



Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

MEMORANDUM

TO: Allison Morgan, Caprei
Craig Eisenberg

FROM: Krista Flynt, Planner 1

DATE: June 7, 2021

SUBJECT: SP20-131 Site Plan – Planning Review 2

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER: Krista Flynt
EMAIL: kflynt@parkeronline.org
PHONE: 303.805.3331

GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards (DDS). Copies of these documents are available at:
[Parker 2035 Master Plan](#)
[Development Design Standards](#)
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. If any comments in the redline file are unclear you may ask staff for an example of what they are looking for.
6. Due to the large amount of missing information. The second review will contain many new comments to address that are not contained in this review.
7. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**

Site Plan and Project Details

- 1. All site plan comments from the planning department are included in the attached site plan redlines.**

Comment Addressed: Yes No

Response:

- 2. In your next submittal include your playground plans in with your site plan set, as well as all additional sheets requested by planning staff in the redline comments (like trash enclosure fence elevations, etc.) Please include all in ONE PDF document labeled "Site plan set V3."**

Comment Addressed: Yes No

Response:

- 3. Please ensure that your file names are labeled clearly, and not all titled KH comment responses, and who you are responding to in the file name.**

Comment Addressed: Yes No

Response:

- 4. Respond to ALL comments in greenline comment response. Do not respond "See revised sheet." This ensures that all comments are reviewed and none are missed, as many in Comment 1 were left unaddressed.**

Comment Addressed: Yes No

Response:

OUTSIDE REFERRAL AGENCY COMMENTS

Please address all outside referral agency comments with a written response. The following agencies have provided comments for review:

- Town of Parker Environmental –
 - Construction Plans
- Town of Parker Stormwater –

- Construction Plans
- Drainage Report
- Town of Parker Civil –
 - Construction Plans #
 - Site Plan #
- Town of Parker – Fire Life Safety
- IREA
- Parker Water and Sanitation
- Public Service Company of Colorado

Please keep an eye out in eTRAKiT for the comment to the following reviews:

These comments are available on eTRAKiT. Please address accordingly.

Comment(s) Addressed: Yes No

Response:

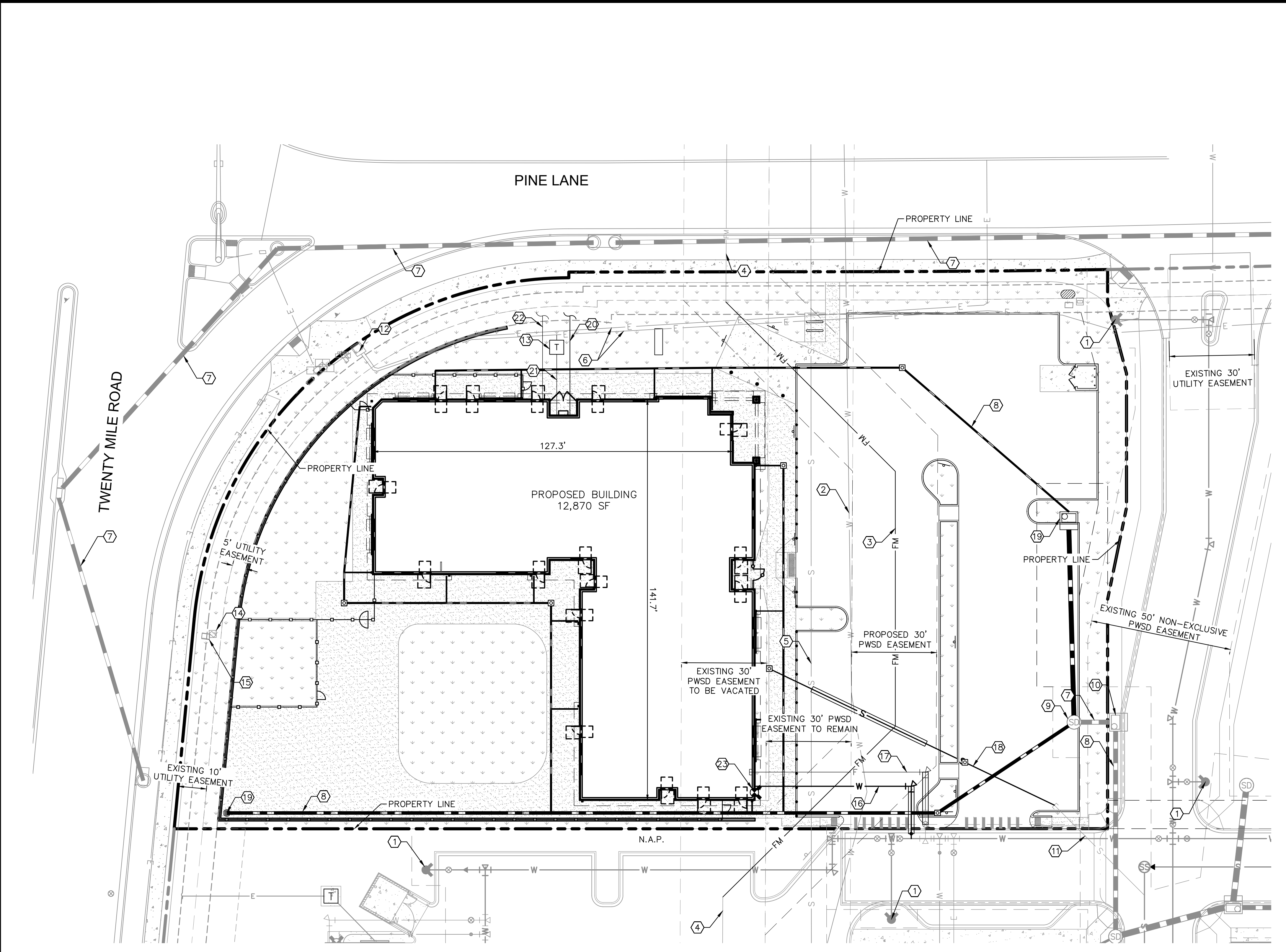
Property Owner

Date

Project Representative

Date

K:\DEV_Civil\096895001 - Lot 6, Parker & Pine\CAD\Drawings\096895001 UT.dwg, New York, NY
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UTILITY LEGEND

- EXISTING PROPERTY LINE
- - - EXISTING EASEMENT
- - - PROPOSED EASEMENT
- S PROPOSED SANITARY SEWER LINE
- W PROPOSED WATER LINE
- PROPOSED STORM DRAINAGE LINE
- EXISTING STORM DRAINAGE LINE
- G EXISTING GAS LINE
- W EXISTING WATER LINE
- S EXISTING SANITARY SEWER LINE
- E EXISTING ELECTRIC LINE
- ⊕ EXISTING FIRE HYDRANT W/ BOLLARDS
- ⊗ PROPOSED METER
- ⊙ EXISTING SANITARY SEWER MANHOLE

SITE KEYNOTES

- ① EXISTING FIRE HYDRANT
- ② EXISTING 20" DIP WATER MAIN
- ③ PROPOSED 8" C900 PVC EFFLUENT FORCE MAIN
- ④ EXISTING 8" FORCE MAIN
- ⑤ EXISTING 27" ACP SANITARY SEWER MAIN
- ⑥ EXISTING UNDERGROUND ELECTRIC LINE
- ⑦ EXISTING STORM SEWER MAIN
- ⑧ PROPOSED STORM SEWER
- ⑨ EXISTING STORM MANHOLE
- ⑩ EXISTING STORM INLET
- ⑪ EXISTING 6" SEWER STUB
- ⑫ EXISTING ELECTRIC TRANSFORMER
- ⑬ PROPOSED ELECTRIC TRANSFORMER
- ⑭ EXISTING TELEPHONE PEDESTAL
- ⑮ EXISTING ELECTRIC VAULT
- ⑯ PROPOSED 1.5" DOMESTIC WATER LINE
- ⑰ PROPOSED 6" FIRE LINE
- ⑱ PROPOSED 6" SANITARY SEWER LINE @ 1.0% MIN
- ⑲ PROPOSED STORM INLET
- ⑳ PROPOSED GAS LINE
- ㉑ PROPOSED ELECTRIC LINE
- ㉒ PROPOSED TELEPHONE LINE
- ㉓ PROPOSED FIRE DEPARTMENT CONNECTION

NO.	REVISION	BY	DATE	APPR

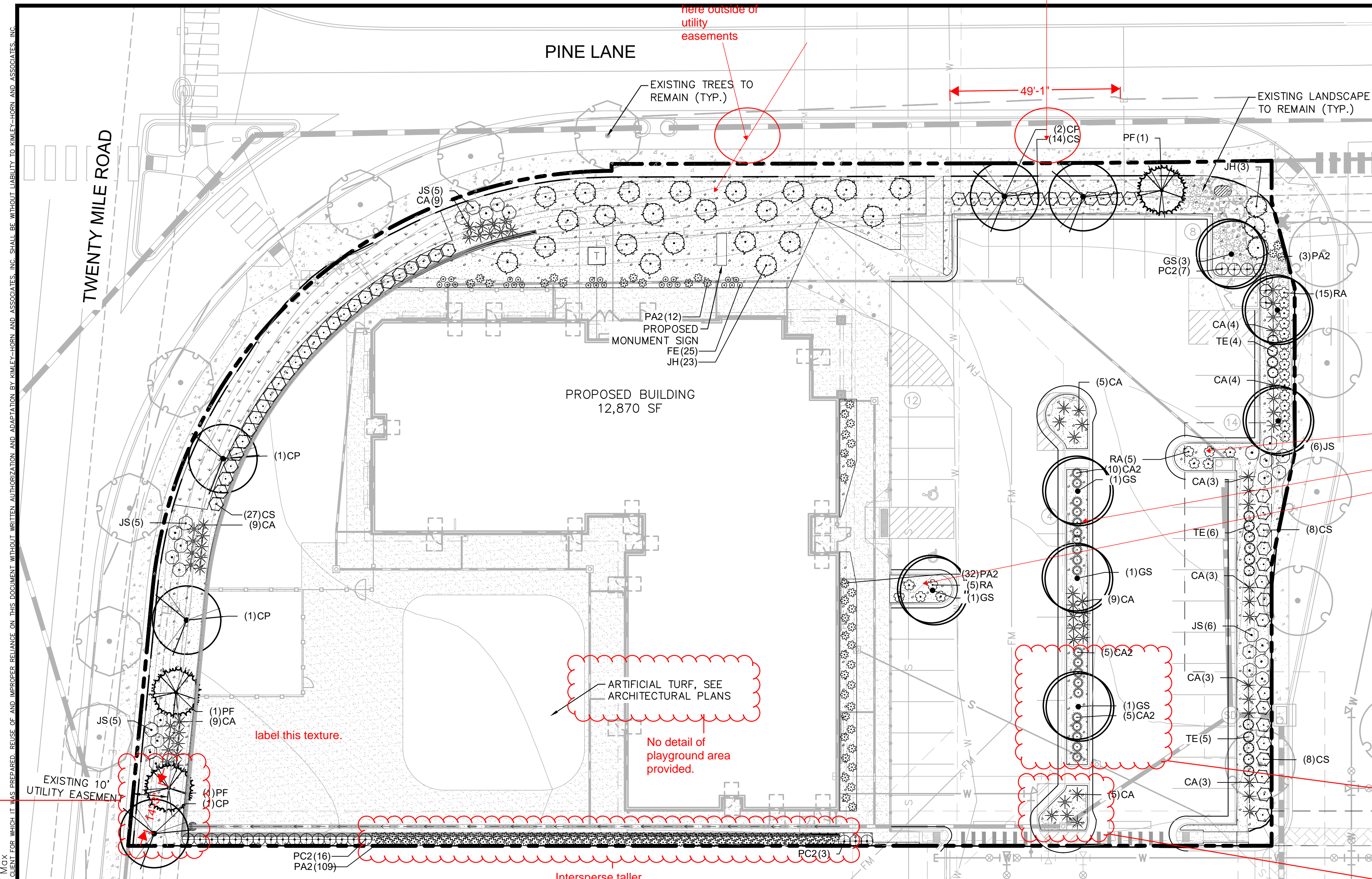
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DESIGNED BY: MCN
 DRAWN BY: NMH
 CHECKED BY: DLS
 DATE: 05/07/2021

**LOT 6 PARKER AND PINE FILING 1
 PARKER, CO
 EVERBROOK ACADEMY SITE PLAN
 UTILITY PLAN**

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PROJECT NO.
 096895001
 DRAWING NAME
 096895001SP_UT



LANDSCAPE CALCULATIONS

PERIMETER LANDSCAPING
 ADJACENT NON-RESIDENTIAL: 1 TREE + 5 SHRUBS PER 40 LINEAR FEET
 ADJACENT RESIDENTIAL: 1 TREE + 5 SHRUBS PER 25 LINEAR FEET
 10 SHRUBS MAY BE SUBSTITUTED FOR 1 TREE

REQUIRED	PROVIDED
240 LF NORTH PERIMETER 183 LF EAST PERIMETER 234 LF SOUTH PERIMETER 217 LF WEST PERIMETER REMASTER TOTAL	6 TREES + 30 SHRUBS 5 TREES + 25 SHRUBS 9 TREES + 46 SHRUBS 6 TREES + 25 SHRUBS 25 TREES + 126 SHRUBS
OVERALL % OF TREES TO BE EVERGREEN* PERIMETER % OF TREES TO BE EVERGREEN*	3 TREES + 88 SHRUBS 3 TREES + 78 SHRUBS 137 SHRUBS 5 TREES + 28 SHRUBS 6 TREES + 331 SHRUBS (206 SHRUBS SUBSTITUTED FOR 19 REQUIRED TREES)
	27% 43%

*EVERGREEN SHRUBS ARE INCLUDED IN THIS PERCENTAGE AS SHRUBS HAVE BEEN SUBSTITUTED FOR TREES

PARKING LOT LANDSCAPING

REQUIRED	PROVIDED
1 TREE + 5 SHRUBS PER 162 SF ISLAND 1 SHRUB PER ADDITIONAL 15 SF	7 TREES + 35 SHRUBS

MINIMUM SITE LANDSCAPING STANDARDS

REQUIRED	PROVIDED
SITE AREA: 60,112 SF 15% TOTAL SITE AREA 1 TREE + 5 SHRUBS / 1,500 SF OF SITE LANDSCAPE AREA TO BE LIVING LANDSCAPE MATERIAL	7 TREES + 35 SHRUBS 10,930 SF 8 TREES + 340 SHRUBS 75%

Label what is adjacent to for each facade.

I count 4. Only plantings IN the islands and peninsulas count here.

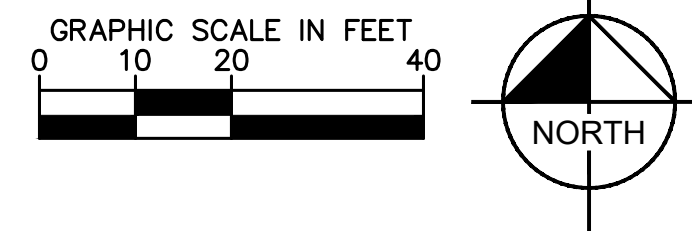
Calculate actual value

Review light locations in island. Ensure no conflict.

No parking light here. Space available for tree.

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	MATURE HT.	VERY LOW	LOW	MEDIUM	HIGH	
	CP	5	CELTIS OCCIDENTALIS 'PRAIRIE PRIDE'	PRAIRIE PRIDE COMMON HACKBERRY	B & B	2" CAL MIN	12'-14" HT MIN	50' HT X 40' SPRD.		X			
	GS	7	GLEDTISIA TRIACANTHOS INERMIS 'SHADEMASTER' TM	SHADEMASTER LOCUST	B & B	2" CAL MIN	10' - 12' HT. MIN.	45' HT X 40' SPRD.		X			
	PF	3	PICEA PUNGENS 'FAT ALBERT'	COLORADO SPRUCE	B & B		6' HT MIN	40' HT X 20' SPRD.			X		
provide total													
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE	MATURE HT.	VERY LOW	LOW	MEDIUM	HIGH	
	CA2	20	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	5 GAL	SEE PLAN	24" HT MIN	3-5' HT.		X			
	CA	66	CORNUS SERICEA 'ARCTIC FIRE'	ARCTIC FIRE DOGWOOD	5 GAL	SEE PLAN	24" FULL	3-4' HT.			X		
	CS	57	CYTISUS PURGANS 'SPANISH GOLD'	SPANISH GOLD BROOM	5 GAL	SEE PLAN	24" FULL	3-4' HT.		X			
	FE	25	FESTUCA GLAUCA 'ELIJAH BLUE'	BLUE FESCUE	1 GAL	SEE PLAN	12" HT MIN	8-12" HT.		X			
	JH	26	JUNIPERUS HORIZONTALIS	CREeping JUNIPER	5 GAL	SEE PLAN	36" SPRD MIN	5-1.5' HT.		X			
	JS	27	JUNIPERUS SABINA	SAVIN JUNIPER	5 GAL	SEE PLAN	24" FULL	4-6' HT.		X			
	PA2	156	PEROVSKIA X 'LITTLE SPIRE'	LITTLE SPIRE RUSSIAN SAGE	5 GAL	SEE PLAN	18" FULL	3-4' HT.		X			
	PC2	26	PINUS MUGO 'COMPACTA'	DWARF MUGO PINE	5 GAL	SEE PLAN	24" FULL	3-5' HT.		X			
	RA	25	RIBES ALPINUM 'GREEN MOUND'	GREEN MOUND ALPINE CURRANT	5 GAL	SEE PLAN	18" FULL	2-3' HT.		X			
	TE	15	THUJA OCCIDENTALIS 'EMERALD'	EMERALD ARBORVITAE	5 GAL	SEE PLAN	18" FULL	15' HT.			X		
provide spread													
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING	SPACING	MATURE HT.	VERY LOW	LOW	MEDIUM	HIGH
	KB	1,156 SF	KEN-TEX BLUEGRASS	KEN-TEX BLUEGRASS	SOD							X	
	R	10,671 SF	ROCK MULCH	2"-6" RIVER ROCK MULCH									



Increase distance between trees to accommodate branch spread

label this texture.

ARTIFICIAL TURF, SEE ARCHITECTURAL PLANS
No detail of playground area provided.

Intersperse taller shrubs.

provide spread

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 CHECKED BY: DLS
 DATE: 05/07/2021

LOT 6 PARKER AND PINE FILING 1
 PARKER, CO
 EVERBROOK ACADEMY SITE PLAN
 LANDSCAPE PLAN

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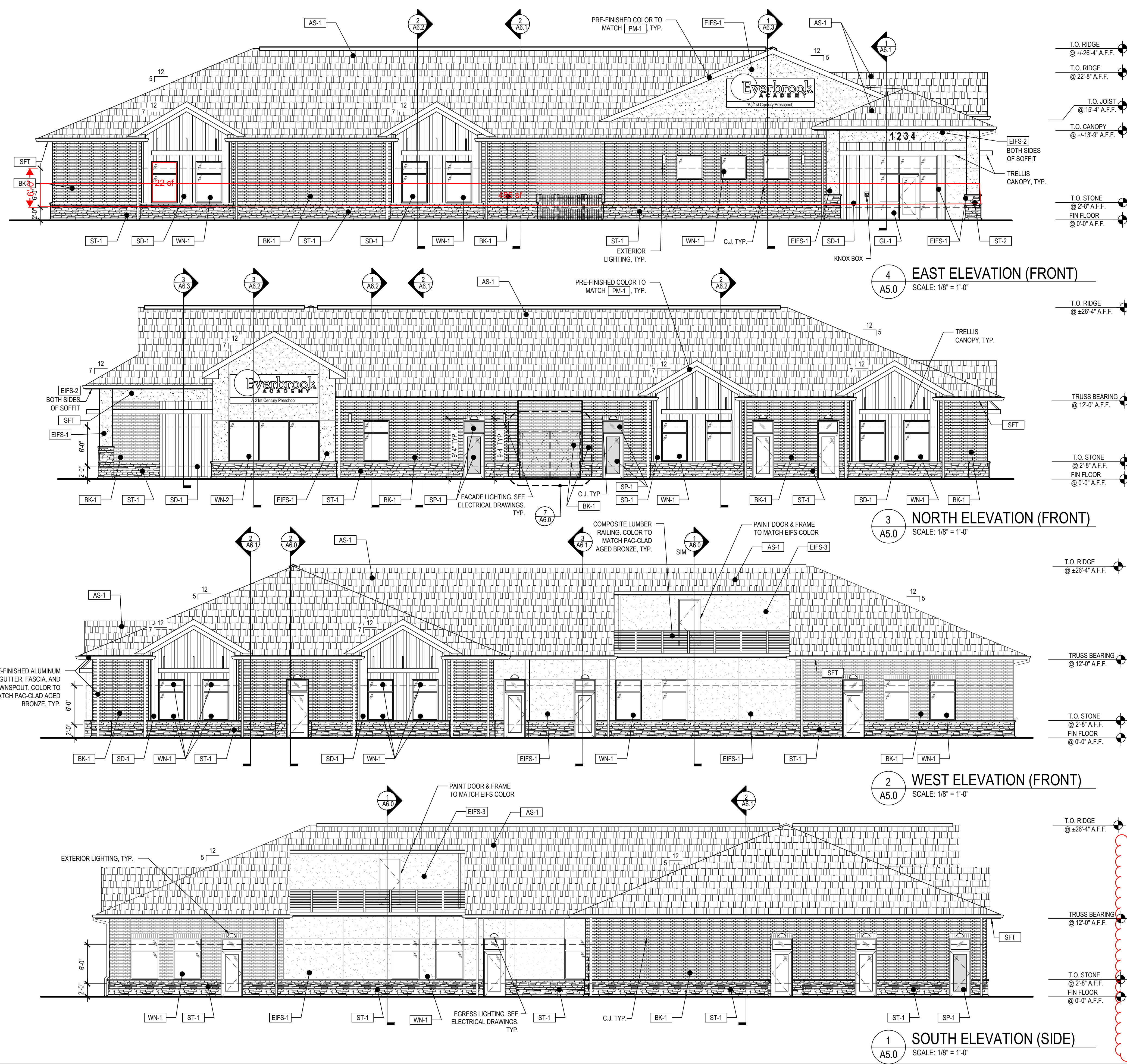
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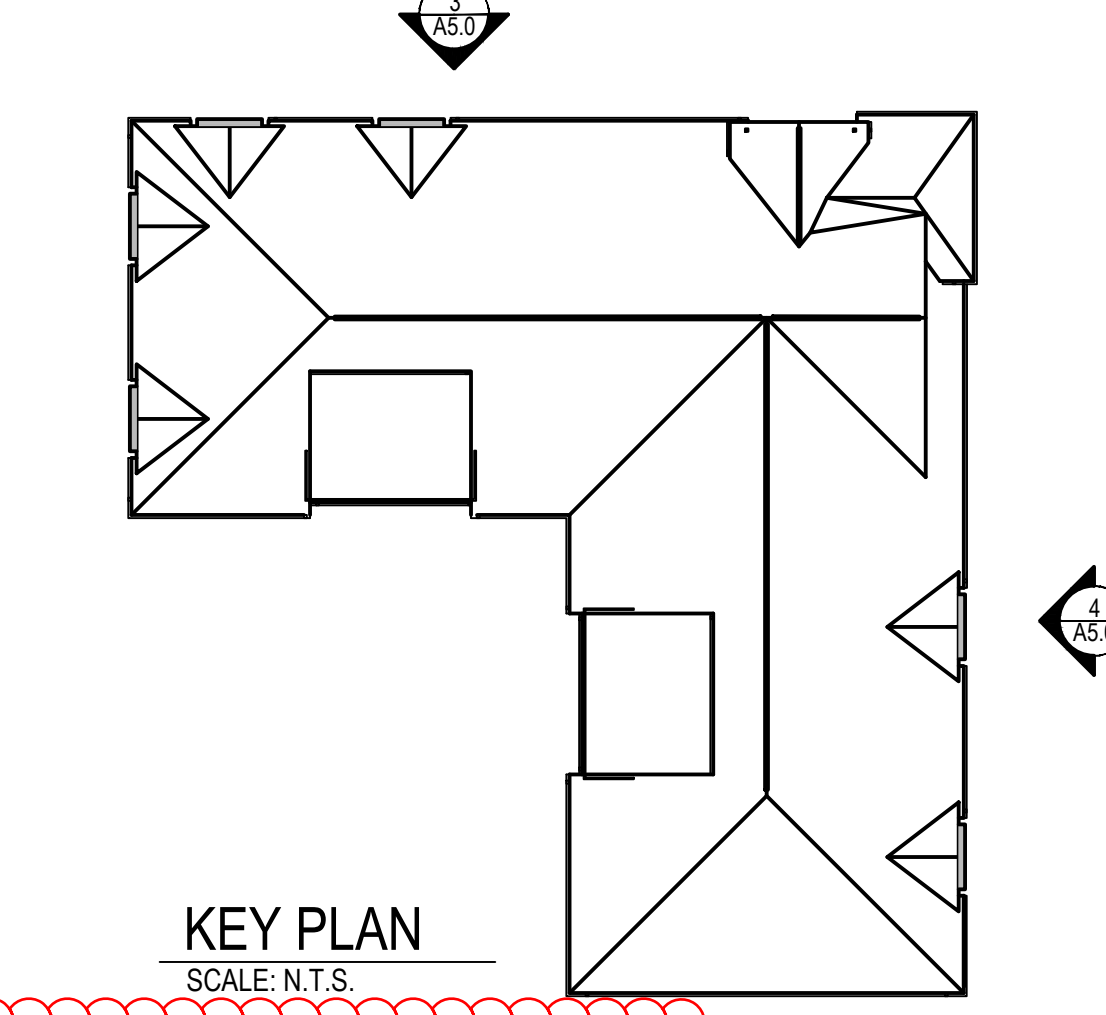


EXTERIOR ELEVATIONS GENERAL NOTES

- ALL MATERIALS NOT LABELED ARE TYPICAL FOR ALL SIMILAR LOCATIONS. QUESTIONS SHALL BE REFERRED TO THE ARCHITECT.
- EIFS SHALL BE DRYVIT, COMMERCIAL GRADE AS FOLLOWS: GENESIS BASE COAT, REINFORCING MESH BASE & FINISH COATS SHALL BE PROVIDED OVER MINIMUM 1" EPS INSULATION BOARD, MECHANICALLY FASTENED OVER DRAINAGE MAT & WEATHER RESISTIVE BARRIER OVER EXTERIOR SHEATHING.
- ALL EIFS SHALL BE INSTALLED AS PER MFR'S RECOMMENDATIONS, INCLUDING ALL SEALANT, FLASHING, AND JOINERY AT DISSIMILAR MATERIALS. PROVIDE PANZER 20 REINFORCING MESH TO 8'-0" A.F.F. (TYP.)
- PROVIDE BLOCKING IN FACADE TO SUPPORT ALL BUILDING SIGNAGE.
- REFER TO ELECTRICAL DRAWINGS FOR LIGHTING INFORMATION.

EXTERIOR FINISH LEGEND

TAG	DESCRIPTION
AS-1	ASPHALT SHINGLES: TIMBERLINE HD, COLOR: WEATHERED WOOD
BK-1	BRICK: INSTATE BRICK BY BASALITE, COLOR: ALMOND
EIFS-1	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #110 VANDYKE
EIFS-2	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #139 ADOBE ACCENT
EIFS-3	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #622B GRAY FLANNEL
GL-1	BLACK STOREFRONT WITH CLEAR GLASS
GU-1	PRE FINISHED ALUM GUTTER AND DOWNSPOUTS, COLOR: TO MATCH PM-1
PM-1	PRE FINISHED METAL TRIM AND FLASHING: PAC-CLAD, COLOR: GRANITE
SD-1	FIBER CEMENT SIDING: NICHIA VINTAGE WOOD, COLOR: CEDAR #PC26ZF, TRIM TO MATCH CEDAR PANEL COLOR.
SP-1	SPANDREL GLASS, STANDARD COLOR: TBD
ST-1	STONE: CULTURED STONE, DRystack LEDGESTONE, COLOR: CHARDONNAY
ST-2	STONE SILL: READING ROCK, ROCKCAST, SMOOTH, COLOR: CREAM BUFF
WN-1	VINYL WINDOWS, COLOR: TBD
SFT	VENTED VINYL SOFFIT, STANDARD COLOR TO MATCH BUILDING FASCIA BD, COLOR AS CLOSE AS POSSIBLE
DOOR FRAMES	PAINT BOTH SIDES OF EXTERIOR H.M. DOORS AND FRAMES. COLOR: GREY



MATERIAL CALCULATIONS			TRANSPARENCY AREA		
Elevation	Sq. Ft.	Percentage	Elevation	Sq. Ft.	Percentage
East Elevation	1,366	68%	East Elevation	852	30%
Brick & Stone	341	17%	Transparency Area	172	20%
EIFS	308	15%	Glazing provided	60	9%
Composite Wood	2,015	100%	Add'l Glazing outside req'd zone	252	30%
Total	2,015	100%	Total Glazing	252	30%
North Elevation	1,202	65%	North Elevation	817	25%
Brick & Stone	339	18%	Transparency Area	204	25%
EIFS	308	17%	Glazing provided	43	5%
Fiber cement boards	1,849	100%	Add'l Glazing outside req'd zone	247	30%
Total	1,849	100%	Total Glazing	247	30%
West Elevation	1,274	64%	West Elevation	853	25%
Brick & Stone	598	30%	Transparency Area	216	25%
EIFS	120	6%	Glazing provided	51	6%
Composite Wood	1,992	100%	Add'l Glazing outside req'd zone	267	31%
Total	1,992	100%	Total Glazing	267	31%
South Elevation	1,274	64%	South Elevation	807	20%
Brick & Stone	598	30%	Transparency Area	158	20%
EIFS	120	6%	Glazing provided	42	5%
Composite Wood	1,992	100%	Add'l Glazing outside req'd zone	200	25%
Total	1,992	100%	Total Glazing	200	25%

Add row for required transparency.

DATE: 05/07/2021

REVISION: _____

BY: _____

NO. _____

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DATE: 05/07/2021

LOT 6 PARKER AND PINE FILING 1
 PARKER, CO
 EVERBROOK ACADEMY SITE PLAN
 ARCHITECTURAL ELEVATIONS

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PROJECT NO.
 096895001

DRAWING NAME

09 OF 15

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M:\Learning_Care_Group\20028_Everbrook-Parker_CO\02_SD_Rendering\Reference\20028_A5.0_Exterior_Elevations.dwg Rachel Hart
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What is this? Plot plan shows a square indented with two doors. 3d rendering shows a V shape with no wood at bottom. Please clarify and improve representation of design.

Replace EIFS with dark wood to match other dormers.

Switch to EIFS 1, EIFS 3, metal, or wood.

Replace with Brick

Replace EIFS on columns

Replace EIFS with dark wood to match other dormers.

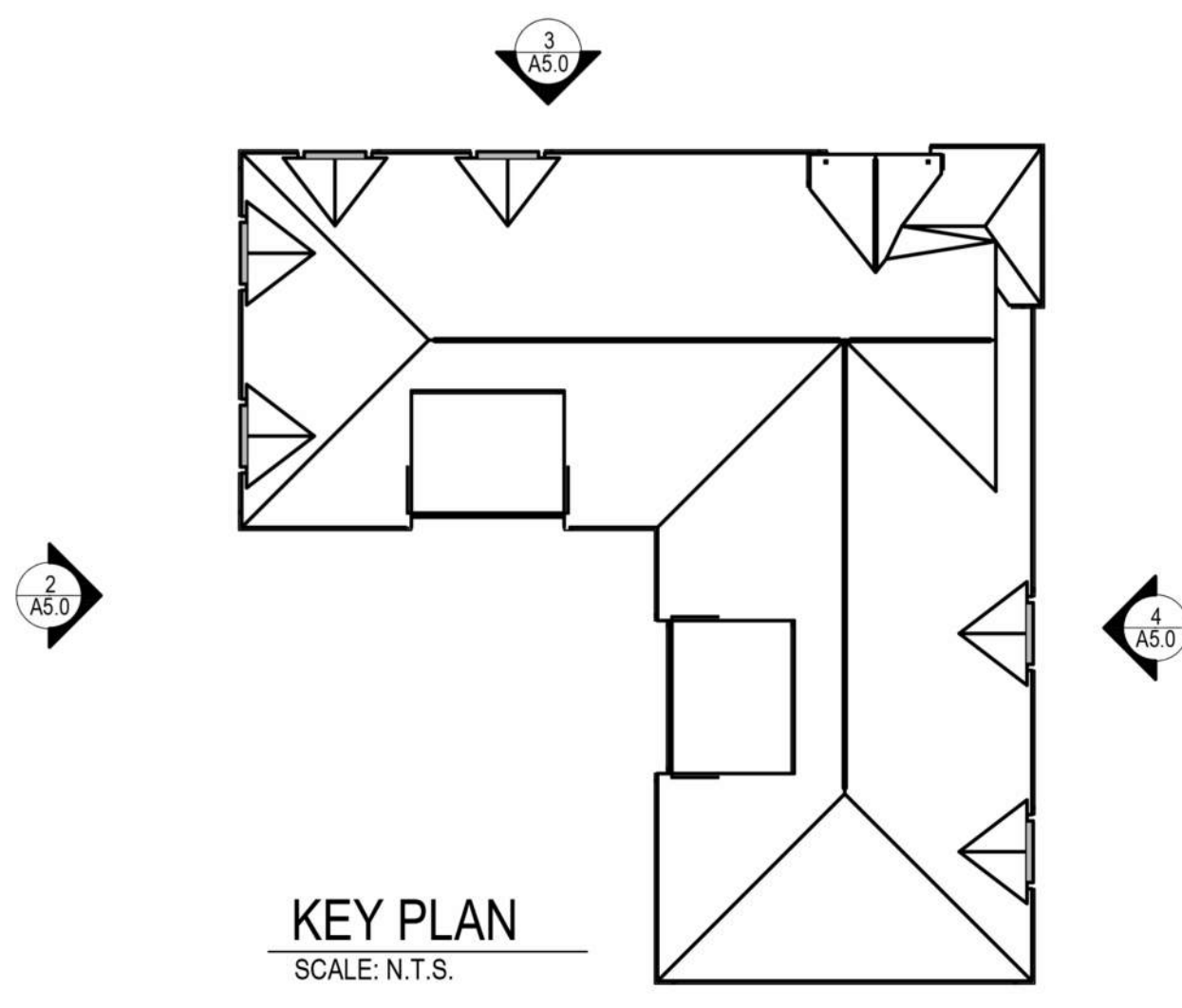
Would this wood be better full height? Which utilities is it shielding?

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- PROVIDE BLOCKING IN FACADE TO SUPPORT ALL BUILDING SIGNAGE.
- REFER TO ELECTRICAL DRAWINGS FOR LIGHTING INFORMATION.

EXTERIOR FINISH LEGEND

TAG	DESCRIPTION
AS-1	ASPHALT SHINGLES: TIMBERLINE HD, COLOR: WEATHERED WOOD
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EIFS-2	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #139 ADOBE ACCENT
EIFS-3	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: TO MATCH SHINGLE ROOF
GL-1	BLACK STOREFRONT WITH CLEAR GLASS
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ST-1	STONE: CULTURED STONE, DRYSTACK LEDGESTONE, COLOR: CHARDONNAY
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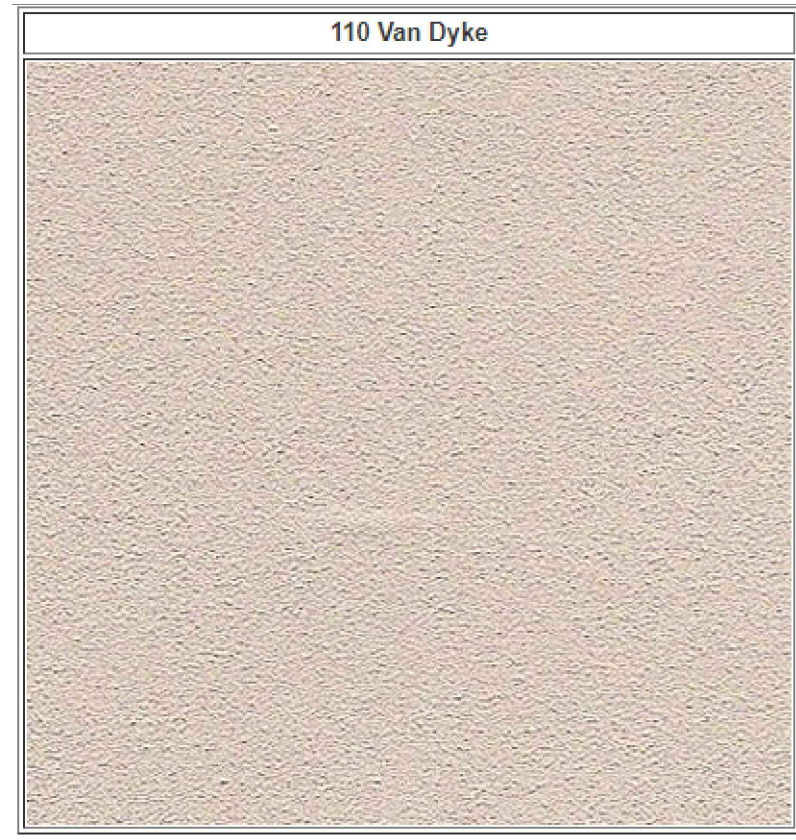
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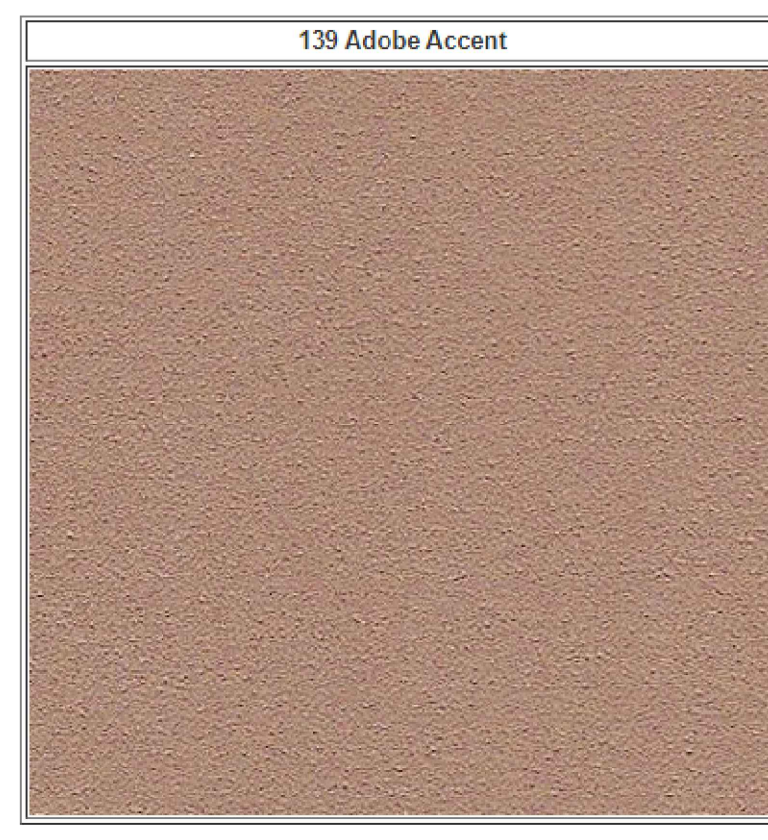
AS-1



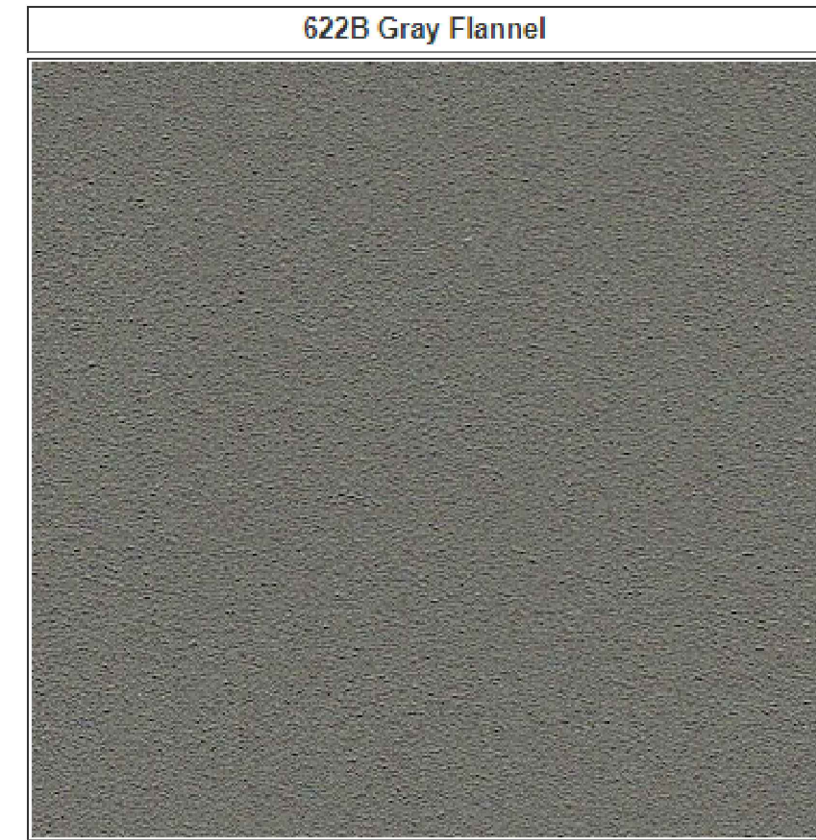
BK-1



EIFS-1



EIFS-2



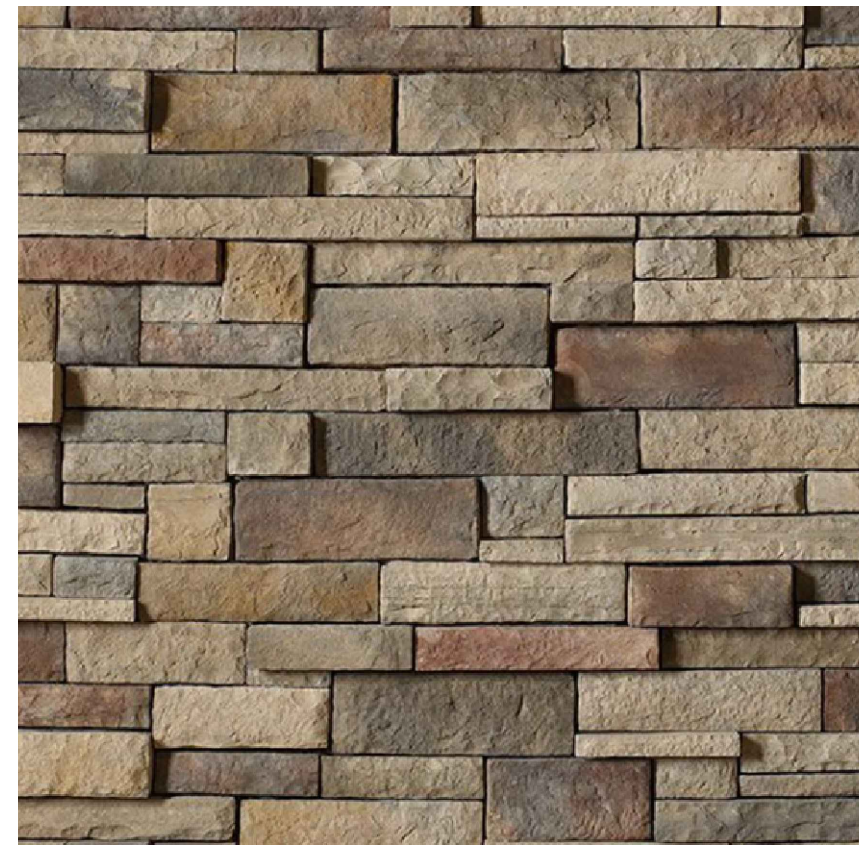
EIFS-3



PM-1



SD-1



ST-1



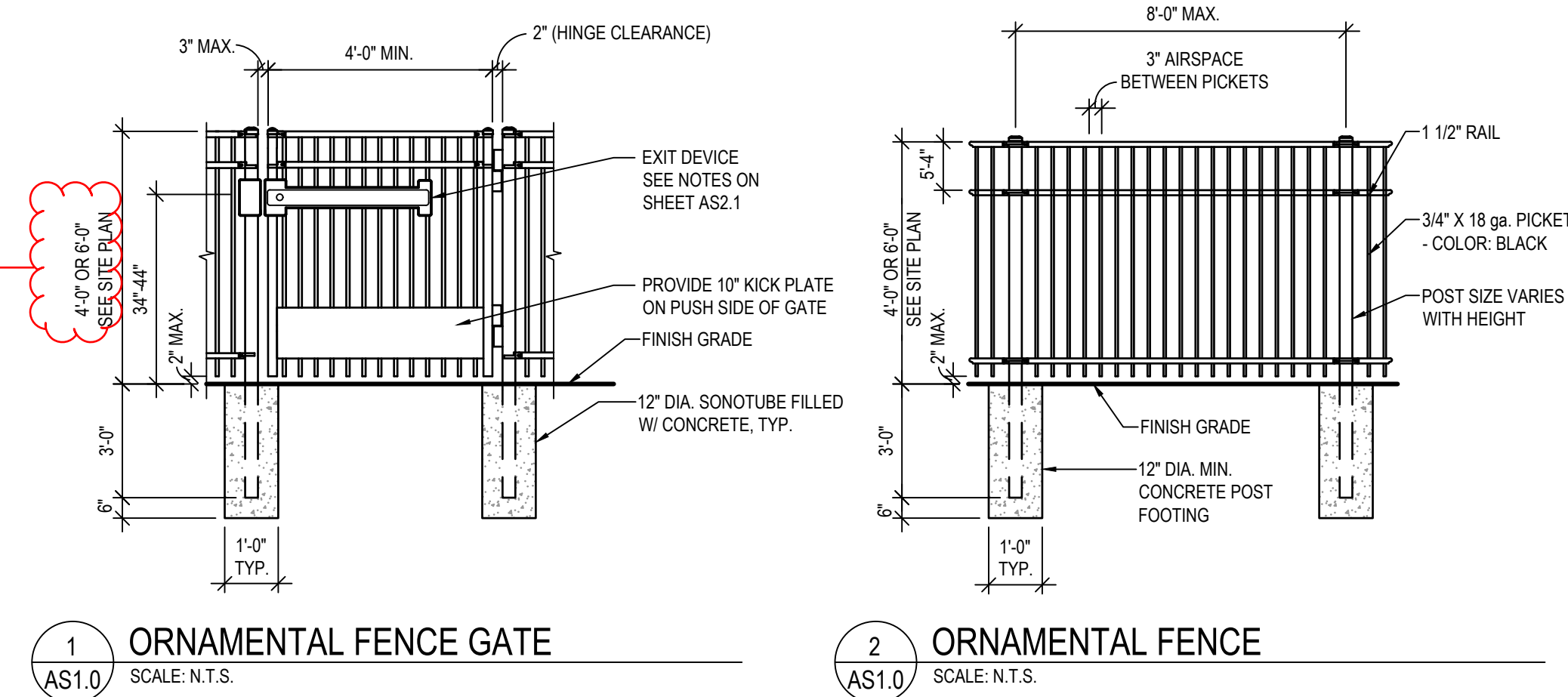
ST-2



RETAINING WALL

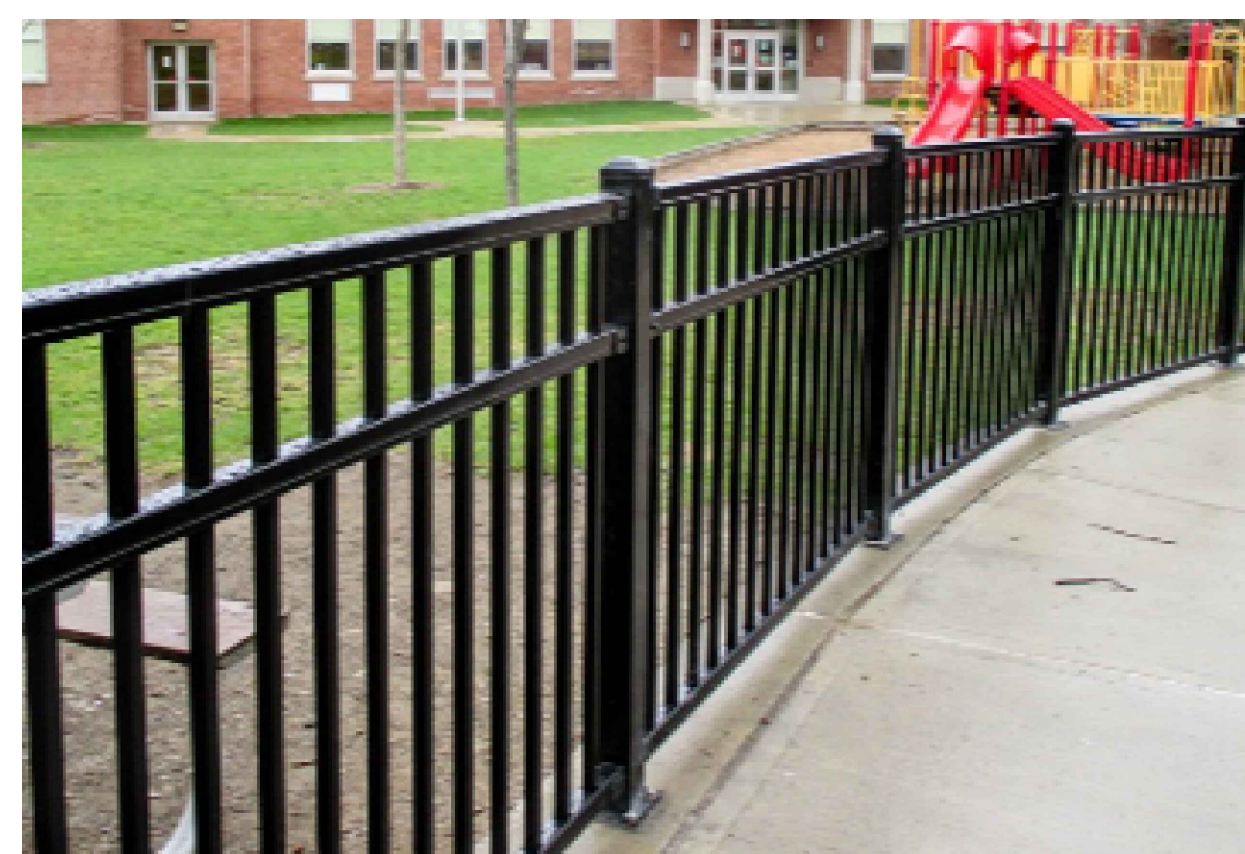
(SIMILAR TO KEYSTONE COMPAC, COLOR SANDSTONE/BROWN)

There is no sheet provided addressing comments. All comments should be addressed in greenlines and additional labeling should be added to site plan set.



1 ORNAMENTAL FENCE GATE
SCALE: N.T.S.

2 ORNAMENTAL FENCE
SCALE: N.T.S.



ORNAMENTAL FENCE

Provide frame material to ensure compliance with PD guidelines, as requested in last comment.

Label as black or grey per PD guidelines.

TAG	DESCRIPTION
AS-1	ASPHALT SHINGLES: TIMBERLINE HD, COLOR: WEATHERED WOOD
BK-1	BRICK: INTERSTATE BRICK BY BASALITE, COLOR: ALMOND
EIFS-1	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #110 VANDYKE
EIFS-2	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #139 ADOBE ACCENT
EIFS-3	EIFS: DRYVIT, OUTSULATION, FINISH: SANDPEBBLE DPR, COLOR: #622B GRAY FLANNEL
GL-1	BLACK STOREFRONT WITH CLEAR GLASS
GU-1	PRE FINISHED ALUM GUTTER AND DOWNSPOUTS, COLOR: TO MATCH PM-1
PM-1	PRE FINISHED METAL TRIM AND FLASHING: PAC-CLAD, COLOR: GRANITE
SD-1	FIBER CEMENT SIDING: NICHHA VINTAGE WOOD, COLOR: CEDAR #EPC762F. TRIM TO MATCH CEDAR PANEL COLOR.
SP-1	SPANDREL GLASS, STANDARD COLOR:TBD
ST-1	STONE: CULTURED STONE, DRystack LEDGESTONE, COLOR: CHARDONNAY
ST-2	STONE SILL: READING ROCK, ROCKCAST, SMOOTH, COLOR: CREAM BUFF
WN-1	VINYL WINDOWS, COLOR: TBD
SFT	VENTED VINYL SOFFIT. STANDARD COLOR TO MATCH BUILDING FASCIA BD. COLOR AS CLOSE AS POSSIBLE
DOOR FRAMES	PAINT BOTH SIDES OF EXTERIOR H.M. DOORS AND FRAMES. COLOR: GREY

Where fence if 4 foot and where it is 6 foot is not clarified on site plan.

Provide awning detail. Label color.

There is no additional sheet with retaining wall elevations per greenline note.

No swatch of grey provided as requested. Material no longer part of description. Must be metal per PD guidelines.

Kimley»Horn
 2020 KIMLEY-HORN AND ASSOCIATES, INC.
 4582 South Uteer Street, Suite 1500
 Denver, Colorado 80237 (303) 728-2300

NBB
 NBB
 CPH
 DATE: 05/07/2021

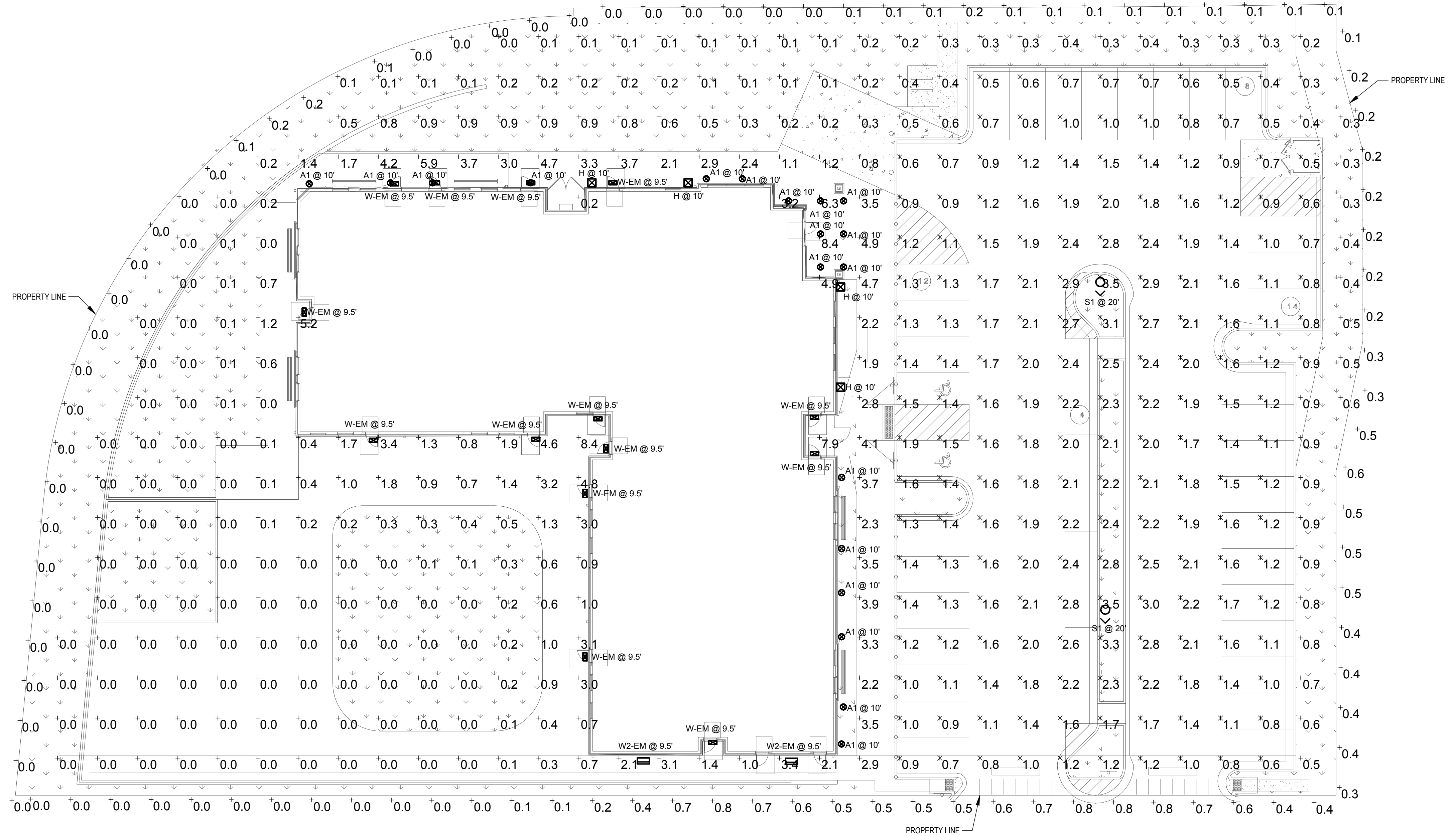
LOT 6 PARKER AND PINE FILING 1
 PARKER, CO
 EVERBROOK ACADEMY SITE PLAN
 ARCHITECTURAL MATERIALS BOARD

PRELIMINARY
 FOR REVIEW ONLY
 NOT FOR
 CONSTRUCTION

PROJECT NO.
 096895001

DRAWING NAME
 13 OF 15

Add sheet note: All parking lot lights, except those required for security as provided herein, shall be extinguished within one (1) hour after the end of business hours and remain extinguished until one (1) hour prior to the commencement of business hours.

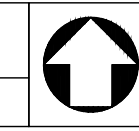


Make fixture color not black so can see on photometric plan.

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	S1	2	SIGNIFY GARDCO	ECF-S-48L-900-NW-G2-5	EcoForm Area LED ECF - Small, 48 LED's, 4000K CCT, TYPE 5 OPTIC, No Shield, pole mounted at 20' AFF	(3) LEDGINE SLD LIGHT ARRAY(S) DRIVEN AT 900mA	1	ecf-s-48l-900-nw-g2-5.lies	18939	0.85	135.1
	A1	19	SIGNIFY LIGHTING - LIGHTOLIER	P4RDL0835CLZ10U	LYTEPROFILE 4.5 INCH ROUND, Downlight mounted in canopy at 12' aff	LED	1	P4RDL20835CLZ10U.lies	2081	0.23	19.7
	W-EM	14	Barron Lighting Group	WLZ1-3-4K	Blackformed metal housing, emergency wall sconce mounted at 9.5' aff	Four (4) white LEDs with optics below each	1	WLZ1-3-4K.lies	1509	0.85	15.1239
	H	4	BARRON LIGHTING GROUP	SLW-15-4K-AC	LED WALL PACK MOUNTED AT 10' AFF	WPL01N-AC	1	SLW-15-4K-AC.lies	1529	0.85	15.8
	W2-EM	2	BARRON LIGHTING GROUP	SLW-15-4K-AC	LED WALL PACK MOUNTED AT 9.5' AFF	WPL01N-AC	1	SLW-15-4K-AC (1).lies	1529	0.85	15.8

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Green Space	+	1.2 fc	8.4 fc	0.0 fc	N/A	N/A
Parking Lot	X	1.6 fc	3.5 fc	0.5 fc	7.0:1	3.2:1
Site Boundary	+	0.2 fc	0.8 fc	0.0 fc	N/A	N/A

1 PHOTOMETRIC PLAN
12 OF 13 SCALE: 1/16" = 1'-0"



G:\working\cove\parker\COVD\parker\working\1_of_2_photometric\plan.dwg Kimley-Horn and Associates, Inc. 05/07/2021 10:00 AM

NO.	REVISION	BY	DATE	APPR

Kimley»Horn
2020 KIMLEY-HORN AND ASSOCIATES, INC.
4582 South Ulster Street, Suite 1500
Denver, Colorado 80237, (303) 728-2300

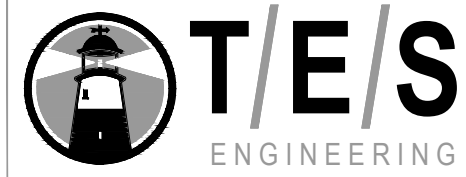
DESIGNED BY: JTK
DRAWN BY: JTK
CHECKED BY: DPS
DATE: 05/07/2021

LOT 6 PARKER AND PINE FILING 1
PARKER, CO
EVERBROOK ACADEMY SITE PLAN
PHOTOMETRIC PLAN

PRELIMINARY
FOR REVIEW ONLY
NOT FOR
CONSTRUCTION
Kimley»Horn
Kimley-Horn and Associates, Inc.

PROJECT NO.

25760 First Street
Cleveland, OH 44145
P 440 871 2410
F 440 871 7954
tesengineering.com



DRAWING NAME
PHOTOMETRIC PLAN

