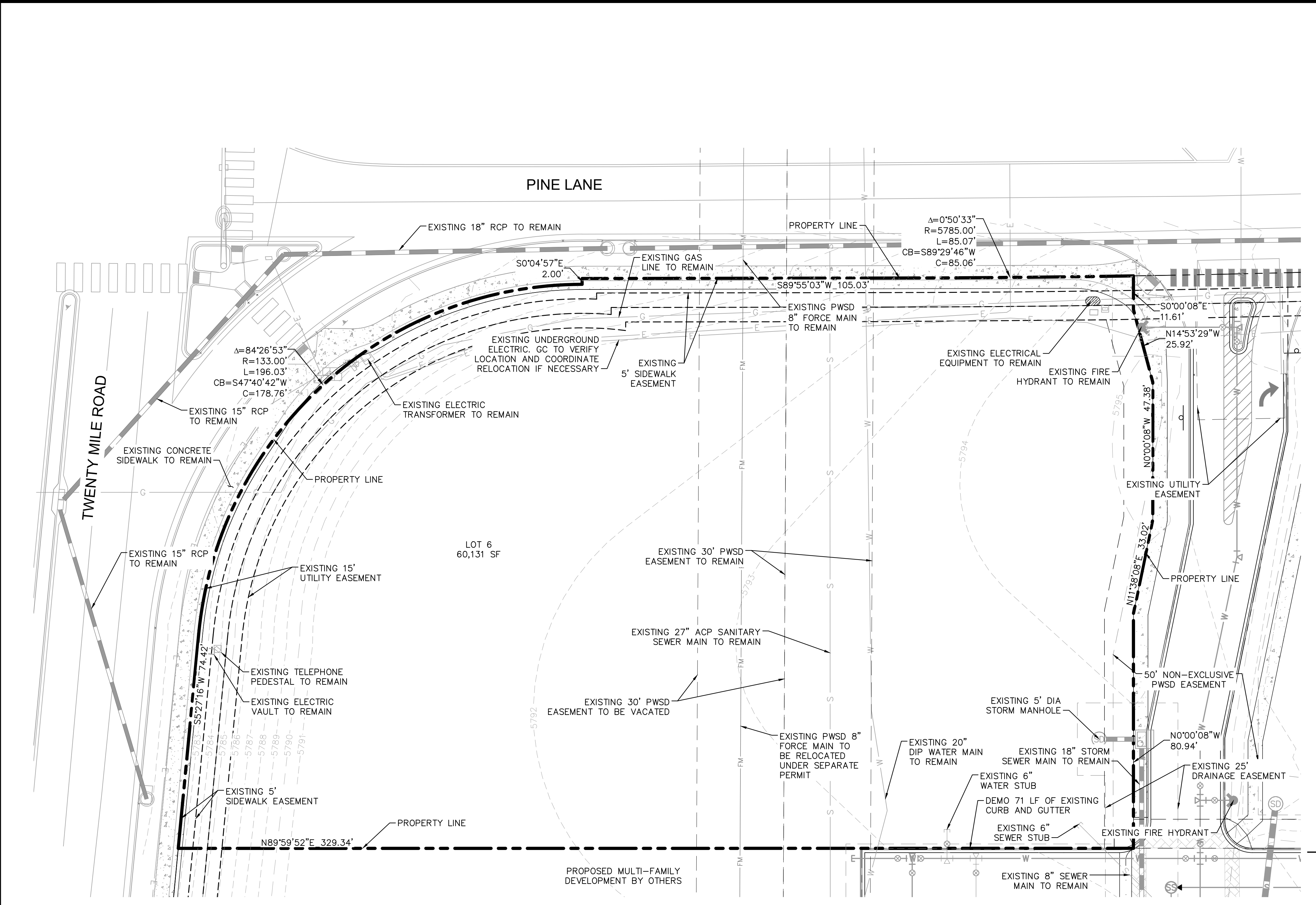




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**LEGEND**

	EXISTING PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING STORM SEWER LINE
	EXISTING UNDERGROUND POWER LINE
	EXISTING FORCE PIPE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING TELECOMM LINE
	EXISTING COMMUNICATIONS LINE
	EXISTING CABLE LINE
	EXISTING SANITARY SEWER LINE
	EXISTING CCTV LINE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING STORM SEWER MANHOLE
	EXISTING WATER BEND
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING WATER SERVICE
	EXISTING SANITARY SEWER SERVICE
	EXISTING SANITARY SEWER BEND
	EXISTING STORM INLET

- DEMOLITION NOTES**
1. ALL EXISTING IMPROVEMENTS TO BE PROTECTED IN PLACE, UNLESS SPECIFICALLY CALLED OUT AS 'TO BE REMOVED.'
  2. UTILITIES ARE SHOWN PER ENGINEERING SERVICE COMPANY SURVEY DATED MARCH 20, 2014 AND PARKER AND PINE FILING 1 CONSTRUCTION PLANS (INFRASTRUCTURE) BY KIMLEY-HORN AND ASSOCIATES, INC.

NO.	REVISION	BY	DATE	APPR

**Kimley»Horn**  
 2021 KIMLEY-HORN AND ASSOCIATES, INC.  
 4582 South Ulster Street, Suite 1500  
 Denver, Colorado 80237 (303) 728-2300

DESIGNED BY: MCN  
 DRAWN BY: NMH  
 CHECKED BY: DLS  
 DATE: 09/13/2021

**LOT 6 PARKER AND PINE FILING 1**  
 PARKER, CO  
 EVERBROOK ACADEMY SITE PLAN  
 EXISTING CONDITIONS

**PRELIMINARY**  
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 NOT FOR  
 CONSTRUCTION

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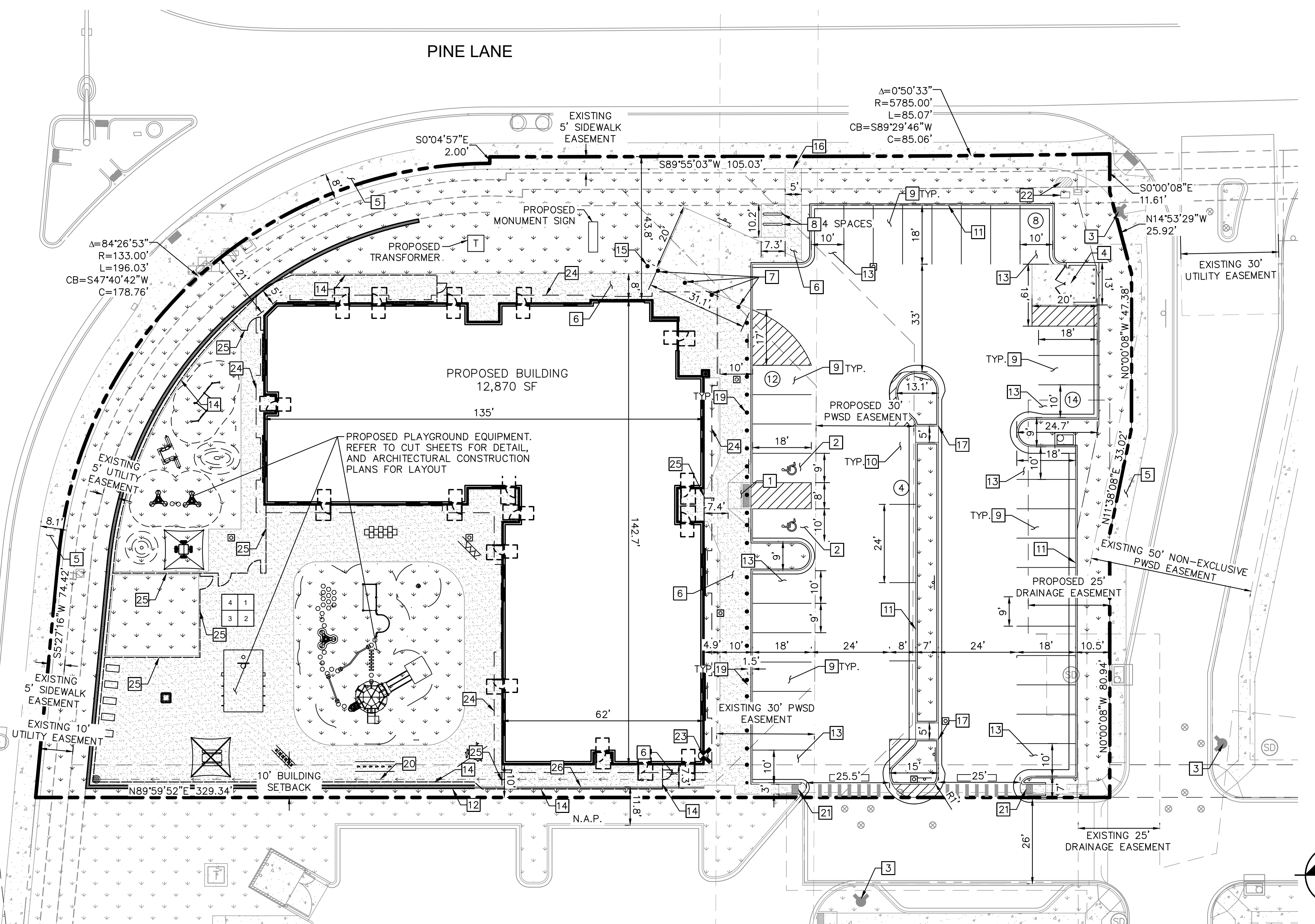
PROJECT NO.  
096895001

DRAWING NAME  
096895001SP\_EX

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TWENTY MILE ROAD

PINE LANE



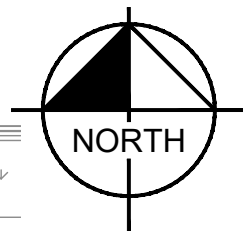
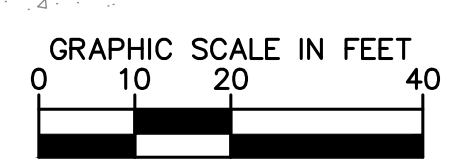
**LEGEND**

	PROPERTY LINE
	EASEMENT BOUNDARY
	STANDARD DUTY ASPHALT PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	PROPOSED STRIPING
	PARKING COUNT
	EXISTING FIRE HYDRANT
	PROPOSED STORM INLET
	PROPOSED RETAINING WALL AND FENCE
	FDC
	PROPOSED SIGN
	PROPOSED FENCE

**KEY NOTES**

- 1 ADA ACCESSIBLE SIDEWALK RAMP.
- 2 ADA PARKING STALLS.
- 3 EXISTING FIRE HYDRANT.
- 4 TRASH ENCLOSURE. REFER TO ARCH PLANS.
- 5 EXISTING CONCRETE SIDEWALK, SIZE PER PLAN.
- 6 CONCRETE SIDEWALK, SIZE PER PLAN.
- 7 PROPOSED REMOVABLE BOLLARDS.
- 8 BIKE RACK.
- 9 STANDARD 9'X18' PARKING STALL.
- 10 STANDARD 8'X24' PARALLEL PARKING SPACE.
- 11 18" CURB AND GUTTER.
- 12 RETAINING WALL WITH FENCE SEE SHEET 04 FOR GRADING INFORMATION AND 14 FOR ARCH PLANS DETAILS.
- 13 ISLAND ADJACENT 10'X18' PARKING STALL.
- 14 6' METAL ORNAMENTAL FENCE. REFER TO ARCH PLANS.
- 15 FLAG POLE. REFER TO ARCH PLANS.
- 16 5' WIDE PEDESTRIAN CONNECTION.
- 17 2' WIDE CURB CUT.
- 18 6" CURB AND INTEGRAL SIDEWALK.
- 19 BOLLARDS @ 5' O.C. REFER TO ARCH PLANS.
- 20 CONCRETE CHANNEL. SEE SHEET C6.1 FOR CHANNEL DETAIL.
- 21 PROPOSED ADA ACCESSIBLE SIDEWALK RAMP PER TOWN OF PARKER STD DETAIL 18.
- 22 EXISTING ELECTRICAL EQUIPMENT
- 23 PROPOSED FIRE DEPARTMENT CONNECTION
- 24 PROPOSED BUILDING OVERHANG
- 25 4' METAL ORNAMENTAL FENCE. REFER TO ARCH PLANS.
- 26 TURNDOWN SIDEWALK, MAXIMUM HEIGHT 20-INCHES

- NOTES:
1. ALL LIGHTING ON-SITE, EXTERIOR, UNROOFED LIGHTING SHALL CONFORM TO THE TOWN'S LIGHTING STANDARDS.
  2. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM A PUBLIC RIGHT OF WAY.
  3. LOCATION OF TRASH RECEPTACLES SHALL BE SCREENED BY A SOLID SCREEN FENCE SURROUNDING AT LEAST 3 SIDES OF THE CONTAINER.
  4. ALL DIMENSIONS AND RADII ARE TO FLOWLINE OF CURB AND GUTTER UNLESS OTHERWISE NOTED.
  5. REFER TO SITE ELECTRICAL PLANS FOR LIGHT POLE LOCATIONS.



NO.	REVISION	BY	DATE	APPR

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 4582 South Ulster Street, Suite 1500  
 Denver, Colorado 80237 (303) 728-2300

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 DATE: 09/13/2021

**LOT 6 PARKER AND PINE FILING 1**  
 PARKER, CO  
**EVERBROOK ACADEMY SITE PLAN**  
 SITE PLAN

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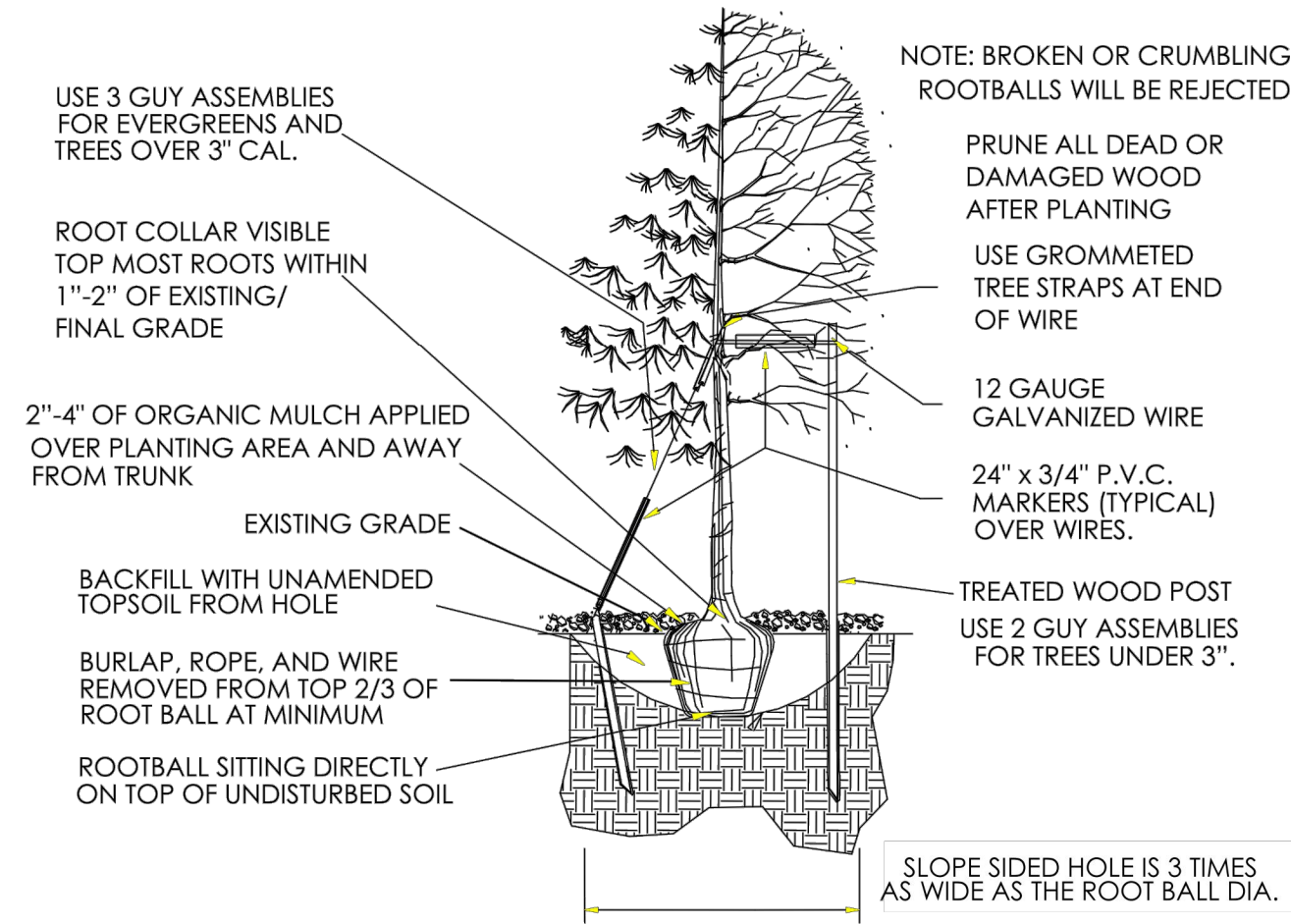






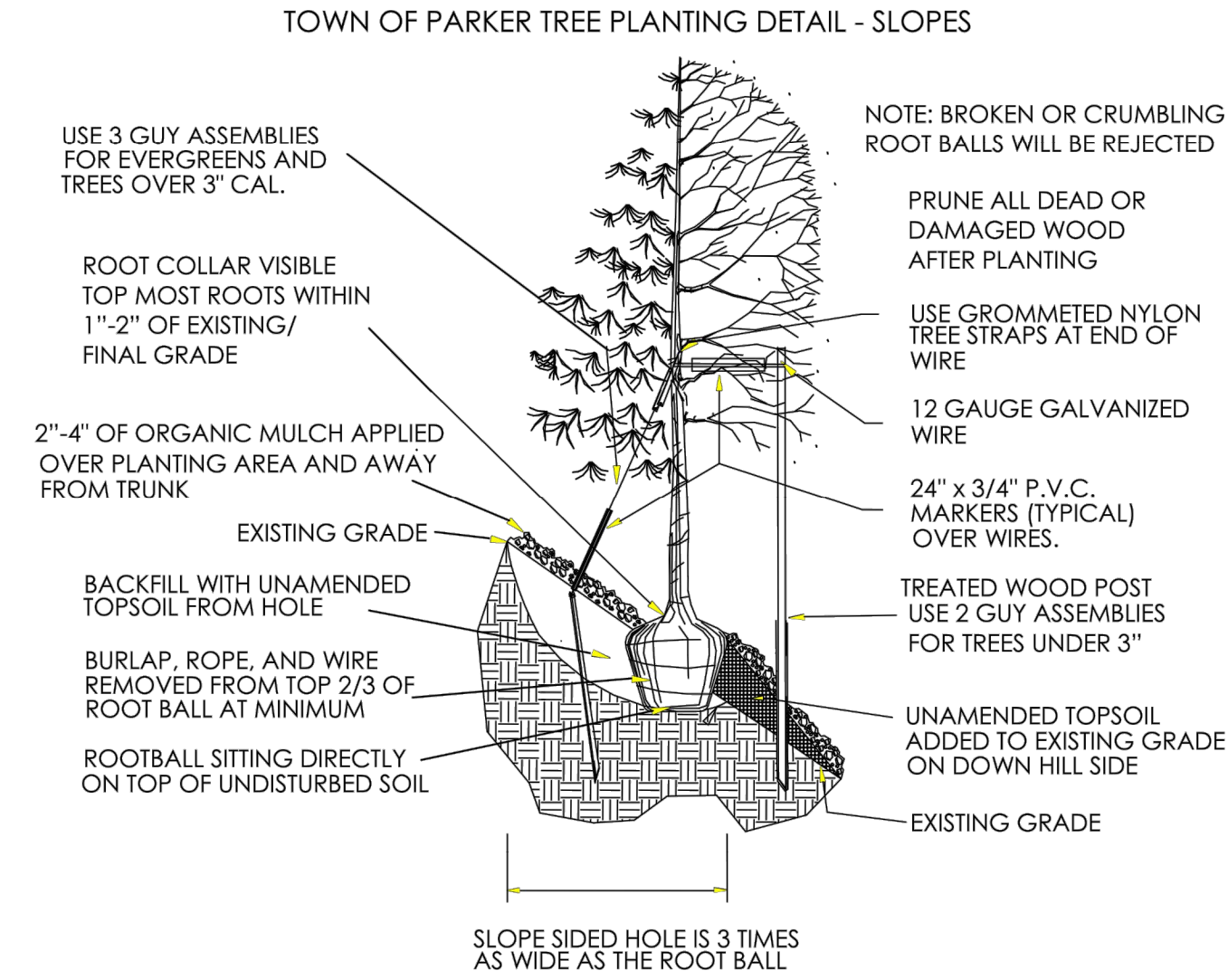
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**TOWN OF PARKER PLANTING STANDARDS**

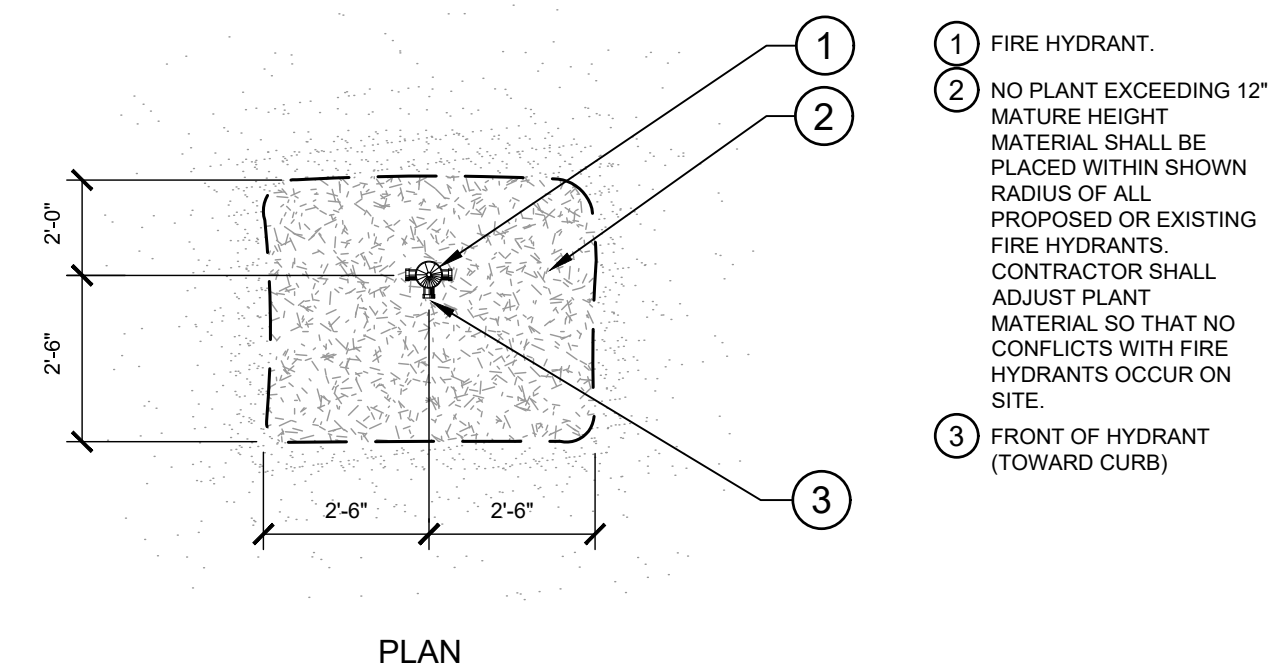
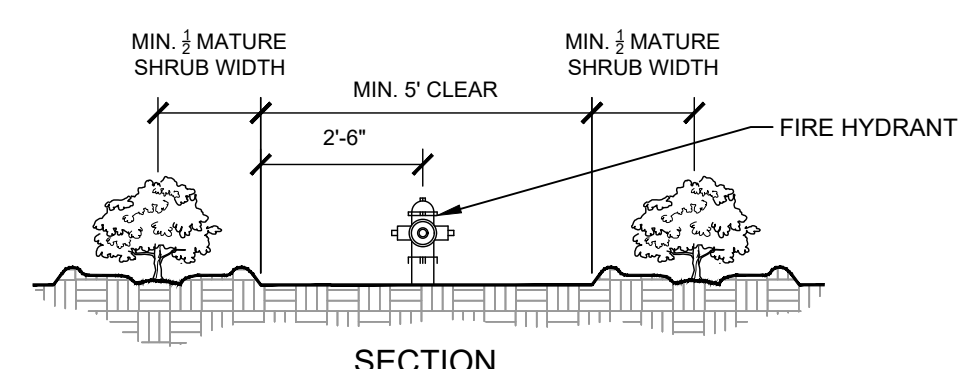
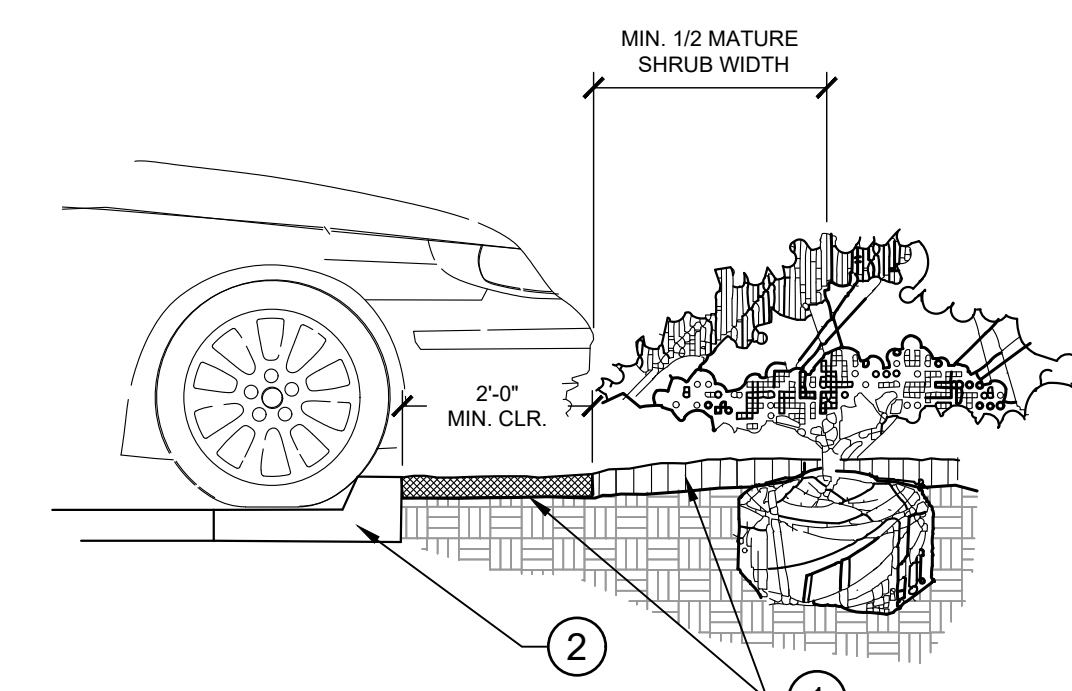
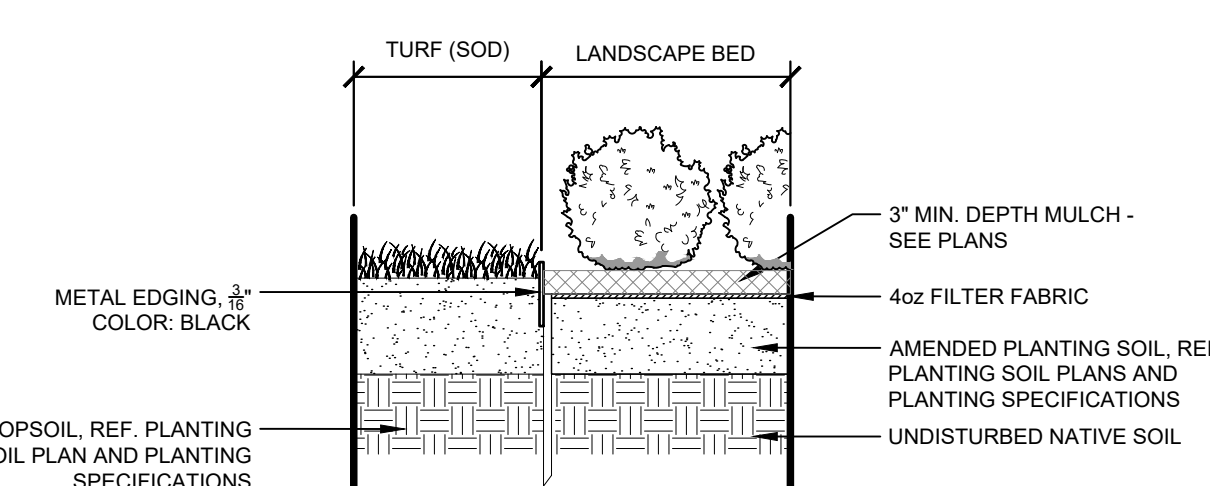
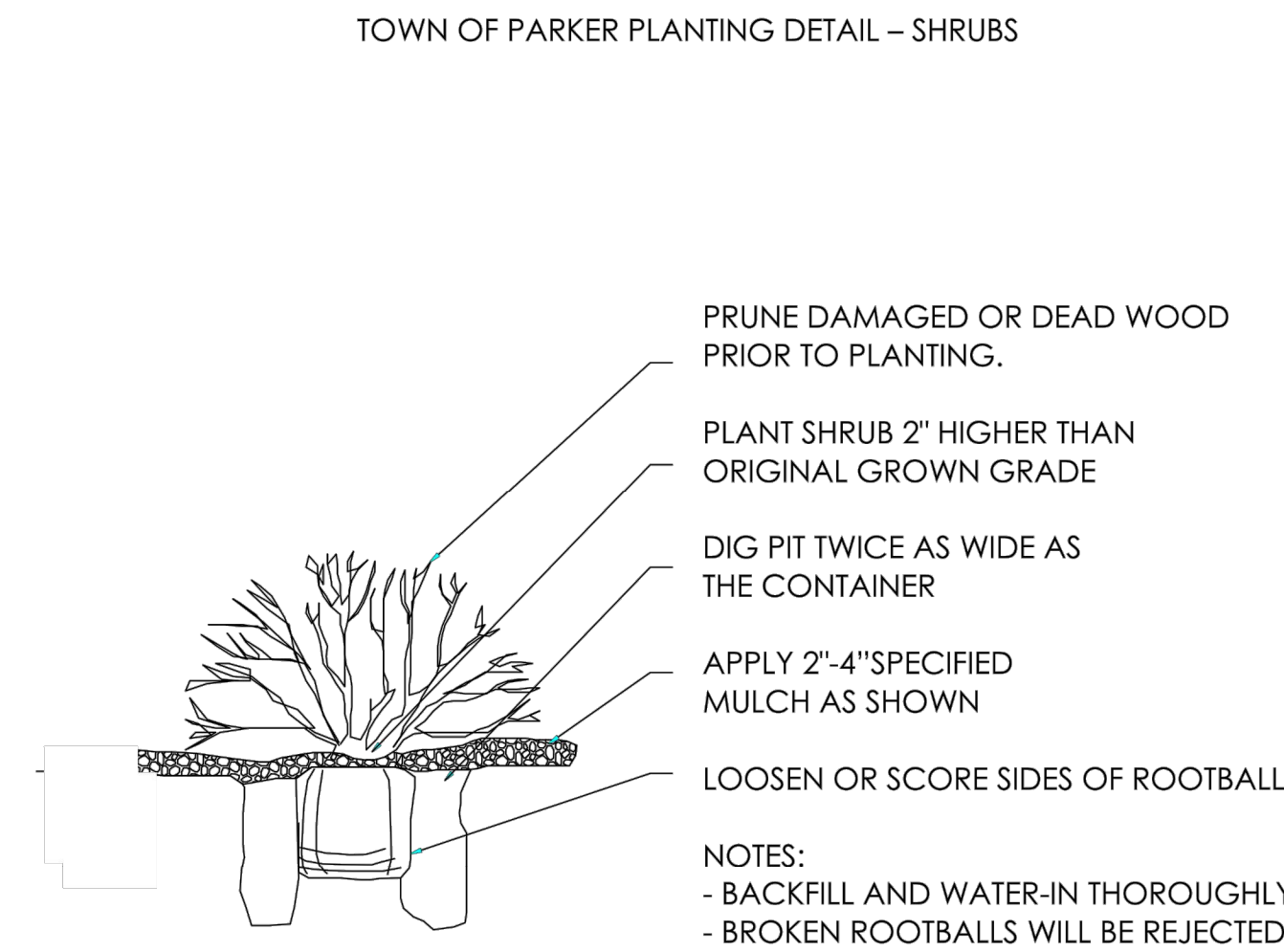


- Excavate planting holes with sloping sides. Make excavations at least three times as wide as the root ball diameter and no deeper than the distance from the top most roots in the root ball to the bottom of the root ball to allow for settling. Do not disturb soil at bottom of planting holes, but do score the sides of the planting hole. The planting area shall be loosened and aerated at least three times the diameter of the root ball. Backfill shall consist of existing on site topsoil - no amendments shall be used unless otherwise specified.
- Trees shall be planted with the root collar/flare visible above grade AND two or more structural roots located within the top 1" to 2" of the root ball/finished grade measured 3" to 4" from trunk. This includes trees that are set on slopes (see slope planting detail). Trees that do not have a visible root collar shall be rejected. Do not cover the root ball with soil.
- When root ball will remain intact, cut off bottom 1/4 of wire basket before placing tree in hole, cut off remainder of basket AFTER tree is set in hole, remove basket completely. At a minimum, the top 2/3 of the burlap and basket shall be removed from the root ball on all trees. Remove all nylon ties, twine, rope and burlap. Remove unnecessary packing material.
- Form soil into a 3" to 5" tall watering ring (saucer) around planting area. This is not necessary in irrigated turf areas. Apply 2" to 4" depth of specified mulch over planting area and inside saucers, away from trunk.
- Staking and guying of trees is optional in most planting situations. In areas of extreme winds, or on steep slopes, staking may be required to stabilize trees. Staking and guying must be removed within 1 year of planting date.
- Tree wrap is *not* to be used on any new plantings, except in late fall planting situations, and only then after consultation with the Town Arborist.
- Resetting of improperly planted trees will only be allowed if it is determined that doing so will in no way compromise the root ball, and shall only be done with approval of the Town Arborist.

**TOWN OF PARKER PLANTING STANDARDS**



**TOWN OF PARKER PLANTING STANDARDS**



**TOWN OF PARKER LANDSCAPE MAINTENANCE NOTES**

- ALL PLANTINGS SHALL BE MAINTAINED IN A HEALTHY AND ATTRACTIVE MANNER, AS DETERMINED BY THE TOWN. MAINTENANCE SHALL BE CONDUCTED BY THE PROPERTY OWNER OF RECORD, THE PROPERTY OWNER'S AGENT OR TENANT OR A HOMEOWNERS ASSOCIATION WHICH HAS ASSUMED LANDSCAPE MAINTENANCE RESPONSIBILITY.
- ALL ORNAMENTAL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS, AND LITTER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, WATERING, FERTILIZING, WEEDING, CLEANING, MOWING, EDGING, BALDING, PRUNING, TRIMMING, SPRAYING, CULTIVATING, OR OTHER MAINTENANCE AS NEEDED AND IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. AREAS OF NATIVE OR NATURALIZED LANDSCAPE ARE EXEMPT FROM THIS LEVEL OF MAINTENANCE. ACCEPTABLE MAINTENANCE OF NATIVE PLANTS INCLUDES, BUT IS NOT LIMITED TO, REMOVAL OF DEAD OR DISEASED PLANTS, WEED CONTROL, AND SEASONAL MOWING.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OF THEIR DEATH, UNLESS SEASONAL CONDITIONS PROHIBIT REMOVAL AND REPLACEMENT. IN SUCH CASE, THE REMOVAL AND REPLACEMENT SHALL OCCUR WITHIN A REASONABLE PERIOD OF TIME APPROVED BY THE TOWN.
- NON-LIVING LANDSCAPE MATERIALS SUCH AS ROCK, STONE, BARK CHIPS AND SHAVINGS WHICH NO LONGER COVER THE AREA IN WHICH THEY WERE ORIGINALLY DEPOSITED SHALL BE REGULARLY REPLENISHED TO MAINTAIN THE FULL COVERAGE TO A MINIMUM DEPTH OF THREE (3) INCHES FOR ROCK, MULCHES AND FOUR (4) INCHES FOR WOOD MULCH.
- LANDSCAPING STRUCTURAL FEATURES (E.G. FENCING, WALLS, PLANTER BOXES) AND SITE FINISHINGS SHALL BE MAINTAINED IN A SOUND, STRUCTURAL AND ATTRACTIVE CONDITION. IRRIGATION SYSTEMS ARE TO BE MONITORED AND ADJUSTED PERIODICALLY TO ENSURE THAT THE WATER DEMANDS OF ALL PLANT MATERIALS ARE MET.
- IRRIGATION SYSTEM REPAIRS SHALL BE MADE WITHIN SEVEN (7) DAYS OF DISCOVERY OF DAMAGE UNLESS SEASONAL CONDITIONS PROHIBIT REPAIRS.
- LANDSCAPE AREAS SHALL BE FREE FROM TRASH AND DEBRIS.
- FAILURE TO BEREADE DEAD LANDSCAPE MATERIALS WITHIN A REASONABLE PERIOD OF TIME, AS SPECIFIED IN PARAGRAPH (2) ABOVE, SHALL BE CONSIDERED A VIOLATION OF THE SITE PLAN APPROVAL AND IS SUBJECT TO ENFORCEMENT AND PENALTY PROVISIONS OF THIS TITLE.

4 METAL EDGER AT PLANTING BED

1" = 1"  
 096-895-001-21

5 PARKING SPACE/CURB PLANTING SECTION

6 SHRUB PLANTING AT FIRE HYDRANT SECTION / PLAN

NO.	REVISION	BY	DATE	APPR.

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 4582 South Smith Street, Suite 1500  
 Denver, Colorado 80237 (303) 728-2300

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**LOT 6 PARKER AND PINE FILING 1**  
 PARKER, CO  
 EVERBROOK ACADEMY SITE PLAN  
 LANDSCAPE DETAILS

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 Kimley-Horn and Associates, Inc.

PROJECT NO.  
 096895001

DRAWING NAME  
 096895001SP\_LA

# GENERAL LANDSCAPE SPECIFICATIONS

## A. SCOPE OF WORK

1. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.
2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.

## B. PROTECTION OF EXISTING STRUCTURES

1. ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BEST MANAGEMENT PRACTICES (BMP) DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS THROUGHOUT THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MAINTENANCE OF TRAFFIC (MOT) THAT MAY BE REQUIRED FOR THE PROJECT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA, LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION, THE SAFETY AND PROTECTION THEREOF; REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.

## C. PROTECTION OF EXISTING PLANT MATERIALS

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC.. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF FOUR HUNDRED DOLLARS (\$400) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED UNLIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.
2. SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.

## D. MATERIALS

1. GENERAL  
MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER. UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL	SAMPLE SIZE
MULCH	ONE (1) CUBIC FOOT
TOPSOIL MIX	ONE (1) CUBIC FOOT
PLANTS	ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)

## 2. PLANT MATERIALS

- FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN ON DRAWINGS AND COMPLYING WITH ANSI Z60.1 AND THE COLORADO NURSERY ACT; AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
- TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE PROJECT LANDSCAPE ARCHITECT. ANY ROW TREES MUST BE APPROVED BY OFFICE OF THE CITY FORESTER.
- PROVIDE PLANTS OF SIZES, GRADES, AND BALL OR CONTAINER SIZES COMPLYING WITH ANSI Z60.1 AND COLORADO NURSERY ACT FOR TYPES AND FORM OF PLANTS REQUIRED. PLANTS OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO PROJECT LANDSCAPE ARCHITECT WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
- PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER. FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.
- TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND TRUNK (INCLUDED BARK); CROSSING TRUNKS; CUT-OFF LIMBS MORE THAN 1/2 INCH (19 MM) IN DIAMETER, OR WITH STEM GIRDLING ROOTS WILL BE REJECTED.
- FURNISH TREES AND SHRUBS WITH ROOTS BALLS MEASURED FROM TOP OF ROOT BALL, WHICH SHALL BEGIN AT ROOT FLARE ACCORDING TO ANSI Z60.1 AND COLORADO NURSERY ACT. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.
- LABEL AT LEAST ONE PLANT OF EACH VARIETY, SIZE, AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF COMMON NAME AND FULL SCIENTIFIC NAME, INCLUDING GENUS AND SPECIES, INCLUDING NOMENCLATURE FOR HYBRID, VARIETY, OR CULTIVAR, IF APPLICABLE FOR THE PLANT AS SHOWN ON DRAWINGS.
- IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF PLANTS IS SHOWN ON DRAWINGS, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER THE LABELS TO ASSURE SYMMETRY IN PLANTING.

## E. SOIL MIXTURE

1. CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW:
2. SOIL MIXTURE SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
3. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT OPENINGS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER, FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER, HAVE A PH BETWEEN 6.5 AND 8.0, AND SOLUBLE SALTS LESS THAN 3.0 MMHOS/CM. SUBMIT SOIL SAMPLE AND PH TESTING RESULTS FOR APPROVAL.
4. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.
5. TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.

## F. WATER

1. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE. AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC... IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.
- \* WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

## G. FERTILIZER

1. CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.
- \* FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

## H. MULCH

1. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES. CLEAR MULCH FROM EACH PLANT'S CROWN (BASE) OR AS SHOWN IN PLANTING DETAILS. UNLESS OTHERWISE NOTED ON PLANS, MULCH SHALL BE DOUBLE SHREDDED HARDWOOD MULCH DARK BROWN FINES BY MOUNTAIN HIGH SAVATREE OR APPROVED EQUAL. DYED MULCH IS NOT ACCEPTABLE. SUBMIT SAMPLES TO PROJECT LANDSCAPE ARCHITECT FOR APPROVAL. MULCH SHALL BE PROVIDED OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE RING (6" MINIMUM) PLANTED UNDER THIS CONTRACT, AS WELL AS FOR ANY EXISTING LANDSCAPE AREAS AS SHOWN ON PLANS.

## I. DIGGING AND HANDLING

1. ALL TREES SPECIFIED SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE APPROVED BY PROJECT LANDSCAPE ARCHITECT.
2. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILT-PRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
3. B&B, AND FIELD GROWN (FG) PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.

## J. CONTAINER GROWN STOCK

1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
3. ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.

## K. MATERIALS LIST

1. QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE PLANS SHALL GOVERN. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

## L. FINE GRADING

1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.
2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH.
3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEERS PLANS FOR FINAL GRADES, IF APPLICABLE.

## M. PLANTING PROCEDURES

1. THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, BUILDING MATERIALS, AND TOXIC MATERIAL SHALL BE COMPLETELY REMOVED FROM PLANTING AREAS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS IN PLANTING AREAS WHICH WILL ADVERSELY AFFECT THE PLANT GROWTH, THE CONTRACTOR SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL COLORADO (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMESTONE AND LIMESTONE SUB-BASE FROM ALL PLANTING AREAS TO A MINIMUM DEPTH OF 36" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMESTONE OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL.
4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
5. COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE SHALL BE EXERCISED.
6. WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
7. ALL PLANTING OPENINGS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH ANSI Z60.1-2014 AMERICAN STANDARD FOR NURSERY STOCK.
8. TEST ALL TREE OPENINGS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, "POOR DRAINAGE CONDITION" PLANTING DETAIL.
9. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN.
10. PRIOR TO EXCAVATION OF TREE OPENINGS, AN AREA EQUAL TO TWO TIMES THE DIAMETER OF THE ROOT BALL SHALL BE ROTO-TILLED TO A DEPTH EQUAL TO THE DEPTH OF THE ROOT BALL.
11. EXCAVATION OF TREE OPENINGS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.
12. IN CONTINUOUS SHRUB AND GROUND COVER BEDS, THE ROTO-TILLED PERIMETER SHOULD EXTEND TO A DISTANCE OF ONE FOOT BEYOND THE DIAMETER OF A SINGLE ROOT BALL. THE BED SHALL BE TILLED TO A DEPTH EQUAL TO THE ROOT BALL DEPTH PLUS 6".
13. TREE OPENINGS FOR WELL DRAINED SOILS SHALL BE DUG SO THAT THE BOTTOM OF THE ROOT BALL WILL REST ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL WILL BE FLUSH WITH FINISH GRADE. IN POORLY DRAINED SOILS THE TREE OPENING SHALL BE DUG SO THAT THE ROOT BALL RESTS ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL IS 1" ABOVE FINISH GRADE. PLANT PIT WALLS SHALL BE SCARIFIED PRIOR TO PLANT INSTALLATION.
14. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
15. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION 'E'.
16. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
17. AMEND PINE AND OAK PLANT OPENINGS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT OPENINGS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.

18. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET, ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE.

19. ALL BURLAP, ROPE, WIRES, BASKETS, ETC... SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.

20. TREES SHALL BE PRUNED, IN ACCORDANCE WITH ANSI A-300, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY CERTIFIED ARBORIST.

21. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOWN ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6". REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" OF THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION 'E'. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

22. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.

23. ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE CONTRACTOR, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S RECOMMENDATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY)

## N. LAWN SODDING

1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
2. ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE HUNDRED (100) POUNDS PER FOOT OF WIDTH DURING THE ROLLING. ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
3. PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
4. SODDING
  - a. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
  - b. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
  5. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.
6. LAWN MAINTENANCE
  - a. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"X12") UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK, INCLUDING REGRADING IF NECESSARY.
  - b. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

## O. EDGING

- a. CONTRACTOR SHALL INSTALL 4"x8" ROLLED TOP STEEL EDGING BETWEEN ALL SOD/SEED AREAS AND PLANTING BEDS.

## P. CLEANUP

1. UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM CONTRACTORS WORK. ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.

## Q. PLANT MATERIAL MAINTENANCE

1. ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, PRUNING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.

## R. FINAL INSPECTION AND ACCEPTANCE OF WORK

1. FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

## S. WARRANTY

1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
2. ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
3. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH.

NO.	REVISION	BY	DATE	APPR
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NO.	REVISION	BY	DATE	APPR
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**Kimley»Horn**  
 2021 KIMLEY-HORN AND ASSOCIATES, INC.  
 4582 South Smith Street, Suite 1500  
 Denver, Colorado 80237 (303) 728-2300

DESIGNED BY: MCN  
 DRAWN BY: DMH  
 CHECKED BY: NLS  
 DATE: 09/13/2021

LOT 6 PARKER AND PINE FILING 1  
 PARKER, CO  
 EVERBROOK ACADEMY SITE PLAN  
 LANDSCAPE NOTES

PRELIMINARY  
 FOR REVIEW ONLY  
 NOT FOR  
 CONSTRUCTION

Kimley»Horn  
 Kimley-Horn and Associates, Inc.  
 PROJECT NO.  
 096895001

DRAWING NAME  
 096895001SP\_LA

09 OF 16

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M:\Learning\_Care\_Group\20028 Everbrook - Parker, CO\02 SD\Rendering\2021-08-18 Colored Elevations\Reference\20028\_A5.0\_Extorior Elevations.dwg Rachel Hart  
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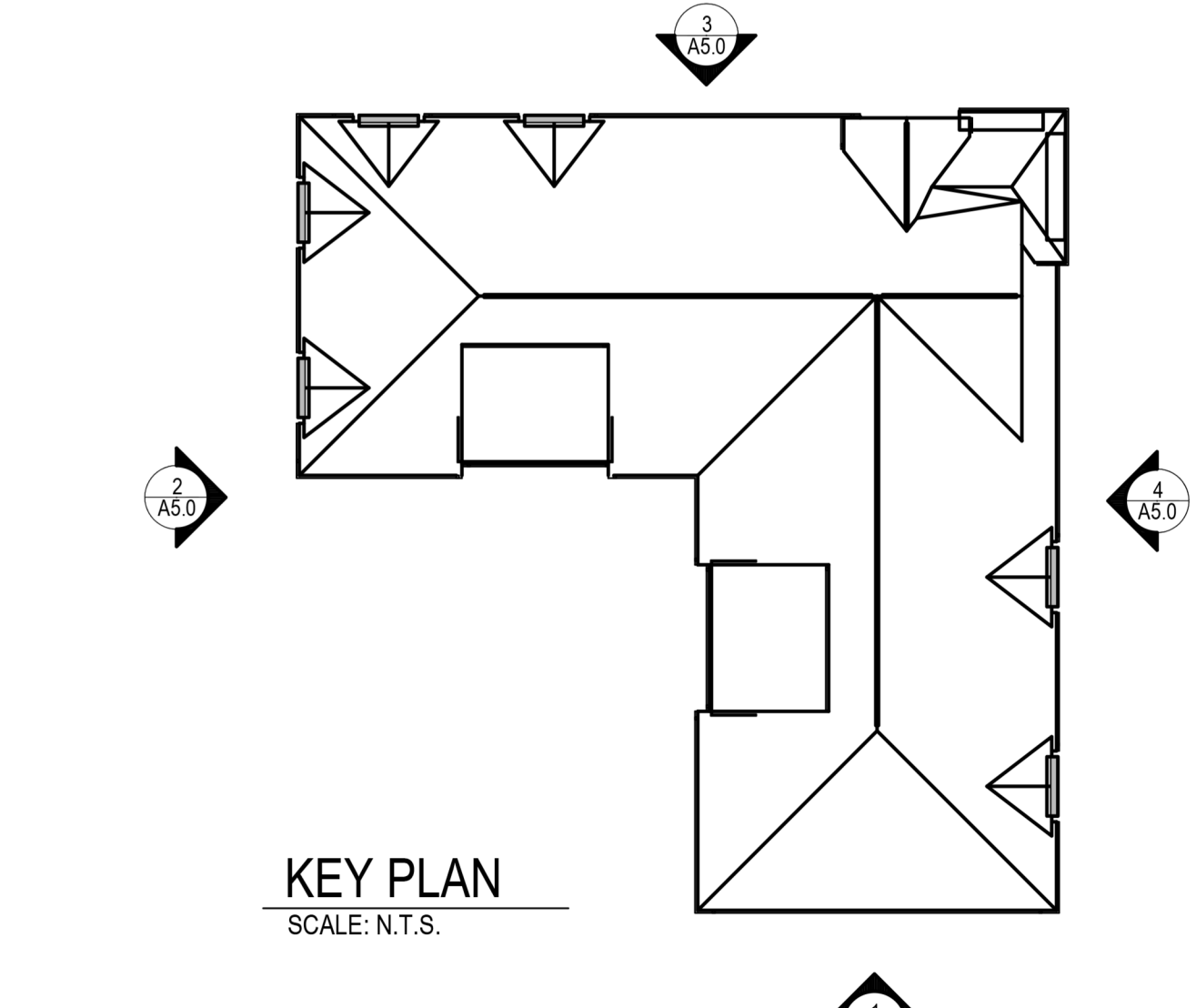


### EXTERIOR ELEVATIONS GENERAL NOTES

- ALL MATERIALS NOT LABELED ARE TYPICAL FOR ALL SIMILAR LOCATIONS. QUESTIONS SHALL BE REFERRED TO THE ARCHITECT.
- EIFS SHALL BE DRYVIT, COMMERCIAL GRADE AS FOLLOWS: GENESIS BASE COAT, REINFORCING MESH BASE & FINISH COATS SHALL BE PROVIDED OVER MINIMUM 1" EPS INSULATION BOARD, MECHANICALLY FASTENED OVER DRAINAGE MAT & WEATHER RESISTIVE BARRIER OVER EXTERIOR SHEATHING.
- ALL EIFS SHALL BE INSTALLED AS PER MPFS RECOMMENDATIONS, INCLUDING ALL SEALANT, FLASHING, AND JOINERY AT DISSIMILAR MATERIALS. PROVIDE PANZER 20 REINFORCING MESH TO 8'-0" A.F.F. (TYP.)
- PROVIDE BLOCKING IN FACADE TO SUPPORT ALL BUILDING SIGNAGE.
- REFER TO ELECTRICAL DRAWINGS FOR LIGHTING INFORMATION.

### EXTERIOR FINISH LEGEND

TAG	DESCRIPTION
AS-1	ASPHALT SHINGLES: TIMBERLINE HD, COLOR: WEATHERED WOOD
BK-1	BRICK: INSTERSTATE BRICK BY BASALITE, COLOR: ALMOND
EIFS-1	EIFS: DRYVIT, OUTSULATION, FINISH: SANDEBBLE DPR, COLOR: #110 VANDYKE
EIFS-3	EIFS: DRYVIT, OUTSULATION, FINISH: SANDEBBLE DPR, COLOR: #6228 GRAY FLANNEL
GL-1	BLACK ALUMINUM STOREFRONT WITH CLEAR GLASS
GU-1	PRE FINISHED ALUM GUTTER AND DOWNSPOUTS, COLOR: TO MATCH PM-1
PM-1	PRE FINISHED METAL TRIM AND FLASHING: PAC-CLAD, COLOR: GRANITE
SD-1	FIBER CEMENT SIDING: NICHIIHA VINTAGE WOOD, COLOR: CEDAR #EPC762F. TRIM TO MATCH CEDAR PANEL COLOR.
SP-1	SPANDREL GLASS, STANDARD COLOR: ISPAN 512 MEDIUM GRAY BY ITI GLASS OR SIMILAR TONE.
ST-1	STONE: CULTURED STONE, DRYSTACK LEDGESTONE, COLOR: CHARDONNAY
ST-2	STONE SILL: READING ROCK, ROCKCAST, SMOOTH, COLOR: CREAM BUFF
WN-1	ALUMINUM CLAD WINDOWS, COLOR: BLACK
SFT	VENTED VINYL SOFFIT. STANDARD COLOR TO MATCH BUILDING FASCIA BD. COLOR AS CLOSE AS POSSIBLE
DOOR FRAMES	PAINT BOTH SIDES OF EXTERIOR H.M. DOORS AND FRAMES. COLOR: BLACK



MATERIAL CALCULATIONS			TRANSPARENCY AREA		
Elevation	Sq. Ft.	Percentage	Elevation	Sq. Ft.	Percentage
East Elevation	1,442	70%	East Elevation	853	30%
Brick & Stone	35	2%	Transparency Area	256	30%
EIFS	570	28%	Required Transparency Area	161	19%
Composite Wood	2,047	100%	Glazing provided	22	3%
			Glazing in the inset side walls	75	9%
			Advt'l Glazing outside req'd zone	258	30%
			<b>Total Glazing</b>	<b>258</b>	<b>30%</b>
North Elevation	1,111	59%	North Elevation	817	30%
Brick & Stone	28	1%	Transparency Area	245	30%
EIFS	748	40%	Required Transparency Area	204	25%
Fiber cement boards	1,887	100%	Glazing provided	43	5%
			Advt'l Glazing outside req'd zone	247	30%
			<b>Total Glazing</b>	<b>247</b>	<b>30%</b>
West Elevation	1,007	48%	West Elevation	853	30%
Brick & Stone	598	29%	Transparency Area	256	30%
EIFS	475	23%	Required Transparency Area	216	25%
Composite Wood	2,080	100%	Glazing provided	51	6%
			Advt'l Glazing outside req'd zone	267	31%
			<b>Total Glazing</b>	<b>267</b>	<b>31%</b>
South Elevation	1,274	66%	South Elevation	807	25%
Brick & Stone	598	30%	Transparency Area	202	25%
EIFS	120	6%	Required Transparency Area	158	20%
Composite Wood	1,992	100%	Glazing provided	42	5%
			Advt'l Glazing outside req'd zone	200	25%
			<b>Total Glazing</b>	<b>200</b>	<b>25%</b>

2020 KIMLEY-HORN AND ASSOCIATES, INC.  
 4582 South Ute Street, Suite 1500  
 Denver, Colorado 80237 (303) 228-2300

DATE: 9/13/2021

**LOT 6 PARKER AND PINE FILING 1**

PARKER, CO

**EVERBROOK ACADEMY SITE PLAN**

ARCHITECTURAL ELEVATIONS

**PRELIMINARY**

FOR REVIEW ONLY  
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**Kimley-Horn**  
Kimley-Horn and Associates, Inc.

PROJECT NO.  
096895001

DRAWING NAME

11 OF 16

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Northwest Perspective



Main Entrance (Northeast View)

<b>Kimley»Horn</b>	
2020 KIMLEY-HORN AND ASSOCIATES, INC. 4562 South Ulster Street, Suite 1500 Denver, Colorado 80237 (303) 728-2300	
DATE: 9/13/2021	NO. _____
LOT 6 PARKER AND PINE FILING 1 PARKER, CO EVERBROOK ACADEMY SITE PLAN ARCHITECTURAL RENDERINGS	REVISION _____
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PROJECT NO. 096895001	DATE _____
12 OF 16	APPR _____



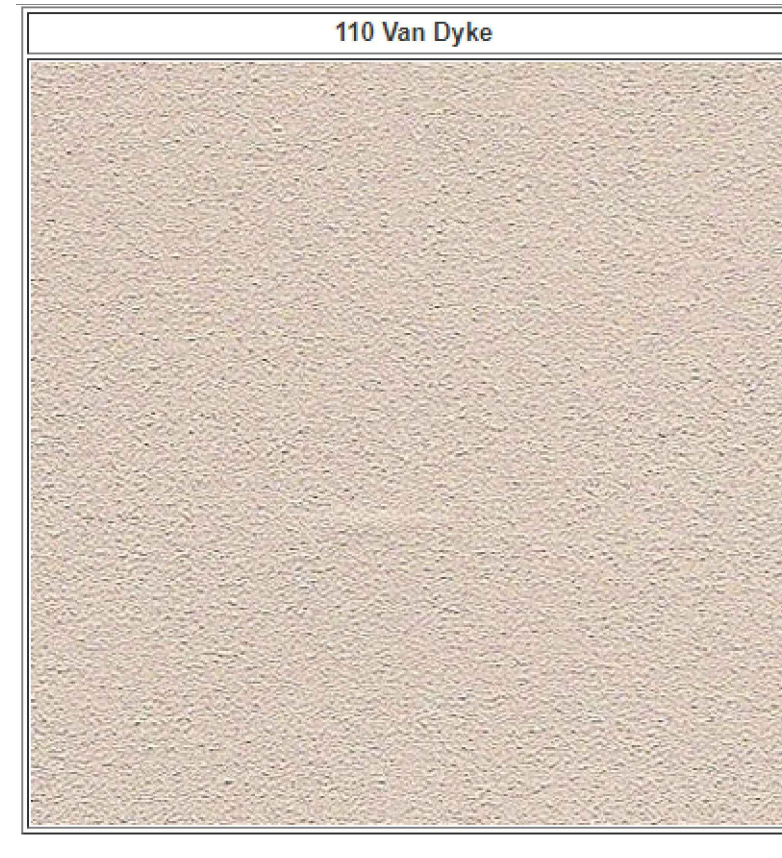
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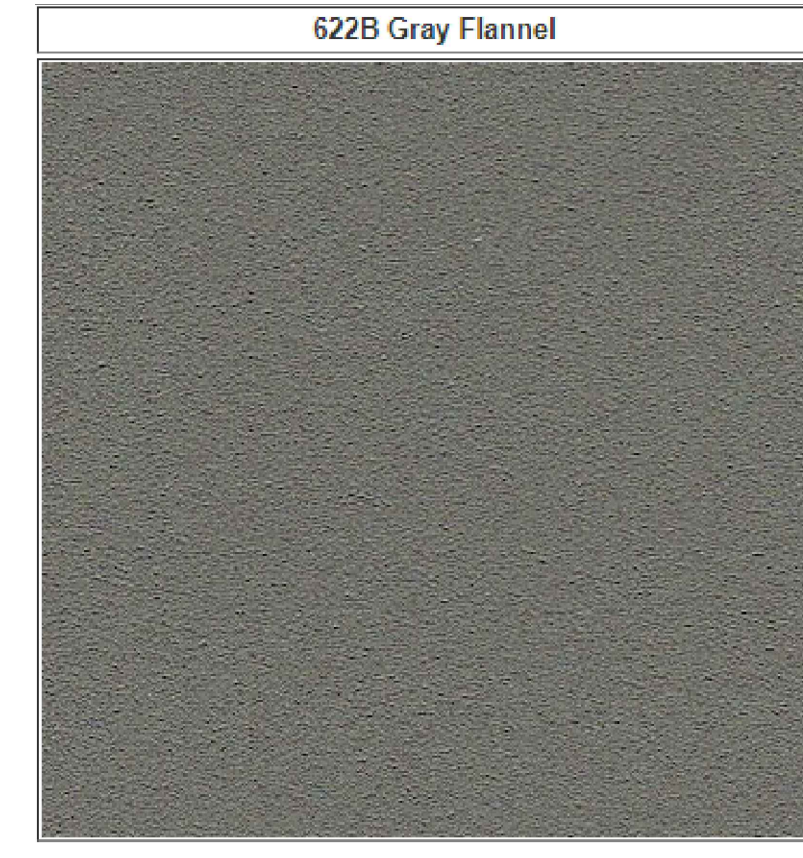
AS-1



BK-1



EIFS-1



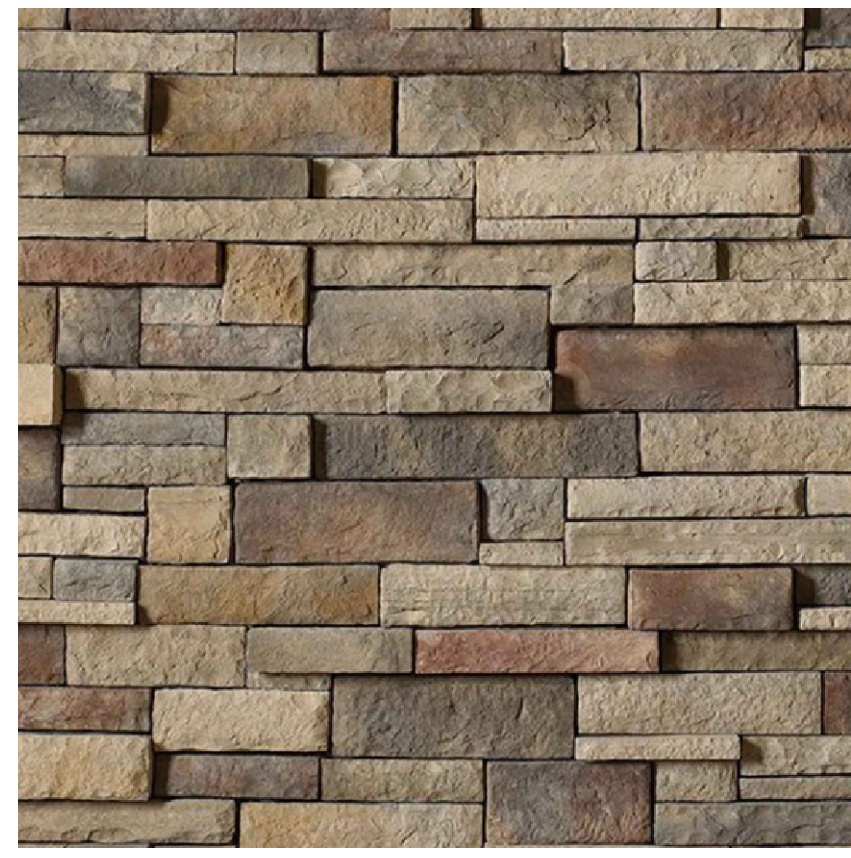
EIFS-3



PM-1



SD-1



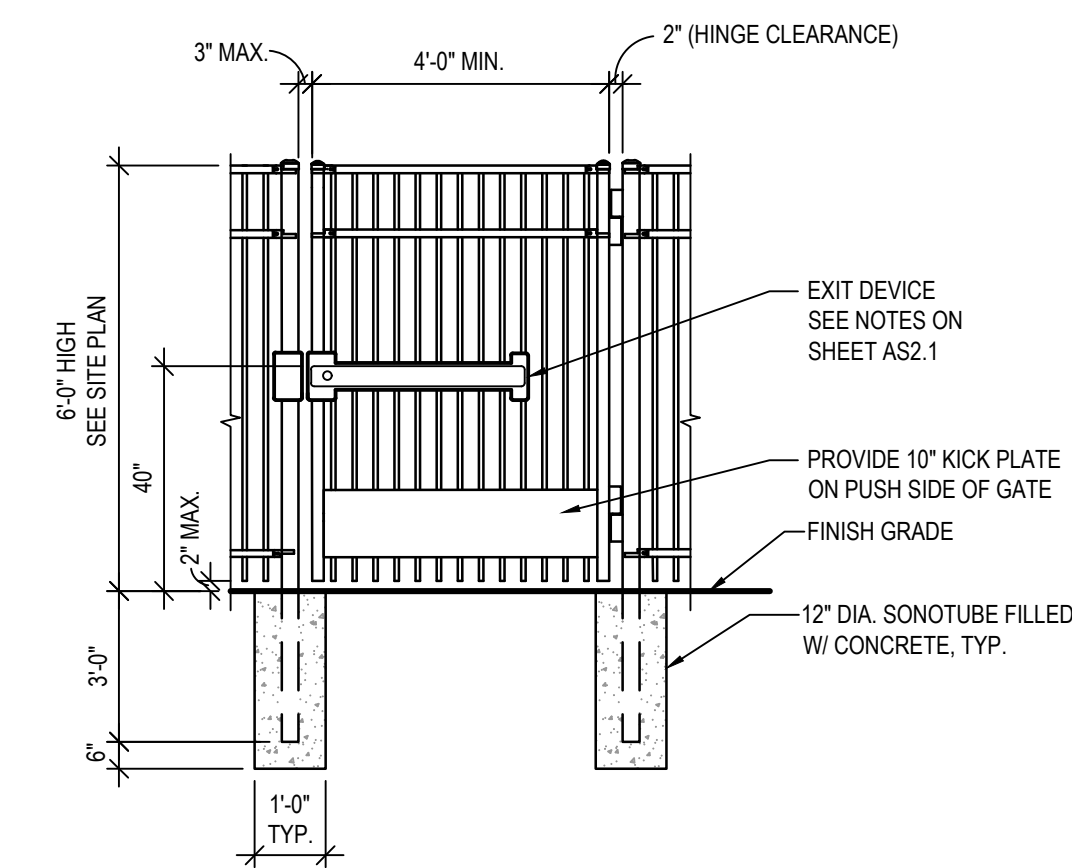
ST-1



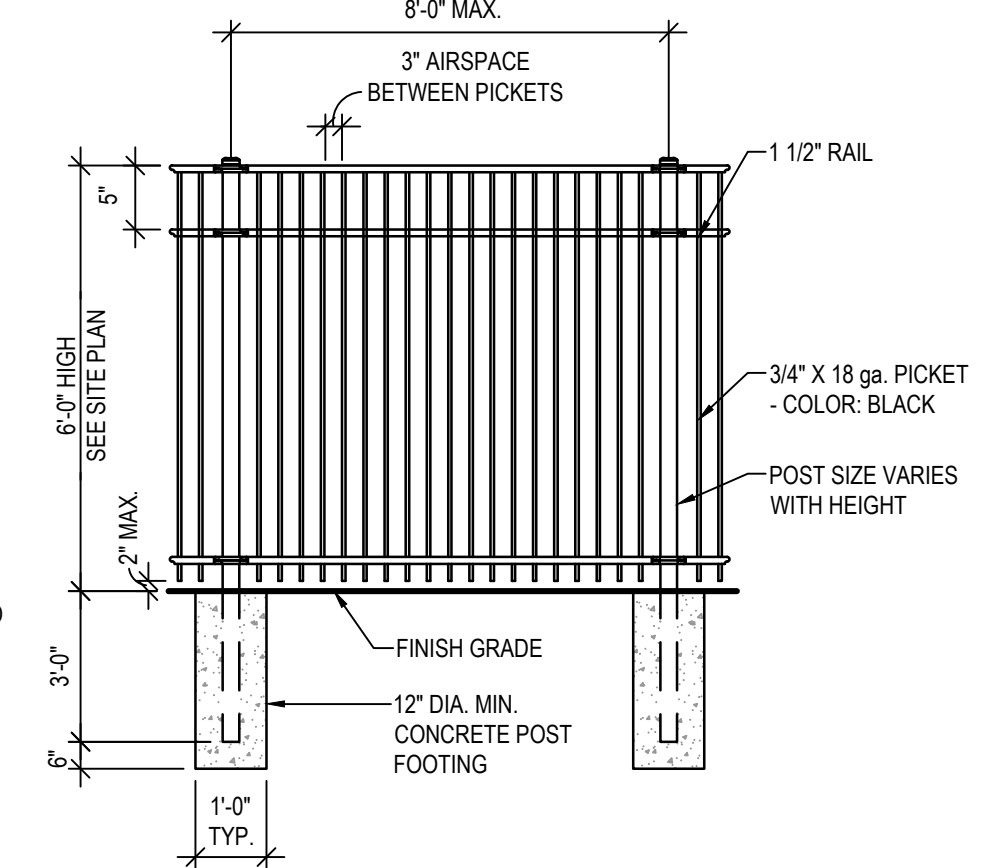
ST-2



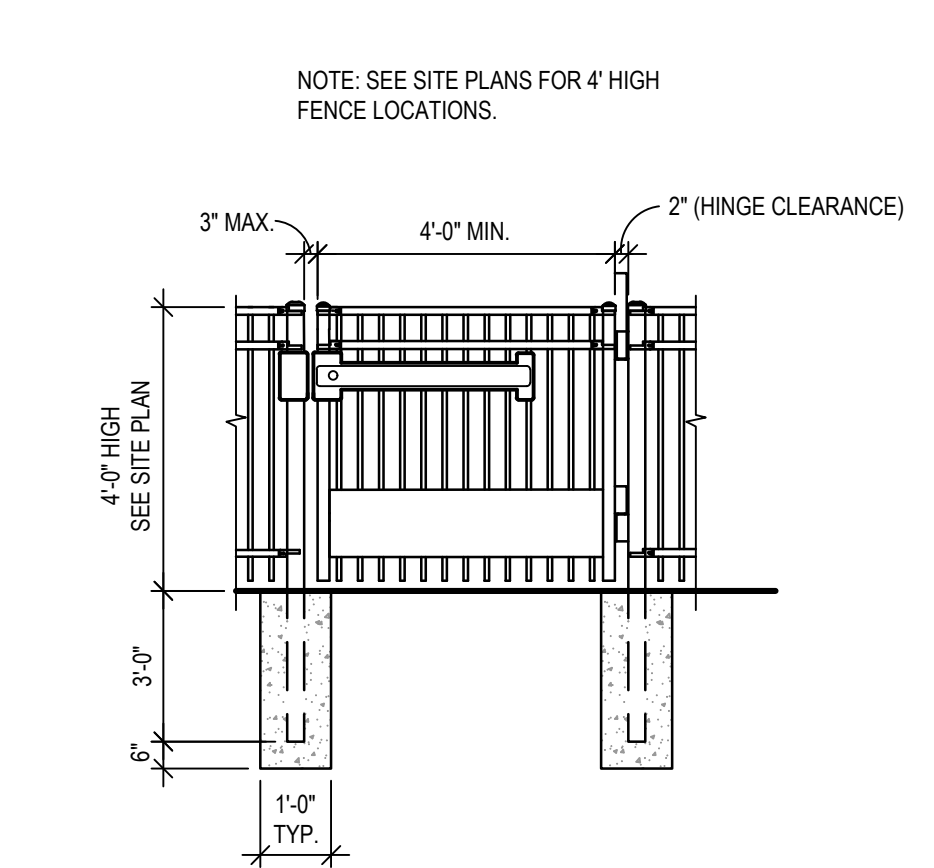
XP SERIES SUNSHADE WITH EXTRUDED LOUVER BLADES BY INDUSTRIAL LOUVERS INC (OR SIMILAR). STANDARD FINISH TO MATCH PM-1 AS CLOSE AS POSSIBLE.



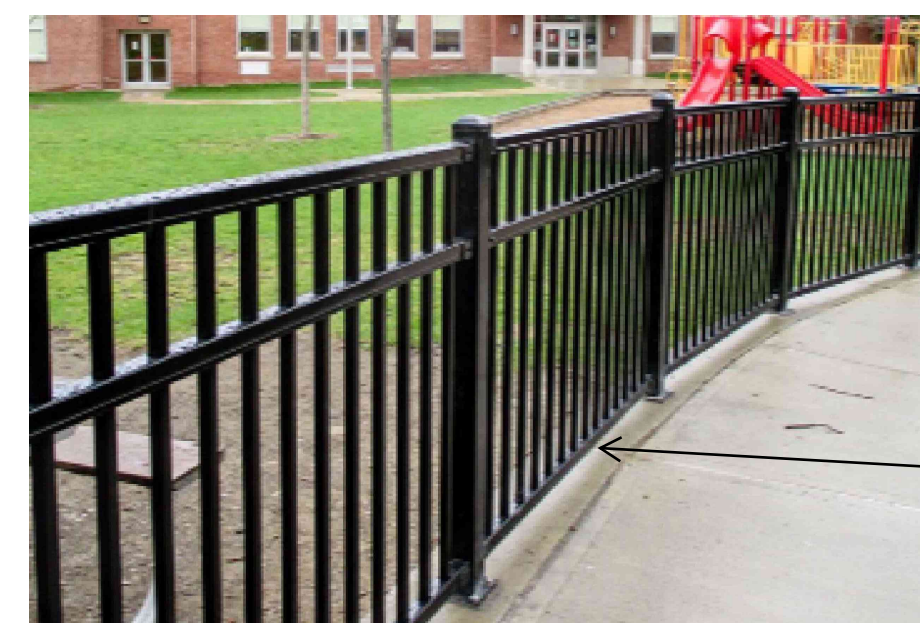
1 ORNAMENTAL FENCE GATE  
SCALE: N.T.S.



2 ORNAMENTAL FENCE  
SCALE: N.T.S.



3 ORNAMENTAL FENCE GATE  
SCALE: N.T.S.



ORNAMENTAL FENCE



VEHICULAR PROTECTION BOLLARD LEGEND:

- S20** S20 BOLLARD RATED FOR 20 MPH: McCUE 4" CRASHCORE BOLLARD WITH HDPE (PLASTIC) POST COVER, COLOR GRAY; ORDER NO. 2B-601-121
- S20-S** S20 BOLLARD RATED FOR 20 MPH: McCUE 4" CRASHCORE BOLLARD WITH HDPE (PLASTIC) POST COVER, COLOR GRAY, WITH CRASHCORE SIGN POST ADD-ON; ORDER NO. 2B-695-121-9S604. (PROVIDE SIGN PLACARD PER PER CIVIL'S SPECIFICATIONS)

BOLLARD TYPES  
SCALE: N.T.S.

EXTERIOR FINISH LEGEND	
TAG	DESCRIPTION
AS-1	ASPHALT SHINGLES: TIMBERLINE HD, COLOR: WEATHERED WOOD
BK-1	BRICK: INTERSTATE BRICK BY BASALITE, COLOR: ALMOND
EIFS-1	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #110 VANDYKE
EIFS-3	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #622B GRAY FLANNEL
GL-1	BLACK ALUMINUM STOREFRONT WITH CLEAR GLASS
GU-1	PRE FINISHED ALUM GUTTER AND DOWNSPOUTS, COLOR: TO MATCH PM-1
PM-1	PRE FINISHED METAL TRIM AND FLASHING: PAC-CLAD, COLOR: GRANITE
SD-1	FIBER CEMENT SIDING: NICHHA VINTAGE WOOD, COLOR: CEDAR #EPC762F. TRIM TO MATCH CEDAR PANEL COLOR.
SN-1	XP SERIES SUNSHADE WITH EXTRUDED LOUVER BLADES BY INDUSTRIAL LOUVERS INC (OR SIMILAR), STANDARD FINISH TO MATCH PM-1 AS CLOSE AS POSSIBLE.
SP-1	SPANDREL GLASS, STANDARD COLOR: ISPAN 512 MEDIUM GRAY BY ITI GLASS OR SIMILAR TONE.
ST-1	STONE: CULTURED STONE, DRYSTACK LEDGESTONE, COLOR: CHARDONNAY
ST-2	STONE SILL: READING ROCK, ROCKCAST, SMOOTH, COLOR: CREAM BUFF
WN-1	ALUMINUM CLAD WINDOWS, COLOR: GREY
SFT	VENTED VINYL SOFFIT: STANDARD COLOR TO MATCH BUILDING FASCIA BD. COLOR AS CLOSE AS POSSIBLE
DOOR FRAMES	PAINT BOTH SIDES OF EXTERIOR H.M. DOORS AND FRAMES. COLOR: GREY

NO.	REVISION	BY	DATE	APPROVED

**Kimley»Horn**  
 2021 KIMLEY-HORN AND ASSOCIATES, INC.  
 4582 South Ute Street, Suite 1500  
 Denver, Colorado 80237 (303) 228-2300

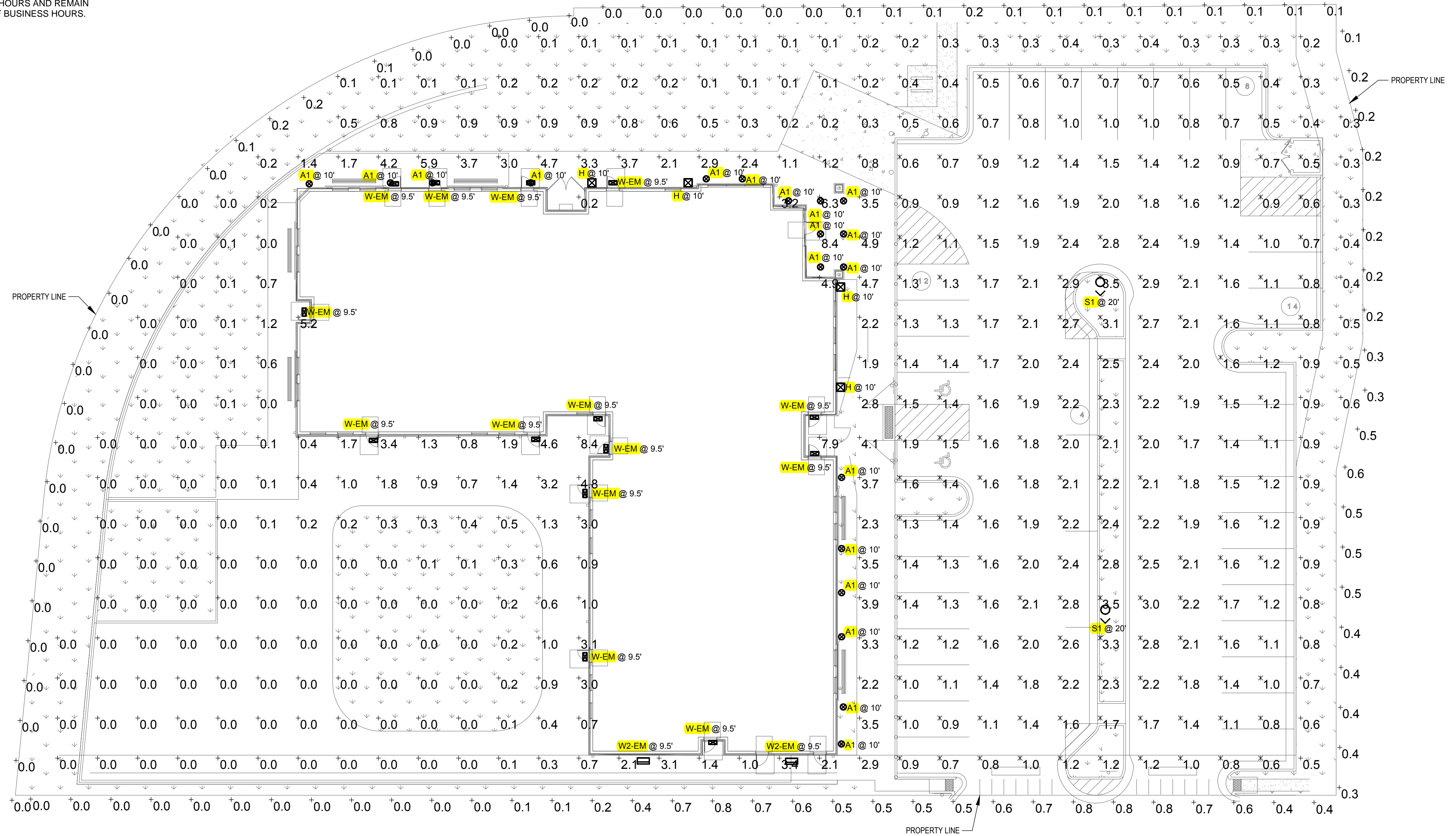
DATE: 9/13/2021

LOT 6 PARKER AND PINE FILING 1  
 PARKER, CO  
 EVERBROOK ACADEMY SITE PLAN  
 ARCHITECTURAL MATERIALS BOARD

**PRELIMINARY**  
 FOR REVIEW ONLY  
 NOT FOR  
 CONSTRUCTION  
**Kimley»Horn**  
 Kimley-Horn and Associates, Inc.

PROJECT NO.  
096895001  
DRAWING NAME

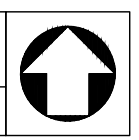
NOTES:  
 1- LIGHTING WILL BE DIMMED FROM DUSK TO DAWN.  
 2- ALL PARKING LOT LIGHTS, EXCEPT THOSE REQUIRED FOR SECURITY AS PROVIDED HEREIN, SHALL BE EXTINGUISHED WITHIN ONE (1) HOUR AFTER THE END OF BUSINESS HOURS AND REMAIN EXTINGUISHED UNTIL ONE (1) HOUR PRIOR TO THE COMMENCEMENT OF BUSINESS HOURS.



Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	S1	2	SIGNIFY GARDCO	ECF-S-48L-900-NW-G2-5	EcoForm Area LED ECF - Small, 48 LED's, 4000K CCT, TYPE 5 OPTIC, No Shield, pole mounted at 20' AFF	(3) LEDGINE SLD LIGHT ARRAY(S) DRIVEN AT 900mA	1	ecf-s-48l-900-nw-g2-5.lies	18939	0.85	135.1
	A1	19	SIGNIFY LIGHTING - LIGHTOLIER	P4RDL0S835CL210U	LYTEPROFILE 4.5 INCH ROUND, Downlight mounted in canopy at 12' aff	LED	1	P4RDL20835CL210U.lies	2081	0.23	19.7
	W-EM	14	Barron Lighting Group	WLZ1-3-4K	Blackformed metal housing, emergency wall sconce mounted at 9.5' aff	Four (4) white LEDs with optics below each	1	WLZ1-3-4K.lies	1509	0.85	15.1239
	H	4	BARRON LIGHTING GROUP	SLW-15-4K-AC	LED WALL PACK MOUNTED AT 10' AFF	WPL01N-AC	1	SLW-15-4K-AC.lies	1529	0.85	15.8
	W2-EM	2	BARRON LIGHTING GROUP	SLW-15-4K-AC	LED WALL PACK MOUNTED AT 9.5' AFF	WPL01N-AC	1	SLW-15-4K-AC (1).lies	1529	0.85	15.8

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Green Space	+	1.2 fc	8.4 fc	0.0 fc	N/A	N/A
Parking Lot	X	1.6 fc	3.5 fc	0.5 fc	7.0:1	3.2:1
Site Boundary	+	0.2 fc	0.8 fc	0.0 fc	N/A	N/A

**1 PHOTOMETRIC PLAN**  
 12 OF 13 SCALE: 1/16" = 1'-0"



G:\working\cvs\corp\parker\CO.D\parker\1\_of\_2\_Photometric\_Plan.dwg Kimley-Horn and Associates, Inc. 09/13/2021 10:58:10 AM

NO.	REVISION	BY	DATE	APPR

**Kimley»Horn**  
 KIMLEY-HORN AND ASSOCIATES, INC.  
 4582 South Ulster Street, Suite 1500  
 Denver, Colorado 80237, (303) 728-2300

DESIGNED BY: JTK  
 DRAWN BY: JTK  
 CHECKED BY: DPS  
 DATE: 09/13/2021

**LOT 6 PARKER AND PINE FILING 1**  
 PARKER, CO  
 EVERBROOK ACADEMY SITE PLAN  
 PHOTOMETRIC PLAN

PRELIMINARY  
 FOR REVIEW ONLY  
 NOT FOR CONSTRUCTION  
 Kimley»Horn  
 Kimley-Horn and Associates, Inc.

PROJECT NO.  
 DRAWING NAME  
 PHOTOMETRIC PLAN  
 15 OF 16

25760 First Street  
 Cleveland, OH 44145  
 P 440 871 2410  
 F 440 871 7954  
 tesengineering.com



G:\Learning\Case Studies\Gardco\Gardco\1 of 2\Photometric\KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC. THE DOCUMENT CONTAINS TRADE SECRETS AND PROPRIETARY INFORMATION. ANY REPRODUCTION OR DISSEMINATION OF THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

**Site & Area**  
EcoForm  
ECF-S Small area light

Project: **LOA PARKER**  
Location: **PARKER CO**  
Site No: **488-PA-04-000-01-010**  
Type: **NI**  
Lamp: \_\_\_\_\_ City: \_\_\_\_\_  
Notes: **LED CURRENT = 900 (18,377 LUMEN OUTPUT)**

Ordering guide example: ECF-S-64L-900-NW-G2-AR-5-120-HIS-MGY

Part No.	Qty	Part Description	Options
ECF-S-64L-900-NW-G2-AR-5-120-HIS-MGY	1	ECF-S 64L 900 NW-G2 AR-5 120-HIS-MGY	

1. BL-9893/7 equipped with out-boarded sensor housing when using a HSI (481-4830)  
2. Mount to a 4" round pole with adapter included for square poles.  
3. Limited to a maximum of 48 degrees aiming above horizontal.  
4. Not available with other dimming control options.  
5. Not available with motion sensor.  
6. Not available with photocell.  
7. Available only in 120 or 277V.

8. Not available in 347 or 480V  
9. Must specify input voltage.  
10. Dimming will not be connected to NEMA receptacle if ordering with other control options.  
11. Not available in 480V. Order photocell separately with TL-R05-7.  
12. Not available with DCC.  
13. Not available with SP and WS. SPAs provided with black finish standard.

14. HS not available with Type 5 and SW options.  
15. Not available with DCC, DCC, FAWB and LIG dimming control options.  
16. Not available with DCC, DCC, FAWB and LIG dimming control options.  
17. Must specify a motion sensor lens.

ECF-S\_EcoForm\_area\_small 06/20 page 1 of 8

**Downlighting**  
LyteProfile  
P4R 4" Round Aperture

Project: **LOA PARKER**  
Location: **PARKER CO**  
Site No: **488-PA-04-000-01-010**  
Type: **NI**  
Lamp: \_\_\_\_\_ City: \_\_\_\_\_  
Notes: \_\_\_\_\_

Provides a comfortable 60° cut-off to both the actual and reflected source. Utilizes a robust frame-in kit, light engine and reflector design that is designed for a wide variety of installation conditions with a plenum depth of 4-1/2".

Frame (frame + trim = complete product) example: 4RN

Series	Aperture	Installation	Options
4	R Round	N New construction (non-IC) R Remodeler (non-IC) A AirSeal (IC)	-EM Universal 120/277V (specify for Power Over Ethernet) Chicago Plenum EM Emergency Universal 120/277V (specify for Power Over Ethernet) 3 347V (not compatible with ELM dimming) 3IP 347V with Interact Pro (for use with 0-10V engines only) IP Interact Pro (for use with 0-10V engines only)

Trim example: PARDL2083SCD210U

Series	Style	Lumen	CR/ CCT	Reflector	Flange	Dimming*	Voltage
P4R	LyteProfile DL Downlight 4-in Round	05 200lm 10 1000lm 15 1500lm 20 2000lm 25 2500lm	827 80 CR / 2700K 835 80 CR / 3000K 835 80 CR / 3500K 840 80 CR / 4000K 850 80 CR / 5000K	CL Specular clear CC Comfort clear CD Comfort clear diffuse HW White (trans) BK Black (trans)	- White (trans) L Lubon LED P Polished CC Custom color (Min supply order qty for required factory quote)	Z10 0-10V L Lubon LED E Ecosystem (End-to-Start) P Power over Ethernet (PoE) B Black (trans)	U Universal 120/277V U Universal 120/277V/347V

Accessories

**CAEM** Field installable EM pack (for use with new construction frame only)  
**AMS** ActiLume multi-sensor (optional accessory for PoE configurations)  
**SWZDT** SpaceWise wireless controller with dwell time functionality (compatible with all 0-10V options, see SWZDT spec sheet)  
**SMART** Interact Office Accessory (for use with Lightolier UniFrame 0-10V products)

1. Emergency (EM) frame includes emergency battery with ceiling and reflector mountable test switch (see page 2 for details and limitations).  
2. Integral emergency battery not compatible with Power over Ethernet configurations.  
3. Contact factory for available dual and 0-10V dimming 0-10V availability.  
4. Order Shroud Light (SL) with WH finish only.

Note: For reflector mounted test switch add "EM" to end of catalog code (example: PARDL2083SCD210U-EM). Leave blank for ceiling mounted test switch.  
Reflector mounted test switch requires above ceiling access and 1/2" max ceiling thickness for downlight only. See LED-EM spec sheet for more details.

LyteProfile-4in-P4R 07/20 page 1 of 4

**SLW Series**  
Low-Profile, Architectural LED Wallpack with Egress Option

Model: **SLW-15-4K-AC** Date: \_\_\_\_\_  
Accessories: **Mounting height as indicated on plan**  
Job Name: \_\_\_\_\_ Type: **H & W-EM**

**DESCRIPTION**  
The slim architectural SLW Series LED wallpack features integral motion detection (PIR sensor) or photocontrol only (NS model) in both "normally on" and UL 924 Listed emergency egress modes. The fully gasketed die-cast enclosure is IP65 rated and is Listed for Wet Locations. The SLW's 15 Watt LED light engine delivers 1500 lumens in AC mode and 600 lumens in emergency mode. Zero uplight optics reduce light pollution.

**SPECIFICATIONS**

**Construction**

- Architectural die-cast aluminum housing
- Snap-fit housing to mounting plate for easy access and installation
- Universal pattern knockouts on back for mounting to 3" and 4" J-box
- 1/2" Threaded conduit entry for top feed
- Available in Bronze, Black, Silver or White finish

**Optical LEDs:**

- 15 Watt high-power LED light engine delivers 1500 lumens (600 lumens in emergency mode for 60° on center spacing)
- Standard 4000K CCT, CRI ≥ 70, L70 > 72,000 hours
- LED array is protected by a high-impact, UV-resistant polycarbonate lens

**Electrical:**

- 120-277VAC, 60Hz driver
- EM option uses long-life, maintenance-free, rechargeable high temperature NiCad battery which includes internal heater suitable for cold locations and draws an additional 17 Watts
- Integral controls include:
  - Standard unit: Passive Infrared (PIR) motion sensor with up to 10' detection, operational from dusk to dawn. Unit will shut off after two minutes of inactivity. The light will activate in AC mode only when motion is detected. Motion sensor (PIR) and dusk to dawn operation cannot be altered
  - No PIR sensor option (NS): switchable AC operation for use as dusk to dawn with included photocontrol or use of a normally open switch by disabling photocontrol

**Installation:**

- Ideal for mounting to any vertical surface by attaching to a 3" or 4" J-box
- Can be surface mounted using the 1/2" conduit entry point at top of housing

**Options:**

- Emergency (EM) battery back-up is UL 924 Listed to provide a minimum 90 minutes operation during a loss of power, with a 24 hour maximum recharge time for battery. Standard with self-test self-diagnostics as well as a heater for cold location operation to -25°C. AC power indicator and test switch are located on bottom face of the unit.
- No PIR sensor option (NS) is offered without passive infrared (PIR) motion sensor, but with a photocontrol for use in dusk to dawn applications. Photocontrol can be disabled to be used as an always on or switchable fixture.

**Testing & Compliance:**

- cULus Listed for Wet Locations, IP65 rated
- Emergency model UL 924 Listed, NFPA 70, NFPA 101
- Complies with Title 24 of the California Code of Regulations
- Operating temperatures: -25°C to 50°C (-13°F to 122°F)

**Warranty:**  
Five Year Warranty (Terms and Conditions Apply)

Specifications are subject to change without notice. Installation must be performed in accordance with Barron Lighting Group installation instructions.

12012064 Rev B Page 1 of 2

**WLZ SERIES**  
Zero Uplight LED Wallpack

Model: **WLZ-1-3-4K** Date: \_\_\_\_\_  
Accessories: **Mounting height as indicated on plan**  
Job Name: \_\_\_\_\_ Type: **W-EM**

**DESCRIPTION**  
The WLZ Series features an architecturally relevant low-profile LED design in lumen packages ranging from 1500 lumens to over 12,000 lumens. Its high-efficiency light engine is designed for optimal light control and distribution with zero uplight. This family of product is offered in several size housings to complement any building exterior and accommodates mounting heights up to 35'. Integral emergency battery backup available for path of egress with Cold Location operation down to -20°C.

**SPECIFICATIONS**

**Construction**

- Sleek die-cast aluminum housing with stainless steel hardware and powder coated black, bronze, silver or white finish
- UV-stabilized polycarbonate optical lens
- Integral heat sink for maximized heat dissipation
- Back box houses drivers away from LEDs and includes three 3/4" hubs (WLZ1 and WLZ2 - two 3/4" hubs)

**Optical LEDs**

- Zero uplight design to minimize light pollution
- 15 to 100 Watt models replace up to 400 Watt HID for up to 70% energy savings
- Efficacies up to 123 LPW at 5000K to maximize utility rebates
- Type III and Type IV distributions for optimal light distribution (WLZ1 - Type III only)
- Available in 3000K, 3500K, 4000K and 5000K CCT
- L70 of 50,000 hours at 40°C
- CRI of 870

**Electrical**

- Class 2 power supply, 120-277VAC, 50/60Hz
- 347/480VAC Dedicated driver option for WLZ4, WLZ7 and WLZ10
- 0-10V Dimming driver (120-277VAC only)
- Power supply rated Class A EMI rating

**Installation**

- Housing hinges to back box and is secured with set screws
- Back box is complete with three 3/4" hubs and internal bubble level for easy installation (WLZ1 and WLZ2 - two 3/4" hubs)
- Mounts to a standard 3-1/2" or 4" square electrical J-box
- Suitable for downlight installation only

**Options**

- Battery Backup**
  - Integral battery backup (BB) provides over 700 lumens and 90 minutes of runtime for path of egress. Rated for ambient temperatures of 0°C to 40°C (32°F to 104°F). Not available on WLZ1
  - Integral Battery Backup with Internal Heater (BB-H) provides over 700 lumens and 90 minutes of runtime for path of egress in Cold Locations down to -20°C. Not available on WLZ1 or WLZ2.
  - Factory installed dual driver options for WLZ4 and WLZ10 (WLZ1 is standard with two drivers)
  - 120/277VAC Button type universal photocontrol option (PC)
  - Factory installed 10kVA surge protection options (SP or SPH)

**Accessories (Field Installed)**

- 120/277VAC Button type universal photocontrol accessory (PCU)
- Dimming occupancy sensor programmable, Wattstopper FSP221 available in multiple finishes (TL-SCES-L2)
- Remote control for occupancy sensor. Optional (TL-FSR100)

**Testing & Compliance**

- cULus Listed for Wet Locations
- DesignLights Consortium (DLC) Qualified (verify QPL for specific models)
- International Dark Sky friendly approved product. (IDA) 3000K only
- Operating temperatures: -40°C to 40°C (-40°F to 104°F)

**Warranty**  
Five year warranty (terms and conditions apply)

Model	A	B	C	D	E
WLZ1	6.7"	5.0"	5.6"	3.2"	1.4"
WLZ2	8.0"	5.7"	6.0"	3.2"	1.4"
WLZ4	10.2"	6.8"	7.8"	5.0"	1.9"
WLZ7	11.6"	6.3"	9.4"	5.0"	1.9"
WLZ10	11.6"	10.3"	11.5"	5.0"	1.9"

25760 First Street  
Cleveland, OH 44145  
P 440 871 2410  
F 440 871 7954  
tesengineering.com

LOT 6 PARKER AND PINE FILING 1  
PARKER, CO  
EVERBROOK ACADEMY SITE PLAN  
PHOTOMETRIC DETAILS

DESIGNED BY: JTK  
DRAWN BY: JTK  
CHECKED BY: DPS  
DATE: 09/13/2021

PROJECT NO.  
DRAWING NAME  
LIGHT SPECS  
16 OF 16