

ROAD & STORM DRAINAGE CONSTRUCTION PLANS FOR COMPARK VILLAGE SOUTH, FILING NO. 1 - BELFORD AVENUE SITE PLAN AMENDMENT

PARKER, COLORADO

THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN BEING MONUMENTED AS SHOWN HEREON HAVING A BEARING OF NORTH 00°29'49" WEST, AS DETERMINED BY GPS OBSERVATION FROM NGS CONTROL POINTS IN THE COLORADO CENTRAL ZONE, STATE PLANE COORDINATE SYSTEM TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

AGENCY CONTACT LIST

BELFORD NORTH METROPOLITAN DISTRICT

c/o CLIFTON LARSON ALLEN
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GREENWOOD VILLAGE, CO 80111
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MANHARD CONSULTING

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PARKER, CO. 80138
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STORM WATER - MICHAEL GRABCZYK
EROSION CONTROL - MICHAEL WALTON
LIFE SAFETY - RANDY CAPRA
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PARKER, CO. 80134
303-841-9800

STONEGATE VILLAGE METRO DISTRICT

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MULHERN MRE, INC.
188 INVERNESS DRIVE WEST, SUITE 150
ENGLEWOOD, CO 80112
303-858-9909

DISTRICT MANAGER:

SARAH SJOBAKKEN
10252 STONEGATE PARKWAY
PARKER, CO 80134
303-858-9909

COMPARK VILLAGE CAMPUS METRO DISTRICT

C/O CLIFTON LARSON ALLEN
8390 E. CRESCENT PARKWAY, SUITE 500
GREENWOOD VILLAGE, CO 80111
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CENTENNIAL, CO 80112
720-488-7200

UTILITY NOTIFICATION COMPANY OF COLORADO

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GOLDEN, CO 80401
LOCAL CALLS
1-800-922-1987
(811)

XCEL ENERGY

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DENVER, CO 80207
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KEVIN YOUNG
6850 S. TUCSON WAY
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720-490-3867

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9750 E. COSTILLA AVE.
ENGLEWOOD, CO 80112
303-792-6069

COLORADO DEPARTMENT OF HEALTH

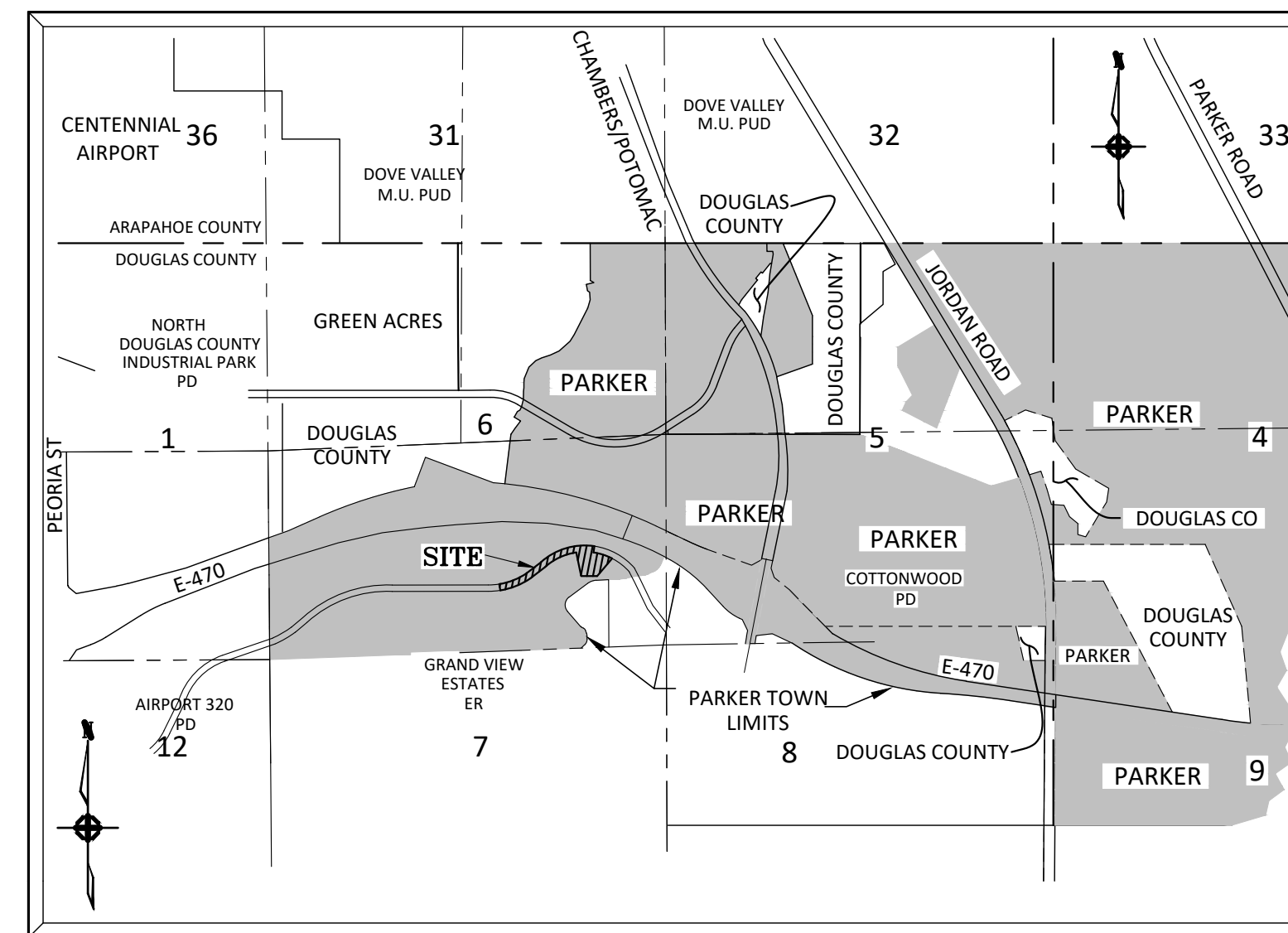
4210 E. 11TH AVE.
DENVER, CO 80220
303-320-8333

INTERMOUNTAIN RURAL ELECTRIC ASSOCIATION

BROOKS KAUFMAN
5496 NORTH US HWY 85
P.O. BOX DRAWER A
SEDALIA, CO 80135
303-688-3100

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VICINITY MAP
N.T.S.

BENCHMARKS: (COMPARK SOUTH)

SOURCE BENCHMARKS:
DOUGLAS COUNTY BM 1.115010
A DOUGLAS COUNTY GIS MONUMENT SET IN CONCRETE LOCATED APPROXIMATELY 130 FEET SOUTHWESTERLY OF THE CENTERLINE OF CHAMBERS ROAD AND 95 FEET NORTHWESTERLY OF THE CENTERLINE OF COMPARK BOULEVARD.
ELEVATION = 5752.84 (NAVD 88)

SITE BENCHMARKS:

1. A NO. 5 REBAR WITH 2" ALUMINUM CAP STAMPED "LS 28286, 2001" FOUND AT THE SOUTHWEST CORNER OF SECTION 6, T6S, R66W LOCATED ON THE WEST LINE OF FIRST STREET APPROXIMATELY 1000 FEET NORTH OF ELM AVENUE.
ELEVATION = 5845.51

2. A 2.5" IRON PIPE WITH 3.25" ALUMINUM CAP STAMPED "PLS 12405, 1997" FOUND AT THE SOUTHWEST CORNER OF SECTION 6, T6S, R66W LOCATED APPROXIMATELY 960 FEET NORTH OF THE CENTERLINE OF AVENTERRA PARKWAY AND APPROXIMATELY 1050 FEET WEST OF THE CENTERLINE OF CHAMBERS ROAD.
ELEVATION = 5808.06

EXISTING	STANDARD SYMBOLS	PROPOSED
	STORM SEWER	
	PVC ROOF DRAIN/FOUNDATION DRAIN	
	SANITARY SEWER	
	WATER MAIN	
	ELECTRIC	
	GAS	
	TELEPHONE	
	SANITARY MANHOLE	
	STORM MANHOLE	
	STORM INLET (CURB & GUTTER)	
	STORM INLET (LANDSCAPE)	
	CLEANOUT	
	RIP RAP	
	GATE VALVE	
	FIRE HYDRANT	
	CURB STOP	
	THRUST BLOCK & FITTING	
	FLARED END SECTION	
	STREET LIGHT	
	DIRECTION OF FLOW	
	DIRECTION OF OVERFLOW RELIEF	
	1 FOOT CONTOURS	
	CURB AND GUTTER (CATCH)	
	DEPRESSED CURB AND GUTTER	
	CURB AND GUTTER (SPILL)	
	SIDEWALK	
	PROPERTY LINE	
	R.O.W. LINE	
	EASEMENT LINE	
	SIGN	
	POWER POLE	
	GUY WIRE	
	ELECTRICAL EQUIPMENT	
	TELEPHONE EQUIPMENT	
	FENCE	
	SPOT ELEVATION	
	RETAINING WALL	

SIGHT DISTANCE CERTIFICATION:

"I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE PROPOSED SUBDIVISION, COMPARK VILLAGE SOUTH, FILING NO. 1, IS DESIGNED WITH ADEQUATE CORNER SIGHT DISTANCE FOR ALL INTERSECTIONS AND PEDESTRIAN CROSSING LOCATIONS. CONSIDERATION OF LANDSCAPING IMPACTS TO THE CORNER SIGHT DISTANCE AT BOTH INITIAL AND MATURE GROWTH HAS BEEN REVIEWED. THE MINIMUM CORNER SIGHT DISTANCE IS IN COMPLIANCE WITH AASHTO "POLICY ON GEOMETRIC DESIGN OF HIGHWAY AND STREETS." I HEREBY AFFIRM THAT THESE CONSTRUCTION PLANS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

FOR AND ON BEHALF OF MANHARD CONSULTING

TOWN OF PARKER APPROVALS

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

PREPARED UNDER THE SUPERVISION OF:



SIGNED
GARY T. IWATA
COLORADO P.E. #37642



DATE	REVISIONS
08-31-2021	THIRD SUBMITTAL - RESPOND TO TOP COMMENTS
06-18-2021	SECOND SUBMITTAL - RESPOND TO TOP COMMENTS

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Water Resource Management | Construction Management

COMPARK VILLAGE SOUTH, F1 - BELFORD AVE SITE PLAN AMD
TOWN OF PARKER, COLORADO
COVER SHEET

PROJ. MGR.: GTI
PROJ. ASSOC.: ASD
DRAWN BY: JMP
DATE: 03/15/2021

SHEET
1 OF 33
CLCPK3

Plotted: 10/14/2021 1:49 PM. Dwg Name: P:\C\gdk3\ComparkSouth\09 - Belford Ave East\09a\Plan Set\Cover.dwg. Updated By: ADrucker

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GENERAL NOTES:

- 1. ALL CONSTRUCTION SHALL COMPLY WITH THE STONEGATE VILLAGE METRO DISTRICT WATER AND SANITATION SYSTEM SPECIFICATIONS, THE DOUGLAS COUNTY ROADWAY DESIGN AND CONSTRUCTION STANDARDS, THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA, THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA, THE URBAN DRAINAGE AND FLOOD CONTROL DISTRICT, THE COLORADO STATE BOARD OF HEALTH, THE ENVIRONMENTAL PROTECTION AGENCY AND THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
2. THE CONTRACTOR SHALL CONTACT ALL APPROPRIATE UTILITY COMPANIES AND THE TOWN OF PARKER PRIOR TO THE BEGINNING OF ANY CONSTRUCTION.
3. THE DISTRICT ENGINEER AND OTHER APPROVING AGENCIES ARE TO BE NOTIFIED AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL OBTAIN, AT HIS EXPENSE, ALL PERMITS WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK, INCLUDING STREET CUTS, UTILITY INTERFERENCE AND TRAFFIC CONTROL.
5. ALL CONCRETE SHALL BE A MINIMUM OF CLASS B, 6-SACK, TYPE II, 3000 POUND COMPRESSION STRENGTH. ALL CONCRETE ASSOCIATED WITH ROADWAY CONSTRUCTION SHALL BE CLASS D.
6. THE DESIGN ENGINEER SHALL SUBMIT ONE (1) SET OF ROLLED "AS-BUILT" BLUELINE PRINTS TO THE DESIGNATED TOWN AUTHORITY FOR APPROVAL PRIOR TO PRINTING MYLAR SEPIAS AND ELECTRONIC FILES FOR THE TOWN.
7. ALL BACKFILL MATERIAL SHALL BE COMPACTED TO ALL APPLICABLE TOWN AND DISTRICT STANDARDS.
8. ALL CURBS SHALL BE CAREFULLY AND FIRMLY BACKFILLED BY THE CONTRACTOR.
9. REFER TO OVERLOT GRADING AND EROSION CONTROL PLAN FOR GRADING NOTES.
10. EXPANSION JOINTS WILL BE PLACED IN ALL SIDEWALKS AND CURB AND GUTTER AT PCS, PTS, AND AT ANY FIXED OBJECT, BUT IN NO CASE ANY FARTHER THAN 500 FEET APART.
11. THE APPLICANT IS 470 COMPARK LLC.
12. THE UTILITY CONTRACTOR THAT INSTALLS SANITARY SEWER, STORM SEWER, AND WATER SHALL, AFTER PROPERLY COMPLETING THE WORK, WALK THE SITE WITH THE OWNER'S REPRESENTATIVE(S) TO INSPECT MANHOLES, HYDRANTS, VALVE BOXES, AND INLETS PRIOR TO THE START OF WORK BY THE CURB, GUTTER, AND WALK CONTRACTOR.
13. ALL TESTING AND INSPECTION FOR COMPLIANCE WITH TOWN OF PARKER STANDARDS SHALL BE COMPLETED PRIOR TO PROBATIONARY ACCEPTANCE.
14. THE DESIGN ENGINEER SHALL SUBMIT ONE (1) SET OF ROLLED "AS-BUILT" BLUELINE PRINTS AND ELECTRONIC FILES TO THE DISTRICT ENGINEER FOR APPROVAL PRIOR TO PRINTING MYLAR SEPIAS FOR THE DISTRICT.
15. TRENCHES SHALL BE EXCAVATED AND THE PIPE EXPOSED FOR THE INSPECTION AT ANY LOCATION ON THE PROJECT IF SO ORDERED BY THE INSPECTOR.
16. CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE PROPER FUNCTIONING OF LINES (WATER AND SEWER) FOR UP TO TWO (2) YEARS FROM THE DATE OF PROBATIONARY ACCEPTANCE OF THE LINES BY THE DISTRICT.
17. SURFACE GRADES ARE TO BE WITHIN PLUS OR MINUS ONE FOOT OF FINISHED GRADE AND VERIFICATION OF COMPACTION RESULTS OBTAINED PRIOR TO THE INSTALLATION OF WATER AND SEWER LINES.
18. NO WORK SHALL BE BACKFILLED UNTIL THE CONSTRUCTION HAS BEEN INSPECTED AND APPROVED FOR BACKFILLING BY THE DISTRICT ENGINEER OR REPRESENTATIVE OF THE DISTRICT ENGINEER.
19. ALL SERVICES WILL BE PERMANENTLY MARKED ON CURB FACE AS FOLLOWS:
"X" FOR SANITARY SERVICE SEWERS
"V" FOR WATER SERVICES
20. NO TREES SHALL BE ALLOWED IN EASEMENTS OR WITHIN 8' OF ANY WATER OR SANITARY SEWER MAINS IN RIGHT-OF-WAY.
21. BENCHMARKS:
SOURCE BENCHMARKS:
DOUGLAS COUNTY BM 1.115010
A DOUGLAS COUNTY GIS MONUMENT SET IN CONCRETE LOCATED APPROXIMATELY 130 FEET SOUTHWESTERLY OF THE CENTERLINE OF CHAMBERS ROAD AND 95 FEET NORTHWESTERLY OF THE CENTERLINE OF COMPARK BOULEVARD.
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2. A 2.5" IRON PIPE WITH 3.25" ALUMINUM CAP STAMPED "PLS 12405, 1997" FOUND AT THE SOUTHEAST CORNER OF SECTION 6, T65, R66W LOCATED APPROXIMATELY 960 FEET NORTH OF THE CENTERLINE OF AVENTERRA PARKWAY AND APPROXIMATELY 1050 FEET WEST OF THE CENTERLINE OF CHAMBERS ROAD.
ELEVATION = 5808.06
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND REPAIR OF ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION, WHETHER SHOWN ON THESE PLANS OR NOT.
23. T.C. INDICATES TOP BACK OF WALK GRADE FOR COMBINATION CURB, GUTTER, AND SIDEWALK, OR TOP BACK OF CURB FOR OTHER CURB AND GUTTER TYPES.
24. ALL DIMENSIONS AND RADII ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
25. THE CONTRACTOR SHALL FURNISH THE ENGINEER WITH A SET OF "AS-BUILT" PLANS MARKED WITH ALL DEVIATIONS FROM THE CONSTRUCTION PLANS PRIOR TO INITIAL ACCEPTANCE.
26. ALL STATIONING IS ON CENTERLINE OF RIGHT OF WAY UNLESS OTHERWISE NOTED.

SEDIMENT AND EROSION CONTROL NOTES:

- 1. THE OWNER/CONTRACTOR MUST OBTAIN A CDPS STORM WATER DISCHARGE PERMIT FROM THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL USE DUST CONTROL MEASURES ON THE SITE. DUST CONTROL MEASURES MAY INCLUDE SITE WATERING, USE OF SPRAY ON SOIL BENDERS, AND/OR SEEDING AND MULCHING.
3. CONTRACTOR MAY ADJUST LOCATIONS OF CONCRETE WASH OUT AND VEHICLE TRACKING CONTROL IF DESIRED.
4. CONTRACTOR TO DETERMINE LOCATION OF STABILIZED STAGING AREA AT TIME OF CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, STORM SEWERS, STORM SEWER APPURTENANCES, OTHER PROPERTIES, ETC., RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
6. ADDITIONAL EROSION AND SEDIMENT CONTROL BMPS MAY BE REQUIRED DURING AND AFTER CONSTRUCTION AND SHALL BE EXECUTED AND COMPLETED BY THE CONTRACTOR.
7. THE CONTRACTOR SHALL TAKE APPROPRIATE PREVENTIVE MEASURES TO MINIMIZE TO THE MAXIMUM EXTENT PRACTICABLE SILT AND MUD FROM BEING TRACKED OR DEPOSITED ONTO PAVED SECTIONS VIA MULTIPLE BMPS.
8. AREAS REACHING SUBSTANTIAL COMPLETION OF GRADING AND TOPSOIL PLACEMENT OPERATIONS MUST BE DRILL SEEDED AND CRIMP MULCHED WITHIN 14 DAYS OF SUBSTANTIAL COMPLETION OF GRADING AND TOPSOIL OPERATIONS.
9. AN APPROVED SWMP DESIGN DRAWING AND A COPY OF THE STORMWATER QUALITY DISCHARGE PERMIT SHALL BE KEPT ON SITE AT ALL TIMES.
10. ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM A BMP (MAINTENANCE) WHEN THE SEDIMENT LEVEL OR DEBRIS ADVERSELY IMPACTS THE FUNCTIONING OF THE BMP OR AS DEFINED WITHIN THE RULES AND REGULATIONS REGARDING STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES MANUAL, WHICHEVER IS MORE RESTRICTIVE.
11. THE DISCHARGING OF CEMENT, CONCRETE, OR MORTAR FROM READY MIX DELIVERY TRUCKS, PUMP TRUCKS, BATCH PLANTS OR SMALL MECHANICAL MIXERS DIRECTLY ONTO PAVED SURFACES OR DISTURBED GROUND HAVING NO CONTAINMENT IS PROHIBITED.
12. SECONDARY CONTAINMENT FEATURES SHALL BE IN PLACE FOR ANY BULK FUEL STORAGE, MIXERS, GENERATORS, OR ANY OTHER SPILL OR LEAK SOURCE THAT REMAINS ONSITE FOR A PERIOD LONGER THAN 7 CALENDAR DAYS.
13. TO REDUCE THE POTENTIAL FOR CLOGGING OF DEBRIS GRATES, NO STRAW MULCH SHALL BE USED WITHIN THE EXCESS URBAN RUNOFF VOLUME OF A DETENTION BASIN.
14. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE LATEST EDITION OF THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
15. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION.
16. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS, APPROVED BY THE TOWN OF PARKER PUBLIC WORKS DIRECTOR, AND ONE (1) COPY OF THE ROADWAY DESIGN AND CONSTRUCTION CRITERIA AT THE JOB SITE AT ALL TIMES.
17. ALL PROPOSED STREET CUTS TO EXISTING PAVEMENTS FOR UTILITIES, STORM SEWER, OR FOR OTHER PURPOSES ARE LISTED AND REFERENCED BELOW:
WATER TIE-IN ----
SANITARY SEWER CONNECTION ----
STORM SEWER CONNECTION NONE
18. A PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE SUBMITTED TO THE TOWN OF PARKER FOR ACCEPTANCE WITH THE RIGHT-OF-WAY PERMIT USE APPLICATION.
19. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED AND THE SAFETY OF WORKERS PROVIDED FOR AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION."
20. COMPACTION OF ALL TRENCHES MUST BE ATTAINED AND COMPACTION TEST RESULTS SUBMITTED TO THE DEVELOPMENT REVIEW ENGINEER IN PRELIMINARY FORM PRIOR TO PAVING AND IN FINAL FORM PRIOR TO PROBATIONARY ACCEPTANCE.
21. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION.
22. THE CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC.
23. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION.

- 13. PLANS ARE APPROVED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE SHOWN ON THE TOWN OF PARKER SIGNATURE BLOCK.
14. REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS OR LANDSCAPING IS THE RESPONSIBILITY OF THE CONTRACTOR.
15. ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
16. ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY."
17. IF DEWATERING IS REQUIRED, A STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT IS REQUIRED FOR DISCHARGES TO A STORM SEWER, CHANNEL, IRRIGATION DITCH, ANY STREET THAT IS TRIBUTARY TO THE FOREMENTIONED FACILITIES, OR ANY WATER OF THE UNITED STATES.
18. ALL REFERENCES TO BOOKS, PAGES, MAPS, AND RECEPTION NUMBER ARE PUBLIC DOCUMENTS ON FILE WITH THE COUNTY CLERK AND RECORDER'S OFFICE.

PARKER STANDARD STORM DRAINAGE INFRASTRUCTURE NOTES

- 1. ALL STORM DRAINAGE IMPROVEMENTS ARE SUBJECT TO COMPLIANCE WITH THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, M & S STANDARDS, AND ALL STANDARD SPECIAL PROVISIONS CURRENTLY USED BY CDOT, WITH THE MODIFICATIONS SET FORTH IN THE TOWN OF PARKER'S STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL (SDECM), AS AMENDED.
2. THE CONTRACTOR SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8 CRS) THE "PROTECTION OF FISHING STREAMS" TITLE 33, ARTICLE 5, CRS), THE "CLEAN WATER ACT" (33 USC 1344), CHERRY CREEK RESERVOIR CONTROL REGULATION NO. 72 (5 CCR 1002-72), THE REGULATION PROMULGATED, CERTIFICATION OR PERMITS ISSUES, AND THE REQUIREMENTS PRESENTED IN THE SDECM REVISION TO SECTION 107 AND THE CONSTRUCTION BMP PLAN.
3. INSPECTIONS: CONSTRUCTION SHALL NOT BEGIN UNTIL A GRADING PERMIT HAS BEEN ISSUED FOR THE PROJECT.
4. STRUCTURAL BACKFILL (CDOT CLASS 1) SHALL BE COMPACTED TO CONFORM TO CDOT STANDARD SPECIFICATION 203.03.
5. ALL EXCAVATIONS SHALL MEET OSHA REQUIREMENTS.
6. TESTING: PROBATIONARY ACCEPTANCE OF STORM DRAINAGE IMPROVEMENTS WILL BE CONTINGENT UPON SATISFACTORY TESTING RESULTS.
7. ALLOWABLE STORM SEWER CONDUIT MATERIAL WITHIN THE TOWN OF PARKER SHALL BE LIMITED TO REINFORCED CONCRETE PIPE (RCP) CONFORMING TO CDOT STANDARD SPECIFICATION 706.02.
8. ALL RCP JOINTS SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM C443.
9. JOINT RESTRAINTS AND TOE-WALLS, CONFORMING TO CDOT M&S STANDARD PLAN NO. M-601-11 SHALL BE USED ON ALL RCP FLARED END SECTION OUTFALLS.
10. EPOXY COATED REBAR SHALL BE USED AS REINFORCING STEEL ON ALL STORM INLETS AND STRUCTURES.
11. CDOT CLASS D CONCRETE SHALL BE USED FOR ALL CONCRETE DRAINAGE STRUCTURES.
12. PRE-CAST INLETS AND MANHOLE BASES SHALL NOT BE USED WITHIN THE TOWN OF PARKER RIGHT-OF-WAY, WITH THE EXCEPTION OF CDOT TYPE C AND D INLETS.
13. TWO (2) MANHOLE ACCESS JOINTS ARE REQUIRED ON ALL TYPE "R" CURB INLETS GREATER THAN OR EQUAL TO TEN (10) FEET IN LENGTH AS PRESENTED IN CDOT M&S STANDARD PLAN NO. M-604-12.
14. ALL GROUTING (BOULDERS, RIPRAP) SHALL BE IN ACCORDANCE WITH THE REVISION OF SECTION 506 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM.
15. ALL BOULDERS AND RIPRAP SHALL BE SELECTED AND PLACED IN ACCORDANCE WITH THE REVISION OF SECTION 506 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM.
16. CONTRACTOR SHALL REFER TO THE TOWN OF PARKER'S CONSTRUCTION BEST MANAGEMENT PRACTICES DETAILS AND NOTES FOR ALL REQUIREMENTS RELATING TO RE-VEGETATION, SEDIMENT AND EROSION CONTROL REQUIREMENTS FOR CONSTRUCTION ACTIVITIES.
17. PIPE BELLS SHALL NOT BE CAST INTO MANHOLE BASES OR INLETS.

- 13. PLANS ARE APPROVED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE SHOWN ON THE TOWN OF PARKER SIGNATURE BLOCK.
14. REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS OR LANDSCAPING IS THE RESPONSIBILITY OF THE CONTRACTOR.
15. ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
16. ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY."
17. IF DEWATERING IS REQUIRED, A STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT IS REQUIRED FOR DISCHARGES TO A STORM SEWER, CHANNEL, IRRIGATION DITCH, ANY STREET THAT IS TRIBUTARY TO THE FOREMENTIONED FACILITIES, OR ANY WATER OF THE UNITED STATES.
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COLORADO DEPARTMENT OF HIGHWAYS M-STANDARDS, AND THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, LATEST EDITION, SHALL APPLY.

SIGNAGE AND STRIPING NOTES:

- 1. ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MOST RECENT VERSION OF THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), COLORADO SUPPLEMENTAL MUTCD, AND THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL.
2. A FIELD INSPECTION OF LOCATION AND INSTALLATION OF ALL SIGNS AND MARKING SHALL BE PERFORMED BY THE TOWN OF PARKER.
3. THE CONTRACTOR INSTALLING SIGNS SHALL BE RESPONSIBLE FOR THE LOCATING AND PROTECTING OF ALL UNDERGROUND UTILITIES.
4. TYPE III (LIGHTED) BARRICADES SHALL BE SET AT THE ENDS OF ROADWAYS SEPARATING FINISHED (AND/OR ACCEPTED) AND UNFINISHED CONSTRUCTION AREAS AND SHALL BE MAINTAINED BY THE CONTRACTOR/DEVELOPER.
5. SPECIAL CARE SHALL BE TAKEN IN SIGN LOCATIONS TO ENSURE AN UNOBSTRUCTED VIEW OF EACH SIGN.
6. WHERE STOP SIGN CONTROL IS APPROPRIATE, 36-INCH STOP SIGNS SHALL BE USED FOR APPROACHES TO ANY ROADWAY THAT IS CLASSIFIED AS A COLLECTOR OR GREATER.
7. A 7-FOOT MINIMUM POST LENGTH SHALL BE MAINTAINED FROM THE BOTTOM OF THE SIGN PANEL TO THE GROUND.
8. DELINEATION OF ROADWAYS SHALL BE AS SPECIFIED IN THE COLORADO DEPARTMENT OF TRANSPORTATION M AND S STANDARDS.
9. RAISED MEDIAN ISLAND NOSES SHALL HAVE R4-7 SIGNS AT EACH END AND A 4"x12" HIGH INTENSITY YELLOW SIGN BLANK LOCATED MIDWAY BETWEEN THE R4-7 SIGN AND FINISHED GRADE ON EACH POST.
10. SIGNAGE AND STRIPING HAVE BEEN DETERMINED BY INFORMATION AVAILABLE AT THE TIME OF REVIEW.
11. DIAMOND GRADE MATERIAL SHALL BE USED ON ALL STOP SIGN AND OVERHEAD SIGNS.
12. ALL STREET NAME SIGNS SHALL BE HIGH INTENSITY, EXTRUDED, GREEN AND WHITE BLADES.
13. ALL LAYOUTS FOR INTERNALLY ILLUMINATED STREET NAME SIGNS SHALL BE SUBMITTED TO THE TOWN FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
14. ALL REMOVED SIGNS SHALL BE RETURNED TO THE TOWN OF PARKER.
15. CROSSWALKS: SHALL BE CONSTRUCTED USING PREFORMED THERMO-PLASTIC OR AN APPROVED EQUAL.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE



Know what's below. Call before you dig.

Table with columns: DATE, REVISIONS, DRAWN BY

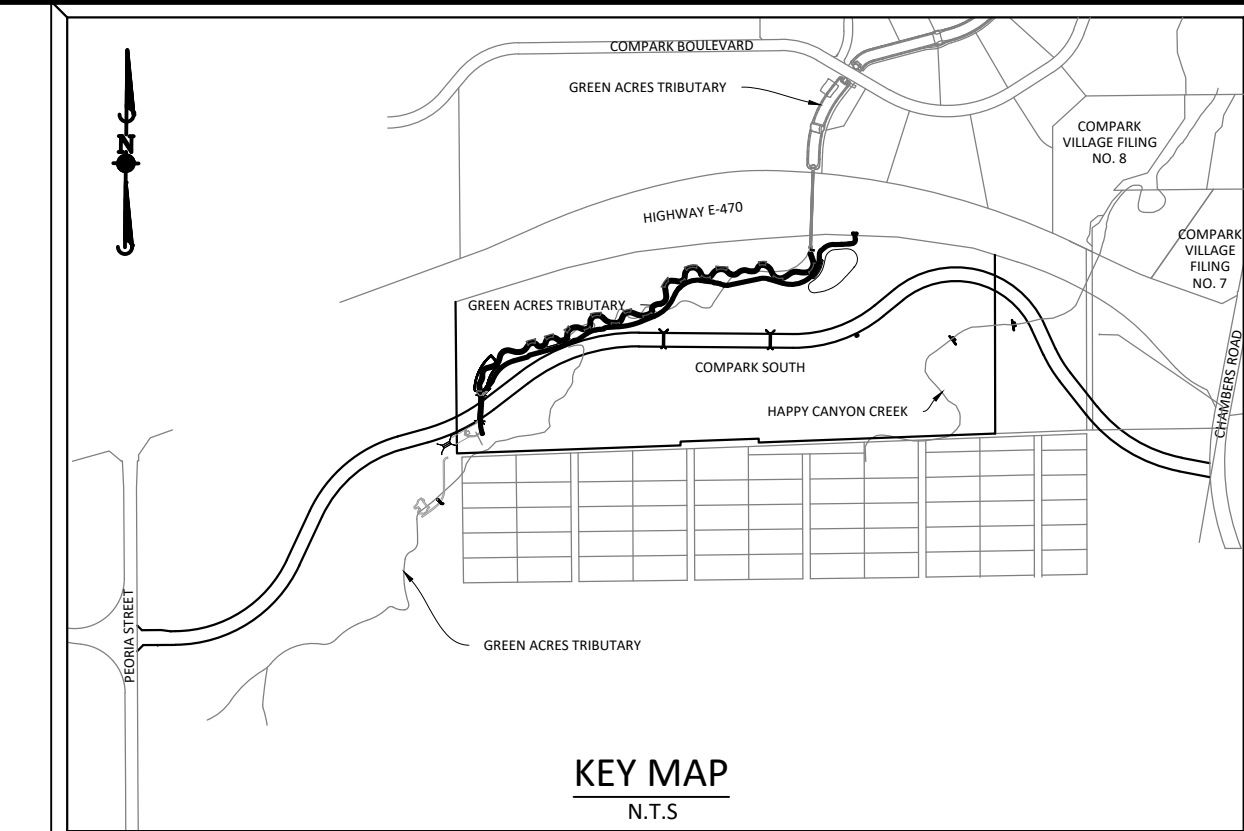
Manhard CONSULTING LTD logo and contact information

COMPARK VILLAGE SOUTH, F1 - BELFORD AVE SITE PLAN AMD TOWN OF PARKER, COLORADO GENERAL NOTES SHEET 2 OF 33 CLCPK3

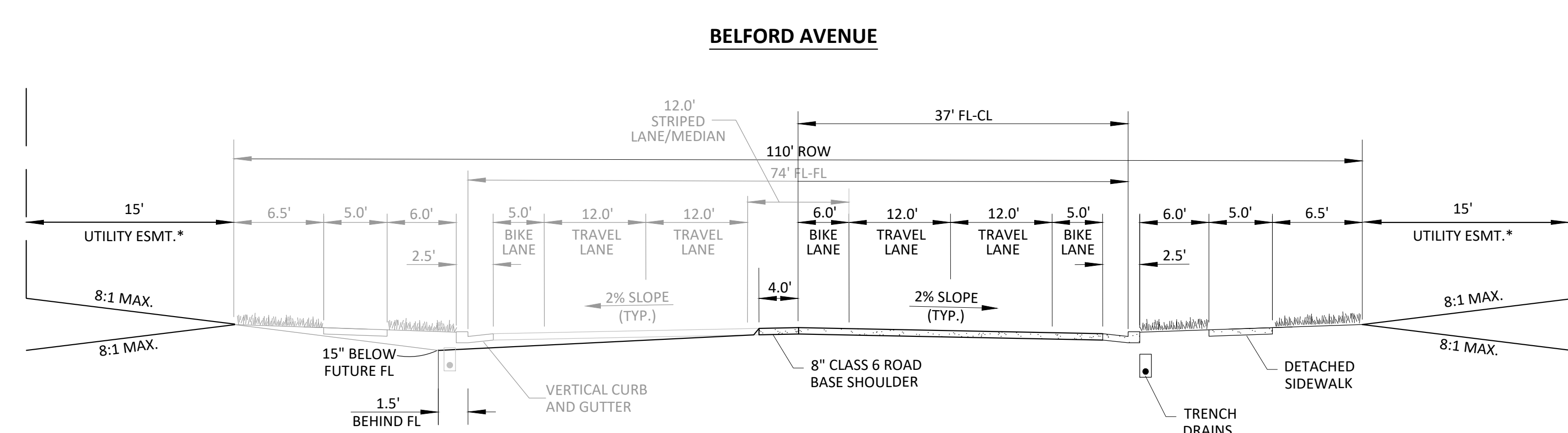
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Plotted: 10/14/2021 1:49 PM. Dwg Name: P:\C\pkc3\ComSouth09 - Belford Ave Emt\Drawn\Emt\Final Drawing\Plan Set\Typical Roadway Sections.dwg. Updated By: ADrucker



SOURCE BENCHMARKS:
 DOUGLAS COUNTY BM 1.115010
 A DOUGLAS COUNTY GIS MONUMENT SET IN CONCRETE LOCATED APPROXIMATELY 130 FEET
 SOUTHWESTERLY OF THE CENTERLINE OF CHAMBERS ROAD AND 95 FEET NORTHWESTERLY OF
 THE CENTERLINE OF COMPARK BOULEVARD. ELEVATION = 5752.84 (NAVD 88)



PARKER MAJOR COLLECTOR
 PROPOSED CONDITION
 STA 78+00 - 89+34.98
 FUTURE IMPROVEMENTS ARE SHADED FOR REFERENCE

- GENERAL NOTES:**
- TRENCH DRAINS ARE REQUIRED ON COLLECTOR STREETS, SEE STANDARD DETAIL 30.
 - ROW WIDTH SHOWN IS TYPICAL. ADDITIONAL ROW AND/OR LANES MAY BE REQUIRED BASED ON A TRAFFIC STUDY.
 - SEE STANDARD DETAIL 3 FOR TYPICAL CURB AND GUTTER INFORMATION.
 - SEE STANDARD DETAIL 4 FOR TYPICAL SIDEWALK INFORMATION.
 - *UTILITY EASEMENT WIDTH VARIES FROM TYPICAL AT CERTAIN LOCATIONS. SEE PLANS FOR LOCATION INFORMATION.



TOWN OF PARKER APPROVALS

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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

DATE	REVISIONS
10/14/2021	APPROVED PLANS
08/31/2021	THIRD SUBMITTAL - RESPOND TO TOP COMMENTS
06/18/2021	SECOND SUBMITTAL - RESPOND TO TOP COMMENTS

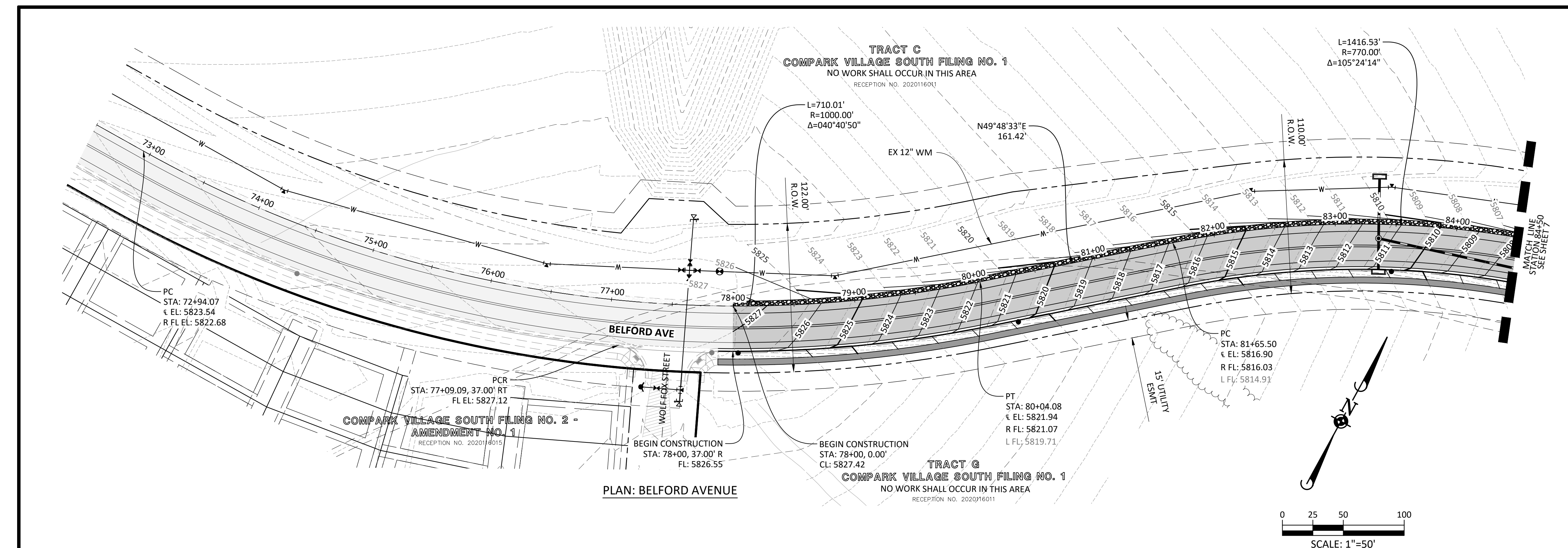
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 Civil Engineering | Surveying & Geospatial Services | Construction Management | Water Resource Management

COMPARK VILLAGE SOUTH, F1 - BELFORD AVE SITE PLAN AMD
TOWN OF PARKER, COLORADO
TYPICAL ROADWAY SECTION

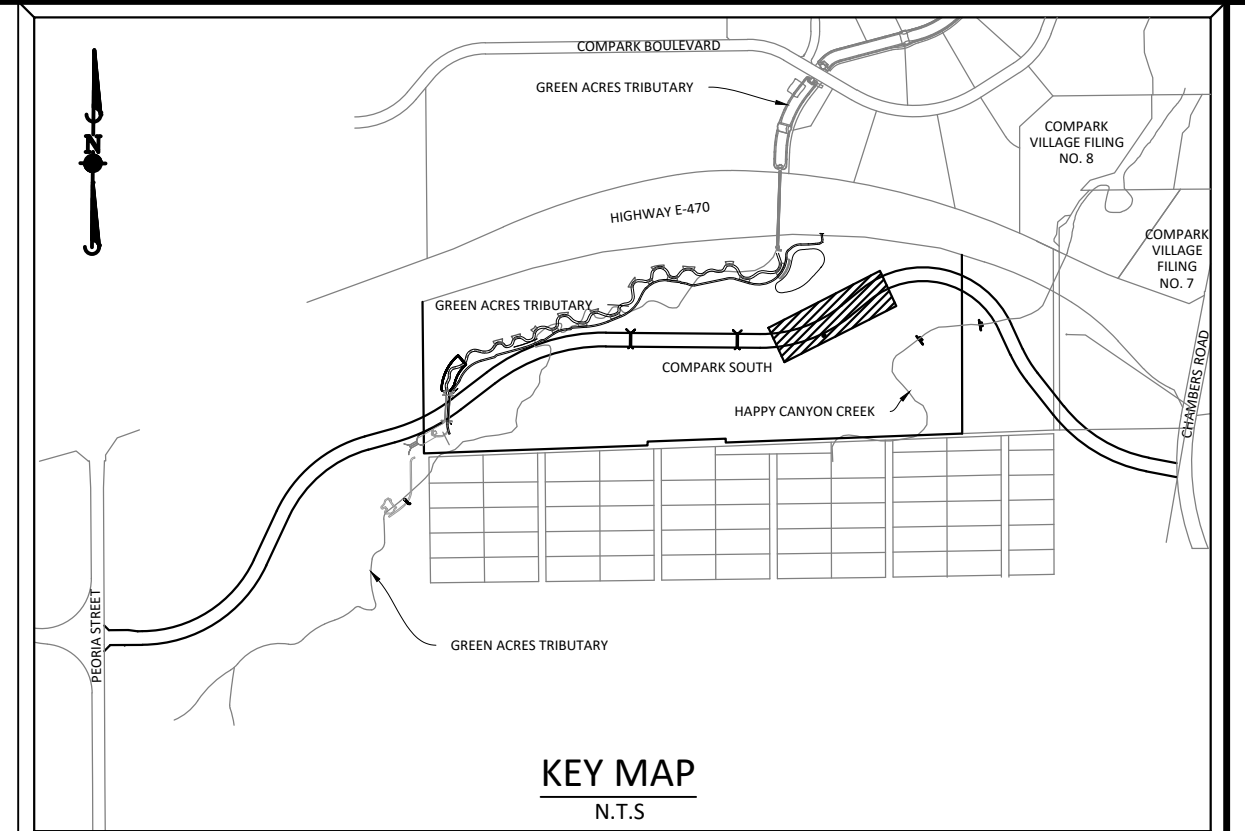
PROFESSIONAL ENGINEER
 37642
 10-14-2021
 PROJ. MGR.: GTT
 PROJ. ASSOC.: ASD
 DRAWN BY: JMP
 DATE: 03/15/2021

SHEET
3 OF 33
 CLCPKC3

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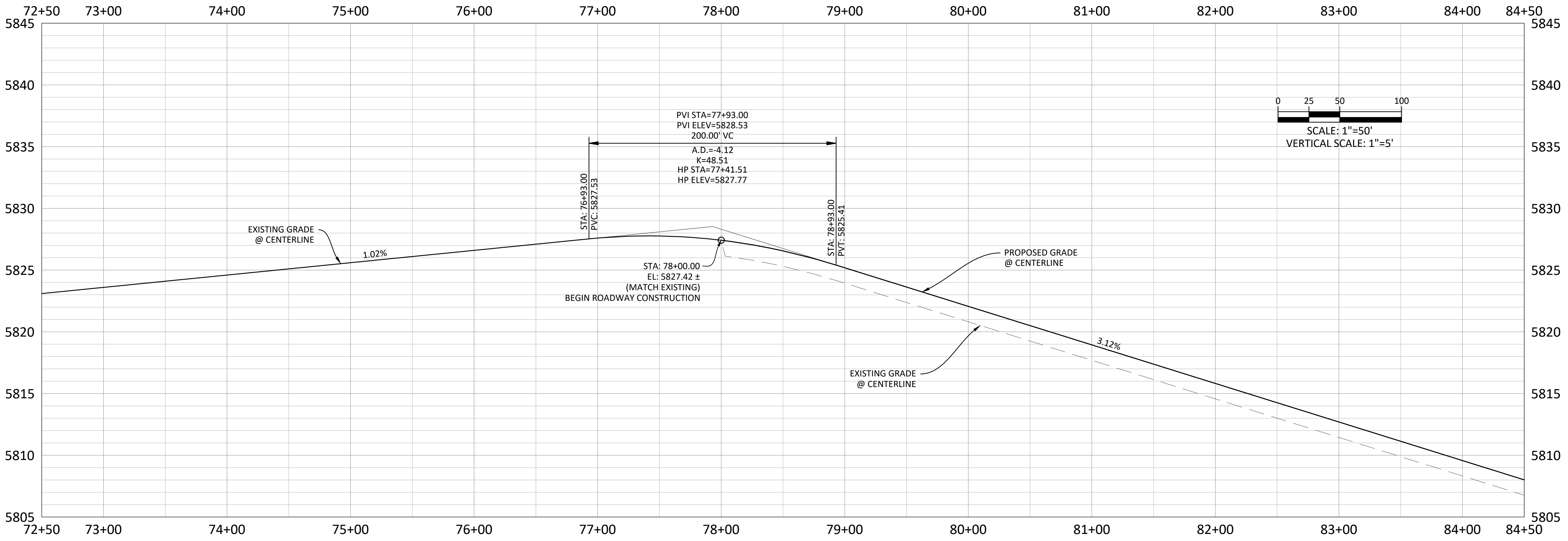
PLAN: BELFORD AVENUE



KEY MAP
N.T.S

SOURCE BENCHMARKS:
 DOUGLAS COUNTY BM 1.115010
 A DOUGLAS COUNTY GIS MONUMENT SET IN CONCRETE LOCATED APPROXIMATELY 130 FEET SOUTHWESTERLY OF THE CENTERLINE OF CHAMBERS ROAD AND 95 FEET NORTHWESTERLY OF THE CENTERLINE OF COMPARK BOULEVARD. ELEVATION = 5752.84 (NAVD 88)

- NOTES:**
- 1) REFER TO GENERAL NOTES ON SHEET 2 FOR ALL APPLICABLE CONSTRUCTION STANDARDS & MASTER LEGEND
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 - 3) REFER TO SHEET 28-30 FOR STREET AND CURB DETAILS. REFER TO SHEET 31-33 FOR STORM SEWER DETAILS.



PROFILE: BELFORD AVENUE

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DATE	REVISIONS

3. 10/14/2021 APPROVED PLANS
 2. 08/31/2021 THIRD SUBMITTAL - RESPOND TO TOP COMMENTS
 1. 06/18/2021 SECOND SUBMITTAL - RESPOND TO TOP COMMENTS

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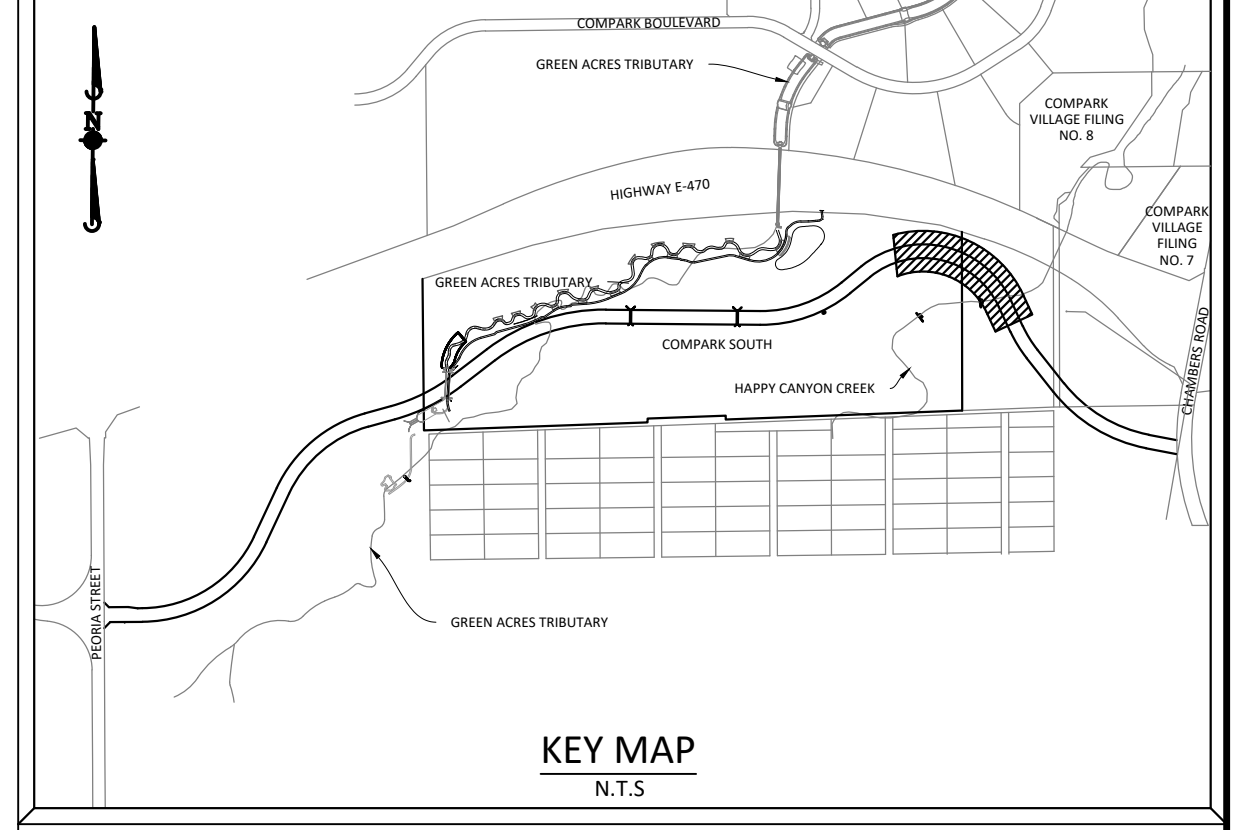
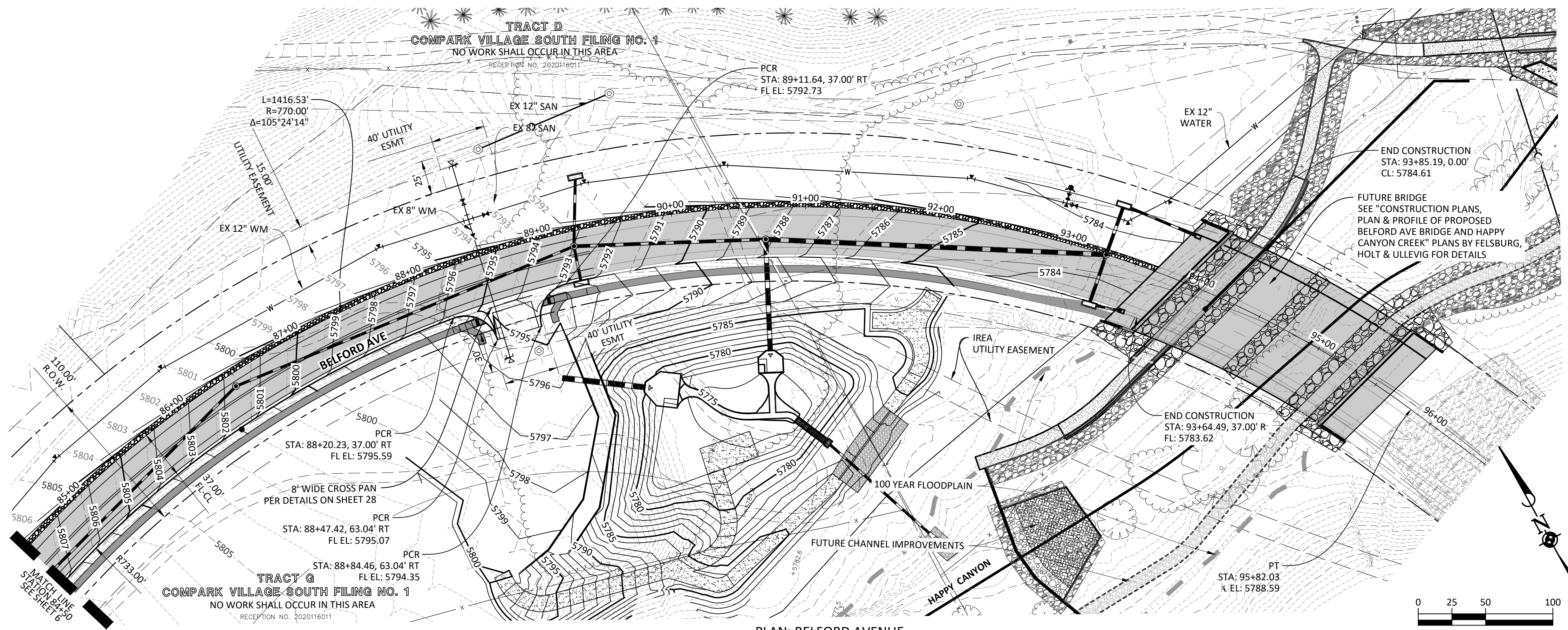
COMPARK VILLAGE SOUTH, F1 - BELFORD AVE SITE PLAN AMD
TOWN OF PARKER, COLORADO
BELFORD AVENUE - PLAN & PROFILE

COLORADO REGISTERED PROFESSIONAL ENGINEER
 T. H. HARRIS
 37642
 10-14-2021

PROJ. MGR.: GTI
 PROJ. ASSOC.: ASD
 DRAWN BY: JMP
 DATE: 03/15/2021

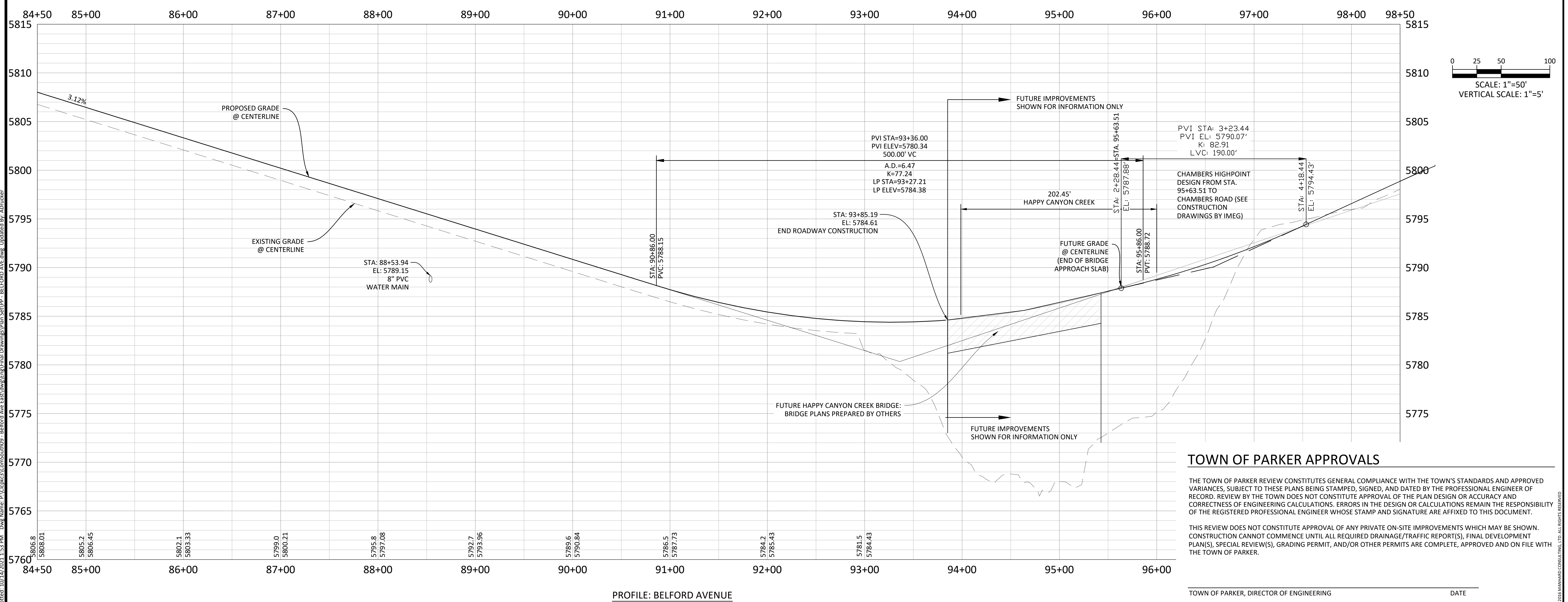
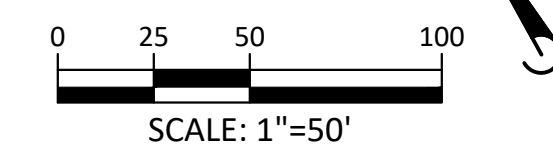
SHEET
6 OF 33
 CLCPK3

Plotted: 10/14/2021 1:53 PM. Dwg Name: P:\C\p\3\Compark3\Compark3\Final Drawings\Plan Set\PP - BELFORD AVE.dwg, Updated By: A.Drunder



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REVISIONS

NO.	DATE	DESCRIPTION
1	06/18/2021	SECOND SUBMITTAL - RESPOND TO TOP COMMENTS
2	08/31/2021	THIRD SUBMITTAL - RESPOND TO TOP COMMENTS
3	10/14/2021	APPROVED PLANS

COMPARK VILLAGE SOUTH, F1 - BELFORD AVE SITE PLAN AMD
TOWN OF PARKER, COLORADO
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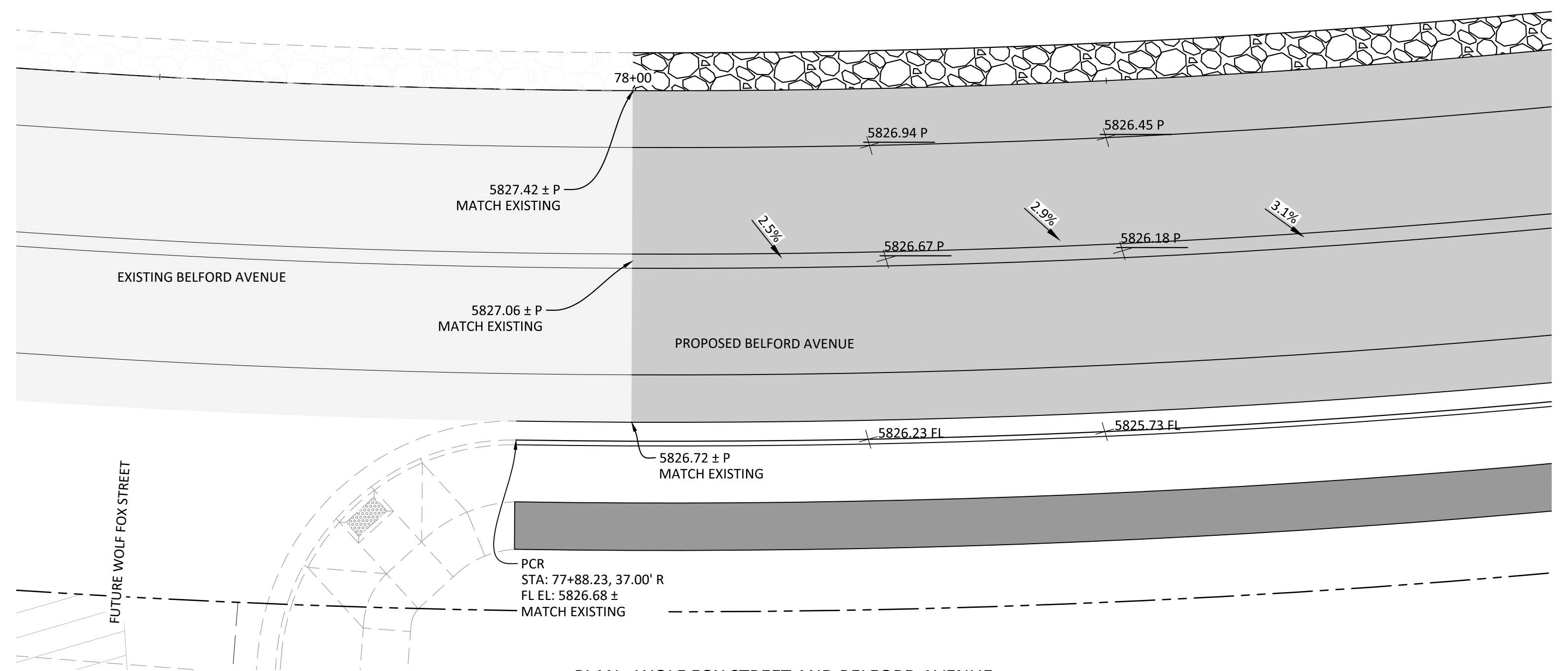
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 DRAWN BY: JMP
 DATE: 03/15/2021

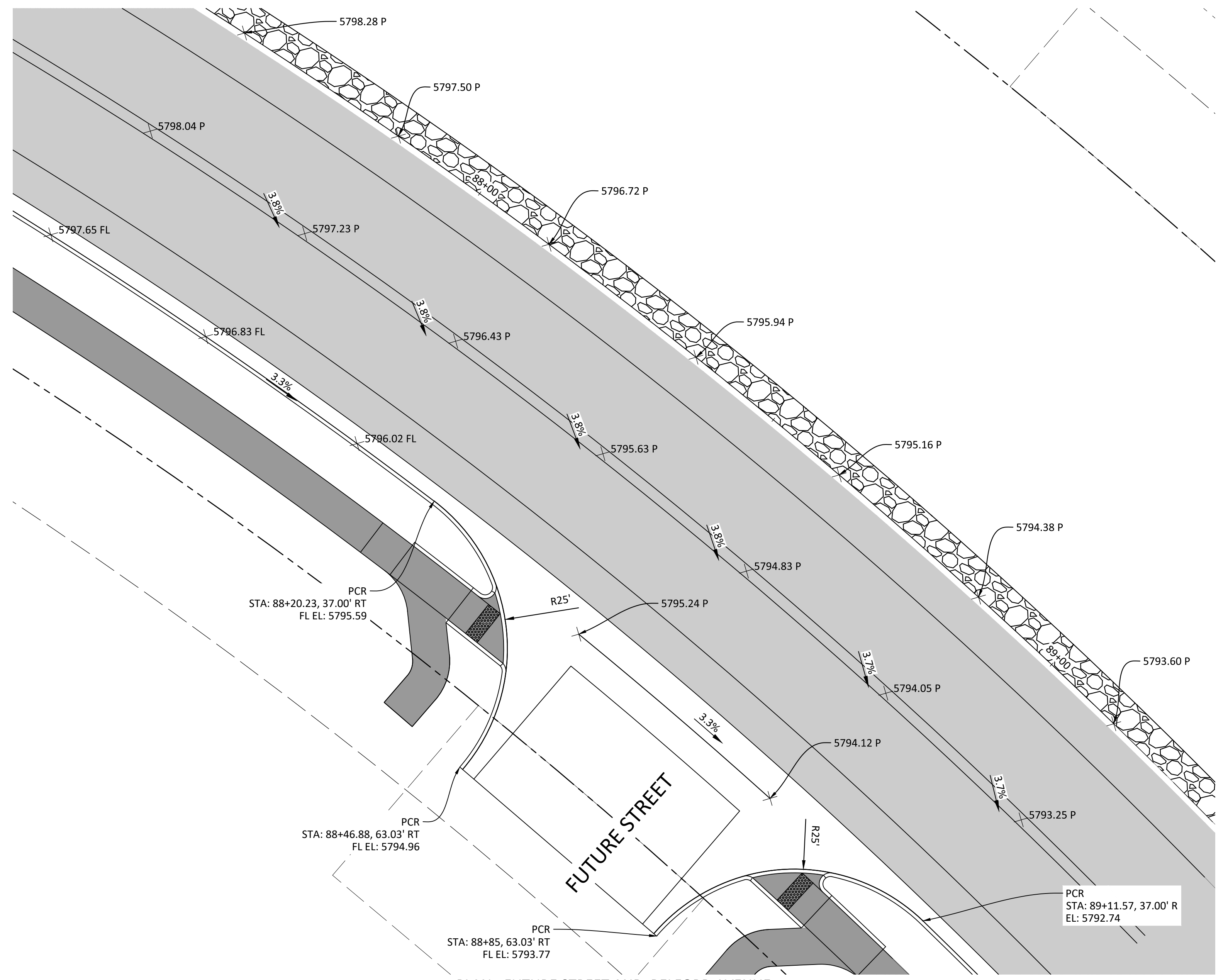
SHEET
7 OF 33
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Plotted: 10/14/2021 1:53 PM. Dwg Name: P:\C\p\3\Compark\09 - Belford Ave East\Drawings\Plan Set\YPP - BELFORD AVE.dwg, Updated By: Adunder

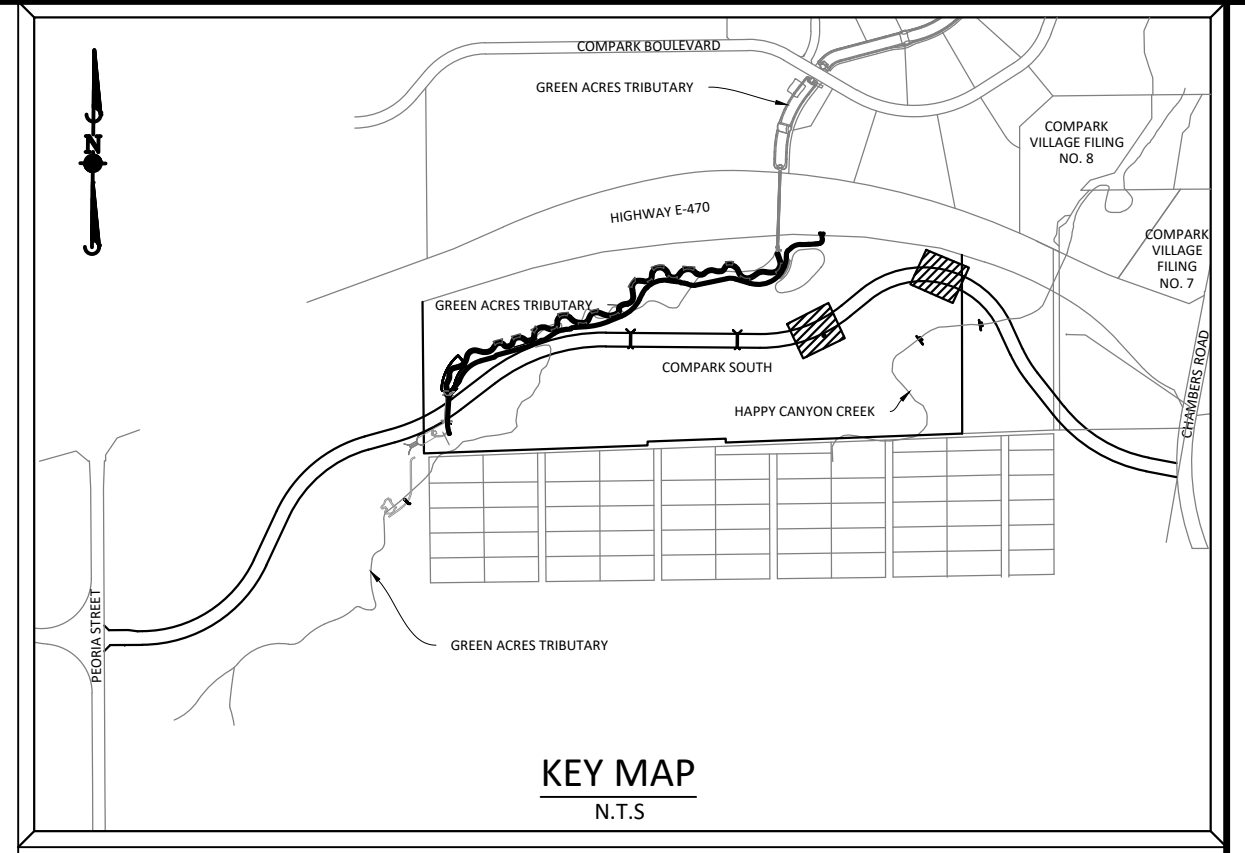
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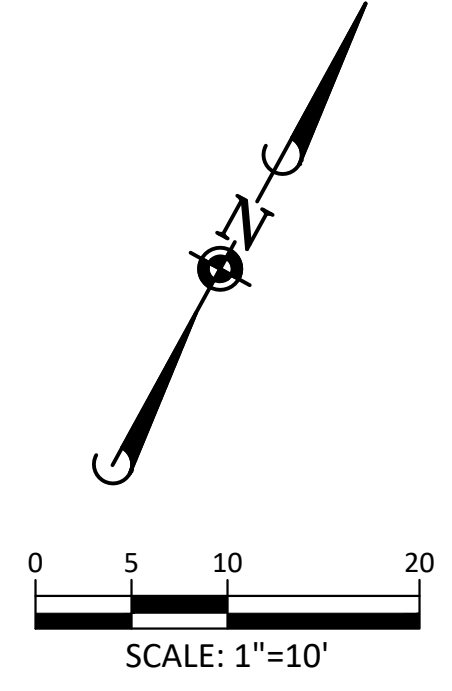
PLAN - WOLF FOX STREET AND BELFORD AVENUE



PLAN - FUTURE STREET AND BELFORD AVENUE



SOURCE BENCHMARKS:
 DOUGLAS COUNTY BM 1.115010
 A DOUGLAS COUNTY GIS MONUMENT SET IN CONCRETE LOCATED APPROXIMATELY 130 FEET
 SOUTHWESTERLY OF THE CENTERLINE OF CHAMBERS ROAD AND 95 FEET NORTHWESTERLY OF
 THE CENTERLINE OF COMPARK BOULEVARD. ELEVATION = 5752.84 (NAVD 88)



DATE	REVISIONS
10/14/2021	APPROVED PLANS
08/31/2021	THIRD SUBMITTAL - RESPOND TO TOP COMMENTS
06/18/2021	SECOND SUBMITTAL - RESPOND TO TOP COMMENTS

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COMPARK VILLAGE SOUTH, F1 - BELFORD AVE SITE PLAN AMD
TOWN OF PARKER, COLORADO
INTERSECTION DETAILS

PROFESSIONAL ENGINEER
 T. HUNT
 37642
 10-14-2021

PROJ. MGR.: GTT
 PROJ. ASSOC.: ASD
 DRAWN BY: JMP
 DATE: 03/15/2021

SHEET
8 OF 33
 CLCPKC3

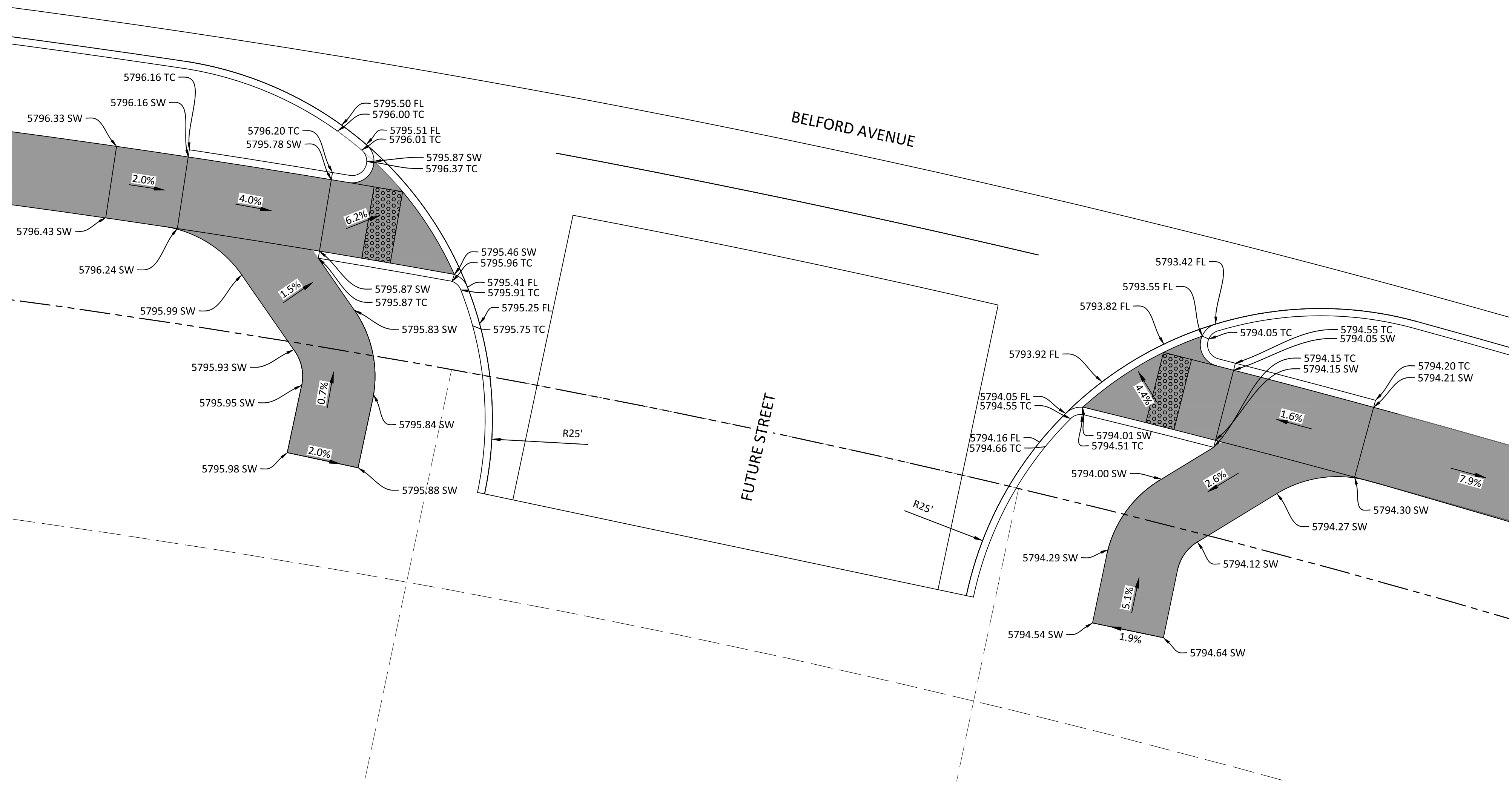
TOWN OF PARKER APPROVALS

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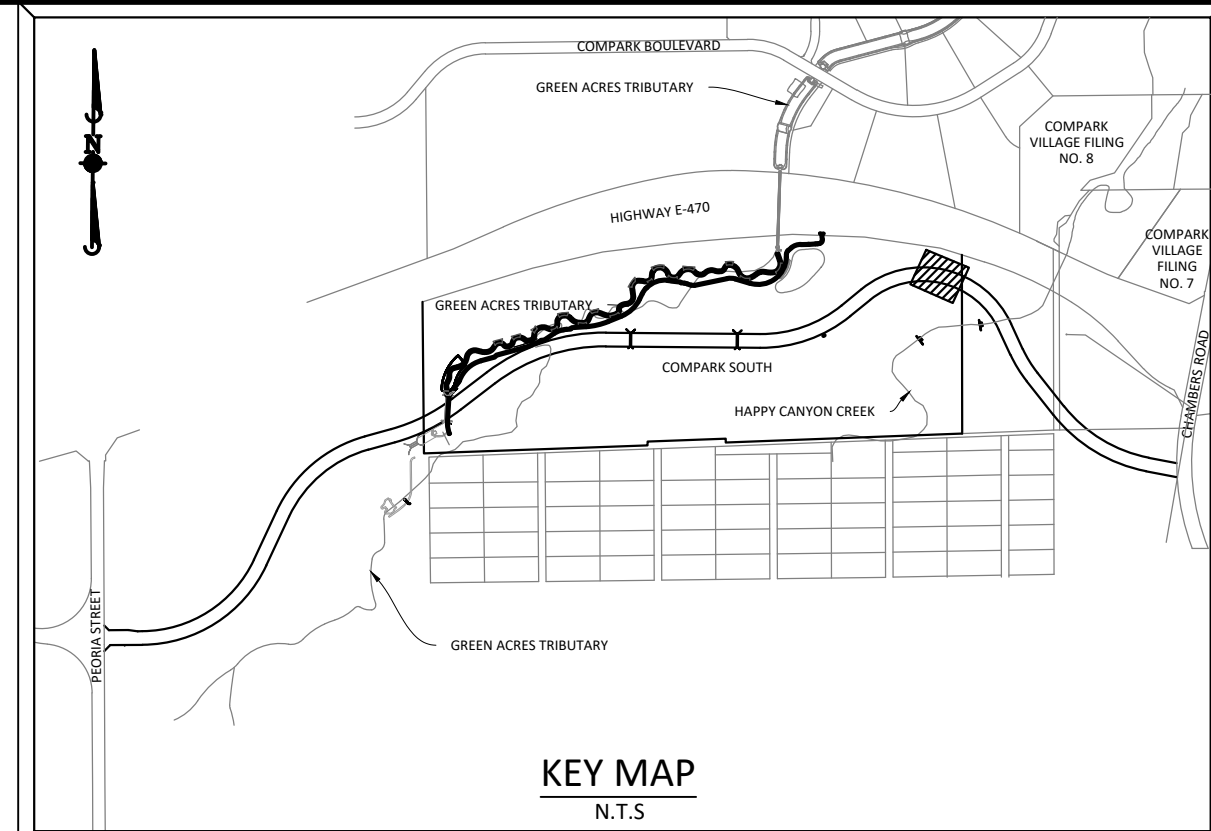
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Plotted: 10/14/2021 1:56 PM. Dwg Name: P:\C\pk3\ComSouth09 - Belford Ave East\Drawings\Plan Set\CURB RAMP.dwg. Updated By: ADunker

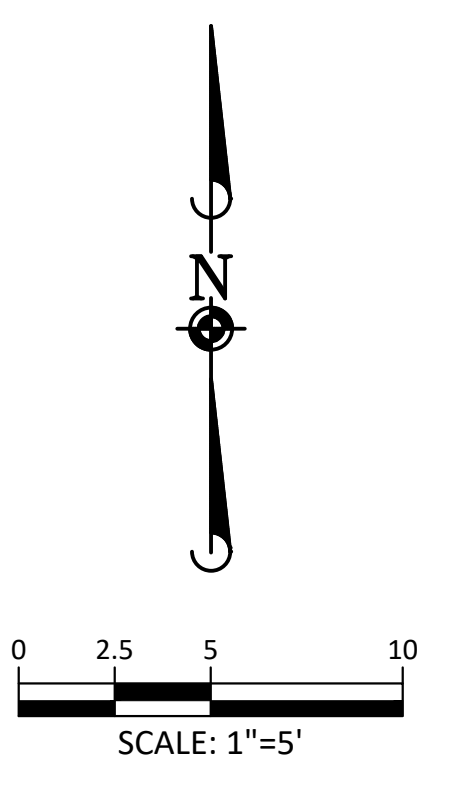


PLAN - FUTURE STREET AND BELFORD AVENUE



KEY MAP
N.T.S

SOURCE BENCHMARKS:
DOUGLAS COUNTY BM 1.115010
A DOUGLAS COUNTY GIS MONUMENT SET IN CONCRETE LOCATED APPROXIMATELY 130 FEET
SOUTHWESTERLY OF THE CENTERLINE OF CHAMBERS ROAD AND 95 FEET NORTHWESTERLY OF
THE CENTERLINE OF COMPARK BOULEVARD. ELEVATION = 5752.84 (NAVD 88)



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TOWN OF PARKER, DIRECTOR OF ENGINEERING

DATE

DATE	REVISIONS
1	06-18-2021 SECOND SUBMITTAL - RESPOND TO TOP COMMENTS
2	08-31-2021 THIRD SUBMITTAL - RESPOND TO TOP COMMENTS
3	10-14-2021 APPROVED PLANS

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COMPARK VILLAGE SOUTH, F1 - BELFORD AVE SITE PLAN AMD
TOWN OF PARKER, COLORADO
CURB RAMP DETAIL

PROFESSIONAL ENGINEER
37642
10-14-2021
PROJ. MGR.: GTT
PROJ. ASSOC.: ASD
DRAWN BY: JMP
DATE: 03/15/2021
SHEET
9 OF 33
CLCPKC3

TRACT C
COMPARK VILLAGE SOUTH FILING NO. 1
NO WORK SHALL OCCUR IN THIS AREA
RECEPTION NO. 202016011

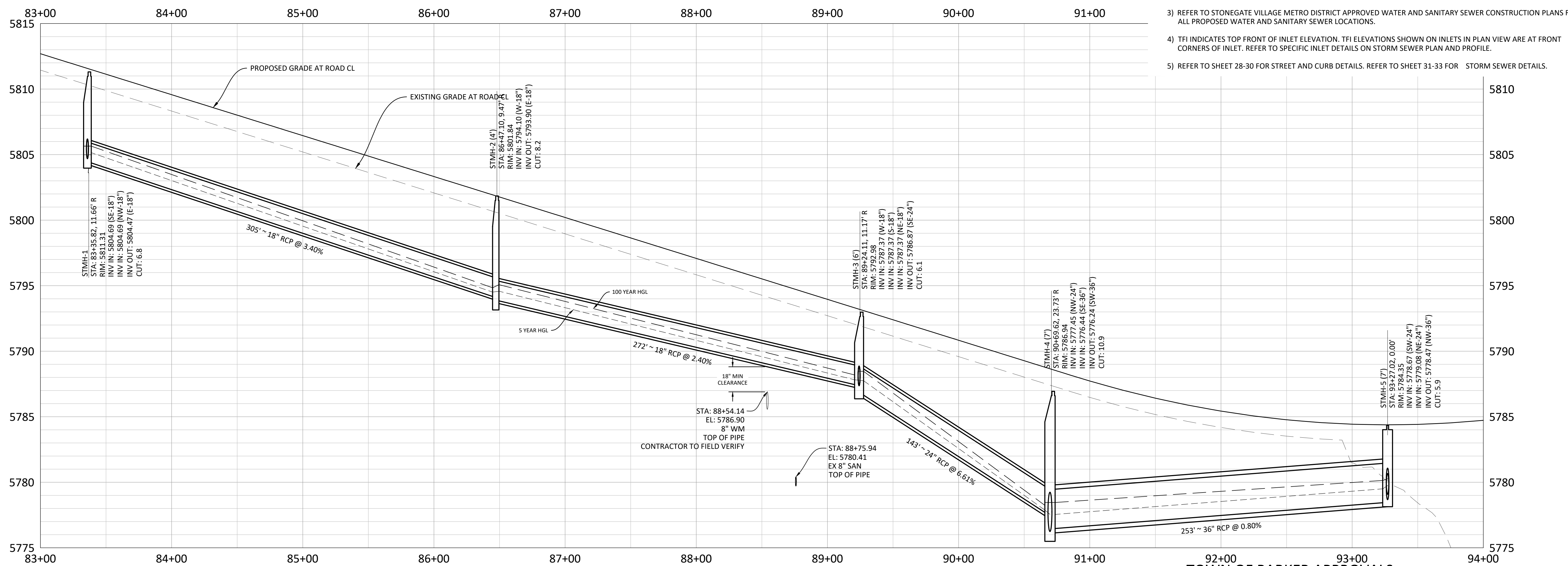
TRACT G
COMPARK VILLAGE SOUTH FILING NO. 1
NO WORK SHALL OCCUR IN THIS AREA
RECEPTION NO. 202016011

BELFORD AVENUE STORM - PLAN

SCALE: 1"=40'
VERTICAL SCALE: 1"=4'

NOTES:

- 1) REFER TO GENERAL NOTES ON SHEET 2 FOR ALL APPLICABLE CONSTRUCTION STANDARDS & MASTER LEGEND
- 2) ALL STATIONING IS CENTERLINE UNLESS OTHERWISE NOTED. REFER TO FINAL PLAT FOR RIGHT-OF-WAY AND CENTERLINE DIMENSIONS AND HORIZONTAL CONTROL.
- 3) REFER TO STONEGATE VILLAGE METRO DISTRICT APPROVED WATER AND SANITARY SEWER CONSTRUCTION PLANS FOR ALL PROPOSED WATER AND SANITARY SEWER LOCATIONS.
- 4) TFI INDICATES TOP FRONT OF INLET ELEVATION. TFI ELEVATIONS SHOWN ON INLETS IN PLAN VIEW ARE AT FRONT CORNERS OF INLET. REFER TO SPECIFIC INLET DETAILS ON STORM SEWER PLAN AND PROFILE.
- 5) REFER TO SHEET 28-30 FOR STREET AND CURB DETAILS. REFER TO SHEET 31-33 FOR STORM SEWER DETAILS.



BELFORD AVENUE STORM - PROFILE
VERTICAL SCALE: 1" = 4'

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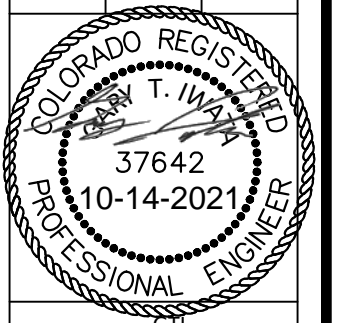
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TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

DATE	REVISIONS
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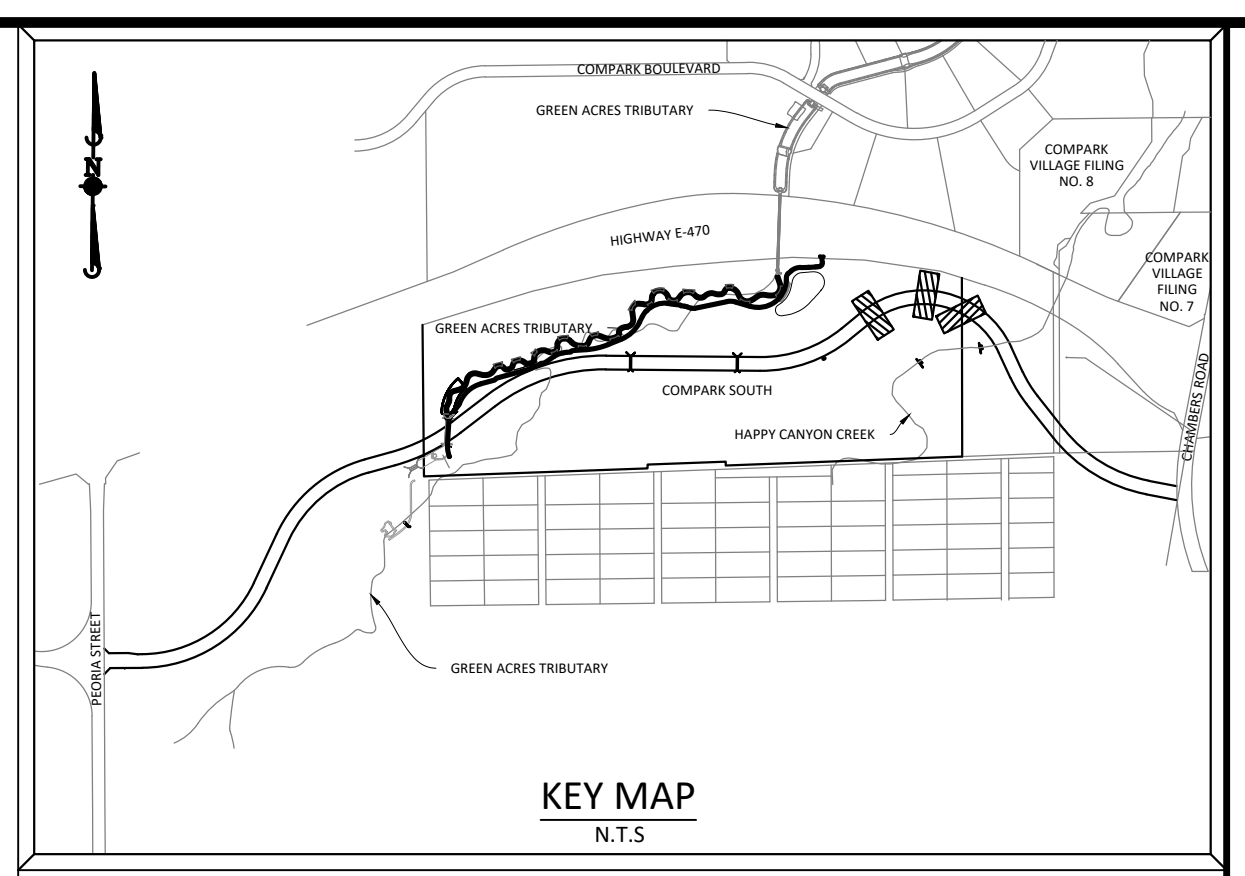
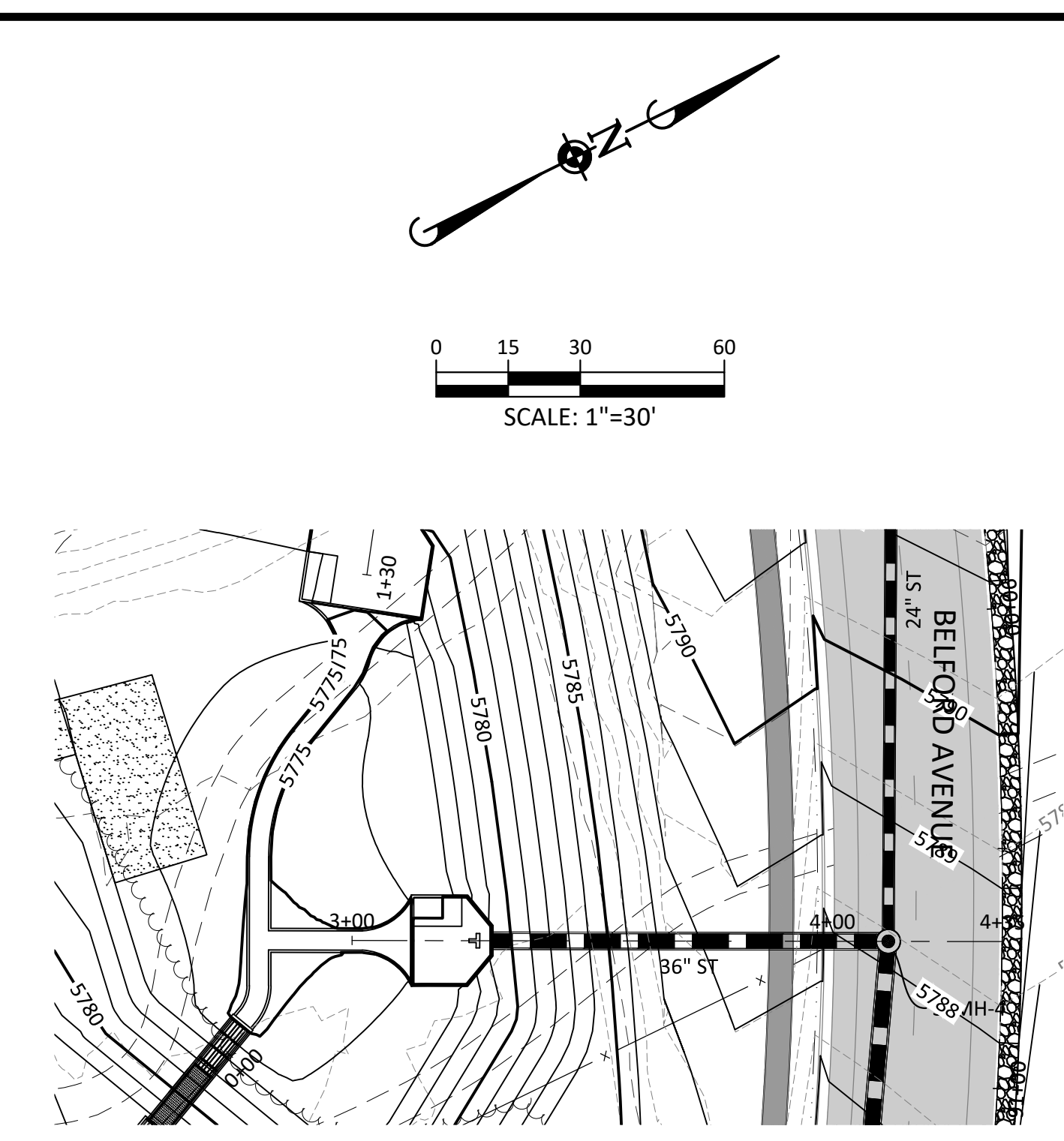
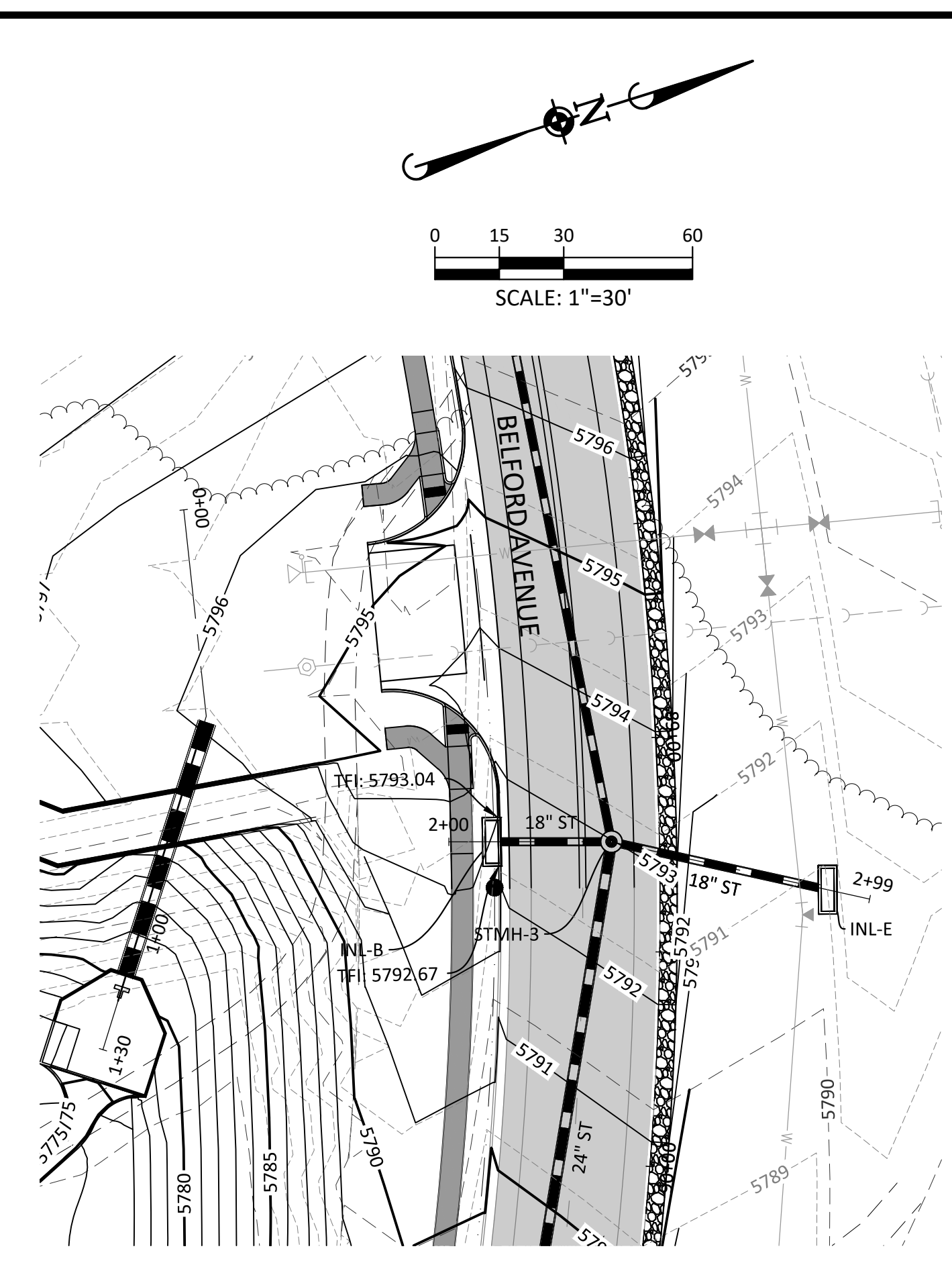
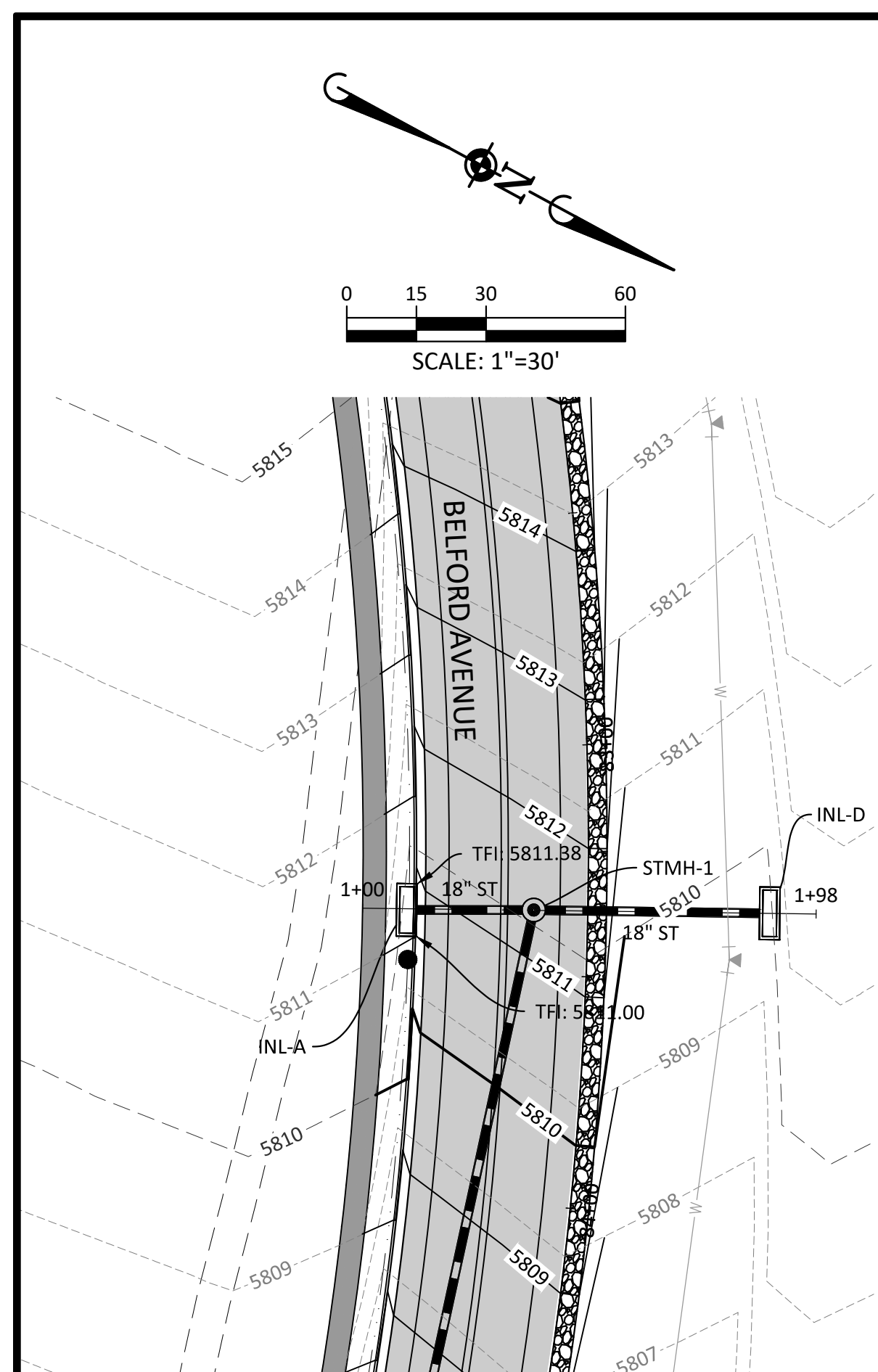
COMPARK VILLAGE SOUTH, F1 - BELFORD AVE SITE PLAN AMD
TOWN OF PARKER, COLORADO
BELFORD AVENUE STORM PLAN & PROFILE



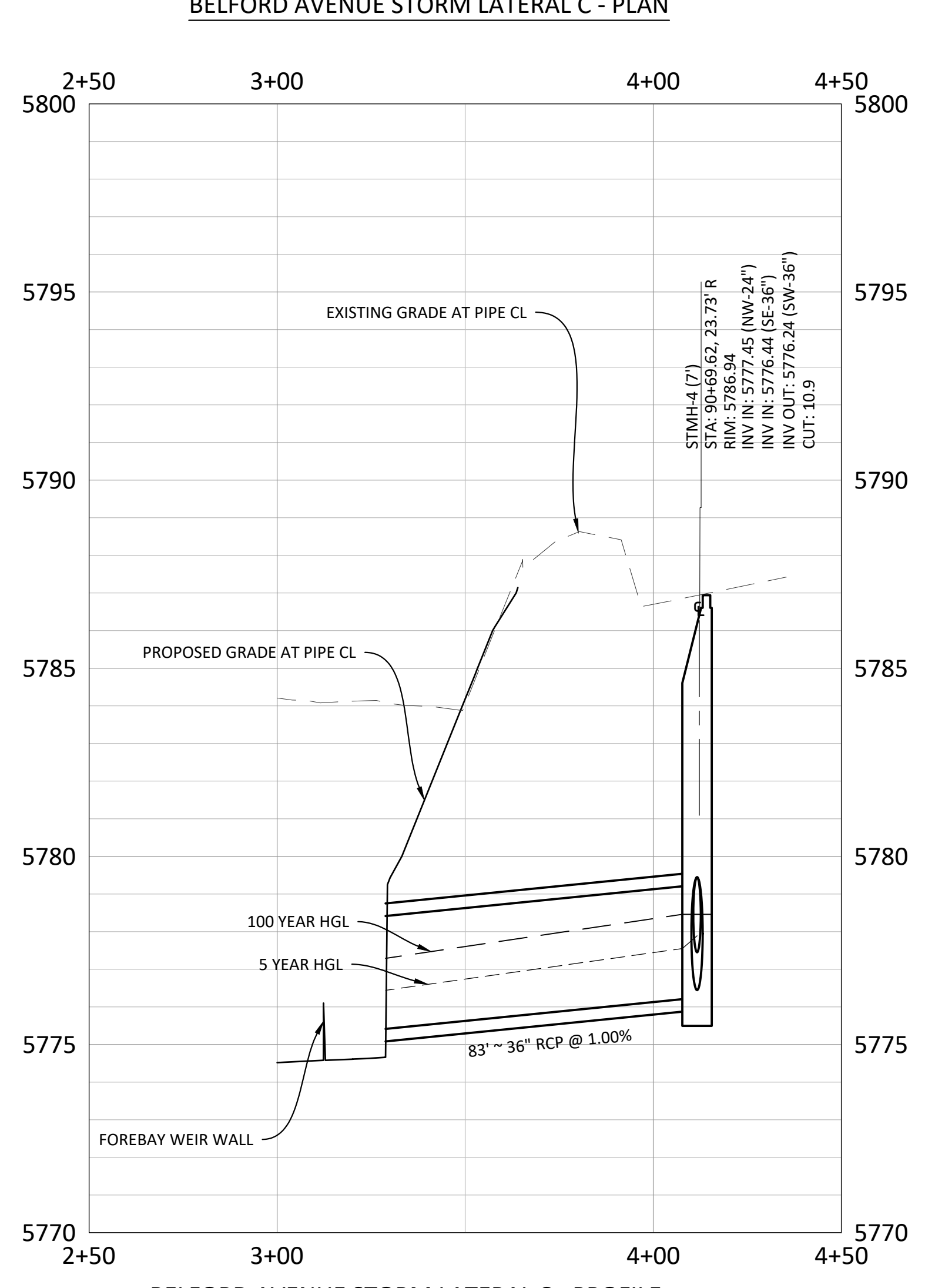
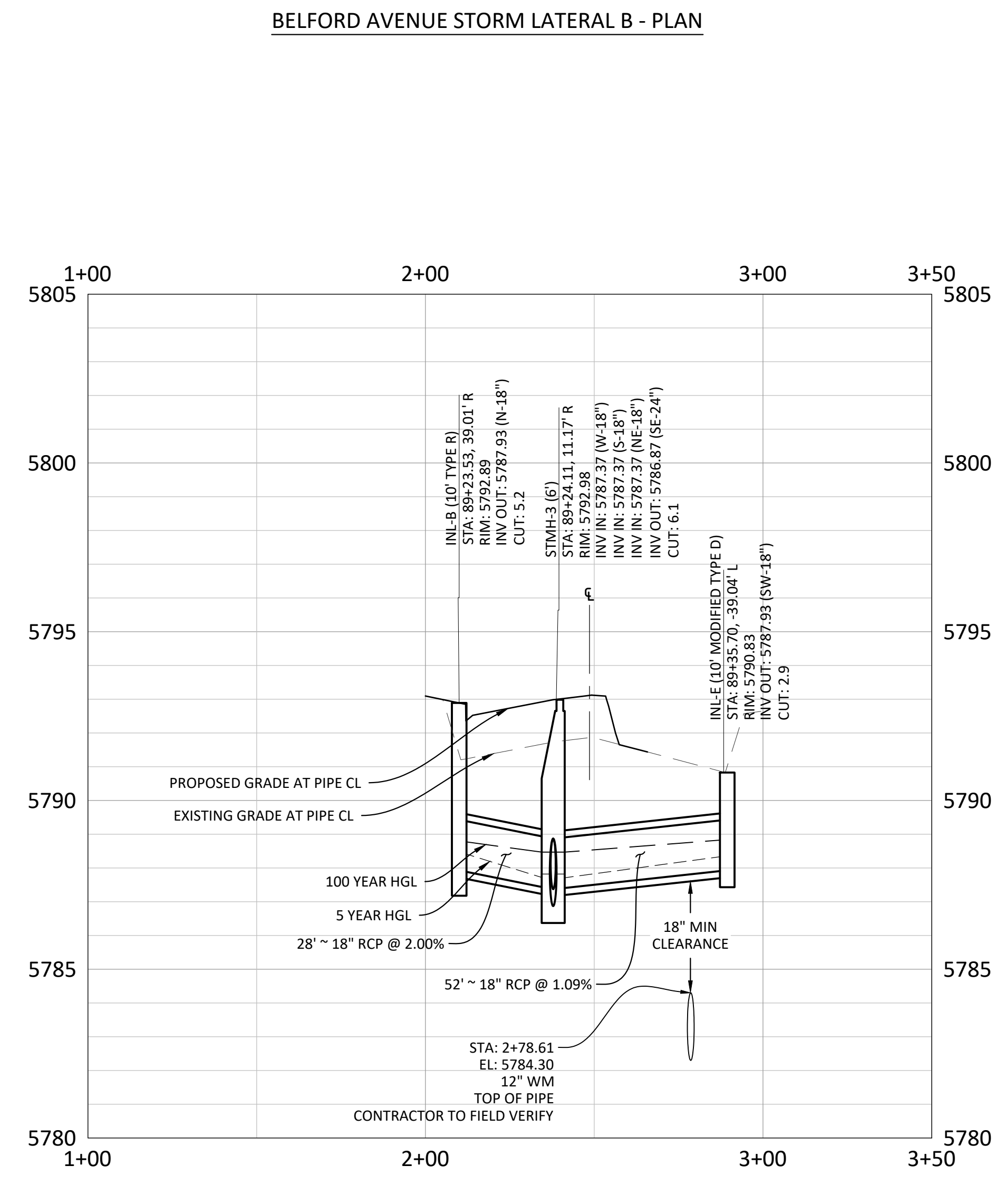
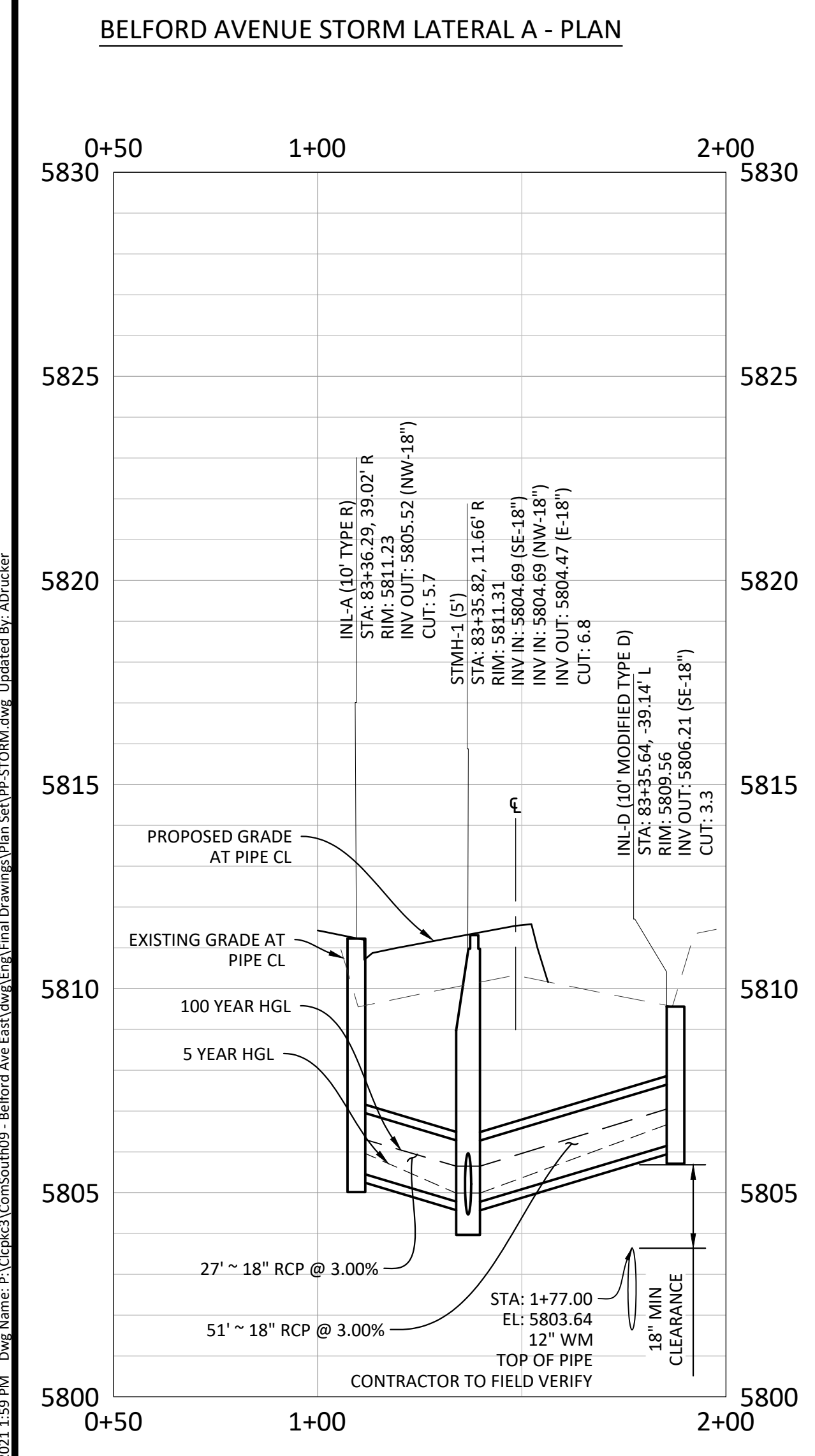
PROJ. MGR.: GTT
PROJ. ASSOC.: ASD
DRAWN BY: JMP
DATE: 03/15/2021

SHEET
10 OF 33
CLCPK3

Plotted: 10/14/2021 1:58 PM. Dwg Name: P:\Cp\pk3\CompSouth09 - Belford Ave Storm.dwg, Updated By: ADrucker



SOURCE BENCHMARKS:
DOUGLAS COUNTY BM 1.115010
A DOUGLAS COUNTY GIS MONUMENT SET IN CONCRETE LOCATED APPROXIMATELY 130 FEET SOUTHWESTERLY OF THE CENTERLINE OF CHAMBERS ROAD AND 95 FEET NORTHWESTERLY OF THE CENTERLINE OF COMPARK BOULEVARD. ELEVATION = 5752.84 (NAVD 88)



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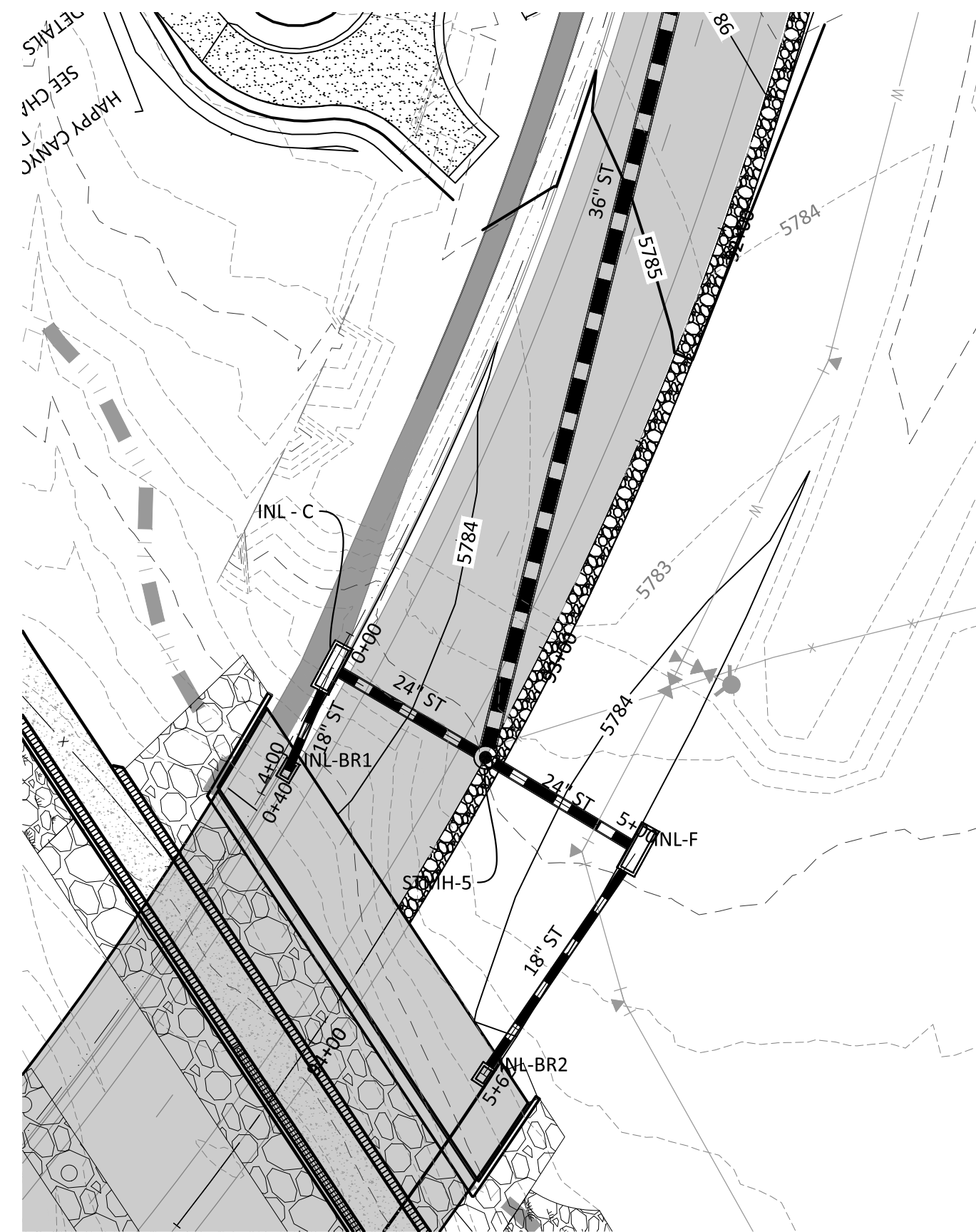
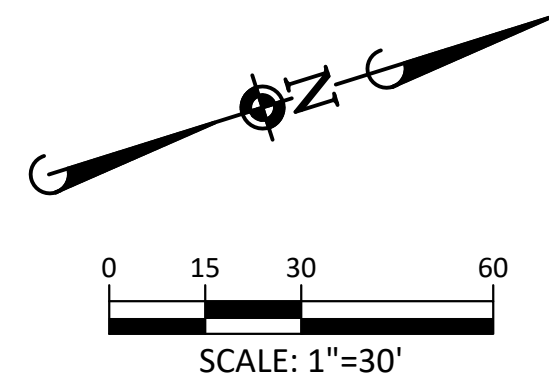
TOWN OF PARKER, COLORADO
BELFORD AVENUE STORM PLAN & PROFILE

COMPARK VILLAGE SOUTH, F1 - BELFORD AVE SITE PLAN AMD

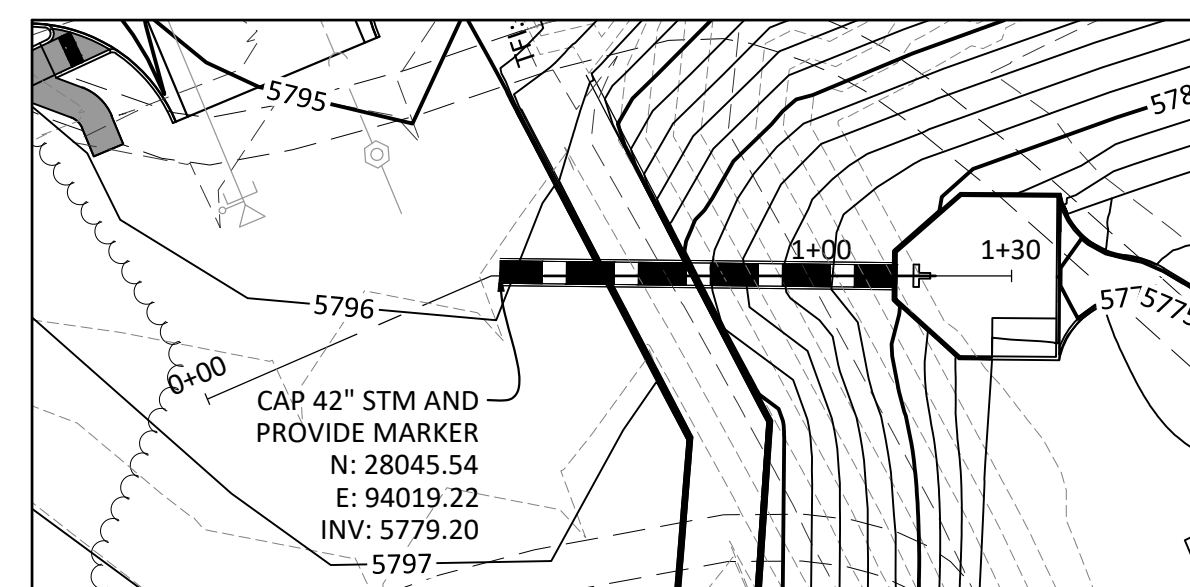
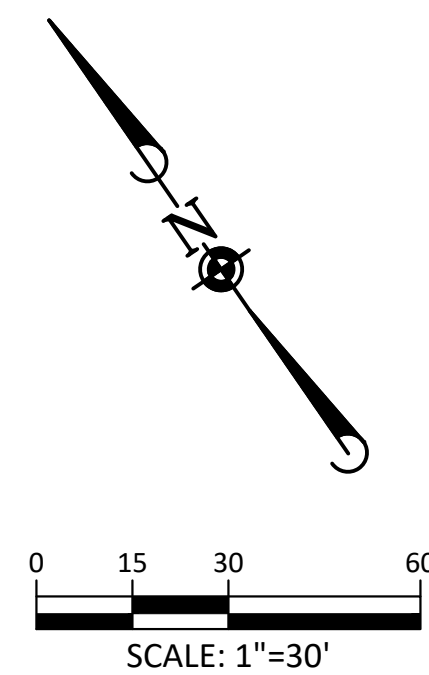
PROJ. MGR.: GTT
PROJ. ASSOC.: ASD
DRAWN BY: JMP
DATE: 03/15/2021

37642
10-14-2021
REGISTERED PROFESSIONAL ENGINEER

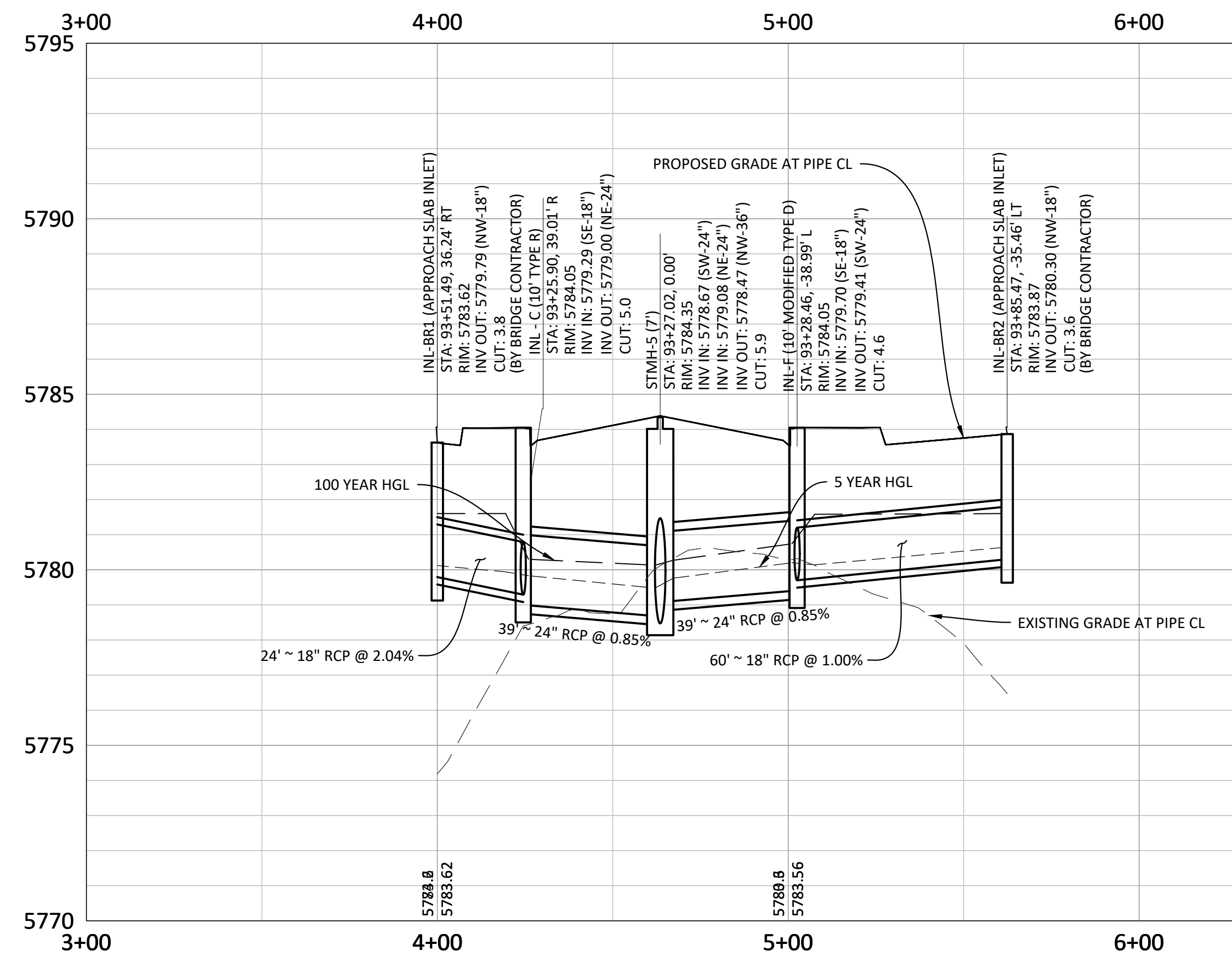
11 OF 33
CLCPK3



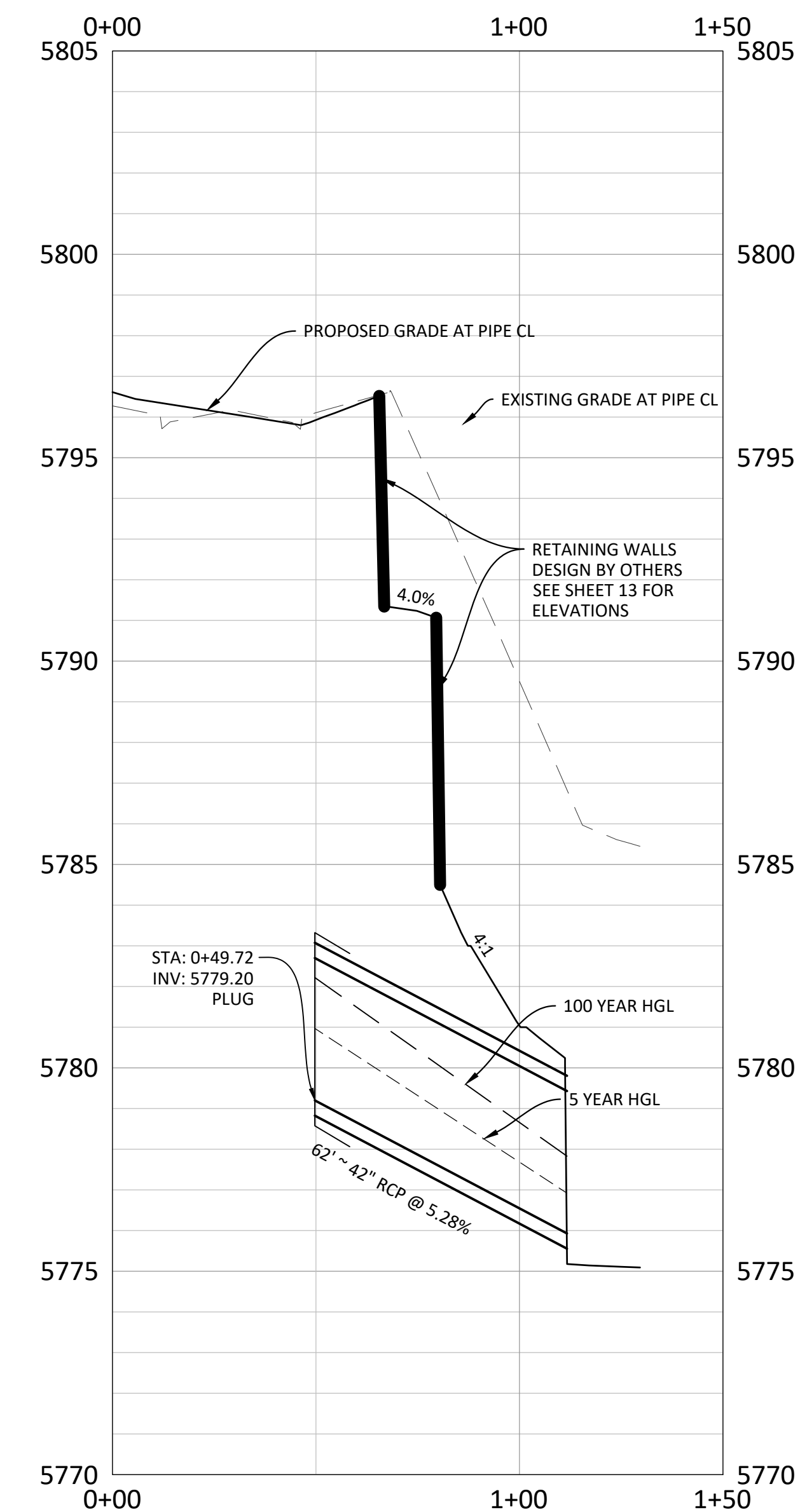
BELFORD AVENUE STORM LATERAL D - PLAN



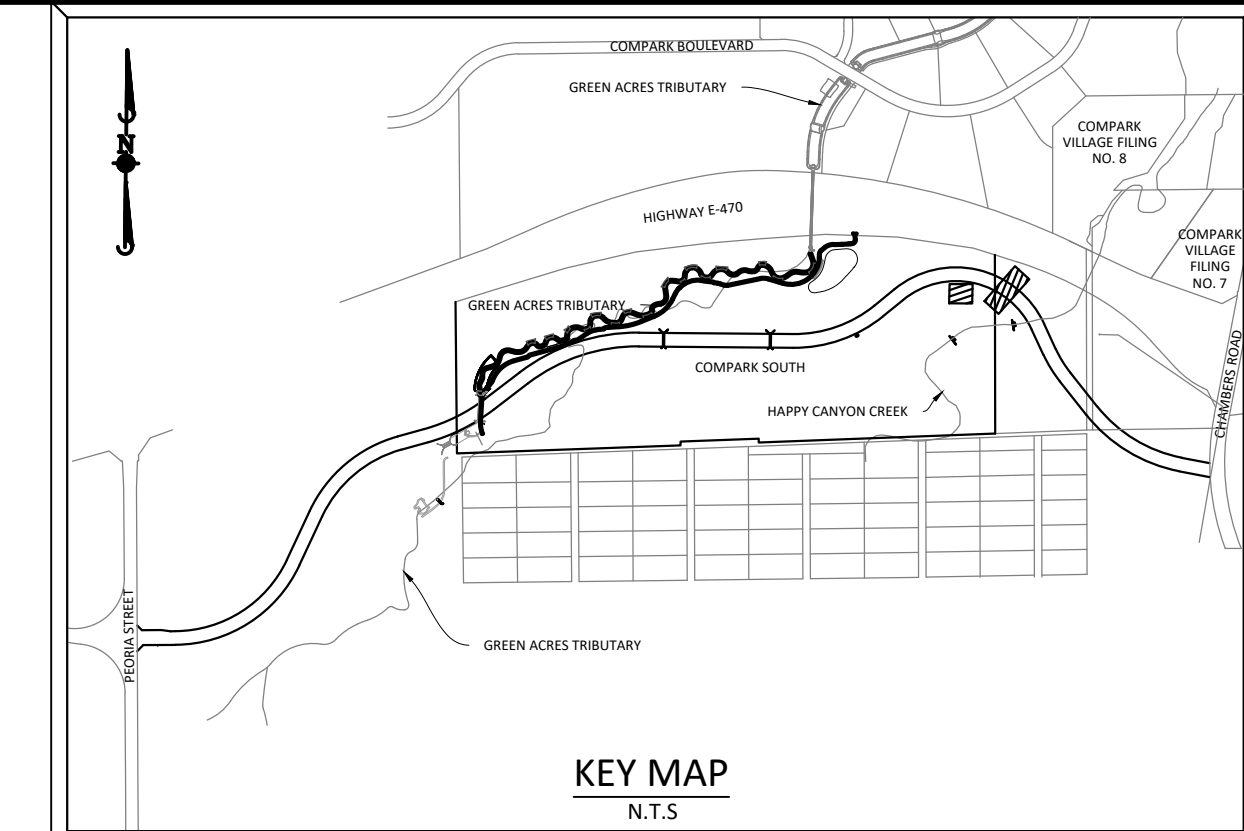
RESIDENTIAL STORM LATERAL - PLAN



BELFORD AVENUE STORM LATERAL D - PROFILE
VERTICAL SCALE: 1" = 3'



RESIDENTIAL STORM LATERAL - PROFILE
VERTICAL SCALE: 1" = 3'



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DATE	REVISIONS
10/14/2021	APPROVED PLANS
08/31/2021	THIRD SUBMITTAL - RESPOND TO TOP COMMENTS
06/18/2021	SECOND SUBMITTAL - RESPOND TO TOP COMMENTS

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TOWN OF PARKER, COLORADO
BELFORD AVENUE STORM PLAN & PROFILE

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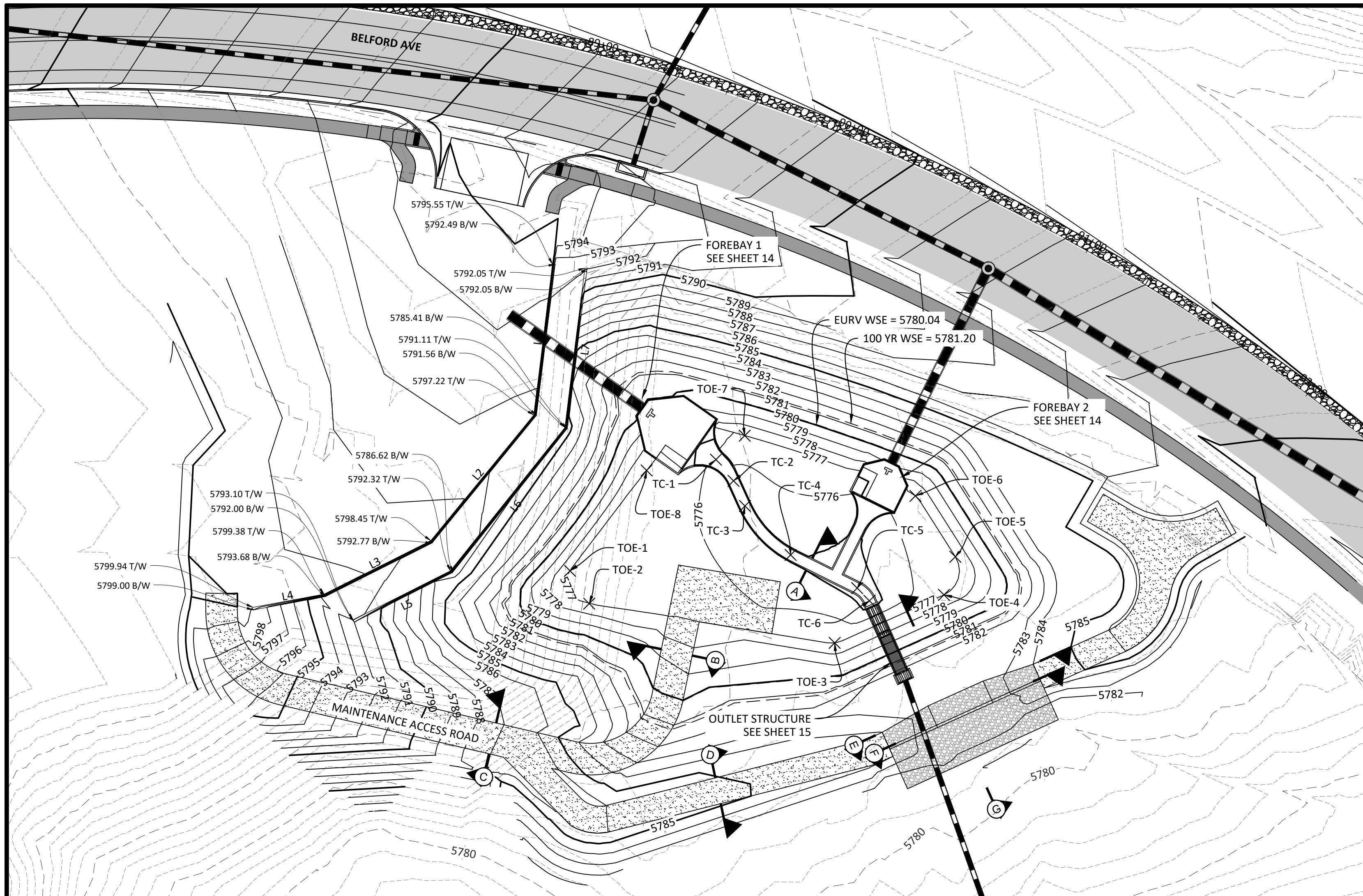
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PROJ. MGR.: GTT
PROJ. ASSOC.: ASD
DRAWN BY: JMP
DATE: 03/15/2021

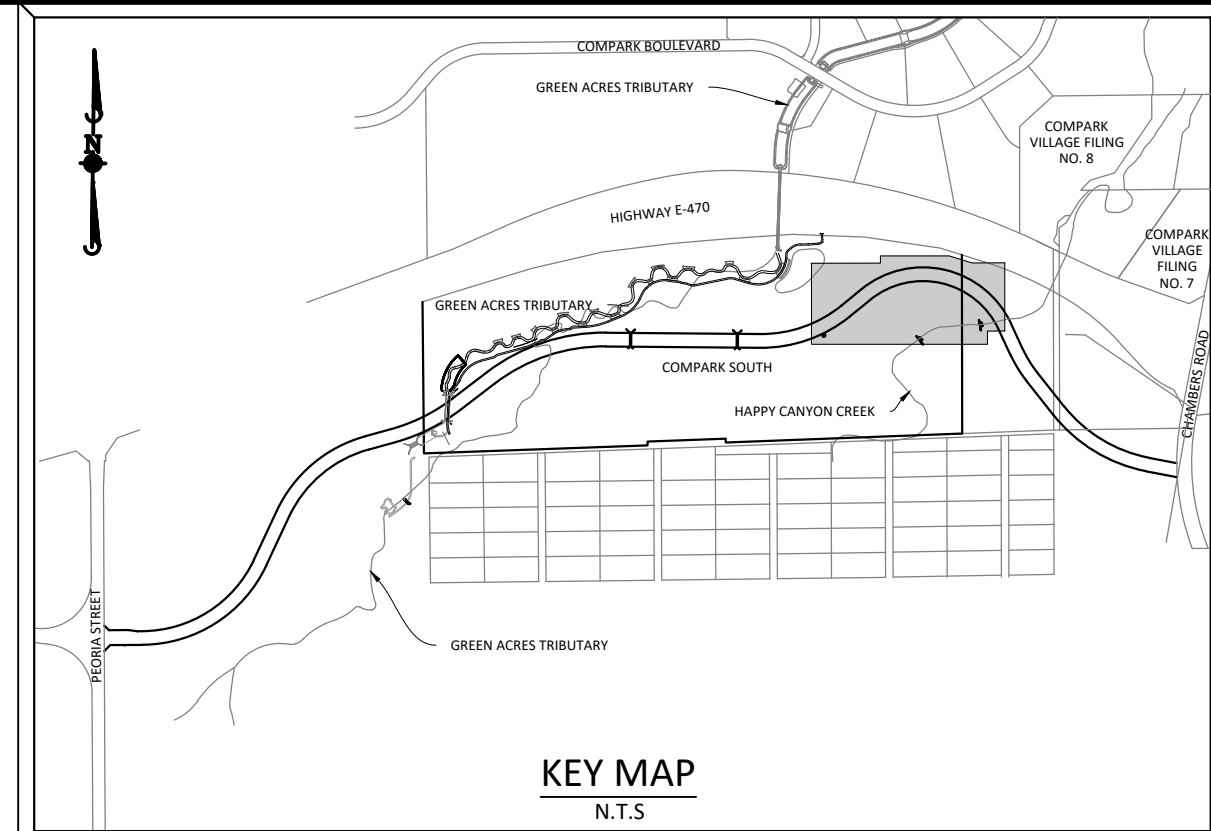
SHEET 12 OF 33
CLCPK3

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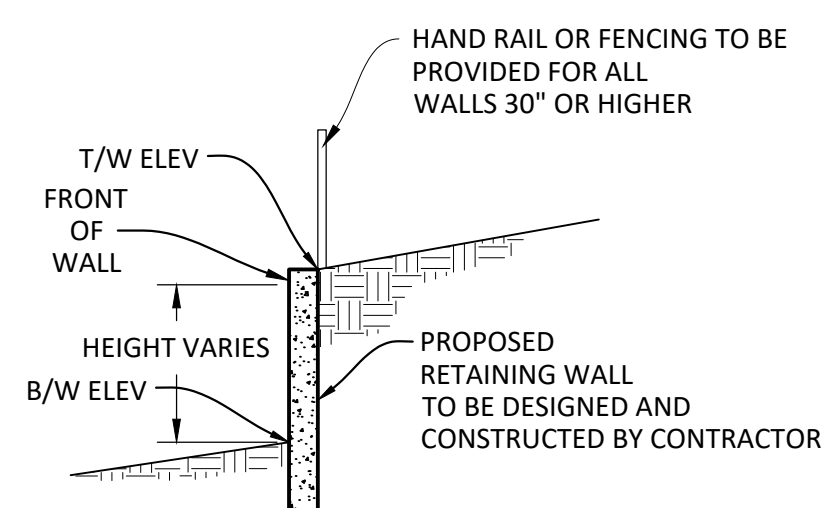
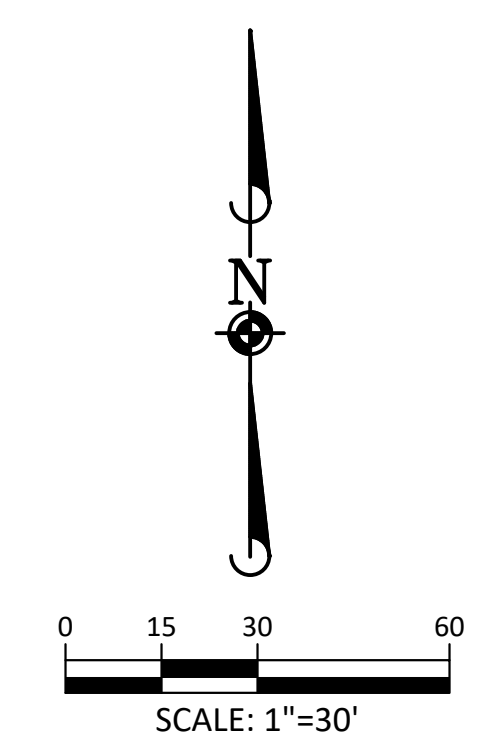
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FREQUENCY STORM	REQUIRED VOLUMES (FT ³ OR AC.-FT.)	RECORD DRAWING CALCULATIONS					
		CALC. VOL.	BY:	DATE	CALC. VOL.	BY:	DATE
EURV	0.98 AC.-FT.						
100-YEAR	1.39 AC.-FT.						



SOURCE BENCHMARKS:
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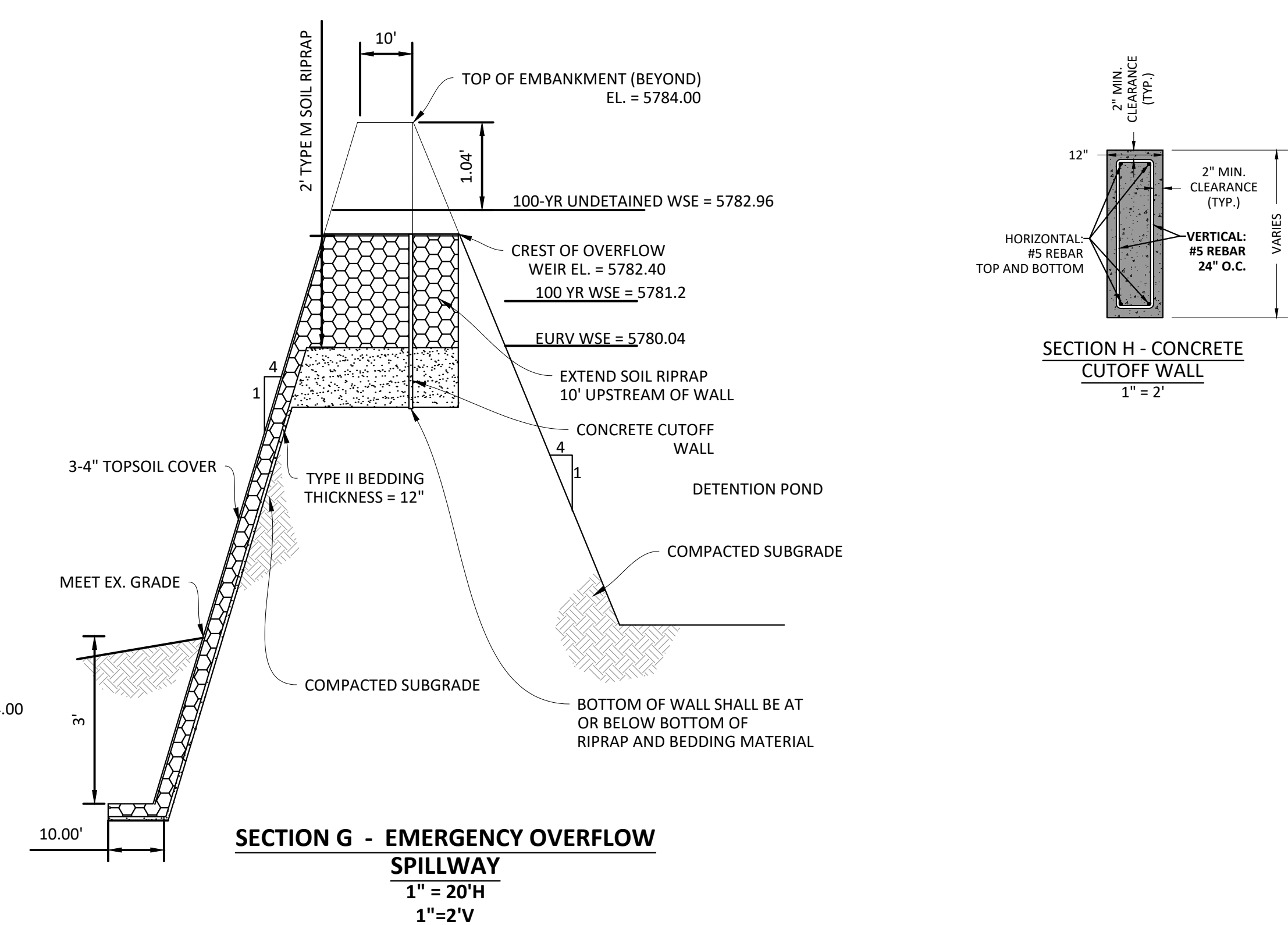
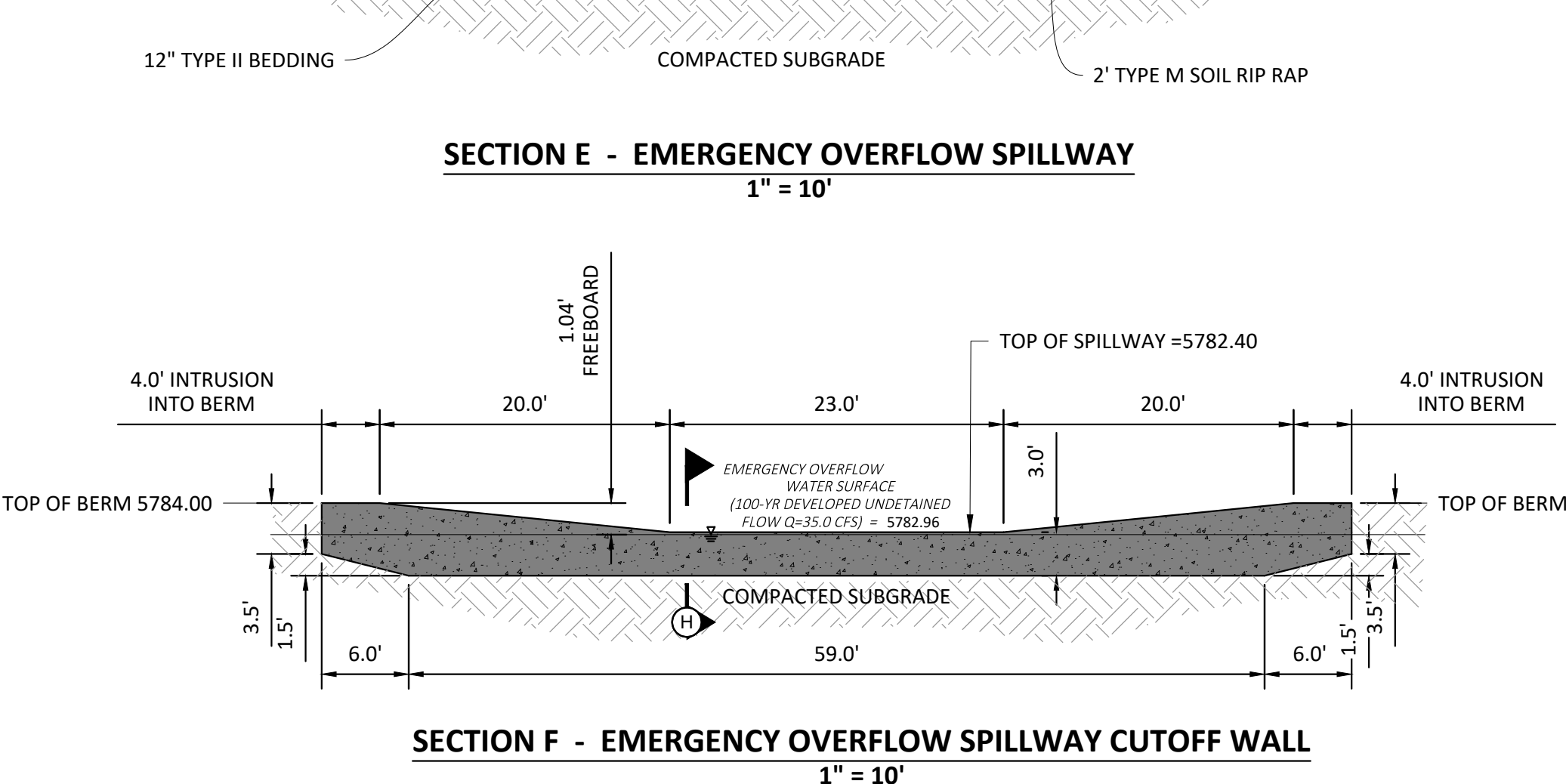
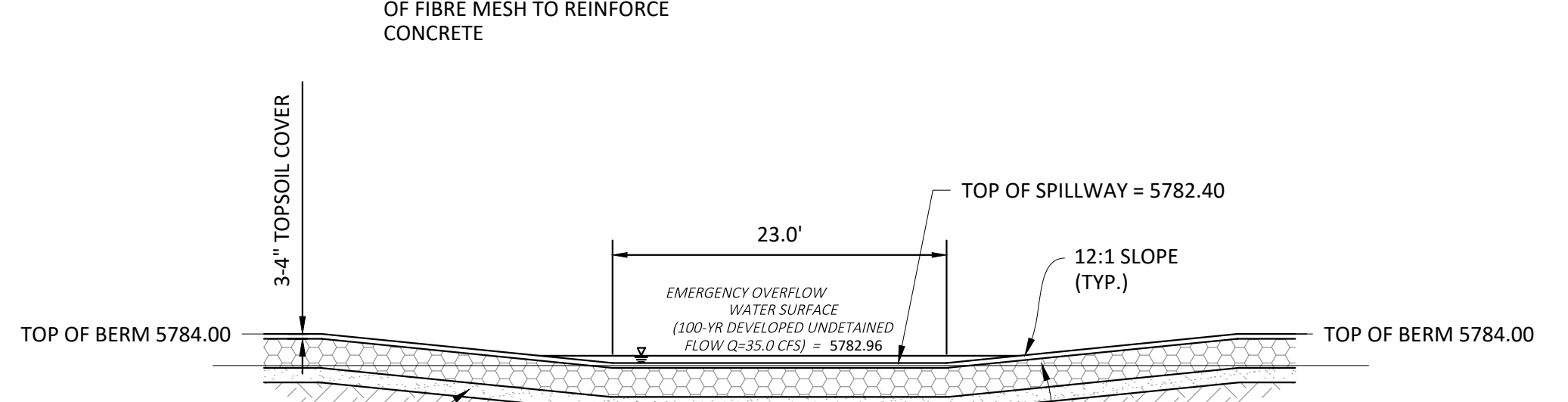
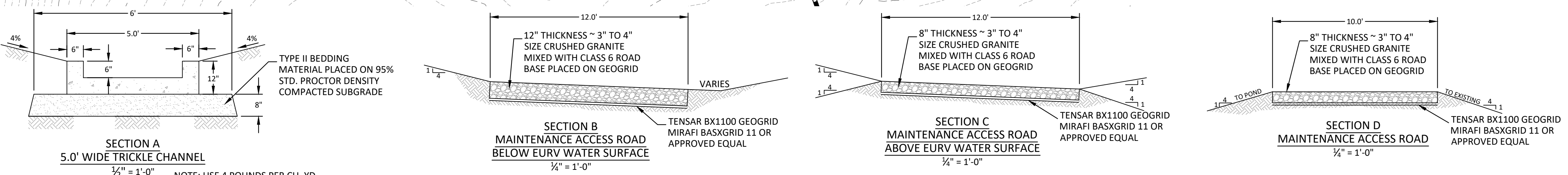
RET. WALL TABLE

TAG	LENGTH	DIRECTION
L1	57.80'	N07°04'11"E
L2	62.72'	N39°17'20"E
L3	45.40'	N63°21'16"E
L4	27.85'	N79°24'50"E
L5	41.83'	N63°13'29"E
L6	70.09'	N38°32'33"E
L7	61.31'	N07°04'11"E

LENGTH AND DIRECTION ARE AT FRONT OF WALL

Point Table

Point	Elevation	Northing	Easting	Description
TC-1	5774.96	27990.41	94097.62	FLOWLINE
TC-2	5774.90	27982.33	94104.32	FLOWLINE
TC-3	5774.85	27972.75	94108.67	FLOWLINE
TC-4	5774.70	27954.14	94126.04	FLOWLINE
TC-5	5774.55	27941.53	94151.35	FLOWLINE
TC-6	5774.51	27936.69	94156.02	FLOWLINE
TOE-1	5777.00	27948.11	94042.14	pond toe
TOE-2	5777.00	27935.63	94049.43	pond toe
TOE-3	5777.00	27920.69	94142.80	pond toe
TOE-4	5777.00	27938.96	94184.36	pond toe
TOE-5	5777.00	27953.44	94188.69	pond toe
TOE-6	5777.00	27976.59	94173.51	pond toe
TOE-7	5777.00	27999.51	94108.58	pond toe
TOE-8	5777.00	27986.28	94071.27	pond toe



- NOTE:**
- PRIOR TO FINAL TOP SOILING, SEEDING AND MULCHING, CONTRACTOR SHALL OBTAIN FINAL AS-BUILT VOLUME CHECK AND CERTIFICATION FROM THE ENGINEER. FAILURE TO DO SO WILL REQUIRE THE CONTRACTOR TO REMOVE AND REPLACE TOP SOIL MATERIALS AT HIS/HER EXPENSE.
 - REFER TO GENERAL NOTES ON SHEET 2 AND DETAILS ON FOLLOWING SHEETS
 - EMBANKMENT FILL SHALL MEET THE MINIMUM REQUIREMENTS OF TOWN OF PARKER AND THE GEOTECHNICAL REPORT. SEE GENERAL NOTES ON SHEET 2.
 - THIS WATER QUALITY BASIN HAS BEEN SIZED TO SERVE AS A TEMPORARY SEDIMENT BASIN DURING CONSTRUCTION. ONCE CONSTRUCTION IS COMPLETE, THE SPILLWAY SHALL BE LOWERED TO THE EURV WATER SURFACE ELEVATION, AS SHOWN ON THE DETAIL ON THIS SHEET.



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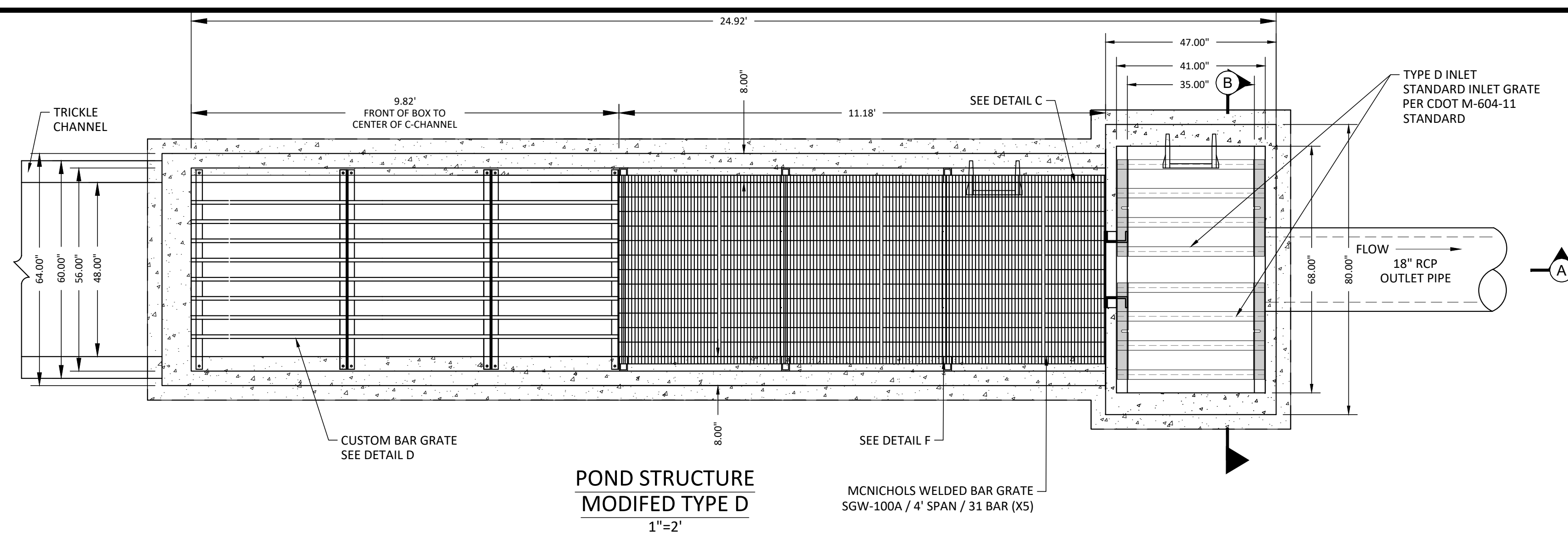
TOWN OF PARKER, COLORADO
 COMPARK VILLAGE SOUTH, F1 - BELFORD AVE SITE PLAN AMD
 DETENTION POND PLAN

811
 Know what's below. Call before you dig.

TOWN OF PARKER APPROVALS

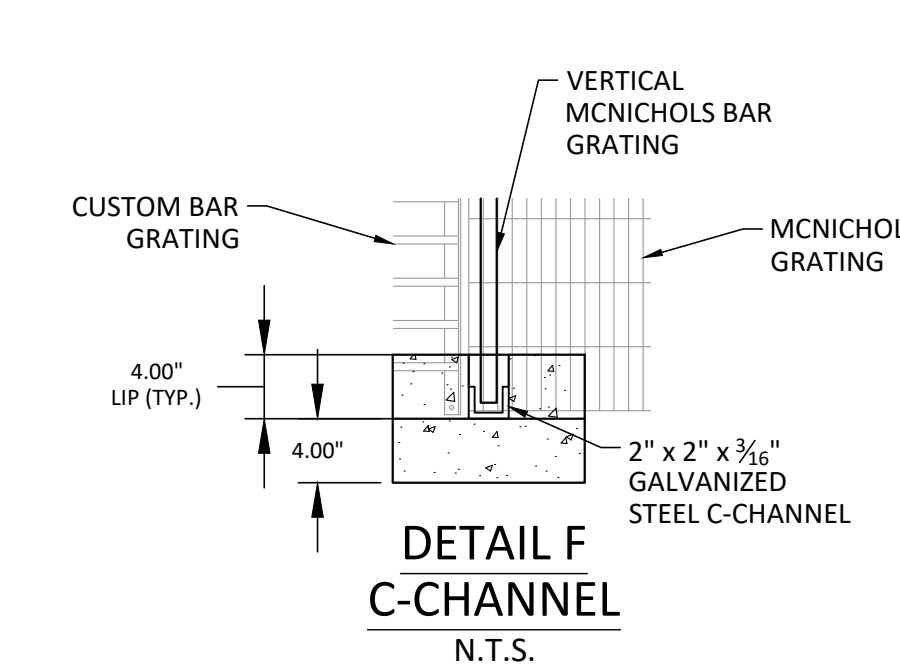
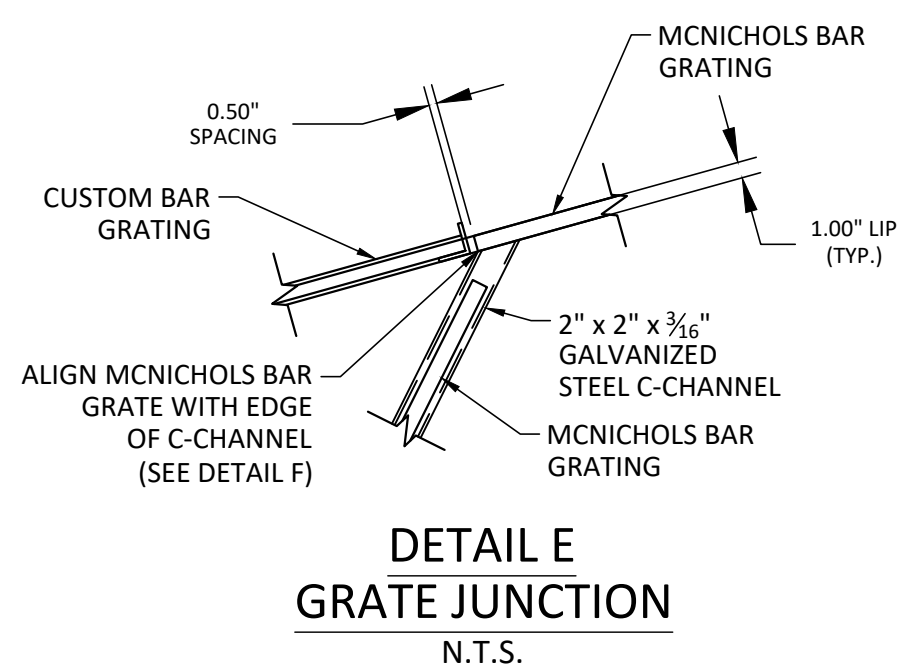
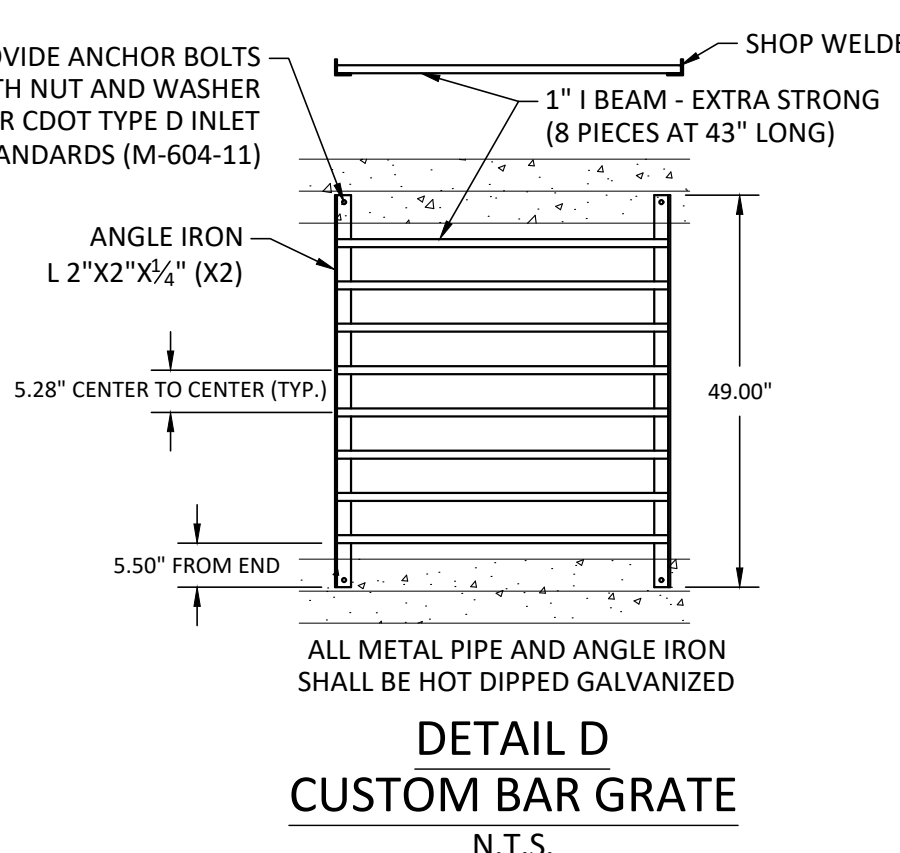
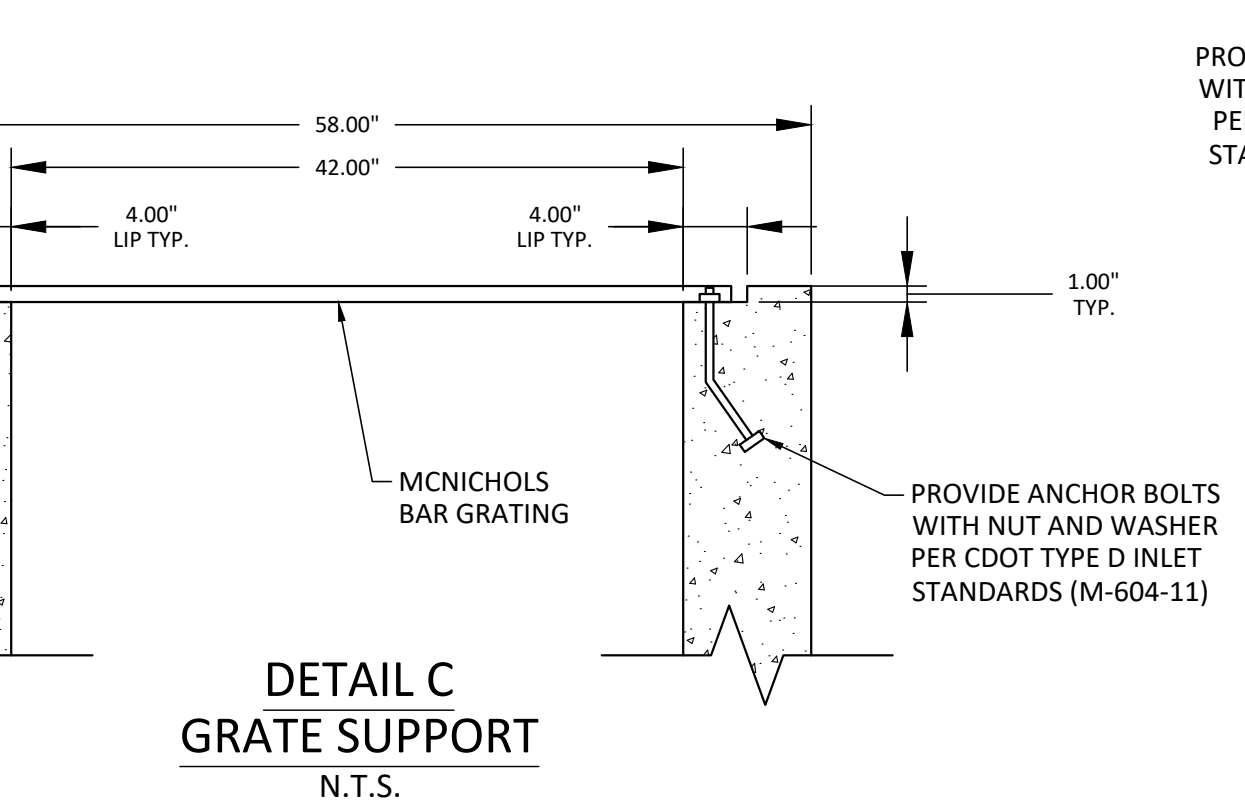
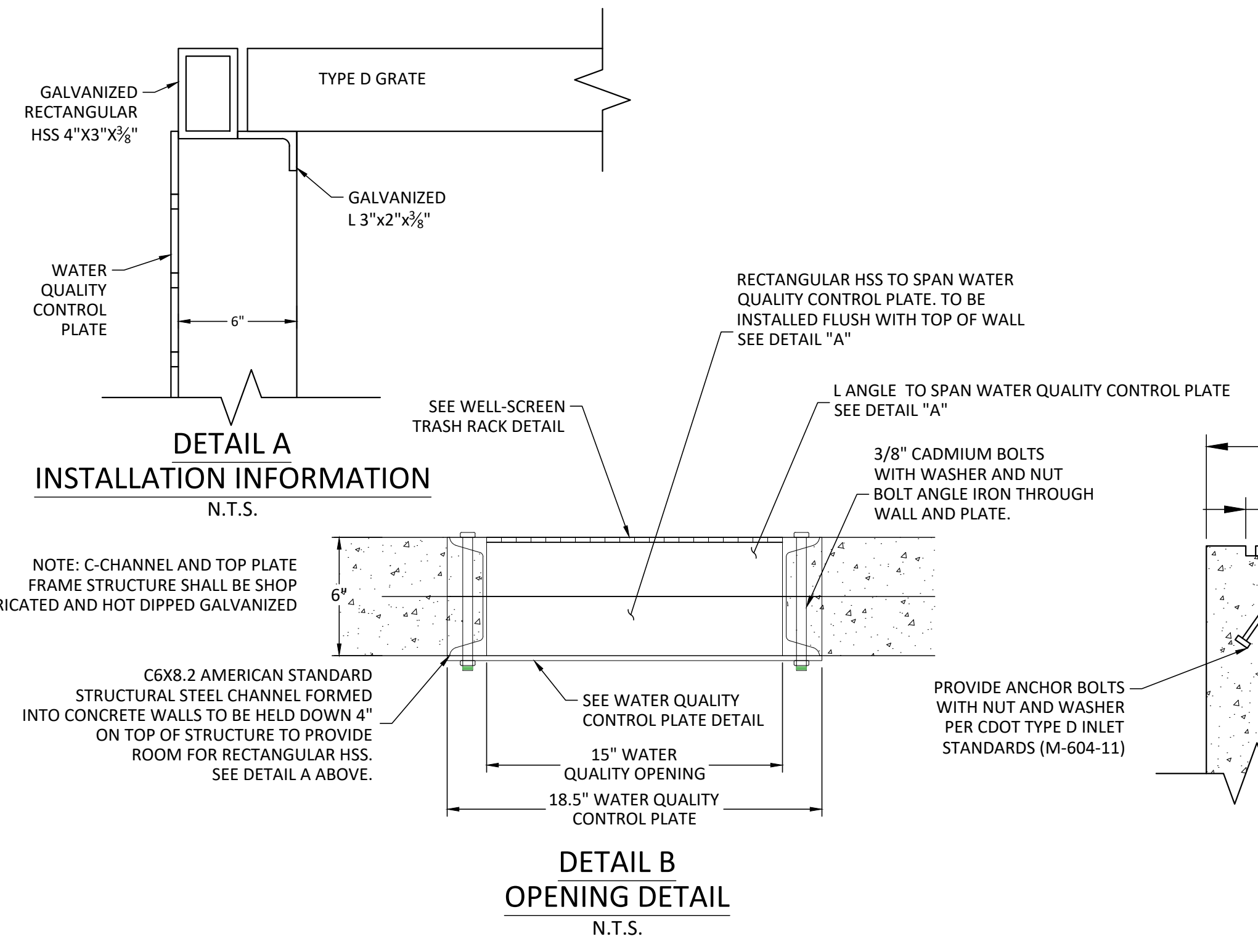
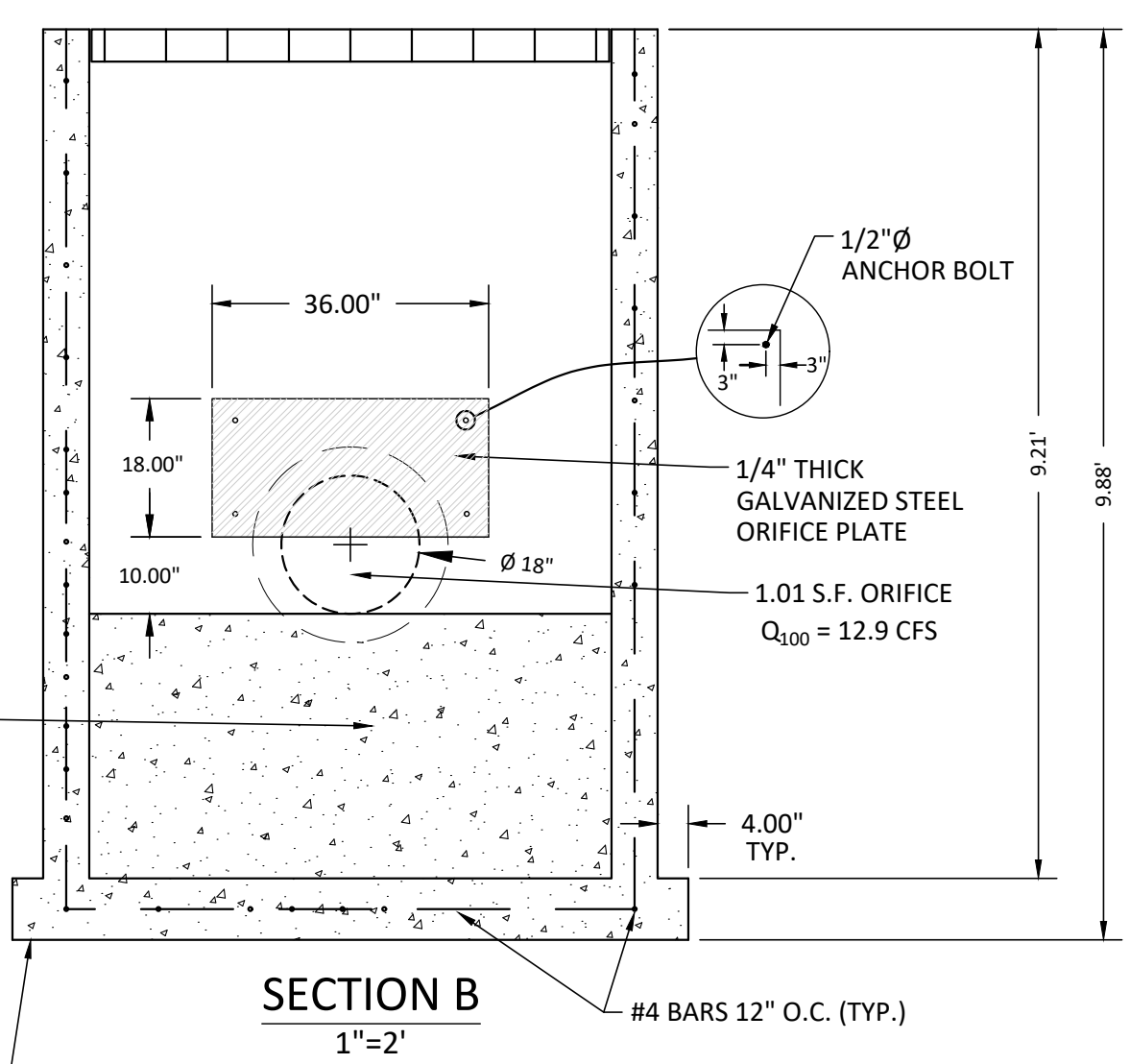
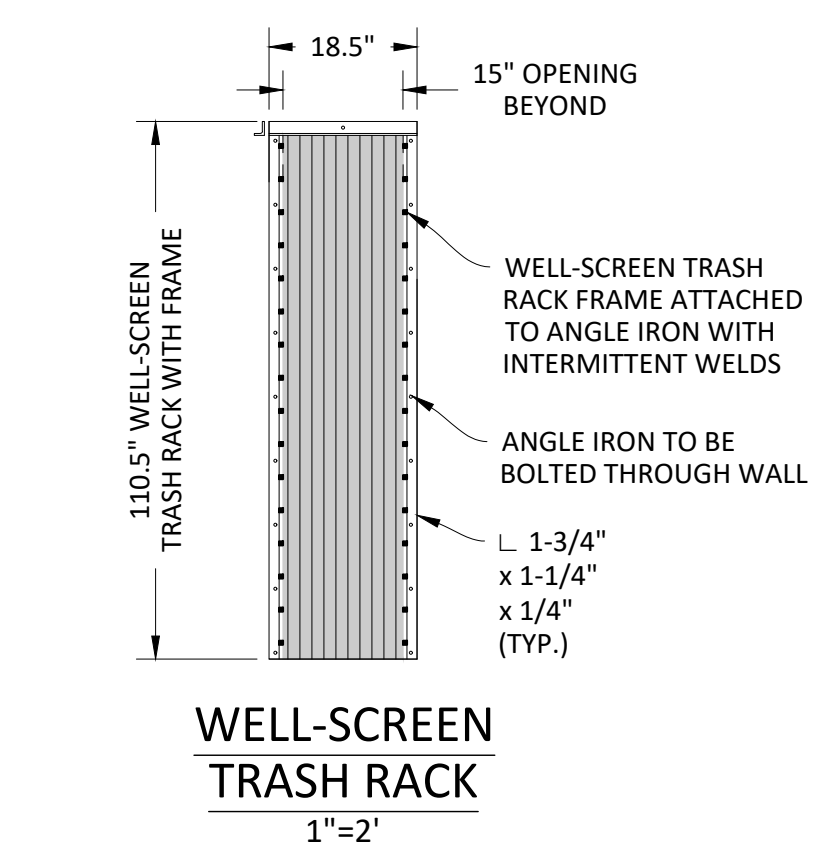
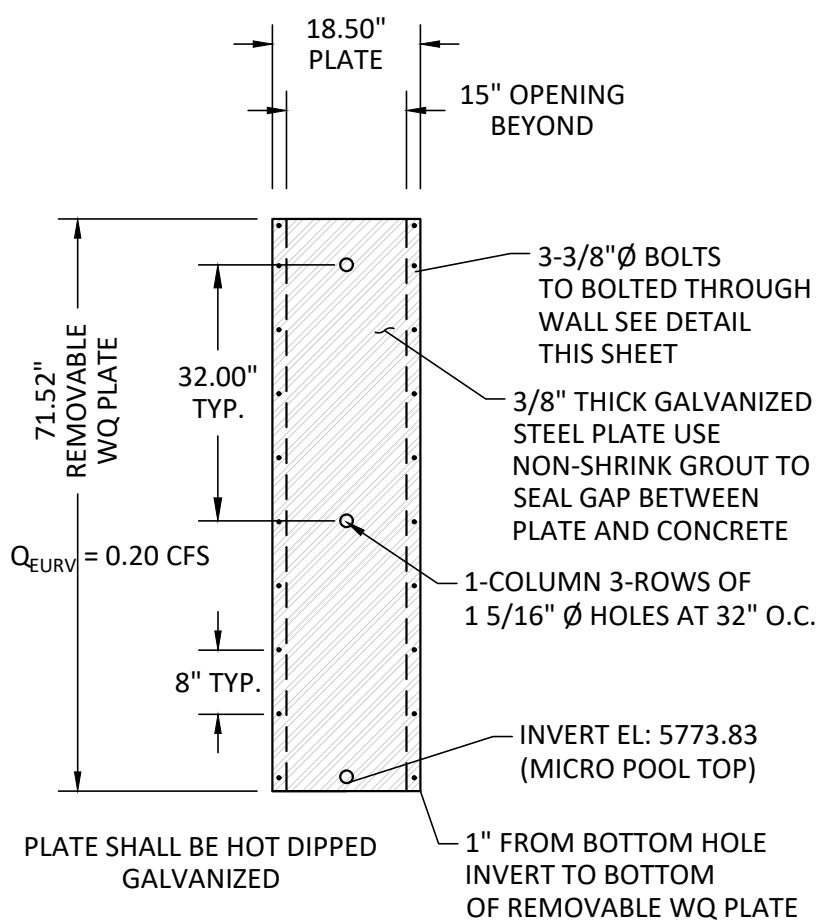
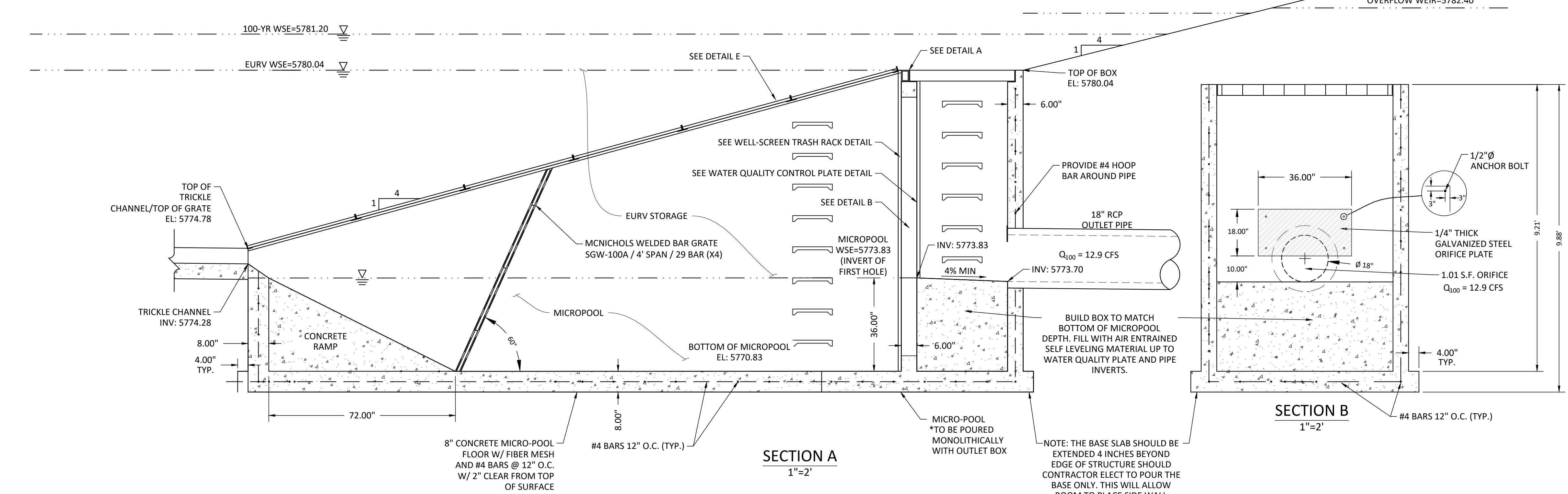
PROJ. MGR.: GJT
 PROJ. ASSOC.: ASD
 DRAWN BY: JMP
 DATE: 03/15/2021

SHEET 13 OF 33
 CLCPK3



- NOTES:
1. REFER TO CDOT M-604-11 STANDARD, TYPE "D" INLET FOR CONCRETE, STEEL GRATE AND STEP REQUIREMENTS. REINFORCING BARS SHALL BE PLACED IN ALL INTERIOR, EXTERIOR AND BASE WALLS.
 2. STEPS SHALL BE PROVIDED, AS SHOWN ON DETAIL AND SHALL BE IN ACCORDANCE WITH AASHTO M 199.
 3. GRATES SHALL BE STANDARD GRATE TYPE.
 4. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.
 5. CONTRACTOR TO HAVE PROFESSIONAL ENGINEER DESIGN AND CERTIFY THE OUTLET STRUCTURE.

NOTE: DRAINAGE STRUCTURES REQUIRE FINAL SHOP DRAWINGS AND STRUCTURAL ENGINEERING TO BE SUBMITTED TO THE TOWN OF PARKER AND MANHARD CONSULTING FOR FINAL REVIEW AND APPROVAL. ANY CHANGE IN STRUCTURE TYPE, CONFIGURATION OR SHAPE WILL REQUIRE A "NOTICE OF CHANGE" AND WILL REQUIRE REVISIONS TO THE CIVIL DRAWINGS TO REFLECT THEIR CHANGES.



NO.	DATE	REVISIONS
1	06/18/2021	SECOND SUBMITTAL - RESPOND TO TOP COMMENTS
2	08/31/2021	THIRD SUBMITTAL - RESPOND TO TOP COMMENTS
3	10/14/2021	APPROVED PLANS

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 7600 East Orchard Road, Suite 100-903, Greenwood Village, CO 80111, phone: 303.770.0500, manhard.com
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COMPARK VILLAGE SOUTH, F1 - BELFORD AVE SITE PLAN AMD
 TOWN OF PARKER, COLORADO
 STORM OUTLET STRUCTURE - OUTLET STRUCTURE PLAN

TOWN OF PARKER APPROVALS

PROJ. MGR.: GHT
 PROJ. ASSOC.: ASD
 DRAWN BY: RAK
 DATE: 03/15/2021

SHEET
15 OF 33
 CLCPK3

Plotted: 10/14/2021 2:02 PM. Draw Name: P:\Cadd\3\Compark\3\Storm\StormOutlet\STRUCTURE.dwg. Updated By: ADrucker

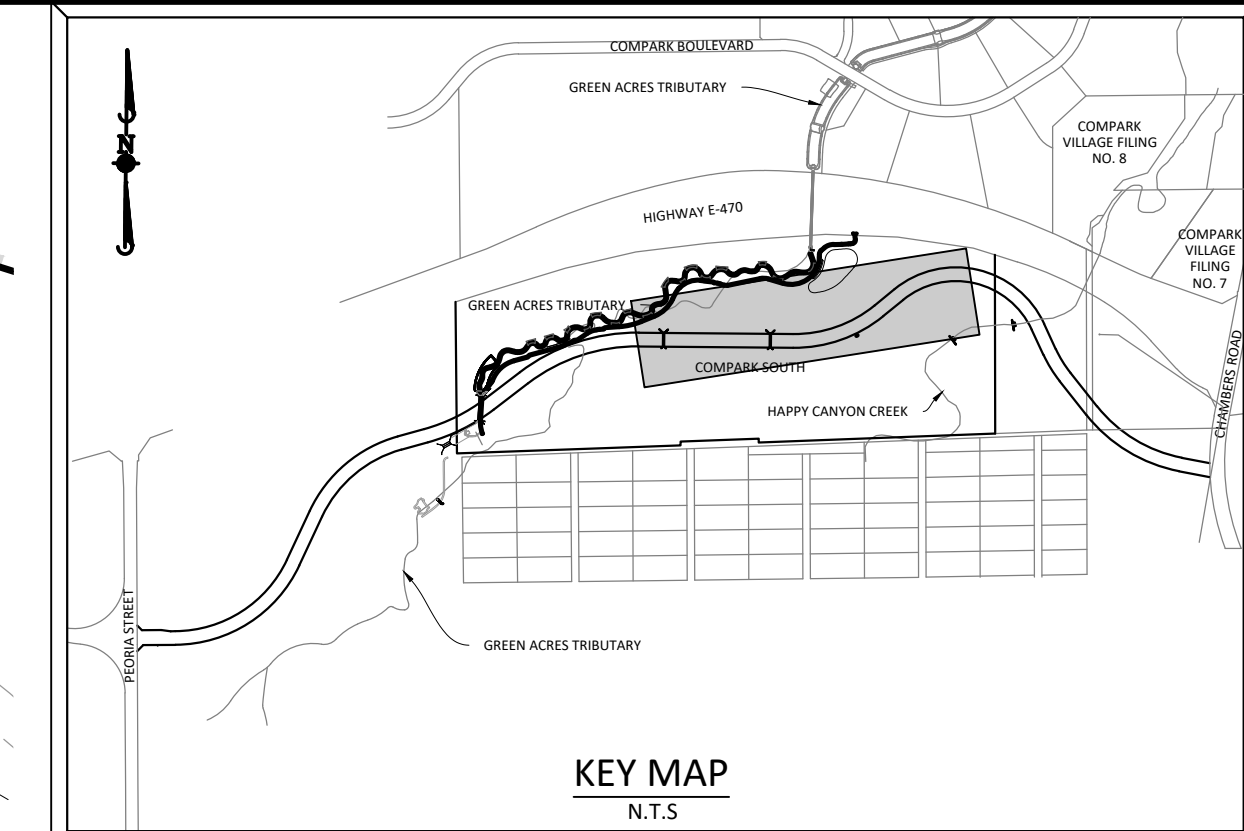
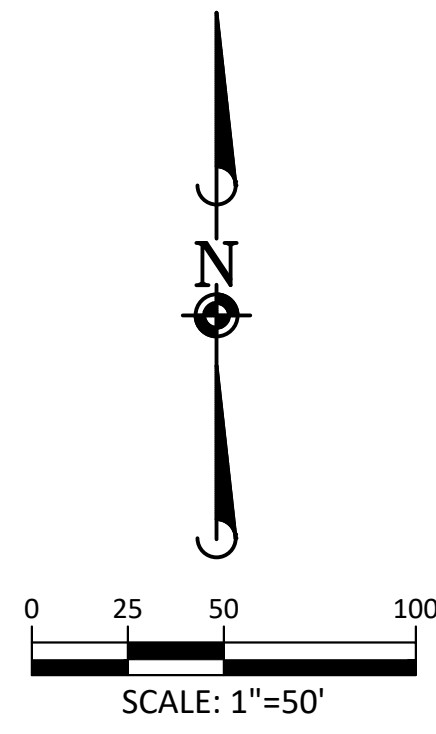


TOWN OF PARKER, DIRECTOR OF ENGINEERING

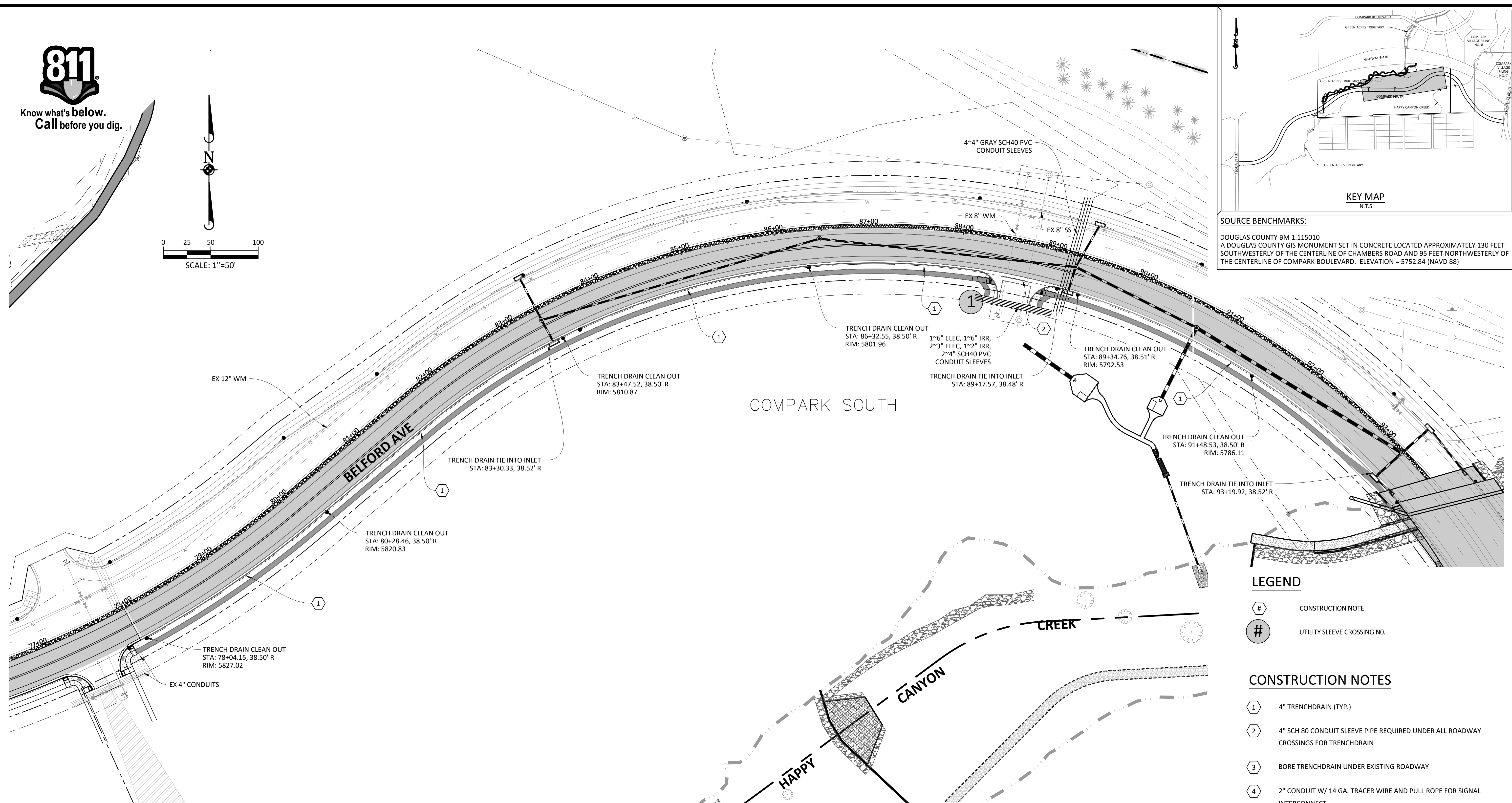
DATE



Know what's below.
Call before you dig.



SOURCE BENCHMARKS:
DOUGLAS COUNTY BM 1.115010
A DOUGLAS COUNTY GIS MONUMENT SET IN CONCRETE LOCATED APPROXIMATELY 130 FEET SOUTHWESTERLY OF THE CENTERLINE OF CHAMBERS ROAD AND 95 FEET NORTHWESTERLY OF THE CENTERLINE OF COMPARK BOULEVARD. ELEVATION = 5752.84 (NAVD 88)



COMPARK SOUTH

CREEK

CANYON

HAPPY

LEGEND

- # CONSTRUCTION NOTE
- # UTILITY SLEEVE CROSSING NO.

CONSTRUCTION NOTES

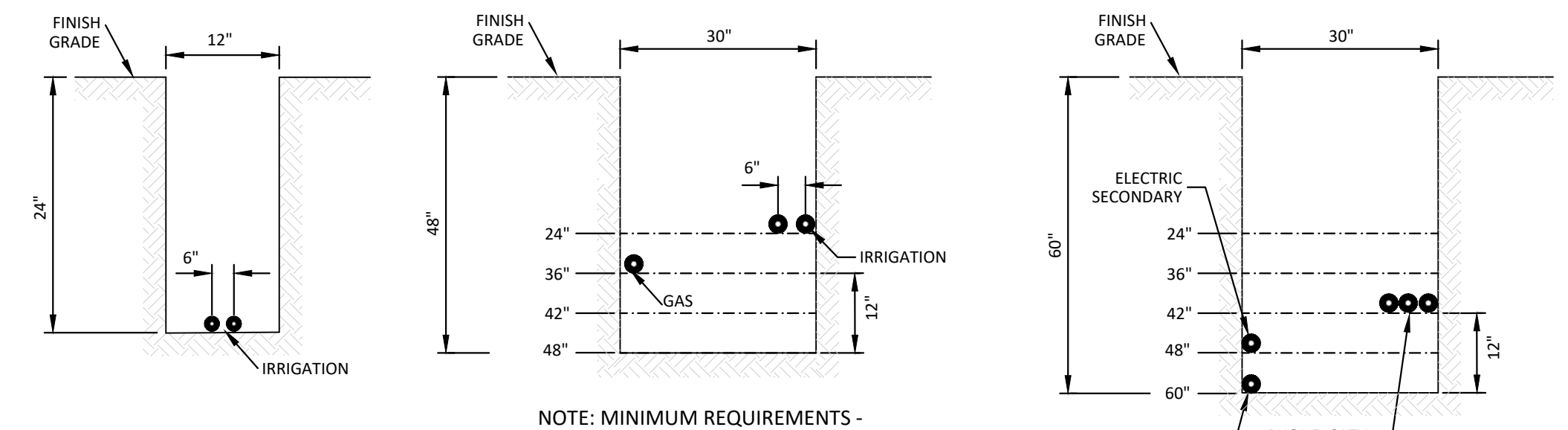
- 4" TRENCHDRAIN (TYP.)
- 4" SCH 80 CONDUIT SLEEVE PIPE REQUIRED UNDER ALL ROADWAY CROSSINGS FOR TRENCHDRAIN
- BORE TRENCHDRAIN UNDER EXISTING ROADWAY
- 2" CONDUIT W/ 14 GA. TRACER WIRE AND PULL ROPE FOR SIGNAL INTERCONNECT
- ALL CONDUITS TO LANDSCAPED MEDIANS SHALL BE SWEEP UP AT 90° AND SHALL TERMINATE IN A PULL BOX SET TO FINISHED GRADE.
- ALL INTERCONNECT CONDUITS SHALL BE SWEEP UP AT 90° TO 11"x17" QUASITE PULLBOXES. 400' SPACING MAXIMUM.

NOTES:

- INSTALL CROSSINGS TO EXTEND AT LEAST 6 FEET BEYOND THE ROW AND WALKS. INSTALL SLEEVES IN LINE WITH THE APPROPRIATE EASEMENTS.
- EXTRA CROSSINGS ARE INSTALLED AT THE DISCRETION OF THE DEVELOPER.
- THESE CROSSING LOCATIONS HAVE BEEN PROVIDED BY THE RESPECTIVE UTILITY COMPANIES AS OF THIS DATE. ANY CHANGES, ADDITIONS, OR RELOCATIONS RECEIVED BY MANHARD CONSULTING, LTD. AFTER PAVING HAS BEEN COMPLETED WILL HAVE TO BORED.
- ALL ELECTRIC CONDUITS TO BE GRAY SCHEDULE 40 PVC OR BLACK SCHEDULE 40 PVC WITH A RED STRIPE. GAS CROSSINGS MUST BE SCHEDULE 40 GRAY PVC. PHONE AND TV ARE TO BE WHITE SCHEDULE 40 PVC. IRRIGATION TO BE CLASS 160 PVC PER IRRIGATION PLAN.
- ALL CROSSINGS MUST BE 95% COMPACTION AND TESTED. MARK BOTH ENDS OF SLEEVE WITH 2 X 4 POST-PAINTED.
- XCEL REQUIRES ALL CROSSINGS TO HAVE TRACER WIRE INSTALLED NEXT TO THE SLEEVE.
- ALL TRENCH LINES MUST BE WITHIN 6" OF FINISHED GRADE PER XCEL STANDARDS.
- GRADE AT TRANSFORMERS MUST BE 100% TO FINISHED GRADE.

TRENCH DRAIN NOTES:

- SEE DETAIL 29 OF STREET DETAILS FOR TRENCH DRAIN SPECIFICATIONS
- TRENCH DRAINS SHALL TIE INTO STORM MANHOLES OR INLETS
- CLEANOUTS SHALL BE PROVIDED AT ALL JUNCTIONS, ANGLE POINTS AND SPACED AT MAXIMUM 500' INTERVALS.



NOTE: MINIMUM REQUIREMENTS -
ELECTRIC - 3" HORIZONTAL AND 12" VERTICAL SEPARATION FROM GAS, 10" HORIZONTAL AND 12" VERTICAL SEPARATION FROM WATER/SEWER/STORM, AND 12" FROM ALL OTHER UTILITIES
GAS - 12" FROM ALL OTHER UTILITIES
TYPICAL CONDUIT SLEEVE SECTIONS
N.T.S.

CAUTION:

HAVE ALL BURIED UTILITIES LOCATED PRIOR TO TRENCHING OR BORING.

TOWN OF PARKER APPROVALS

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

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DATE	REVISIONS
10/14/2021	APPROVED PLANS
08/31/2021	THIRD SUBMITTAL - RESPOND TO TOP COMMENTS
06/18/2021	SECOND SUBMITTAL - RESPOND TO TOP COMMENTS

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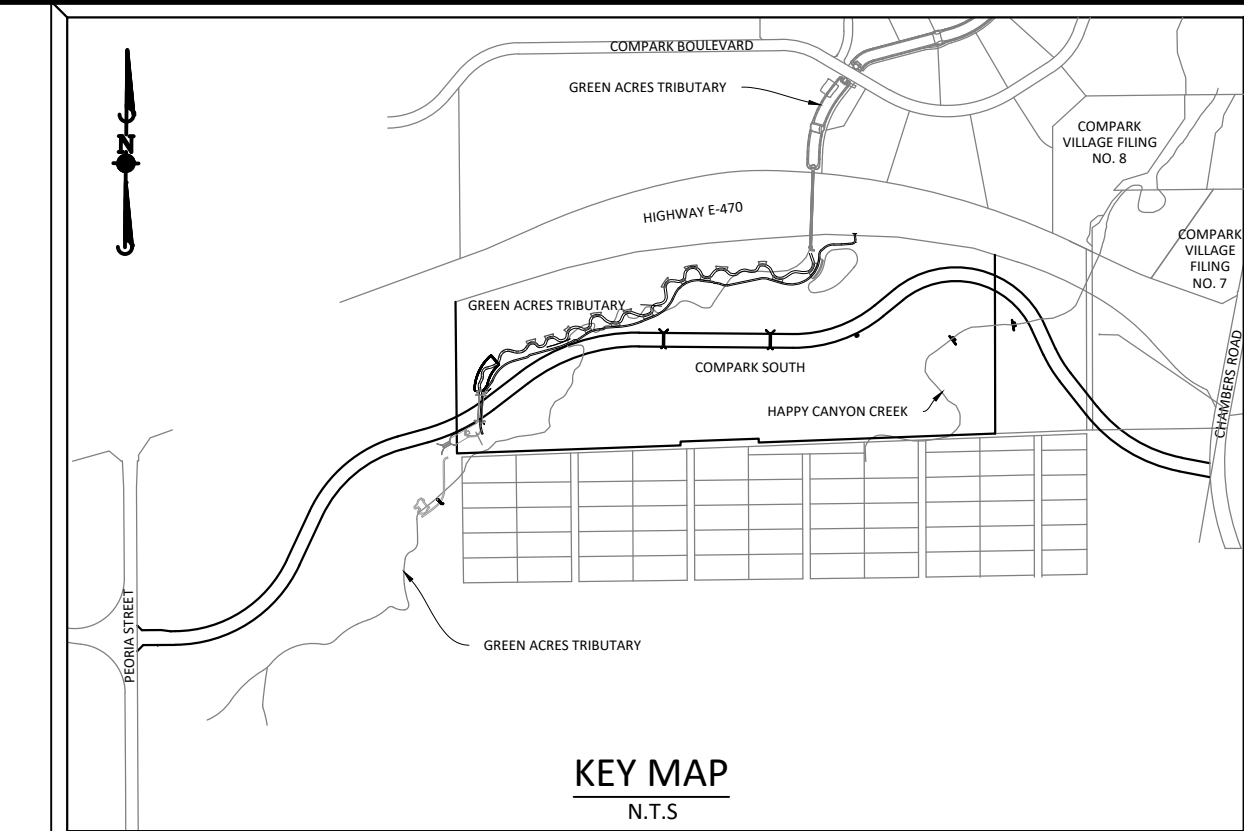
COMPARK VILLAGE SOUTH, F1 - BELFORD AVE SITE PLAN AMD
TOWN OF PARKER, COLORADO
TRENCH DRAIN AND SLEEVING PLAN

PROFESSIONAL ENGINEER
37642
10-14-2021
PROJ. MGR.: GJT
PROJ. ASSOC.: ASD
DRAWN BY: JMP
DATE: 03/15/2021
SHEET
17 OF 33
CLCPK3 CLCPK3

Plotted: 10/14/2021 2:05 PM. Draw Name: P:\Cp\pk3\CompSouth09 - Belford Ave\Enr\Drawings\Final\Drawings\Plan Set\Trench Drain and Sleeve Plan.dwg. Updated By: A.Drucker

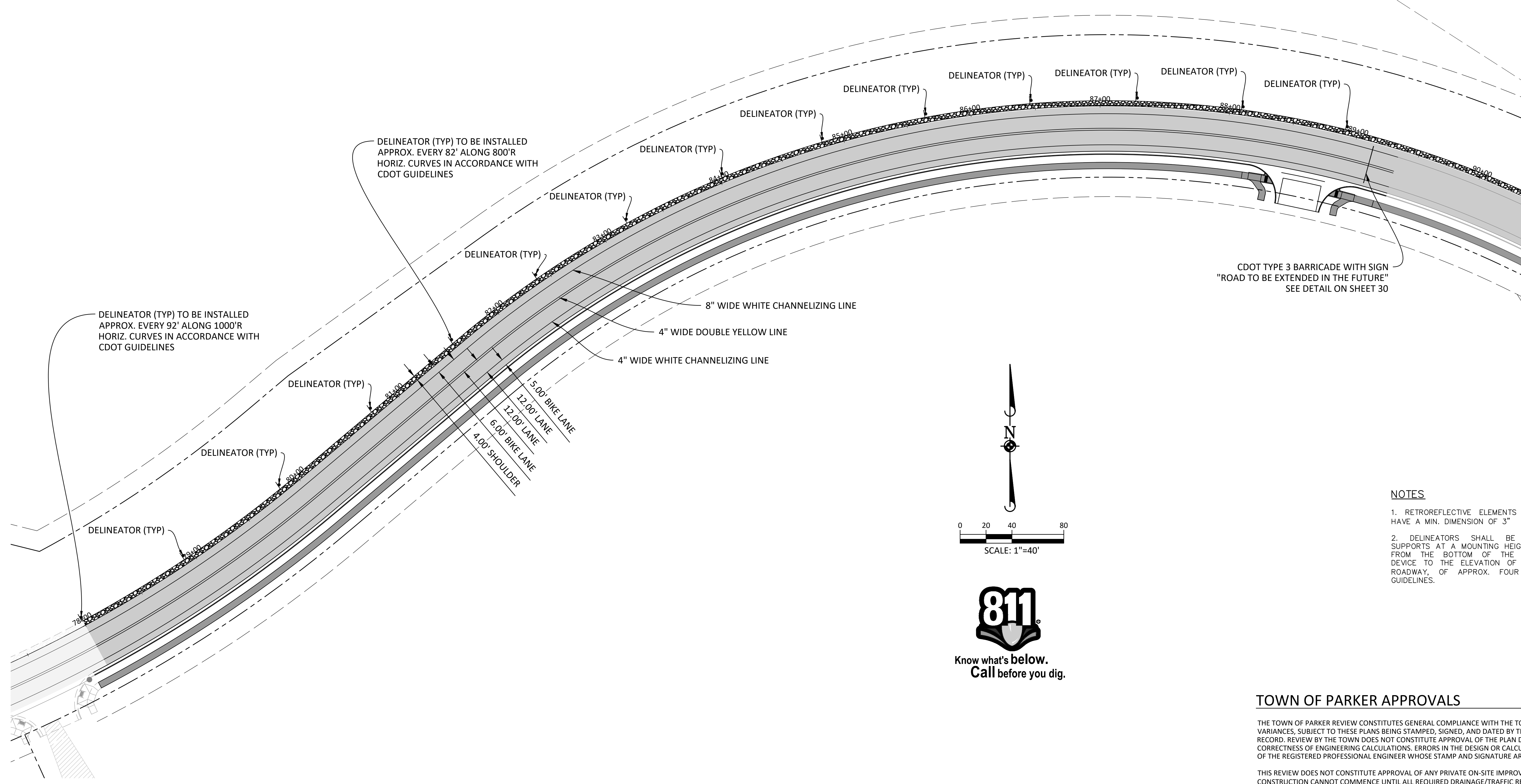
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Plotted: 10/14/2021 2:05 PM. Dwg Name: P:\Cadd\3\CompSouth09 - Belford Ave Emt\Drawings\Plan Set\SIGNAGE AND STRIPING PLAN.dwg. Updated By: Adruker



SOURCE BENCHMARKS:
 DOUGLAS COUNTY BM 1.115010
 A DOUGLAS COUNTY GIS MONUMENT SET IN CONCRETE LOCATED APPROXIMATELY 130 FEET
 SOUTHWESTERLY OF THE CENTERLINE OF CHAMBERS ROAD AND 95 FEET NORTHWESTERLY OF
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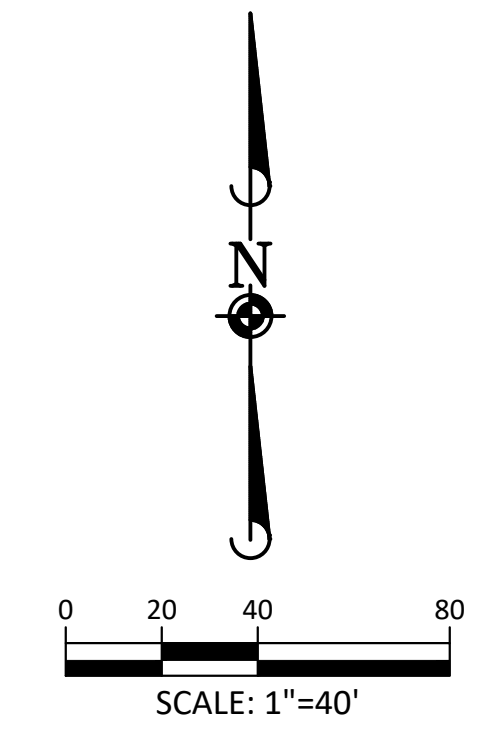
DATE	REVISIONS
10/14/2021	APPROVED PLANS
08/31/2021	THIRD SUBMITTAL - RESPOND TO TOP COMMENTS
06/18/2021	SECOND SUBMITTAL - RESPOND TO TOP COMMENTS



DELINEATOR (TYP) TO BE INSTALLED APPROX. EVERY 82' ALONG 800'R HORIZ. CURVES IN ACCORDANCE WITH CDOT GUIDELINES

DELINEATOR (TYP) TO BE INSTALLED APPROX. EVERY 92' ALONG 1000'R HORIZ. CURVES IN ACCORDANCE WITH CDOT GUIDELINES

CDOT TYPE 3 BARRICADE WITH SIGN "ROAD TO BE EXTENDED IN THE FUTURE" SEE DETAIL ON SHEET 30



- NOTES**
1. RETROREFLECTIVE ELEMENTS FOR DELINEATORS SHALL HAVE A MIN. DIMENSION OF 3"
 2. DELINEATORS SHALL BE MOUNTED IN SUITABLE SUPPORTS AT A MOUNTING HEIGHT, MEASURED VERTICALLY FROM THE BOTTOM OF THE LOWEST RETROREFLECTIVE DEVICE TO THE ELEVATION OF THE NEAR EDGE OF THE ROADWAY, OF APPROX. FOUR (4) FEET, PER MUTCD GUIDELINES.

BELFORD AVENUE

TOWN OF PARKER APPROVALS

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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

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 Civil Engineering | Surveying & Geospatial Services | GIS | Construction Management | Water Resource Management

COMPARK VILLAGE SOUTH, F1 - BELFORD AVE SITE PLAN AMD
 TOWN OF PARKER, COLORADO
 SIGNAGE AND STRIPING PLAN

PROFESSIONAL ENGINEER
 T. HARRIS
 37642
 10-14-2021

PROJ. MGR.: GTT
 PROJ. ASSOC.: ASD
 DRAWN BY: JMP
 DATE: 03/15/2021

SHEET
18 OF 33
 CLCPKC3

- NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER
- GRADING, DRILLING, CLEARING, EXCAVATING, BACK-FILLING, SOIL STRIPPING, SOIL IMPORTING EXPORTING OR ANY OTHER FORM OF SOIL DISTURBANCE SHALL NOT COMMENCE UNTIL A TOWN OF PARKER GRADING/EXCAVATION PERMIT HAS BEEN ISSUED.
 - THE TOWN OF PARKER GRADING/EXCAVATION PERMIT IS VALID FOR A PERIOD OF 2 YEARS FROM THE DATE OF ISSUANCE. ANY LAPSE IN PERMIT COVERAGE MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER AND/OR FINES.
 - ALL EROSION AND SEDIMENT CONTROL BMPs SHALL BE INSTALLED ACCORDING TO THE CBMP PLAN INSTALLATION NOTES AND DETAILS AND/OR PERMITTED VARIANCES. ALL MATERIALS, WORKMANSHIP AND INSTALLATION METHODS ARE SUBJECT TO INSPECTION BY THE TOWN'S INSPECTOR. THE TOWN OF PARKER RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS, WORKMANSHIP AND/OR INSTALLATION METHODS THAT DO NOT CONFORM TO THE CBMP PLAN AND/OR PERMITTED VARIANCES.
 - THE EROSION CONTROL SUPERVISOR SHALL REVISE OR MODIFY THE EROSION AND SEDIMENT CONTROL MEASURES IF IT BECOMES APPARENT THAT THE ORIGINAL PLAN IS INADEQUATE, OR AS A RESULT OF DEFICIENCIES IDENTIFIED DURING INSPECTIONS PERFORMED BY THE TOWN'S INSPECTOR.
 - THE INSTALLATION OF ADDITIONAL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) MAY BE REQUIRED OF THE EROSION CONTROL SUPERVISOR, PROPERTY OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS AT ANY TIME THROUGHOUT THE DURATION OF THE PROJECT CONSTRUCTION AND/OR SUBSEQUENT REVEGETATION PERIOD.
 - THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE SITE REMAINS IN COMPLIANCE WITH THE NOTICE OF NUISANCE REPORTS (a.k.a. CONSTRUCTION SITE RUNOFF CONTROL INSPECTION REPORTS), APPROVED CBMP PLAN(S) AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
 - THE EROSION CONTROL SUPERVISOR SHALL BE READILY AVAILABLE TO DISCUSS AND CORRECT ANY PROBLEMS THAT MAY ARISE RELATING TO GRADING, EROSION AND SEDIMENT CONTROL.
 - IF IT IS ANTICIPATED THAT ALL OR A PORTION OF THE PROJECT WILL OCCUR DURING SEASONS SUSCEPTIBLE TO SNOWFALL, THE USE OF CERTAIN EROSION AND SEDIMENT CONTROL BMPs ADJACENT TO PUBLIC ROADWAYS MAY NEED TO BE RECONSIDERED DUE TO THE NATURE OF SNOW REMOVAL OPERATIONS. AN APPROVED ALTERNATIVE MAY BE NECESSARY TO MINIMIZE DAMAGE FROM THESE OPERATIONS. THE TOWN OF PARKER ASSUMES NO RESPONSIBILITY FOR DAMAGE TO ANY BMPs AS A RESULT OF SNOW PLOWING AND SNOW REMOVAL.
 - AREAS OF LAND DISTURBANCE EQUAL TO 40 ACRES OR GREATER SHALL NOT BE EXPOSED FOR MORE THAN 30 CONSECUTIVE DAYS WITHOUT TEMPORARY OR PERMANENT STABILIZATION.
 - AUTHORIZED EXEMPTIONS MAY BE ALLOWED TO THE 40-ACRE LIMIT FOR REMOVAL AND STORAGE OF CUT MATERIAL WHERE (A) GEOTECHNICAL LIMITATIONS RESTRICT THE USE OF TEMPORARY OR PERMANENT STABILIZATION OF THE STORED MATERIAL (E.G., SWELLING SOILS, ROCK) AND (B) WHEN THE OWNER CAN DEMONSTRATE THAT THE 40-ACRE LIMIT IS PHYSICALLY AND/OR FINANCIALLY IMPRACTICABLE. FOR SITES GRANTED THIS EXEMPTION, A PHASING AND EARTHWORK QUANTITIES PLAN SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT AND APPROVED PRIOR TO THE COMMENCEMENT OF LAND DISTURBANCE ACTIVITIES. SUBMITTAL REQUIREMENTS INCLUDE:
 - PHASING PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
 - EARTHWORK QUANTITY PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
 - BMP PLAN SHOWING SPECIFIC EROSION AND SEDIMENT CONTROLS FOR EACH PHASE.

Parker COLORADO | **CBMP** | **GEN NOTES**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 4 | Oct. 2013

- NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER
- ANY EROSION AND SEDIMENT CONTROL BMPs THAT ARE DAMAGED OR IN NEED OF MAINTENANCE OR REPLACEMENT SHALL BE CORRECTED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
 - ALL DEFICIENCIES LISTED ON THE NOTICE OF NUISANCE FORM SHALL BE COMPLETED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES. ALL REQUIRED ACTIONS MUST BE IN THE CORRECTED FORM DURING THE FOLLOW-UP INSPECTION.
 - THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR ENSURING THAT ALL STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, ALLEYS, TRICKLE CHANNELS, AND/OR OTHER IMPERVIOUS SURFACES IMPACTED BY CONSTRUCTION ACTIVITIES ARE THOROUGHLY CLEANED THROUGHOUT THE DAY IF THEY BECOME SOILED. THESE AREAS MUST ALSO BE THOROUGHLY CLEAN BEFORE THE END OF THE WORK DAY.
 - BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS.
 - ALL TRASH RECEPTACLES ON SITE SHALL BE FREE OF HOLES, CRACKS, GAPS, AND/OR OTHER PERMEABLE AREAS THAT MAY ALLOW FOR THE DISCHARGE OF POLLUTANTS.
 - ALL TRASH RECEPTACLES ON SITE SHALL BE EMPTIED AT A FREQUENCY AS TO ENSURE THAT THE TRASH REMAINS CONFINED TO THE RECEPTACLE.
 - ALL LOOSE TRASH AND LITTER ASSOCIATED WITH THE PROJECT MUST BE REMOVED AND PROPERLY DISCARDED ON A DAILY BASIS.
 - ALL PORTABLE TOILETS SHALL BE STAKED DOWN AT ALL TIMES USING U-SHAPED REBAR STAKES. THE PORTABLE TOILETS SHALL ALSO BE PLACED A MINIMUM DISTANCE OF 10 FEET FROM ALL IMPERVIOUS SURFACES, INCLUDING, BUT NOT LIMITED TO STREETS CURBS, GUTTERS, SIDEWALKS AND PARKING LOTS.
 - THE EROSION CONTROL SUPERVISOR SHALL MAINTAIN STRICT ADHERENCE TO THE LIMITS OF CONSTRUCTION AND PROPERTY LIMITS FOR ALL MATERIALS, VEHICLES AND EQUIPMENT. FAILURE TO ABIDE BY THIS REQUIREMENT MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER.
 - ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE THROUGH THE APPROVED ACCESS POINT(S). A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL APPROVED ACCESS POINTS TO THE SITE. EXCEPTIONS MAY BE CONSIDERED FOR CONSTRUCTION ACTIVITY OCCURRING IMMEDIATELY ADJACENT TO PAVED AREAS AND WHERE ALTERNATIVE BMPs ARE IMPLEMENTED. SUCH ACTIVITY MAY INCLUDE, BUT NOT BE LIMITED TO RESIDENTIAL CONSTRUCTION, UTILITY CONSTRUCTION, ETC.
 - NO PERMANENT SLOPES GREATER THAN 3:1 ARE ALLOWED.
 - ALL PERMANENT SLOPES STEEPER THAN 4:1 (HORIZONTAL TO VERTICAL) SHALL REQUIRE EROSION CONTROL BLANKET(S), TEMPORARY SLOPES IN TEMPORARY SEDIMENT BASINS THAT ARE STEEPER THAN 4:1 MAY REQUIRE EROSION CONTROL BLANKETS.
 - THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ADVERSE IMPACTS THAT OCCUR TO NEIGHBORING PROPERTIES. THE EROSION CONTROL SUPERVISOR MUST OBTAIN PERMISSION FROM LAND OWNERS PRIOR TO ENTERING SUCH PROPERTY.
 - A WATER SOURCE SHALL BE AVAILABLE ONSITE DURING CONSTRUCTION ACTIVITIES, AND UTILIZED TO MINIMIZE FUGITIVE DUST. ALTERNATIVE BMPs MAY BE REQUIRED IF INITIAL ATTEMPTS TO SUPPRESS DUST ARE UNSUCCESSFUL.

Parker COLORADO | **CBMP** | **GEN NOTES**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 4 | Oct. 2013

- NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER
- ALL CHEMICAL OR HAZARDOUS MATERIAL SPILLS, INCLUDING CONCRETE WASHOUT WATER, WHICH MAY ENTER WATERS OF THE STATE OF COLORADO, WHICH INCLUDES BUT ARE NOT LIMITED TO, SURFACE WATER, GROUND WATER, DRY GULLIES OR STORM SEWERS LEADING TO SURFACE WATER, SHALL BE IMMEDIATELY REPORTED TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) PER 25-8-601, AND THE TOWN OF PARKER. RELEASES OF PETROLEUM PRODUCTS AND CERTAIN HAZARDOUS SUBSTANCES LISTED UNDER THE FEDERAL CLEAN WATER ACT (40 CFR PART 116) MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER AND THE CDPHE. SPILLS THAT POSE AN IMMEDIATE SAFETY HAZARD SHALL BE REPORTED TO 911.
 - THE CLEANING OF CONCRETE TRUCKS AND EQUIPMENT IS RESTRICTED TO THE APPROVED CONCRETE WASHOUT LOCATION ON THE JOB SITE. CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO STATE WATERS OR STORM SEWER SYSTEMS.
 - VEHICLE AND EQUIPMENT DEGREASING IS PROHIBITED ON THE JOB SITE.
 - ALL DEWATERING ON SITE SHALL BE COORDINATED WITH THE TOWN'S INSPECTOR. A STATE PERMIT MAY BE REQUIRED FOR DEWATERING. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR OBTAINING AND ADHERING TO ALL APPLICABLE PERMITS.
 - HYDRAULIC SEEDING AND/OR HYDRAULIC MULCHING ARE ONLY ALLOWED IN AREAS UNDER TEMPORARY OR PERMANENT IRRIGATION OR FOR THE PURPOSE OF TEMPORARY SOIL STABILIZATION.
 - APPLICABLE CONSTRUCTION BMPs SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL ALL LANDSCAPING HAS BEEN INSTALLED AND THE DESIRABLE VEGETATION HAS REACHED A POINT IN WHICH EROSION AND SEDIMENTATION IS NO LONGER A CONCERN AS DETERMINED BY THE TOWN'S INSPECTOR.
 - GRADING SECURITY RELEASE REQUIREMENTS:
 - DEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H OR ITEM I (BELOW).
 - ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
 - UNIFORM PERENNIAL VEGETATION COVER HAS BEEN ESTABLISHED WITH AN INDIVIDUAL PLANT DENSITY OF AT LEAST SEVENTY PERCENT (70%) OF PRE-DISTURBANCE LEVELS.
 - ALL CBMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
 - IF ANY EROSION IS PRESENT, IT IS INSIGNIFICANT AND IS NOT LEAVING THE SITE AND/OR LEADING INTO ANY ON-SITE DRAINAGE INFRASTRUCTURE THAT MAY CONVEY SURFACE WATER OFF SITE.
 - WEEDS REPRESENT NO MORE THAN FIFTY PERCENT (50%) OF THE TOTAL VEGETATION ON THE SITE.
 - NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR ASSIGNMENT AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION AT THE TIME OF CLOSING TO ENSURE THAT THE NEW SITE OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.

Parker COLORADO | **CBMP** | **GEN NOTES**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 3 OF 4 | Oct. 2013

- NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER
- NONDEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H AND J, OR ITEMS I AND J (BELOW).
 - ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
 - ALL CBMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
 - EROSION IS NEGLIGIBLE, IF EVEN PRESENT.
 - THE VEGETATION REPRESENTS A PERENNIAL STAND OF A DENSE, UNIFORM SURFACE OF GRASS WITH NO AREA GREATER THAN ONE (1) SQUARE FOOT THAT IS BARREN OF DESIRABLE VEGETATION. INFREQUENT, WIDELY SCATTERED AREAS WHERE NATIVE VEGETATION HAS NOT YET TAKEN HOLD MAY QUALIFY FOR ACCEPTANCE AT THE DISCRETION OF THE TOWN.
 - WEEDS REPRESENT NO MORE THAN TEN PERCENT (10%) OF THE TOTAL VEGETATION ON SITE.
 - NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
 - A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR THE GRADING PERMIT HAS BEEN ASSIGNED AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION, AT THE TIME OF CLOSING ON THE SALE OF A SITE THAT IS SUBJECT TO A GRADING PERMIT, TO ENSURE THAT THE NEW PROPERTY OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.
 - ALL KNOWN DRAINAGE ISSUES ASSOCIATED WITH THE PROJECT HAVE BEEN MITIGATED AND A SUFFICIENT AMOUNT OF TIME HAS PASSED TO ENSURE THAT SUCH ISSUES HAVE BEEN CORRECTED. THIS REQUIREMENT DOES NOT INCLUDE THOSE DRAINAGE ISSUES ORIGINATING ON RESIDENTIAL LOTS.

(J) NOXIOUS WEEDS MUST BE CONTROLLED AS PROVIDED UNDER STATE LAW AND SECTION 6.01.260 OF THE TOWN OF PARKER MUNICIPAL CODE. FAILURE TO CONTROL NOXIOUS WEEDS ON THE SITE MAY CONSTITUTE A NUISANCE, SUBJECT TO THE PENALTIES CONTAINED IN THE CODE.

DEFINITIONS:
DEVELOPABLE PROPERTY MEANS ANY LAND THAT HAS BEEN GRADED AND IS PART OF A PLATTED LOT OR PLATTED TRACT OF RECORD, THAT WAS PLATTED FOR FUTURE DEVELOPMENT, INCLUDING RESIDENTIAL HOME CONSTRUCTION OR PUBLIC IMPROVEMENTS.
NONDEVELOPABLE PROPERTY MEANS LAND THAT HAS BEEN GRADED AND WILL NOT BE FURTHER DISTURBED AS PART OF ANY FUTURE DEVELOPMENT. EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO: PARKS, OPEN SPACE, HOMEOWNER ASSOCIATION OR BUSINESS ASSOCIATION PLATTED TRACTS, DETENTION PONDS AND DRAINAGEWAYS.

 - FAILURE TO COMPLY WITH ANY OF THE REQUIREMENTS DESCRIBED IN THIS SECTION MAY RESULT IN THE ISSUANCE OF A NOTICE OF INTENT TO ISSUE A STOP WORK ORDER, A STOP WORK ORDER AND/OR THE REMEDIES/PENALTIES DESCRIBED IN CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE.
 - ANY PERSON CONVICTED OF VIOLATING ANY PROVISION OF THE TOWN OF PARKER, GRADING & EARTH MOVEMENT SECTION OF THE MUNICIPAL CODE SHALL BE GUILTY OF A MISDEMEANOR AND, UPON CONVICTION, BE PUNISHED BY A FINE OF NOT MORE THAN FOUR HUNDRED NINETY NINE DOLLARS (\$499.00) FOR EACH SEPARATE OFFENSE. EACH DAY A VIOLATION CONTINUES SHALL CONSTITUTE A SEPARATE OFFENSE. THE TOWN ALSO MAY SEEK IN MUNICIPAL COURT AN INJUNCTION, ABATEMENT, RESTITUTION OR ANY OTHER REMEDY TO PREVENT, ENJOIN, ABATE OR REMOVE THE VIOLATION. A PERSON CONVICTED OF VIOLATING CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE SHALL BE LIABLE FOR THE ACTUAL COST OF REHABILITATING THE PROPERTY. THE COSTS MAY BE RECOVERED AS RESTITUTION IN MUNICIPAL COURT PROCEEDINGS OR IN A SEPARATE CIVIL ACTION.
 - THE TOWN OF PARKER RESERVES THE RIGHT TO ALLOW MODIFICATIONS AND SUBSTITUTIONS TO THE CBMP NOTES AND DETAILS WHEN SUCH MODIFICATIONS AND SUBSTITUTIONS OFFER THE SAME LEVEL OF PROTECTION AS THE STANDARD REQUIREMENTS BASED UPON THE SPECIFIC SITUATION, AS DETERMINED BY TOWN STAFF. DUE TO THE SIGNIFICANCE AND REGULARITY OF SUCH MODIFICATIONS AND SUBSTITUTIONS, THE APPROVAL OF SUCH VARIATIONS MAY NOT BE DOCUMENTED BY TOWN STAFF.

Parker COLORADO | **CBMP** | **GEN NOTES**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 4 OF 4 | Oct. 2013

- NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER
- | | | |
|--|-------|--|
| | CD | CHECK DAM |
| | CF | CONSTRUCTION FENCE |
| | CP | CULVERT PROTECTION |
| | CWA | CONCRETE WASHOUT AREA |
| | D | DEWATERING |
| | DD | DIVERSION DITCH |
| | DP | DETENTION POND PROTECTION |
| | DTC | DEBRIS TRASH CONTROL |
| | ECB | EROSION CONTROL BLANKET |
| | IPAN | INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT |
| | IPAP | INLET PROTECTION FOR AREA INLETS IN PAVEMENT |
| | IPCOG | INLET PROTECTION, CURB ON-GRADE, TYPE R INLET |
| | IPCOS | INLET PROTECTION, CURB ON SUMP, TYPE R INLET |

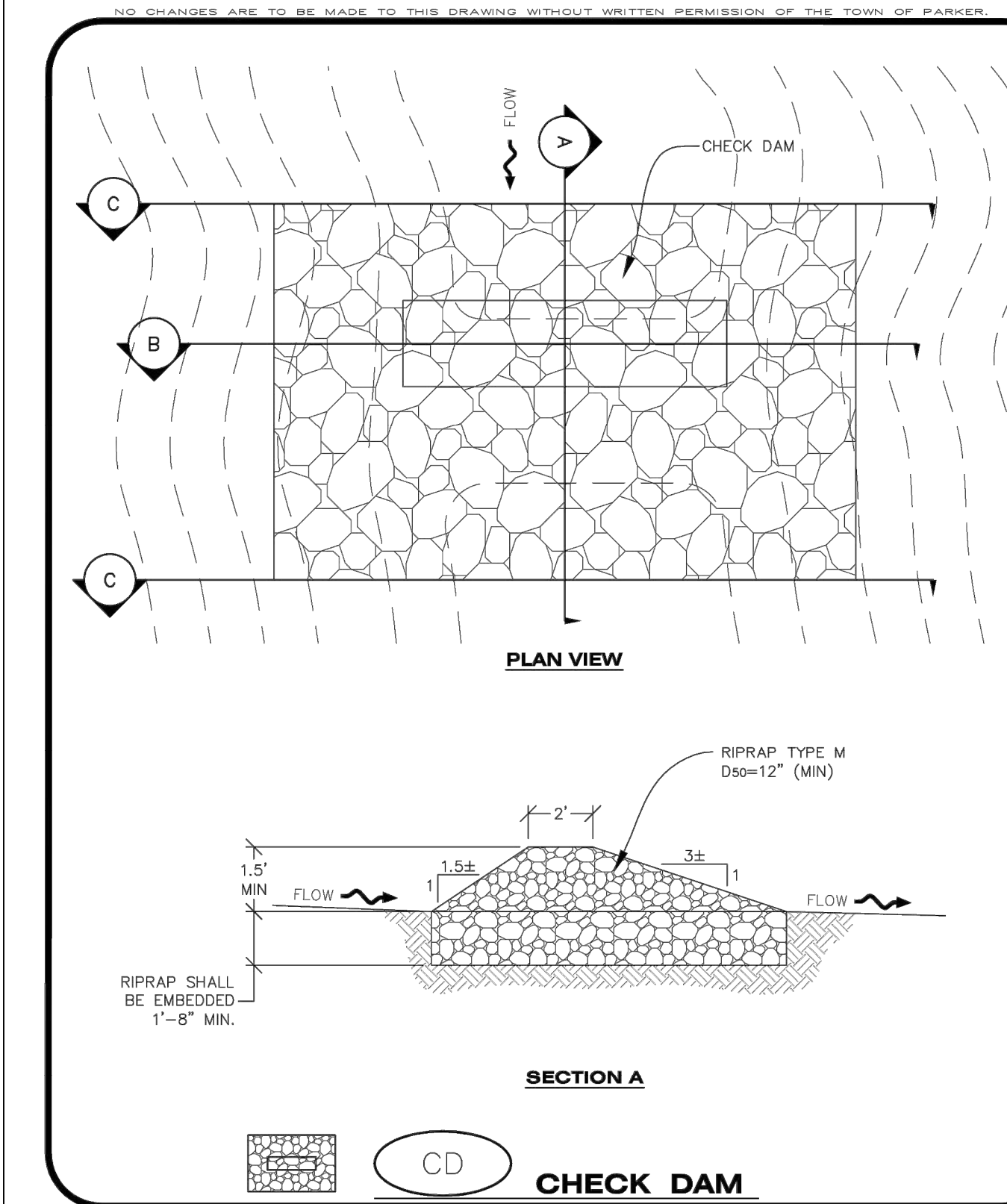
Parker COLORADO | **CBMP** | **LEGEND**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 3 | Oct. 2013

- NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER
- | | | |
|--|------|--------------------------------|
| | LP | LOT PROTECTION |
| | MWP | MASONRY WORK PROTECTION |
| | PTP | PORTABLE TOILET PROTECTION |
| | RCSC | ROUGH CUT STREET CONTROL |
| | RS | ROCK SOCK |
| | RSS | ROCK SOCK IN SWALE |
| | SB | STRAW BALE |
| | SCL | SEDIMENT CONTROL LOGS |
| | SF | SILT FENCE |
| | SMC | SEEDING, MULCHING AND CRIMPING |
| | SR | SURFACE ROUGHING |
| | SSA | STABILIZED STAGING AREA |
| | STP | SIDEWALK TRANSITION PROTECTION |

Parker COLORADO | **CBMP** | **LEGEND**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 3 | Oct. 2013

- NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER
- | | | |
|--|-----|--------------------------|
| | TI | TEMPORARY IRRIGATION |
| | TSB | TEMPORARY SEDIMENT BASIN |
| | VTC | VEHICLE TRACKING CONTROL |

Parker COLORADO | **CBMP** | **LEGEND**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 3 OF 3 | Oct. 2013



Parker COLORADO | **CBMP** | **CD**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 3 | Oct. 2013

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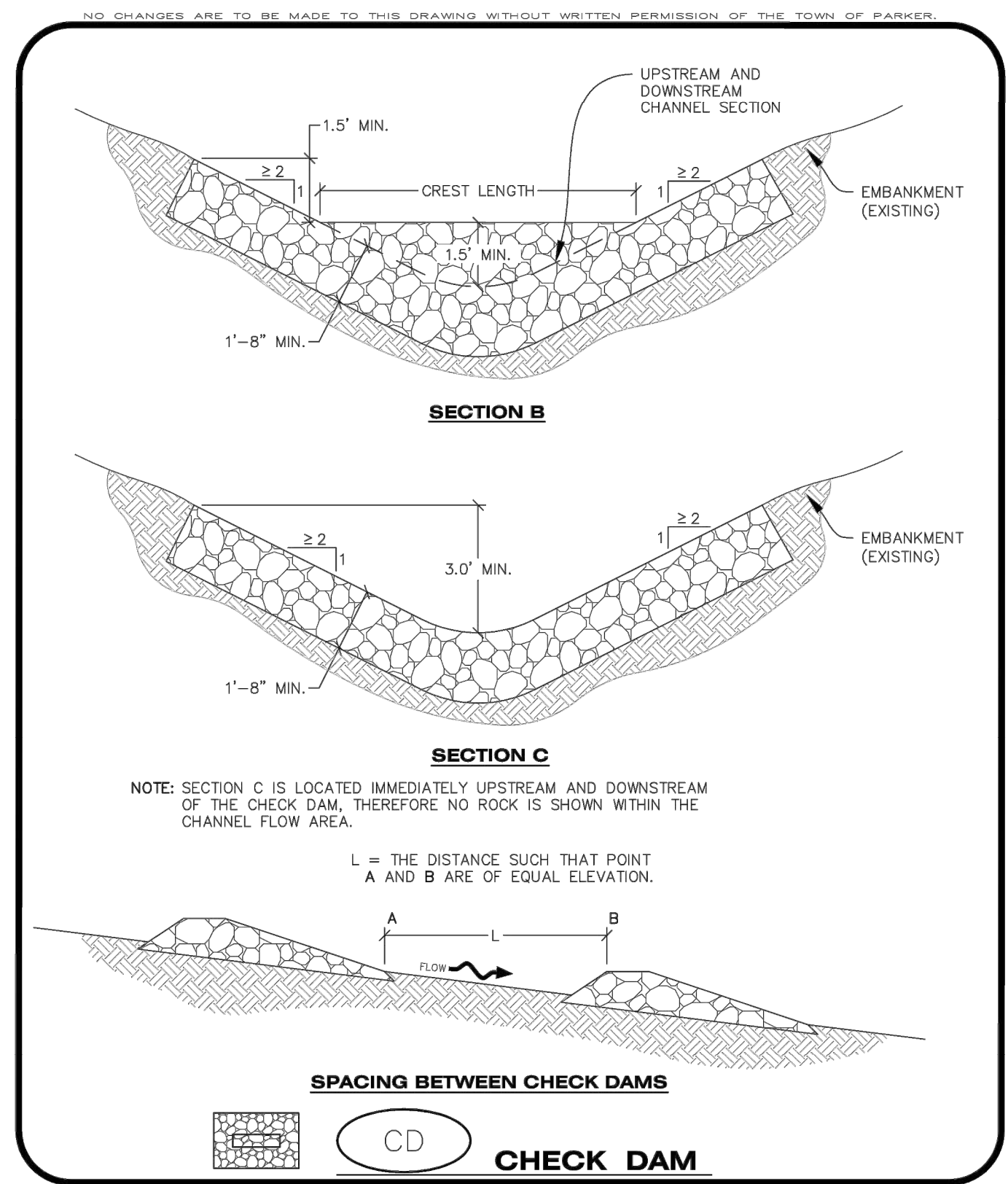
DATE	REVISIONS
10/14/2021	APPROVED PLANS
08/31/2021	THIRD SUBMITTAL - RESPONSE TO TOP COMMENTS
06/18/2021	SECOND SUBMITTAL - RESPONSE TO TOP COMMENTS

COMPARK VILLAGE SOUTH, F1 - BELFORD AVE SITE PLAN AMD
TOWN OF PARKER, COLORADO
CBMP DETAILS

PROJ. MGR.: GTT
PROJ. ASSOC.: ASD
DRAWN BY: RAK
DATE: 03/15/2021

37642
10-14-2021
PROFESSIONAL ENGINEER

SHEET **19** OF **33**
CLCPK3

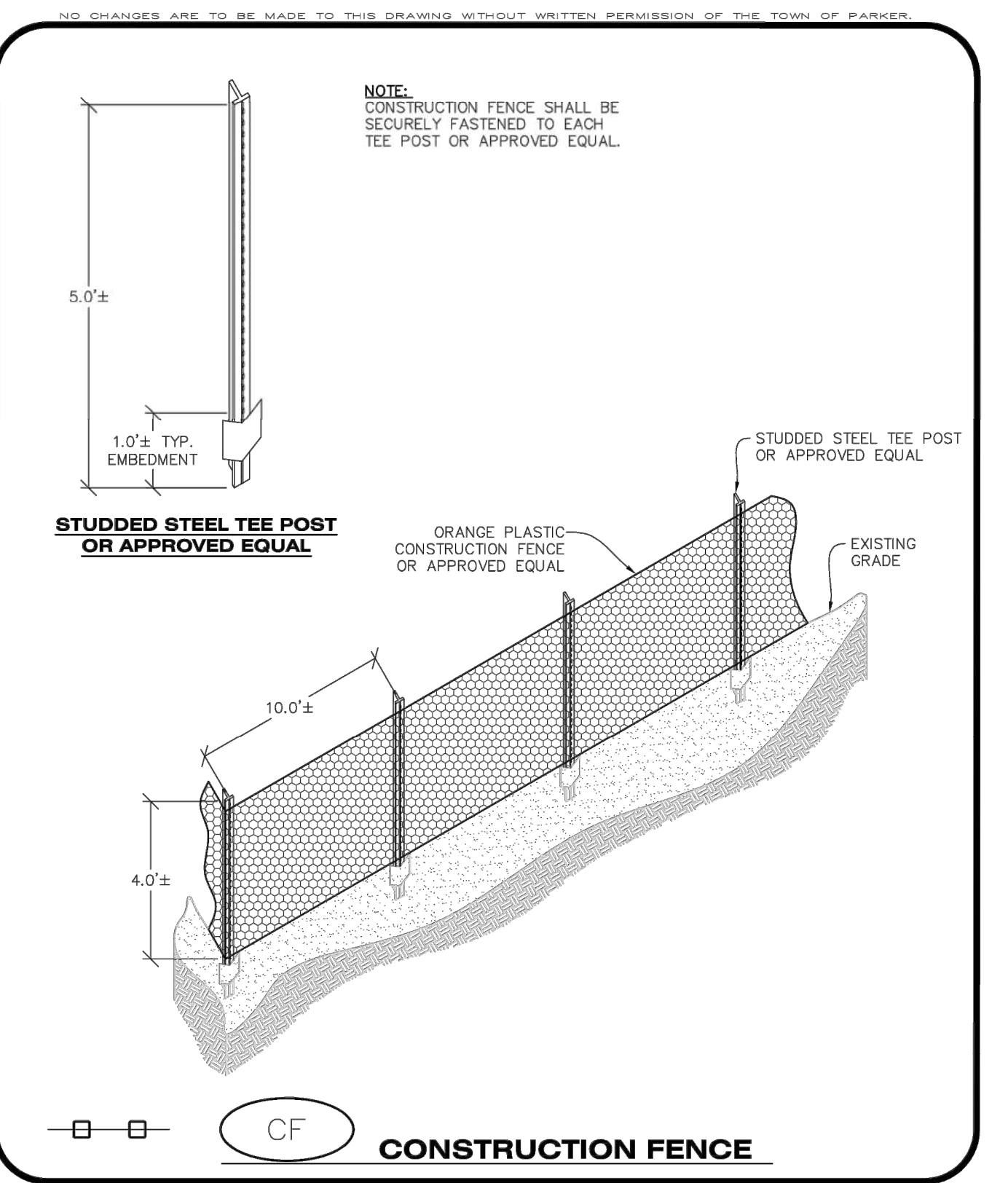


CHECK DAM INSTALLATION NOTES

- SEE PLAN VIEW FOR LOCATION(S) OF CHECK DAMS.
- CHECK DAMS SHOWN ON CBMP PLAN SHALL BE INSTALLED WHEN DIRECTED BY THE TOWN'S INSPECTOR.
- RIPRAP UTILIZED FOR CHECK DAMS SHALL HAVE A D50 MEDIAN STONE SIZE OF 12".
- RIPRAP PAD SHALL BE TRENCHED INTO THE GROUND A MINIMUM OF 1'-8".
- THE MAXIMUM SPACING BETWEEN CHECK DAMS SHOULD BE SUCH THAT THE BOTTOM OF THE UPSTREAM DAM IS AT THE SAME ELEVATION AS THE TOP OF THE DOWNSTREAM DAM AS SHOWN IN THE DETAIL.

CHECK DAM INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CHECK DAMS.
- ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE CREST OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- CHECK DAMS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- WHEN CHECK DAMS ARE REMOVED, THE TOWN'S INSPECTOR MAY REQUIRE EXCAVATIONS TO BE FILLED WITH SUITABLE COMPACTED TOPSOIL AND ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE CHECK DAMS BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
- IN SOME INSTANCES, CHECK DAMS MAY REMAIN IN PLACE PERMANENTLY.



CONSTRUCTION FENCE INSTALLATION NOTES

- THE CONSTRUCTION FENCE SHALL BE SECURELY FASTENED TO EACH POST OR APPROVED EQUAL.

CONSTRUCTION FENCE INSPECTION AND MAINTENANCE NOTES

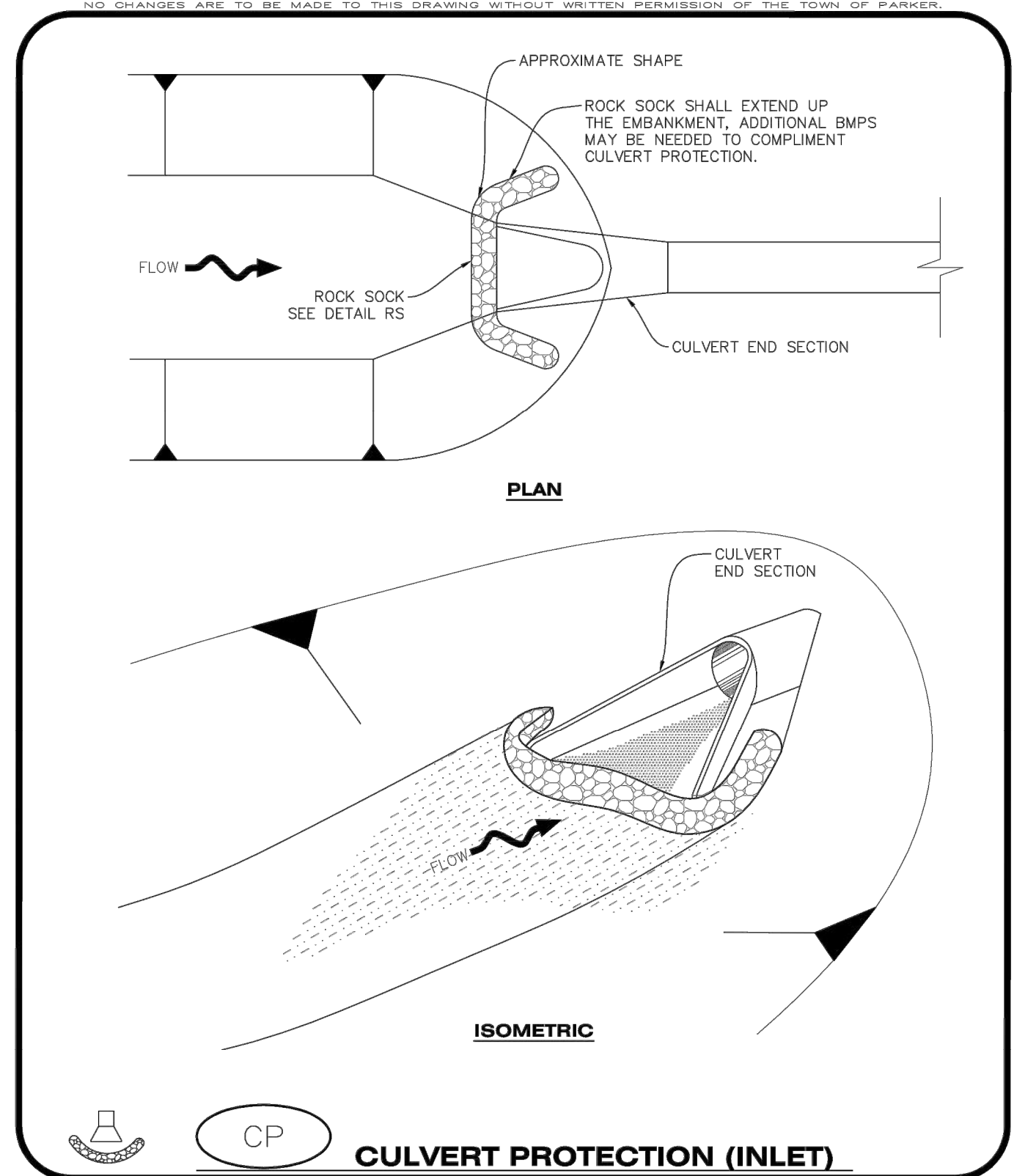
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CONSTRUCTION FENCE AND MAKE ANY NECESSARY REPAIRS.
- CONSTRUCTION FENCE SHALL BE REPAIRED WHEN THE FENCING MATERIAL FALLS OUT OF COMPLIANCE WITH THE NOTES AND DETAILS.

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CONSTRUCTION BEST MANAGEMENT PRACTICES
CF
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CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
CF
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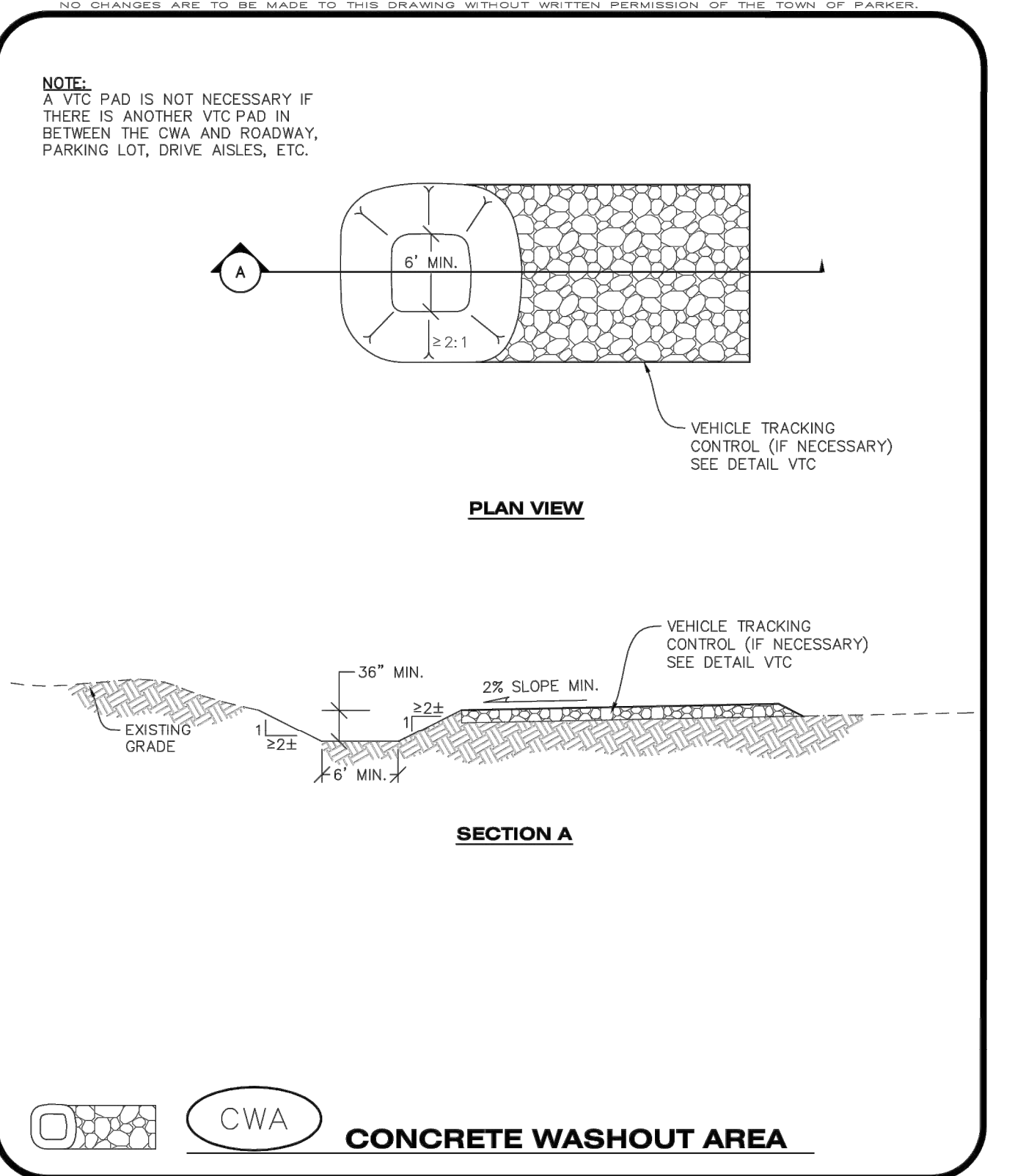


CULVERT PROTECTION (INLET) INSTALLATION NOTES

- SEE PLAN VIEW FOR LOCATION(S) OF CULVERT PROTECTION (INLET).
- ROCK SOCK SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL (SEE DETAIL RS).
- ROCK SOCK SHALL BE APPROXIMATELY 12" IN DIAMETER.
- ROCK SOCK SHALL EXTEND ABOVE THE FLOW LINE ELEVATION ON BOTH SIDES OF THE CULVERT END SECTION.

CULVERT PROTECTION (INLET) INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CULVERT PROTECTION (INLET).
- AT A MINIMUM, ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE ROCK SOCK.
- CULVERT PROTECTION (INLET) IS TO REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- WHEN THE CULVERT INLET PROTECTION IS REMOVED, THE TOWN'S INSPECTOR MAY REQUIRE ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE CULVERT INLET PROTECTION TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).



CONCRETE WASHOUT AREA INSTALLATION NOTES

- CONCRETE WASHOUT AREAS SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
- A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT THE ACCESS POINT TO ALL CONCRETE WASHOUT AREAS WHEN NO OTHER VTC PAD EXISTS IN BETWEEN THE CWA AND THE ROADWAY.
- IF GROUNDWATER IS ENCOUNTERED WHEN DIGGING THE PIT, A NEW LOCATION SHOULD BE SELECTED. IF NO OTHER LOCATION CAN BE FOUND, A ONE-PIECE IMPERVIOUS LINER SHALL BE REQUIRED ALONG THE BOTTOM AND SIDES OF THE SUBSURFACE PIT.

CONCRETE WASHOUT AREA INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CONCRETE WASHOUT AREA.
- CONCRETE WASHOUT MATERIALS SHALL BE REMOVED BEFORE ITS CAPACITY HAS BEEN REACHED.
- CONCRETE WASHOUT AREAS SHALL BE ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE AND ASSOCIATED WASH WATER.
- CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE AS NECESSARY TO ENSURE ADEQUATE CAPACITY.
- CONCRETE WASHOUT AREAS SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
- WHEN CONCRETE WASHOUT AREAS ARE REMOVED, THE TOWN'S INSPECTOR MAY REQUIRE EXCAVATIONS TO BE FILLED WITH SUITABLE COMPACTED BACKFILL AND TOPSOIL. ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE CONCRETE WASHOUT AREAS SHALL BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

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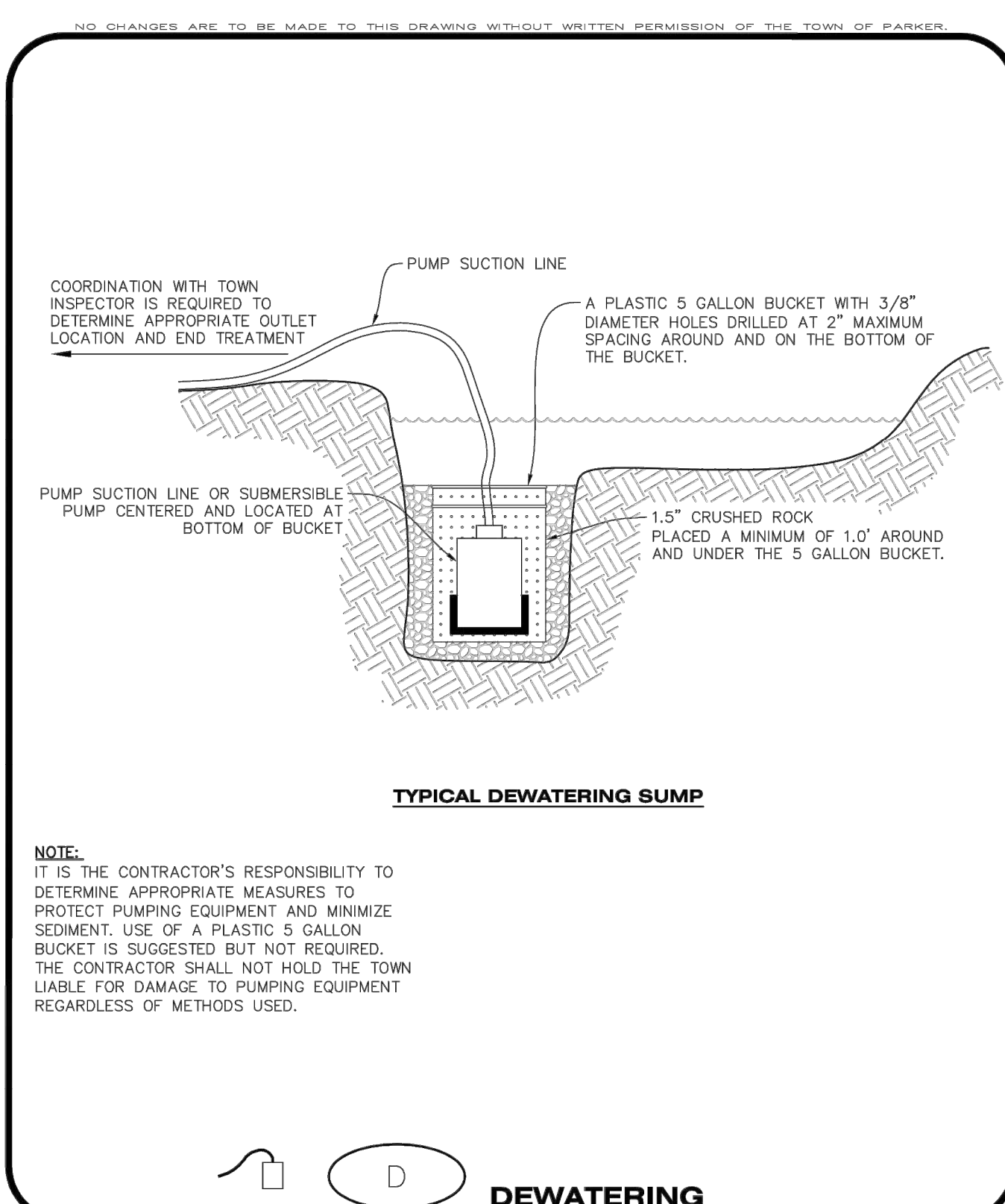
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COMPARK VILLAGE SOUTH, F1 - BELFORD AVE SITE PLAN AMD
TOWN OF PARKER, COLORADO
CBMP DETAILS

PROFESSORIAL ENGINEER
37642
10-14-2021

PROJ MGR: GTT
PROJ ASSOC: ASD
DRAWN BY: RAK
DATE: 03/15/2021

SHEET
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Parker COLORADO | **CBMP** | **D**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
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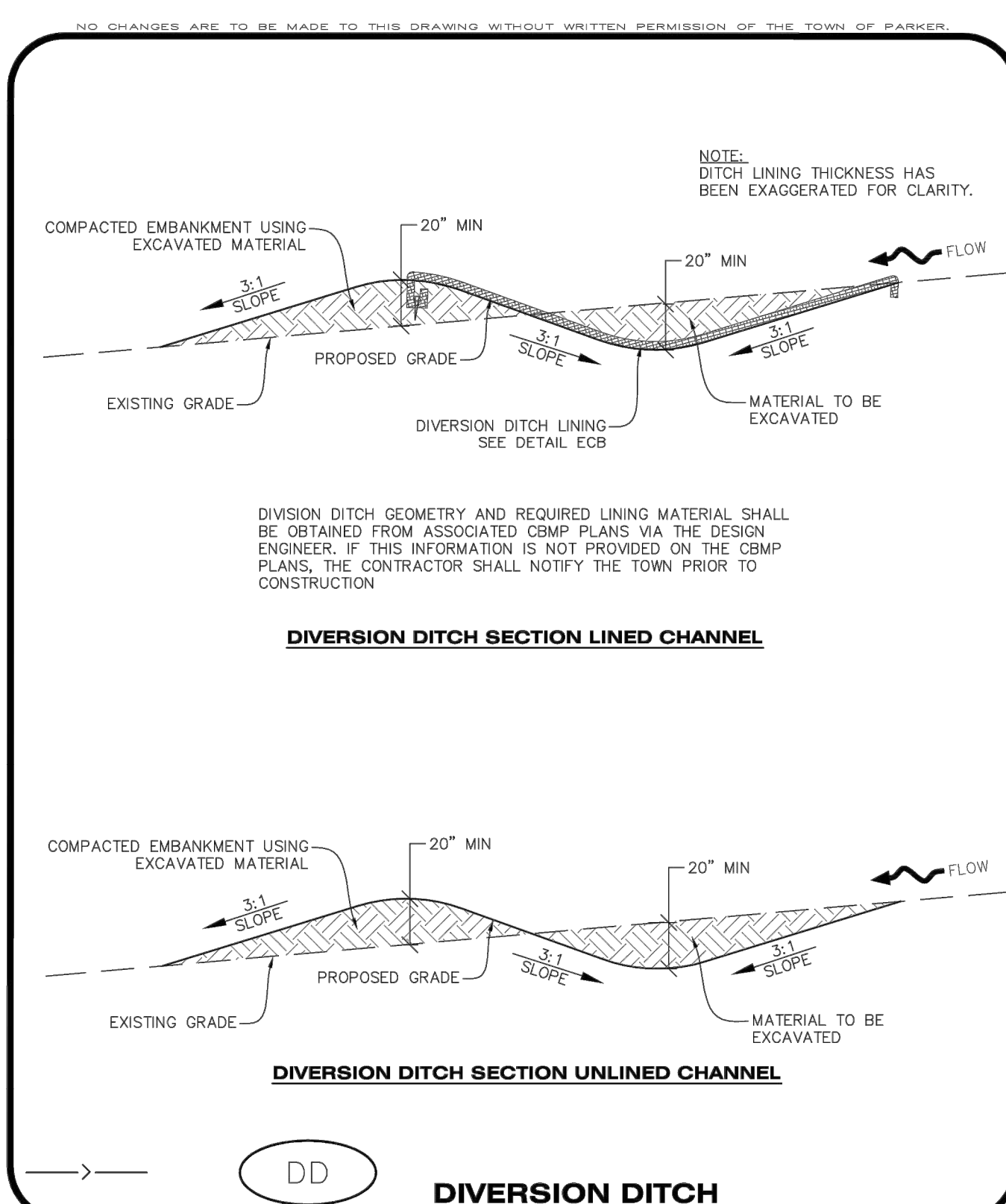
DEWATERING INSTALLATION NOTES

- IT IS THE EROSION CONTROL SUPERVISOR'S RESPONSIBILITY TO ENSURE THAT ALL DEWATERING IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE).

DEWATERING MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL INSPECT THE DEWATERING OPERATION TO ENSURE THAT THE DISCHARGE WATER IS DRAINING TO THE PROPER LOCATION(S) AND PERFORM ANY NECESSARY REPAIRS OR MAINTENANCE ON A FREQUENT BASIS.

Parker COLORADO | **CBMP** | **D**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
Oct. 2013



Parker COLORADO | **CBMP** | **DD**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
Oct. 2013

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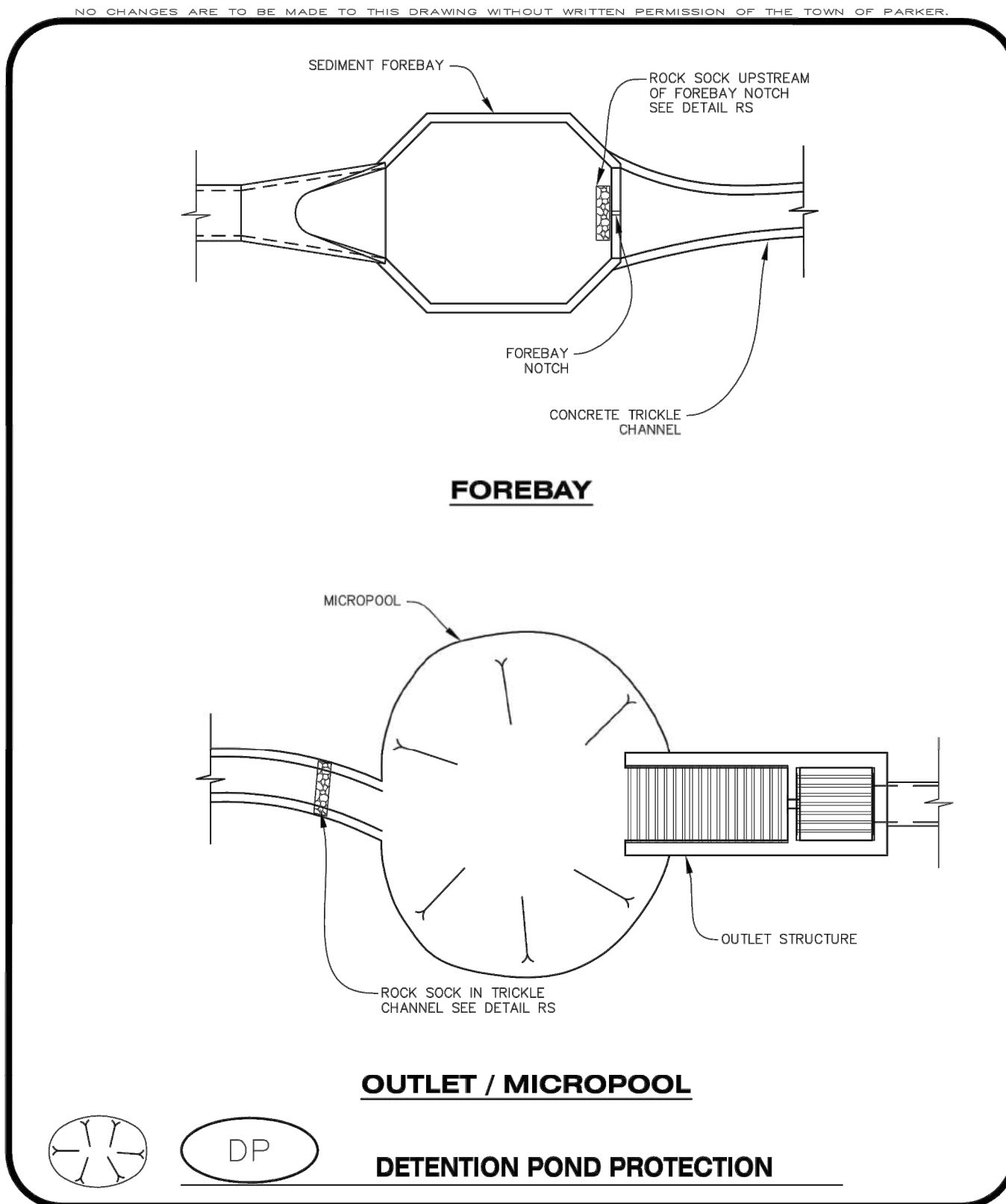
DEVIATION DITCH INSTALLATION NOTES

- SEE THE PLAN VIEW FOR THE LOCATION(S) OF THE DEVIATION DITCHES.
- A PLASTIC LINER, RIPRAP, OR EROSION CONTROL BLANKET MAY BE NECESSARY TO PROTECT THE DEVIATION DITCH. THE REQUIRED LINING MATERIAL SHALL BE OBTAINED FROM THE CBMP PLANS VIA THE DESIGN ENGINEER.
- ALL MATERIAL EXCAVATED FROM THE DITCH MAY BE USED TO CONSTRUCT THE BERM ON THE DOWNHILL SIDE OF THE DITCH.
- THE DEVIATION DITCH SHALL BE A MINIMUM OF 20" DEEP WITH APPROX. 3:1 SIDE SLOPES. THE ADJACENT BERM SHALL BE A MINIMUM OF 20" IN HEIGHT WITH APPROX. 3:1 SIDE SLOPES. ALL EMBANKMENTS SHALL BE FIRMLY COMPACTED.
- THE DISCHARGE FROM THE DEVIATION DITCH SHALL BE DIRECTED TOWARDS AN APPROPRIATELY SIZED TEMPORARY SEDIMENT BASIN OR OTHER APPROVED AREA.

DEVIATION DITCH INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE DEVIATION DITCH.
- ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE THE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 (10") THE CREST HEIGHT.
- DEVIATION DITCHES SHALL BE RE-GRADED FOLLOWING THE SIGNS OF MODERATE OR MORE SOIL EROSION OR ANY DAMAGE.
- DEVIATION DITCHES ARE TO REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR. ALTERNATIVELY, THE DEVIATION DITCHES MAY BE REMOVED WHEN THE SITE'S TOPOGRAPHY CHANGES SUCH THAT SIGNIFICANT RUNOFF IS NO LONGER POSSIBLE. IN SOME INSTANCES, THE DEVIATION DITCHES MAY REMAIN IN PLACE PERMANENTLY.

Parker COLORADO | **CBMP** | **DD**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
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Parker COLORADO | **CBMP** | **DP**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
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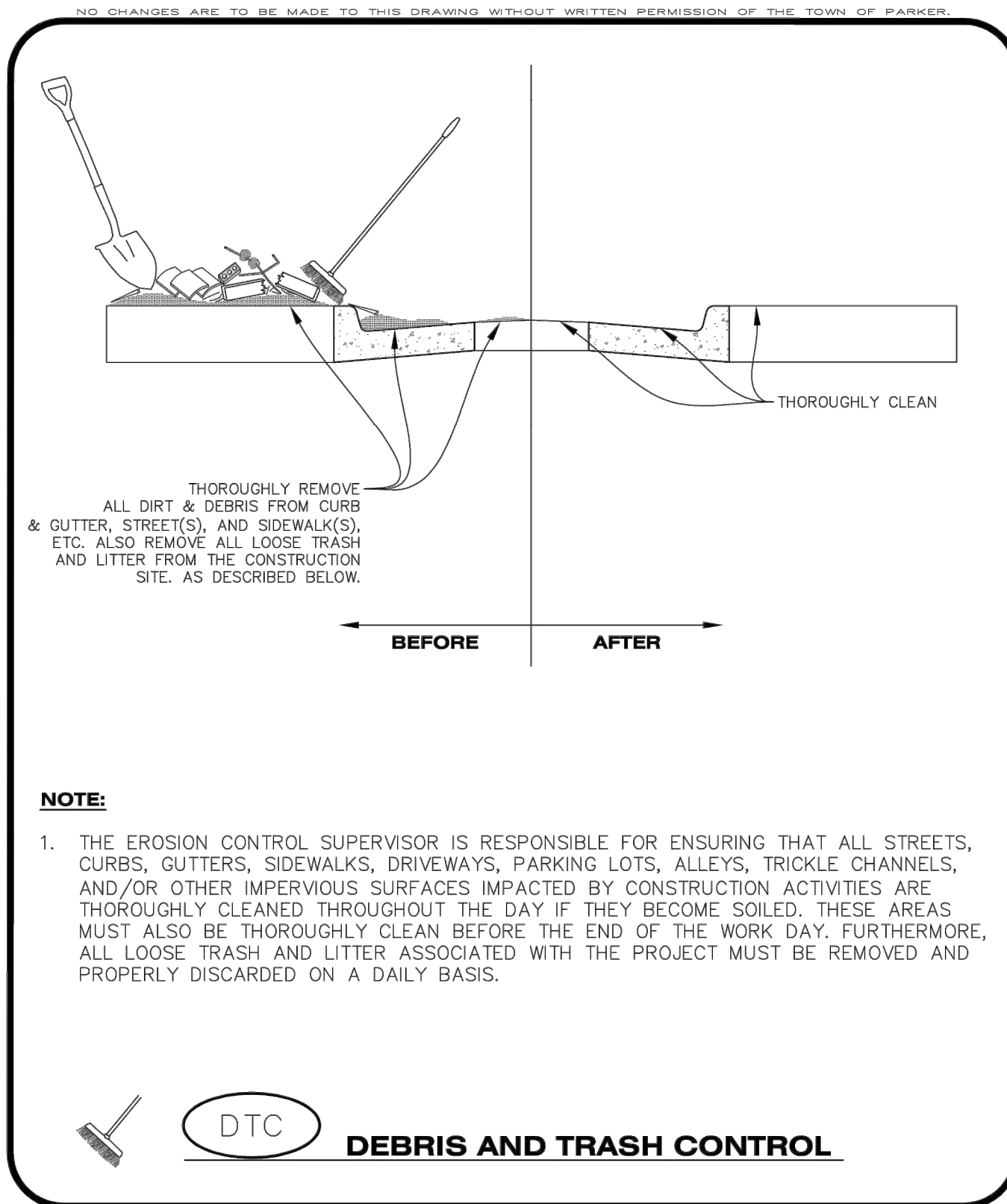
DETENTION POND PROTECTION INSTALLATION NOTES

- DETENTION POND PROTECTION SHALL BE INSTALLED IMMEDIATELY FOLLOWING THE CONSTRUCTION OF THE TRICKLE CHANNEL AND FOREBAY.
- CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
- ROCK SOCK FOR OUTLET STRUCTURE AND FOREBAY PROTECTION SHALL BE ONE CONTINUOUS PIECE (SEE DETAIL RS).

DETENTION POND PROTECTION INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE OUTLET STRUCTURE PROTECTION.
- ACCUMULATED SEDIMENT SHALL BE REMOVED IMMEDIATELY.
- OUTLET STRUCTURE PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

Parker COLORADO | **CBMP** | **DP**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
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Parker COLORADO | **CBMP** | **DTC**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
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NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

DEBRIS CONTROL NOTES:

- A COMBINATION OF SURFACE SCRAPING AND SWEEPING MAY BE NECESSARY TO PROPERLY CLEAN THESE AREAS.
- ALL CHEMICAL SPILLS AND/OR STAINS ON THE SITE SHALL BE CLEANED TO THE MAXIMUM EXTENT PRACTICABLE. IN SOME CASES IT MAY BE NECESSARY TO USE PRESSURIZED WATER AND A VAC-TRUCK.
- ON-SITE PERSONNEL, DELIVERY DRIVERS, ETC., SHOULD BE EDUCATED ON THE NEED FOR CONTINUAL DEBRIS AND TRASH CONTROL.

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CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
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REVISIONS

NO.	DATE	DESCRIPTION
1	06/18/2021	SECOND SUBMITTAL - RESPOND TO TOP COMMENTS
2	08/31/2021	THIRD SUBMITTAL - RESPOND TO TOP COMMENTS
3	10/14/2021	APPROVED PLANS

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COMPARK VILLAGE SOUTH, F1 - BELFORD AVE SITE PLAN AMD
TOWN OF PARKER, COLORADO
CBMP DETAILS

PROJ. MGR.: GTT
PROJ. ASSOC.: ASD
DRAWN BY: RAK
DATE: 03/15/2021

COLORADO REGISTERED PROFESSIONAL ENGINEER
37642
10-14-2021

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START EROSION BLANKET AT THE TOP OF SLOPE AND EXTEND PAST THE TOE OF SLOPE. BLANKET SHALL BE PLACED PERPENDICULAR TO THE TOP AND BOTTOM OF THE SLOPE. COMPLETE SUBSEQUENT ROWS IN THE SAME MANNER, OVERLAPPING THE BLANKETS A MINIMUM OF 1.0'.

1 TOP SLOPE ANCHOR SLOT
2 BLANKET OVERLAPS
3 TOP SIDE SLOPE EDGE OF BLANKET
4 BLANKET TERMINAL ENDS

STAPLE PATTERN
NOTE: STAPLES SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATION. IF MANUFACTURER'S INFO IS NOT AVAILABLE, THEN ABOVE STAPLE PATTERN SHALL BE USED. WOODEN STAKES SHALL NOT BE USED FOR EROSION CONTROL BLANKET ON SLOPES.

NOTE: WHEN NECESSARY, ALL SEEDING SHALL BE COMPLETED PRIOR TO THE PLACEMENT OF EROSION CONTROL BLANKETS. PLEASE SEE DETAIL SMC FOR SEEDING, MULCHING, AND CRIMPING REQUIREMENTS.

ECB EROSION CONTROL BLANKET (SLOPE)

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NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

TOE OF SLOPE ANCHOR TRENCH
TOP OF SLOPE ANCHOR TRENCH
JOINT ANCHOR TRENCH USED TO JOIN BLANKETS TOGETHER (LONGITUDINAL)

6" MIN.
COMPACTED BACKFILL (TYP.)

18"
SAW 2" x 4" LUMBER ON DIAGONAL

WOOD STAKE DETAIL
ALTERNATIVE WOOD STAKE PRODUCTS MAY BE USED WITH APPROVAL FROM THE TOWN.

STAKING PATTERN
NOTE: STAKES SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATION. IF MANUFACTURER'S INFO IS NOT AVAILABLE, THEN ABOVE STAKING PATTERN SHALL BE USED. STAPLES SHALL NOT BE USED FOR EROSION CONTROL BLANKET IN CHANNELS.

NOTE:
1. WOOD STAKES SHALL BE INSTALLED SUCH THAT ONLY 1" IS EXPOSED ABOVE THE GROUND.
2. WHEN NECESSARY, ALL SEEDING SHALL BE COMPLETED PRIOR TO THE PLACEMENT OF EROSION CONTROL BLANKETS. PLEASE SEE DETAIL SMC FOR SEEDING, MULCHING, AND CRIMPING REQUIREMENTS.

ECB EROSION CONTROL BLANKET (CHANNEL)

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EROSION CONTROL BLANKET INSTALLATION NOTES

- SEE THE PLAN VIEW FOR THE LOCATION(S) OF THE EROSION CONTROL BLANKETS.
- EROSION CONTROL BLANKETS USED FOR CHANNEL PROTECTION SHALL BE PROPERLY SELECTED BY THE DESIGN ENGINEER BASED ON CURRENT AND FUTURE FLOW RATES WITHIN THE CHANNEL. BASED ON THESE CALCULATIONS, TURF REINFORCEMENT MATTING OR RIPRAP MAY BE NECESSARY IN LIEU OF EROSION CONTROL BLANKETS.
- IMMEDIATELY PRIOR TO BLANKET INSTALLATION, SOIL SURFACE SHALL BE SMOOTH AND FREE OF ANY GAPS, VOIDS, WEEDS, ROCKS, STICKS, OR OTHER MISCELLANEOUS DEBRIS.
- EROSION CONTROL BLANKET SHALL THEN BE INSTALLED ACCORDING TO THE DETAILED DRAWINGS.
- ANY DAMAGED OR REMAINING STAPLES OR STAKES SHALL BE REMOVED FROM THE SITE.
- ALL EROSION CONTROL BLANKETS FOR SLOPE PROTECTION INSTALLED IN THE TOWN SHALL BE DOUBLE NET, STRAW OR EXCELSIOR.

MANUFACTURER	PRODUCT NAME
NORTH AMERICAN GREEN	S150
APPROVED EQUAL	APPROVED EQUAL

EROSION CONTROL BLANKET MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE EROSION CONTROL BLANKETS AND MAKE ANY NECESSARY REPAIRS.

ECB

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THIS METHOD OF INLET PROTECTION SHALL NOT BE USED ON INLETS RECEIVING SIGNIFICANT FLOWS, SUCH AS IN CERTAIN SWALES/CHANNELS OR HIGHWAY MEDIANS. INLET PROTECTION FOR AREA INLETS IN PAVEMENT (SEE DETAIL IPAP) SHALL BE USED IN THESE CONDITIONS.

AREA INLET WITH CONCRETE APRON PLAN VIEW
AREA INLET PLAN VIEW

WHEN APPROVED BY THE TOWN, ROCK SOCKS OR SEDIMENT CONTROL LOGS CAN BE USED IN LIEU OF STRAW BALES AND SILT FENCE.

TYPICAL STRAW BALES SEE DETAIL SB
SILT FENCE SEE DETAIL SF
PLACE BALES AS CLOSE TO INLET AS POSSIBLE

SECTION A
SECTION B

TYPICAL STRAW BALES SEE DETAIL SB
CONCRETE APRON
AREA INLET
STRAW BALE AND SILT FENCE NOT SHOWN TO REVEAL INLET

ISOMETRIC
ISOMETRIC

IPAN INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT

CBMP

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AREA INLET PROTECTION INSTALLATION NOTES

- SEE PLAN VIEW FOR LOCATION(S) OF AREA INLET PROTECTION.
- THE AREA INLET PROTECTION SHOWN ON CBMP PLANS SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE INSTALLATION OF NEW INLETS. AN INTERIM STYLE OF INLET PROTECTION MAY BE ALLOWED UNTIL THE INSTALLATION OF THE GUTTER AND/OR PAVEMENT.

AREA INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE AREA INLET PROTECTION.
- AREA INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- WHEN THE AREA INLET PROTECTION IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE AREA INLET PROTECTION MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
- ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.

IPAN

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AREA INLET WITH CONCRETE APRON PLAN VIEW
AREA INLET PLAN VIEW

ROCK SOCK SEE DETAIL RS
CONCRETE APRON
AREA INLET

SECTION A
SECTION B

PAVEMENT
CONCRETE APRON
AREA INLET
PAVEMENT

ROCK SOCK SEE DETAIL RS
FILTERED RUNOFF
ROCK SOCK SEE DETAIL RS
FILTERED RUNOFF

ISOMETRIC

IPAN INLET PROTECTION FOR AREA INLETS IN PAVEMENT

CBMP

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ROCK SOCK (SEE DETAIL RS) SHALL BE PLACED TIGHTLY AGAINST CURB FACE AND SHALL BE PLACED 5.0' UPSTREAM FROM THE INLET OPENING.

4.0' MIN.
5.0'
INLET SIZE = "1"
FLOWLINE (TYP.)
SEDIMENT CONTROL LOG (AS REQUIRED) SEE DETAIL SCL
20' (TYP.)
4.0' MIN.
FLOW
LIP OF CURB (TYP.)
TOP BACK CURB (TYP.)

PLAN VIEW

TUBULAR MARKER SEE DETAIL
TUBULAR MARKER MUST BE SECURED TO THE END OF THE ROCK SOCK AND WIRE-TIED WITH REBAR TIE WIRE OR A TOWN APPROVED EQUIVALENT.

ISOMETRIC

CURB INLET
SEDIMENT CONTROL LOG (AS REQUIRED) SEE DETAIL SCL

5.0'

TUBULAR MARKER MUST BE SECURED TO THE END OF THE ROCK SOCK AND WIRE-TIED WITH REBAR TIE WIRE OR A TOWN APPROVED EQUIVALENT.

ROCK SOCK SEE DETAIL RS
ROCK SOCK SEE DETAIL RS

20.0' MIN.
TUBULAR MARKER SEE DETAIL

PLAN VIEW FOR MULTIPLE ROCK SOCKS

IPCOG INLET PROTECTION, CURB ON-GRADE, TYPE R INLET

CBMP

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REFLECTIVE MARKING
36" MIN.
TRAFFIC MARKER POST BASE
TRAFFIC MARKER POST BASE

ELEVATION
BASE

16" ±
16" ±

TUBULAR TRAFFIC MARKER DETAIL

IPCOG

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2. 08/31/2021 THIRD SUBMITTAL - RESPOND TO TOP COMMENTS
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COMPARK VILLAGE SOUTH, F1 - BELFORD AVE SITE PLAN AMD

TOWN OF PARKER, COLORADO

CBMP DETAILS

PROFESSIONAL ENGINEER
37642
10-14-2021

PROJ. MGR.: GTT
PROJ. ASSOC.: ASD
DRAWN BY: RAK
DATE: 03/15/2021

SHEET
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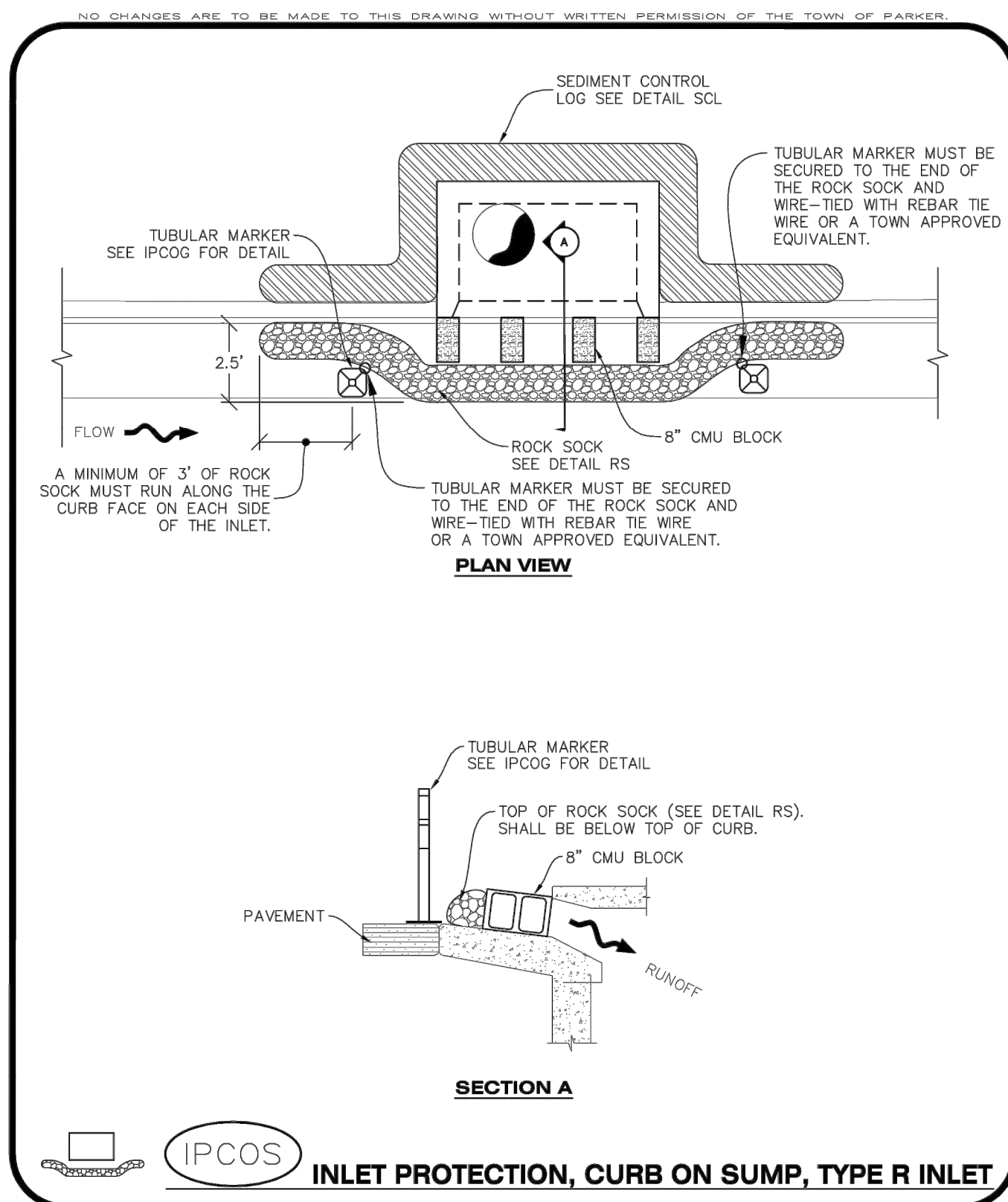
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INLET PROTECTION, CURB ON-GRADE INSTALLATION NOTES

- SEE CBMP PLAN FOR LOCATION(S) OF ON-GRADE INLET PROTECTION.
- CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
- ROCK SOCK FOR ON-GRADE INLET PROTECTION SHALL BE ONE CONTINUOUS PIECE.
- ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL, SIZED TO KEEP ROCK FROM SPILLING OUT.
- ROCK SOCK SHALL BE PLACED 5.0' UPHILL OF THE INLET OPENING.
- TUBULAR MARKER SHALL BE A MINIMUM OF 3.0' HIGH WITH REFLECTIVE BANDS AND OCTAGON SHAPED BASES.
- THE CURB INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE APPLICABLE INSTALLATION OF THE FIRST LIFT OF ASPHALT ON ROADWAYS DRAINING TO THE INLET.

ON-GRADE INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE ON-GRADE INLET PROTECTION.
- ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
- ON-GRADE INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.



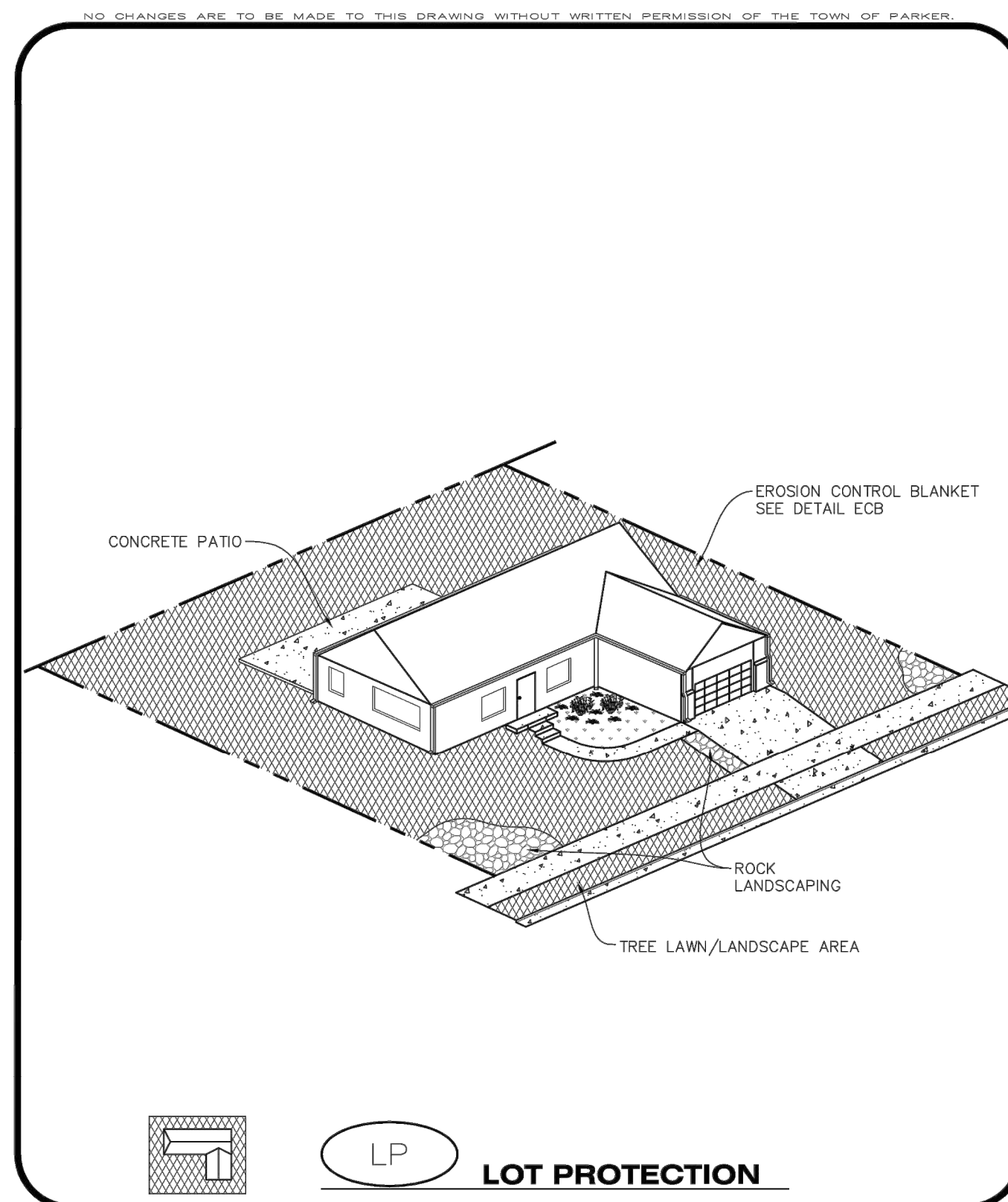
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CURB INLET PROTECTION INSTALLATION NOTES

- SEE CBMP PLAN FOR LOCATION(S) OF CURB INLET PROTECTION.
- CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
- ROCK SOCK SHALL BE ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAPPED JOINTS (SEE DETAIL RS).
- ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL, SIZED TO KEEP ROCK FROM SPILLING OUT.
- ROCK SOCK SHALL EXTEND 3.0' ALONG THE CURB BEYOND LOCATIONS WHERE IT RETURNS TO CONTACT CURB FACE.
- TUBULAR TRAFFIC MARKERS SHALL BE A MINIMUM OF 36" IN HEIGHT WITH REFLECTIVE BANDS AND OCTAGON SHAPED BASES.
- THE CURB INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE INSTALLATION OF THE FIRST LIFT OF ASPHALT ON ROADWAYS DRAINING TO THE CURB INLET. CMU BLOCKS OR THE ROCK SOCK SHALL BE USED AS INTERIM PROTECTION UNTIL THE FIRST LIFT OF ASPHALT IS INSTALLED.

CURB INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CURB INLET PROTECTION.
- ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
- CURB INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.



Parker COLORADO | **CBMP** | **IPCOS**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 3 OF 3
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Parker COLORADO | **CBMP** | **IPCOS**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
Oct. 2013

Parker COLORADO | **CBMP** | **IPCOS**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
Oct. 2013

Parker COLORADO | **CBMP** | **LP**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
Oct. 2013

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EROSION CONTROL BLANKET FOR LOT PROTECTION INSTALLATION NOTES

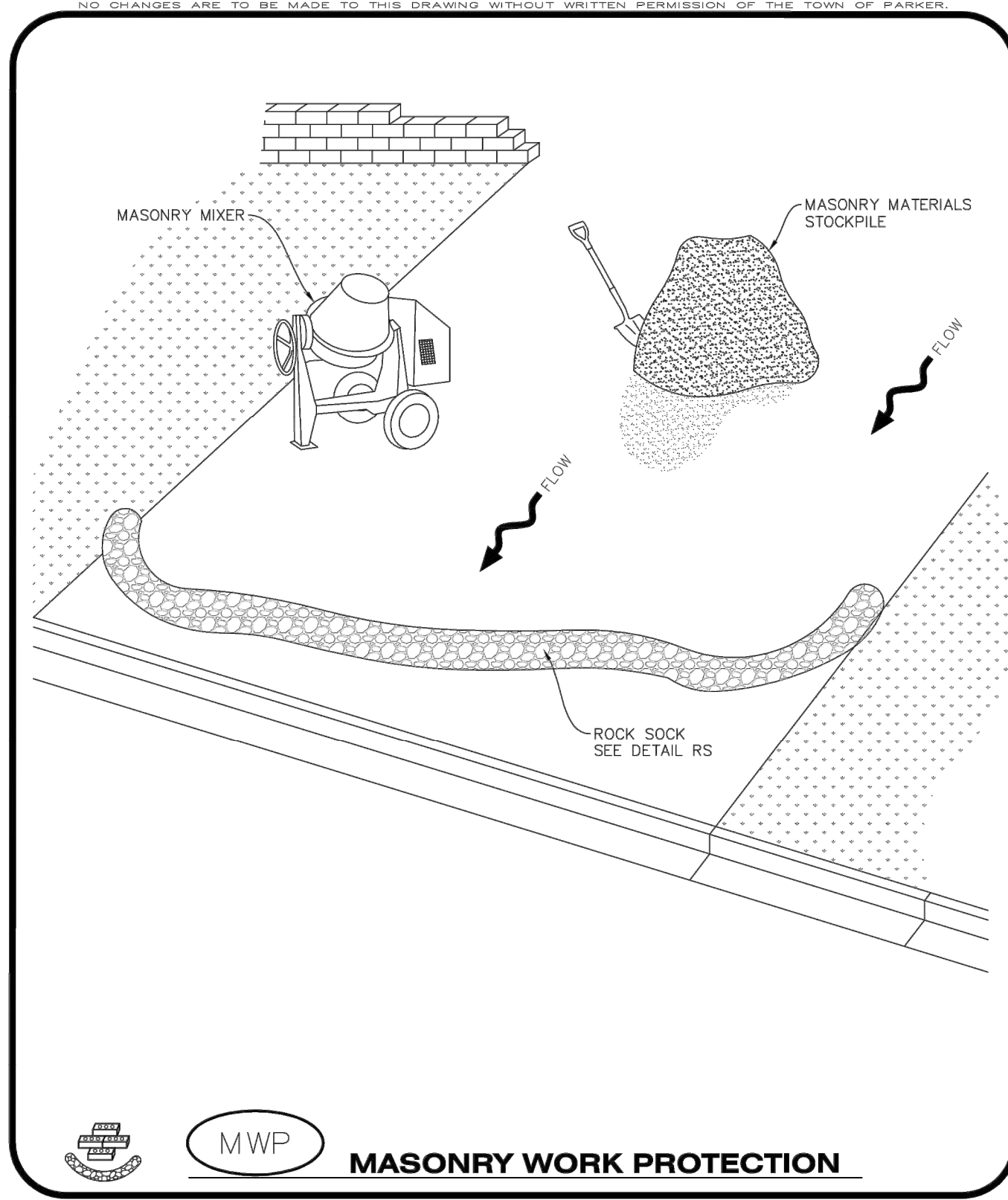
- ALL EROSION CONTROL BLANKETS FOR LOT PROTECTION INSTALLED IN THE TOWN SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:

MANUFACTURER	PRODUCT NAME
NORTH AMERICAN GREEN APPROVED EQUAL	S150 BN APPROVED EQUAL

- ALL EROSION CONTROL BLANKETS FOR LOT PROTECTION SHALL BE INSTALLED ACCORDING TO THE DETAIL DRAWINGS, WITH THE FOLLOWING ALLOWANCES AND ADDITIONS:
 - THE TOWN WILL ALLOW THE USE OF BIODEGRADABLE, EROSION CONTROL BLANKET-SPECIFIC STAPLES, IN LIEU OF TRADITIONAL METAL STAPLES.
 - ALL EROSION CONTROL BLANKET EDGES (SIDES AND ENDS) MUST OVERLAP THE ADJACENT BLANKET BY A MINIMUM OF 6-INCHES WITH THE UP-GRADIENT EDGES BEING PLACED ON TOP OF THE DOWN-GRADIENT EDGE OF THE ADJACENT BLANKET.
 - THE EDGES (SIDES AND ENDS) OF THE EROSION CONTROL BLANKETS DO NOT NEED TO BE TRENCHED INTO THE GROUND ASSUMING THE SITE CONDITIONS WILL NOT CAUSE EROSION BENEATH THE BLANKETS. THESE ASSUMPTIONS WILL BE THE RESPONSIBILITY OF THE EROSION CONTROL SUPERVISOR. ON OCCASION, THE TOWN'S INSPECTOR MAY REQUEST TRENCHING BASED UPON SITE CONDITIONS.
 - TOPSOIL PLACEMENT, SEEDING, AND MULCHING WILL NOT BE REQUIRED ON THE LOTS PRIOR TO THE INSTALLATION OF THE EROSION CONTROL BLANKET.
- ANY DAMAGED OR EXCESS STAPLES SHALL BE REMOVED FROM THE SITE FOLLOWING INSTALLATION.
- THE EROSION CONTROL BLANKETING REQUIRED AS PART OF THE LOT PROTECTION (LP) REQUIREMENT MUST BE INSTALLED OVER ALL UN-LANDSCAPED AREAS WITHIN EACH RESIDENTIAL, MULTI-FAMILY, AND COMMERCIAL LOT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY / TEMPORARY CERTIFICATE OF OCCUPANCY.

EROSION CONTROL BLANKET FOR LOT PROTECTION MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE EROSION CONTROL BLANKET FOR LOT PROTECTION.
- EROSION CONTROL BLANKETS FOR LOT PROTECTION ARE INTENDED TO REMAIN IN PLACE AND MAINTAINED UNTIL LANDSCAPING IS INSTALLED.



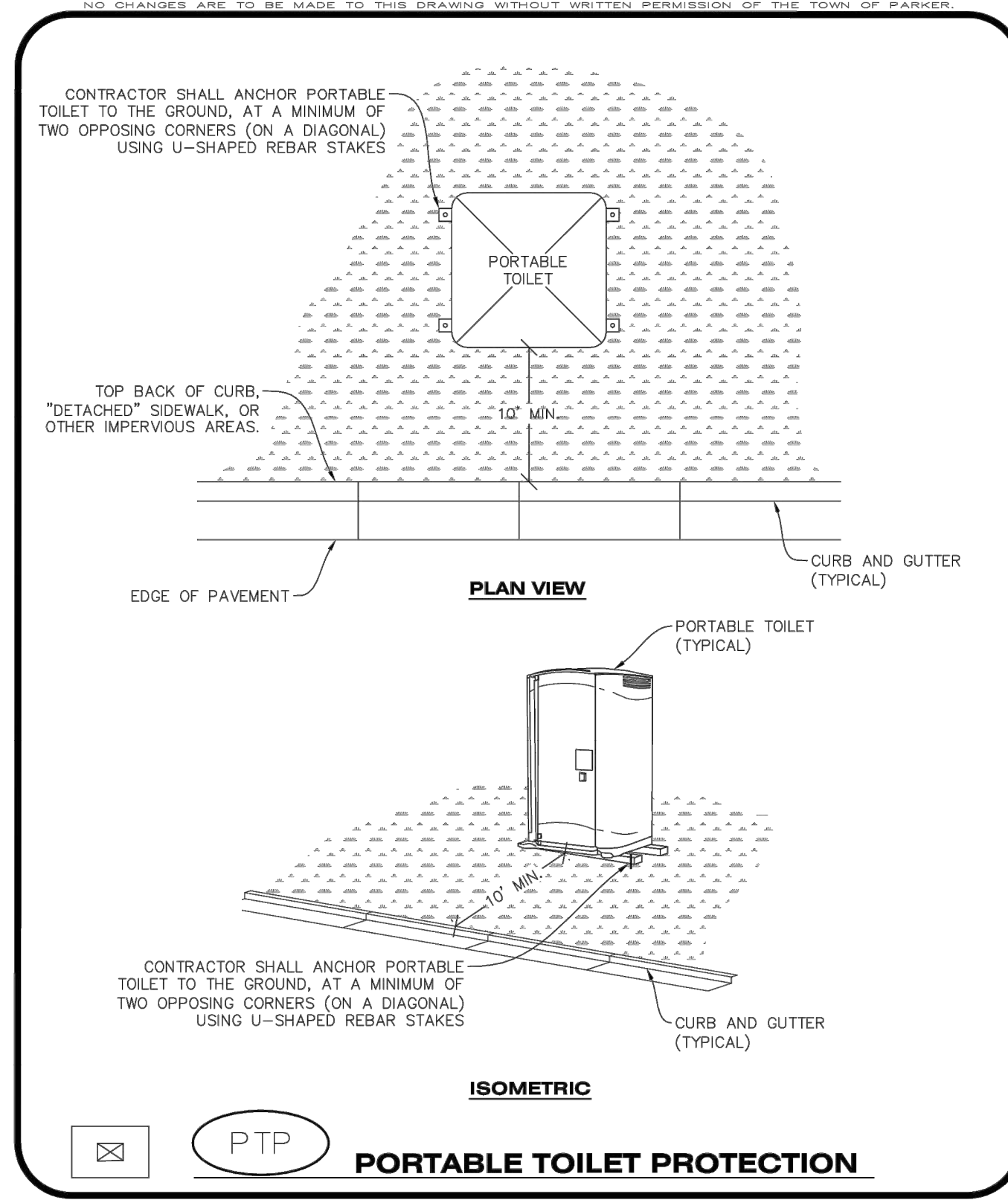
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MASONRY WORK PROTECTION INSTALLATION NOTES

- MASONRY WORK PROTECTION MAY NEED TO BE INSTALLED WHEN MASONRY WORK AND MIXING IS OCCURRING.
- A ROCK SOCK SHALL BE INSTALLED IN A CRESCENT SHAPE ON THE DOWNHILL SIDE OF THE MASONRY WORK AND MIXER.
- CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
- ROCK SOCK SHALL BE ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAPPED JOINTS (SEE DETAIL RS).
- ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL, SIZED TO KEEP ROCK FROM SPILLING OUT.

MASONRY WORK PROTECTION INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE MASONRY WORK PROTECTION.
- ALL CONCRETE WASTE SHALL BE REGULARLY CLEANED AND PLACED IN THE CONCRETE WASH OUT AREA.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.



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CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
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Parker COLORADO | **CBMP** | **MWP**
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Parker COLORADO | **CBMP** | **PTP**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
Oct. 2013

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COMPARK VILLAGE SOUTH, F1 - BELFORD AVE SITE PLAN AMD
TOWN OF PARKER, COLORADO
CBMP DETAILS

PROFESSIONAL ENGINEER
37642
10-14-2021

PROJ. MGR.: GTT
PROJ. ASSOC.: ASD
DRAWN BY: RAK
DATE: 03/15/2021

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23 OF 33
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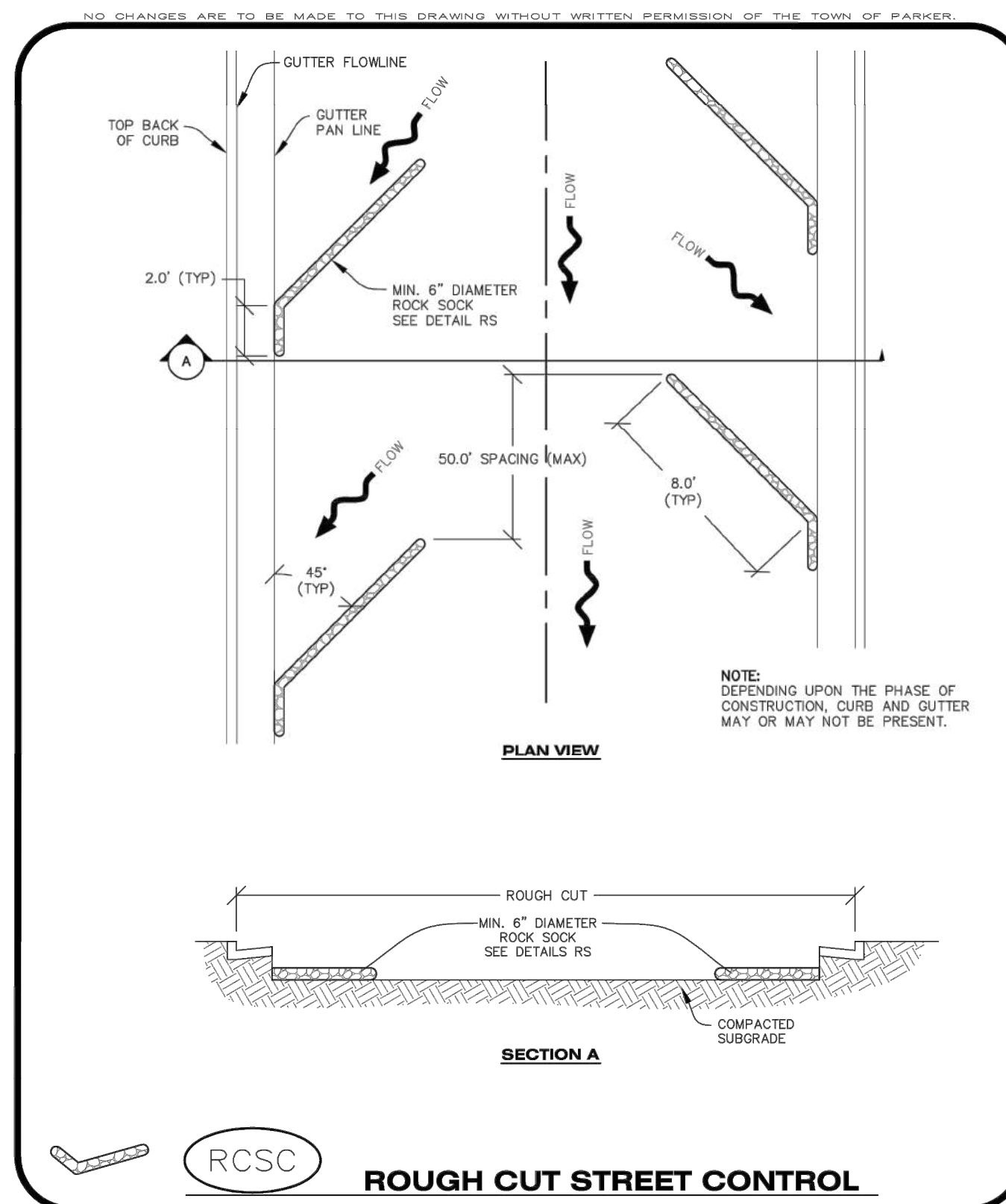
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PORTABLE TOILET PROTECTION INSTALLATION NOTES

1. PORTABLE TOILETS SHALL BE PLACED A MINIMUM OF 10.0' BEHIND ALL CURBS, SIDEWALKS, AND OTHER IMPERVIOUS AREAS.
2. ALL PORTABLE TOILETS MUST BE GROUPED TOGETHER.
3. PORTABLE TOILETS SHALL BE SECURELY ANCHORED TO THE GROUND USING U-SHAPED REBAR STAKES.
4. U-SHAPED REBAR STAKES SHALL BE POSITIONED ON AT LEAST 2 OPPOSING (DIGITAL) CORNERS.

PORTABLE TOILET PROTECTION INSPECTION AND MAINTENANCE NOTES

2. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE PORTABLE TOILET PROTECTION.
3. PORTABLE TOILETS SHALL BE SERVICED AT THE NECESSARY INTERVALS TO ELIMINATE THE POSSIBILITY OF OVERFLOW.
4. WHEN THE PORTABLE TOILETS ARE REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE TOILETS MAY NEED TO BE LANDSCAPED OR ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
5. PORTABLE TOILETS THAT ARE NOT CONSISTENTLY MAINTAINED IN ACCORDANCE WITH THESE REQUIREMENTS MAY NEED TO BE CLUSTERED TOGETHER, IN ONE CENTRALIZED LOCATION IN ORDER TO INCREASE COMPLIANCE AND REDUCE THE CHANCE OF A SPILL.



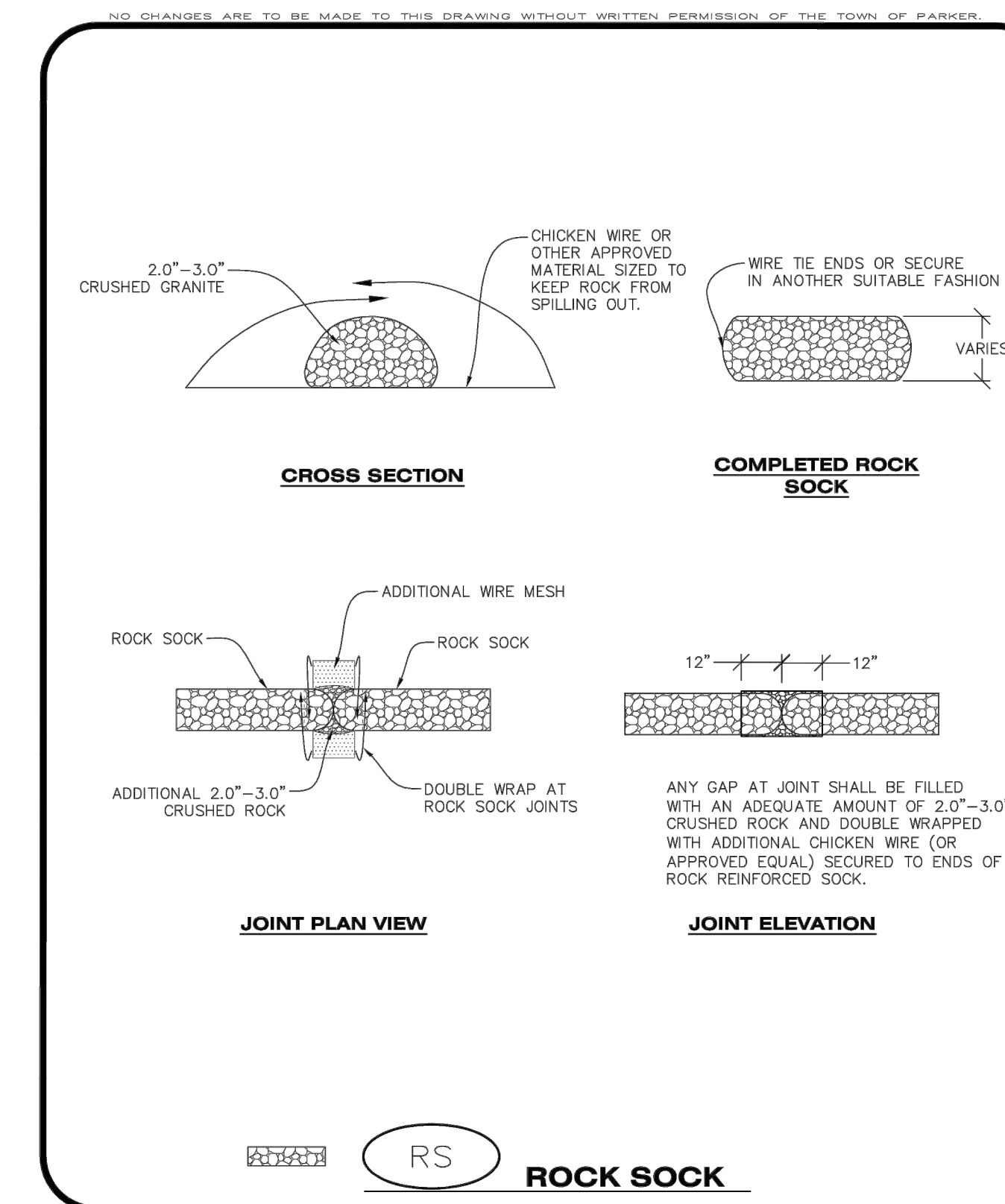
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ROUGH CUT STREET CONTROL INSTALLATION NOTES

1. SEE CBMP PLAN FOR LOCATION(S) OF ROUGH CUT STREET CONTROL.
2. THE SPACING OF THE ROUGH CUT STREET CONTROL MAY BE DETERMINED BY THE DESIGN ENGINEER AND SHOWN ON THE CBMP PLAN.

ROUGH CUT STREET CONTROL INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE ROUGH CUT STREET CONTROL.
2. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN THE SEDIMENT DEPTH IS 1/2 THE HEIGHT OF THE ROCK SOCK.
3. ROUGH CUT STREET CONTROL SHALL BE REPAIRED IMMEDIATELY FOLLOWING ANY SIGN OF WEAR OR ALTERATION OF THE ORIGINAL SHAPE AND DIMENSIONS.
4. ROUGH CUT STREET CONTROL SHALL BE KEPT IN PLACE AND MAINTAINED UNTIL SUB-GRADE PREPARATION BEGINS FOR PAVING. AT THAT POINT, THE RCSC SHOULD BE REMOVED IN INCREMENTS BASED ON SUBGRADE PREPARATION.



Parker COLORADO | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **PTP** 2 OF 2 Oct. 2013

Parker COLORADO | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **RCSC** 1 OF 2 Oct. 2013

Parker COLORADO | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **RCSC** 2 OF 2 Oct. 2013

Parker COLORADO | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **RS** 1 OF 2 Oct. 2013

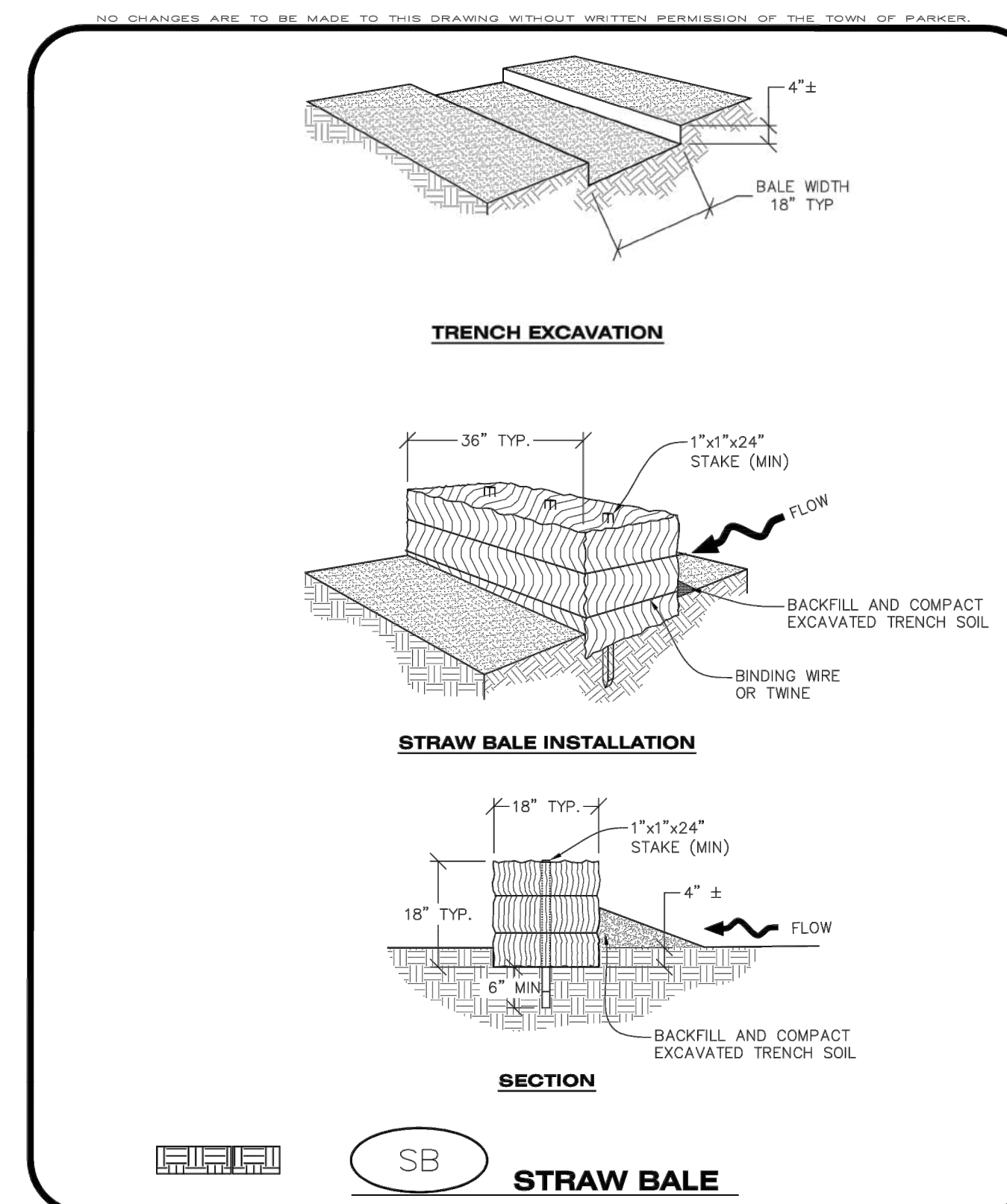
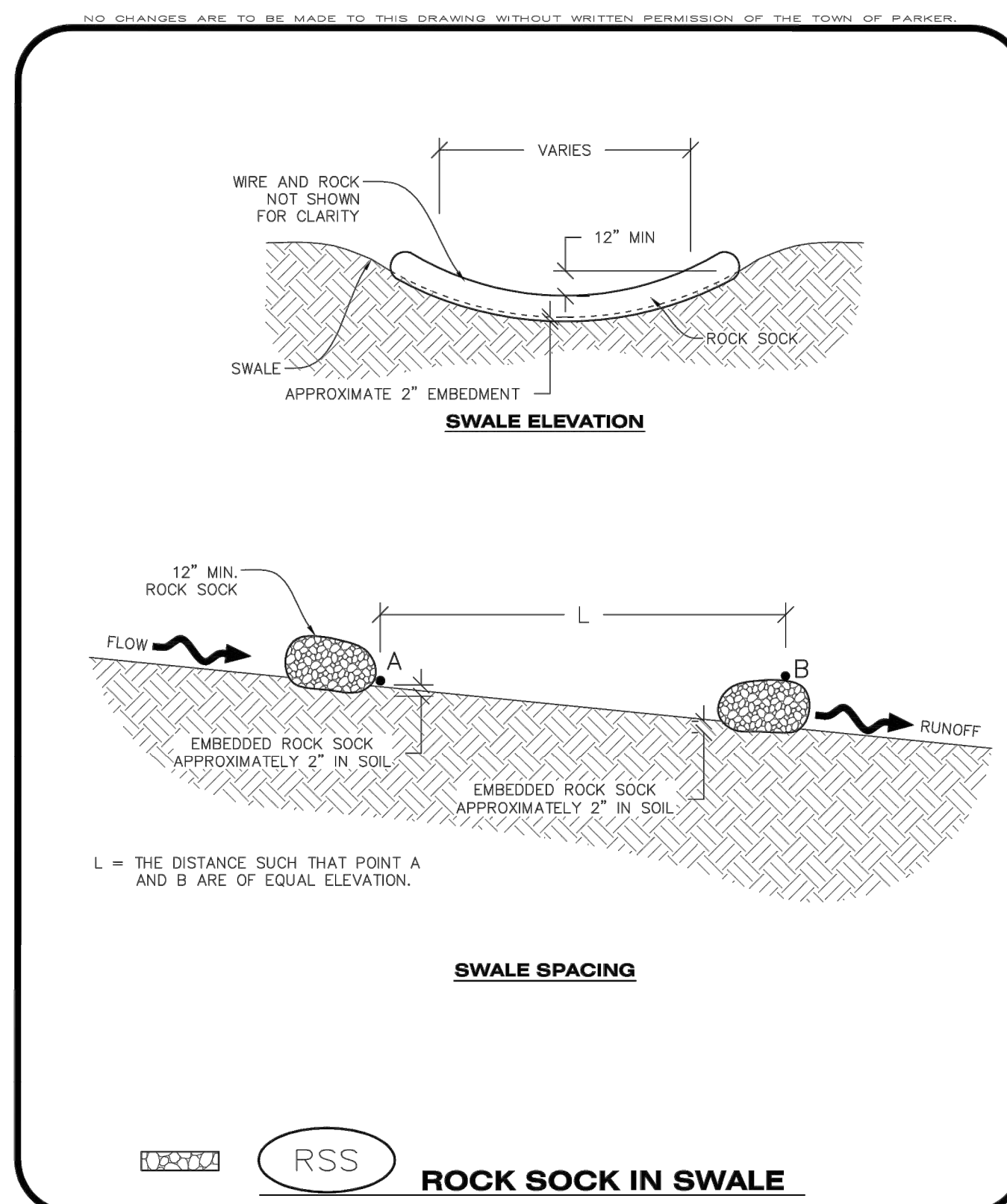
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ROCK SOCK INSTALLATION NOTES

1. SEE CBMP PLAN FOR LOCATION(S) OF ROCK SOCK.
2. CRUSHED ROCK SHALL BE APPROXIMATELY 2.0"-3.0" GRANITE IN SIZE WITH A FRACTURED FACE (ALL SIDES).
3. ROCK SOCK SHALL BE APPROXIMATELY ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAPPED JOINTS (SEE DETAIL RS).
4. ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL SIZED TO KEEP ROCK FROM SPILLING OUT.
5. MINIMUM ROCK SOCK DIAMETER SHALL VARY BASED ON APPLICATION (7" MIN).
6. TUBULAR MARKERS MAY NEED TO BE USED IN CONJUNCTION WITH ROCK SOCKS ANYTIME THE ROCK SOCK IS PLACED ON A ROADWAY, SIDEWALK, PARKING LOT OR OTHER LOCATION SUSCEPTIBLE TO VEHICLE OR PEDESTRIAN TRAFFIC. TUBULAR MARKERS SHALL CONFORM TO THE TUBULAR MARKER DETAIL.

ROCK SOCK INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE ROCK SOCKS.
2. ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
3. ROCK SOCKS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.



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STRAW BALE INSTALLATION NOTES

1. SEE CBMP PLAN FOR LOCATION(S) OF STRAW BALES.
2. TYPICAL STRAW BALES SHALL BE APPROXIMATELY 36"x18"x18".
3. TWO (2) WOODEN STAKES SHALL BE USED TO HOLD EACH BALE IN PLACE. WOODEN STAKES SHALL BE A MINIMUM OF 1"x1"x24".
4. WOODEN STAKES SHALL BE PLACED APPROXIMATELY 6" INTO THE GROUND.
5. STRAW BALES SHALL BE SPACED AND POSITIONED ACCORDING TO DETAILS.

STRAW BALE INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE STRAW BALES.
2. ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE THE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE STRAW BALE.
3. STRAW BALES MAY NEED TO BE REPLACED IF THEY BECOME HEAVILY SOILED, ROTTEN, OR OTHERWISE DAMAGED.
4. STRAW BALES SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
5. WHEN THE STRAW BALES ARE REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE STRAW BALES MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

Parker COLORADO | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **RS** 2 OF 2 Oct. 2013

Parker COLORADO | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **RSS** 1 OF 1 Oct. 2013

Parker COLORADO | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **SB** 1 OF 2 Oct. 2013

Parker COLORADO | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **SB** 2 OF 2 Oct. 2013

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37642
10-14-2021

PROJ. MGR.: GTT
PROJ. ASSOC.: ASD
DRAWN BY: RAK
DATE: 03/15/2021

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SEEDING AND MULCHING MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SEEDING AND MULCHING.
2. ANY SEEDED AND MULCHED AREAS THAT BECOME DAMAGED SHALL BE REPAIRED WITHIN THE TIME FRAME SPECIFIED BY THE TOWN'S INSPECTOR.

WEED MANAGEMENT

1. ALL HERBICIDES SHALL BE APPLIED BY COMMERCIAL PESTICIDE APPLICATORS LICENSED BY THE COLORADO DEPARTMENT OF AGRICULTURE AS QUALIFIED APPLICATORS. THE CONTRACTOR SHALL FURNISH DOCUMENTATION OF SUCH LICENSING PRIOR TO HERBICIDE APPLICATION.
2. HERBICIDE APPLICATION METHOD SHALL BE SUCH THAT PLANT GROWTH OUTSIDE THE DESIGNATED TREATMENT AREAS WILL NOT BE DAMAGED. ALL DAMAGE CAUSED BY IMPROPER HERBICIDE APPLICATION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
3. HERBICIDES SHALL BE APPLIED DURING THE APPROPRIATE SEASONS, WHEN TARGET PLANTS ARE ACTIVELY GROWING.
4. AFTER THE GRASS SEED IS ESTABLISHED, APPROPRIATE HERBICIDES SHALL BE APPLIED TO CONTROL THE REMAINING WEEDS TO ENSURE A TIMELY RETURN OF THE FINANCIAL SECURITY. PROPER TIMING OF HERBICIDE APPLICATIONS ARE NECESSARY TO ACHIEVE THE SUPPRESSION OF WEED SEED PRODUCTION AND DEPLETION OF WEED ROOT MASS. ULTIMATELY, THE HERBICIDES USED SHALL BE BASED UPON THE TARGET WEEDS.
5. HERBICIDE TREATMENTS SHALL CONTINUE AT AN APPROPRIATE RATE UNTIL IT IS EVIDENT THAT WEED GROWTH PRESENCE AND GROWTH IS MINIMAL AND MAY BE CONTROLLED THROUGH MOWING AND/OR ANNUAL HERBICIDE TREATMENT.

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TOWN OF PARKER, SEED MIX 1

20% CANADA WILDRYE
15% CRESTED WHEATGRASS
15% SLENDER WHEATGRASS
10% ANNUAL RYEGRASS
10% SHEEP FESCUE
10% BIG BLUESTEM
10% SIDEOTS GRAMA
5% CANADA BLUEGRASS
5% BLUE GRAMA

SEEDING RATE:
DRILLED: 25 LBS/ACRE
BROADCAST: 50 LBS/ACRE

TOWN OF PARKER, SEED MIX 2

22% SLENDER WHEATGRASS
18% SODAR STREAMBANK WHEATGRASS
13% ARIZONA FESCUE
13% BLUE GRAMA
12% BUFFALOGRASS
12% BARLEY OR OATS
5% SPIKE MUHLY
5% INDIAN RICEGRASS

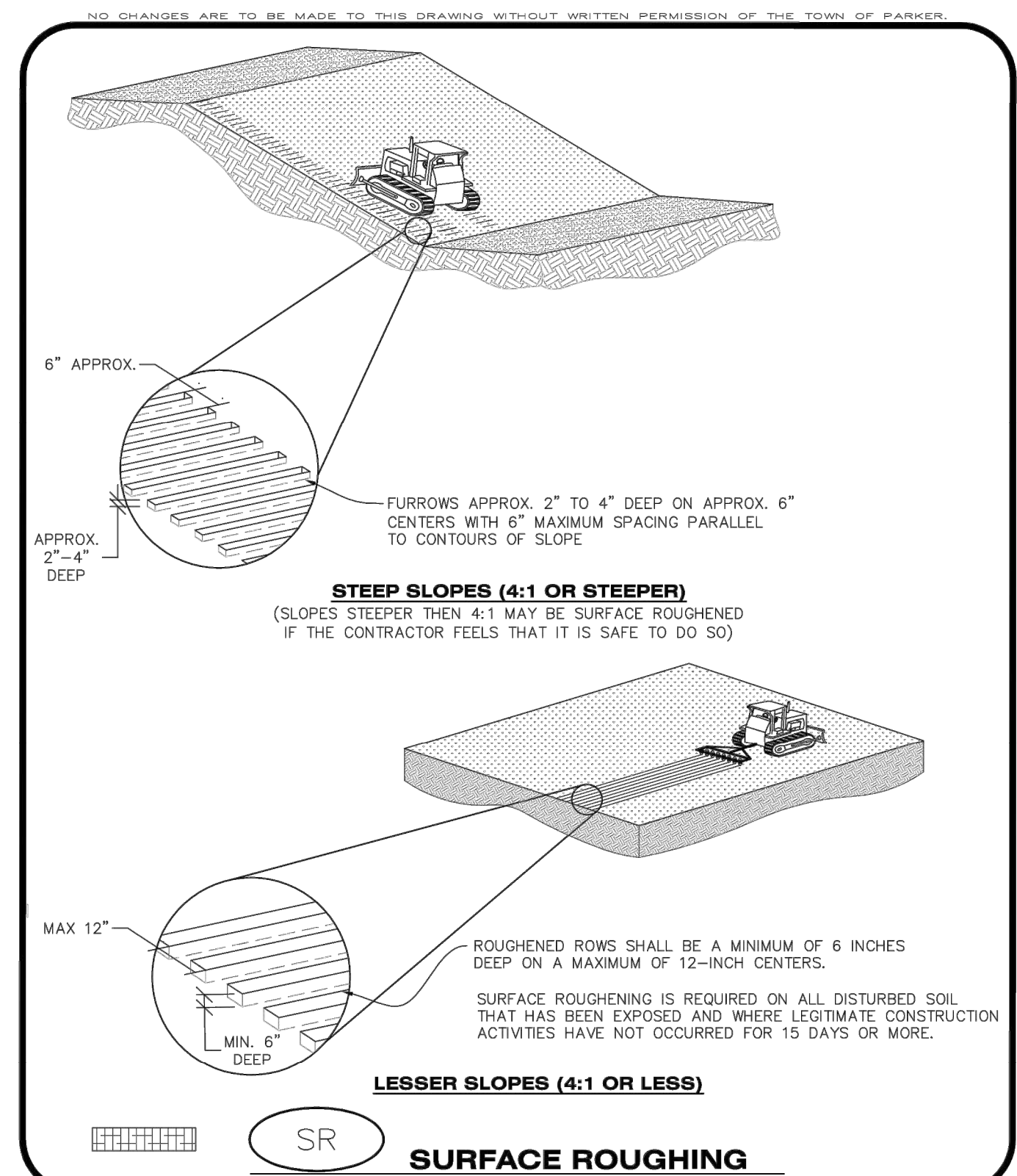
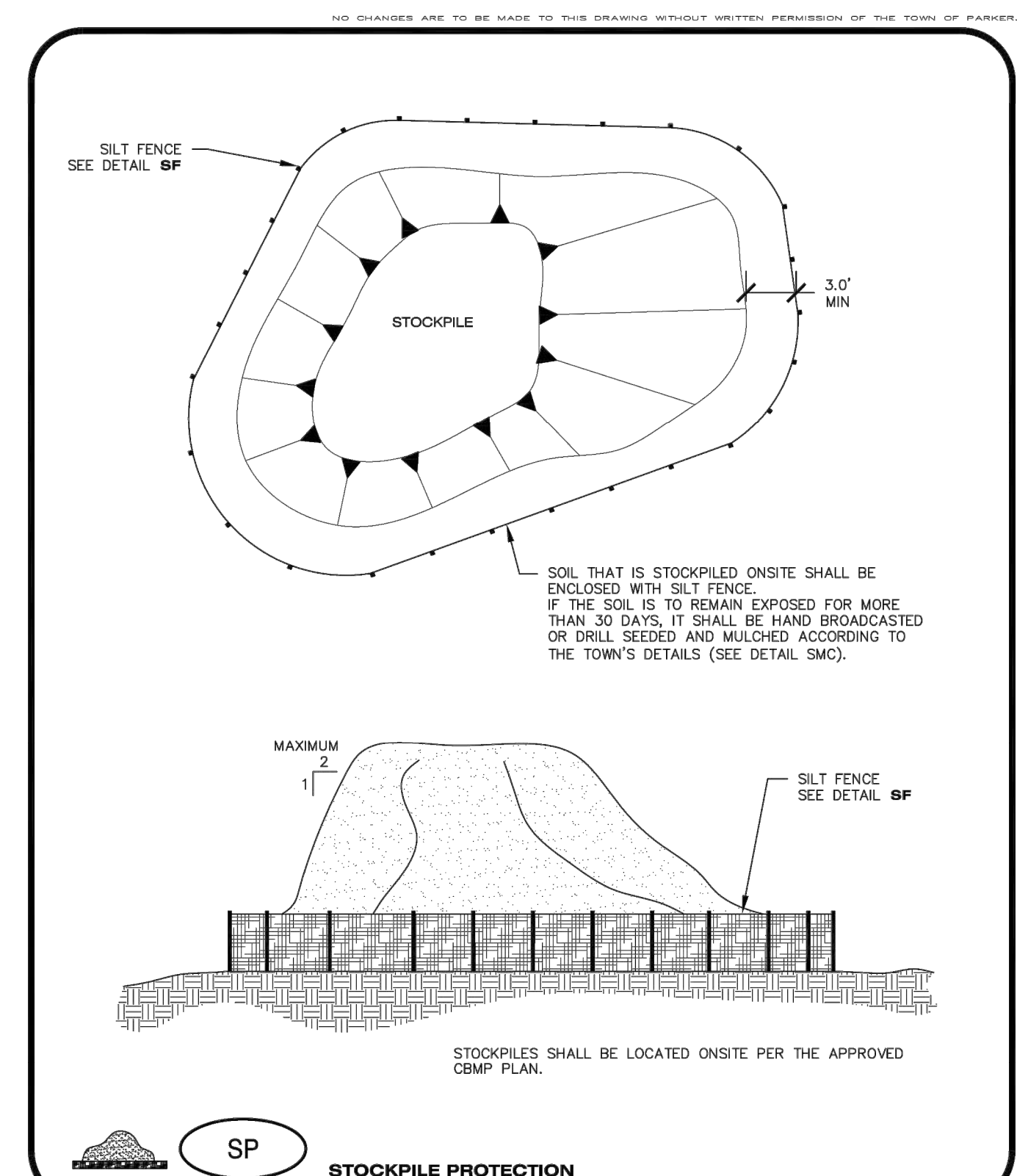
SEEDING RATE:
DRILLED: 25 LBS/ACRE
BROADCAST: 50 LBS/ACRE

TOWN OF PARKER, SEED MIX 3 (LOW-GROWTH MIX)

25% EPHRAIM CRESTED WHEATGRASS
23% SHEEP FESCUE
18% PERENNIAL RYEGRASS
13% CANADA BLUEGRASS
12% BARLEY OR OATS
9% BLUE FESCUE

SEEDING RATE:
DRILLED: 25 LBS/ACRE
BROADCAST: 50 LBS/ACRE

SEED MIX 4:
OTHER SEED MIXES APPROVED BY THE TOWN OF PARKER



Parker COLORADO | **CBMP** | **SMC**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 3
Oct. 2013

Parker COLORADO | **CBMP** | **SMC**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 3 OF 3
Oct. 2013

Parker COLORADO | **CBMP** | **SP**
CONSTRUCTION BEST MANAGEMENT PRACTICES | JUNE 2006

Parker COLORADO | **CBMP** | **SR**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
Oct. 2013

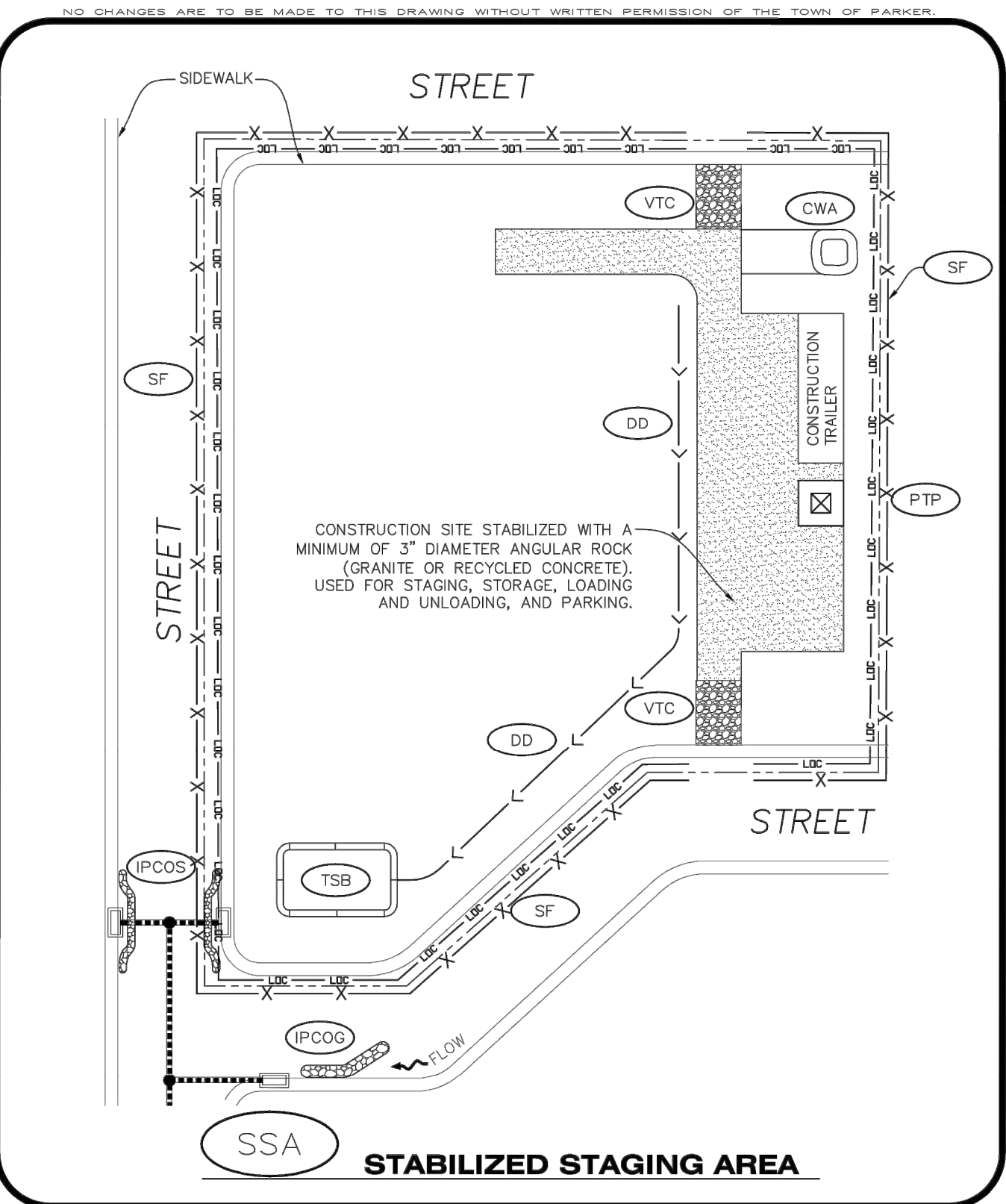
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SURFACE ROUGHENING INSTALLATION NOTES

1. SEE CBMP PLAN FOR LOCATION(S) OF SURFACE ROUGHENING.
2. DISTURBED AREAS THAT REMAIN INACTIVE FOR 15 DAYS OR MORE MUST RECEIVE SURFACE ROUGHENING OR ANOTHER APPROVED BMP FROM THE SDECM. DETERMINATION OF JOB SITE INACTIVITY IS AT THE DISCRETION OF THE TOWN'S INSPECTOR.
3. FOR STEEP SLOPES (3:1 OR STEEPER), IT IS ACCEPTABLE TO "TRACK" THE SLOPES, ACCORDING TO THE CBMP DETAILS.
4. SCHEDULES FOR REQUIRING STABILIZATION MAY BE MODIFIED BY THE PERMITTEE TO ALLOW FOR SPECIAL CONSIDERATIONS SUCH AS STABILIZING ACCESS AREAS AND AREAS IN CLOSE PROXIMITY TO CONTINUING CONSTRUCTION.

SURFACE ROUGHENING INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL PROACTIVELY INSPECT THE SURFACE ROUGHENING.



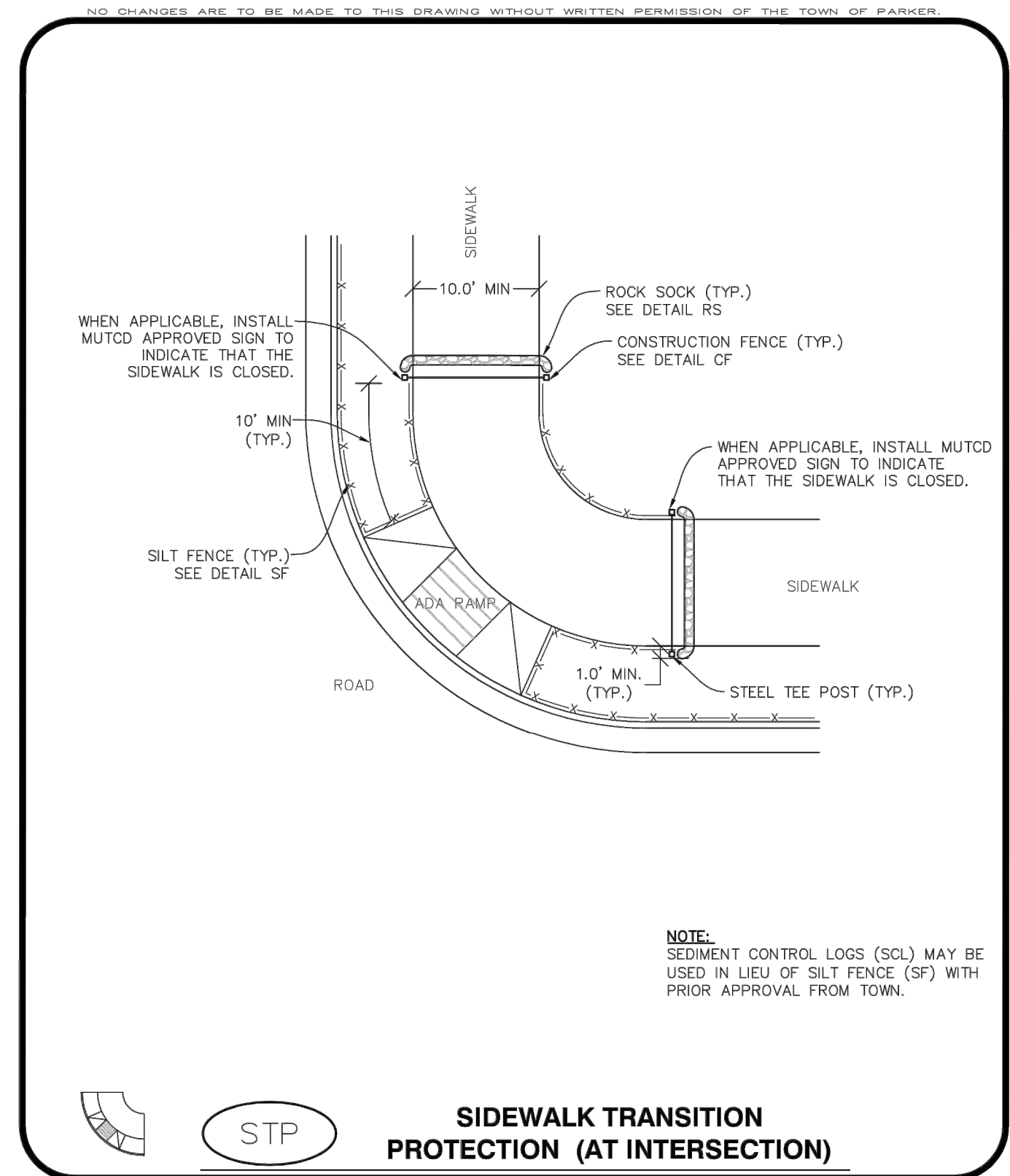
NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

STABILIZED STAGING AREA INSTALLATION NOTES

1. SEE CBMP PLAN FOR LOCATION OF STAGING AREA. CONTRACTOR MAY MODIFY LOCATION AND SIZE OF STABILIZED STAGING AREA WITH TOWN APPROVAL.
2. STABILIZED STAGING AREA SHALL BE LARGE ENOUGH TO FULLY CONTAIN PARKING, STORAGE, AND LOADING OPERATIONS.
3. THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM OF 3" DIAMETER OF ANGULAR ROCK (GRANITE OR RECYCLED CONCRETE).
4. SSA FOR SMALLER SITES MAY NOT BE PRACTICAL. IN THESE AND SIMILAR SITUATIONS, VARIANCES MAY BE PERMITTED BY THE TOWN.

STABILIZED STAGING AREA INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE STAGING AREA.
2. STABILIZED STAGING AREA SHALL BE ENLARGED AS NECESSARY TO CONTAIN PARKING, STORAGE, LOADING, AND UNLOADING.



Parker COLORADO | **CBMP** | **SR**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
Oct. 2013

Parker COLORADO | **CBMP** | **SSA**
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Parker COLORADO | **CBMP** | **SSA**
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Oct. 2013

Parker COLORADO | **CBMP** | **STP**
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 3
Oct. 2013

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DATE	REVISIONS
10/14/2021	APPROVED PLANS
08/31/2021	THIRD SUBMITTAL - RESPOND TO TOP COMMENTS
06/18/2021	SECOND SUBMITTAL - RESPOND TO TOP COMMENTS

COMPARK VILLAGE SOUTH, F1 - BELFORD AVE SITE PLAN AMD
TOWN OF PARKER, COLORADO
CBMP DETAILS

PROFESSIONAL ENGINEER
37642
10-14-2021

PROJ. MGR.: GTT
PROJ. ASSOC.: ASD
DRAWN BY: RAK
DATE: 03/15/2021

SHEET
26 OF 33
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SIDWALK TRANSITION PROTECTION (ALONG STRAIGHT ROADWAY)

STP
2 OF 3
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

SIDWALK TRANSITION PROTECTION INSTALLATION NOTES

- SEE PLAN VIEW FOR LOCATION(S) OF SIDEWALK TRANSITION PROTECTION.
- ROCK SOCK SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL. (SEE DETAIL RS).
- SILT FENCE SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL. (SEE DETAIL SF).
- CONSTRUCTION FENCE SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL. (SEE DETAIL CF).
- SEDIMENT CONTROL LOGS MAY BE USED IN LIEU OF SILT FENCE WITH PRIOR APPROVAL FROM THE TOWN.

SIDWALK TRANSITION PROTECTION INSPECTION & MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SIDEWALK TRANSITION INSPECTION.

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
STP
3 OF 3
Oct. 2013

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To allow for a proper and timely establishment of native grasses, temporary irrigation is required over all areas where permanent native seeding is proposed. This includes, but is not limited to: detention ponds, drainageways, park and trail areas, general open space, etc. In addition to the landscape plans, please show the temporary irrigation symbol (TI) on the CBMP Plan over all areas where permanent native seeding is proposed. As a reminder, when working within Parker Water and Sanitation District's (PWSD) jurisdiction, the following is required:

- Temporary irrigation for native seed must be supplied by a fire hydrant hook-up. Use of proposed/existing landscape irrigation taps is not allowed. Please indicate on the irrigation plans fire hydrants that are to be used for the temporary irrigation mainline and provide a detail for the connection. This detail should show the hydrant, P.V.C. PWSD water meter, a 2" backflow assembly, a 2" x 2" cam lock for fire department quick disconnect and a support system for all components
- The following note must be shown on the irrigation plan set: "Temporary irrigation for establishment of native vegetation must be installed above ground, and removed immediately after establishment is complete, or in no case, any longer than one growing season." PWSD may allow temporary irrigation to continue for one additional growing season with prior approval.
- The following note must be shown on the irrigation plan set: "All temporary irrigation components including but not limited to mainlines, laterals, valves, heads and quick couplers must be installed above ground."
- All temporary irrigation components including but not limited to mainlines, laterals, valves, heads and quick couplers must be clearly labeled on the plans.
- Provide detail drawings for all above ground components including but not limited to mainlines, laterals, valves, heads and quick couplers.

If the project is outside of PWSD's jurisdiction, check with the applicable water provider regarding their specific requirements for temporary irrigation.

TSB
1 OF 3
Oct. 2013

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TEMPORARY SEDIMENT BASIN

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
TSB
1 OF 3
Oct. 2013

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TEMPORARY SEDIMENT BASIN

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
TSB
2 OF 3
Oct. 2013

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TEMPORARY SEDIMENT BASIN INSTALLATION NOTES

- SEE CBMP PLAN FOR LOCATION(S) OF SEDIMENT BASIN(S).
- THE TEMPORARY SEDIMENT BASIN(S) SHALL BE INSTALLED AND FUNCTIONING PRIOR TO ANY OTHER GRADING ACTIVITIES.
- THE EXACT DIMENSIONS AND DETAILS OF THE TEMPORARY SEDIMENT BASIN SHALL BE DETERMINED BY THE DESIGN ENGINEER, IN ACCORDANCE WITH UDFCD VOLUME 3, AS AMENDED.
- EMBANKMENT MATERIAL SHALL CONSIST OF SOIL FREE OF DEBRIS, ORGANIC MATERIAL, AND ROCKS OR CONCRETE GREATER THAN 3" AND SHALL HAVE A MINIMUM OF 15% BY WEIGHT PASSING THE NO. 200 SIEVE.
- EMBANKMENT MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 95% DENSITY, AND WITHIN +/- 2% OF OPTIMUM MOISTURE IN ACCORDANCE WITH ASTM D698.
- AN APPROPRIATELY SIZED DEWATERING BAG SHALL BE SECURED TO THE END OF THE DISCHARGE PIPE. THE DEWATERING BAG SHALL BE REPLACED ONCE SEDIMENT ACCUMULATION REACHES 50%.

TEMPORARY SEDIMENT BASIN INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE TEMPORARY SEDIMENT BASIN.
- ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN THE SEDIMENT REACHES A DEPTH OF 2.0', OR WITHIN 2.0' OF THE SPILLWAY CREST, OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- SEDIMENT BASINS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL UPSTREAM VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR.

TSB
3 OF 3
Oct. 2013

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VEHICLE TRACKING CONTROL

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
VTC
1 OF 3
Oct. 2013

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VEHICLE TRACKING CONTROL

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
VTC
2 OF 3
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

VEHICLE TRACKING CONTROL PAD INSTALLATION NOTES

- SEE CBMP PLAN FOR LOCATION(S) OF VEHICLE TRACKING CONTROL PAD(S).
- ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE THROUGH THE APPROVED ACCESS POINT(S). A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL APPROVED ACCESS POINTS TO THE SITE. EXCEPTIONS MAY BE CONSIDERED FOR CONSTRUCTION ACTIVITY OCCURRING IMMEDIATELY ADJACENT TO PAVED AREAS AND WHERE ALTERNATIVE BMP'S ARE IMPLEMENTED. SUCH ACTIVITY MAY INCLUDE, BUT NOT BE LIMITED TO RESIDENTIAL CONSTRUCTION, UTILITY CONSTRUCTION, ETC.
- THE VEHICLE TRACKING CONTROL PAD(S) INDICATED ON CBMP PLAN SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- VEHICLE TRACKING CONTROL PADS SHALL BE A MINIMUM OF 50-FEET LONG AND 10-FEET WIDE, UNLESS A VARIANCE HAS BEEN GRANTED BY THE TOWN'S INSPECTOR.
- A BIAXIAL GEO-GRID SHALL BE PLACED UNDER THE VEHICLE TRACKING CONTROL PAD PRIOR TO THE PLACEMENT OF ROCK. THE AREA SHALL BE FREE FROM ANY VOIDS, ROCKS AND DEBRIS. THE BIAXIAL GEO-GRID SHALL BE TENSAR BX1100, MIRAFI BASKGRID II, OR AN APPROVED EQUAL. GEO-GRID SHALL BE PLACED, AND APPROPRIATELY OVERLAPPED IF NECESSARY, TO COVER THE ENTIRE LENGTH AND WIDTH OF THE VEHICLE TRACKING CONTROL PAD.
- CRUSHED ROCK SHALL BE A MINIMUM OF 3-6" GRANITE WITH A FRACTURED FACE (ALL SIDES).

VEHICLE TRACKING CONTROL PAD INSTALLATION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE VEHICLE TRACKING CONTROL PAD.
- WHEN THE VEHICLE TRACKING CONTROL PAD IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE VEHICLE TRACKING CONTROL PAD SHALL BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
- THE VEHICLE TRACKING CONTROL PAD SHALL BE MAINTAINED SUCH THAT THE ROCK REMAINS RELATIVELY LOOSE AND ACCUMULATED MUD AND OTHER DEBRIS IS REGULARLY REMOVED.

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
VTC
3 OF 3
Oct. 2013

REVISIONS

NO.	DATE	DESCRIPTION
1	06/18/2021	SECOND SUBMITTAL - RESPOND TO TOP COMMENTS
2	08/31/2021	THIRD SUBMITTAL - RESPOND TO TOP COMMENTS
3	10/14/2021	APPROVED PLANS

DATE

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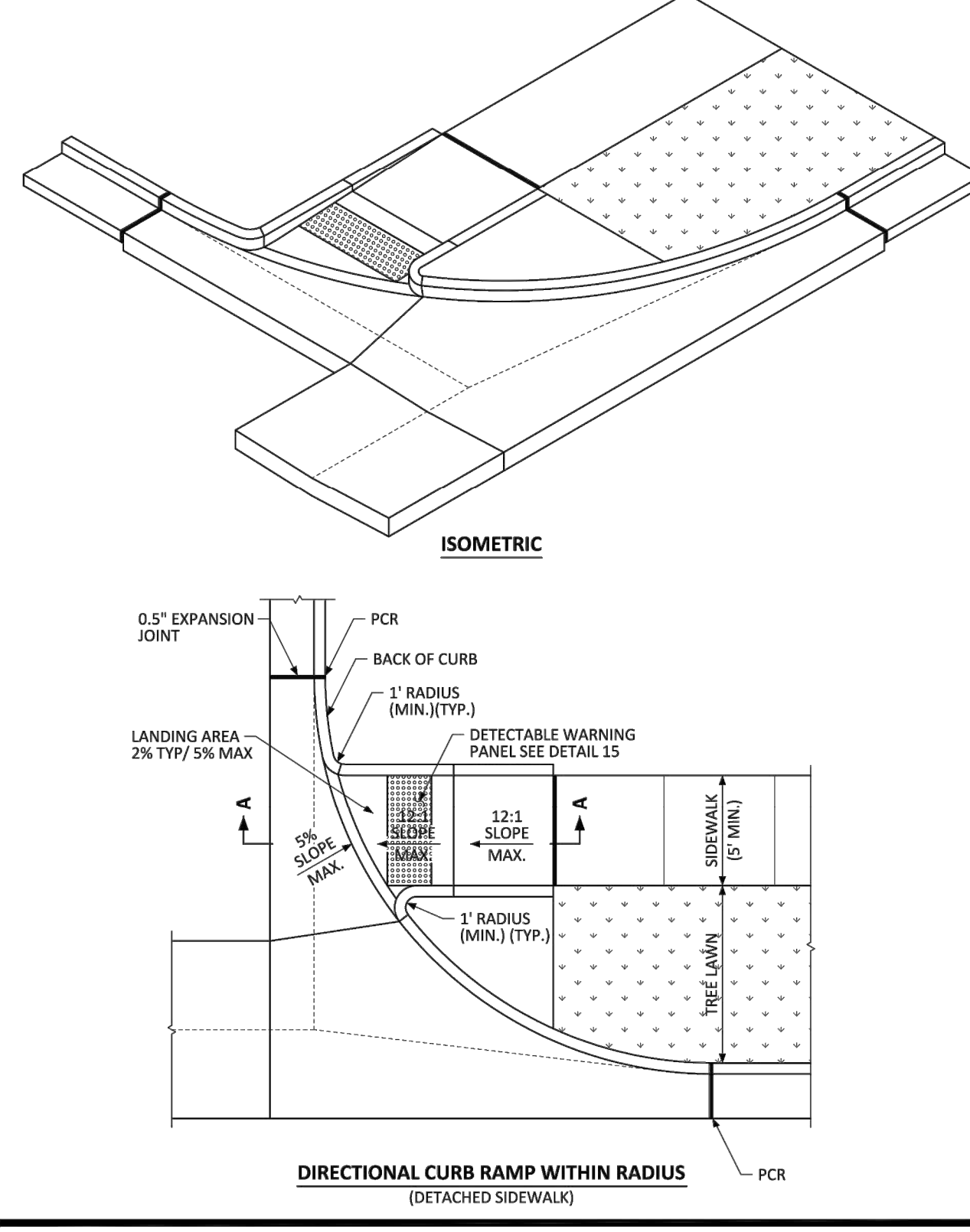
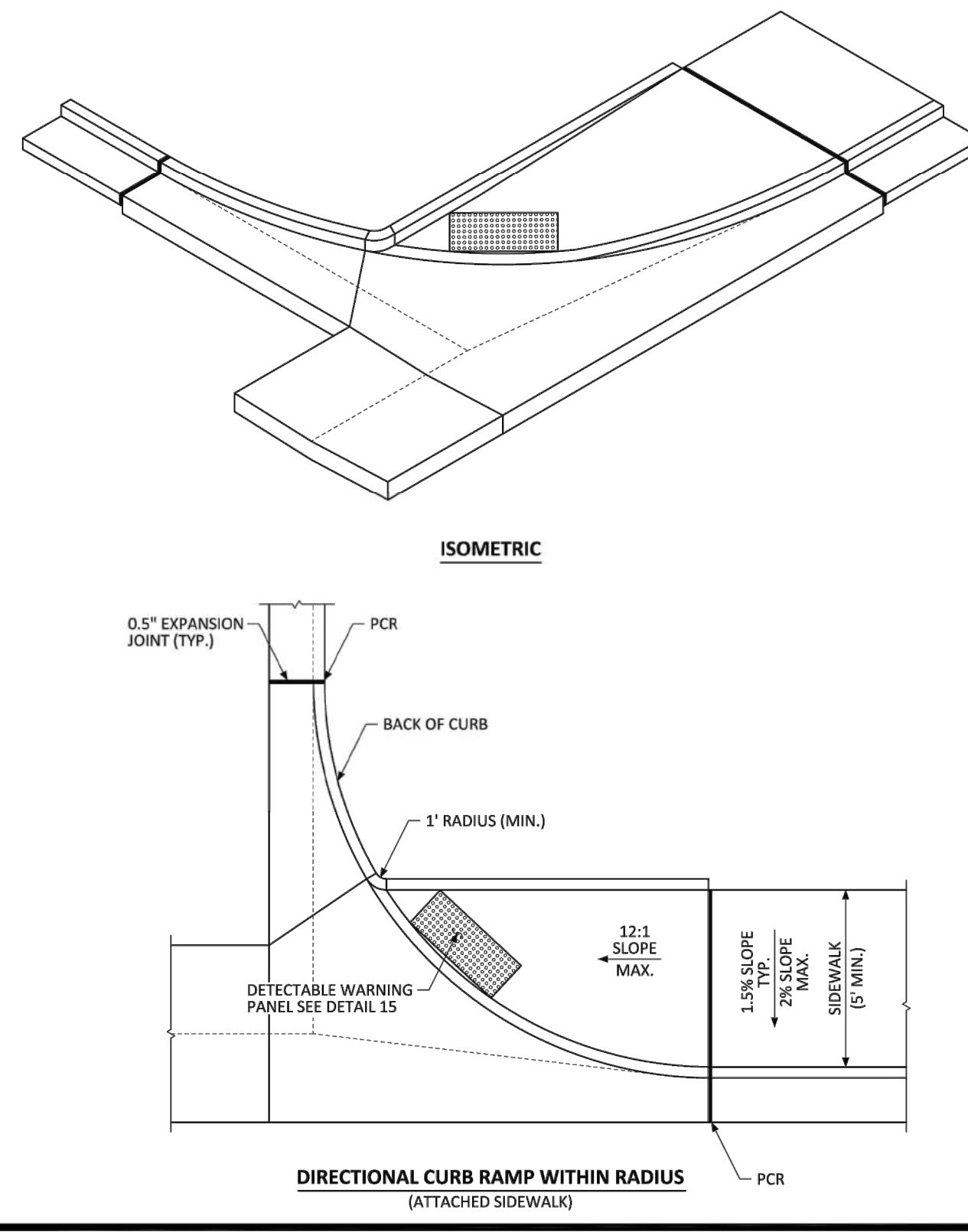
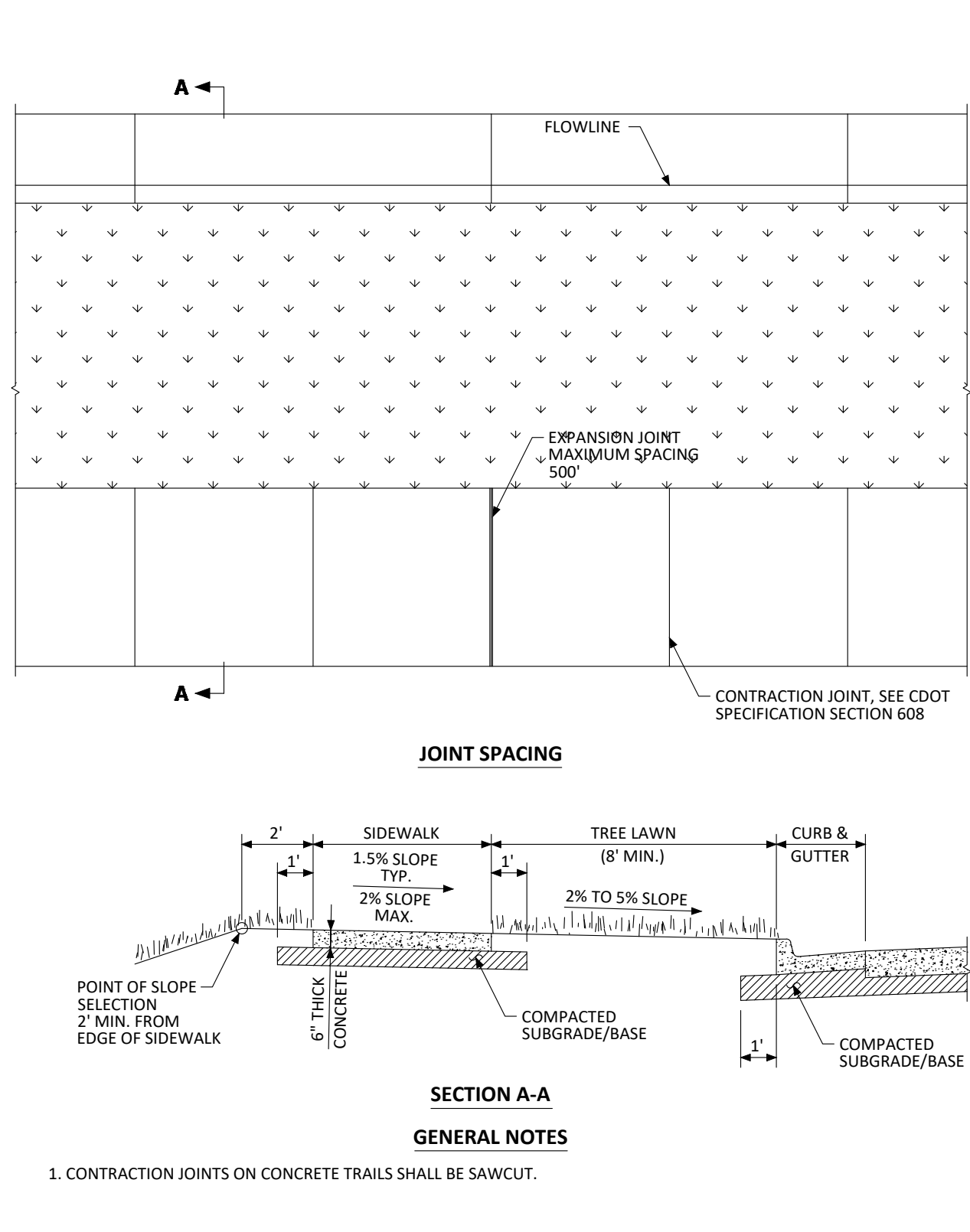
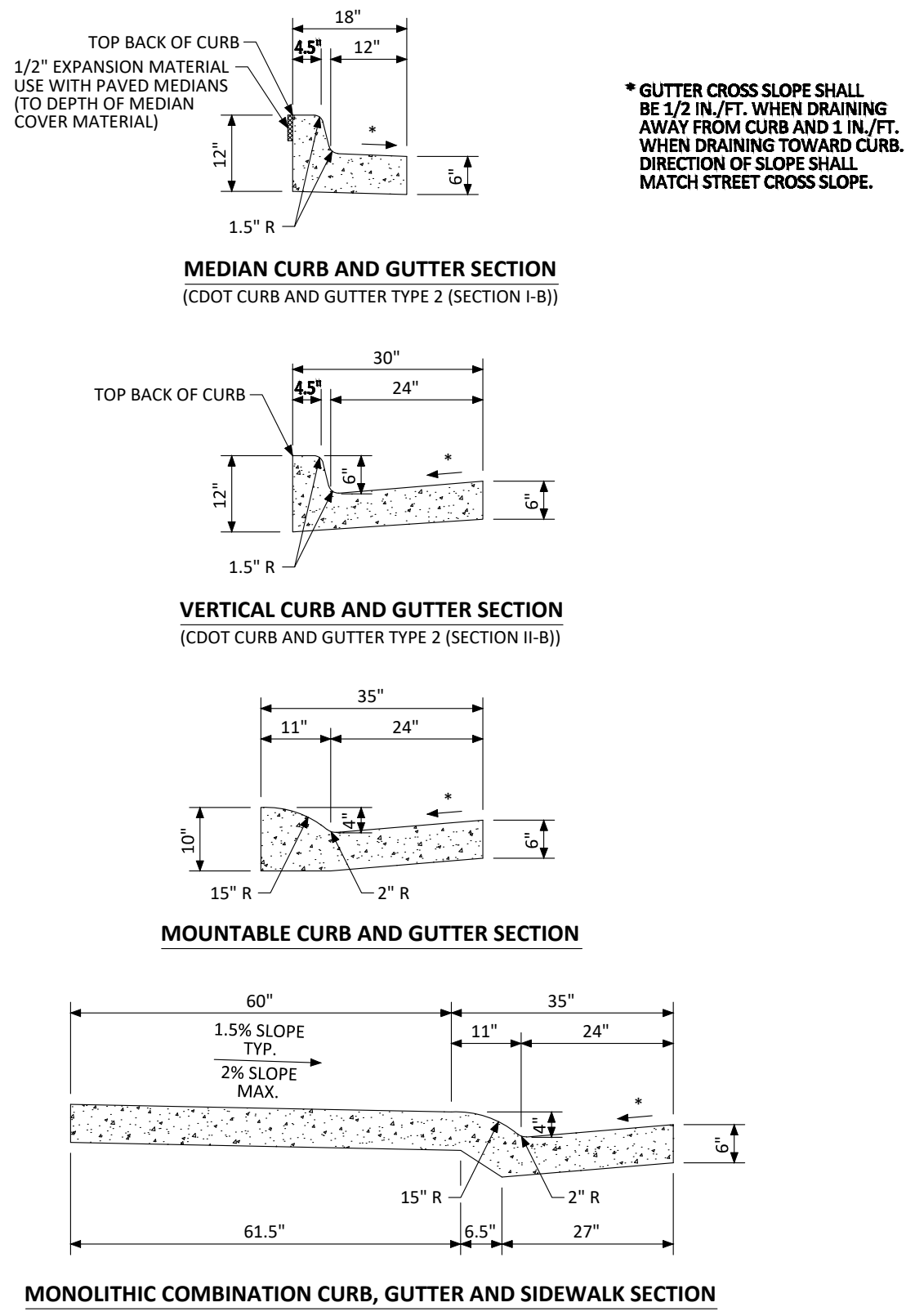
TOWN OF PARKER, COLORADO

CBMP DETAILS

PROJ. MGR.: GTT
PROJ. ASSOC.: ASD
DRAWN BY: RAK
DATE: 03/15/2021

SHEET
27 OF 33
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PARKER COLORADO

CURB, GUTTER, AND SIDEWALK SECTIONS STANDARD DETAIL

DATE NOVEMBER 2020

DETAIL 3

1 OF 1

PARKER COLORADO

DETACHED SIDEWALK STANDARD DETAIL

DATE NOVEMBER 2020

DETAIL 4

1 OF 2

PARKER COLORADO

DIRECTIONAL CURB RAMP WITHIN RADIUS LAYOUT STANDARD DETAIL

DATE NOVEMBER 2020

DETAIL 18

1 OF 2

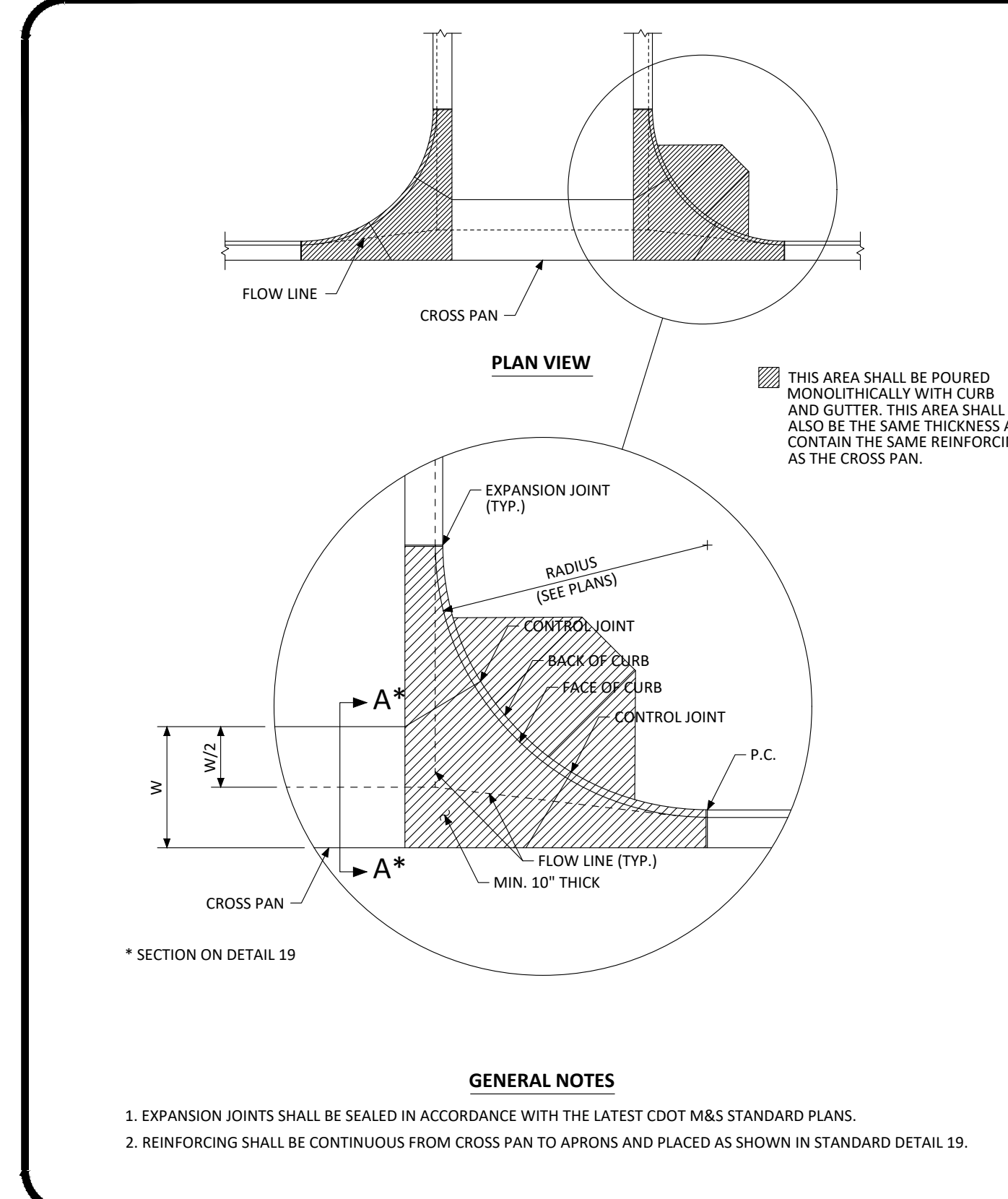
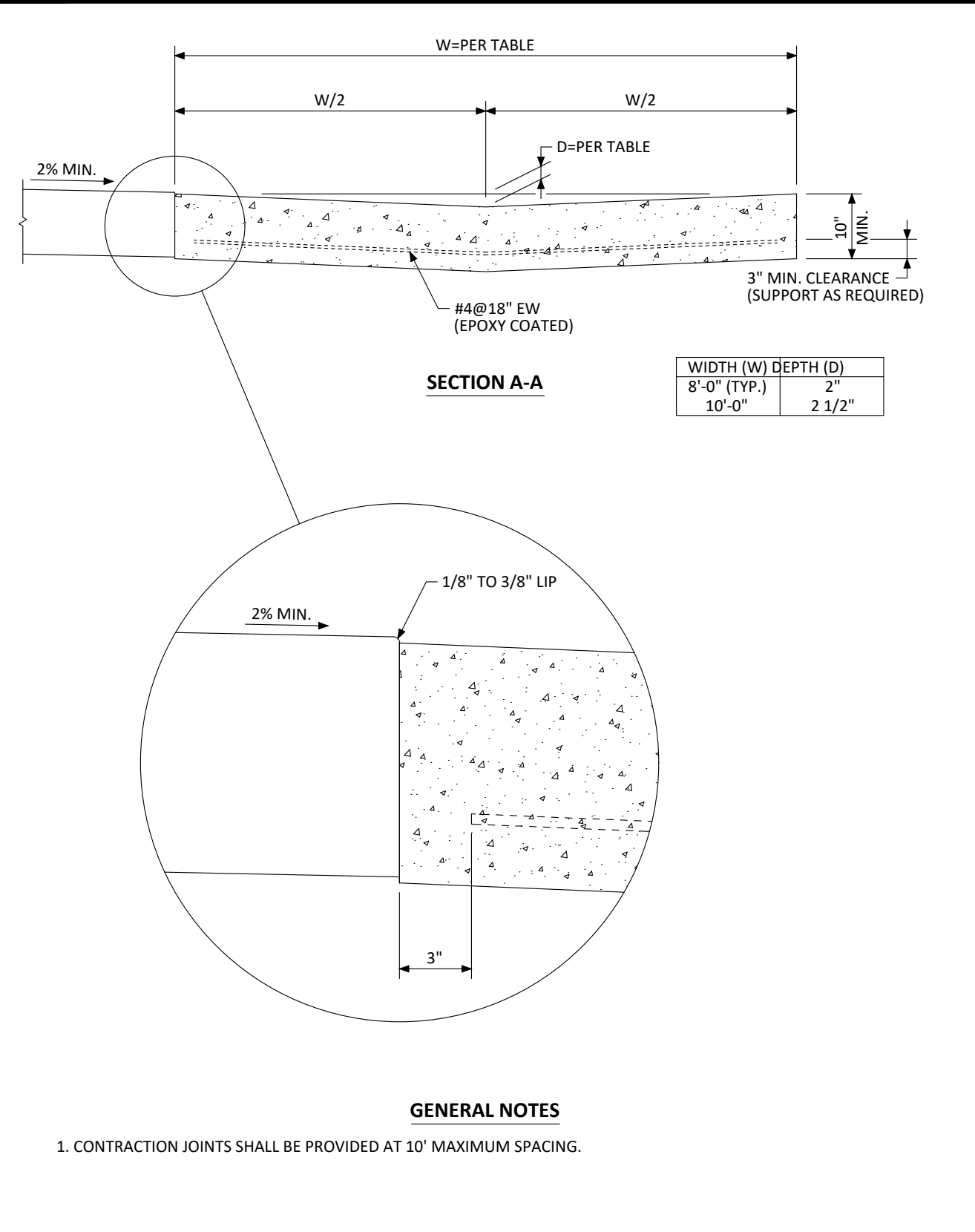
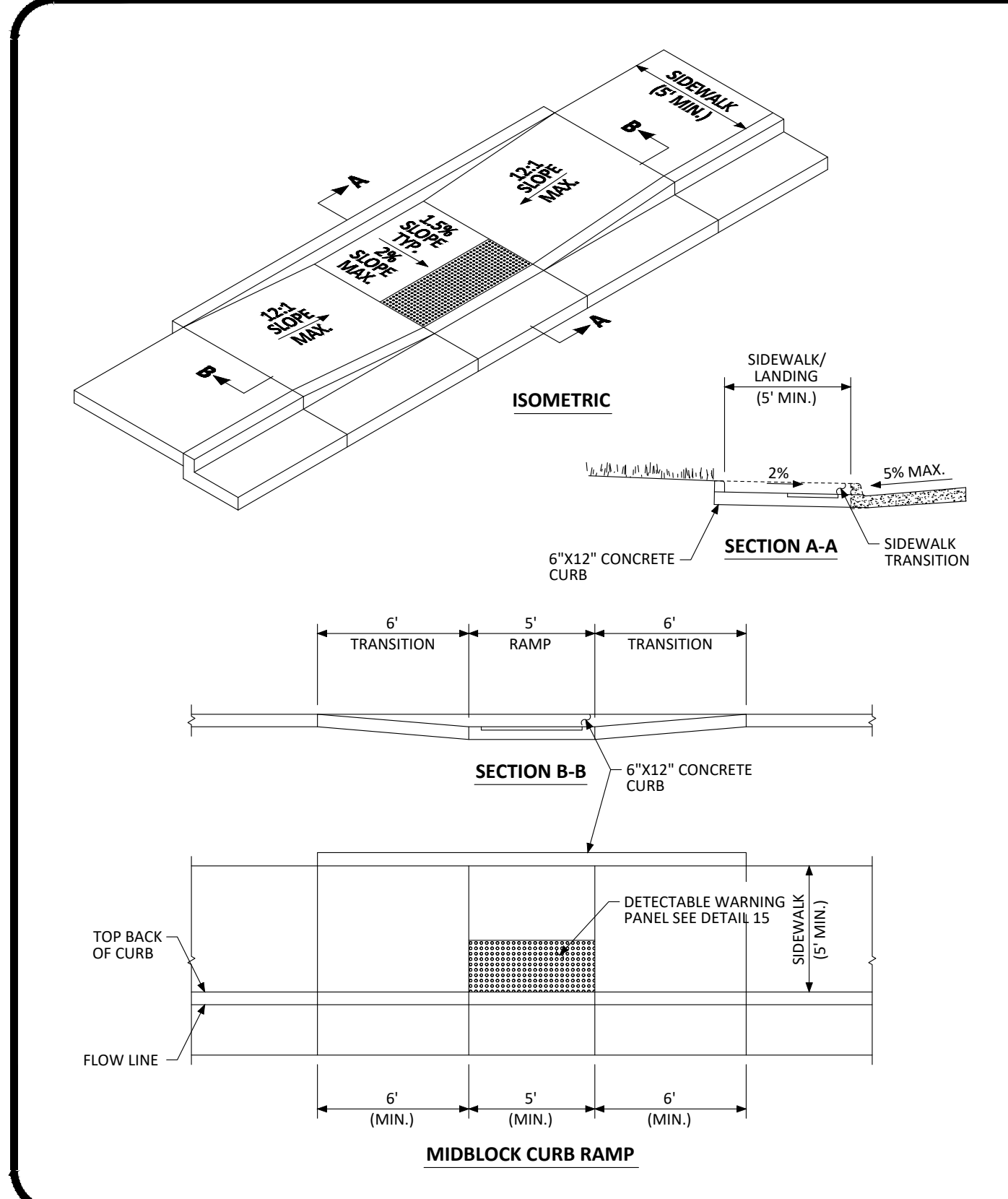
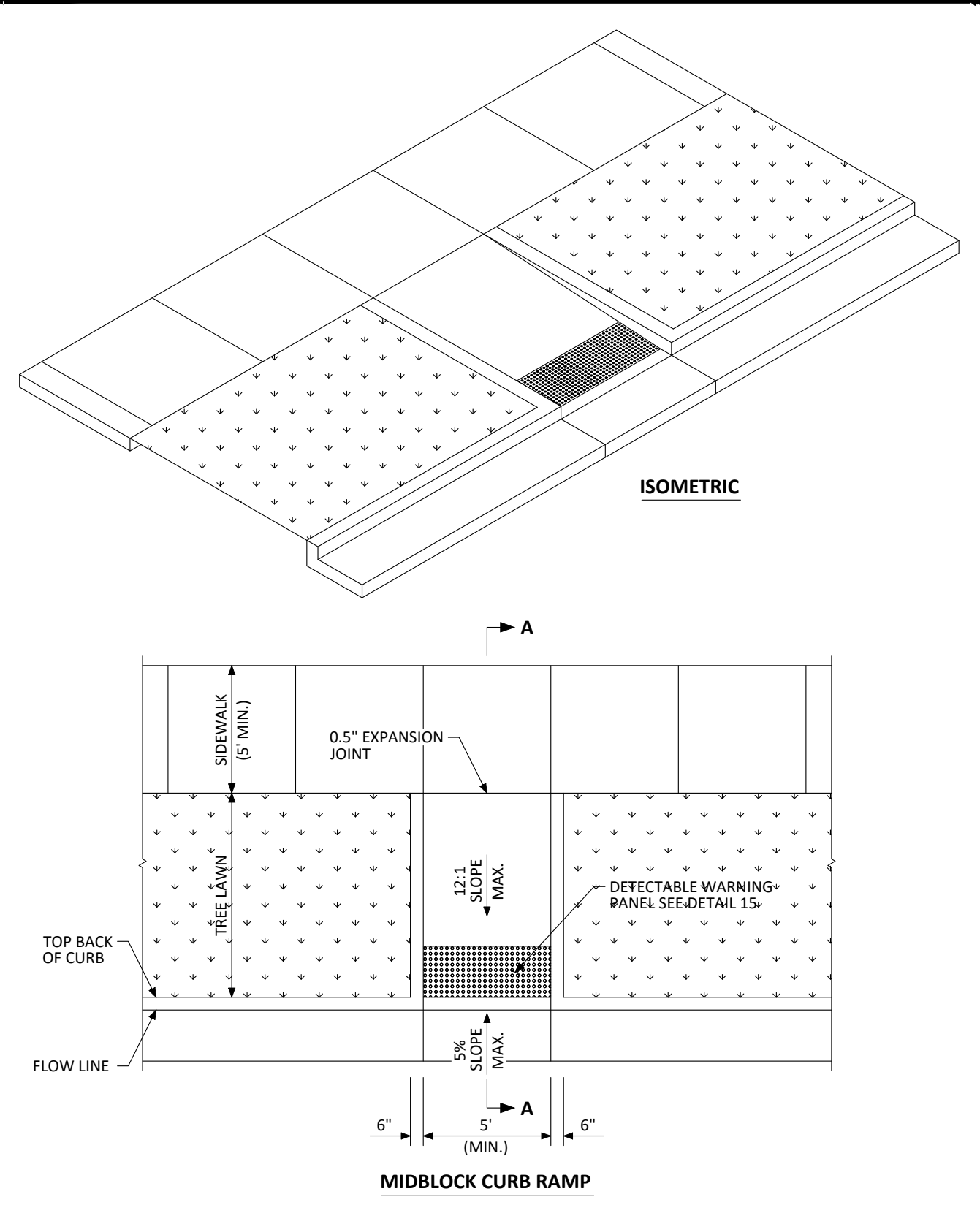
PARKER COLORADO

DIRECTIONAL CURB RAMP WITHIN RADIUS LAYOUT STANDARD DETAIL

DATE NOVEMBER 2020

DETAIL 18

2 OF 2



PARKER COLORADO

MIDBLOCK CURB RAMP LAYOUT STANDARD DETAIL

DATE NOVEMBER 2020

DETAIL 17

1 OF 2

PARKER COLORADO

MIDBLOCK CURB RAMP LAYOUT STANDARD DETAIL

DATE NOVEMBER 2020

DETAIL 17

2 OF 2

PARKER COLORADO

INTERSECTION CROSS PAN LAYOUT STANDARD DETAIL

DATE NOVEMBER 2020

DETAIL 19

1 OF 2

PARKER COLORADO

INTERSECTION CROSS PAN LAYOUT STANDARD DETAIL

DATE NOVEMBER 2020

DETAIL 19

2 OF 2

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DATE	REVISIONS
10/14/2021	1. APPROVED PLANS
08/31/2021	2. THIRD SUBMITTAL - RESPOND TO TOP COMMENTS
06/18/2021	1. SECOND SUBMITTAL - RESPOND TO TOP COMMENTS

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TOWN OF PARKER, COLORADO

COMPARK VILLAGE SOUTH, F1 - BELFORD AVE SITE PLAN AMD

STREET DETAILS

PROJ. MGR.: GTT

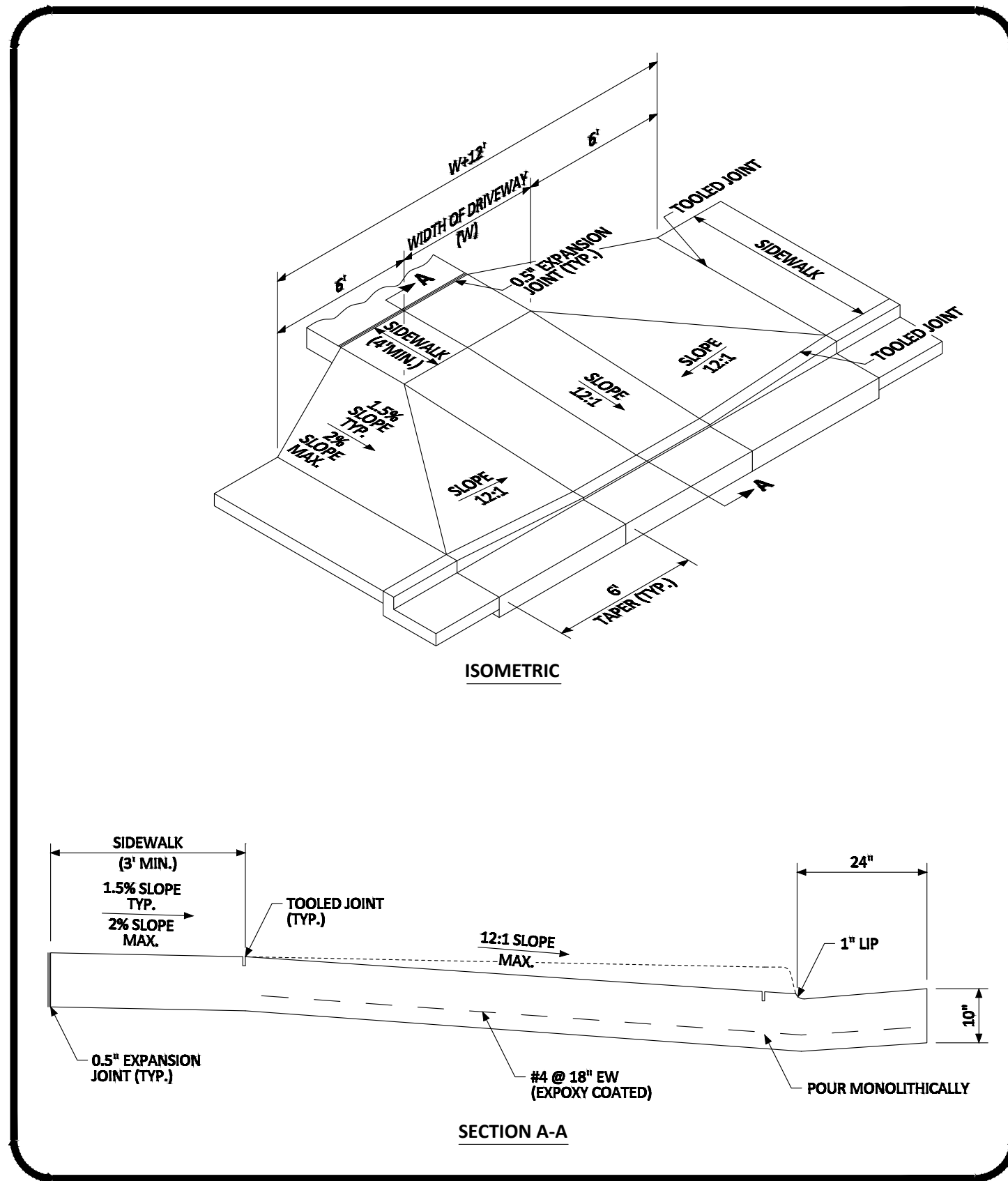
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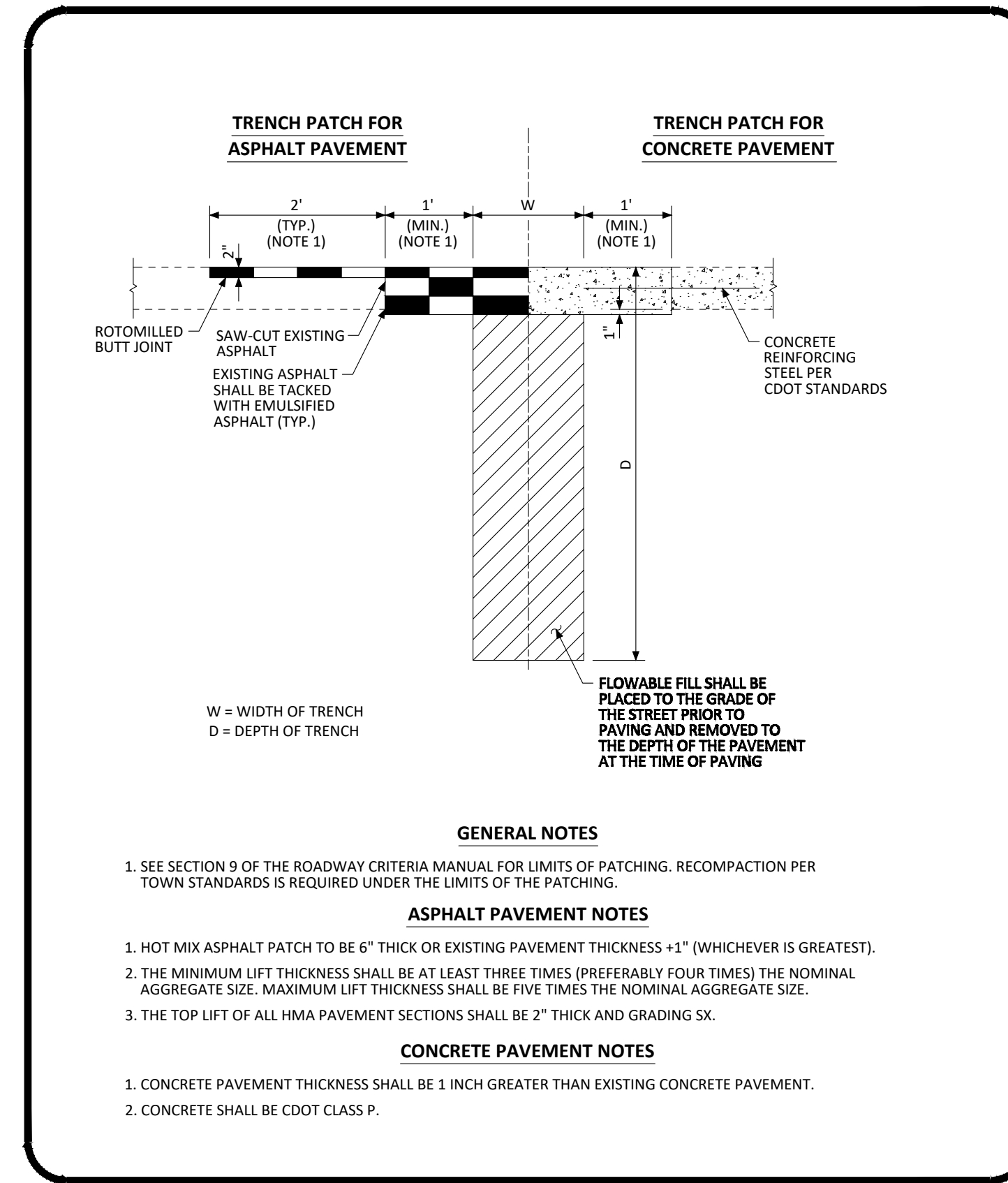
DATE: 03/15/2021

SHEET 28 OF 33

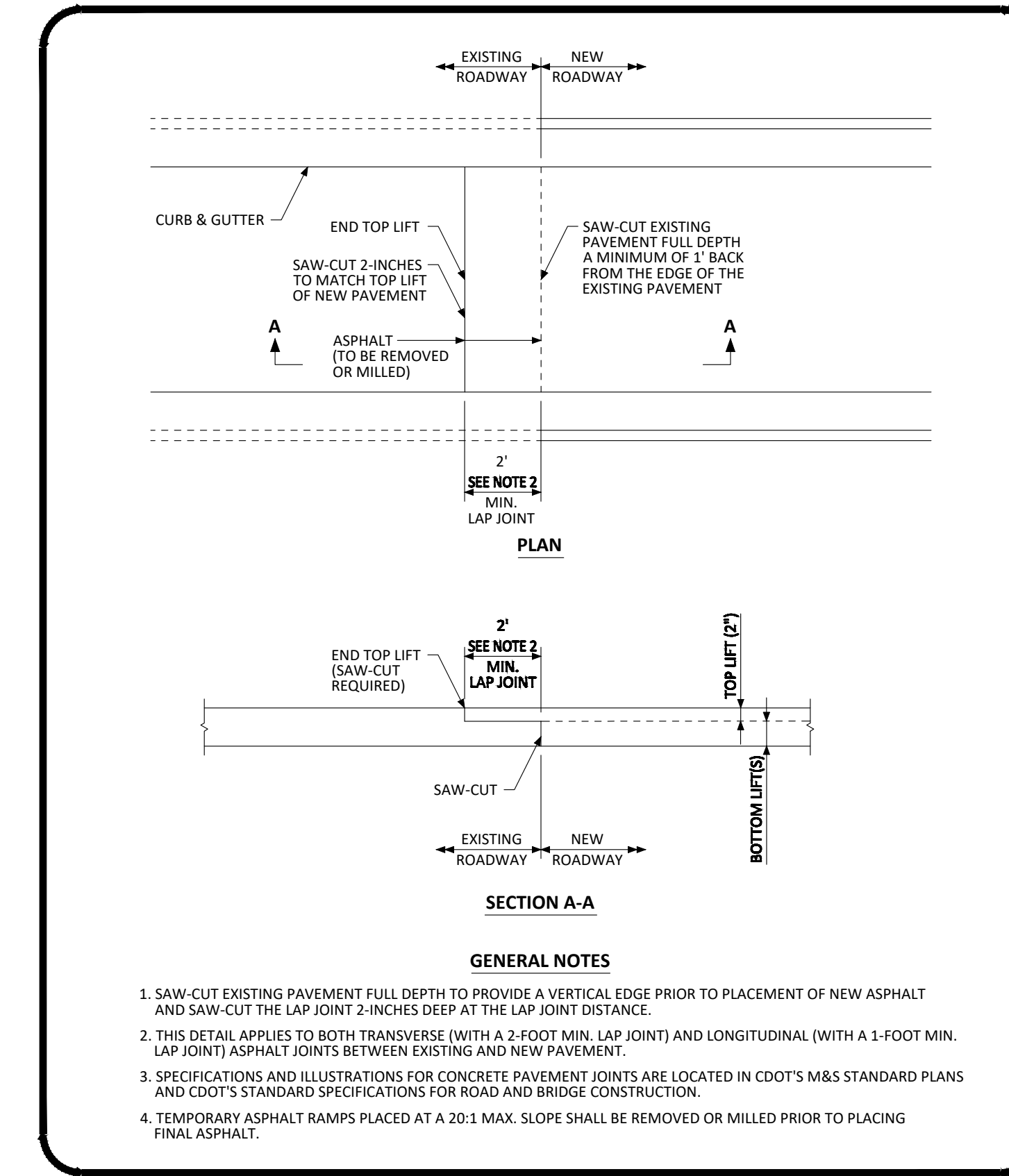
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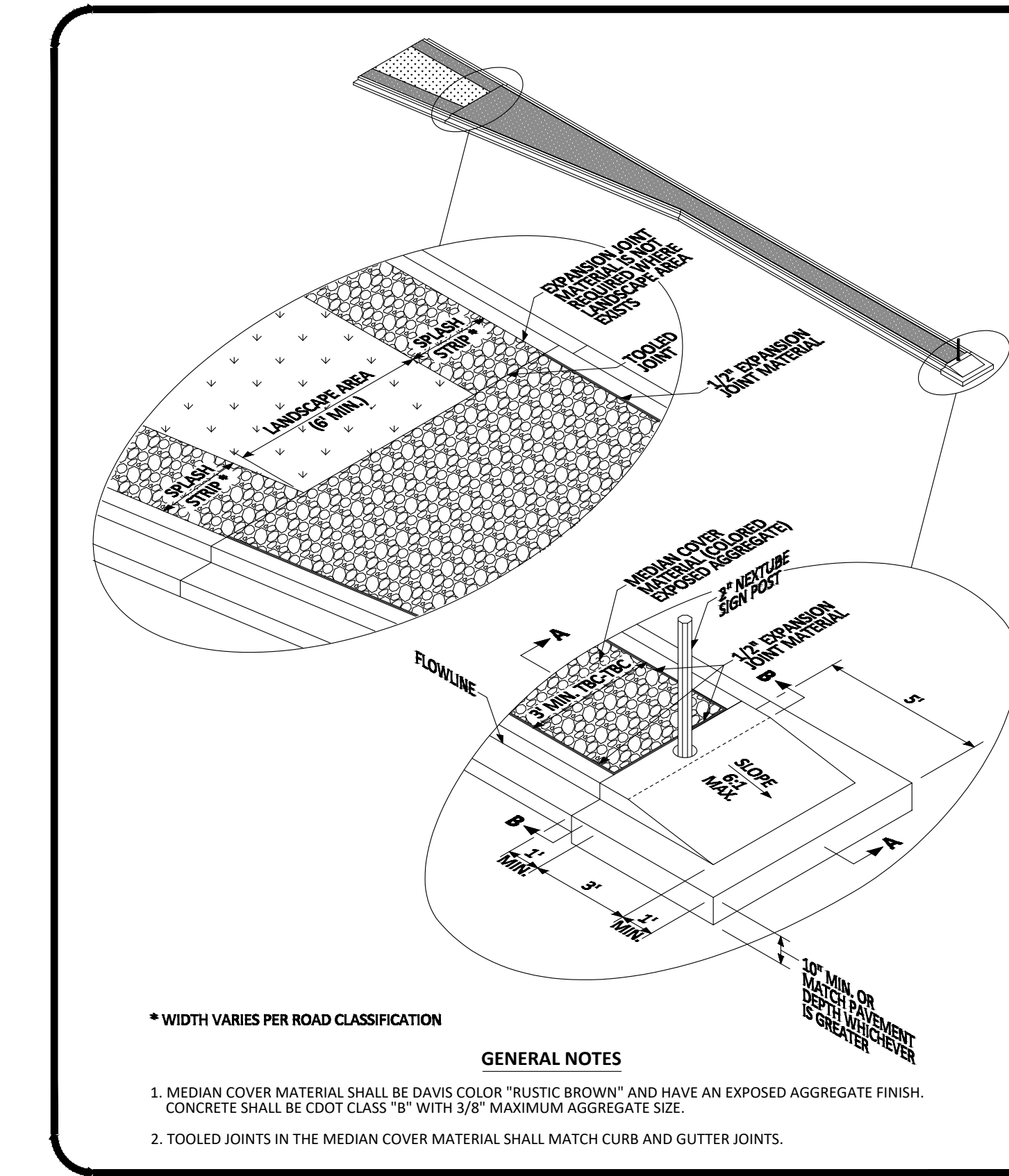
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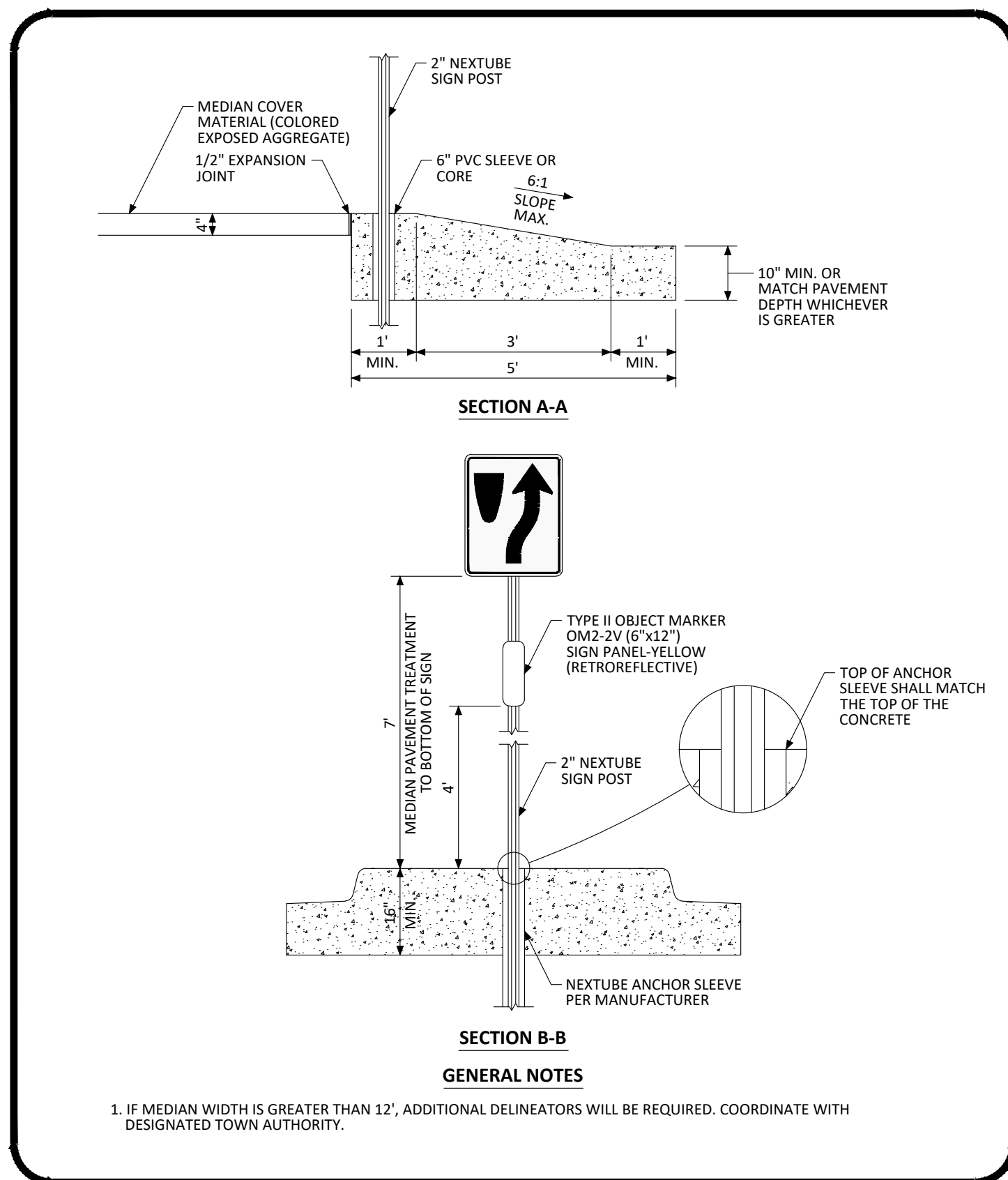
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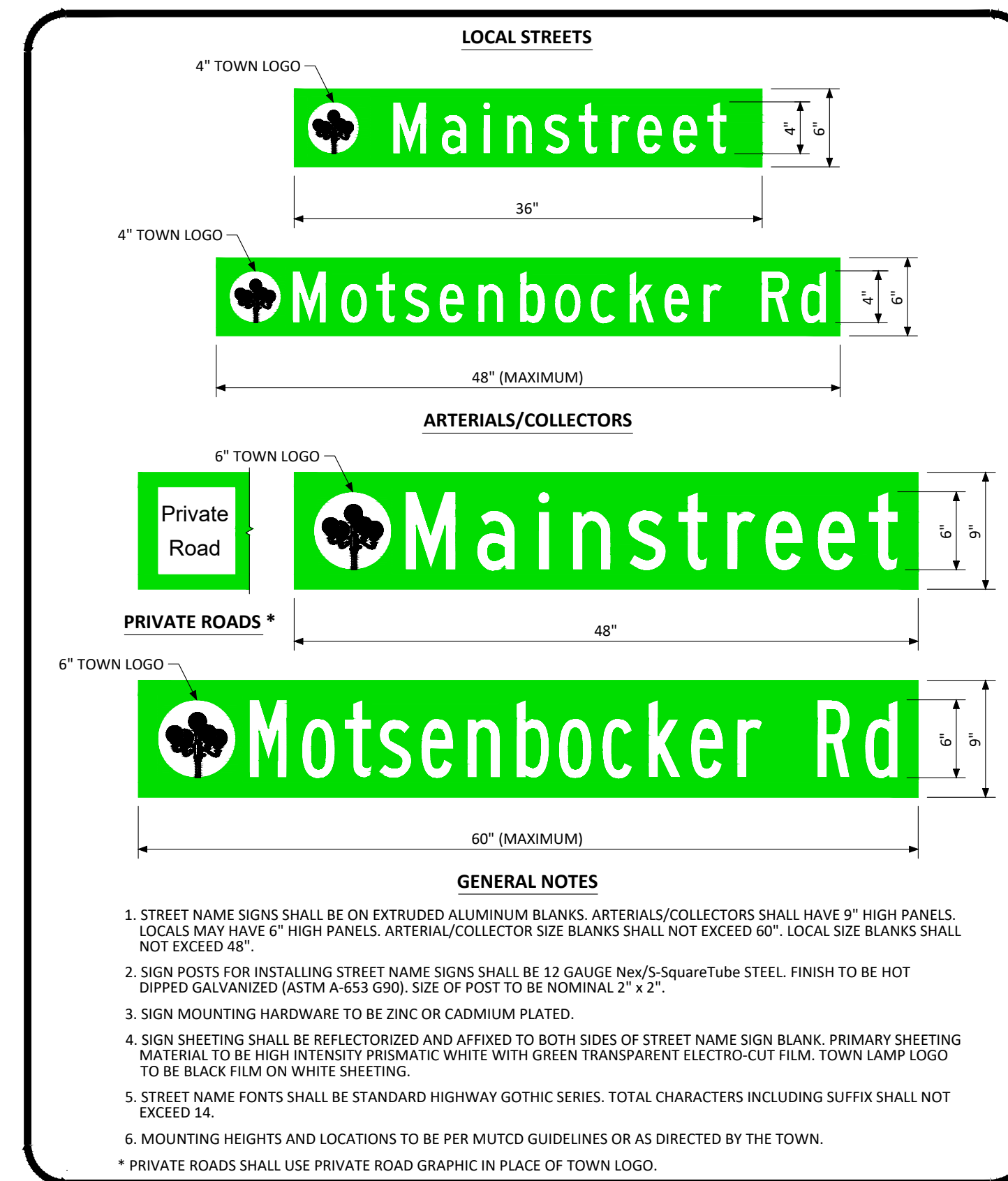
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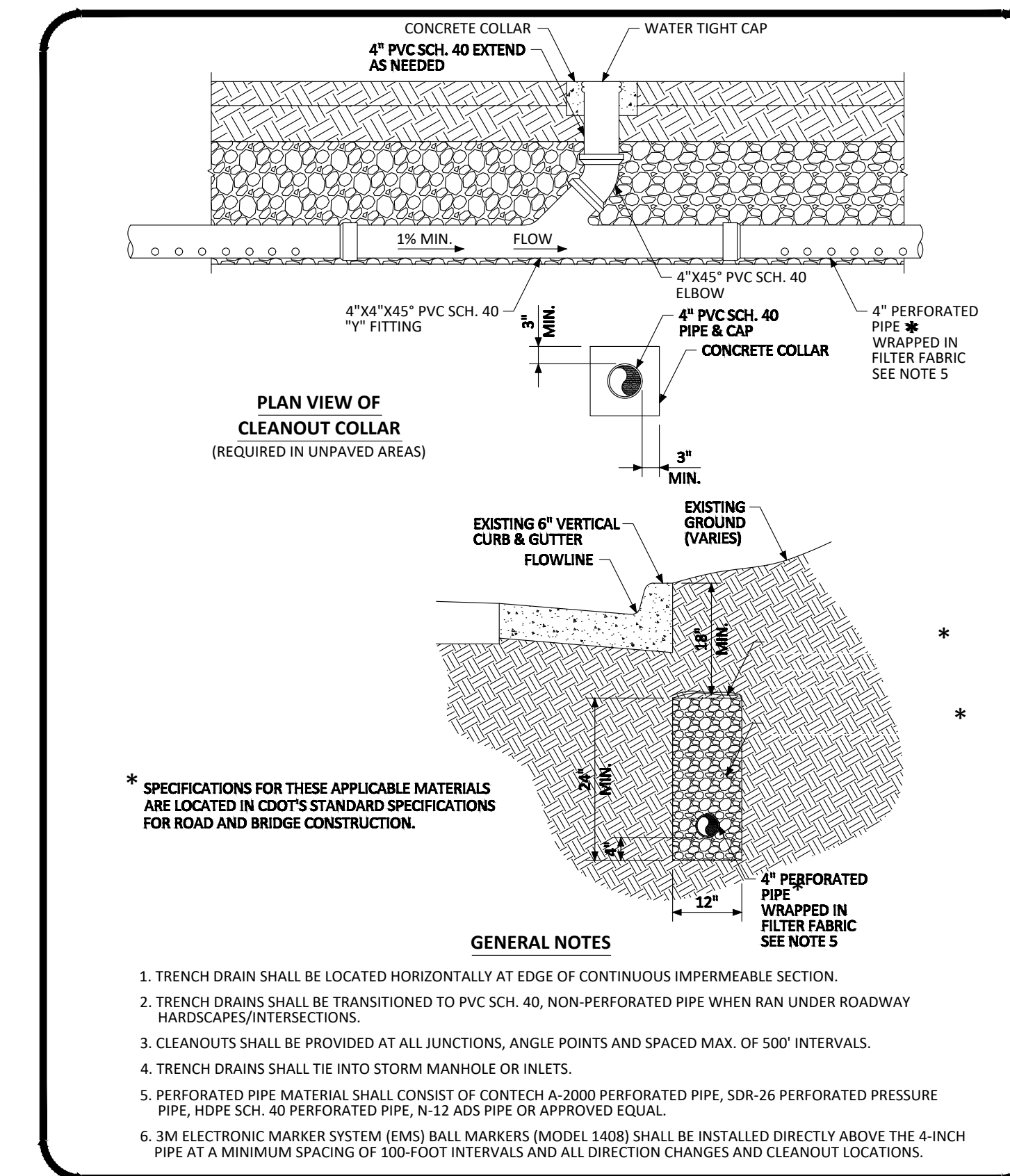
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PARKER COLORADO MEDIAN BULL NOSE TYPICAL SECTIONS STANDARD DETAIL DATE NOVEMBER 2020 DETAIL 27 2 OF 2



PARKER COLORADO GROUND MOUNTED STREET NAME PANELS DATE NOVEMBER 2020 DETAIL 32 1 OF 1



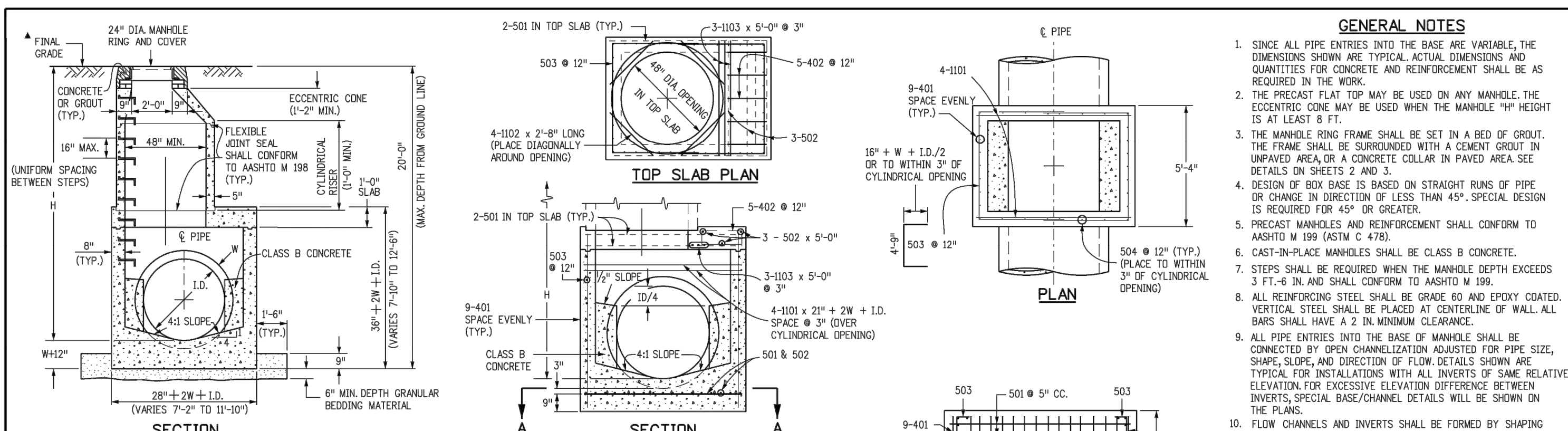
PARKER COLORADO TRENCH DRAIN DETAIL SECTION STANDARD DETAIL DATE NOVEMBER 2020 DETAIL 30 1 OF 1

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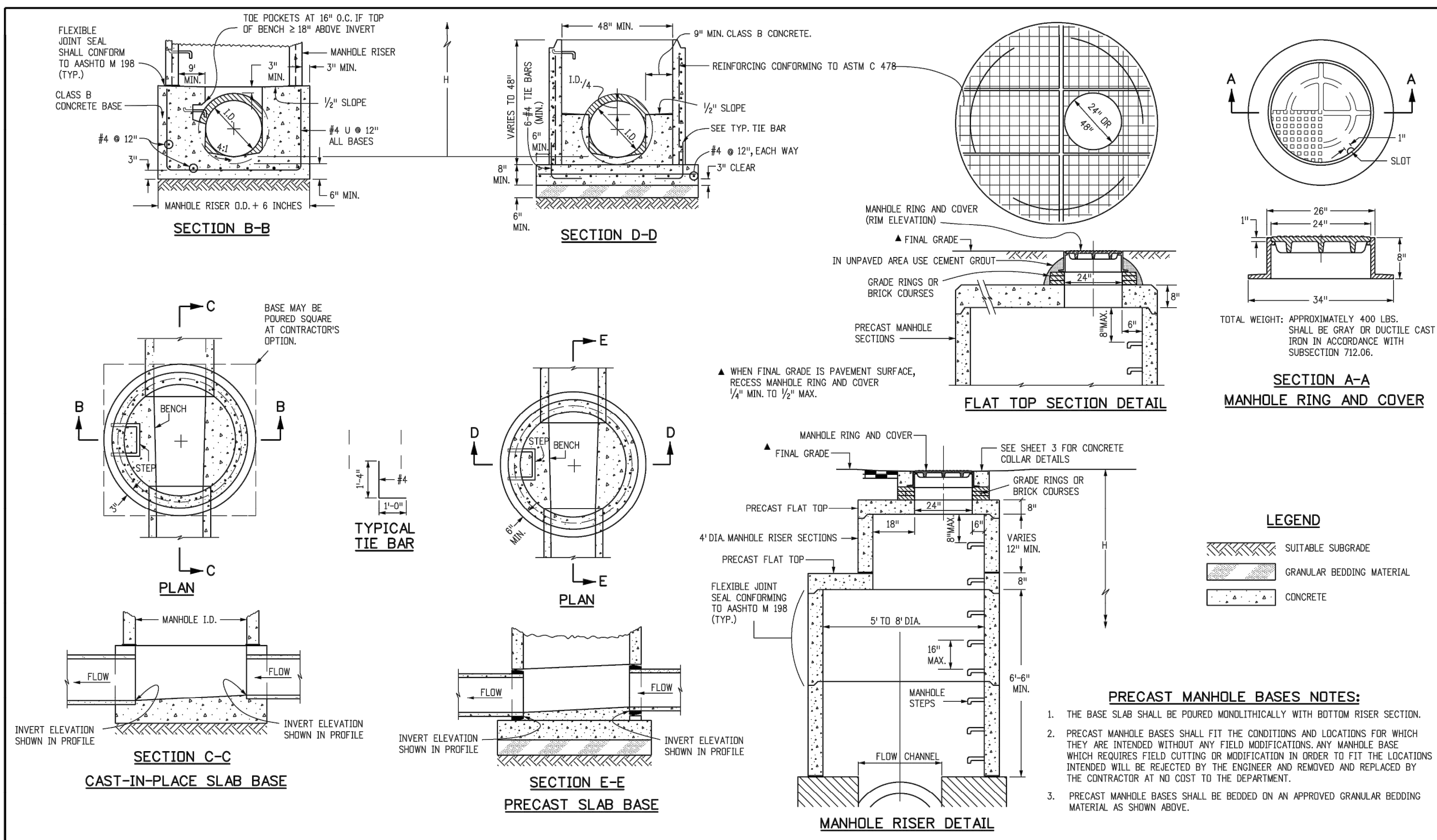
COMPARK VILLAGE SOUTH, F1 - BELFORD AVE SITE PLAN AMD
TOWN OF PARKER, COLORADO
STREET DETAILS

DATE: 03/15/2021
 PROJ. MGR.: GTT
 PROJ. ASSOC.: ASD
 DRAWN BY: JMP
 SHEET 29 OF 33
 CLCPK3 CLCPK3

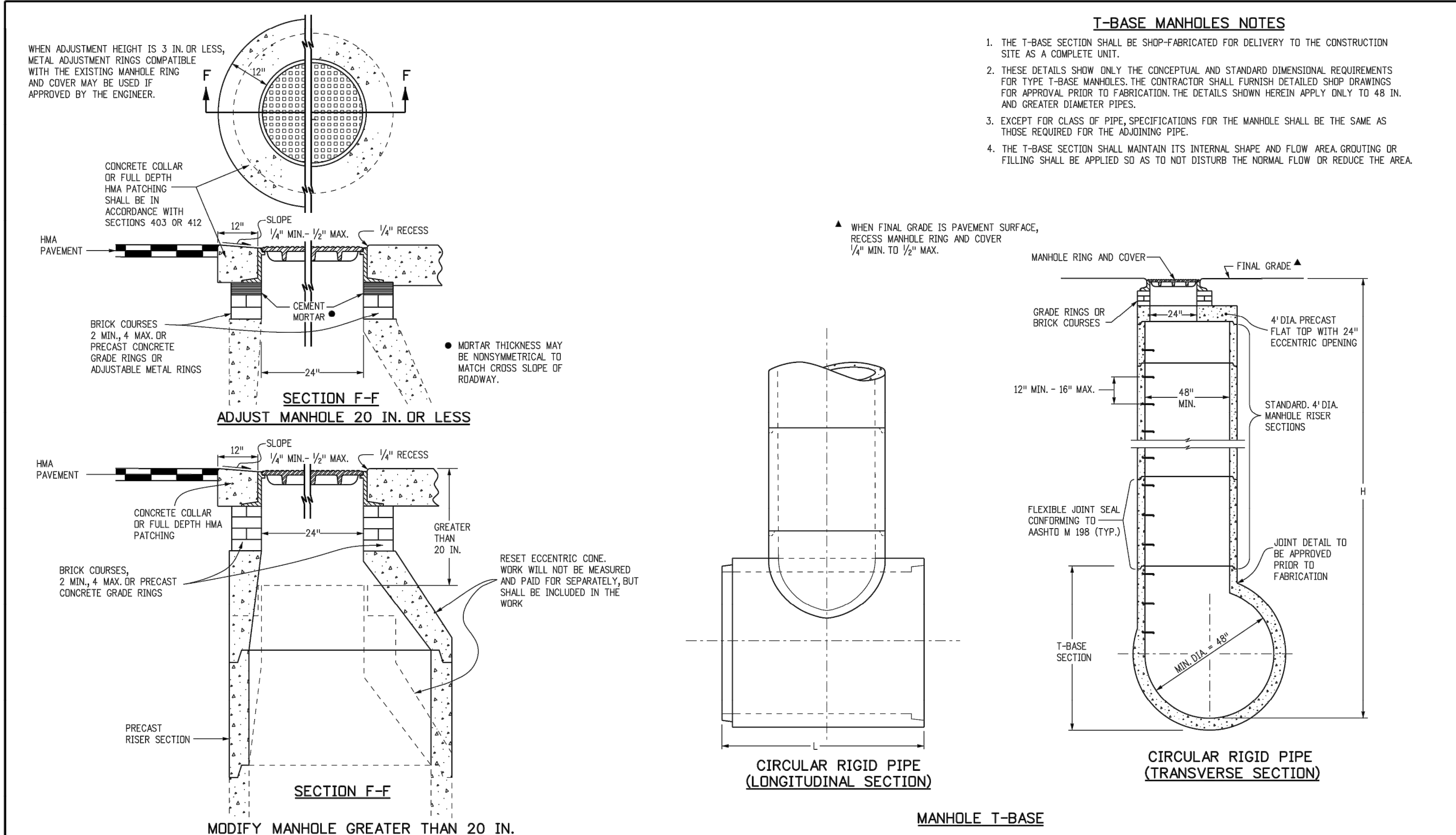


MANHOLE BOX BASE												
MARK	SIZE	TYPE	WT. #/FT.	BARS	I.D.	FORMULAS						
401	4	I	0.668	(NO. REQ'D.) LENGTH WEIGHT *	54" 60" 66" 72" 84" 96"	401 BAR LENGTH = 32" + 2W + I.D.	18	18	18	18	18	18
402	4	III	0.668	(NO. REQ'D.) LENGTH WEIGHT *	54" 60" 66" 72" 84" 96"	402 BAR LENGTH = I.D. + 2W	18	18	18	18	18	18
501	5	I	1.043	(NO. REQ'D.) LENGTH WEIGHT *	54" 60" 66" 72" 84" 96"	501 BAR LENGTH = I.D. + 2W	17	17	17	17	17	17
502	5	I	1.043	(NO. REQ'D.) LENGTH WEIGHT *	54" 60" 66" 72" 84" 96"	502 NUMBER BARS REQ'D. = 3 + (24(I.D.+2W+H) / 5)	17	17	17	17	17	17
503	5	II	1.043	(NO. REQ'D.) LENGTH WEIGHT *	54" 60" 66" 72" 84" 96"	503 NUMBER BARS REQ'D. = 2 (13(I.D.+2W+H) / 5)	17	17	17	17	17	17
504	5	I	1.043	(NO. REQ'D.) LENGTH WEIGHT *	54" 60" 66" 72" 84" 96"	504 NUMBER BARS REQ'D. = 2 (2W(I.D.+H) / 5)	17	17	17	17	17	17
1101	11	I	5.313	(NO. REQ'D.) LENGTH WEIGHT *	54" 60" 66" 72" 84" 96"	1101 BAR LENGTH = 21" + I.D. + 2W	11	11	11	11	11	11
1102	11	I	5.313	(NO. REQ'D.) LENGTH WEIGHT *	54" 60" 66" 72" 84" 96"	1102 TYPE I	11	11	11	11	11	11
1103	11	I	5.313	(NO. REQ'D.) LENGTH WEIGHT *	54" 60" 66" 72" 84" 96"	1103 TYPE II	11	11	11	11	11	11
REINFORCING STEEL TOTAL							965.6	1037.5	1177.2	1204.0	1380.2	1603.6
CONCRETE - CUBIC YARDS - TOTAL							8.0	8.6	9.3	10.0	11.1	12.1

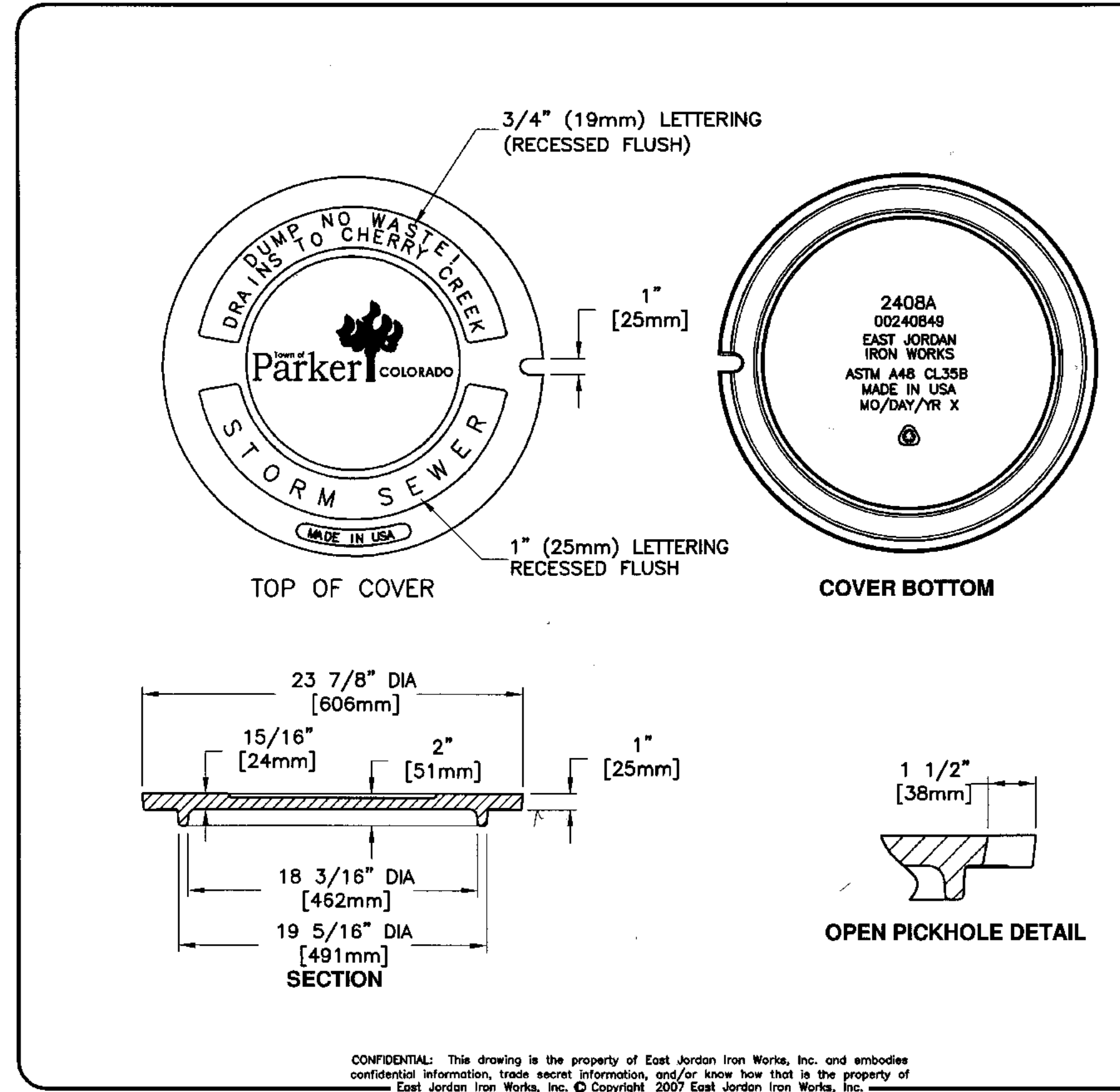
Computer File Information		Sheet Revisions		Colorado Department of Transportation		STANDARD PLAN NO.	
Creation Date: 07/31/19	Designer: JBK	Date:	Comments:	2829 West Howard Place CDOT HQ, 3rd Floor Denver, CO 80204 Phone: 303-757-9021 FAX: 303-757-9986		M-604-20	
Last Modification Date: 07/31/19	Detaller: LTA			Project Development Branch		Standard Sheet No. 1 of 3	
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EJW EAST JORDAN IRON WORKS EST. 1983	
800-626-4653 www.ejw.com MADE IN USA	
PRODUCT NUMBER	00240849
CATALOG NUMBER	2408A
COVER	
LOAD RATING	HEAVY DUTY
COATING	UNDIPPED
ESTIMATED WEIGHT	COVER: 112 LBS 51kg
MATERIAL SPECIFICATION	COVER - GRAY IRON ASTM A48 CL35B
OPEN AREA	N/A
✓ DESIGNATES MACHINED SURFACE	
DRAWN SMH	DATE 03/11/03
LAST REVISED GAD	DATE 02/02/07
REFERENCE INFORMATION	00240841



Manhard CONSULTING LTD.
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Civil Engineering | Surveying & Geospatial Services | Construction Management | Water Resource Management

APPROVED PLANS
1. 10/12/2021
2. 08/13/2021
3. 06/18/2021

THIRD SUBMITTAL - RESPOND TO TOP COMMENTS
SECOND SUBMITTAL - RESPOND TO TOP COMMENTS

COMPARK VILLAGE SOUTH, F1 - BELFORD AVE SITE PLAN AMD
TOWN OF PARKER, COLORADO
STORM DETAILS

PROJ. MGR.: GTT
PROJ. ASSOC.: ASD
DRAWN BY: JMP
DATE: 03/15/2021

SHEET
32 OF 33
CLCPK3 CLCPK3

GENERAL NOTES

1. SILEY TYPE D IS NOT HS-20 RATED AND SHALL NOT BE PLACED IN PAVED ROADWAYS. THIS INLET SHALL BE USED ONLY ON UNPAVED ROADWAYS.
2. CONCRETE SHALL BE CLASS B. SILEY MAY BE CAST-IN-PLACE OR PRECAST.
3. SEE PLANS FOR SIZE AND LOCATION OF PIPE.
4. STRUCTURAL STEEL FOR GRATES AND GRATE INSTALLATION HARDWARE SHALL BE GALVANIZED AND SHALL BE IN ACCORDANCE WITH SUBSECTION 712.02.
5. STANDARD INLET GRATES SHALL BE USED ON ALL TYPE D SILEY UNLESS CLOSE MESH GRATES ARE SPECIFIED ON THE PLANS.
6. CLOSE MESH GRATES ARE RECOMMENDED WHERE TRAFFIC OR BICYCLE RIDERS ARE IN CLOSE PROXIMITY TO GRATE. THIS GRATE IS NOT AREA COMPLIANT OR BICYCLE FRIENDLY AND SHALL NOT BE PLACED DIRECTLY IN SIDEWALKS, CROSSWALKS OR SIDE PAVES.
7. STEPS SHALL BE PROVIDED WHEN INLET DIMENSION "H" IS EQUAL TO OR GREATER THAN 3 FT. 6 IN. AND SHALL CONFORM WITH ASHRAE M 218.
8. REINFORCING BARS SHALL BE CRYSTAL COATED AND REINFORCING #4 AND SHALL HAVE A 2 IN. MINIMUM CLEARANCE CUT OR BEND BARS AROUND PIPE AS REQUIRED.
9. ALL METALS SHALL HAVE A 1/4 IN. SOLID METAL WITH A 1/4 IN. DRIPPING GRADES TO STREAM MESSAGE ON IT. THE METALLON SHALL HAVE A FISH SYMBOL WITH A BLUE BACKGROUND. IT SHALL BE FIRMLY ATTACHED TO THE INLET'S SURFACE WITH A PERMANENT FASTENER.

TRANSVERSE CROSS SECTION LEVEL GRATE INSTALLATION
LONGITUDINAL CROSS SECTION SLOPING GRATE INSTALLATION
PLAN VIEW (SHOWING ANCHOR BOLT LAYOUT)

QUANTITIES FOR ONE INLET

CONCRETE CUB. YDS.	STEEL LBS.	CIRCULAR PIPE RANGE INSIDE DIA. IN. - "D"
1.5	127	18
3.6	149	18-24
4.2	157	18-30
4.5	159	18-36
5.0	167	18-42
5.5	175	18-48
6.0	183	18-54
6.5	191	18-60
7.0	199	18-66
7.5	207	18-72
8.0	215	18-78
8.5	223	18-84
9.0	231	18-90
9.5	239	18-96
10.0	247	18-102
10.5	255	18-108
11.0	263	18-114
11.5	271	18-120
12.0	279	18-126
12.5	287	18-132
13.0	295	18-138
13.5	303	18-144
14.0	311	18-150
14.5	319	18-156
15.0	327	18-162

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Project Development Branch DD/LTA
 Issued By: Project Development Branch July 4, 2012

MODIFIED INLET, TYPE D
 STANDARD PLAN NO. M-604-11
 Sheet No. 1 of 1

GENERAL NOTES

1. FOR SIZE AND LOCATION OF PIPES, SEE THE PLANS.
2. ALL CONCRETE SHALL BE CLASS B.
3. FOOTINGS IN ROCK SHALL BE POURED OUT TO ROCK AND NOT FORMED IN ACCORDANCE WITH SUBSECTION 601.09(D).
4. EXPOSED CONCRETE CORNERS SHALL BE CHAMFERED 3/4 IN.
5. HEADWALL SHALL HAVE REINFORCING STEEL INSTALLED IN A PATTERN SIMILAR TO STANDARD PLAN M-601-10.
6. THE COST OF REINFORCING STEEL SHALL BE INCLUDED IN THE WORK UNLESS THE STEEL QUANTITIES ARE LISTED IN THE PLANS AND ARE PAID FOR SEPARATELY.

SINGLE PIPE CONCRETE HEADWALL INSTALLATIONS
DOUBLE PIPE CONCRETE HEADWALL INSTALLATIONS

PIPE OUTLET PAVING
 MAY BE USED WITH MULTIPLE PIPES.

CONCRETE QUANTITIES FOR ONE CONCRETE HEADWALL (CUBIC YARDS)

THICKNESS	MATERIAL	PIPE DIAMETER (IN.)					
		18	24	30	36	42	48
4"	CONCRETE	0.4	0.8	1.2			
6"	CONCRETE				2.6	3.6	4.7
18"	RIPPRAP	2.0	3.5	5.4	7.8	10.7	13.9

PIPE OUTLET PAVING (CUBIC YARDS)
 NOTE: VOLUME OCCUPIED BY PIPE HAS BEEN DEDUCTED.

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 Denver, CO 80204
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HEADWALLS AND PIPE OUTLET PAVING
 STANDARD PLAN NO. M-601-12
 Standard Sheet No. 1 of 1
 Project Sheet Number:

GENERAL NOTES

1. DIMENSIONS OF END SECTIONS MAY VARY SLIGHTLY FROM THOSE SHOWN ON THE TABLES DUE TO DIFFERENT MANUFACTURERS' CONFIGURATIONS.
2. CONCRETE END SECTIONS SHALL BE FINISHED WITH TONGUE OR GROOVE AS REQUIRED.
3. DESIGN LENGTH OF PIPE OR SIDE DRAIN IS BASED ON LENGTH OF END SECTION SHOWN IN TABLE. ANY ADDITIONAL PIPE REQUIRED TO PROVIDE THE DESIGN LENGTH SHALL BE FURNISHED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE PROJECT.
4. THE INSIDE CONFIGURATION AND THE JOINT OF CONCRETE END SECTION AND PIPE SHALL MATCH ON THE PLANS.
5. END SECTIONS FOR CMP ARCH PIPE SHALL MATCH THE DIMENSIONS OF THE PIPE SHOWN ON THE PLANS.
6. GALVANIZED TOE PLATE AS SHOWN IS REQUIRED ON END SECTIONS FOR CORRUGATED STEEL PIPE AND SHALL BE THE SAME THICKNESS AS END SECTIONS. THE TOE PLATE SHALL BE FIELD-BOLTED TO END SECTION WITH 3/4 IN. GALVANIZED BOLTS, NUTS AND WASHERS.
7. GALVANIZED STEEL SHALL CONFORM TO ASHRAE M 218 OR M 232.
8. CONCRETE PIPE JOINT FASTENERS WHERE SHOWN ON PLANS SHALL BE INSTALLED SO THAT A MINIMUM OF 15 LINEAR FEET OF THE OUTLET END OF THE PIPE ARE MECHANICALLY LOCKED TOGETHER. END SECTION LENGTHS WHEN USED SHALL BE INCLUDED IN THE 15 LF REQUIREMENT.
9. CONNECTIONS OF METAL END SECTIONS TO PLASTIC PIPE SHALL BE APPROVED BY THE ENGINEER. PLASTIC END SECTIONS SHALL NOT BE USED.
10. THE END SECTION STYLE, EITHER REGULAR OR SAFETY, SHALL BE AS SHOWN ON THE PLANS.
11. AT THE OPTION OF THE CONTRACTOR AND APPROVAL OF THE CDOT PROJECT ENGINEER, REINFORCED CONCRETE END SECTIONS MAY BE MADE WITH SYNTHETIC FIBERS INSTEAD OF STEEL FOR PIPES 36 INCHES IN DIAMETER AND SMALLER AND CONFORM TO ASHRAE M 218 AND SUBSECTION 707.05.

RIPPRAP TOE PROTECTION
 N.T.S.

REINFORCED CONCRETE CIRCULAR PIPE
 END SECTION AND CONNECTION DETAILS FOR ROUND AND ARCH METAL PIPES

FLARED END SECTION TOEWALL DETAIL
 N.T.S.

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CONCRETE AND METAL END SECTIONS
 STANDARD PLAN NO. M-603-10
 Standard Sheet No. 1 of 1
 Project Sheet Number:

GENERAL NOTES

1. DIMENSIONS OF END SECTIONS MAY VARY SLIGHTLY FROM THOSE SHOWN ON THE TABLES DUE TO DIFFERENT MANUFACTURERS' CONFIGURATIONS.
2. CONCRETE END SECTIONS SHALL BE FINISHED WITH TONGUE OR GROOVE AS REQUIRED.
3. DESIGN LENGTH OF PIPE OR SIDE DRAIN IS BASED ON LENGTH OF END SECTION SHOWN IN TABLE. ANY ADDITIONAL PIPE REQUIRED TO PROVIDE THE DESIGN LENGTH SHALL BE FURNISHED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE PROJECT.
4. THE INSIDE CONFIGURATION AND THE JOINT OF CONCRETE END SECTION AND PIPE SHALL MATCH ON THE PLANS.
5. END SECTIONS FOR CMP ARCH PIPE SHALL MATCH THE DIMENSIONS OF THE PIPE SHOWN ON THE PLANS.
6. GALVANIZED TOE PLATE AS SHOWN IS REQUIRED ON END SECTIONS FOR CORRUGATED STEEL PIPE AND SHALL BE THE SAME THICKNESS AS END SECTIONS. THE TOE PLATE SHALL BE FIELD-BOLTED TO END SECTION WITH 3/4 IN. GALVANIZED BOLTS, NUTS AND WASHERS.
7. GALVANIZED STEEL SHALL CONFORM TO ASHRAE M 218 OR M 232.
8. CONCRETE PIPE JOINT FASTENERS WHERE SHOWN ON PLANS SHALL BE INSTALLED SO THAT A MINIMUM OF 15 LINEAR FEET OF THE OUTLET END OF THE PIPE ARE MECHANICALLY LOCKED TOGETHER. END SECTION LENGTHS WHEN USED SHALL BE INCLUDED IN THE 15 LF REQUIREMENT.
9. CONNECTIONS OF METAL END SECTIONS TO PLASTIC PIPE SHALL BE APPROVED BY THE ENGINEER. PLASTIC END SECTIONS SHALL NOT BE USED.
10. THE END SECTION STYLE, EITHER REGULAR OR SAFETY, SHALL BE AS SHOWN ON THE PLANS.
11. AT THE OPTION OF THE CONTRACTOR AND APPROVAL OF THE CDOT PROJECT ENGINEER, REINFORCED CONCRETE END SECTIONS MAY BE MADE WITH SYNTHETIC FIBERS INSTEAD OF STEEL FOR PIPES 36 INCHES IN DIAMETER AND SMALLER AND CONFORM TO ASHRAE M 218 AND SUBSECTION 707.05.

FLEXIBLE ROUND PIPE
 END SECTION AND CONNECTION DETAILS FOR ROUND AND ARCH METAL PIPES

FLEXIBLE PIPE ARCH
 END SECTION AND CONNECTION DETAILS FOR ROUND AND ARCH METAL PIPES

REINFORCED CONCRETE ELLIPTICAL PIPE
 END SECTION AND CONNECTION DETAILS FOR ROUND AND ARCH METAL PIPES

STEEL END SECTION FOR CONCRETE CIRCULAR PIPE
 (ALTERNATIVE FOR CONCRETE END SECTION)

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CONCRETE AND METAL END SECTIONS
 STANDARD PLAN NO. M-603-10
 Standard Sheet No. 1 of 1
 Project Sheet Number:

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COMPARK VILLAGE SOUTH, F1 - BELFORD AVE SITE PLAN AMD
TOWN OF PARKER, COLORADO
STORM DETAILS

DATE: 07/31/2019
 REVISIONS:
 1. 10/14/2021 APPROVED PLANS
 2. 08/13/2021 THIRD SUBMITTAL - RESPONSE TO TOP COMMENTS
 3. 06/18/2021 SECOND SUBMITTAL - RESPONSE TO TOP COMMENTS

PROJ. MGR.: GTT
 PROJ. ASSOC.: ASD
 DRAWN BY: JMP
 DATE: 03/15/2021

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