



## Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

### MEMORANDUM

**TO:** Allison Morgan, Caprei  
Craig Eisenberg

**FROM:** Krista Flynt, Planner 1

**DATE:** Feb. 26, 2021

**SUBJECT:** SP20-131 Site Plan – Planning Review 1

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

**TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER:** Krista Flynt  
**EMAIL:** [kflynt@parkeronline.org](mailto:kflynt@parkeronline.org)  
**PHONE:** 303.805.3331

#### GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards (DDS). Copies of these documents are available at:  
[Parker 2035 Master Plan](#)  
[Development Design Standards](#)  
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. If any comments in the redline file are unclear you may ask staff for an example of what they are looking for.
6. Due to the large amount of missing information. The second review will contain many new comments to address that are not contained in this review.
7. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**

### Site Plan and Project Details

1. All site plan comments from the planning department are included in the attached site plan redlines.

Comment Addressed:  Yes  No

Response:

2. In your next submittal include your playground plans in with your site plan set, as well as all additional sheets requested by planning staff in the redline comments (like trash enclosure fence elevations, etc.) Please include all in ONE PDF document labeled "Site plan set V2"

Comment Addressed:  Yes  No

Response:

### OUTSIDE REFERRAL AGENCY COMMENTS

Please address all outside referral agency comments with a written response. The following agencies have provided comments for review:

- Town of Parker – Building Department
- Cherry Creek Basin Basin Water Quality
- Town of Parker – Environmental (Construction Plans)
- Town of Parker – Stormwater (Construction Plans)
- Town of Parker – Stormwater (Drainage Report)
- Town of Parker – Stormwater (Site plan)
- Town of Parker – Fire Life Safety
- IREA
- Parker Water and Sanitation
- PSCO of Colorado

*Please keep an eye out in eTRAKiT for the comment to the following reviews:*

- Town of Parker – Civil (Construction Plans)
- Town of Parker – Civil (Drainage Report)
- Town of Parker – Civil (Site Plan)
- Town of Parker – Civil (Traffic Impact Study)

These comments are available on eTRAKiT. Please address accordingly.

Comment(s) Addressed:       Yes       No

Response:

\_\_\_\_\_  
Property Owner

\_\_\_\_\_  
Date

\_\_\_\_\_  
Project Representative

\_\_\_\_\_  
Date

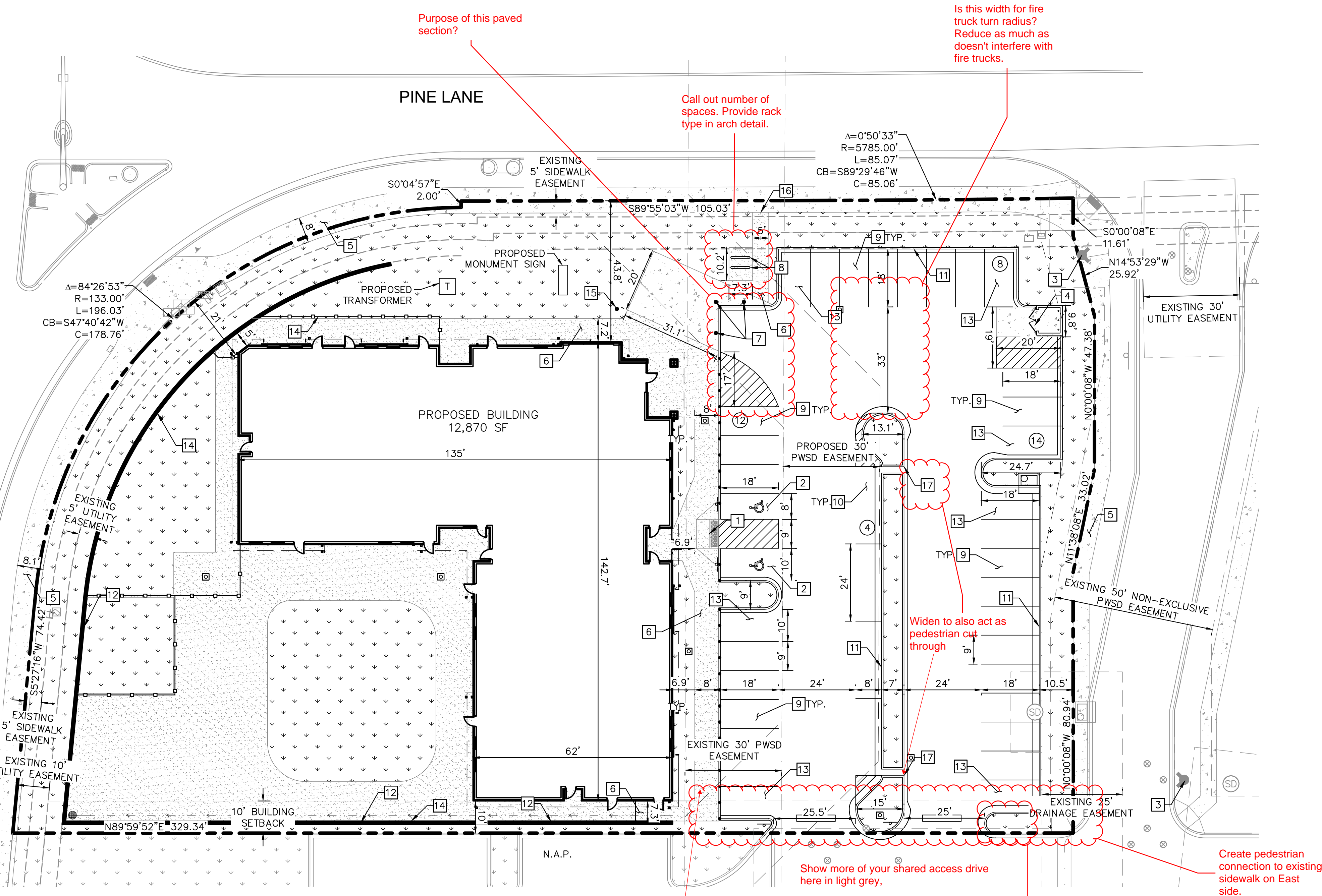




K:\DEV\_CAD\096895001 - Lot 6 Parker & Pine\CAD\Drawings\096895001 - Lot 6 Parker & Pine.dwg, New from: Mr. [Name], Date: 12/23/2020. THE DOCUMENT CONTAINS PRELIMINARY CONCEPTS AND DESIGNS. IT IS NOT TO BE USED FOR CONSTRUCTION OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

TWENTY MILE ROAD

Notes 12 and 14 are pointing to the same black line. It's impossible to tell what's going on here. Are they stacked? Switch from one to the other along the length? Please clarify.

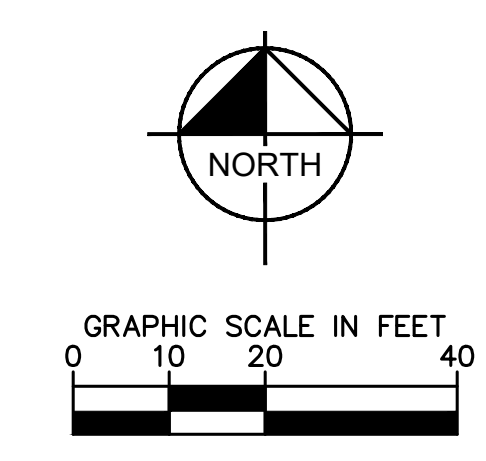


**LEGEND**

	PROPERTY LINE
	EASEMENT BOUNDARY
	STANDARD DUTY ASPHALT PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	PROPOSED STRIPING
	PARKING COUNT
	EXISTING FIRE HYDRANT
	PROPOSED STORM INLET

- KEY NOTES**
- 1 PROPOSED ADA ACCESSIBLE SIDEWALK RAMP.
  - 2 PROPOSED ADA PARKING STALLS.
  - 3 EXISTING FIRE HYDRANT.
  - 4 PROPOSED TRASH ENCLOSURE. REFER TO ARCH PLANS.
  - 5 EXISTING CONCRETE SIDEWALK, SIZE PER PLAN
  - 6 PROPOSED CONCRETE SIDEWALK, SIZE PER PLAN
  - 7 PROPOSED REMOVABLE BOLLARDS.
  - 8 PROPOSED BIKE RACK.
  - 9 PROPOSED STANDARD 9'X18' PARKING STALL.
  - 10 PROPOSED STANDARD 8'X24' PARALLEL PARKING SPACE.
  - 11 PROPOSED 18" CURB AND GUTTER.
  - 12 PROPOSED RETAINING WALL SEE SHEET 04 FOR GRADING INFORMATION.
  - 13 PROPOSED ISLAND ADJACENT 10'X18' PARKING STALL.
  - 14 PROPOSED METAL ORNAMENTAL FENCE. REFER TO ARCH PLANS.
  - 15 PROPOSED FLAG POLE. REFER TO ARCH PLANS.
  - 16 PROPOSED 5' WIDE PEDESTRIAN CONNECTION.
  - 17 2' WIDE CURB CUT Delete the word proposed in all references. Just add "existing" if it is already on site.
  - 18 6" CURB AND INTEGRAL SIDEWALK.
  - 19 PROPOSED BOLLARDS @ 5' O.C. REFER TO ARCH PLANS.

- NOTES:**
1. ALL LIGHTING ON-SITE, EXTERIOR, UNROOFED LIGHTING SHALL CONFORM TO THE TOWN'S LIGHTING STANDARDS.
  2. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM A PUBLIC RIGHT OF WAY.
  3. LOCATION OF TRASH RECEPTACLES SHALL BE SCREENED BY A SOLID SCREEN FENCE SURROUNDING AT LEAST 3 SIDES OF THE CONTAINER.
  4. ALL DIMENSIONS AND RADII ARE TO FLOWLINE OF CURB AND GUTTER UNLESS OTHERWISE NOTED.
  5. REFER TO SITE ELECTRICAL PLANS FOR LIGHT POLE LOCATIONS.



NO.	REVISION	BY	DATE	APPR

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 DATE: 12/23/2020

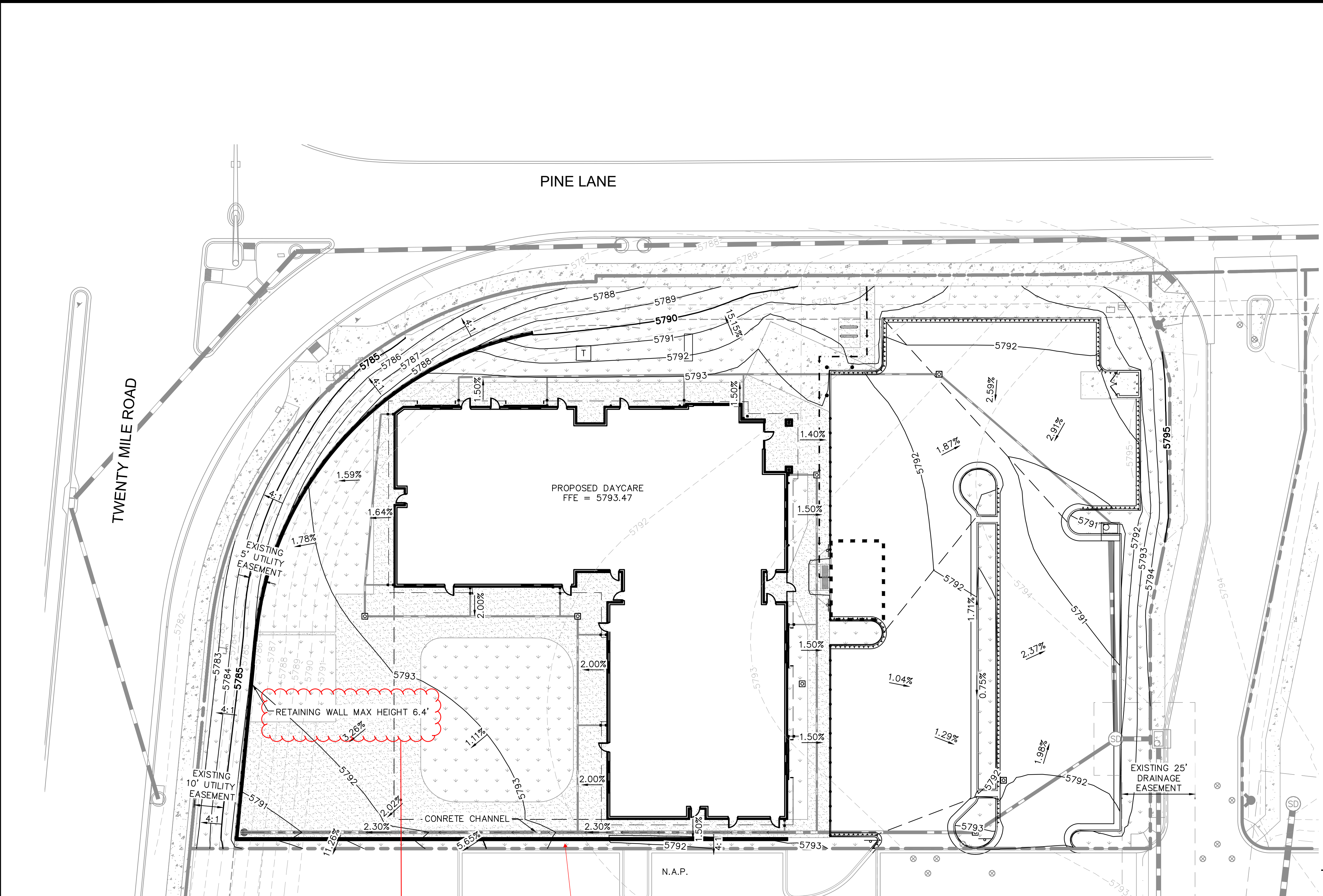
**LOT 6 PARKER AND PINE FILING 1**  
 PARKER, CO  
 EVERBROOK ACADEMY SITE PLAN  
 SITE PLAN

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PROJECT NO.  
 096895001  
 DRAWING NAME  
 096895001SP\_SP

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- LEGEND:**
- PROPERTY LINE
  - 50 PROPOSED MAJOR CONTOURS
  - 49 PROPOSED MINOR CONTOURS
  - 50 EXISTING MAJOR CONTOURS
  - 49 EXISTING MINOR CONTOURS
  - PROPOSED STORM PIPES
  - ADA PATH OF TRAVEL
  - ADA PARKING AND ACCESS. SLOPES NOT TO EXCEED 2% IN THIS AREA
  - GRADE BREAK LINE
  - SD PROPOSED MANHOLE
  - SD PROPOSED STORM DRAIN
  - X.XX% DRAINAGE SLOPE DIRECTION
  - STANDARD 6" VERTICAL SPILL CURB/24" GUTTER

Above 4', a building permit is required for a retaining wall. Provide elevations and materials for wall.

You're putting a retaining wall along this edge? There doesn't appear to be any elevation change. Or has this transitioned to being a fence here? Please clarify. Label line type, add to legend. Create two separate line types for the wall and fence if they are not joined the entire length of both.

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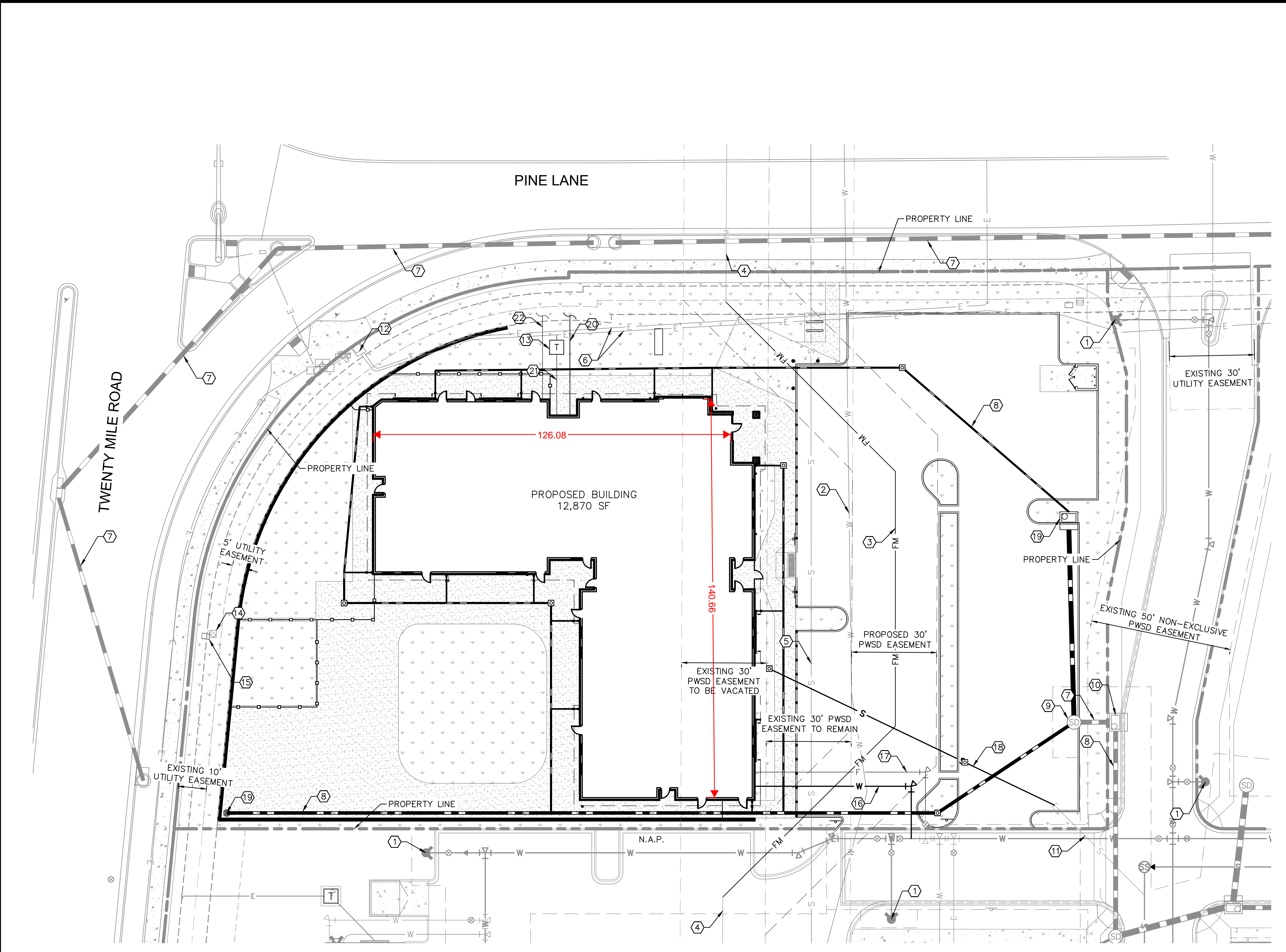
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 PARKER, CO  
 EVERBROOK ACADEMY SITE PLAN  
 GRADING PLAN

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**UTILITY LEGEND**

- EXISTING PROPERTY LINE
- - - EXISTING EASEMENT
- - - PROPOSED EASEMENT
- S PROPOSED SANITARY SEWER LINE
- W PROPOSED WATER LINE
- PROPOSED STORM DRAINAGE LINE
- EXISTING STORM DRAINAGE LINE
- G EXISTING GAS LINE
- W EXISTING WATER LINE
- S EXISTING SANITARY SEWER LINE
- E EXISTING ELECTRIC LINE
- ⊕ EXISTING FIRE HYDRANT W/ BOLLARDS
- ⊠ PROPOSED METER
- ⊙ EXISTING SANITARY SEWER MANHOLE

**SITE KEYNOTES**

- ① EXISTING FIRE HYDRANT
- ② EXISTING 20" DIP WATER MAIN
- ③ PROPOSED 8" C900 PVC EFFLUENT FORCE MAIN
- ④ EXISTING 8" FORCE MAIN
- ⑤ EXISTING 27" ACP SANITARY SEWER MAIN
- ⑥ EXISTING UNDERGROUND ELECTRIC LINE
- ⑦ EXISTING STORM SEWER MAIN
- ⑧ PROPOSED STORM SEWER
- ⑨ EXISTING STORM MANHOLE
- ⑩ EXISTING STORM INLET
- ⑪ EXISTING 6" SEWER STUB
- ⑫ EXISTING ELECTRIC TRANSFORMER
- ⑬ PROPOSED ELECTRIC TRANSFORMER
- ⑭ EXISTING TELEPHONE PEDESTAL
- ⑮ EXISTING ELECTRIC VAULT
- ⑯ PROPOSED 1.5" DOMESTIC WATER LINE
- ⑰ PROPOSED 6" FIRE LINE
- ⑱ PROPOSED 6" SANITARY SEWER LINE @ 1.0% MIN
- ⑲ PROPOSED STORM INLET
- ⑳ PROPOSED GAS LINE
- ㉑ PROPOSED ELECTRIC LINE
- ㉒ PROPOSED TELEPHONE LINE

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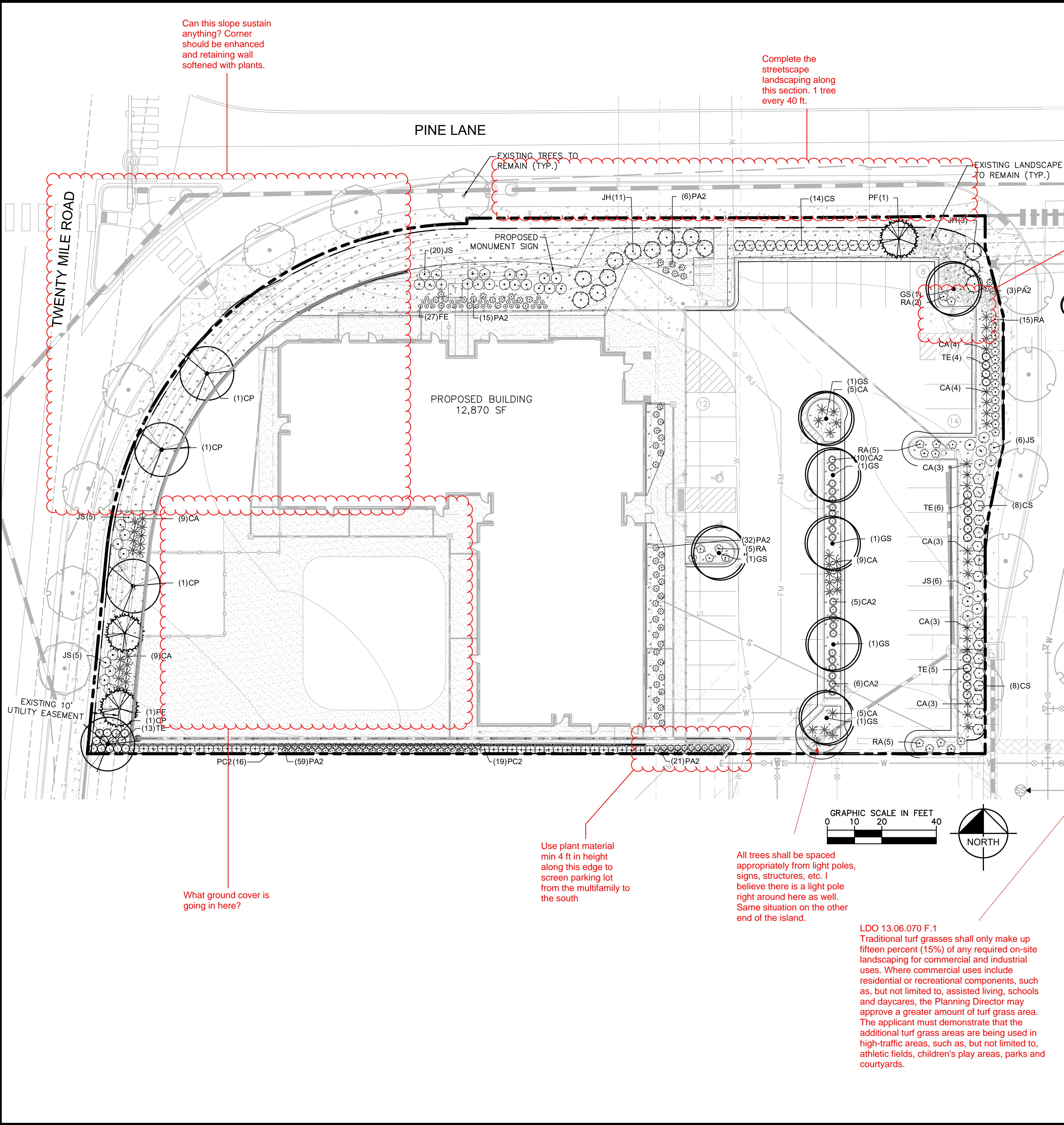
**LOT 6 PARKER AND PINE FILING 1  
 PARKER, CO  
 EVERBROOK ACADEMY SITE PLAN  
 UTILITY PLAN**

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### PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
CP	4	4	CELTIS OCCIDENTALIS 'PRAIRIE PRIDE'	PRAIRIE PRIDE COMMON HACKBERRY	B & B	2" CAL MIN	12'-14" HT MIN
GS	7	7	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'™	SHADEMASTER LOCUST	B & B	2" CAL MIN	6' HT MIN
PF	3	3	PICEA PUNGENS 'FAT ALBERT'	COLORADO SPRUCE	B & B		6' HT MIN
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
CA2	21	21	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	5 GAL	SEE PLAN	24" HT MIN
CA	57	57	CORNUS SERICEA 'ARCTIC FIRE'	ARCTIC FIRE DOGWOOD	5 GAL	SEE PLAN	24" FULL
CS	30	30	CYTISUS PURGANS 'SPANISH GOLD'	SPANISH GOLD BROOM	5 GAL	SEE PLAN	24" FULL
FE	27	27	FESTUCA GLAUCA 'ELIJAH BLUE'	BLUE FESCUE	1 GAL	SEE PLAN	12" HT MIN
JH	14	14	JUNIPERUS HORIZONTALIS	CREeping JUNIPER	5 GAL	SEE PLAN	36" SPRD MIN
JS	42	42	JUNIPERUS SABINA	SAVIN JUNIPER	5 GAL	SEE PLAN	24" FULL
PA2	136	136	PEROVSKIA X 'LITTLE SPIRE'	LITTLE SPIRE RUSSIAN SAGE	5 GAL	SEE PLAN	18" FULL
PC2	35	35	PINUS MUGO 'COMPACTA'	DWARF MUGO PINE	5 GAL	SEE PLAN	18" FULL
RA	32	32	RIBES ALPINUM 'GREEN MOUND'	GREEN MOUND ALPINE CURRANT	5 GAL	SEE PLAN	18" FULL
TE	28	28	THUJA OCCIDENTALIS 'EMERALD'	EMERALD ARBORVITAE	5 GAL	SEE PLAN	18" FULL
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING
KB	2,874 SF	2,874 SF	KEN-TEX BLUEGRASS	KEN-TEX BLUEGRASS	SOD		
R	9,495 SF	9,495 SF	ROCK MULCH	2"-6" RIVER ROCK MULCH			

### LANDSCAPE CALCULATIONS

**PERIMETER LANDSCAPING**

ADJACENT NON-RESIDENTIAL: 1 TREE & 5 SHRUBS PER 40 LINEAR FEET  
 ADJACENT RESIDENTIAL: 1 TREE & 5 SHRUBS PER 25 LINEAR FEET  
 10 SHRUBS MAY BE SUBSTITUTED FOR 1 TREE

	REQUIRED	PROVIDED
240 LF NORTH PERIMETER	6 TREES + 30 SHRUBS	1 TREE + 92 SHRUBS
153 LF EAST PERIMETER	5 TREES + 25 SHRUBS	78 SHRUBS
234 LF SOUTH PERIMETER	9 TREES + 46 SHRUBS	136 SHRUBS
217 LF WEST PERIMETER	5 TREES + 25 SHRUBS	5 TREES + 28 SHRUBS
OVERALL % OF TREES TO BE EVERGREEN*	25 - 50%	27%
PERIMETER % OF TREES TO BE EVERGREEN*	40 - 60%	43%

\*EVERGREEN SHRUBS ARE INCLUDED IN THIS PERCENTAGE AS SHRUBS HAVE BEEN SUBSTITUTED FOR TREES

**PARKING LOT LANDSCAPING**

	REQUIRED	PROVIDED
1 TREE & 5 SHRUBS PER 162 SF ISLAND	7 TREES & 35 SHRUBS	7 TREES & 35 SHRUBS
1 SHRUB PER ADDITIONAL 15 SF		

**MINIMUM SITE LANDSCAPING STANDARDS**

	REQUIRED	PROVIDED
SITE AREA: 60,112 SF	10,930 SF	10,930 SF
15% TOTAL SITE AREA	9,064 SF	9,064 SF
1 TREE + 5 SHRUBS / 1,500 SF OF SITE	8 TREES + 40 SHRUBS	8 TREES + 40 SHRUBS
LANDSCAPE AREA TO BE LIVING LANDSCAPE MATERIAL	75%	75%+

Add information on street trees provided.

8 trees. This is the amount of open space you actually provided divided by 1,500. Fractions are rounded up.

You have so far provided 13 trees and 369 according to your table above.

Provide a row for total sum of required and provided.

Provide a sheet with colored overlay of areas you are considering open space.

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**LOT 6 PARKER AND PINE FILING 1**  
 PARKER, CO  
 EVERBROOK ACADEMY SITE PLAN  
 LANDSCAPE PLAN

DESIGNED BY: MCN  
 DRAWN BY: NMH  
 CHECKED BY: DLS  
 DATE: 12/23/2020

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096895001SP\_LA

06 OF 13





Each facade has been labeled a FRONT or SIDE. Review the design requirements in the DDS beginning on page 49. Your building design doesn't address the street or corner.

Please review the design requirements of the Parker and Pine PD. Trellis-style awnings in grey or black metal will serve as overhangs at entries protruding at minimum 2 ft.

### EXTERIOR ELEVATIONS GENERAL NOTES

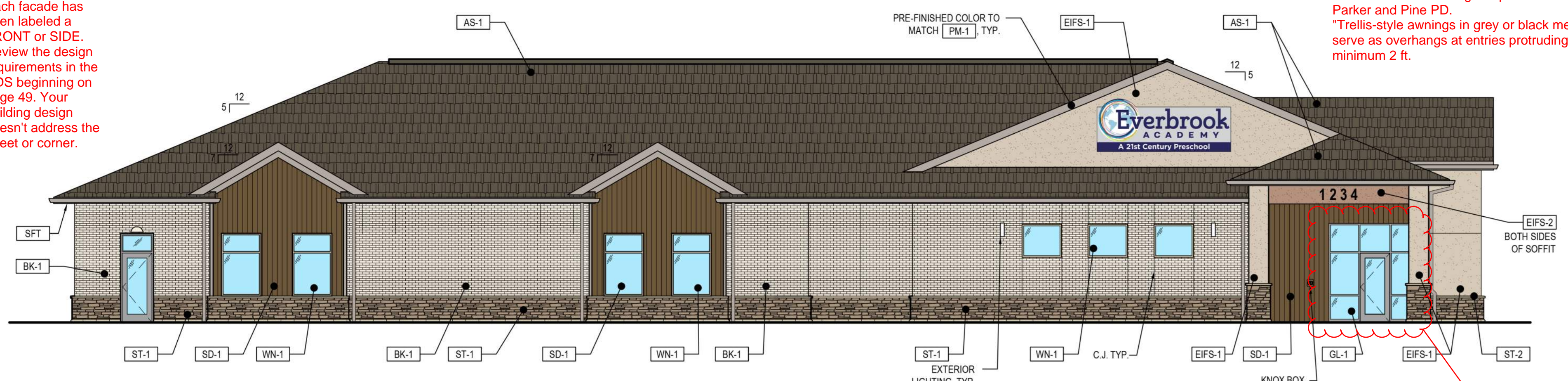
- ALL MATERIALS NOT LABELED ARE TYPICAL FOR ALL SIMILAR LOCATIONS. QUESTIONS SHALL BE REFERRED TO THE ARCHITECT.
- EIFS SHALL BE DRYVIT, COMMERCIAL GRADE AS FOLLOWS: GENESIS BASE COAT, REINFORCING MESH BASE & FINISH COATS SHALL BE PROVIDED OVER MINIMUM 1" EPS INSULATION BOARD, MECHANICALLY FASTENED OVER DRAINAGE MAT & WEATHER RESISTIVE BARRIER OVER EXTERIOR SHEATHING.
- ALL EIFS SHALL BE INSTALLED AS PER MFR'S RECOMMENDATIONS, INCLUDING ALL SEALANT, FLASHING, AND JOINERY AT DISSIMILAR MATERIALS. PROVIDE PANZER 20 REINFORCING MESH TO 8'-0" A.F.F. (TYP.)
- PROVIDE BLOCKING IN FACADE TO SUPPORT ALL BUILDING SIGNAGE.
- REFER TO ELECTRICAL DRAWINGS FOR LIGHTING INFORMATION.

### EXTERIOR FINISH LEGEND

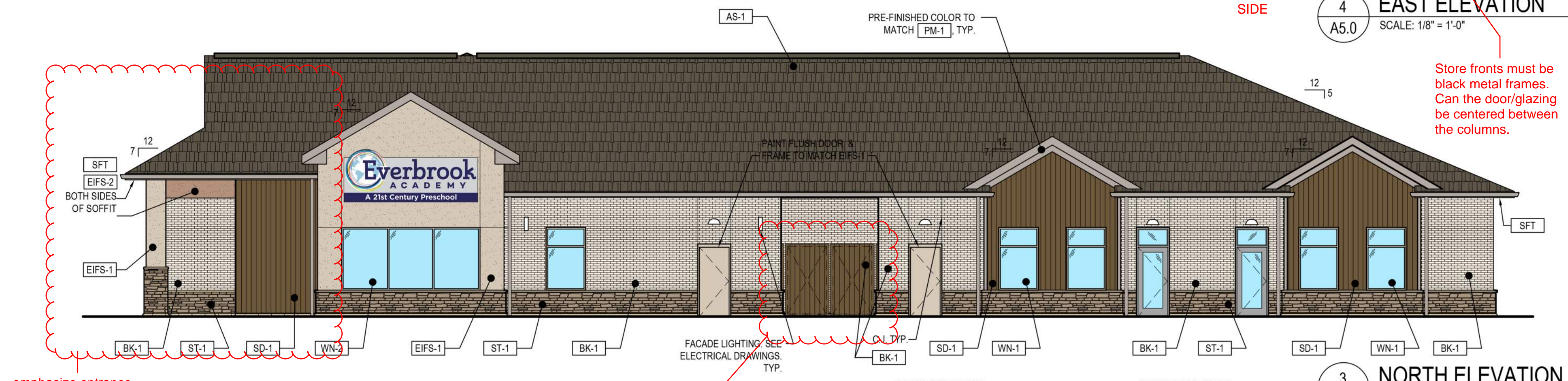
TAG	DESCRIPTION
AS-1	ASPHALT SHINGLES: TIMBERLINE HD, COLOR: WEATHERED WOOD
BK-1	BRICK: INTERSTATE BRICK BY BASALITE, COLOR: ALMOND
EIFS-1	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #110 VANDYKE
EIFS-2	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #139 ADOBE ACCENT
EIFS-3	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #622B GRAY FLANNEL
GL-1	STOREFRONT GLAZING, COLOR: CLEAR
GU-1	PRE FINISHED ALUM GUTTER AND DOWNSPOUTS, COLOR: TO MATCH PM-1
PM-1	PRE FINISHED METAL TRIM AND FLASHING: PAC-CLAD, COLOR: GRANITE
SD-1	FIBER CEMENT SIDING: NICHHA VINTAGE WOOD, COLOR: CEDAR #EPC762F. TRIM TO MATCH CEDAR PANEL COLOR.
ST-1	STONE: CULTURED STONE, DRYSTACK LEDGESTONE, COLOR: CHARDONNAY
ST-2	STONE SILL: READING ROCK, ROCKCAST, SMOOTH, COLOR: CREAM BUFF
WN-1	VINYL WINDOWS, COLOR: ALMOND
WN-2	CLEAR ANODIZED ALUMINUM STOREFRONT
SFT	VENTED VINYL SOFFIT: STANDARD COLOR TO MATCH BUILDING FASCIA BD. COLOR AS CLOSE AS POSSIBLE
DOOR FRAMES	PAINT BOTH SIDES OF EXTERIOR H.M. DOORS AND FRAMES. COLOR: PPG 6-230 ALUMINUM U.N.O. (NO SUBSTITUTIONS ALLOWED)

DDS page 57. 1. Front and Side Facades  
a. All front and side building facades that face a public roadway shall include a minimum of two (2) of the following building elements (see figures 81 and 82):  
i. Awnings  
ii. Canopies  
iii. Arcades  
iv. Galleries  
v. Tower elements  
vi. Prominent roof feature

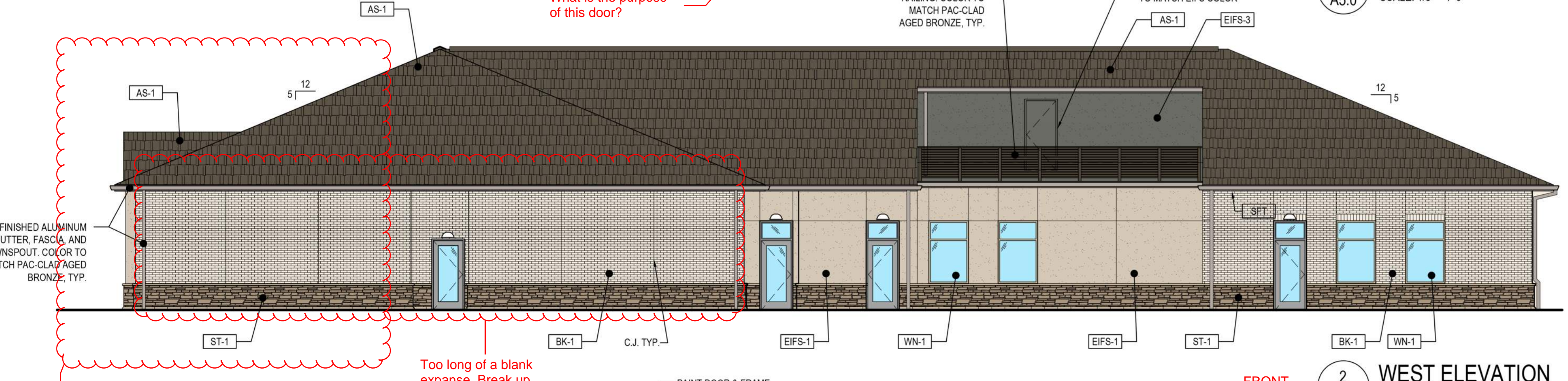
Your north side only has prominent roof features. The west side has no architectural detailing.



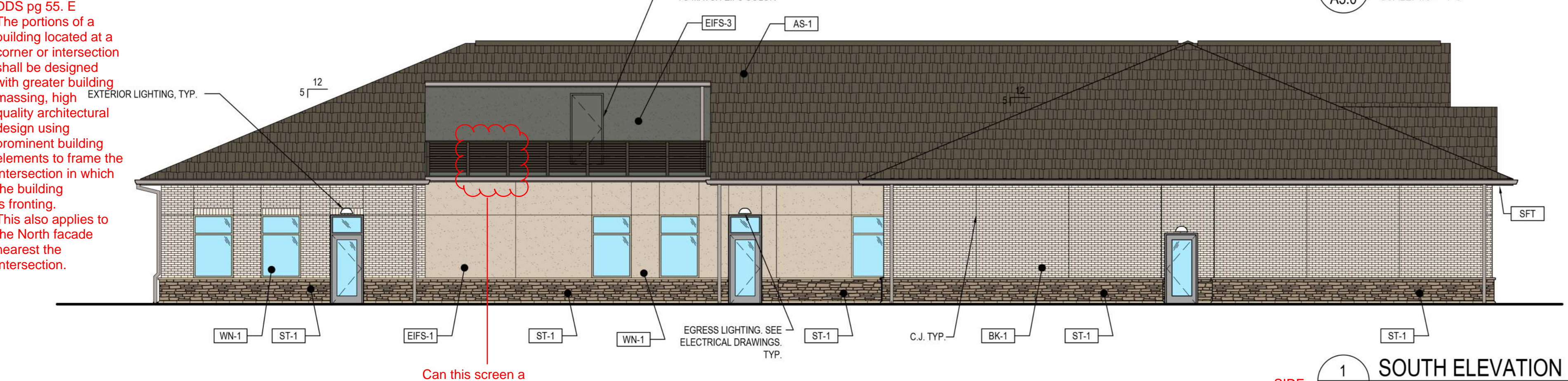
4 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



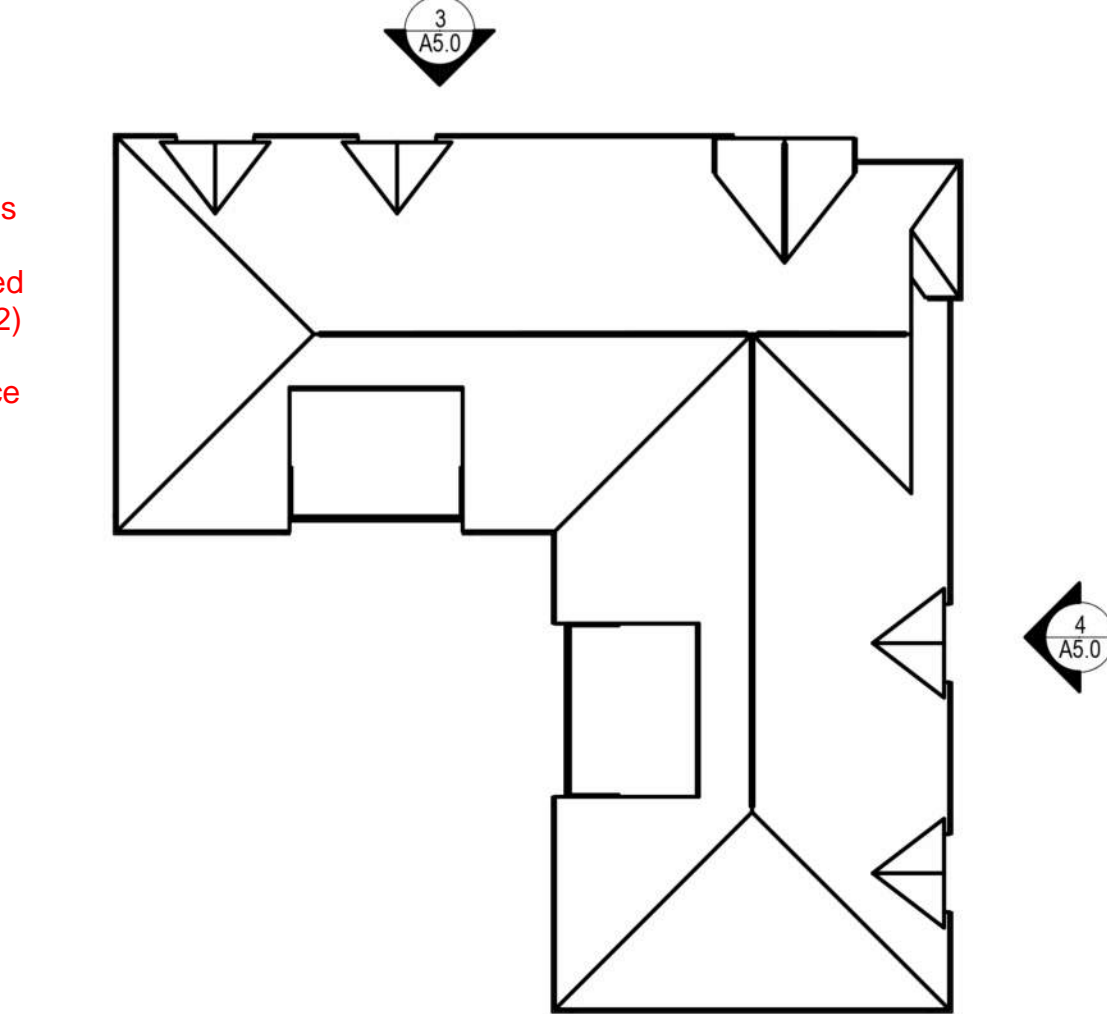
3 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



KEY PLAN  
SCALE: N.T.S.

draw to scale, provide scale.

Call out locations of all RTUs. Is the screening fence tall enough to fully screen all RTUs? Will any be wall mounted? show location of any wall mounted utilities.

Provide a 3d rendering to show how wall setbacks align with roof changes. Provide multiple perspectives, but especially from the North/east and SouthWest angles.

emphasize entrance

What is the purpose of this door?

Too long of a blank expanse. Break up

DDS pg 55. E The portions of a building located at a corner or intersection shall be designed with greater building massing, high quality architectural design using prominent building elements to frame the intersection in which the building is fronting. This also applies to the North facade nearest the intersection.

Can this screen a RTU?

DDS pg 55 D Articulation and detailing is required where the roof meets the wall using cornices, eaves, or rakes as detailing. Moldings, brackets, exposed rafters of at least twelve (12) inches and finials shall be used to give the roof/cornice proper visual weight and proportion to the building (see figure 76).

M:\Learning\_Care\_Group\20028 Everbrook - Parker, CO\02 SD\Rendering\Reference\20028\_A5.0\_Exterior Elevations.dwg Rachel Hort

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LOT 6 PARKER AND PINE FILING 1  
PARKER, CO  
EVERBROOK ACADEMY SITE PLAN  
ARCHITECTURAL ELEVATIONS

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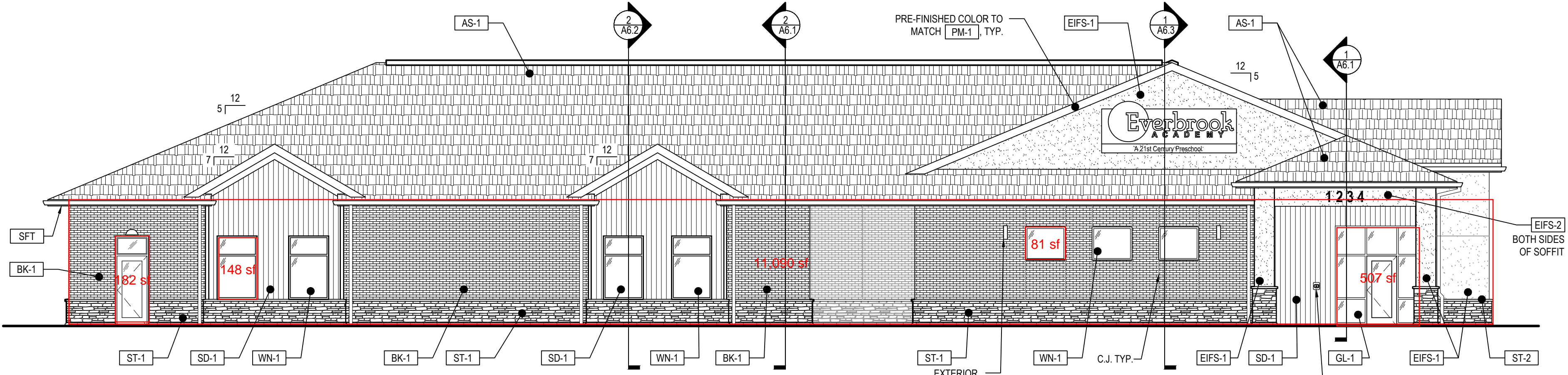
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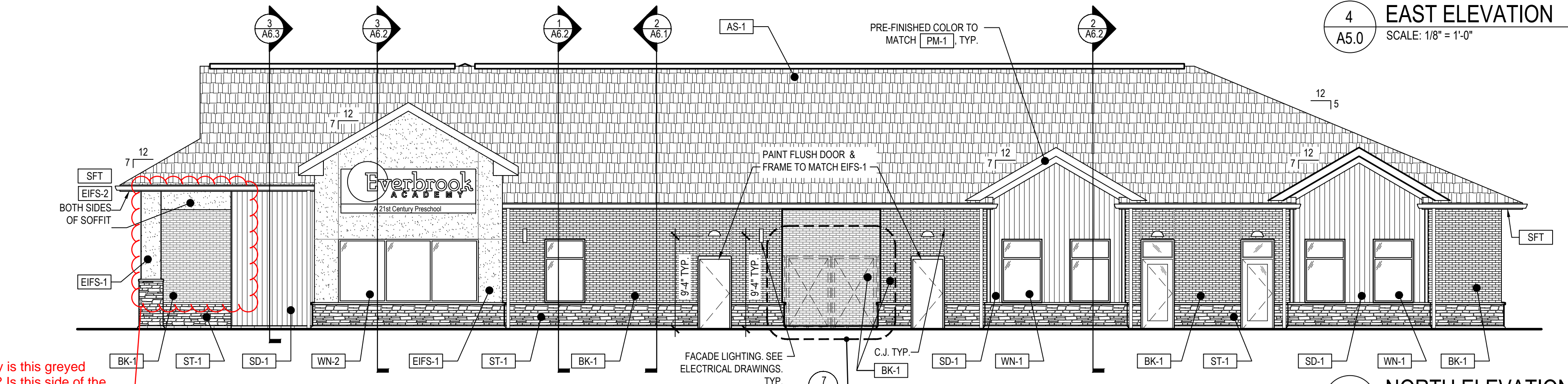
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M:\Learning\_Care\_Comp\_20028\_Everbrook-Parker\_CO\02\_SV\_20028\_A5.0\_Exterior\_Elevations.dwg (sheet) Kimley-Horn  
 DATE: 12/11/2020 10:58:30 AM  
 PROJECT NO. 096895001  
 PROJECT NAME: EVERBROOK ACADEMY SITE PLAN ARCHITECTURAL ELEVATIONS  
 DRAWN BY: J. HORN  
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 CHECKED BY: J. HORN  
 DATE: 12/11/2020

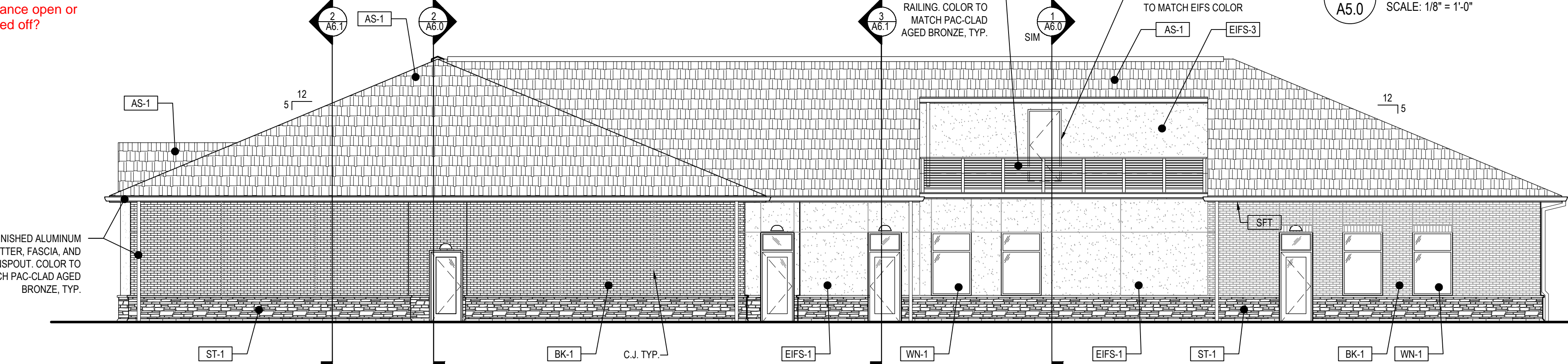
EXTERIOR FINISH LEGEND	
TAG	DESCRIPTION
AS-1	ASPHALT SHINGLES: TIMBERLINE HD, COLOR: WEATHERED WOOD
BK-1	BRICK: IN-STATE BRICK BY BASALITE, COLOR: ALMOND
EIFS-1	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #110 VANDYKE
EIFS-2	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #139 ADOBE ACCENT
EIFS-3	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #622B GRAY FLANNEL
GL-1	STOREFRONT GLAZING, COLOR: CLEAR
GU-1	PRE FINISHED ALUM GUTTER AND DOWNSPOUTS, COLOR: TO MATCH PM-1
PM-1	PRE FINISHED METAL TRIM AND FLASHING: PAC-CLAD, COLOR: GRANITE
SD-1	FIBER CEMENT SIDING: NICHHA VINTAGE WOOD, COLOR: CEDAR #EPC76Z. TRIM TO MATCH CEDAR PANEL COLOR.
ST-1	STONE: CULTURED STONE, DRYSTACK LEDGESTONE, COLOR: CHARDONNAY
ST-2	STONE SILL: READING ROCK, ROCKCAST, SMOOTH, COLOR: CREAM BUFF
WN-1	VINYL WINDOWS, COLOR: ALMOND
WN-2	CLEAR ANODIZED ALUMINUM STOREFRONT
SFT	VENTED VINYL SOFFIT. STANDARD COLOR TO MATCH BUILDING FASCIA BD. COLOR AS CLOSE AS POSSIBLE
DOOR FRAMES	PAINT BOTH SIDES OF EXTERIOR H.M. DOORS AND FRAMES. COLOR: PPG 6-230 ALUMINUM U.N.O. (NO SUBSTITUTIONS ALLOWED)



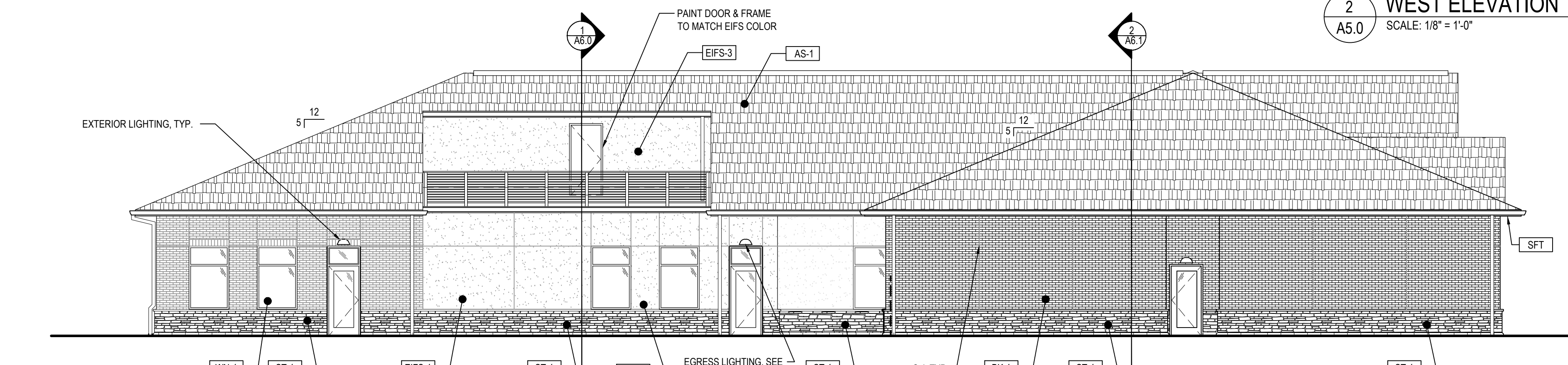
**4 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**3 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

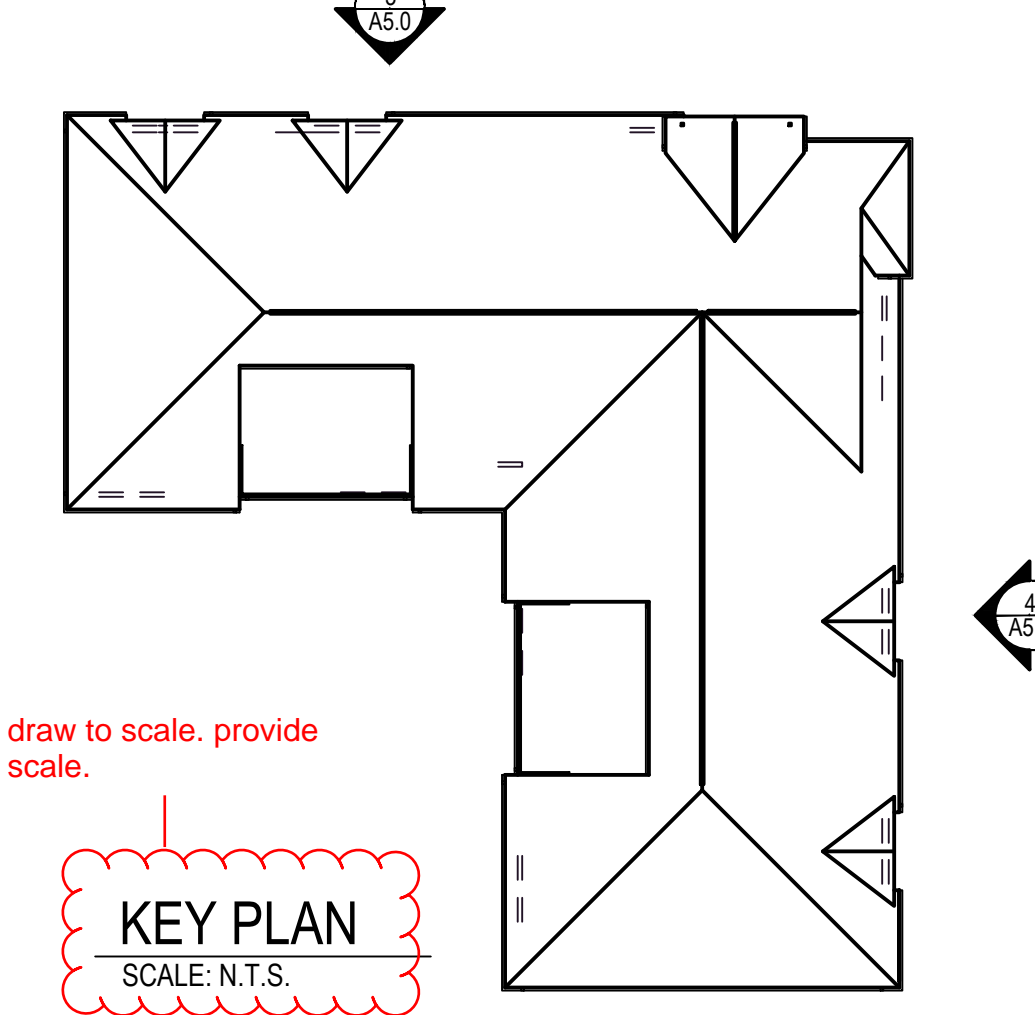


**2 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**1 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

Why is this greyed out? Is this side of the facade at the entrance open or walled off?



MATERIAL CALCULATIONS	
<b>East Elevation</b>	
Brick & Stone	Sq. Ft. 1,366 Percentage 68%
EIFS	Sq. Ft. 341 Percentage 17%
Composite Wood	Sq. Ft. 308 Percentage 15%
<b>Total</b>	<b>2,015 100%</b>
<b>North Elevation</b>	
Brick & Stone	Sq. Ft. 1,202 Percentage 65%
EIFS	Sq. Ft. 339 Percentage 18%
Fiber cement boards	Sq. Ft. 308 Percentage 17%
<b>Total</b>	<b>1,849 100%</b>
<b>West Elevation</b>	
Brick & Stone	Sq. Ft. 1,274 Percentage 64%
EIFS	Sq. Ft. 598 Percentage 30%
Composite Wood	Sq. Ft. 120 Percentage 6%
<b>Total</b>	<b>1,992 100%</b>
<b>South Elevation</b>	
Brick & Stone	Sq. Ft. 1,274 Percentage 64%
EIFS	Sq. Ft. 598 Percentage 30%
Composite Wood	Sq. Ft. 120 Percentage 6%
<b>Total</b>	<b>1,992 100%</b>

TRANSPARENCY AREA	
<b>East Elevation</b>	
Transparency Area	Sq. Ft. 852
Glazing provided	Sq. Ft. 171 20%
Add'l Glazing outside req'd zone	Sq. Ft. 78 9%
<b>Total Glazing</b>	<b>249 29%</b>
<b>North Elevation</b>	
Transparency Area	Sq. Ft. 817
Glazing provided	Sq. Ft. 204 25%
Add'l Glazing outside req'd zone	Sq. Ft. 43 5%
<b>Total Glazing</b>	<b>247 30%</b>
<b>West Elevation</b>	
Transparency Area	Sq. Ft. 853
Glazing provided	Sq. Ft. 128 15%
Add'l Glazing outside req'd zone	Sq. Ft. 32 4%
<b>Total Glazing</b>	<b>160 19%</b>
<b>South Elevation</b>	
Transparency Area	Sq. Ft. 853
Glazing provided	Sq. Ft. 128 15%
Add'l Glazing outside req'd zone	Sq. Ft. 32 4%
<b>Total Glazing</b>	<b>160 19%</b>

Please check your numbers. With rough measurements I got 1524sf of glazing and 11,090 sf of facade. That's 13.7% transparency. I will measure again when drawing is to scale.

Need to hit 30%

Need 25%

Add row for required transparency.

Add row for total area of each facade.

**Kimley»Horn**  
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 4582 South South Ulster Street, Suite 1500  
 Denver, Colorado 80237 (303) 228-2300

LOT 6 PARKER AND PINE FILING 1  
 PARKER, CO  
 EVERBROOK ACADEMY SITE PLAN  
 ARCHITECTURAL ELEVATIONS

PRELIMINARY  
 FOR REVIEW ONLY  
 NOT FOR CONSTRUCTION  
 Kimley»Horn  
 Kimley-Horn and Associates, Inc.  
 PROJECT NO. 096895001  
 EXTERIOR ELEVATIONS  
 10 OF 13

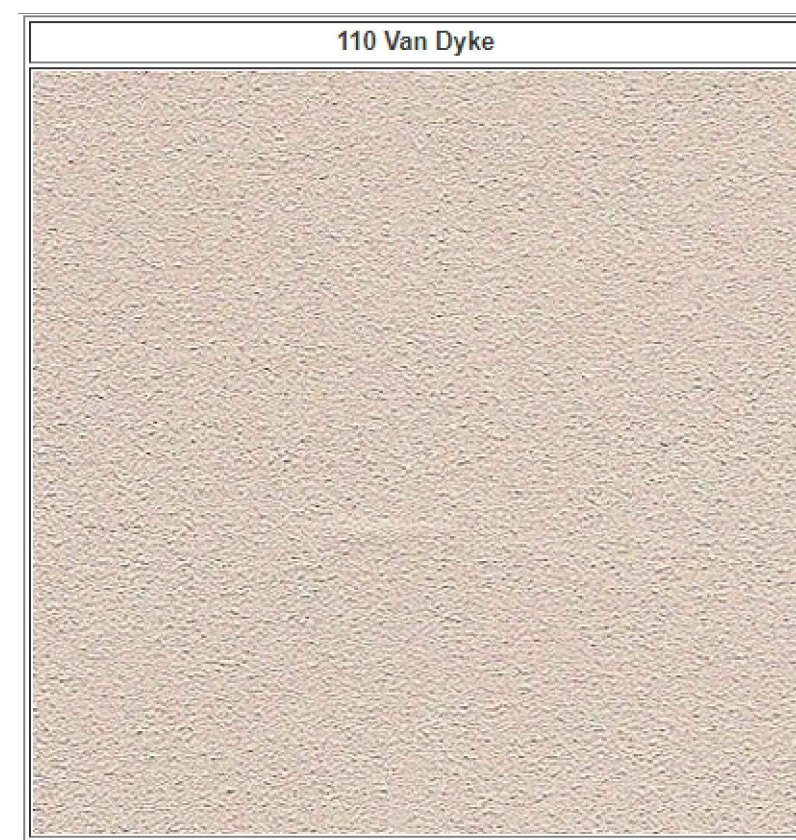
M:\Learning\_Care\_Group\20028\_Everbroom-Parker\_C00109\_05\Exterior\_Material\_Board.dwg - Parker, CO\109\_05\Exterior\_Material\_Board.dwg - Rachel\_Horn  
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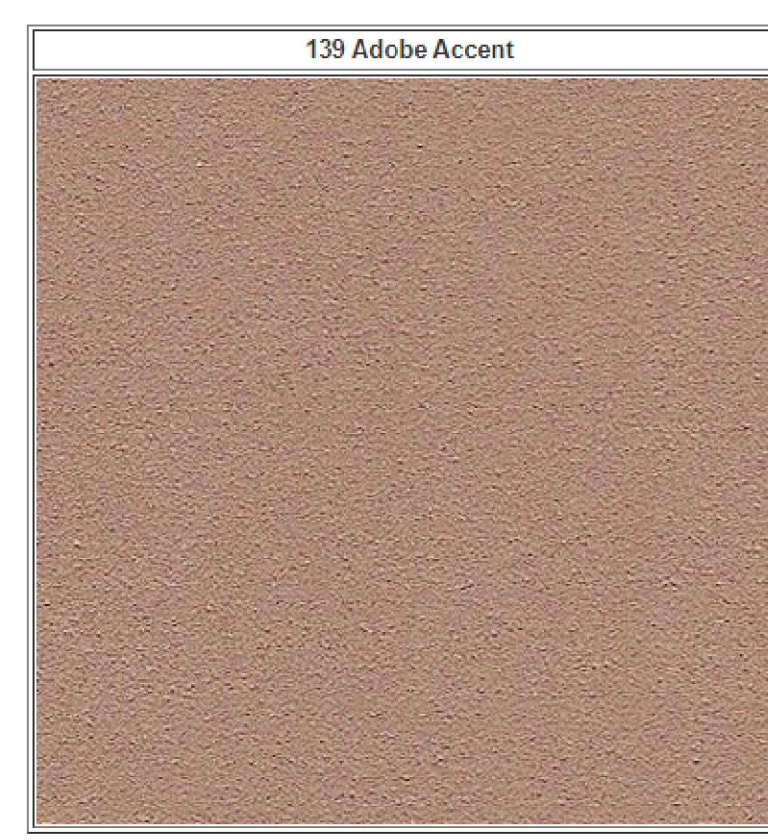
AS-1



BK-1



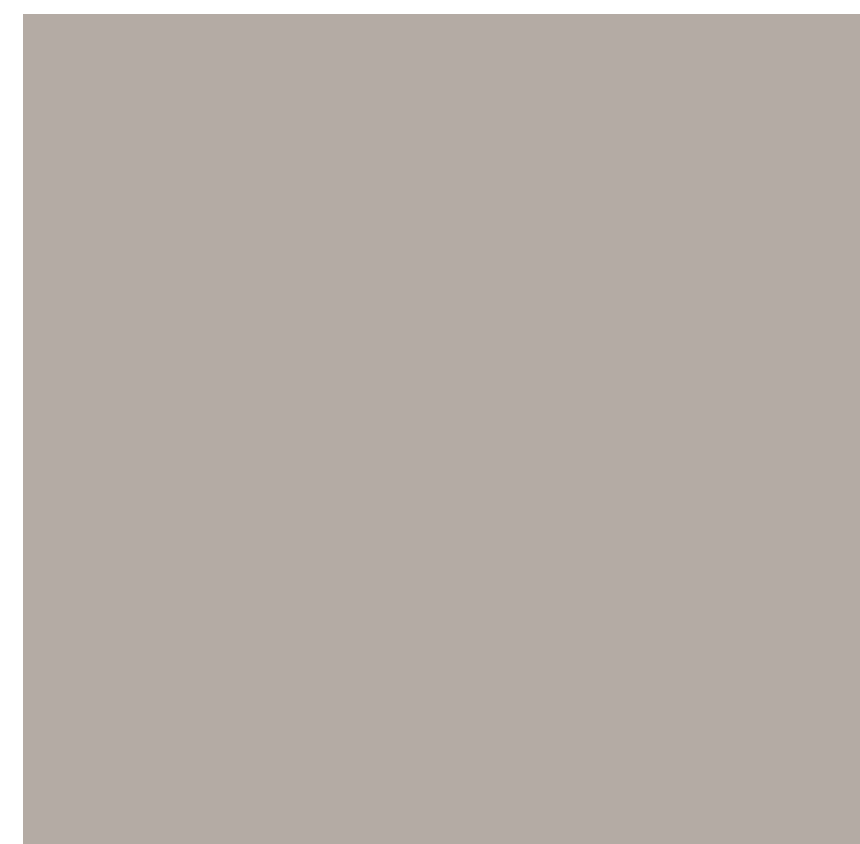
EIFS-1



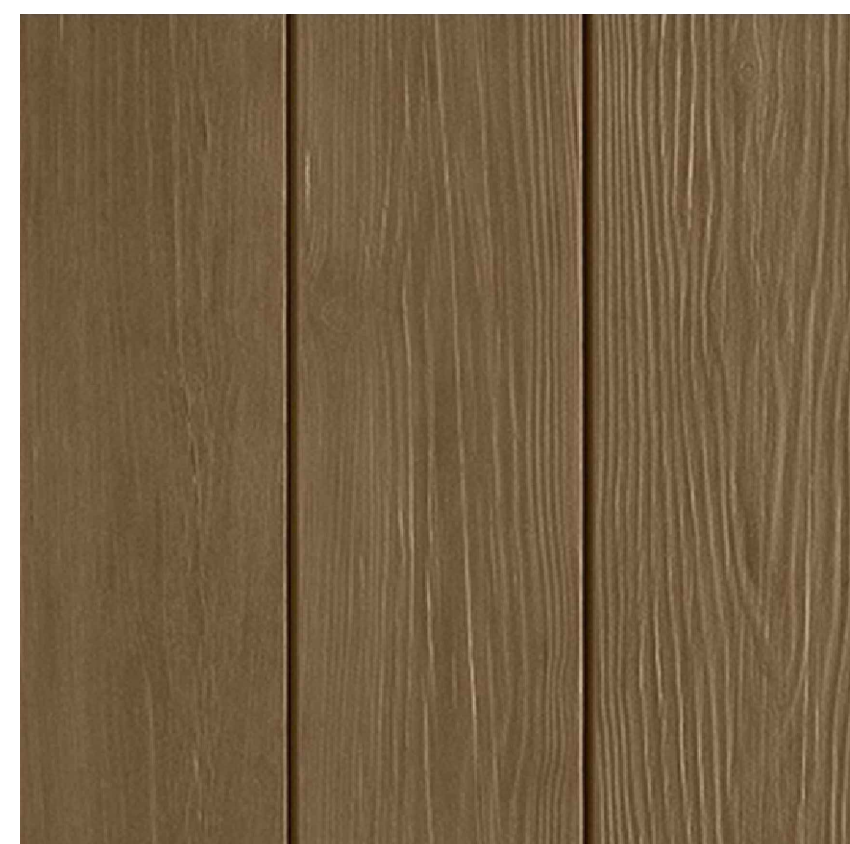
EIFS-2



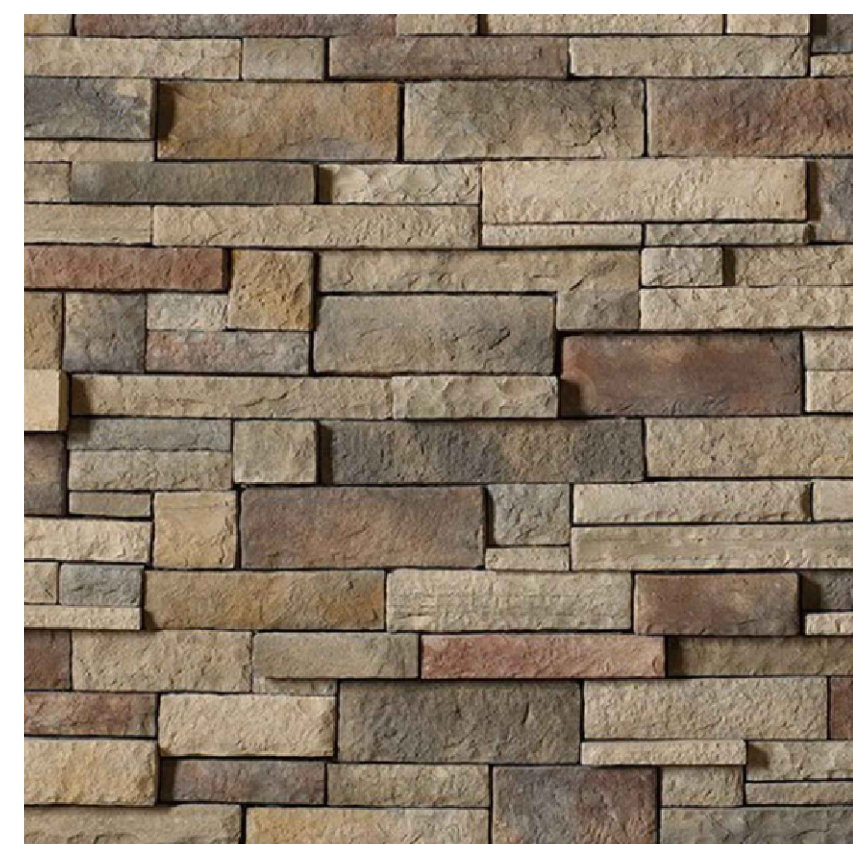
EIFS-3



PM-1



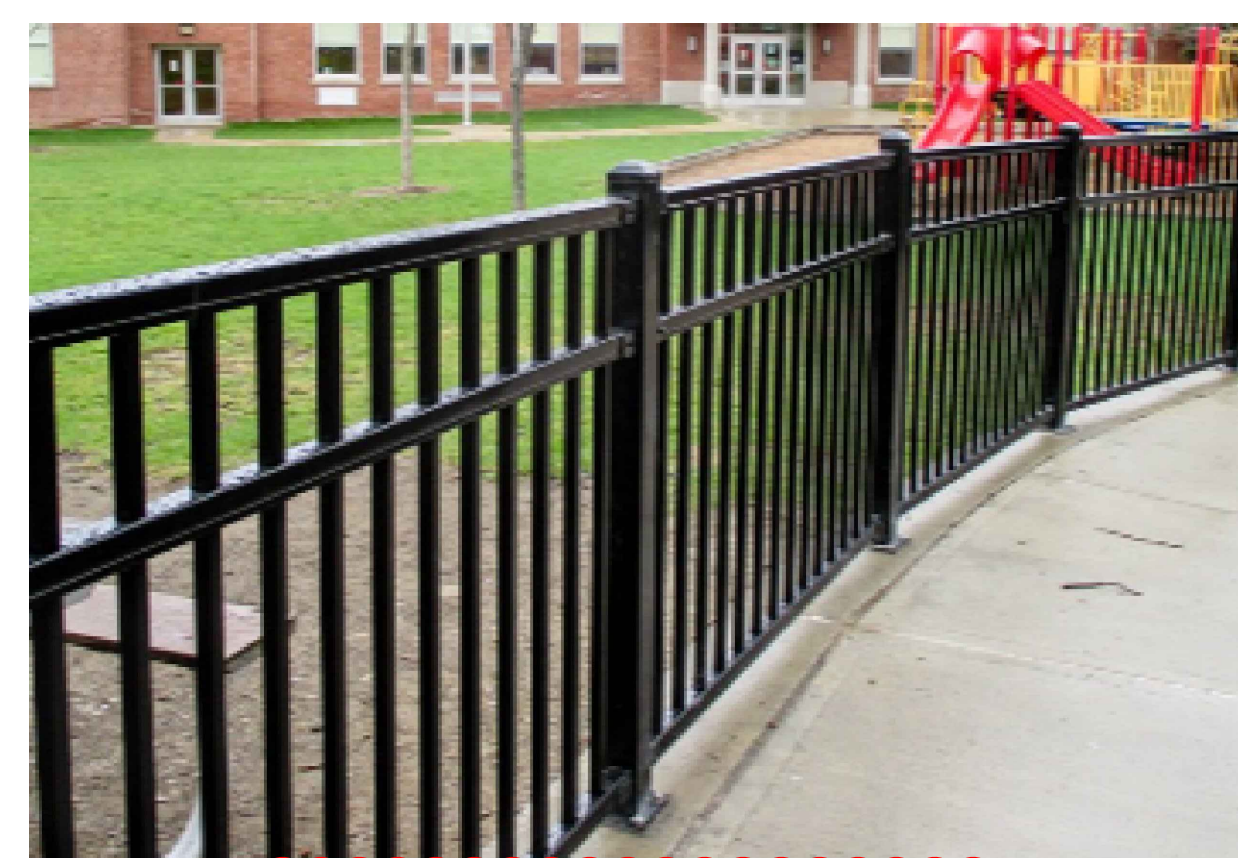
SD-1



ST-1



ST-2



ORNAMENTAL FENCE

Provide materials and elevations for your retaining wall.

Provide frame material and color.

Window frames must be black or grey metal according to the design guidelines of the Parker and Pine PD

Height of fence? provide elevations

EXTERIOR FINISH LEGEND	
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AS-1	ASPHALT SHINGLES: TIMBERLINE HD, COLOR: WEATHERED WOOD
BK-1	BRICK: INTERSTATE BRICK BY BASALITE, COLOR: ALMOND
EIFS-1	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #110 VANDYKE
EIFS-2	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #139 ADOBE ACCENT
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GU-1	PRE-FINISHED ALUM GUTTER AND DOWNSPOUTS, COLOR: TO MATCH PM-1
PM-1	PRE-FINISHED METAL TRIM AND FLASHING: PAC-CLAD, COLOR: GRANITE
SD-1	FIBER CEMENT SIDING: NICHHA VINTAGE WOOD, COLOR: CEDAR #EPC762F, TRIM TO MATCH CEDAR PANEL COLOR.
ST-1	STONE: CULTURED STONE, DRYSTACK LEDGESTONE, COLOR: CHARDONNEY
ST-2	STONE SILL: READING ROCK, ROCKCAST, SMOOTH, COLOR: CREAM BUFF
WN-1	VINYL WINDOWS, COLOR: ALMOND
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DOOR FRAMES	PAINT BOTH SIDES OF EXTERIOR H.M. DOORS AND FRAMES. COLOR: PPG 6-230 ALUMINUM U.N.O. (NO SUBSTITUTIONS ALLOWED)

Show swatch and call out material of door and window frames. Must be black or grey metal.

NO.	REVISION	BY	DATE	APPR

**Kimley»Horn**  
 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
 4582 South Ulster Street, Suite 1500  
 Denver, Colorado 80237, (303) 728-2300

NBB  
 NBB  
 CPH  
 DATE: 12/11/2020

LOT 6 PARKER AND PINE FILING 1  
 PARKER, CO  
 EVERBROOK ACADEMY SITE PLAN  
 ARCHITECTURAL MATERIALS BOARD

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PROJECT NO.  
 096895001

MATERIALS BOARD

11 OF 13

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Label property line

Shape not in legend. What are these?

Use symbols with fill. It is unclear what is going where now. Did you insert the polar plot on top of the symbols?

Use the symbol on the plan, not just the letter. Hard to see them amidst the photometric numbers.

You have lights around the entire perimeter of your building. What are the operating hours of these lights?

How is this light type being mounted here? Under the eaves?

Is this lighting related? What is this? If this is unlighted playground equipment, please remove.

No more than 1 ft candle at property boundary.

What are these lines signifying here?

What are these?

Our maximum is 12 foot candles anywhere on site. Please circle on plan where this is.

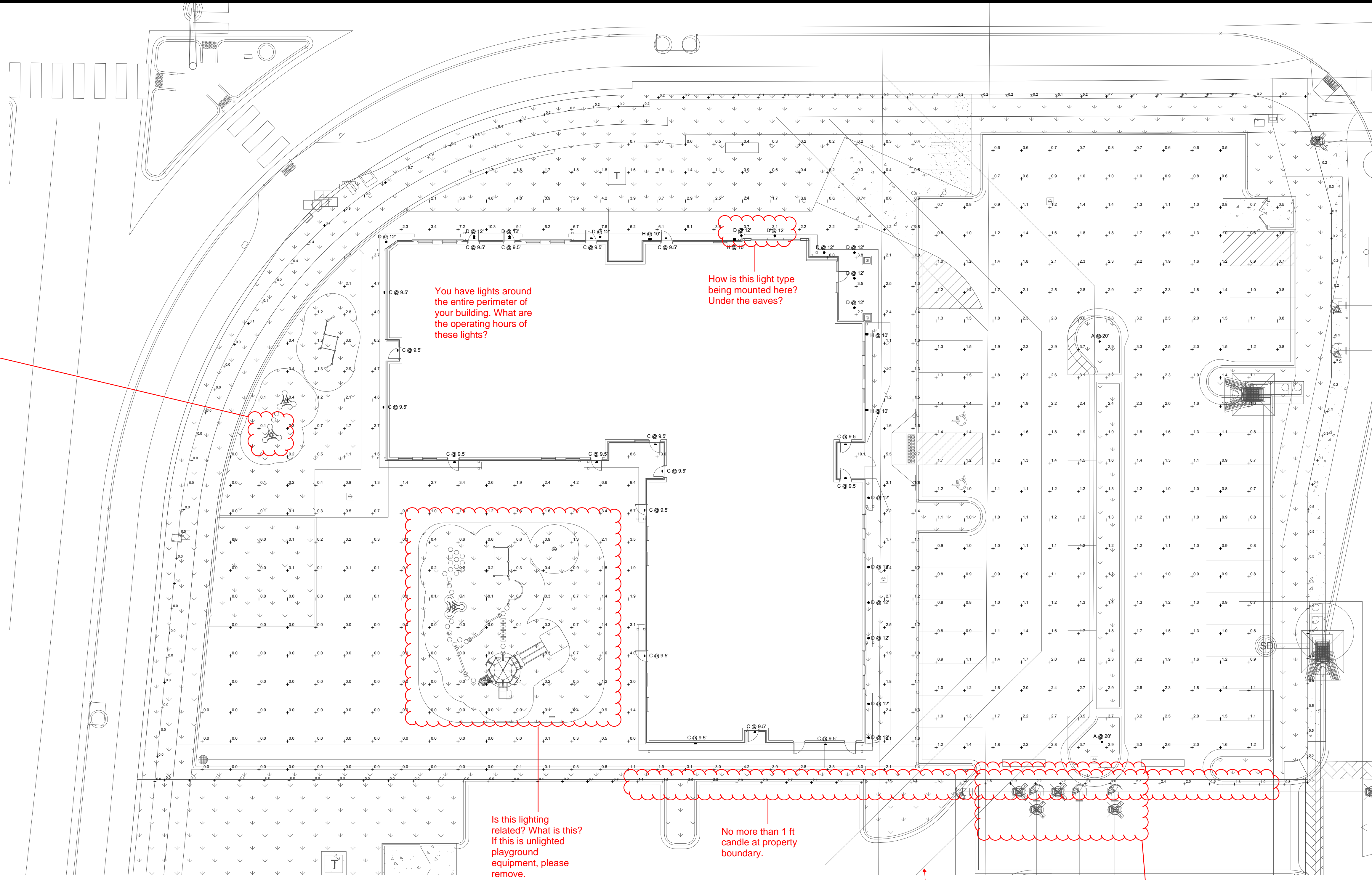
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Lumens per Lamp	LLF	Wattage	Polar Plot
	A	2	SIGNIFY GARDCO	ECF-S-48L-1A-NW-G2-S	EcoForm Area LED ECF - Small, 48 LEDs, 4000K CCT, TYPE 5 OPTIC, No Shield	(3) LEDGINE SLD LIGHT ARRAY(S) DRIVEN AT 1050mA	21446	0.85	158.7	
	D	16	SIGNIFY LIGHTING - LIGHTOLIER	P48DL05835CLZ10U	LYTEPROFILE 4.5 INCH ROUND 500 LUMENS	LED	2081	0.23	19.7	
	C	18	Barron Lighting Group	WL22-4-4K	Formed black metal housing	Eight (8) white LEDs with optics attached to each	2781	0.85	26.5853	
	H	4	VISA LIGHTING	OW1333	WALL MOUNT HALF CYLINDER 25" VERTICAL	LED 3500K -H	1669	0.85	19	

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Building	+	1.4	13.0	0.0	N/A	N/A
Pavement	+	1.5	8.9	0.5	7.8:1	3.0:1
Site Boundary	+	0.6	3.0	0.0	N/A	N/A

Add mounting height to table.

**1 PHOTOMETRIC PLAN**  
01 of XX SCALE: 1/16" = 1'-0"



BY: DATE: APPR

NO. REVISION

# Kimley»Horn

2020 KIMLEY-HORN AND ASSOCIATES, INC.  
4582 South Ulster Street, Suite 1500  
Denver, Colorado 80237 (303) 728-2300

DESIGNED BY: JTK  
DRAWN BY: JTK  
CHECKED BY: DPS  
DATE: 12/11/2020

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LOT 6 PARKER AND PINE FILING 1  
PARKER, CO  
EVERBROOK ACADEMY SITE PLAN  
PHOTOMETRIC PLAN

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NOT FOR CONSTRUCTION

**Kimley»Horn**  
Kimley-Horn and Associates, Inc.

PROJECT NO.

DRAWING NAME  
PHOTOMETRIC PLAN  
12 OF 13

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