISTING SANITARY SEWER MANHOLE

- SITE KEYNOTES**
- 1 EXISTING FIRE HYDRANT
 - 2 EXISTING 20" DIP WATER MAIN
 - 3 PROPOSED 8" C900 PVC EFFLUENT FORCE MAIN
 - 4 EXISTING 8" FORCE MAIN
 - 5 EXISTING 27" ACP SANITARY SEWER MAIN
 - 6 EXISTING UNDERGROUND ELECTRIC LINE
 - 7 EXISTING STORM SEWER MAIN
 - 8 PROPOSED STORM SEWER
 - 9 EXISTING STORM MANHOLE
 - 10 EXISTING STORM INLET
 - 11 EXISTING 6" SEWER STUB
 - 12 EXISTING ELECTRIC TRANSFORMER
 - 13 PROPOSED ELECTRIC TRANSFORMER
 - 14 EXISTING TELEPHONE PEDESTAL
 - 15 EXISTING ELECTRIC VAULT
 - 16 PROPOSED 1.5" DOMESTIC WATER LINE
 - 17 PROPOSED 6" FIRE LINE
 - 18 PROPOSED 6" SANITARY SEWER LINE @ 1.0% MIN
 - 19 PROPOSED STORM INLET
 - 20 PROPOSED GAS LINE
 - 21 PROPOSED ELECTRIC LINE
 - 22 PROPOSED TELEPHONE LINE
 - 23 PROPOSED FIRE DEPARTMENT CONNECTION
 - 24 EXISTING GAS LINE

NO.	REVISION	BY	DATE	APPR.

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 4582 South Ulster Street, Suite 1500
 Denver, Colorado 80237 (303) 728-2300

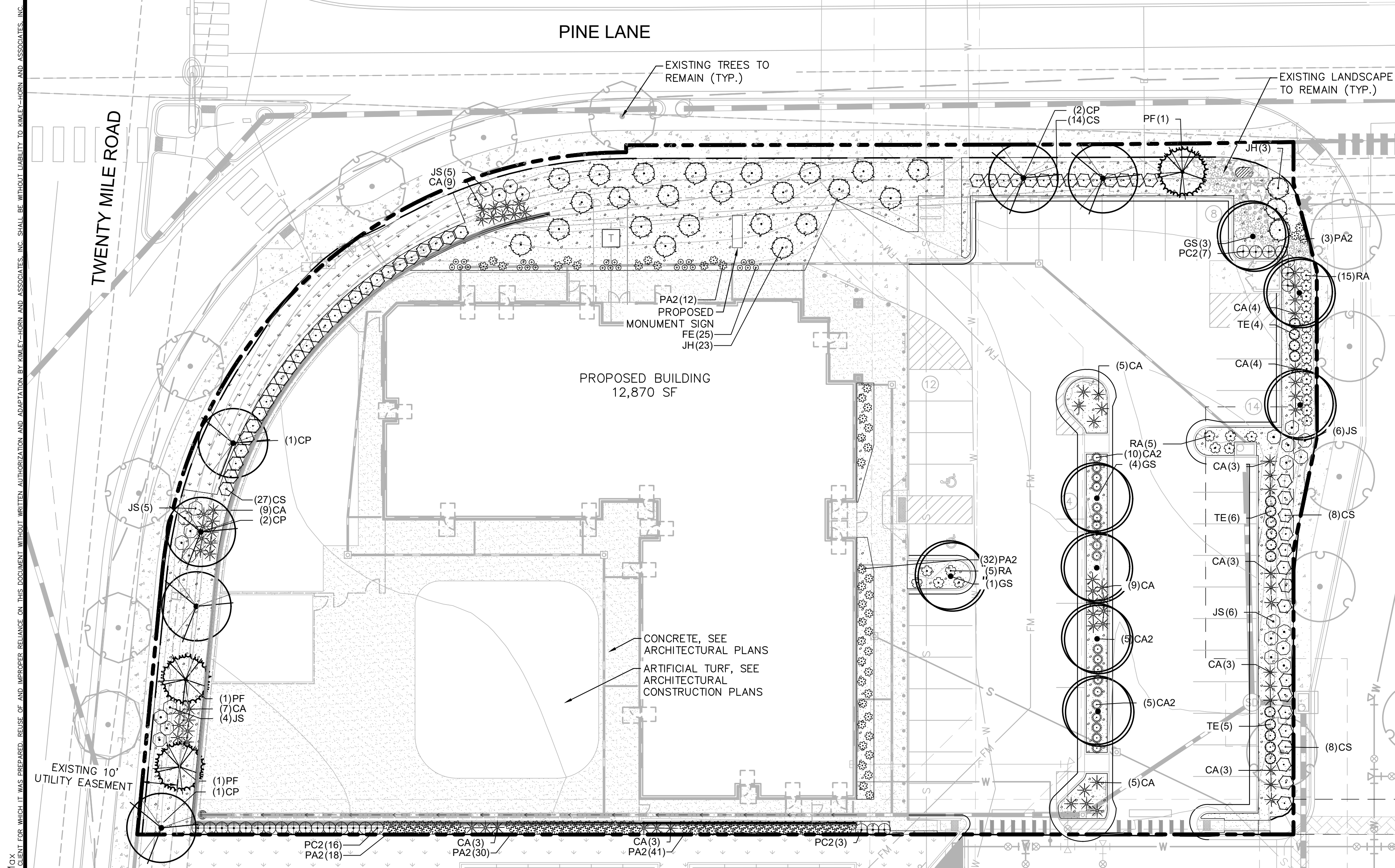
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LANDSCAPE CALCULATIONS

PERIMETER LANDSCAPING

ADJACENT NON-RESIDENTIAL: 1 TREE & 5 SHRUBS PER 40 LINEAR FEET
 ADJACENT RESIDENTIAL: 1 TREE & 5 SHRUBS PER 25 LINEAR FEET
 10 SHRUBS MAY BE SUBSTITUTED FOR 1 TREE

	REQUIRED	PROVIDED
240 LF NORTH PERIMETER - PINE LANE	6 TREES + 30 SHRUBS	3 TREE + 88 SHRUBS
183 LF EAST PERIMETER - PRIVATE DRIVE	5 TREES + 25 SHRUBS	3 TREES + 78 SHRUBS
234 LF SOUTH PERIMETER - TRACT A	9 TREES + 46 SHRUBS	104 SHRUBS
217 LF WEST PERIMETER - TWENTY MILE ROAD	6 TREES + 25 SHRUBS	6 TREES + 25 SHRUBS
PERIMETER TOTAL	25 TREES + 126 SHRUBS	6 TREE + 331 SHRUBS (206 SHRUBS SUBSTITUTED FOR 19 REQUIRED TREES)
OVERALL % OF TREES TO BE EVERGREEN*	25 - 50%	27%
PERIMETER % OF TREES TO BE EVERGREEN*	40 - 60%	43%

*EVERGREEN SHRUBS ARE INCLUDED IN THIS PERCENTAGE AS SHRUBS HAVE BEEN SUBSTITUTED FOR TREES

PARKING LOT LANDSCAPING

1 TREE & 5 SHRUBS PER 162 SF ISLAND
 1 SHRUB PER ADDITIONAL 15 SF

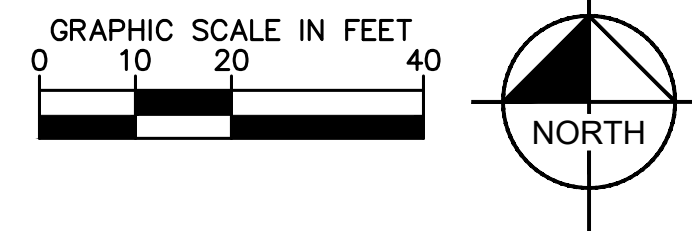
	REQUIRED	PROVIDED
	5 TREES & 25 SHRUBS	5 TREES & 25 SHRUBS

MINIMUM SITE LANDSCAPING STANDARDS

	REQUIRED	PROVIDED
SITE AREA: 60,112 SF	9,016 SF	10,930 SF
15% TOTAL SITE AREA	8 TREES + 40 SHRUBS	8 TREES + 340 SHRUBS
1 TREE + 5 SHRUBS / 1,500 SF OF SITE	75%	84%
LANDSCAPE AREA TO BE LIVING LANDSCAPE MATERIAL		

PLANT SCHEDULE

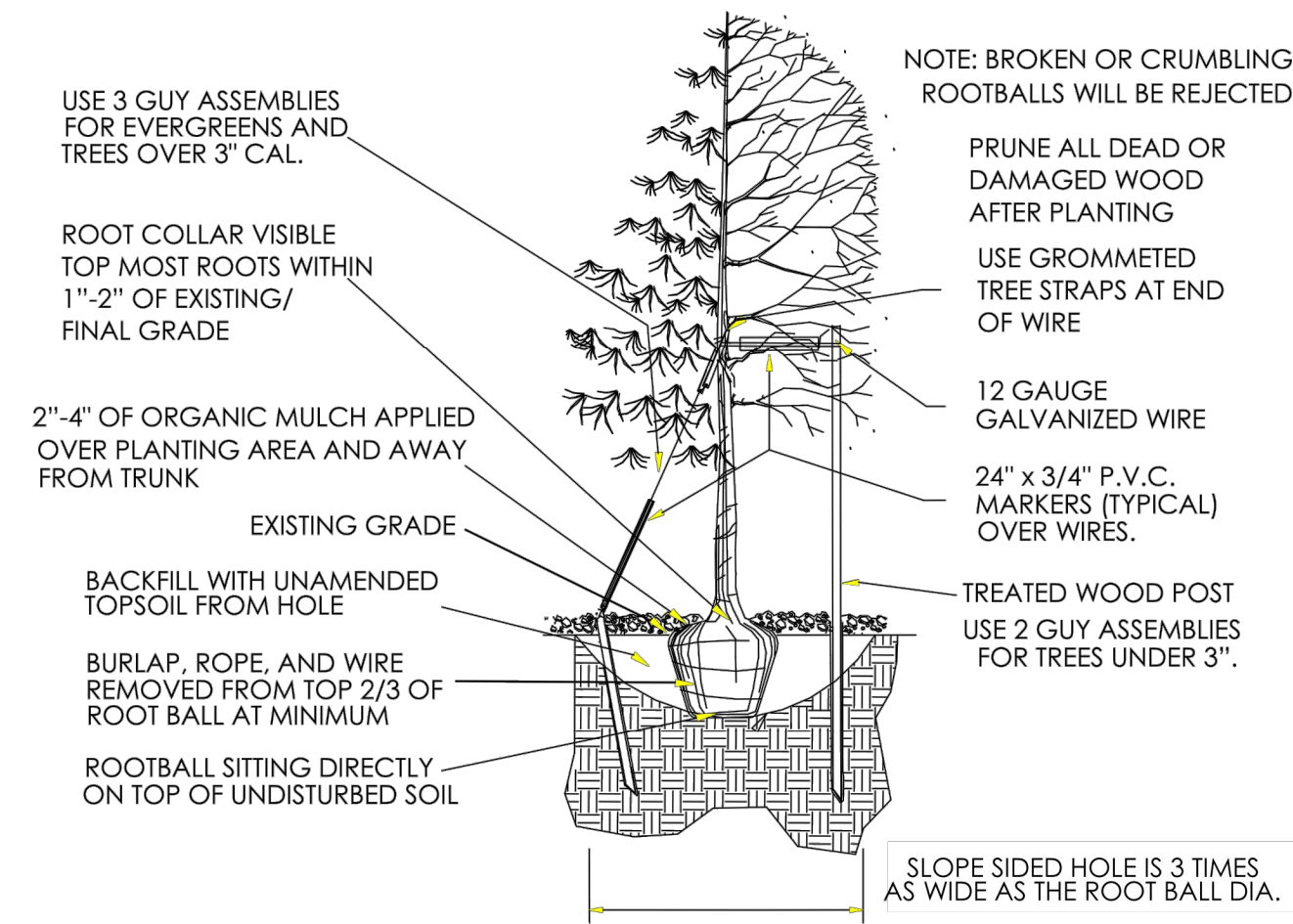
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	MATURE HT.	VERY LOW	LOW	MEDIUM	HIGH	
	CP	6	CELTIS OCCIDENTALIS 'PRAIRIE PRIDE'	PRAIRIE PRIDE COMMON HACKBERRY	B & B	2" CAL MIN	12'-14" HT MIN	50' HT X 40' SPRD.		X			
	GS	8	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' TM	SHADEMASTER LOCUST	B & B	2" CAL MIN	10' - 12' HT. MIN.	45' HT X 40' SPRD.		X			
	PF	3	PICEA PUNGENS 'FAT ALBERT'	COLORADO SPRUCE	B & B		6' HT MIN	40' HT X 20' SPRD.			X		
TOTAL: 17													
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	SIZE	MATURE HT.	VERY LOW	LOW	MEDIUM	HIGH	
	CA2	20	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	5 GAL	SEE PLAN	24" HT MIN	3-5' HT.		X			
	CA	70	CORNUS SERICEA 'ARCTIC FIRE'	ARCTIC FIRE DOGWOOD	5 GAL	SEE PLAN	24" FULL	3-4' HT.			X		
	CS	57	CYTISUS PURGANS 'SPANISH GOLD'	SPANISH GOLD BROOM	5 GAL	SEE PLAN	24" FULL	3-4' HT.		X			
	FE	25	FESTUCA GLAUCA 'ELIJAH BLUE'	BLUE FESCUE	1 GAL	SEE PLAN	12" HT MIN	8-12' HT.		X			
	JH	26	JUNIPERUS HORIZONTALIS	CREEPING JUNIPER	5 GAL	SEE PLAN	36" SPRD MIN	5-1.5' HT.		X			
	JS	26	JUNIPERUS SABINA	SAVIN JUNIPER	5 GAL	SEE PLAN	24" FULL	4-6' HT.		X			
	PA2	136	PEROVSKIA X 'LITTLE SPIRE'	LITTLE SPIRE RUSSIAN SAGE	5 GAL	SEE PLAN	18" FULL	3-4' HT.		X			
	PC2	26	PINUS MUGO 'COMPACTA'	DWARF MUGO PINE	5 GAL	SEE PLAN	24" FULL	3-5' HT.		X			
	RA	25	RIBES ALPINUM 'GREEN MOUND'	GREEN MOUND ALPINE CURRANT	5 GAL	SEE PLAN	18" FULL	2-3' HT.		X			
	TE	15	THUJA OCCIDENTALIS 'EMERALD'	EMERALD ARBORVITAE	5 GAL	SEE PLAN	18" FULL	15' HT. - 4' SPRD.			X		
TOTAL: 426													
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	SPACING	SPACING	MATURE HT.	VERY LOW	LOW	MEDIUM	HIGH
	KB	1,156 SF	KEN-TEX BLUEGRASS	KEN-TEX BLUEGRASS	SOD							X	
	R'	10,671 SF	ROCK MULCH	2"-6" RIVER ROCK MULCH									



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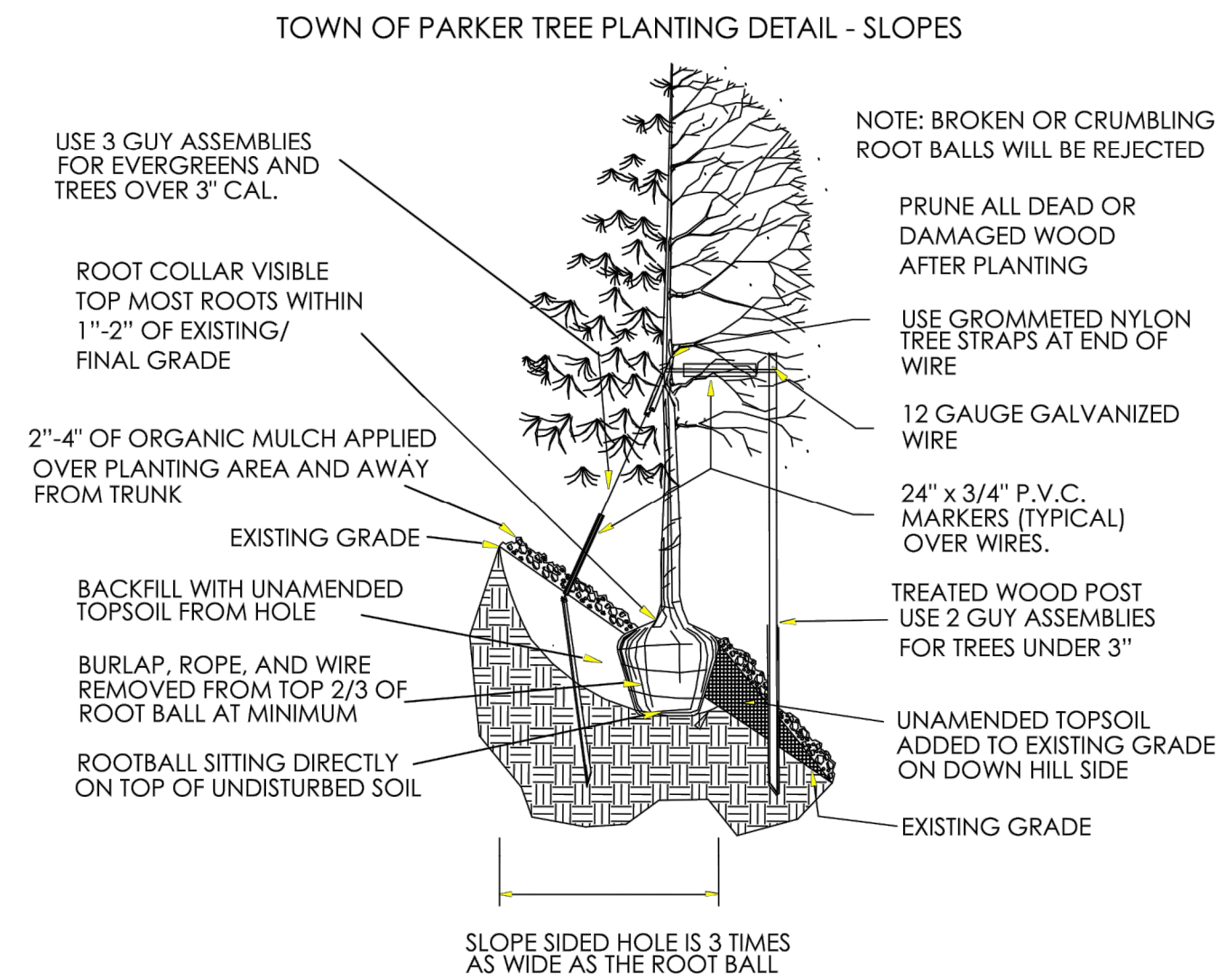
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TOWN OF PARKER PLANTING STANDARDS

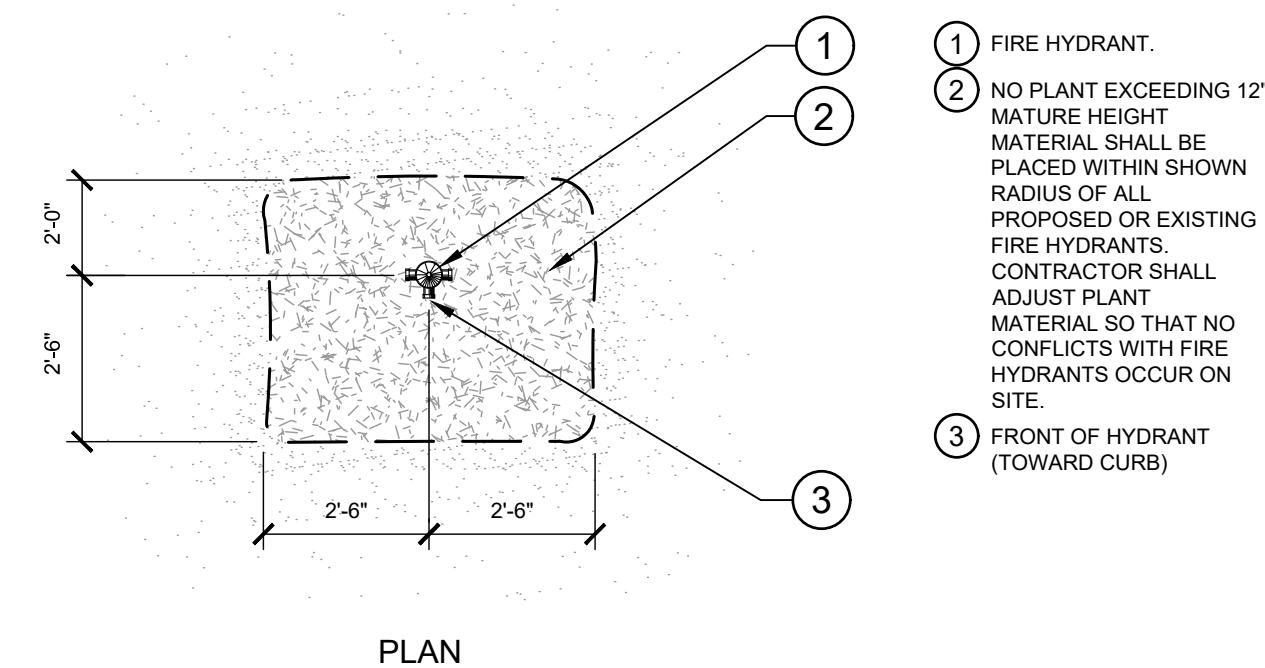
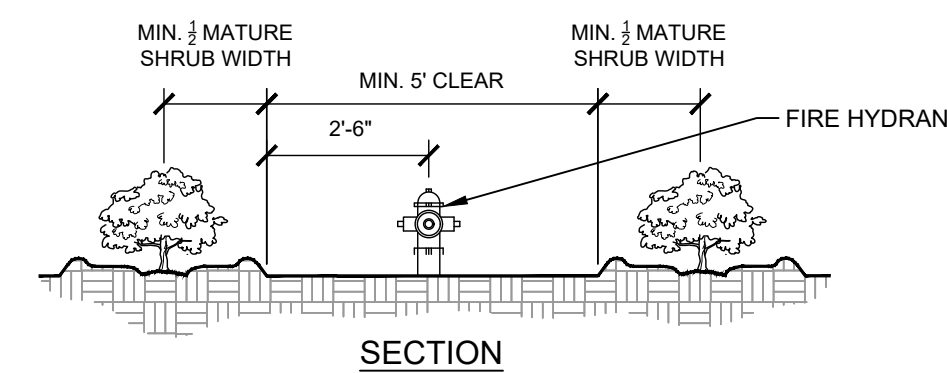
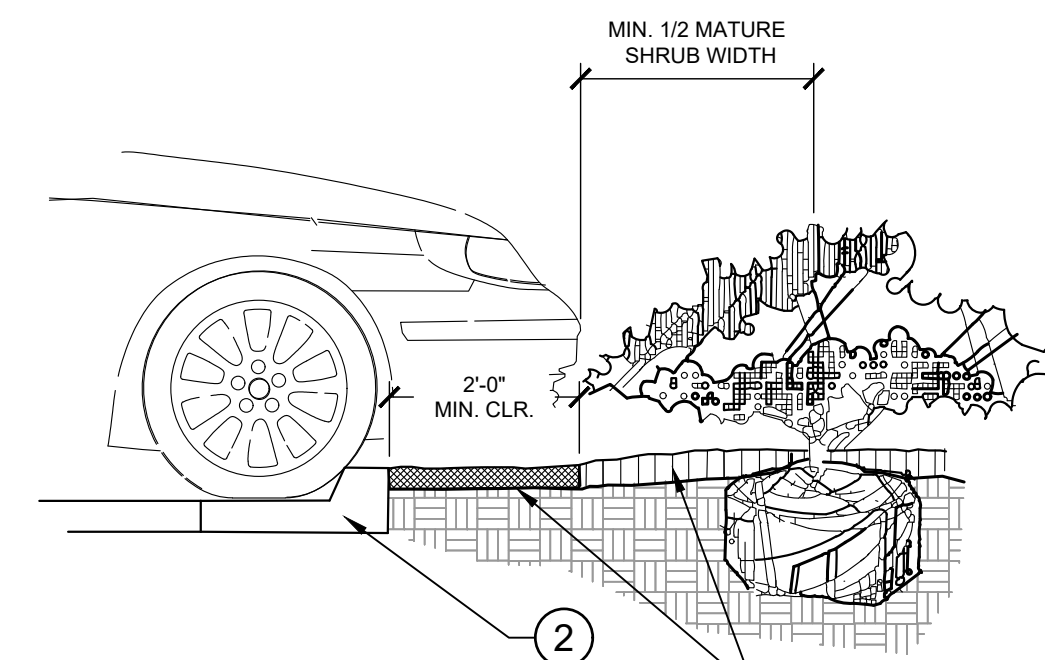
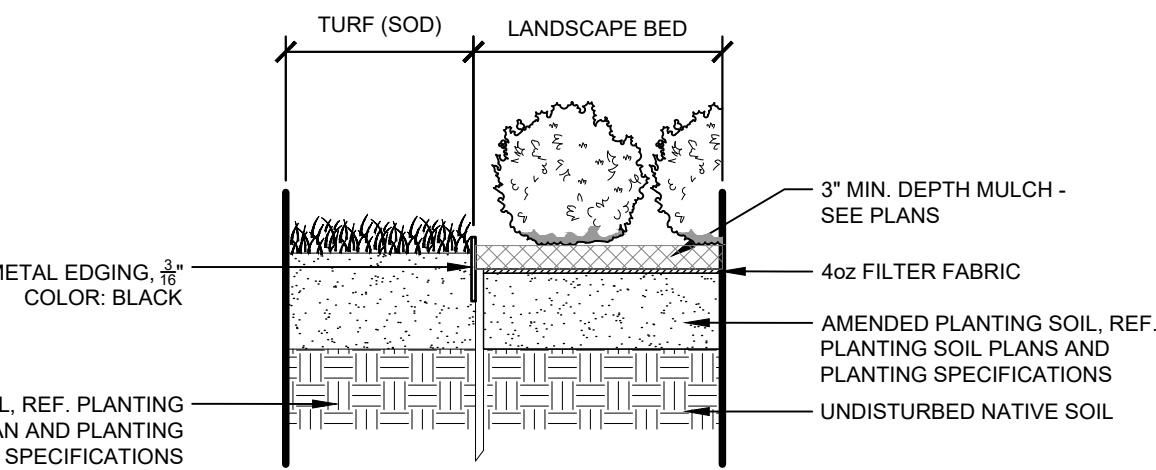
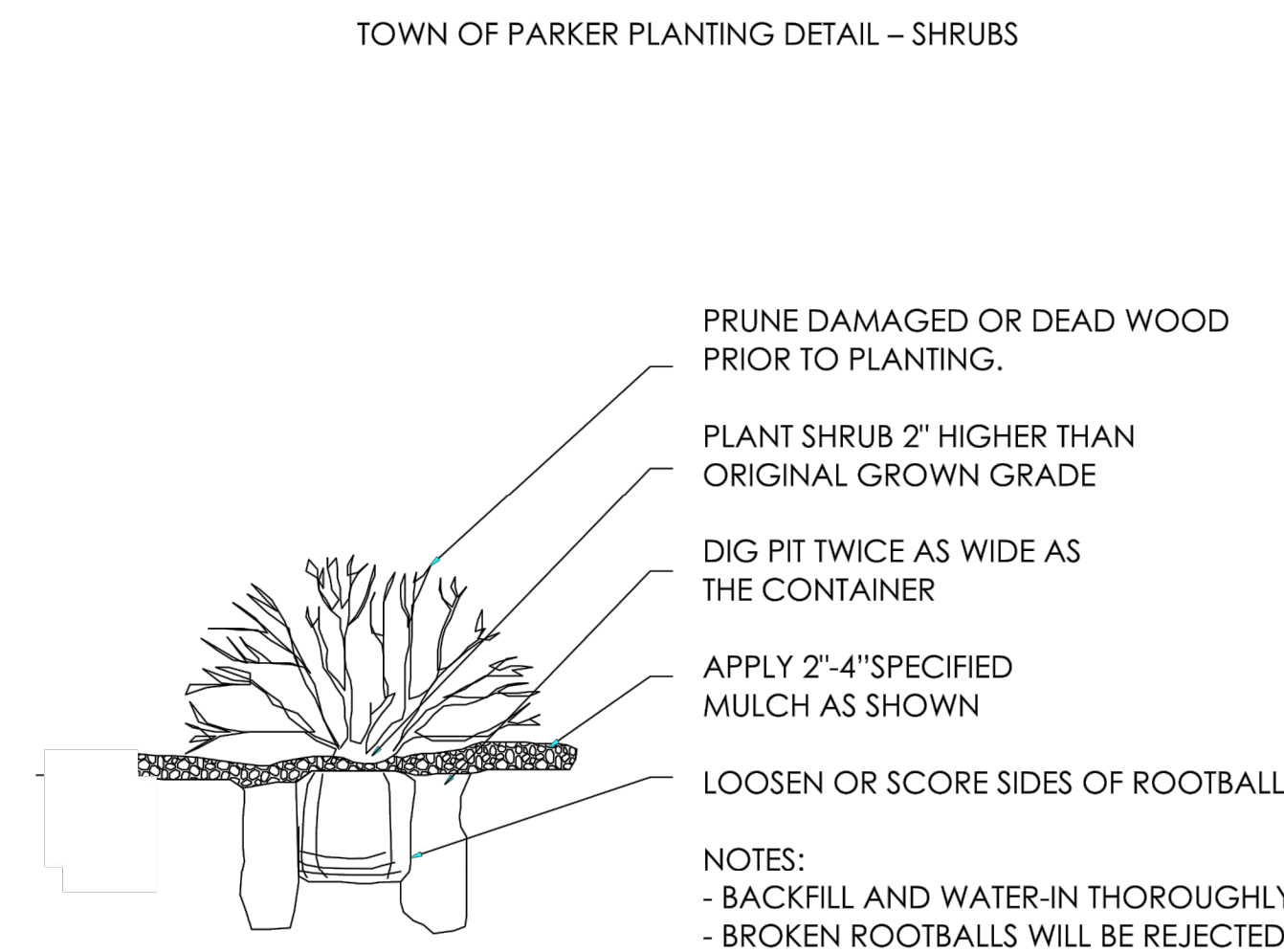


- Excavate planting holes with sloping sides. Make excavations at least three times as wide as the root ball diameter and no deeper than the distance from the top most roots in the root ball to the bottom of the root ball to allow for settling. Do not disturb soil at bottom of planting holes, but do score the sides of the planting hole. The planting area shall be loosened and aerated at least three times the diameter of the root ball. Backfill shall consist of existing on site topsoil – no amendments shall be used unless otherwise specified.
- Trees shall be planted with the root collar/flare visible above grade AND two or more structural roots located within the top 1" to 2" of the root ball/finished grade measured 3" to 4" from trunk. This includes trees that are set on slopes (see slope planting detail). Trees that do not have a visible root collar shall be rejected. Do not cover the root ball with soil.
- When root ball will remain intact, cut off bottom 1/4 of wire basket before placing tree in hole, cut off remainder of basket AFTER tree is set in hole, remove basket completely. At a minimum, the top 2/3 of the burlap and basket shall be removed from the root ball on all trees. Remove all nylon ties, twine, rope and burlap. Remove unnecessary packing material.
- Form soil into a 3" to 5" tall watering ring (saucer) around planting area. This is not necessary in irrigated turf areas. Apply 2" to 4" depth of specified mulch over planting area and inside saucers, away from trunk.
- Staking and guying of trees is optional in most planting situations. In areas of extreme winds, or on steep slopes, staking may be required to stabilize trees. Staking and guying must be removed within 1 year of planting date.
- Tree wrap is *not* to be used on any new plantings, except in late fall planting situations, and only then after consultation with the Town Arborist.
- Resetting of improperly planted trees will only be allowed if it is determined that doing so will in no way compromise the root ball, and shall only be done with approval of the Town Arborist.

TOWN OF PARKER PLANTING STANDARDS



TOWN OF PARKER PLANTING STANDARDS



TOWN OF PARKER LANDSCAPE MAINTENANCE NOTES

- ALL PLANTINGS SHALL BE MAINTAINED IN A HEALTHY AND ATTRACTIVE MANNER, AS DETERMINED BY THE TOWN. MAINTENANCE SHALL BE CONDUCTED BY THE PROPERTY OWNER OF RECORD, THE PROPERTY OWNER'S AGENT OR TENANT OR A HOMEOWNERS ASSOCIATION WHICH HAS ASSUMED LANDSCAPE MAINTENANCE RESPONSIBILITY.
- ALL ORNAMENTAL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS, AND LITTER. MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO: WATERING, FERTILIZING, WEEDING, CLEANING, MOWING, EDGING, BALDING, PRUNING, TRIMMING, SPRAYING, CULTIVATING, OR OTHER MAINTENANCE AS NEEDED AND IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. AREAS OF NATIVE OR NATURALIZED LANDSCAPE ARE EXEMPT FROM THIS LEVEL OF MAINTENANCE. ACCEPTABLE MAINTENANCE OF NATIVE PLANTS INCLUDES, BUT IS NOT LIMITED TO, REMOVAL OF DEAD OR DISEASED PLANTS, WEED CONTROL, AND SEASONAL MOWING.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OF THEIR DEATH, UNLESS SEASONAL CONDITIONS PROHIBIT REMOVAL AND REPLACEMENT. IN SUCH CASE, THE REMOVAL AND REPLACEMENT SHALL OCCUR WITHIN A REASONABLE PERIOD OF TIME APPROVED BY THE TOWN.
- NON-LIVING LANDSCAPE MATERIALS SUCH AS ROCK, STONE, BARK CHIPS AND SHAWINGS WHICH NO LONGER COVER THE AREA IN WHICH THEY WERE ORIGINALLY DEPOSITED SHALL BE REGULARLY REPLENISHED TO MAINTAIN THE FULL COVERAGE TO A MINIMUM DEPTH OF THREE (3) INCHES FOR ROCK, MULCHES AND FOUR (4) INCHES FOR WOOD MULCH.
- LANDSCAPING STRUCTURAL FEATURES (E.G. FENCING, WALLS, PLANTER BOXES) AND SITE FINISHINGS SHALL BE MAINTAINED IN A SOUND, STRUCTURAL AND ATTRACTIVE CONDITION. IRRIGATION SYSTEMS ARE TO BE MONITORED AND ADJUSTED PERIODICALLY TO ENSURE THAT THE WATER DEMANDS OF ALL PLANT MATERIALS ARE MET.
- IRRIGATION SYSTEM REPAIRS SHALL BE MADE WITHIN SEVEN (7) DAYS OF DISCOVERY OF DAMAGE UNLESS SEASONAL CONDITIONS PROHIBIT REPAIRS.
- LANDSCAPE AREAS SHALL BE FREE FROM TRASH AND DEBRIS.
- FAILURE TO BEREADE DEAD LANDSCAPE MATERIALS WITHIN A REASONABLE PERIOD OF TIME, AS SPECIFIED IN PARAGRAPH (2) ABOVE, SHALL BE CONSIDERED A VIOLATION OF THE SITE PLAN APPROVAL AND IS SUBJECT TO ENFORCEMENT AND PENALTY PROVISIONS OF THIS TITLE.

4 METAL EDGER AT PLANTING BED

1" = 1"
 096-895-001-21

5 PARKING SPACE/CURB PLANTING SECTION

6 SHRUB PLANTING AT FIRE HYDRANT SECTION / PLAN

NO.	REVISION	BY	DATE	APPRO

Kimley»Horn
 2021 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Smith Street, Suite 1500
 Denver, Colorado 80237 (303) 728-2300

DESIGNED BY: MCN
 DRAWN BY: NMH
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 PARKER, CO
 EVERBROOK ACADEMY SITE PLAN
 LANDSCAPE DETAILS**

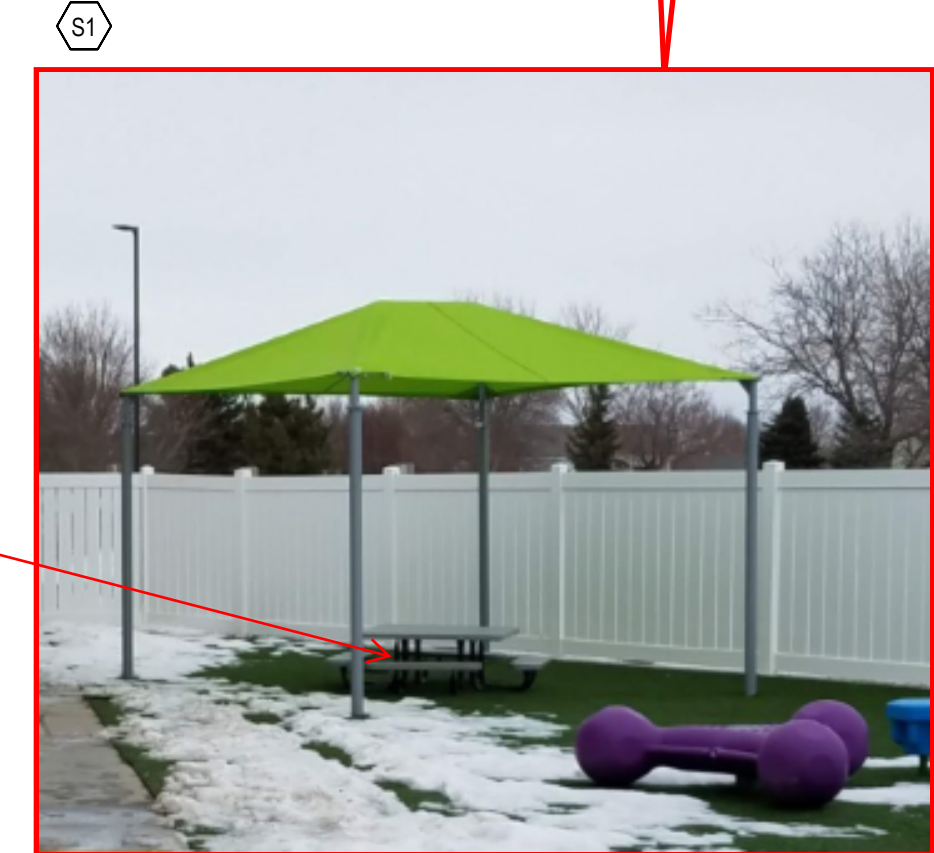
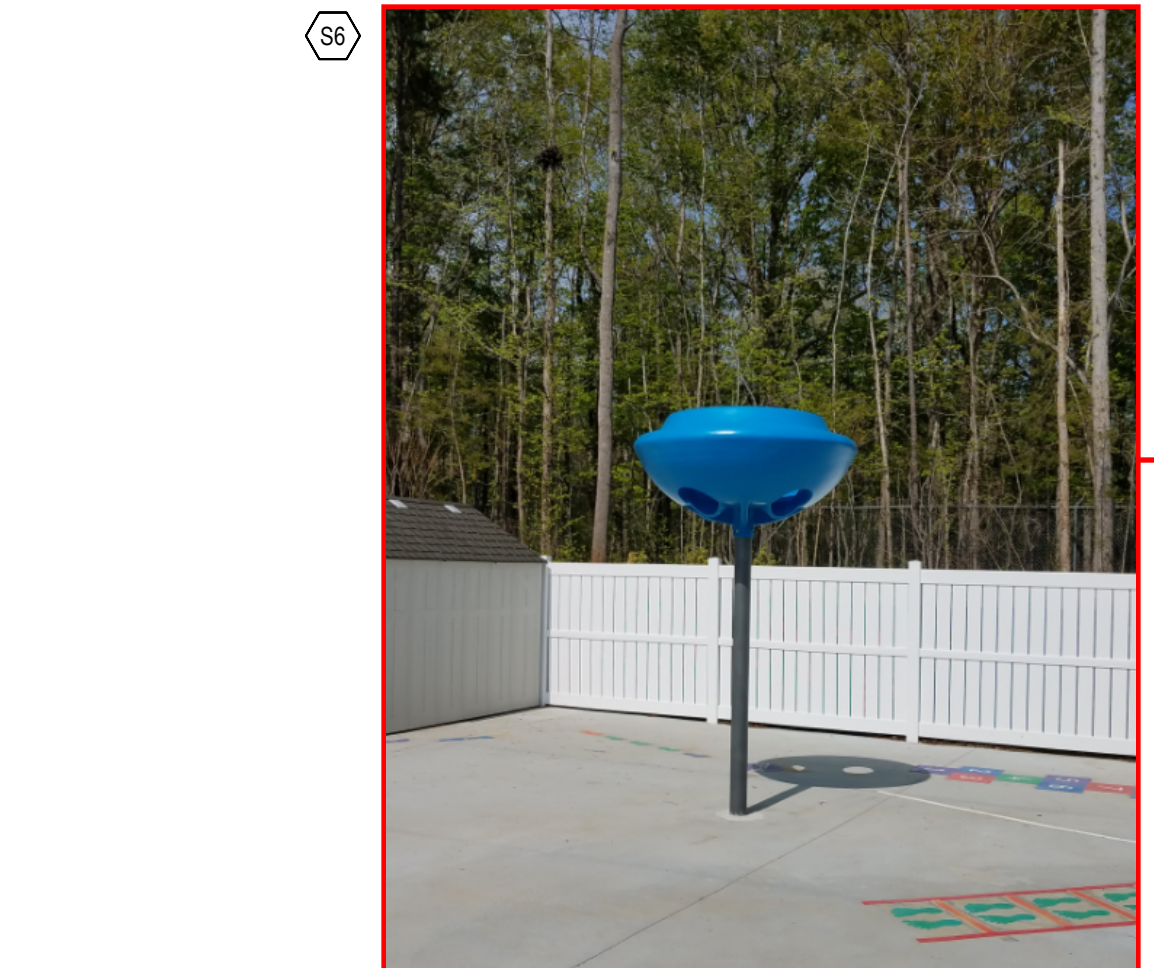
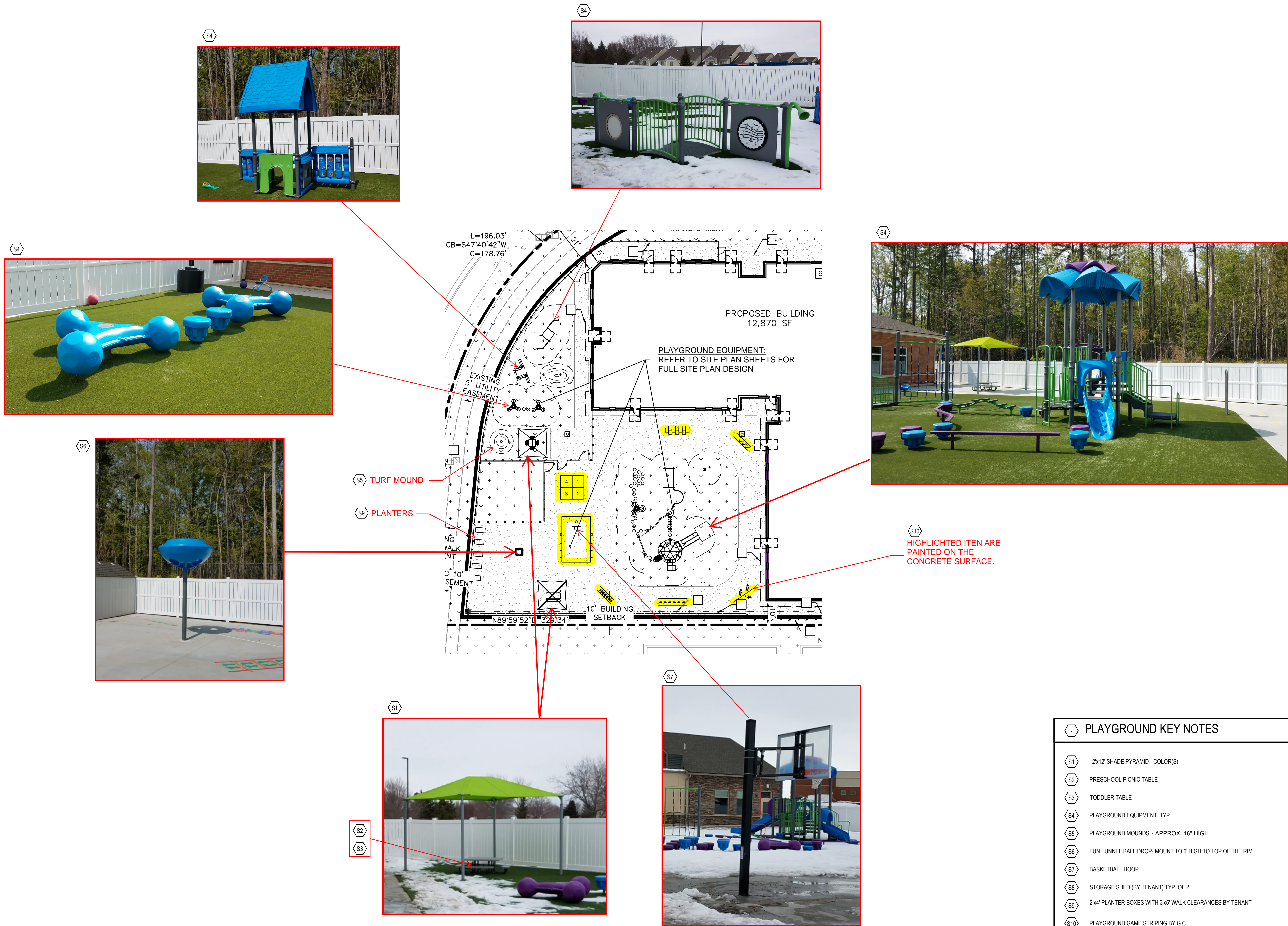
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PLAYGROUND KEY NOTES	
S1	12x12 SHADE PYRAMID - COLOR(S)
S2	PRESCHOOL PICNIC TABLE
S3	TODDLER TABLE
S4	PLAYGROUND EQUIPMENT. TYP.
S5	PLAYGROUND MOUNDS - APPROX. 16" HIGH
S6	FUN TUNNEL BALL DROP- MOUNT TO 6' HIGH TO TOP OF THE RIM.
S7	BASKETBALL HOOP
S8	STORAGE SHED (BY TENANT) TYP. OF 2
S9	2x4 PLANTER BOXES WITH 3x5 WALK CLEARANCES BY TENANT
S10	PLAYGROUND GAME STRIPING BY G.C.

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LOT 6 PARKER AND PINE FILING 1
 PARKER, CO
 EVERBROOK ACADEMY SITE PLAN
 PLAYGROUND EQUIPMENT DETAILS

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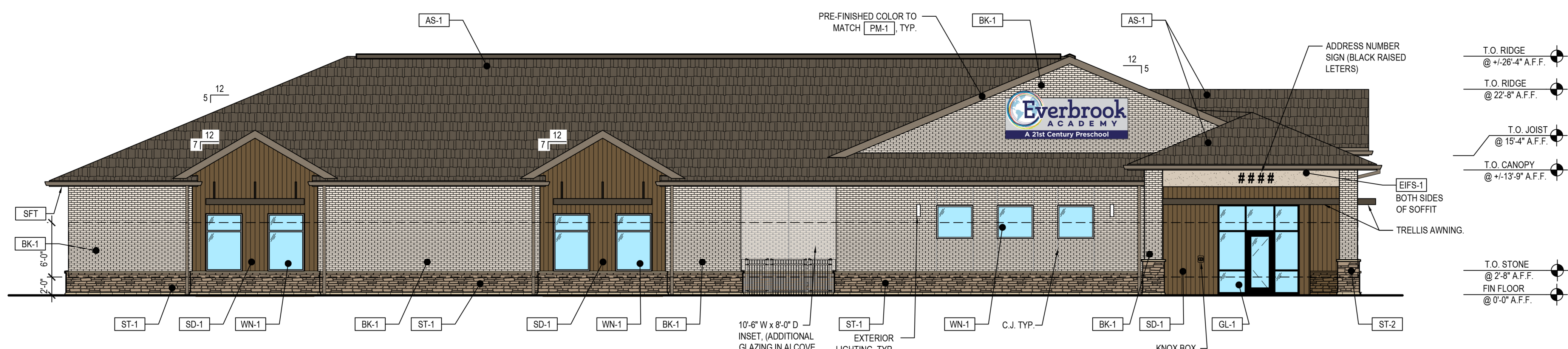
PROJECT NO.
096895001

DRAWING NAME

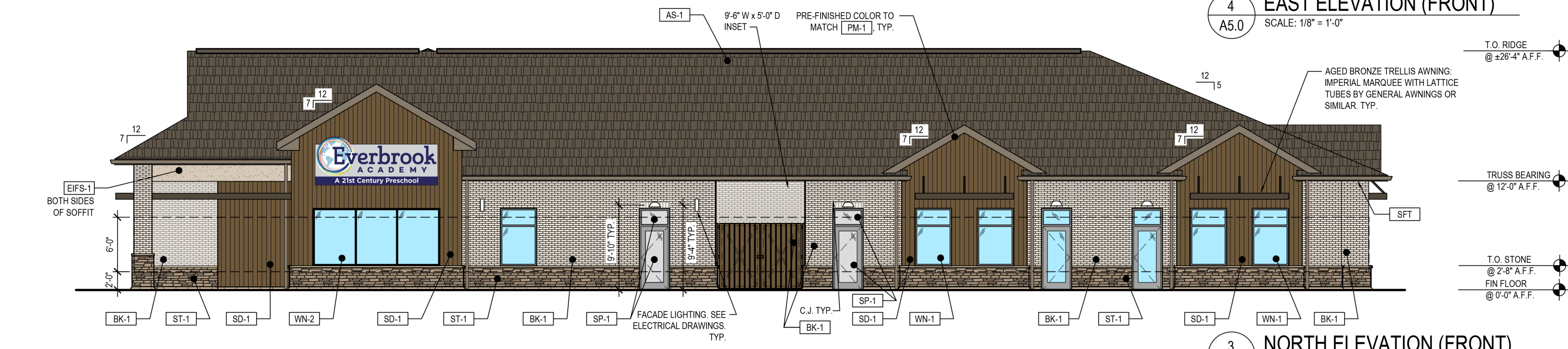
10 OF 16

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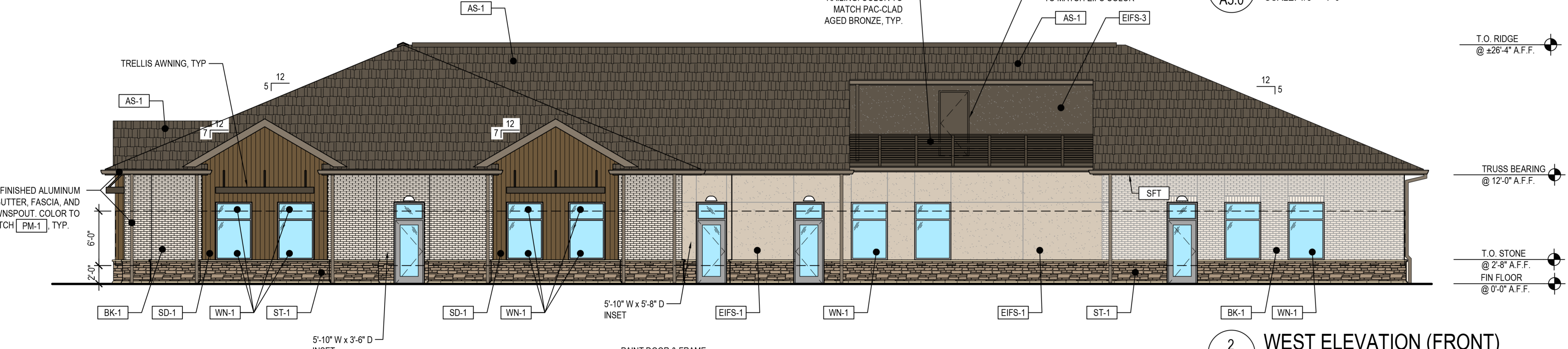
M:\Learning Curve Group\20028 Everbrook - Parker, CO\02 SD\Rendering\2021-06-24 Colored Elevations\20028_A5.0_Exterior Elevations.dwg Rachel Hart



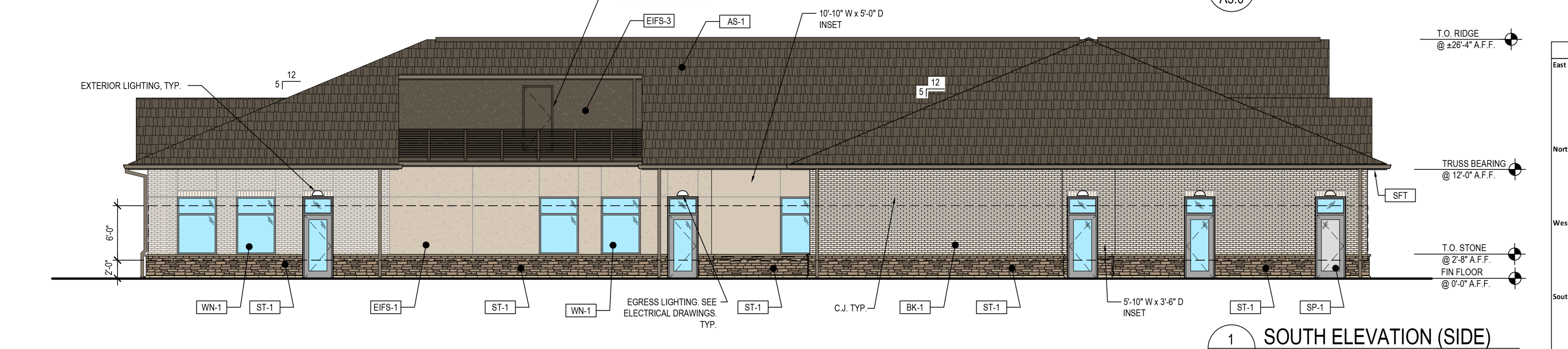
4 EAST ELEVATION (FRONT)
A5.0 SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION (FRONT)
A5.0 SCALE: 1/8" = 1'-0"



2 WEST ELEVATION (FRONT)
A5.0 SCALE: 1/8" = 1'-0"



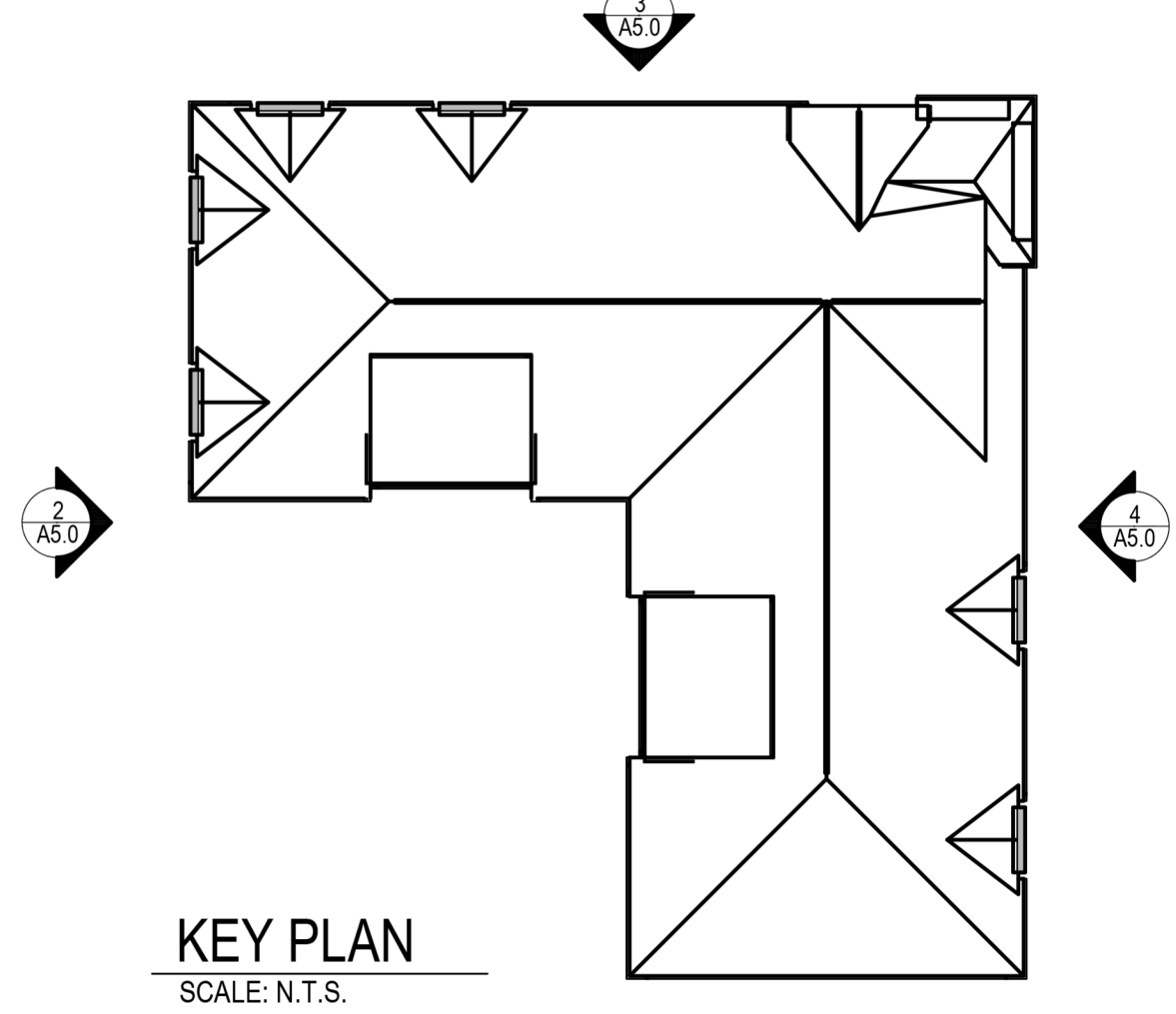
1 SOUTH ELEVATION (SIDE)
A5.0 SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATIONS GENERAL NOTES

- ALL MATERIALS NOT LABELED ARE TYPICAL FOR ALL SIMILAR LOCATIONS. QUESTIONS SHALL BE REFERRED TO THE ARCHITECT.
- EIFS SHALL BE DRYVIT, COMMERCIAL GRADE AS FOLLOWS: GENESIS BASE COAT, REINFORCING MESH BASE & FINISH COATS SHALL BE PROVIDED OVER MINIMUM 1" EPS INSULATION BOARD, MECHANICALLY FASTENED OVER DRAINAGE MAT & WEATHER RESISTIVE BARRIER OVER EXTERIOR SHEATHING.
- ALL EIFS SHALL BE INSTALLED AS PER MFR'S RECOMMENDATIONS, INCLUDING ALL SEALANT, FLASHING, AND JOINERY AT DISSIMILAR MATERIALS. PROVIDE PANZER 20 REINFORCING MESH TO 8'-0" A.F.F. (TYP.)
- PROVIDE BLOCKING IN FACADE TO SUPPORT ALL BUILDING SIGNAGE.
- REFER TO ELECTRICAL DRAWINGS FOR LIGHTING INFORMATION.

EXTERIOR FINISH LEGEND

TAG	DESCRIPTION
AS-1	ASPHALT SHINGLES: TIMBERLINE HD, COLOR: WEATHERED WOOD
BK-1	BRICK: INSTERSTATE BRICK BY BASALITE, COLOR: ALMOND
EIFS-1	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #110 VANDYKE
EIFS-3	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #622B GRAY FLANNEL
GL-1	BLACK ALUMINUM STOREFRONT WITH CLEAR GLASS
GU-1	PRE FINISHED ALUM GUTTER AND DOWNSPOUTS, COLOR: TO MATCH PM-1
PM-1	PRE FINISHED METAL TRIM AND FLASHING: PAC-CLAD, COLOR: GRANITE
SD-1	FIBER CEMENT SIDING: NICHIBA VINTAGE WOOD, COLOR: CEDAR #EPC782F. TRIM TO MATCH CEDAR PANEL COLOR
SP-1	SPANDREL GLASS, STANDARD COLOR: ISPAN 512 MEDIUM GRAY BY ITI GLASS OR SIMILAR TONE.
ST-1	STONE: CULTURED STONE, DRYSTACK LEDGESTONE, COLOR: CHARDONNAY
ST-2	STONE SILL: READING ROCK, ROCKCAST, SMOOTH, COLOR: CREAM BUFF
WN-1	ALUMINUM CLAD WINDOWS, COLOR: BLACK
SFT	VENTED VINYL SOFFIT. STANDARD COLOR TO MATCH BUILDING FASCIA BD. COLOR AS CLOSE AS POSSIBLE
DOOR FRAMES	PAINT BOTH SIDES OF EXTERIOR H.M. DOORS AND FRAMES. COLOR: BLACK



MATERIAL CALCULATIONS			TRANSPARENCY AREA		
East Elevation	Sq. Ft.	Percentage	East Elevation	Sq. Ft.	
Brick & Stone	1,442	70%	Transparency Area	852	
EIFS	35	2%	Required Transparency Area	256	
Composite Wood	570	28%	Glazing provided	161	15%
Total	2,047	100%	Glazing in the inset side walls	22	3%
			Add'l Glazing outside req'd zone	75	9%
			Total Glazing	258	30%
North Elevation	Sq. Ft.	Percentage	North Elevation	Sq. Ft.	
Brick & Stone	1,111	59%	Transparency Area	817	
EIFS	28	1%	Required Transparency Area	245	
Fiber cement boards	748	40%	Glazing provided	204	25%
Total	1,887	100%	Add'l Glazing outside req'd zone	43	5%
			Total Glazing	247	30%
West Elevation	Sq. Ft.	Percentage	West Elevation	Sq. Ft.	
Brick & Stone	1,007	48%	Transparency Area	853	
EIFS	598	29%	Required Transparency Area	256	
Composite Wood	475	23%	Glazing provided	216	25%
Total	2,080	100%	Add'l Glazing outside req'd zone	51	6%
			Total Glazing	267	31%
South Elevation	Sq. Ft.	Percentage	South Elevation	Sq. Ft.	
Brick & Stone	1,274	64%	Transparency Area	807	
EIFS	598	30%	Required Transparency Area	202	
Composite Wood	120	6%	Glazing provided	158	20%
Total	1,992	100%	Add'l Glazing outside req'd zone	42	5%
			Total Glazing	200	25%

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PARKER, CO
EVERBROOK ACADEMY SITE PLAN
ARCHITECTURAL ELEVATIONS

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11 OF 16

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Northwest Perspective

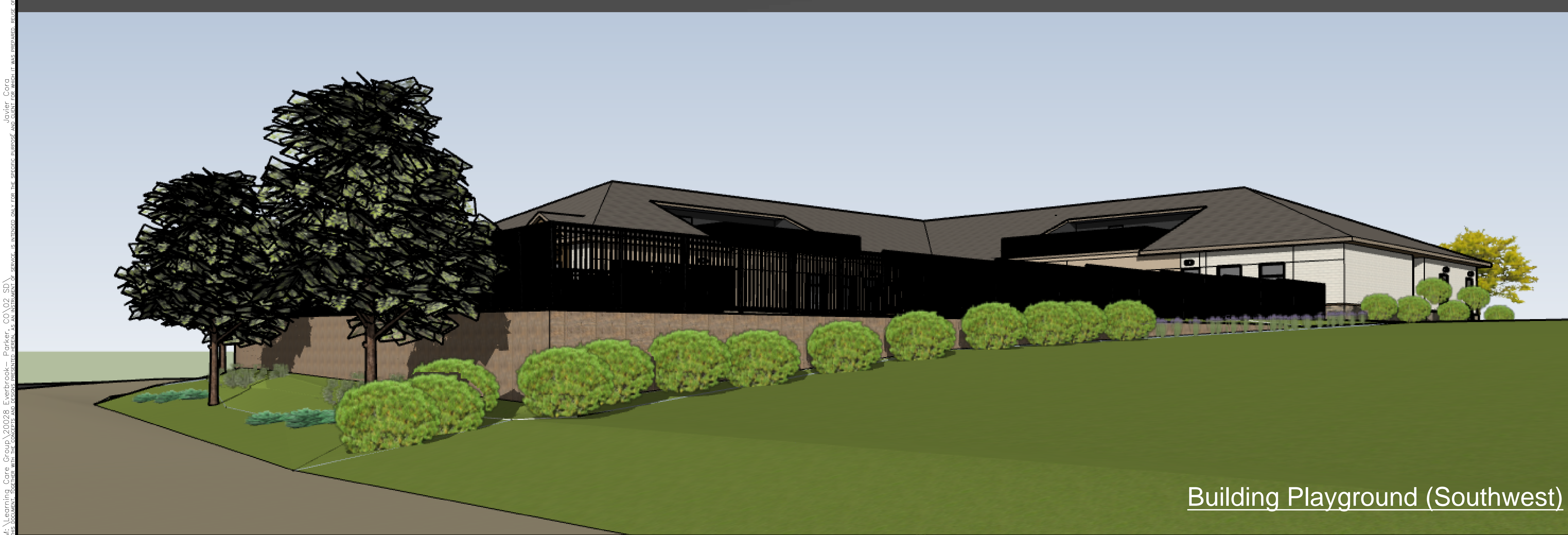


Main Entrance (Northeast View)

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<p>DATE: 06/30/2021</p>	
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Street Intersection (Northwest)



Building Playground (Southwest)

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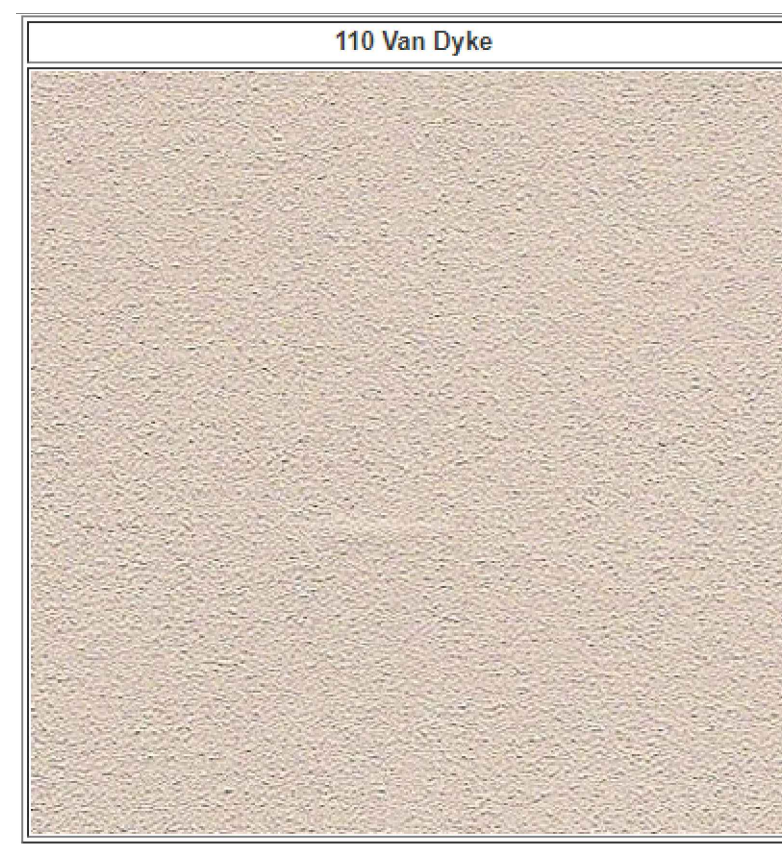
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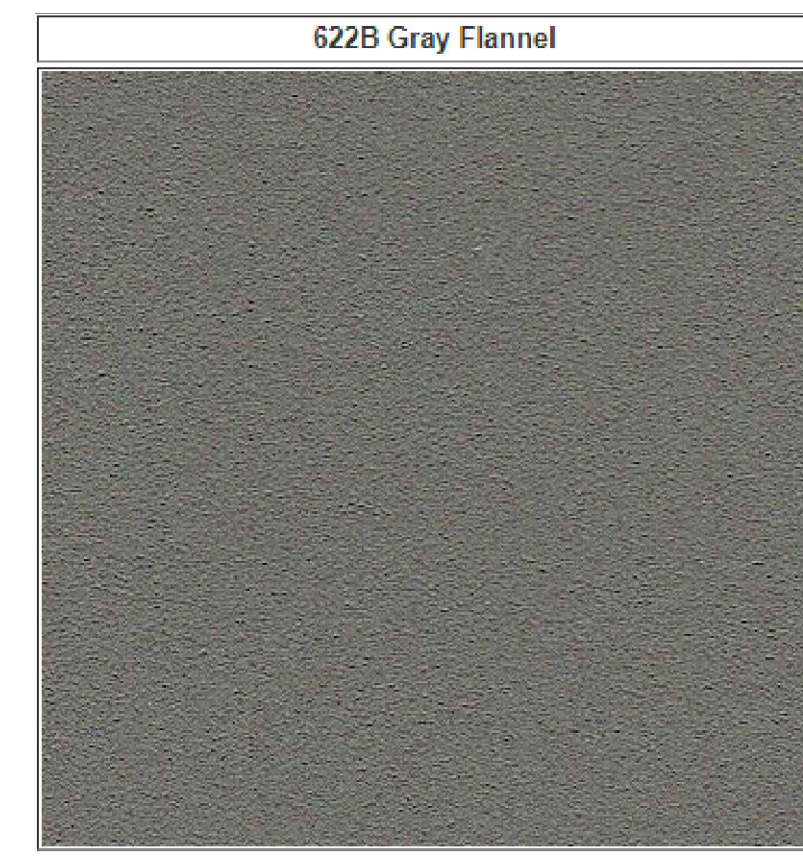
AS-1



BK-1



EIFS-1



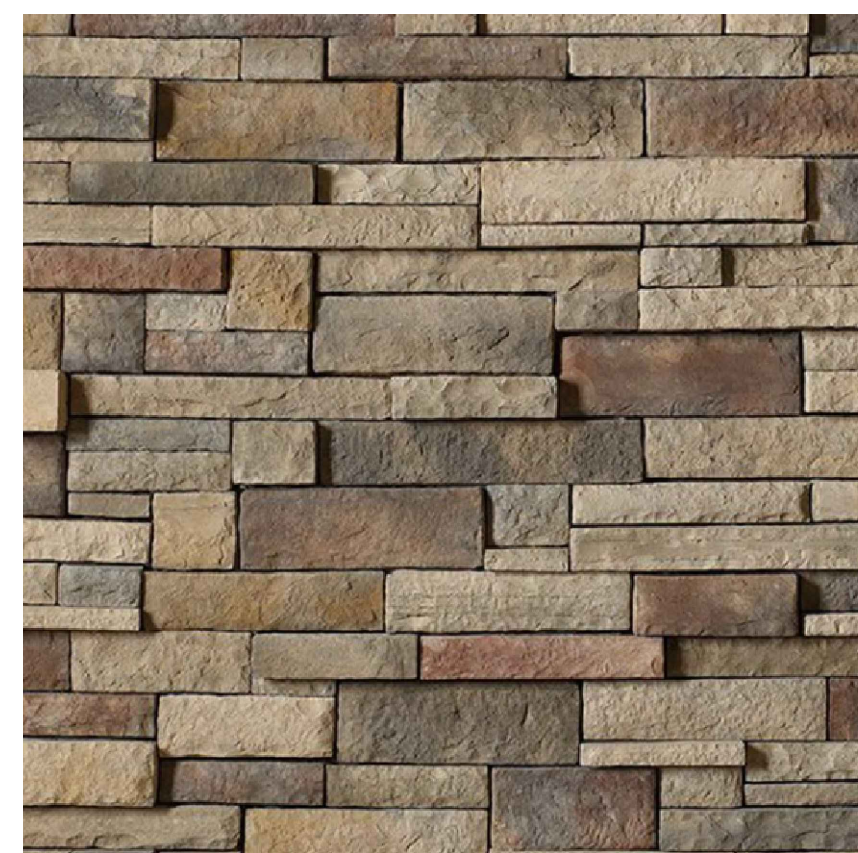
EIFS-3



PM-1



SD-1



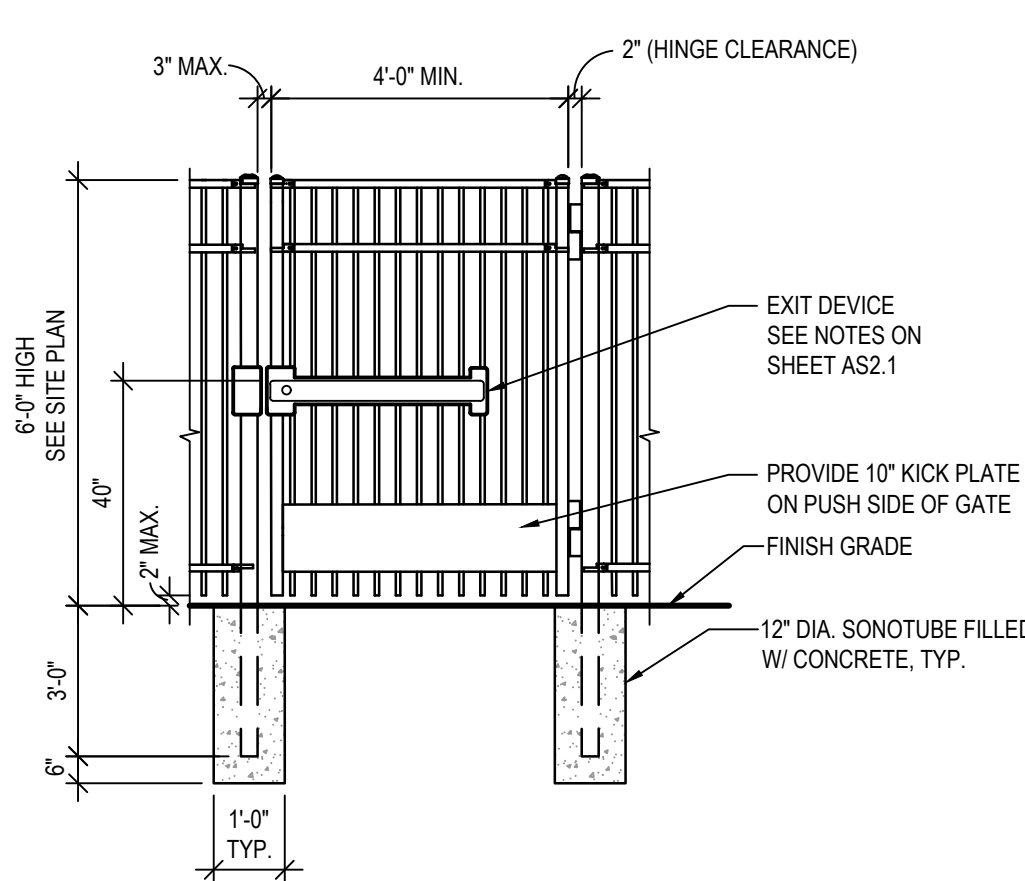
ST-1



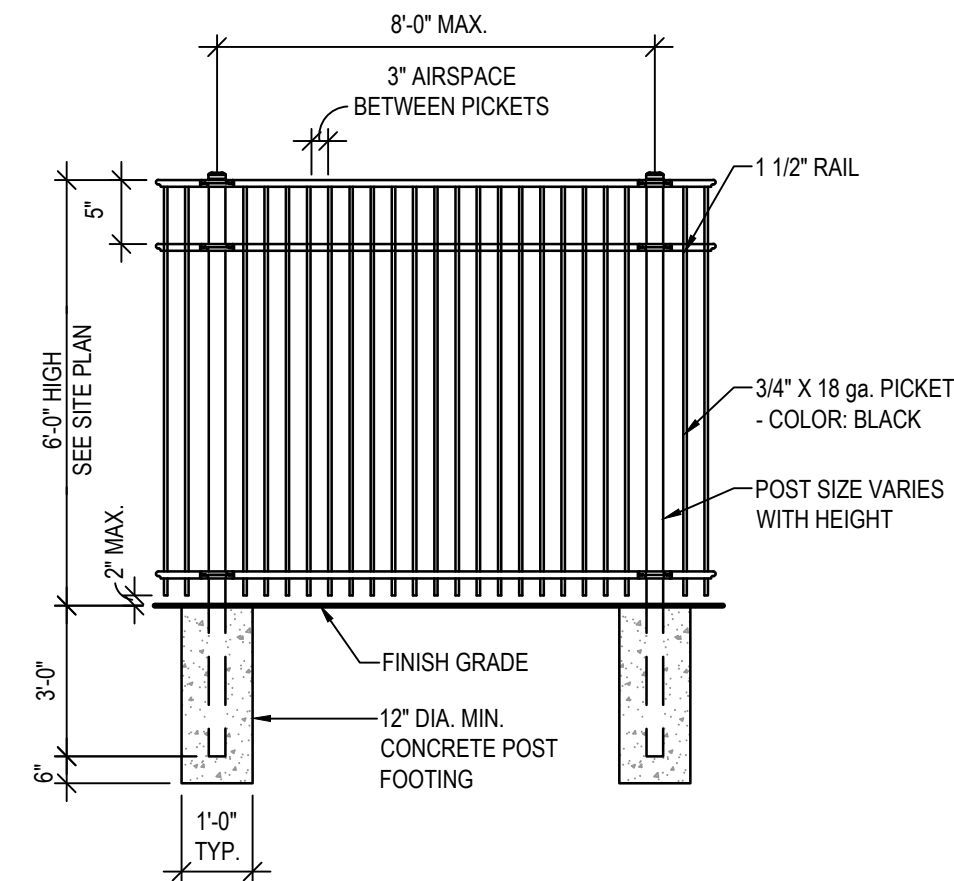
ST-2



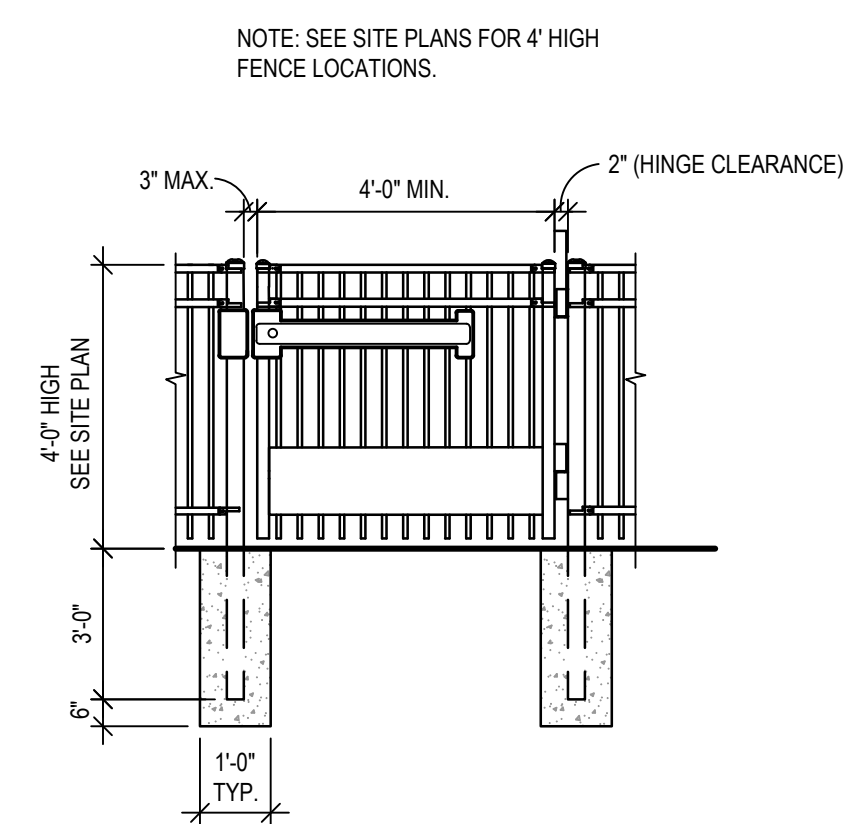
METAL AWNING SIMILAR TO IMPERIAL MARQUEE WITH LATTICE TUBES BY GENERAL AWNINGS OR SIMILAR. MATCH PAC-CLAD COLOR AGED BRONZE AS CLOSE AS POSSIBLE.



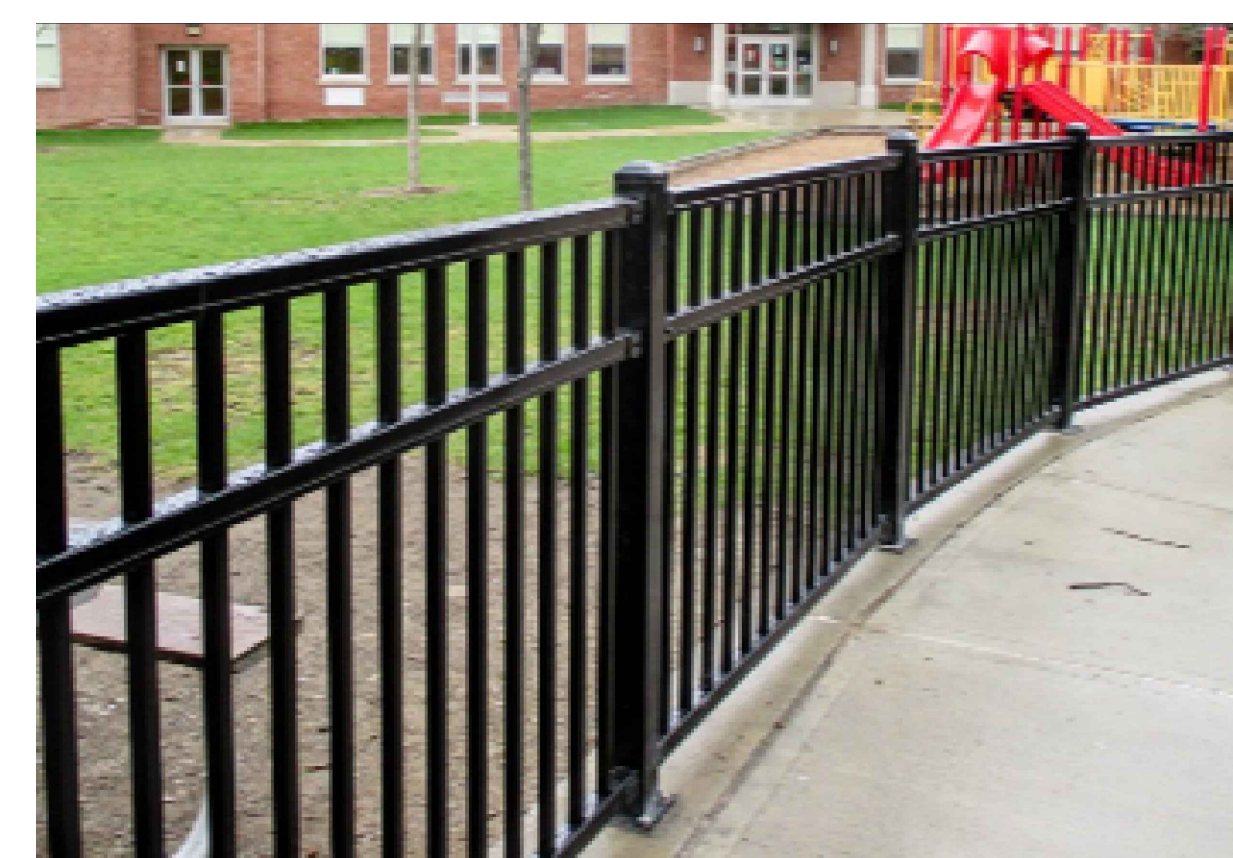
1 ORNAMENTAL FENCE GATE
 SCALE: N.T.S.



2 ORNAMENTAL FENCE
 SCALE: N.T.S.



3 ORNAMENTAL FENCE GATE
 SCALE: N.T.S.



ORNAMENTAL FENCE

EXTERIOR FINISH LEGEND	
TAG	DESCRIPTION
AS-1	ASPHALT SHINGLES: TIMBERLINE HD, COLOR: WEATHERED WOOD
BK-1	BRICK: INTERSTATE BRICK BY BASALITE, COLOR: ALMOND
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SD-1	FIBER CEMENT SIDING: NICHHA VINTAGE WOOD, COLOR: CEDAR #EPC762F. TRIM TO MATCH CEDAR PANEL COLOR.
SP-1	SPANDREL GLASS, STANDARD COLOR: ISPAN 512 MEDIUM GRAY BY ITI GLASS OR SIMILAR TONE.
ST-1	STONE: CULTURED STONE, DRYSTACK LEDGESTONE, COLOR: CHARDONNAY
ST-2	STONE SILL: READING ROCK, ROCKCAST, SMOOTH, COLOR: CREAM BUFF
WN-1	VINYL WINDOWS, COLOR: GREY
SFT	VENTED VINYL SOFFIT. STANDARD COLOR TO MATCH BUILDING FASCIA BD. COLOR AS CLOSE AS POSSIBLE
DOOR FRAMES	PAINT BOTH SIDES OF EXTERIOR H.M. DOORS AND FRAMES. COLOR: GREY

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LOT 6 PARKER AND PINE FILING 1
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 ARCHITECTURAL MATERIALS BOARD

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PROJECT NO.
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 DRAWING NAME

