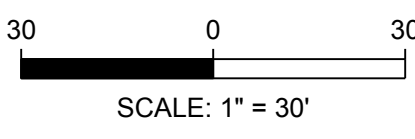
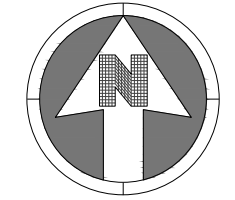


**KEY MAP**  
NOT TO SCALE



**NOTES:**  
1. SEE LANDSCAPE PLAN SHEET FOR DETAILED LANDSCAPING INFORMATION.

**LEGEND:**  
 TRAFFIC FLOW ARROW  
 CENTER LINE OF DRIVE

LANDSCAPE PROPERTIES	AREA (SF)	PERCENT LANDSCAPED
TOTAL SITE DISTURBANCE	280,221	
TOTAL LANDSCAPE AREA	56,682	20.2%
TOTAL HARDSCAPED AREA	165,465	
BUILDING AREA	23,288	

**PARKING COUNT AND REQUIREMENTS**

	PROPOSED	REQUIRED	CALCULATION
STANDARD	423	295	88,291 / 300 = 294.3
HANDICAP	9	9	
BIKE	22	10	(88,291 / 10,000) * 2 = 18
TOTAL	454	387	(NOT TO EXCEED 10)

NEW SIDEWALK  
 WIDENED SIDEWALK (5' TO 6.5')

PARKER PROJECT NUMBER  
**SP18-081**

DATE  
**01/08/2021**

REVISION	DESCRIPTION	DATE
0	INITIAL SUBMITTAL TO TOWN	8/8/18
1	REVISED SUBMITTAL TO TOWN	11/26/18
2	THIRD SUBMITTAL TO TOWN	7/31/19
3	FOURTH SUBMITTAL TO TOWN	9/13/19
4	FIFTH SUBMITTAL TO TOWN	10/30/19
5	SIXTH SUBMITTAL TO TOWN	6/15/20
6	SEVENTH SUBMITTAL TO TOWN	9/9/20
7	EIGHTH SUBMITTAL TO TOWN	10/7/20
8	NINTH SUBMITTAL TO TOWN	12/11/20
9	TENTH SUBMITTAL TO TOWN	1/8/21



**S.A. MIRO, INC.**  
CONSULTING ENGINEERS  
4582 South Ulster Street Pkwy.  
Suite 750 Denver, CO 80237  
ph. 303 741 3737  
fax 303 694 3134

PROJECT  
**Parker Adventist Hospital MOB III**  
9403 CROWN CREST BLVD.  
PARKER, COLORADO  
80138

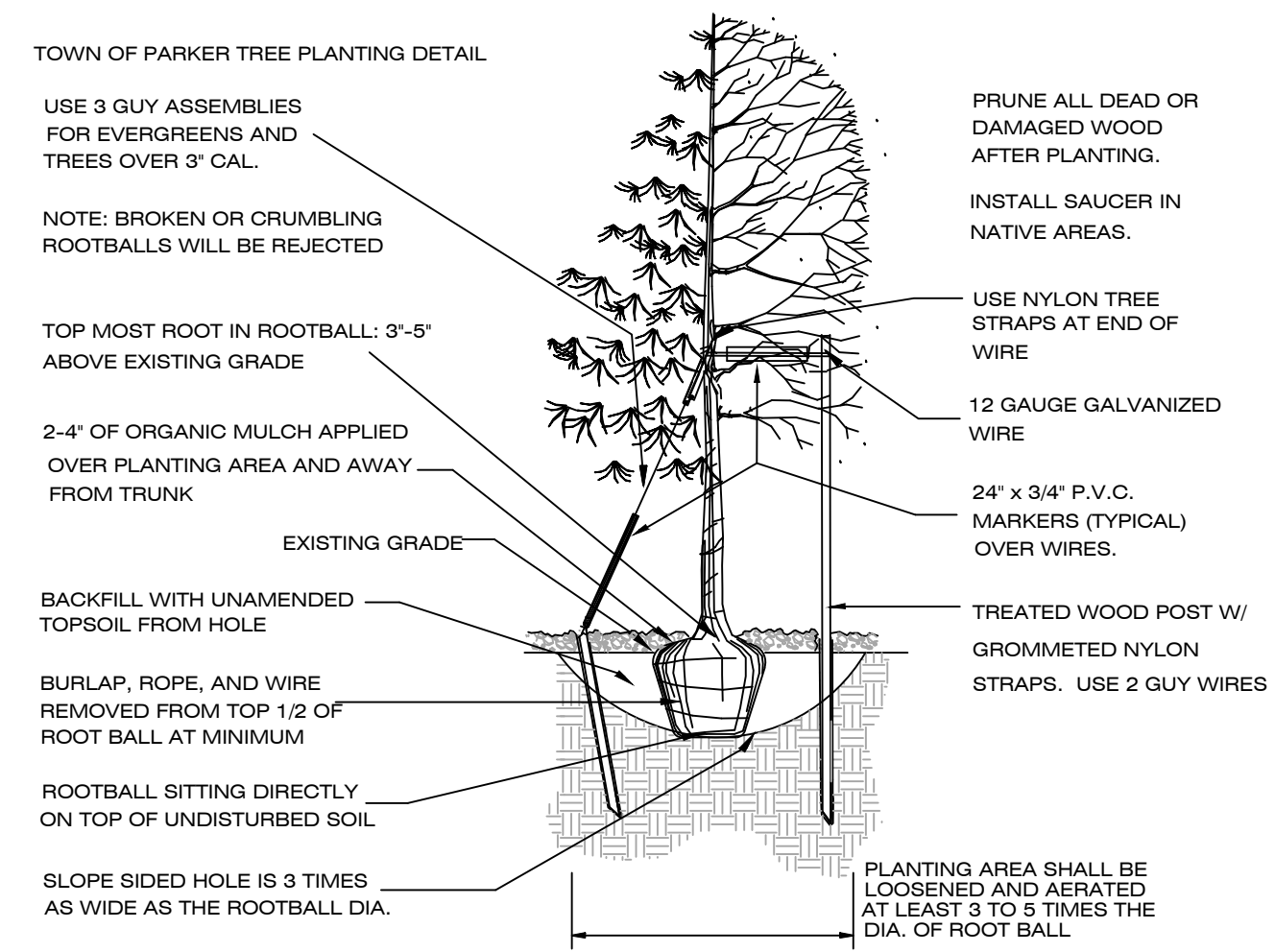
**SITE PLAN AMENDMENT**

SHEET TITLE  
**SITE PLAN**

SHEET NUMBER  
**2 OF 12**

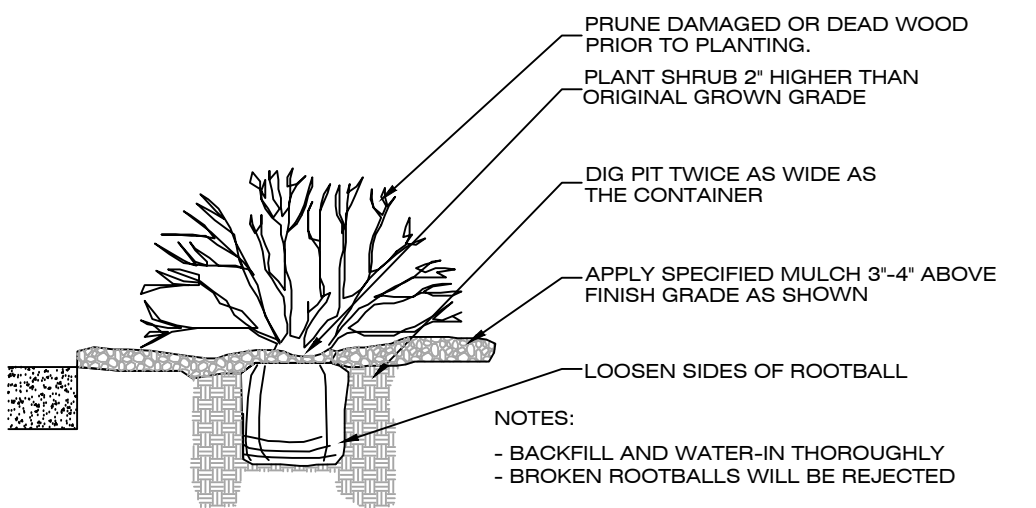


# LANDSCAPE DETAILS

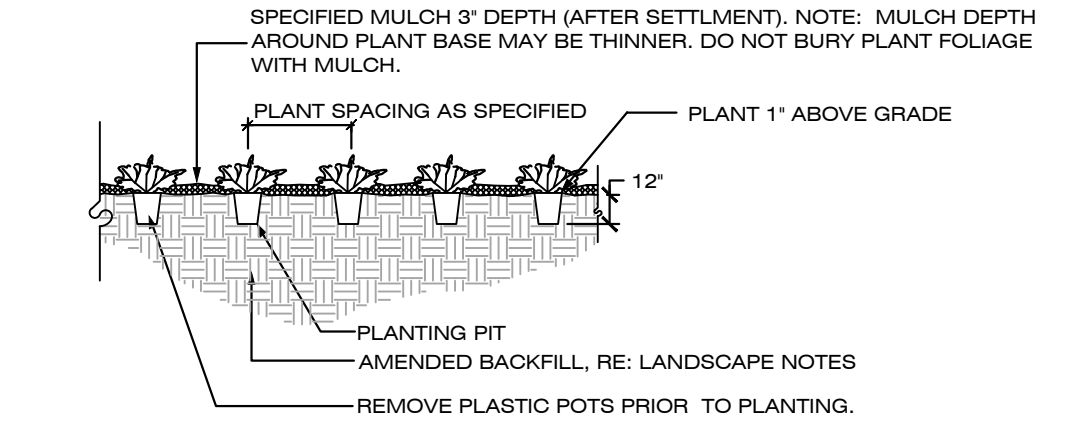


- TREE PLANTING NOTES:**
- EXCAVATE PLANTING HOLES WITH SLOPING SIDES. DO NOT DISTURB SOIL AT BOTTOM OF PLANTING HOLES, BUT DO SCORE THE SIDES OF THE PLANTING HOLE. MAKE EXCAVATIONS AT LEAST THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER AND LESS (3 TO 5 INCHES) THAN THE DISTANCE FROM THE OP MOST ROOT IN THE ROOT BALL AND THE BOTTOM OF THE ROOT BALL. THE PLANTING AREA SHALL BE LOOSEND AND AERATED AT LEAST THREE TO FIVE TIMES THE DIAMETER OF THE ROOT BALL. BACKFILL SHALL CONSIST OF EXISTING ON SITE SOIL - NO AMENDMENTS SHALL BE USED UNLESS OTHERWISE SPECIFIED.
  - TREES SHALL BE PLANTING WITH THE TOP MOST ROOT IN THE ROOT BALL 3\"/>

## 1 TREE PLANTING DETAIL



## 2 SHRUB PLANTING DETAIL



## 3 GROUNDCOVER / PERENNIAL PLANTING DETAIL

# LANDSCAPE NOTES

- PLANT SPECIES AND LOCATION SHOULD FOLLOW APPROVED PLAN. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN THE APPLICANT MUST GET APPROVAL FROM THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.
- PLANT MATERIALS SHALL MEET THE AMERICAN STANDARD FOR NURSERY PLANT STOCK (ANSI Z60.1), CURRENT EDITION.
- TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHOULD BE CONSERVED FOR LATER USE ON AREAS REQUIRING REVEGETATION AND LANDSCAPING.
- ALL PLANT MATERIAL SHALL CARRY A WARRANTY FOR A PERIOD OF NOT LESS THAT 1 YEAR AFTER ACCEPTANCE OF THE PROJECT BY THE OWNER. WARRANTY SHALL BE A ONE TIME REPLACEMENT THAT INCLUDES MATERIALS AND LABOR COSTS.
- SHRUB BED AND NATIVE SEED AREAS SHALL BE PREPARED WITH CLASS 1 ORGANIC MATTER AT THE RATE OF 4 CUBIC YARDS PER 1,000 S.F.. THE ORGANIC MATTER SHALL BE THOROUGHLY INCORPORATED INTO THE TOP 6\"/>

### TOWN OF PARKER - LOW GROW NATIVE SEED MIXTURE:

- 25% EPHRAIM CRESTED WHEATGRASS
  - 23% SHEEP FESCUE
  - 18% PERENNIAL RYEGRASS
  - 13% CANADA BLUEGRASS
  - 12% BARLEY OR OATS
  - 9% BLUE FESCUE
- RATE: 20-40 LBS./AC.

### TOWN OF PARKER LANDSCAPE MAINTENANCE REQUIREMENTS.

- ALL PLANTINGS SHALL BE MAINTAINED IN A HEALTHY AND ATTRACTIVE MANNER, AS DETERMINED BY THE TOWN. MAINTENANCE SHALL BE CONDUCTED BY THE PROPERTY OWNER OF RECORD, THE PROPERTY OWNER'S AGENT OR TENANT OR A HOMEOWNERS' ASSOCIATION WHICH HAS ASSUMED LANDSCAPE MAINTENANCE RESPONSIBILITY. ALL ORNAMENTAL LANDSCAPING SHALL BE MAINTAINED FREE FROM DISEASE, PESTS, WEEDS AND LITTER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, WATERING, FERTILIZING, WEEDING, CLEANING, MOWING, EDGING, MULCHING, PRUNING, TRIMMING, SPRAYING, CULTIVATING OR OTHER MAINTENANCE AS NEEDED AND IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. AREAS OF NATIVE OR NATURALIZED LANDSCAPE ARE EXEMPT FROM THIS LEVEL OF MAINTENANCE. ACCEPTABLE MAINTENANCE OF NATIVE PLANTS INCLUDES, BUT IS NOT LIMITED TO, REMOVAL OF DEAD OR DISEASED PLANTS, WEED CONTROL AND SEASONAL MOWING.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OF THEIR DEATH, UNLESS SEASONAL CONDITIONS PROHIBIT REMOVAL AND REPLACEMENT. IN SUCH CASE, THE REMOVAL AND REPLACEMENT SHALL OCCUR WITHIN A REASONABLE PERIOD OF TIME APPROVED BY THE TOWN.
- NONLIVING LANDSCAPE MATERIALS SUCH AS ROCK, STONE, BARK CHIPS AND SHAVINGS WHICH NO LONGER COVER THE AREA IN WHICH THEY WERE ORIGINALLY DEPOSITED SHALL BE REGULARLY REPLENISHED TO MAINTAIN THE FULL COVERAGE TO A MINIMUM DEPTH OF THREE (3) INCHES FOR ROCK MULCHES AND FOUR (4) INCHES FOR WOOD MULCH.
- LANDSCAPING STRUCTURAL FEATURES ( E.G. , FENCING, WALLS, PLANTER BOXES) AND SITE FURNISHINGS SHALL BE MAINTAINED IN A SOUND, STRUCTURAL AND ATTRACTIVE CONDITION.
- IRRIGATION SYSTEMS ARE TO BE MONITORED AND ADJUSTED PERIODICALLY TO ENSURE THAT THE WATER DEMANDS OF ALL PLANT MATERIALS ARE BEING MET.
- IRRIGATION SYSTEM REPAIRS SHALL BE MADE WITHIN SEVEN (7) DAYS OF DISCOVERY OF DAMAGE, UNLESS SEASONAL CONDITIONS PROHIBIT REPAIRS.
- LANDSCAPED AREAS SHALL BE FREE FROM TRASH AND DEBRIS.
- FAILURE TO REPLACE DEAD LANDSCAPE MATERIALS WITHIN A REASONABLE PERIOD OF TIME, AS SPECIFIED IN PARAGRAPH (2) ABOVE, SHALL BE CONSIDERED A VIOLATION OF THE SITE PLAN APPROVAL AND IS SUBJECT TO THE ENFORCEMENT AND PENALTY PROVISIONS OF THIS TITLE.

# PLANT LIST

CODE	QTY.	BOTANIC NAME	COMMON NAME	SIZE	HEIGHT	WIDTH
<b>DECIDUOUS TREES</b>						
SH	17	GLEDITSIA TRIACANTHOS INERMINS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	2.5\"/>		

### LANDSCAPE CODE REQUIREMENT

Site Landscape Requirement	Square foot area	Formula	Trees Required	Trees Provided	Shrubs Required	Shrubs Provided	% Evergreen
Overall Landscape Area (20.3%)	57,122	1 Tree / 5 Shrubs per 1,500 s.f.	38	34 + 9 EXISTING = 43	190	333	25

Area of Landscaping	Linear Feet of Frontage	Formula	Trees Required	Trees Provided	Shrubs Required	Shrubs Provided	% Evergreen
North Perimeter	355	1 Tree / 5 Shrubs per 40 l.f.	9	13	44	86	100%
East Perimeter	477	1 Tree / 5 Shrubs per 40 l.f.	12	12	60	8	100%
Total for Perimeters			21	25	104	94	100%

### PARKING LOT INTERIOR LANDSCAPE REQUIREMENT

Area of Landscaping	Each	Formula	Square Footage	Trees Required	Trees Provided	Shrubs Required	Shrubs Provided
Interior Parking Lot Islands	57	1 Tree / 5 Shrubs per 162 s.f.	9234	57	61	285	285
Additional Parking Lot Area	SF	1 Shrub / add. 15 s.f.	9,445	-	-	630	637
			18,679	57	61	915	922

### PARKING LOT LANDSCAPE REQUIREMENT

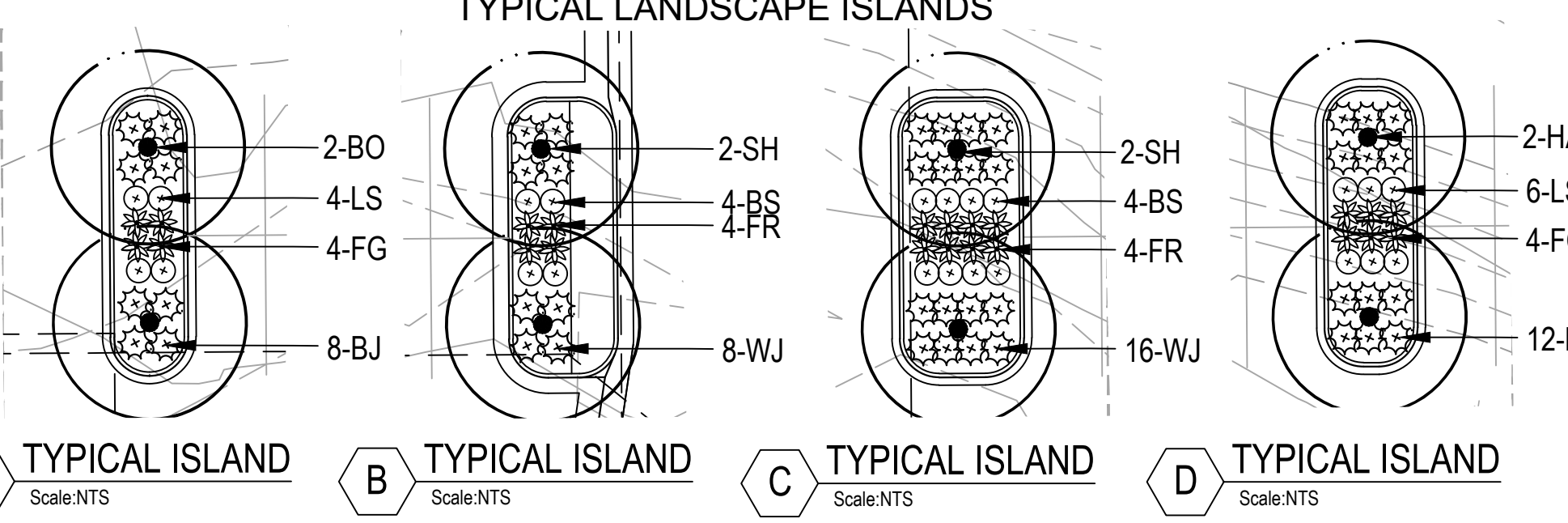
Total Parking Lot Area (S.F.)	186,390
Internal Parking Lot LS Area Required (S.F.)	18,639 10.00%
Internal Parking Lot LS Area Provided (S.F.)	18,679 10.02%

### TURF AREA REQUIREMENT

Total Landscape Area (S.F.)	57,122
Turf Area Provided (S.F.)	7,974 14%

### LIVING VS. NON-LIVING LANDSCAPE REQUIREMENT

Area of Landscaping	S.F.	% Living	% non-Living
Interior Parking Lot Islands	18,679	89	11
Remaining Landscape Areas	57,122	83	17



REVISIONS

#	DESCRIPTION	DATE
0	INITIAL SUBMITTAL TO TOWN	8/6/18
1	THIRD SUBMITTAL TO TOWN	11/26/18
2	FOURTH SUBMITTAL TO TOWN	7/31/19
3	FIFTH SUBMITTAL TO TOWN	9/19/19
4	SIXTH SUBMITTAL TO TOWN	10/30/19
5	SEVENTH SUBMITTAL TO TOWN	06/16/20
6	EIGHTH SUBMITTAL TO TOWN	09/02/20
7	NINTH SUBMITTAL TO TOWN	10/7/2020
8	TENTH SUBMITTAL TO TOWN	12/11/2020
9		1/8/2021



19 SOUTH TEJON ST., SUITE 300  
COLORADO SPRINGS, CO. 80903  
TELE: 719-471-7566  
FAX: 719-471-1174  
www.rtaarchitects.com

**GROUND LOGIC INC.**  
LANDSCAPE ARCHITECTURE  
IRRIGATION DESIGN  
SITE DESIGN & GIS

GROUND LOGIC, INC.  
2038 Grove Street  
Boulder, Colorado 80302  
P. 720-331-0596  
greg@groundlogic.com

PROJECT  
**Parker Adventist Hospital MOB III**

9403 CROWN CREST BLVD.  
PARKER, COLORADO  
80138

PROJECT LANDSCAPE ARCHITECT:

## SITE PLAN AMENDMENT

SHEET TITLE  
**LANDSCAPE NOTES AND DETAILS**

SHEET NUMBER