



## Development Review Division

Community Development Department: Town Hall / 20120 East Mainstreet Parker, CO 80138 Phone: 303.841.2332 Fax: 303.841.3223

### MEMORANDUM

**TO:** Jonathan Greenhut, EES, *Applicant*  
Twin Star Energy, LLC., *Owner*  
Mark Perrino, MAPCM, *Developer*

**FROM:** Julia Duncan, Associate Planner

**DATE:** October 21, 2021

**SUBJECT:** SP21-064; Douglas 234 F6 L2 - Car Wash  
Review Comments 02

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

**TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER:** Julia Duncan

**EMAIL:** jduncan@parkeronline.org

**PHONE:** 303.805.3334

#### GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Development Design Standards, the Land Development Ordinance (LDO), and the Douglas 234 Planned Development District. Copies of these documents are available at:  
[Parker 2035 Master Plan](#)  
[Development Design Standards](#)  
[Land Development Ordinance](#)  
[Douglas 234 Planned Development](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and includes a comprehensive detailing of comments.
5. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**

### Site Plan and Project Details

**1. Please reference the redlines for all comments/clarification.**

Comment Addressed:       Yes       No  
Response:

### OUTSIDE REFERRAL AGENCY COMMENTS

Please address all outside referral agency comments with a written response. The following agencies have provided comments for review:

- Town of Parker – Environmental (Construction Plans)
- Town of Parker – Stormwater (Construction Plans)
- Town of Parker – Stormwater (Drainage Report)
- Town of Parker – Fire/Life Safety Division
- Town of Parker – Civil (Site Plan)

*Please keep an eye out in eTRAKiT for the comment to the following reviews:*

- Town of Parker – Civil (Construction Plans)
- Town of Parker – Civil (Drainage Report)
- Antelope Heights Homeowners Association
- Horse Creek HOA
- Parker Water and Sanitation District
- Town of Parker – Civil (Traffic Impact Study)

These comments are available on eTRAKiT. Please address accordingly.

Comment(s) Addressed:       Yes       No  
Response:

\_\_\_\_\_  
Property Owner

\_\_\_\_\_  
Date

\_\_\_\_\_  
Project Representative

\_\_\_\_\_  
Date

The Legal Description needs to be the main title-switch 1st and 2nd lines

# CARWASH SITE PLAN

LOCATED IN SOUTHEAST QUARTER OF SECTION 29, TOWNSHIP 6 SOUTH, RANGE 66 WEST 6TH P.M.  
 LOT 2 OF DOUGLAS 234 FILING NO. 6  
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

## APPLICANT/OWNER

TWIN STAR ENERGY, LLC  
 7671 SHAFFER PARKWAY  
 LITTLETON, CO 80127  
 C/O: MARK PERRINO  
 P: (303) 898-2803

## OWNERS'S REP

MARPCM  
 6415 CHEROKEE DRIVE  
 SEDALIA, CO. 80135  
 ATTN: MARK A PERRINO  
 P: (303) 537-2603

## ARCHITECT

101, ARCHITECTURE LLC  
 8400 E. CRESCENT PARKWAY, SUITE 160  
 GREENWOOD VILLAGE, CO 80111  
 ATTN: BUDDY POPPITT, LEED AP  
 P: (720) 881-1600

## GAS SERVICE

XCEL ENERGY  
 1123 WEST 3RD AVENUE  
 DENVER, CO 80223  
 ATTN: DONNA GEORGE  
 P: (303) 571-3306

## ELECTRICAL SERVICE

IREA  
 5496 US HWY 85  
 SEDALIA, CO 80135  
 ATTN: BROOKS KAUFMAN  
 P: (720) 805 3331

## TELEPHONE

CENTURYLINK  
 1801 CALIFORNIA STREET, SUITE 240  
 DENVER, CO 80202  
 ATTN: WILLIAM BENSON  
 WILLIAM.BENSON2@LUMEN.COM

## TRAFFIC ENGINEER

RICK ENGINEERING COMPANY  
 9801 EAST EASTER AVE.  
 CENTENNIAL, CO 80033  
 ATTN: JACK SCANLON, PE  
 P: (303) 537-8020

## ENGINEERING CONSULTANT

ENTITLEMENT AND ENGINEERING SOLUTIONS, INC.  
 501 S CHERRY STREET, SUITE 300  
 GLENDALE, CO 80246  
 ATTN: LANDIS GORDON, PE  
 P: (618) 670-1512

## LANDSCAPE ARCHITECT

VALERIAN  
 970 YUMA STREET SUITE 130  
 DENVER, CO 80204  
 ATTN: BRENT KASLON  
 P: (303) 347-1200

## SURVEYOR

RICK ENGINEERING COMPANY  
 9801 EAST EASTER AVE.  
 CENTENNIAL, CO 80112  
 ATTN: ROBERT HENNESSY, PLS  
 P: (303) 537-8020

## WATER/SANITARY SEWER

PARKER WATER AND SANITATION DISTRICT  
 18100 E. WOODMAN DRIVE  
 PARKER, CO 80134  
 ATTN: ROBERT RAMSEY  
 P: (720) 842-4260

## FIRE DEPARTMENT

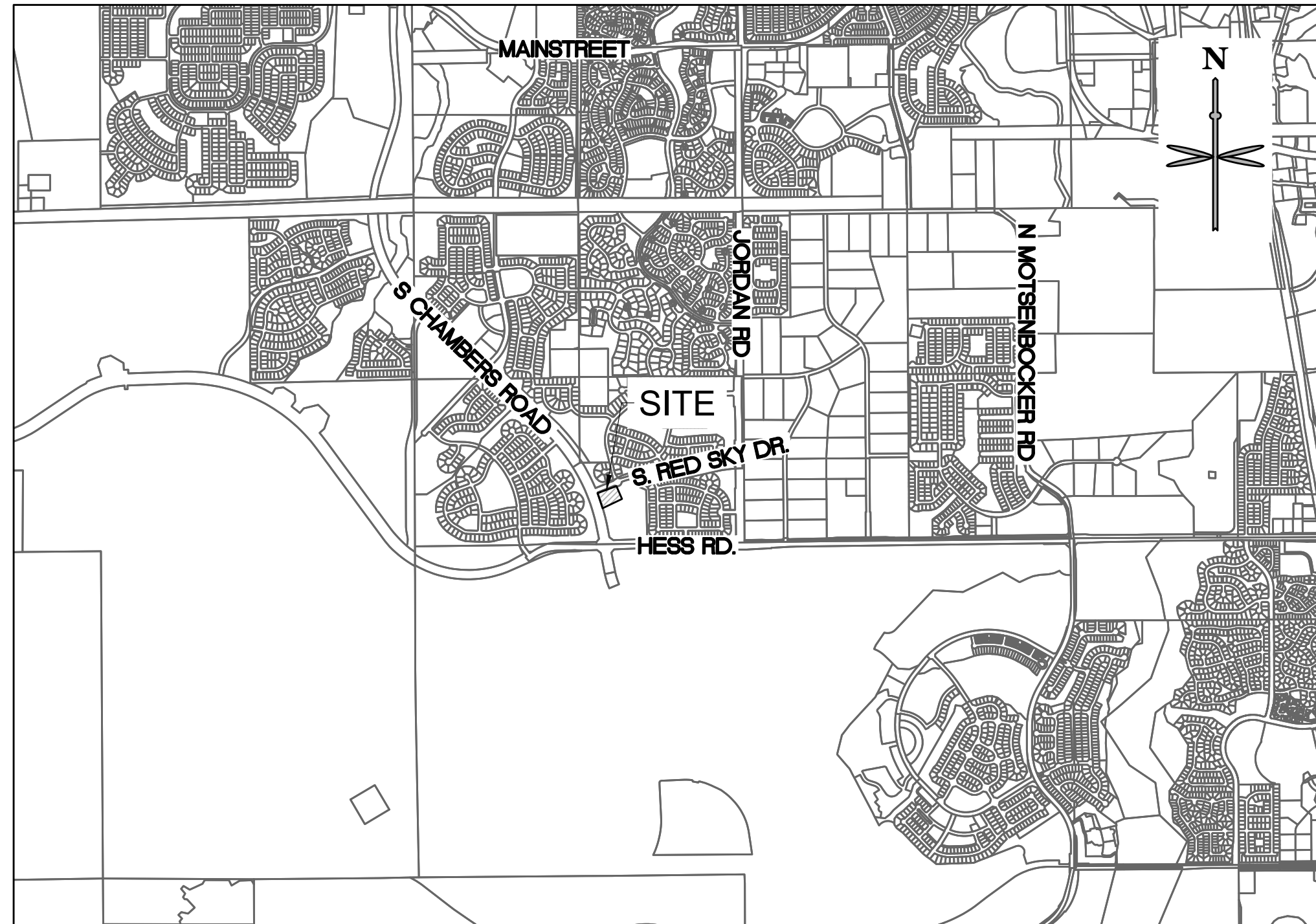
SOUTH METRO FIRE RESCUE AUTHORITY  
 9195 E. MINERAL AVE.  
 CENTENNIAL, CO 80112  
 ATTN: RANDY CAPRA  
 P: (303) 805-3169

## TOWN OF PARKER PLAN REVIEW

20120 E. MAINSTREET  
 PARKER, CO 80138  
 ATTN: BRIANNA SIMON  
 P: (303) 805-3338

## GEOTECHNICAL ENGINEER

TERRACON  
 10625 W. 1-70 FRONTAGE ROAD N, SUITE 3  
 WHEAT RIDGE, CO 80033  
 ATTN: JOHN HAAS  
 P: (303) 454 5290



### VICINITY MAP

SCALE: 1" = 2000'

## LEGAL DESCRIPTION:

A PARCEL OF LAND BEING A PORTION OF LOT 2, BLOCK 10, DOUGLAS 234 FILING NO. 1 LOCATED IN THE SOUTHEAST QUARTER OF SECTION 29, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 BASIS OF BEARINGS:  
 BEARINGS ARE BASED ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 29 BEING ASSUMED TO BEAR NORTH 89°15'13" EAST, A DISTANCE OF 2638.35 FEET BETWEEN THE FOLLOWING DESCRIBED MONUMENTS:  
 -THE SOUTHEAST CORNER OF SECTION 29 BEING A FOUND 3.25" ALUMINUM CAP PLS 35593 IN RANGE BOX MATCHING MONUMENT RECORD FILED 11/29/05.  
 -THE SOUTH QUARTER CORNER OF SECTION 29 BEING A FOUND 3.25" ALUMINUM CAP PLS 22561 IN RANGE BOX MATCHING MONUMENT RECORD FILED 4/30/13.  
 COMMENCING AT SAID SOUTH QUARTER CORNER:  
 THENCE NORTH 23°09'28" EAST, A DISTANCE OF 786.91 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY OF SOUTH CHAMBERS ROAD AND THE POINT OF BEGINNING;  
 THENCE ALONG SAID RIGHT-OF-WAY BEING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 3,085.00 FEET, A CENTRAL ANGLE OF 01°59'59", WHOSE CHORD BEARS NORTH 20°18'56" WEST A DISTANCE OF 107.67 FEET, FOR A DISTANCE OF 107.67 FEET;  
 THENCE NORTH 21°50'47" EAST, A DISTANCE OF 15.32 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF SOUTH RED SKY DRIVE;  
 THENCE ALONG SAID RIGHT-OF-WAY THE FOLLOWING TWO (2) COURSES AND DISTANCES:  
 1. THENCE NORTH 67°44'14" EAST, A DISTANCE OF 288.93 FEET;  
 2. THENCE ALONG A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 46.50 FEET, A CENTRAL ANGLE OF 07°31'34", WHOSE CHORD BEARS SOUTH 84°58'12" EAST A DISTANCE OF 6.10 FEET, FOR AN ARC DISTANCE OF 6.11 FEET;  
 THENCE ALONG A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 88.00 FEET, A CENTRAL ANGLE OF 22°23'01", WHOSE CHORD BEARS SOUTH 38°24'40" EAST A DISTANCE OF 34.16 FEET, FOR AN ARC DISTANCE OF 34.38 FEET;  
 THENCE SOUTH 27°13'09" EAST, A DISTANCE OF 11.25 FEET;  
 THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 38.00 FEET, A CENTRAL ANGLE OF 10°44'07", WHOSE CHORD BEARS SOUTH 21°51'05" EAST A DISTANCE OF 7.11 FEET, FOR AN ARC DISTANCE OF 7.12 FEET;  
 THENCE SOUTH 16°29'16" EAST, A DISTANCE OF 86.95 FEET;  
 THENCE SOUTH 71°45'39" WEST, A DISTANCE OF 311.12 FEET TO THE POINT OF BEGINNING.  
 CONTAINING 40,531 SQUARE FEET OR 0.930 ACRES, MORE OR LESS.

## BENCHMARK:

THE PRIMARY BENCHMARK USED TO DETERMINE THE BASIS OF ELEVATIONS FOR THE MAP IS BY GPS OBSERVATION NAVD88. A SITE BENCH MARCH HAS BEEN SET AT THE NORTHWEST CORNER OF A DRAIN INLET ON CHAMBERS ROAD, APPROXIMATELY 200± NORTH OF HESS ROAD. ELEVATION = 6075.31

## BASIS OF BEARING:

THE BASIS OF BEARING IS THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 29 TOWNSHIP 6 SOUTH, RANGE 66 WEST, 6TH PRINCIPAL MERIDIAN, BEARING SOUTH 89°15'13" WEST AS SHOWN ON FINAL PLAT DOUGLAS 234 FILING NO. 1.

## FLOODPLAIN NOTE:

BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER T6SR66WS29 AND DATED MARCH 16, 2016 - SUBJECT PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.

## SITE DATA TABLE:

SITE AREA	LOT 1: 29,024 SF = 0.67 AC	
ZONING	PLANNED DEVELOPMENT - COMMERCIAL (PD-C)	
BUILDING	SINGLE STORY - 2,599 SF	
FAR	50% MAX / 2,599/29,024 X 100 = 8.9%	
BUILDING COVERAGE	50% MAX / 2,599/29,024 X 100 = 8.9%	
OPEN SPACE	20% MIN. VS. 13,246/29,024 S.F. X 100 = 45.6%	
*BUILDING SETBACK	REQUIRED	ACTUAL
	25' PUBLIC R.O.W. (W,E)	120.93' (W), 92.68' (E)
	20' FRONT	
	10' SIDES (N,S)	48.58' (N), 10.5' (S)
	*BUILDING SETBACKS PER "PLANNED DEVELOPMENT GUID DOUGLAS 234," 6/25/2002, SECTION III., PAGE 12, FOR COMMERCIAL	
MAX. BUILDING HT	60' VS. PROPOSED 20'-0"	
PARKING	1 PER 250 SF NLA 2,379 SF / 250 = 9.51 10 SPACES REQUIRED 23 SPACES PROVIDED	

## SHEET LIST TABLE

SHEET NUMBER	SHEET TITLE
P0.0	COVER SHEET
P1.0	SITE PLAN
P1.1	SITE PLAN SCHEDULE, NOTES & LEGEND
P2.0	GRADING PLAN
P3.0	UTILITY PLAN
IR 1.2	IRRIGATION PLAN - CARWASH
IR 1.3	IRRIGATION NOTES AND DETAILS
IR 1.4	IRRIGATION DETAILS
L1.1	LANDSCAPE PLAN
L1.2	LANDSCAPE NOTES AND DETAILS
02	BUILDING ELEVATIONS
04	BUILDING ELEVATIONS
05	BUILDING ELEVATIONS
1	SITE LIGHTING PLAN

## DEVELOPMENT PLAN NOTES:

- LIGHTING NOTE: IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTIES SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES.
- TRASH ENCLOSURE NOTE: TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF SIX (6) FEET AND OF THE SAME MATERIAL AND COLOR AS THE MAIN BUILDING.
- SCREENING NOTE: ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE PLACED OR SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING.
- SIGNAGE NOTE: APPROVAL OF A SEPARATE SIGN PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH SIGHT TRIANGLES AND EASEMENTS. THESE SIGNS WILL NOT BE APPROVED BY THE DEVELOPMENT PLAN REVIEW PROCESS. ALL SIGNS MUST CONFORM TO THE CITY'S STANDARDS.
- DOWNSPOUT NOTE: NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTES.
- AMERICANS WITH DISABILITIES NOTE: THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.
- CONSTRUCTION NOTE: THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS, AND BUILDING PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
- UNDERGROUND UTILITY NOTE: ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER THE LAND DEVELOPMENT CODE.

## TOWN OF PARKER NOTES:

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE LATEST EDITION OF THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT. THE TOWN RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- A PRECONSTRUCTION MEETING SHALL BE SCHEDULED A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. A PRECONSTRUCTION MEETING WILL NOT BE SCHEDULED UNTIL THE GRADING PERMIT AND ALL OTHER NECESSARY PERMITS HAVE BEEN OBTAINED.
- THE TOWN INSPECTOR SHALL BE CONTACTED A MINIMUM OF 24 HOURS PRIOR TO A NECESSARY INSPECTION. IF A TOWN INSPECTOR IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE PERMITTEE MAY COMMENCE WORK IN THE TOWN INSPECTOR'S ABSENCE. HOWEVER, THE TOWN OF PARKER RESERVES THE RIGHT TO REJECT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
- LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION IN ACCORDANCE WITH ALL STATE AND LOCAL LAWS. THE CONTRACTOR SHALL FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS, APPROVED BY THE TOWN OF PARKER DIRECTOR OF ENGINEERING/PUBLIC WORKS, AND ONE (1) COPY OF THE ROADWAY DESIGN AND CONSTRUCTION CRITERIA AT THE JOB SITE AT ALL TIMES.
- A PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE SUBMITTED TO THE TOWN OF PARKER FOR ACCEPTANCE WITH THE RIGHT-OF-WAY USE PERMIT APPLICATION. A PERMIT WILL NOT BE ISSUED WITHOUT AN APPROVED TRAFFIC CONTROL PLAN FOR USE DURING CONSTRUCTION.
- ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED AND THE SAFETY OF WORKERS PROVIDED FOR AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION."
- COMPACTION OF ALL TRENCHES MUST BE ATTAINED AND
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION.
- PLANS ARE APPROVED FOR PERIOD OF 1 (ONE) YEAR FROM THE DATE SHOWN ON THE TOWN OF PARKER SIGNATURE BLOCK. PLANS SHALL BE RESUBMITTED TO THE TOWN FOR APPROVAL AFTER 1 YEAR. THE COST OF THE PLAN RE-REVIEW AND RE-ACCEPTANCE WILL BE CHARGED BACK TO THE DEVELOPER INCLUDING ALL TIME AND EXPENSES OF THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
- REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS OR LANDSCAPING IS THE RESPONSIBILITY OF THE CONTRACTOR. SUCH RESTORATION MAY BE REQUIRED TO BE COMPLETED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
- ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
- ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY." FOR INFORMATION, PLEASE CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, WOOD-PE-B2, 4300 CHERRY DRIVE SOUTH, DENVER, COLORADO 80222-1530. ATTENTION: PERMITS AND ENFORCEMENT SECTION. PHONE (303) 692-3500.
- IF DEWATERING IS REQUIRED, A STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT IS REQUIRED FOR DISCHARGES TO A STORM SEWER, CHANNEL, IRRIGATION DITCH, ANY STREET THAT IS TRIBUTARY TO THE AFOREMENTIONED FACILITIES, OR ANY WATER OF THE UNITED STATES.
- ALL REFERENCES TO BOOKS, PAGES, MAPS, AND RECEPTION NUMBER ARE PUBLIC DOCUMENTS ON FILE WITH THE COUNTY CLERK AND RECORDER'S OFFICE.
- THE APPROVED SITE PLAN IS THE FINAL DOCUMENT AND NOT CONCEPTUAL. ANY PROPOSED DEVIATION/MODIFICATION/SUBSTITUTION WILL NEED PRIOR WRITTEN TOWN APPROVAL THROUGH THE APPROPRIATE PLANNING DEPARTMENT PROCESS.

No.	REVISION	BY	DATE
 501 S Cherry St, Suite 300 Denver, CO 80246 303.672.7997 www.ees-us.com			
<b>SITE PLAN LOT 2</b> <b>CAR WASH</b> <b>COVER SHEET</b>			
PROJECT NO.:		TSD003.01	
DESIGNED BY:		LCG	
DRAWN BY:		JLG	
DATE:		09/13/2021	
P0.0			

PITWINSTAR ENERGY/CO, PARKER, CHAMBERS & HESS/06 CAD/SITE PLAN/LOT 1/COVER SHEET/DWG



CALL UTILITY NOTIFICATION  
 CENTER OF COLORADO  
**1-800-922-1987 or 811**

Know what's below.  
 Call before you dig.

CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

S RED SKY DR

SLICEROO DRIVE

CHAMBERS RD

LOT 1  
40,311 SF OR 0.93 ACRES

C-STORE  
4,140 SF

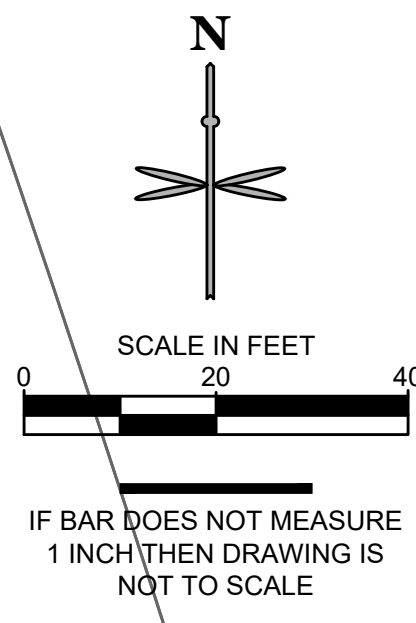
LOT 2  
29,024 SF OR 0.67 ACRES

CAR WASH  
2,379 SF

VACUUM STALLS

15' DRY UTIL ESMT

LANDSCAPE  
SCREENING &  
BERM BUFFER



**811**  
Know what's below.  
Call before you dig.

CALL UTILITY NOTIFICATION  
CENTER OF COLORADO  
1-800-922-1987 or 811

CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

No.	REVISION	BY	DATE

**EES**  
ENGINEERING AND  
ENTIREMENT AND  
SOLUTIONS, INC.

501 S Cherry St, Suite 300  
Denver, CO 80246  
303.572.7897 www.ees-us.com

**SITE PLAN LOT 2**

**CAR WASH**

**SITE PLAN**

12191 SLICEROO DRIVE, PARKER, CO 80134

PROJECT NO: TSD003.01  
DESIGNED BY: LCG  
DRAWN BY: JLG  
DATE: 09/13/2021

**P1.0**

**SITE SCHEDULE**

- ① EXISTING CURB AND GUTTER TO REMAIN.
- ② EXISTING WATER.
- ③ EXISTING UNDERGROUND TELEPHONE.
- ④ EXISTING UNDERGROUND ELECTRIC.
- ⑤ EXISTING SANITARY MANHOLE.
- ⑥ EXISTING STORM INLET/MANHOLE.
- ⑦ EXISTING SIDEWALK TO REMAIN.
- ⑧ EXISTING RAMP TO REMAIN.
- ⑨ NEW HORIZON'S DAYCARE ENTRANCE.
- ⑩ MASTERPLAN ADA RAMP TO REMAIN
- ⑪ MASTERPLAN SIDEWALK TO BE BUILT BY MASTER DEVELOPER.
- ⑫ FUTURE MONUMENT & SIGN LOCATIONS BY SEPARATE SIGN PERMIT.
- ⑬ MASTERPLAN STORM INLET TO REMAIN.
- ⑭ MASTERPLAN SANITARY MANHOLE TO REMAIN.
- ⑮ EXISTING OR MASTERPLAN FIRE HYDRANT TO REMAIN.
- ⑯ MASTERPLAN CURB AND GUTTER TO REMAIN.
- ⑰ BEGIN CURB CUT. MATCH MASTERPLAN CURB AND PROVIDE AN EXPANSION JOINT AT THE INTERFACE WITH EXISTING.
- ⑱ PROPERTY LINE.
- ⑲ PROPOSED ONSITE 6" VERTICAL CURB AND 1' GUTTER. REFER TO DETAIL ON SHEET C5.1 OF CD SET.
- ⑳ PROPOSED 8'X8' ELECTRICAL TRANSFORMER PAD. REFER TO MEP PLANS FOR TRANSFORMER DESIGN AND DETAILS.
- ㉑ PROPOSED ONSITE CONCRETE WALK. REFER TO DETAIL ON SHEET C5.0 OF CD SET.
- ㉒ PROPOSED ASPHALT PAVEMENT. DETAIL ON SHEET C5.2 OF CD SET.
- ㉓ APPROX. LOCATION OF PROPOSED LIGHT POLES, BASE, AND FIXTURE. REFER TO PHOTOMETRIC PLAN UNDER SEPARATE COVER. (TYP.)
- ㉔ PROPOSED TRASH ENCLOSURE. REFER TO ARCHITECTURAL PLANS UNDER SEPARATE COVER.
- ㉕ PROPOSED ADA RAMP. PER TOWN DETAIL 18, OR SEE SHEET C5.2 OF CD SET.
- ㉖ PROPOSED BUILDING OVERHANG. REFER TO ARCHITECTURAL PLANS UNDER SEPARATE COVER.
- ㉗ PROPOSED PAINT 4" 90° SOLID WHITE PARKING STRIP. (TYP.)
- ㉘ PROPOSED STORM INLET.
- ㉙ PROPOSED FDC AND KNOX BOX.
- ㉚ FIRE RISER ROOM.
- ㉛ PROPOSED 2" SAWCUT ADJACENT TO PROPOSED SITE ACCESS.
- ㉜ SECONDARY ENTRANCE.
- ㉝ PROPOSED HS-20 TRAFFIC RATED SANITARY SEWER CLEANOUT. DETAIL ON SHEET U2.0 OF PWSD SET.
- ㉞ PROPOSED GREASE INTERCEPTOR. DETAIL ON SHEET U2.1 OF PWSD SET.
- ㉟ PROPOSED SIGHT DISTANCE TRIANGLE. PER TOWN DETAIL 24. ASSUME 25 MPH.
- ㊱ PROPOSED 30'X30' CORNER SIGHT TRIANGLE.
- ㊲ PROPOSED SANITARY SEWER SAMPLING MANHOLE. DETAIL ON SHEET U2.1 OF PWSD SET
- ㊳ PROPOSED BICYCLE RACK. REFER TO DETAIL ON SHEET C5.2.
- ㊴ PROPOSED TIRE INFLATOR. REFER TO FUELING PLANS UNDER SEPARATE COVER.
- ㊵ PROPOSED CONCRETE DRIVEWAY APPROACH FULL MOVEMENT ACCESS. PER TOWN DETAIL
- ㊶ PROPOSED CONCRETE DRIVEWAY ENTRANCE RIGHT IN ACCESS ONLY.
- ㊷ PROPOSED INTERSECTION CROSS PAN PER TOWN OF PARKER STD DTL 19 ON SHEET C5.2.
- ㊸ PROPOSED SAND AND OIL INTERCEPTOR. REFER TO SHEET U2.1 ON PWSD SET FOR DETAIL. VERIFY WITH MEP.
- ㊹ PROPOSED ADA ROUTE
- ㊺ CONVERT INLET GRATE TO MANHOLE LID FOR MASTER PLAN INLET.











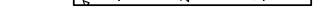








**LOT 2 SITE SCHEDULE**

- ⑦⑩ CAR WASH CLEARANCE BAR REFER TO ARCHITECTURAL PLAN UNDER SEPARATE COVER.
- ⑦⑪ CAR WASH ORDER SCREEN REFER TO ARCHITECTURAL PLAN UNDER SEPARATE COVER.
- ⑦⑫ CAR WASH ENTRY SIGNAGE REFER TO ARCHITECTURAL PLAN UNDER SEPARATE COVER.
- ⑦⑬ SELF-SERVE VACUUM UNIT REFER TO ARCHITECTURAL PLAN UNDER SEPARATE COVER.
- ⑦⑭ VACUUM EQUIPMENT REFER TO ARCHITECTURAL PLAN UNDER SEPARATE COVER.
- ⑦⑮ PROPOSED RETAINING WALL 2' MAX. DESIGN BY STRUCTURAL ENGINEER.
- ⑦⑯ CAR WASH PAY BOX W/ BOLLARDS REFER TO ARCHITECTURAL PLAN UNDER SEPARATE COVER.
- ⑦⑰ PR. APPROX. LOCATION OF LIGHT POLES, BASE, AND FIXTURE. REFER TO PHOTOMETRIC PLAN UNDER SEPARATE COVER. (TYP.)

**GENERAL NOTES:**

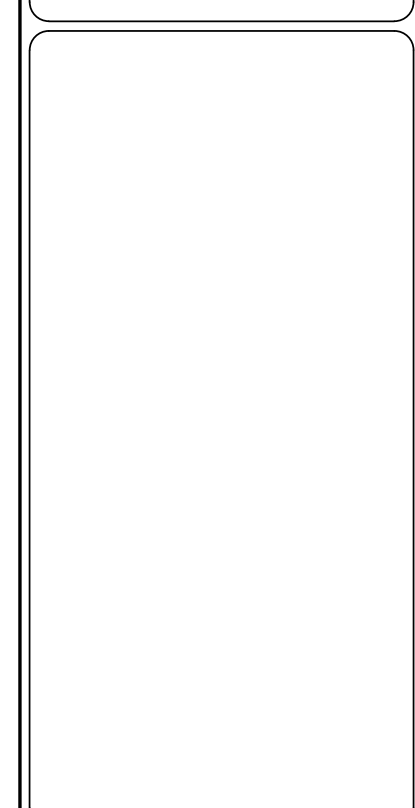
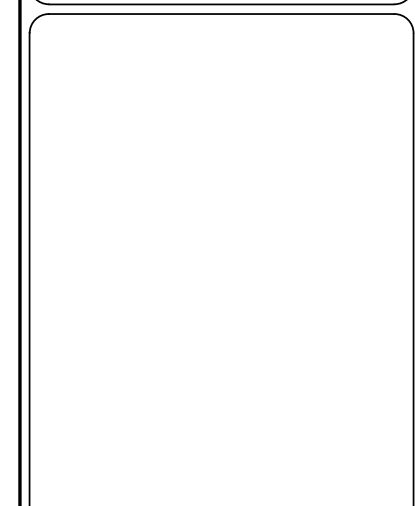
1. ALL ITEMS IN SCHEDULE ARE PROPOSED UNLESS NOTED OTHERWISE.
2. ALL EXISTING UTILITIES TO REMAIN UNLESS NOTED OTHERWISE.
3. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD SPECIFICATIONS OF ALL GOVERNING JURISDICTIONS AS APPLICABLE.
4. EMERGENCY AND SERVICE TRUCKS WILL MANEUVER THROUGH DRIVE AISLES IN A ONE-WAY TRAFFIC MOVEMENT.
5. CARS/TRUCKS WILL MANEUVER AROUND BUILDING DRIVE AISLES IN A TWO-WAY TRAFFIC MOVEMENT UNLESS OTHERWISE NOTED FOR SPECIFIC DRIVES.
6. HANDICAP PARKING AREAS PROVIDED PER TOWN STANDARDS AND SHALL COMPLY WITH REQUIREMENTS OF THE CURRENT, ADOPTED UNIFORM BUILDING CODE.
7. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS, SERVICE AREA, DIMENSIONS, AND ELEVATIONS.
8. THE DISPOSAL OF DEMOLISHED ITEMS SHALL COMPLY TO ALL STATE AND LOCAL REQUIREMENTS.
9. MECHANICAL UNITS, DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE TOWN LAND DEVELOPMENT ORDINANCE.
10. ALL SIGNAGE SHALL BE BY SEPARATE PERMIT THROUGH THE TOWN. ALL SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH THE LAND DEVELOPMENT ORDINANCE.
11. ALL ACCESSIBLE RAMPS SHALL HAVE A MAXIMUM SLOPE OF 12:1.
12. SIDEWALKS SHALL NOT EXCEED 2% CROSS SLOPE.
13. THE CONVENIENCE STORE HOURS OF OPERATION WILL BE 12 HOURS A DAY.
14. THERE ARE NO USES WITHIN THE SLIM CHICKENS PROJECT THAT UTILIZE OR GENERATE ANY SIGNIFICANT QUANTITIES OF TOXIC MATERIAL.
15. ALL DIMENSIONS ARE FLOWLINE TO FLOWLINE UNLESS OTHERWISE NOTED.
16. ALL PARKING LOT STRIPING SHALL BE WHITE.
17. UNLESS OTHERWISE NOTED, ALL RADII ON PARKING ISLAND SHALL BE 3'.
18. THE CONTRACTOR SHALL OBTAIN THE LATEST CAD FILE OF SITE IMPROVEMENTS FROM THE ENGINEER OF RECORD FOR HORIZONTAL AND VERTICAL SURVEY CONTROL PRIOR TO CONSTRUCTION. CONTRACTOR TO VERIFY WITH ENGINEER OF RECORD ANY DISCREPANCIES BETWEEN THE CAD FILES AND CONSTRUCTION PLANS PRIOR TO INSTALLATION OF PLAN IMPROVEMENTS.
19. SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.

**LEGEND**

-  PROPERTY LINE
-  OFF-SITE PROPERTY LINE
-  PROPOSED BUILDING
-  PARKING COUNT
-  EXISTING CURB AND GUTTER
-  PROPOSED 6" STANDARD CURB AND GUTTER
-  PROPOSED 6" SPILL CURB AND GUTTER
-  EXISTING SITE LIGHTING
-  EXISTING FIRE HYDRANT
-  EXISTING STORM MANHOLE
-  PROPOSED CONCRETE
-  DENOTES TRAFFIC FLOW PATTERNS
-  DENOTES ADA ROUTE
-  PROPOSED SITE LIGHTING
-  EXISTING STORM INLET
-  EXISTING SANITARY/STORM MANHOLE
-  EXISTING SIGN
-  PROPOSED SIGN
-  PROPOSED STORM INLET AND MANHOLE

DATE	BY	REVISION

**EES**  
 ENGINEERING AND  
 CONSULTING  
 SOLUTIONS, INC.  
 501 S. Cherry St., Suite 300  
 Denver, CO 80246  
 303.572.7897 www.ees-us.com



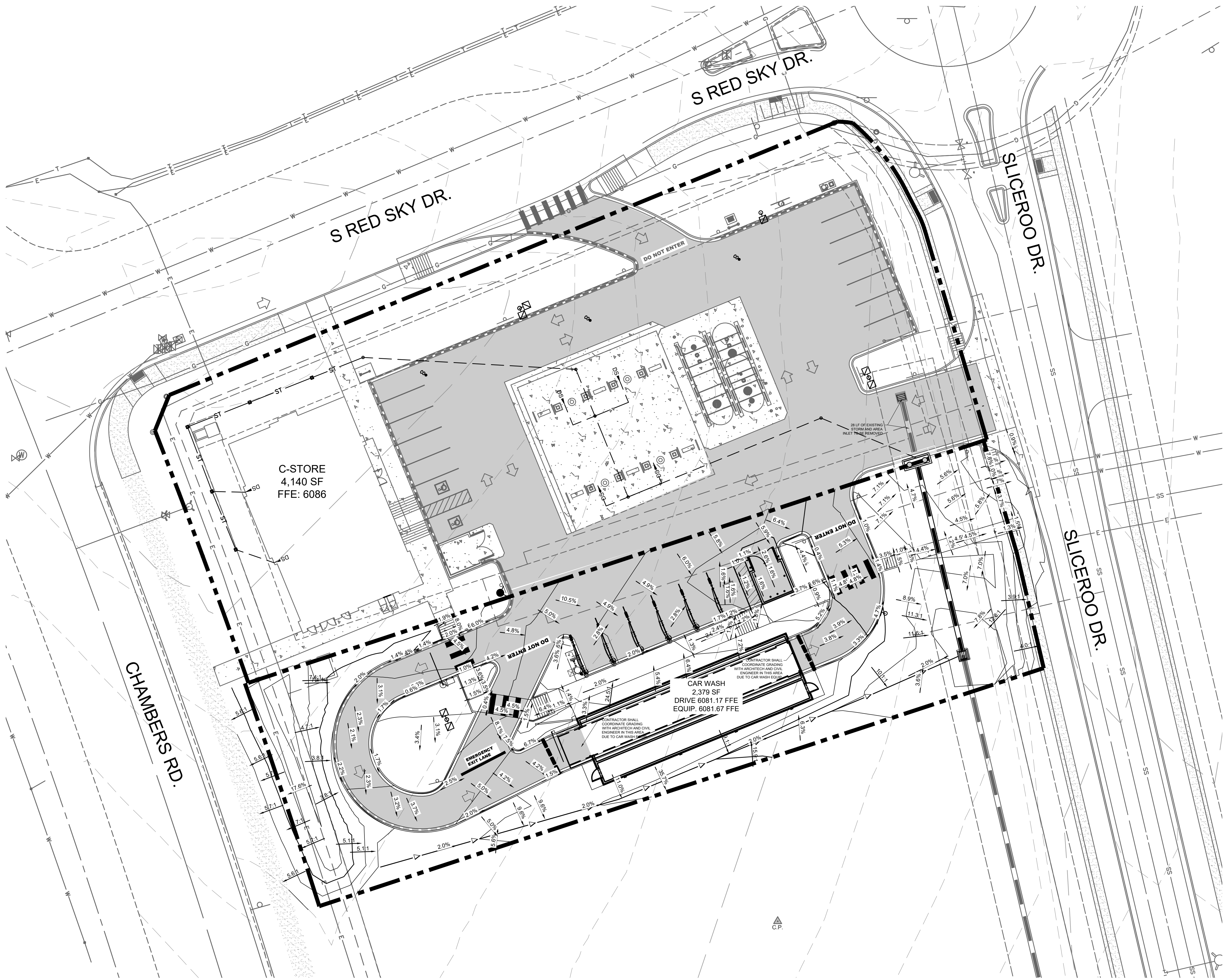
**SITE PLAN LOT 2**  
**CAR WASH**  
 12191 SLICEROO DRIVE, PARKER, CO 80134  
**SITE PLAN SCHEDULE, NOTES & LEGEND**

PROJECT NO:	TSD003.01
DESIGNED BY:	LCG
DRAWN BY:	JLG
DATE:	09/13/2021

**P1.1**

P:\TWINSTAR\ENERGY\CO. PARKER - CHAMBERS & HESS\06\CAD\SITE PLAN\LOT 1\SITE PLAN.DWG

**811**  
 CALL UTILITY NOTIFICATION  
 CENTER OF COLORADO  
**1-800-922-1987 or 811**  
 Know what's below.  
 Call before you dig.  
CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

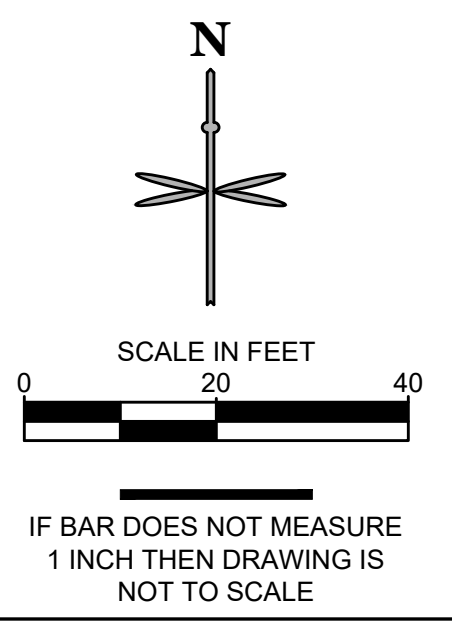


**LEGEND**

	PROPERTY LINE
	EXISTING CURB AND GUTTER
	PROPOSED CURB AND GUTTER
	PROPOSED SPILL CURB AND GUTTER
	PROPOSED FENCE
	PROPOSED RETAINING WALL
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED FLOW LINE ELEVATION
	PROPOSED SIDEWALK ELEVATION
	PROPOSED GRADE TO MATCH EXISTING
	PROPOSED TOP BACK OF CURB ELEVATION
	PROPOSED FINISHED GRADE ELEVATION
	PROPOSED EXTERIOR GRADE AT FOUNDATION
	FLOW ARROW AND GRADE
	TRASH ENCLOSURE PAD (SEE PAVING DETAILS ON SHEET C5.2)
	ONSITE ASPHALT DRIVE LANES AND PARKING AREAS (SEE PAVING DETAILS ON SHEET C5.2)
	ONSITE CONCRETE SIDEWALK (SEE DETAIL C6.0)

**GENERAL NOTES:**

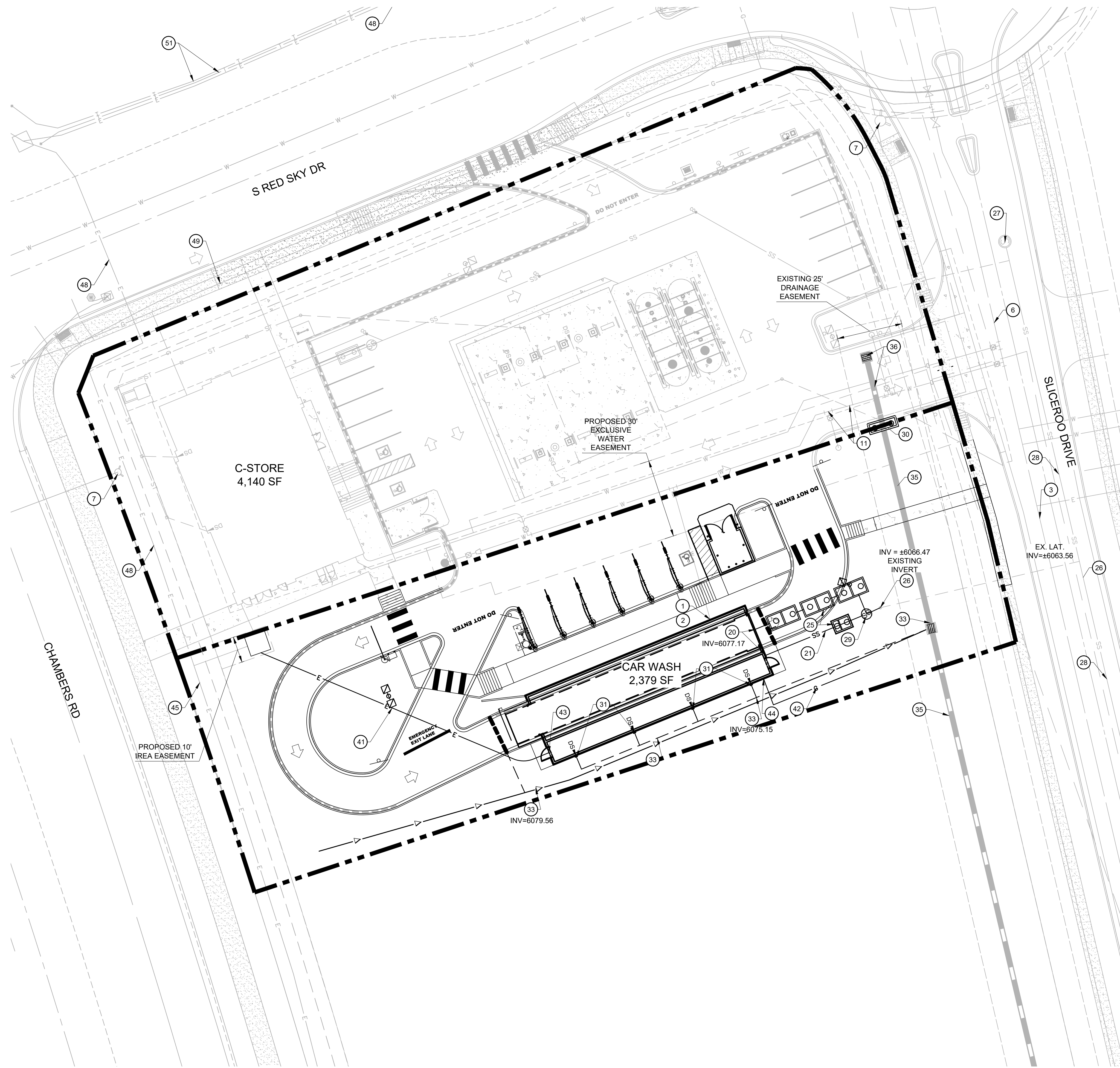
- CATCH CURB AND GUTTER FLOWLINE GRADES SHALL BE A MINIMUM 0.5%.
- ALL ADA SIDEWALKS, RAMPS AND PARKING STALLS SHALL COMPLY WITH CITY AND STATE APPLICABLE CODES AND STANDARDS.
- ALL SPOT ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK.
- SIDEWALKS SHALL NOT EXCEED 2% CROSS SLOPE.
- ALL ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED.
- OFFSITE EASEMENTS REQUIRED FOR ANY GRADING BEYOND PROPERTY BOUNDARY.
- NO WORK IS TO BEGIN UNTIL ALL PERMITS HAVE BEEN OBTAINED.
- FINAL GRADES ARE SUBJECT TO MINOR CHANGE BY CONTRACTOR. NO GRADE CHANGES IN EXCESS OF 0.05' WITHOUT ENGINEER APPROVAL.
- ANY FILL MATERIAL REQUIRED TO BRING THE SITE TO GRADE SHALL BE CLEAN FILL APPROVED BY GEOTECHNICAL ENGINEER.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DEPOSITION OF ONSITE SEDIMENTS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION.



DATE	
BY	
REVISION	
No.	
501 S Cherry St, Suite 300 Denver, CO 80246 303.572.7897 www.ees-us.com	
<b>SITE PLAN LOT 2</b> <b>CONVENIENCE STORE</b> CHAMBERS AND HESS, PARKER, CO <b>GRADING PLAN</b>	
PROJECT NO:	TSD003.01
DESIGNED BY:	LCG
DRAWN BY:	JLG
DATE:	03/19/21
<b>P2.0</b>	

PITWINSTAR ENERGY CO. PARTNER - CHAMBERS & HESS/DC CAD/SITE PLAN/LOT 1/GRADING PLAN.DWG

**811**  
 CALL UTILITY NOTIFICATION CENTER OF COLORADO  
 1-800-922-1987 or 811  
 Know what's below. Call before you dig.  
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**WATER**

- 1 PROPOSED 1.5" TYPE K COPPER DOMESTIC WATER CONNECTION TO BUILDING. STUB 5' OFF OF BUILDING. REFER TO PLUMBING PLANS UNDER SEPARATE COVER FOR CONTINUATION.
- 2 PROPOSED 1.5" DOMESTIC WATER METER (INTERIOR).
- 3 PR. 1.5" (C-STORE), 2" (CAR WASH) DOMESTIC WATER TAP.
- 4 PR. 8" X 8" TS&V, 8" PVC MAIN, 8" PLUG (BY OTHERS).
- 5 PROPOSED FDC WITH KNOX BOX.
- 6 8" PVC WATER MAIN BY MASTER DEVELOPER.
- 7 F.H. (EXISTING OR BY MASTER DEVELOPER).
- 8 PR. FIRE HYDRANT, 6" VALVE, 6"X8" REDUCER
- 9 PR. ±266 LF 4" DIP FIRE LINE (PRIVATE). (VERIFY W/ MEP)
- 10 PR. 8" X 4" TS&V, 4" UFL DIP, 4" PLUG (BY OTHERS).
- 11 PR. 3/4" IRRIGATION LINE, VALVE, METER.

**SANITARY SEWER**

- 20 PROPOSED 4" SANITARY SEWER STUB 5 FEET OFF BUILDING. REFER TO PLUMBING PLANS UNDER SEPARATE COVER FOR CONTINUATION.
- 21 PROPOSED 4" PVC SDR 35 SANITARY SEWER SERVICE @ 2.1% SLOPE.
- 22 PROPOSED HS-20 TRAFFIC RATED SANITARY SEWER CLEANOUT.
- 23 PROPOSED 45" BEND W/ HS-20 TRAFFIC RATED SANITARY SEWER CLEANOUT.
- 24 PR. 1,200 GAL. GREASE INTERCEPTOR. (VERIFY W/ MEP)
- 25 PR. PRIVATE RECLAIM SYSTEM WITH SAND OIL INTERCEPTOR. (VERIFY W/ MEP)
- 26 PR. 4"X6" RED. CONN. TO EX. 6" SAN. STUB. C.O. ATG.
- 27 EXISTING SANITARY MANHOLE BY MASTER DEVELOPER.
- 28 EX. 8" PVC MAIN.
- 29 PROPOSED SAMPLING MANHOLE.

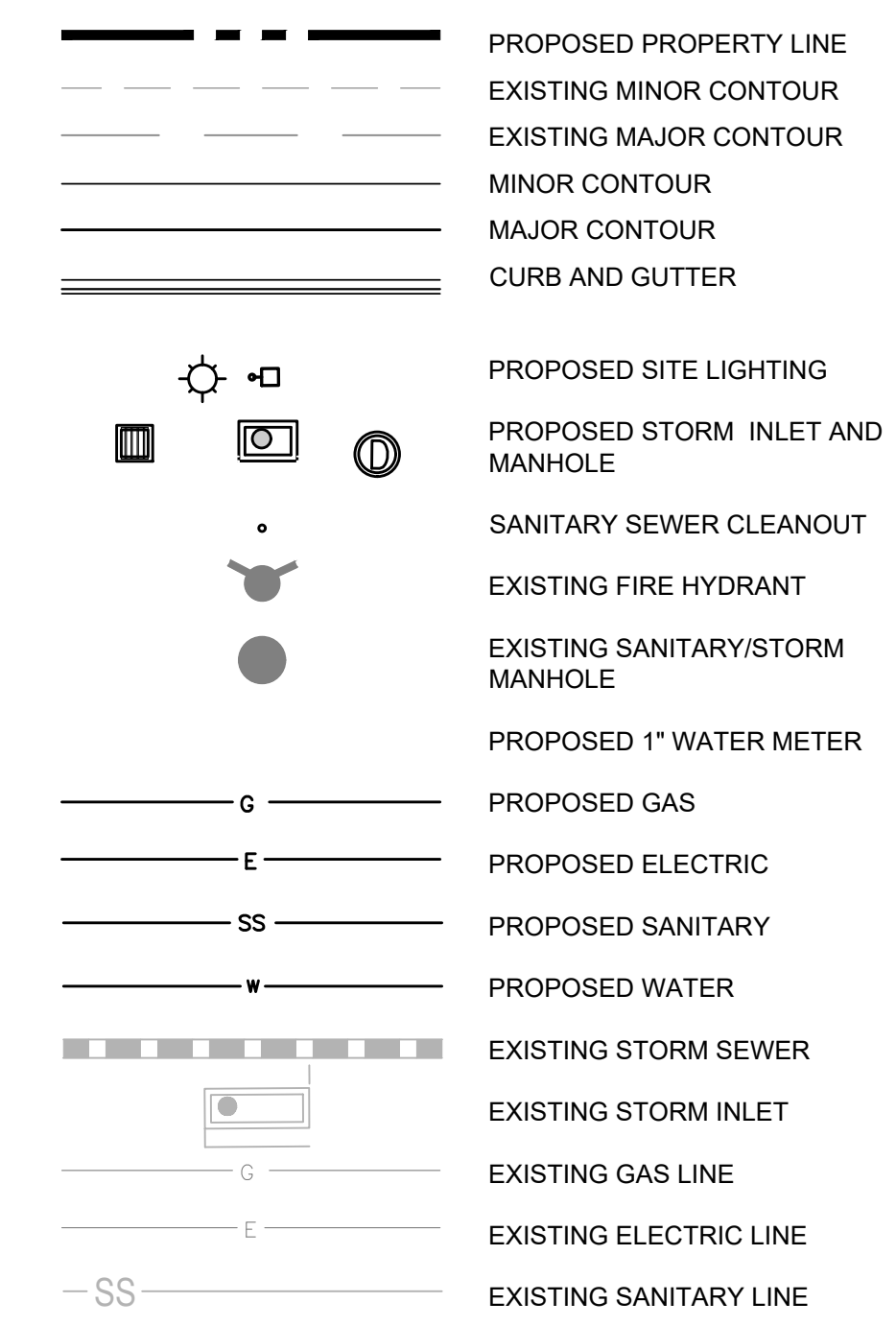
**STORM SEWER**

- 30 PROPOSED PRIVATE CDOT 10" TYPE R INLET. CONNECTION TO EXISTING PRIVATE STORM SEWER PROVIDED BY BY MASTER DEVELOPER. CONTRACTOR TO VERIFY INVERTS AND NOTIFY ENGINEER OF ANY DISCREPANCY. SEE SHEET C3.0 FOR INVERTS.
- 31 PROPOSED DOWNSPOUT LOCATION.
- 32 PROPOSED DOWNSPOUT 8" PVC @ 2%.
- 33 EXISTING PRIVATE STORM SEWER, INLET OR MANHOLE BY MASTER DEVELOPER. PROTECT IN PLACE.
- 34 PROPOSED STORM BEND/CLEANOUT.
- 35 PRIVATE 18" STORM SEWER PIPE BY MASTER DEVELOPER. PROTECT IN PLACE.
- 36 PRIVATE STORM SEWER OR INLET BY MASTER DEVELOPER TO BE REMOVED.
- 37 PROPOSED PRIVATE LANDSCAPE DRAIN.

**DRY UTILITIES**

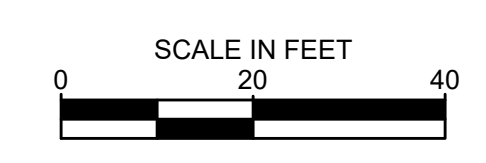
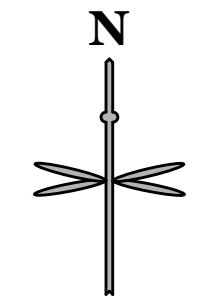
- 40 PROPOSED 8" X 8" ELECTRICAL TRANSFORMER PAD. REFER TO MEP PLANS FOR TRANSFORMER DESIGN UNDER SEPARATE COVER.
- 41 PROPOSED ELECTRIC LINE. (APPROXIMATE LOCATION. CONTRACTOR TO COORDINATE WITH PROJECT MEP AND UTILITY COMPANY PRIOR TO ANY CONSTRUCTION)
- 42 PROPOSED GAS LINE. (APPROXIMATE LOCATION. CONTRACTOR TO COORDINATE WITH PROJECT MEP AND UTILITY COMPANY PRIOR TO ANY CONSTRUCTION)
- 43 PROPOSED ELECTRICAL METER. (LOCATION FOR REFERENCE ONLY).
- 44 PROPOSED GAS METER. (LOCATION FOR REFERENCE ONLY).
- 45 PROPOSED ELECTRIC LINE CONNECTION TO EXISTING LINE. (LOCATION FOR REFERENCE ONLY).
- 46 PROPOSED GAS LINE CONNECTION TO EXISTING LINE. (LOCATION FOR REFERENCE ONLY).
- 47 PROPOSED LIGHT POLE, BASE AND FIXTURE (SEE PHOTOMETRIC PLAN UNDER SEPARATE COVER).
- 48 EXISTING UNDERGROUND ELECTRIC.
- 49 EXISTING UNDERGROUND GAS LINE.
- 50 EXISTING UNDERGROUND COMMUNICATION LINE.
- 51 EXISTING TELECOMMUNICATION LINE.

**UTILITY LEGEND**



**UTILITY NOTES:**

1. CONSTRUCT ALL WET UTILITIES IN ACCORDANCE WITH THE TOWN OF PARKER STANDARDS AND DETAILS.
2. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
3. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
4. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 3 FEET.
5. THE SITE IS LOCATED WITHIN THE TOWN OF PARKER WATER PRESSURE ZONE.
6. THE CONTRACTOR SHALL NOTIFY ENGINEER AND FIELD VERIFY TYPE, SIZE, AND LOCATION OF EXISTING UTILITIES PRIOR TO UTILITY CONSTRUCTION.
7. THE CONTRACTOR SHALL NOTIFY THE TOWN OF PARKER OF ANY WORK THAT IS REQUIRED SHUTDOWN OR INTERRUPTION OF SERVICE OF EXISTING WATER MAINS TWO WEEKS PRIOR TO THE PROPOSED SHUTDOWN OR INTERRUPTION UNLESS OTHERWISE APPROVED BY THE UTILITIES DEPARTMENT.



IF BAR DOES NOT MEASURE 1 INCH THEN DRAWING IS NOT TO SCALE

DATE	BY	REVISION



**SITE PLAN LOT 2**  
**CAR WASH**  
**UTILITY PLAN**

12191 SLICEROOD DRIVE, PARKER, CO 80134

PROJECT NO: TSD003.01  
DESIGNED BY: LCG  
DRAWN BY: JLG  
DATE: 09/13/2021

**P3.0**

CALL UTILITY NOTIFICATION CENTER OF COLORADO  
**1-800-922-1987 or 811**  
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**Know what's below. Call before you dig.**

9/3/2021 12:47 PM X:\DROBOX (VALERIAN)\VALERIAN TEAM\FOLDER\PROJECTS\20-085\_EES\_PARKER 7 ELEVEN & CAR WASH\2-WORKING\2021-09-03\_LAND\_IR\_CDS\20-085\_EES\_IRRIGATION PLAN\_CAR WASH.DWG

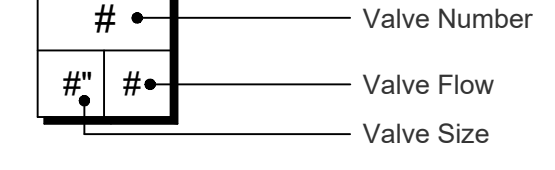
**IRRIGATION SCHEDULE CAR WASH**

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	TURF ROTARY - R-VAN14 RAIN BIRD R-VAN14, 1806-SAM-P45, 8'-14", TURF ROTARY W/1800 TURF SPRAY BODY ON 6" POP-UP, WITH CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR.	1	45
	TURF ROTARY - R-VAN18 RAIN BIRD R-VAN18, 1806-SAM-P45, 13'-18", TURF ROTARY W/1800 TURF SPRAY BODY ON 6" POP-UP, WITH CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR.	26	45
	TURF ROTARY - R-VAN24 RAIN BIRD R-VAN24, 1806-SAM-P45, 17'-24", TURF ROTARY W/1800 TURF SPRAY BODY ON 6" POP-UP, WITH CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR.	12	45

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	DRIP CONTROL VALVE ASSEMBLY RAIN BIRD XCZ-100-PRB-COM - WIDE FLOW DRIP CONTROL KIT FOR COMMERCIAL APPLICATIONS. 1" BALL VALVE WITH 1" PESS VALVE AND 1" PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTER. 0.3 GPM-20 GPM	2
	PIPE TRANSITION POINT PIPE TRANSITION FROM PVC LATERAL TO DRIP TUBING WITH RISER IN 6" DRIP BOX.	8
	FLUSH VALVE 3/4" PVC BALL VALVE IN 10" VALVE BOX.	10
	AREA TO RECEIVE DRIP EMITTERS AREA FOR DRIP EMITTERS RAIN BIRD XB-PC SINGLE OUTLET, PRESSURE COMPENSATING DRIP EMITTERS. FLOW RATES OF 0.5GPH=BLUE, 1.0GPH=BLACK, AND 2.0GPH=RED. COMES WITH A SELF-PIERCING BARB INLET X BARB OUTLET. Emitter Notes: 2.0 GPH emitters (6 assigned to each B & B, 2" Cal plant) 2.0 GPH emitters (6 assigned to each B & B, 6" HT plant) 0.5 GPH emitters (2 assigned to each #1 plant) 1.0 GPH emitters (2 assigned to each #5 plant)	11,192 S.F.
	DRIP TUBING: 3/4" POLYETHYLENE TUBING.	1,150 LF

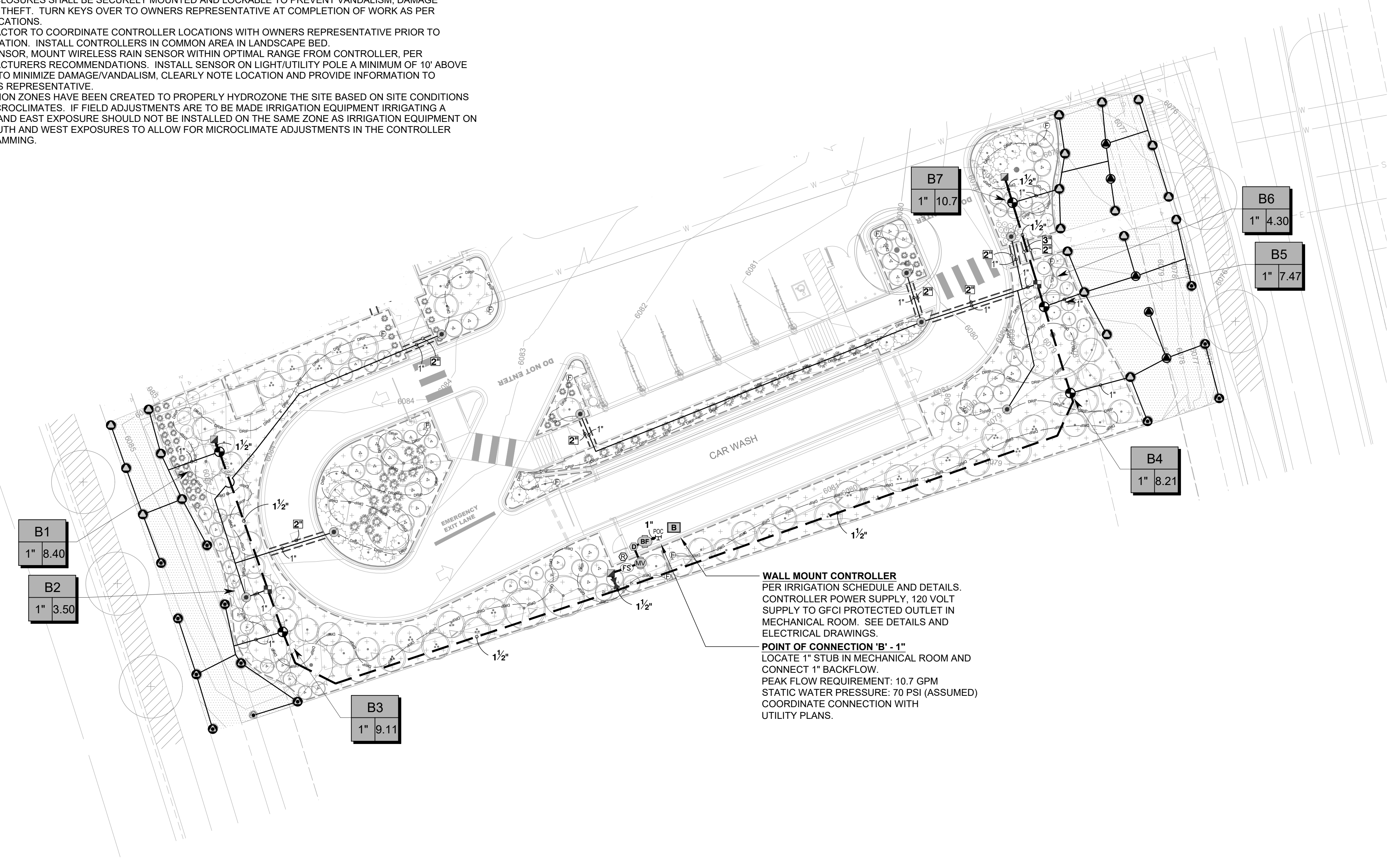
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	CONTROL VALVE RAIN BIRD PEB-PRS-D. GLOBE CONFIGURATION. WITH PRESSURE REGULATOR MODULE.	5
	QUICK COUPLER VALVE RAIN BIRD 44-RC 1" BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, THERMOPLASTIC RUBBER COVER, AND 2-PIECE BODY.	3
	GATE VALVE - 2-1/2" AND SMALLER MATCO-NORCA 514T BRASS GATE VALVE, FULL PORT, WITH SOLID WEDGE. IPS. WHEEL HANDLE. SAME SIZE AS MAINLINE PIPE.	1
	MASTER VALVE - NORMALLY CLOSED 1" RAIN BIRD EFB-CP BRASS MASTER VALVE, THAT IS CONTAMINATION PROOF W/SELF-FLUSHING FILTER SCREEN AND FD-101TURF DECODER. GLOBE CONFIGURATION, RECLAIMED WATER COMPATIBLE.	1
	MANUAL DRAIN VALVE MUELLER ORISEAL #H-10283, WITH BRASS SWING JOINT ASSEMBLY. INSTALL PER INSTALLATION DETAIL.	1
	REDUCED PRESSURE BACKFLOW PREVENTER 1" FEBCO 825YA	1
	CONTROLLER RAIN BIRD ESP4ME3 WITH (2) ESP-SM3 - 10 STATION, HYBRID MODULAR CONTROLLER.	1
	RAIN/FREEZE SENSOR RAIN BIRD WR2-RFC - WIRELESS RAIN AND FREEZE SENSOR COMBO, INCLUDES 1 RECEIVER AND 1 RAIN/FREEZE SENSOR TRANSMITTER.	1
	FLOW SENSOR -1" RAINBIRD MJ100B - 1" FLOW SENSOR FOR USE WITH RAIN BIRD ESP-ME.	1
	POINT OF CONNECTION 1"	1

	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21	949.4 L.F.
	IRRIGATION MAINLINE: PVC CLASS 200 SDR 21	415.1 L.F.
	PIPE SLEEVE: PVC CLASS 160 SDR 26	78.9 L.F.

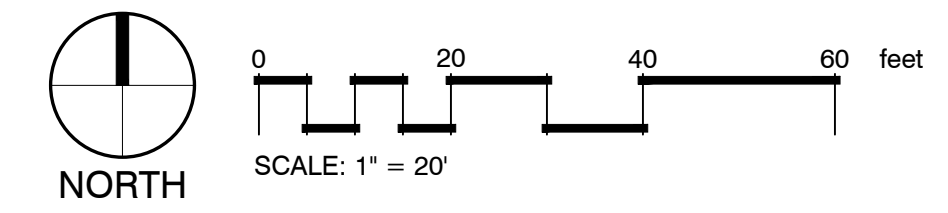


**POINT OF CONNECTION (POC) NOTES:**

- POC - 'B'** - PROPOSED 1" STUB-OUT IN MECHANICAL ROOM. CONNECT 1" TYPE 'K' COPPER TO BACKFLOW PREVENTOR LOCATED IN THE MECHANICAL ROOM. REFER TO PLUMBING PLANS FOR CONNECTION LOCATION.
- AVAILABLE WATER PRESSURE:** THE ASSUMED AVAILABLE PSI AT THE POINT OF CONNECTION IS - **70 PSI**. CONTRACTOR SHALL TEST PRIOR TO INSTALLATION.
- DESIGN PRESSURE: 70 PSI**
- DESIGN FLOW: 10 GPM MAX.** (SINGLE VALVE OPERATION)
- THE IRRIGATION SYSTEMS ARE DESIGNED WITHIN A WATER WINDOW AND SIZED TO ACCOMMODATE SINGLE VALVE STARTS NOT TO EXCEED DESIGN FLOW LISTED. CONTRACTOR TO PROGRAM CONTROLLER ACCORDINGLY.
  - CONTRACTOR TO INSTALL ALL REQUIRED EQUIPMENT IN ACCORDANCE WITH ALL LOCAL WATER PURVEYORS REQUIREMENTS.
  - CONTRACTOR TO FIELD LOCATE REQUIRED IRRIGATION EQUIPMENT DOWNSTREAM FROM METER FOR APPROVAL PRIOR TO INSTALLATION. ALL ATTEMPTS SHALL BE MADE TO INSTALL EQUIPMENT IN LANDSCAPE BEDS.
  - ALL ENCLOSURES SHALL BE SECURELY MOUNTED AND LOCKABLE TO PREVENT VANDALISM, DAMAGE AND/OR THEFT. TURN KEYS OVER TO OWNERS REPRESENTATIVE AT COMPLETION OF WORK AS PER SPECIFICATIONS.
  - CONTRACTOR TO COORDINATE CONTROLLER LOCATIONS WITH OWNERS REPRESENTATIVE PRIOR TO INSTALLATION. INSTALL CONTROLLERS IN COMMON AREA IN LANDSCAPE BED.
  - RAIN SENSOR, MOUNT WIRELESS RAIN SENSOR WITHIN OPTIMAL RANGE FROM CONTROLLER, PER MANUFACTURERS RECOMMENDATIONS. INSTALL SENSOR ON LIGHT/UTILITY POLE A MINIMUM OF 10' ABOVE GRADE TO MINIMIZE DAMAGE/VANDALISM. CLEARLY NOTE LOCATION AND PROVIDE INFORMATION TO OWNERS REPRESENTATIVE.
  - IRRIGATION ZONES HAVE BEEN CREATED TO PROPERLY HYDROZONE THE SITE BASED ON SITE CONDITIONS AND MICROCLIMATES. IF FIELD ADJUSTMENTS ARE TO BE MADE IRRIGATION EQUIPMENT IRRIGATING A NORTH AND EAST EXPOSURE SHOULD NOT BE INSTALLED ON THE SAME ZONE AS IRRIGATION EQUIPMENT ON THE SOUTH AND WEST EXPOSURES TO ALLOW FOR MICROCLIMATE ADJUSTMENTS IN THE CONTROLLER PROGRAMMING.



**1 IRRIGATION PLAN - CAR WASH**



**811**  
Know what's below.  
Call before you dig.

CALL UTILITY NOTIFICATION CENTER OF COLORADO  
**1-800-922-1987 or 811**

CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

No.	REVISION	BY	DATE

**EES**  
ENGINEERING SOLUTIONS, INC.  
501 S Cherry St, Suite 300  
Glendale, CO 80246  
303-572-7997 www.ees-us.com

**CONSTRUCTION DOCUMENTS**

**CONVENIENCE STORE AND CARWASH**

CHAMBERS ROAD AND RED SKY DRIVE PARKER, CO 80134

**IRRIGATION PLAN - CAR WASH**

PROJECT NO:	-----
DESIGNED BY:	BK
DRAWN BY:	BK
DATE:	09/03/2021

**IR1.2**

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES. SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT. THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, \_\_\_\_\_ DATE \_\_\_\_\_  
DIRECTOR OF ENGINEERING/PUBLIC WORKS

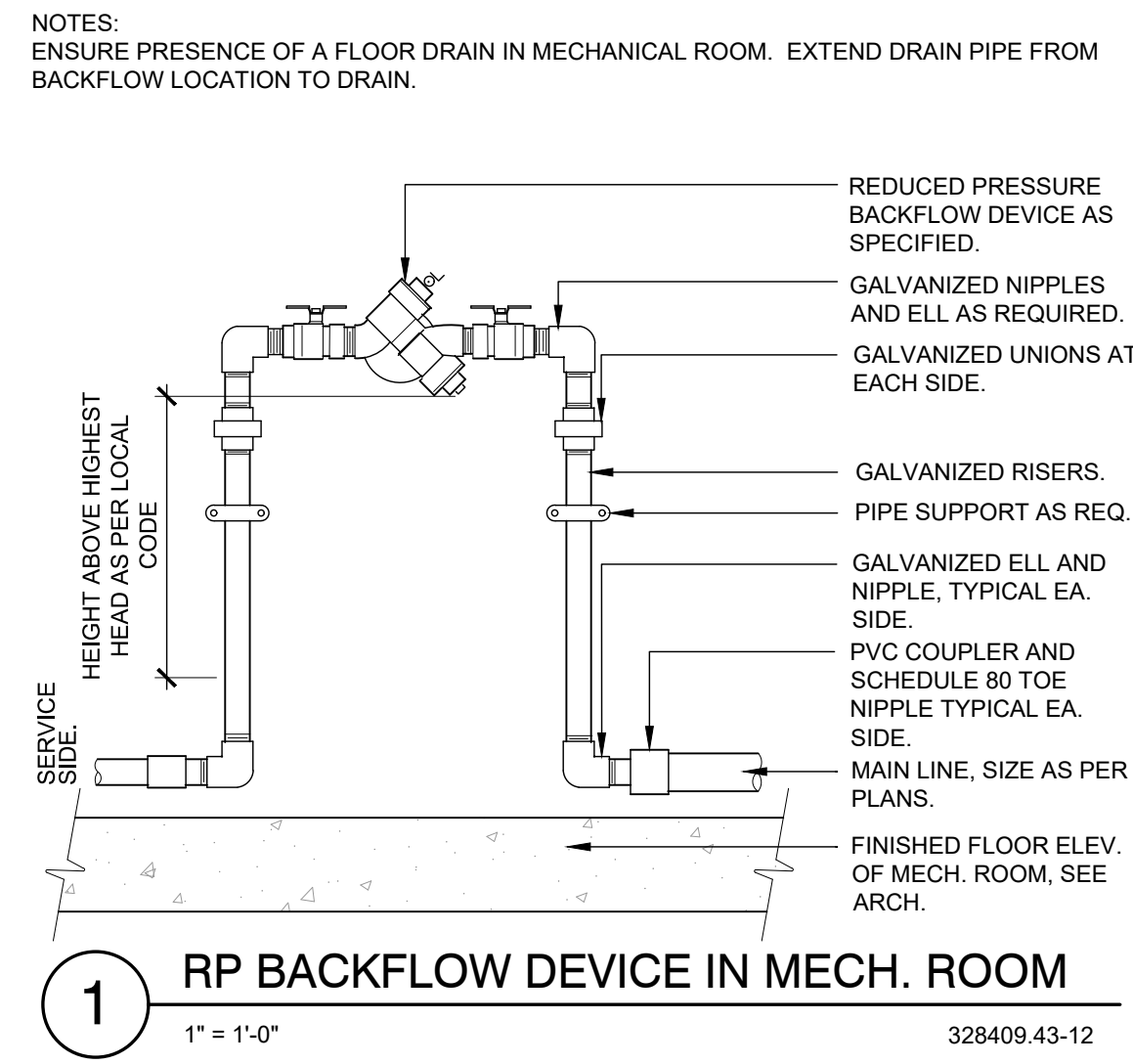
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GENERAL NOTES:

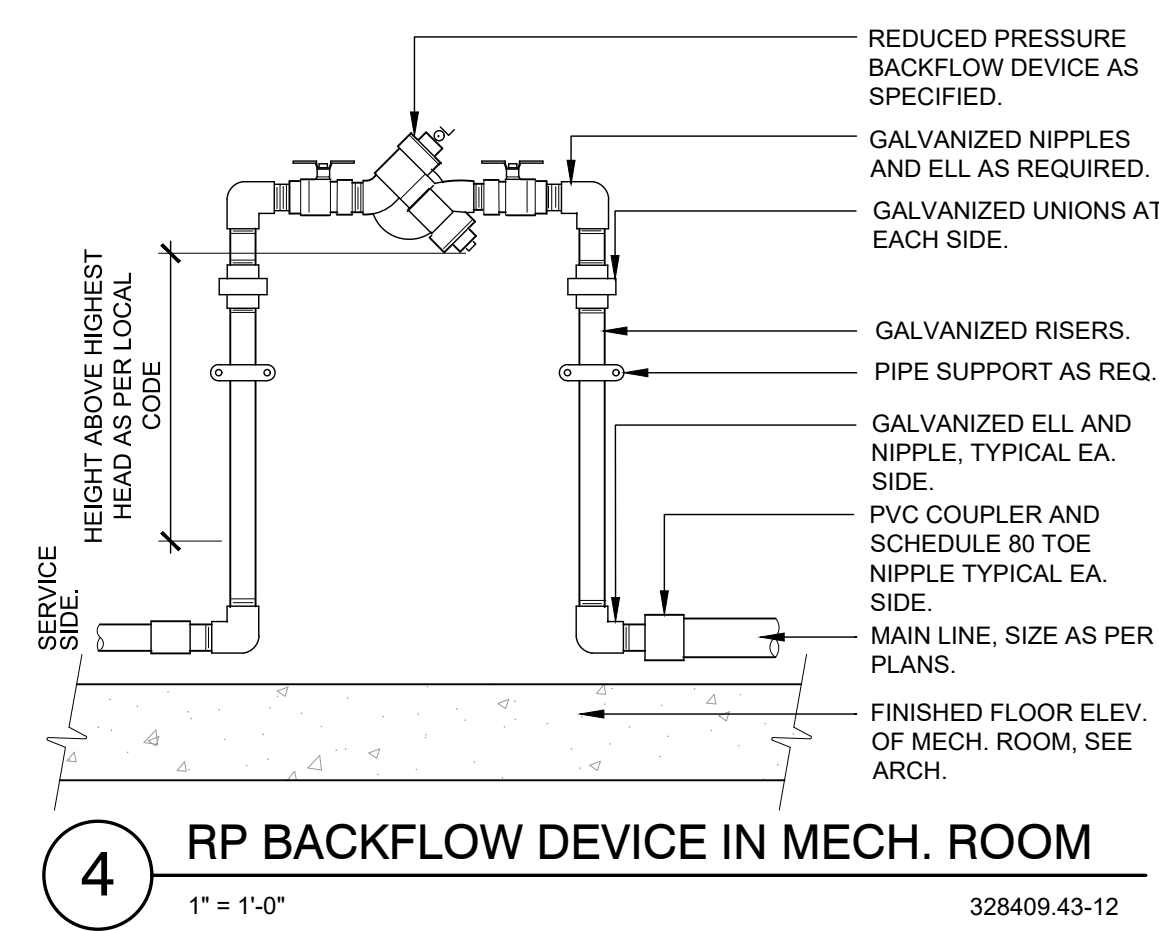
- 1. PRIOR TO BEGINNING WORK VERIFY THE CONTRACT DRAWINGS AGAINST ALL APPLICABLE EXISTING CONDITIONS. NOTIFY THE DESIGNER IMMEDIATELY UPON DISCOVERY OF UNFORESEEN SITE CONDITIONS OR PLAN DISCREPANCIES.
2. PRE-CONSTRUCTION CONFERENCE IS REQUIRED WITH PUBLIC WORKS PRIOR TO CONSTRUCTION.
3. BACKFLOW PREVENTION TESTING IS REQUIRED BY BUILDING DEPARTMENT.
4. CONTRACTOR IS RESPONSIBLE TO INSPECT AND CONFIRM SITE CONDITIONS PRIOR TO BEGINNING WORK.
5. VERIFY LOCATION OF ALL ABOVE AND BELOW GRADE MECHANICAL, PLUMBING, ELECTRICAL/UTILITY LINES AND EQUIPMENT AND ADHERE TO ALL FEDERAL, MUNICIPAL, UTILITY PURVEYOR REQUIRED EASEMENTS, MINIMUM OFFSETS AND SETBACKS.
6. ALL ACCESS TO SITE, USE OF UTILITIES, STORAGE, AND OTHER REQUIREMENTS SHALL BE COORDINATED PRIOR TO BEGINNING WORK.

IRRIGATION NOTES:

- 1. THE CONTRACTOR IS TO INSTALL AN AUTOMATIC IRRIGATION SYSTEM THAT WILL PROVIDE COVERAGE FOR ALL LANDSCAPED AREAS AS SHOWN ON CONTRACT DRAWINGS.
2. REFER TO DETAILS FOR INSTALLATION INSTRUCTIONS.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND MUNICIPAL CODES FOR WORK NECESSARY IN IRRIGATION SYSTEM INSTALLATION.
4. POINT OF CONNECTION SHOWN ON THE IRRIGATION PLANS ARE PER THE CIVIL DOCUMENTS. REPORT ANY DISCREPANCIES IN THE LOCATION TO THE DESIGNER FOR CLARIFICATION OR REVISION.
5. CONTRACTOR IS TO PROVIDE ALL NECESSARY PIPE, VALVES, ETC. DOWNSTREAM FROM POINT OF CONNECTION NOT INSTALLED BY OTHER DISCIPLINES.
6. WORK SHALL BE DONE IN FULL ACCORDANCE WITH THE RULES AND REGULATIONS OF THE 2009 INTERNATIONAL PLUMBING CODE (IPC) AND ALL OTHER STATE OR LOCAL MUNICIPAL REGULATIONS CURRENT UPON THE SIGNING OF THIS CONTRACT.
7. CONTRACT DRAWINGS ARE GENERALLY DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. IT IS THE INTENT OF THIS DESIGN THAT ALL IRRIGATION EQUIPMENT BE INSTALLED IN LANDSCAPED AREAS WHEREVER POSSIBLE AND WITHIN THE PROPERTY LIMITS. ANY EQUIPMENT SHOWN OUTSIDE OF THESE LIMITS IS SHOWN IN THAT LOCATION FOR GRAPHICAL CLARITY ONLY.
8. LATERAL AND MAINLINE PIPE, CONTROL WIRES AND SLEEVES ARE SHOWN ON CONTRACT DRAWINGS SPACED HORIZONTALLY ON PLAN FOR GRAPHIC CLARITY ONLY. CONTRACTOR SHALL CONSOLIDATE IRRIGATION LATERALS, MAINLINES AND COMPONENTS WHEREVER POSSIBLE. IRRIGATION PIPING SHALL BE INSTALLED WITH A MINIMUM OF 4 INCHES CLEAR ON ALL SIDES.
9. CONTRACTOR SHALL MAINTAIN THE MINIMUM DEPTHS DETAILED AND SPECIFIED FOR ALL IRRIGATION EQUIPMENT.
10. CONTRACTOR IS TO VERIFY AVAILABLE PRESSURE AND FLOW AT POINT OF CONNECTION PRIOR TO INSTALLATION OF IRRIGATION SYSTEM EQUIPMENT.
11. CONTRACTOR TO COORDINATE INSTALLATION OF SLEEVING WITH OVERALL SITE CONSTRUCTION AND INSTALLATION OF PAVING AND SIDEWALKS. ALL SLEEVING UNDER PAVED SURFACES SHOWN ON CONTRACT DRAWINGS IS BY CONTRACTOR UNLESS OTHERWISE NOTED. ALL MAINLINES, LATERAL LINES, DRIP LINES AND CONTROL WIRES UNDER PAVED SURFACES ARE TO BE INSTALLED IN SLEEVING. INSTALL SLEEVING AS PER DETAIL, NOTES, SCHEDULES AND SPECIFICATIONS.
12. ALL PIPING, PVC ELECTRICAL SLEEVES, ETC. UNDER PAVING SHALL BE INSTALLED PRIOR TO PAVING WORK. NO TEES, ELLS OR OTHER TURNS IN PIPING SHALL BE LOCATED UNDER PAVING. CAP ALL ENDS HAND TIGHT PRIOR TO BACKFILL.
13. EACH MAINLINE SLEEVE REPRESENTED IN THE DRAWINGS SHALL CONSIST OF TWO SLEEVES: ONE FOR MAINLINE PIPING AND ONE FOR FIELD WIRING.
14. CONTRACTOR IS TO PROVIDE ELECTRICAL POWER TO THE AUTOMATIC CONTROLLER. SEE ELECTRICAL DRAWINGS.
15. INSTALL ALL MATERIALS AND EQUIPMENT AS SHOWN IN DETAILS. USE TEFLON TAPE OR TEFLON PIPE DOPE ON ALL MALE PIPE THREADS ON ALL IRRIGATION SWING JOINT AND VALVE ASSEMBLIES.
16. BACKFILLING SHALL BE DONE IN LIFTS AND COMPACTED.
17. MAINTENANCE AND OPERATION REQUIREMENTS: A SEASONAL MAINTENANCE SCHEDULE BEGINNING ON APRIL 1 THROUGH OCTOBER 1 SHALL ESTABLISH PROCEDURES FOR OPTIMUM IRRIGATION EFFICIENCY AND PREVENTIVE MAINTENANCE PRACTICES THAT WILL CONSERVE WATER RESOURCES. THE MAINTENANCE SCHEDULE SHOULD INCLUDE THE FOLLOWING ITEMS:
- VERIFY COVERAGE OF HEADS (BI-MONTHLY)\*
- CHECK FOR BROKEN HEADS OR LEAKAGE (BI-MONTHLY)\*
- REPROGRAM CONTROLLERS ACCORDING TO THE SEASONAL NEEDS (MONTHLY)\*
- VERIFY WATER SUPPLY AND PRESSURE (UPON SYSTEM STARTUP, THEN TWO ADDITIONAL TIMES)
- INSPECT THE BACKFLOW PREVENTER DEVICE (UPON SYSTEM STARTUP)
- VERIFY SENSOR FUNCTIONALITY (BI-MONTHLY)\*
\*ALL ITEMS SHALL BE PERFORMED UPON SYSTEM START UP AND THEN AT A MINIMUM OF THE PERIOD STATED, INSPECTIONS SHALL BE PERFORMED MORE FREQUENTLY AS REQUIRED.

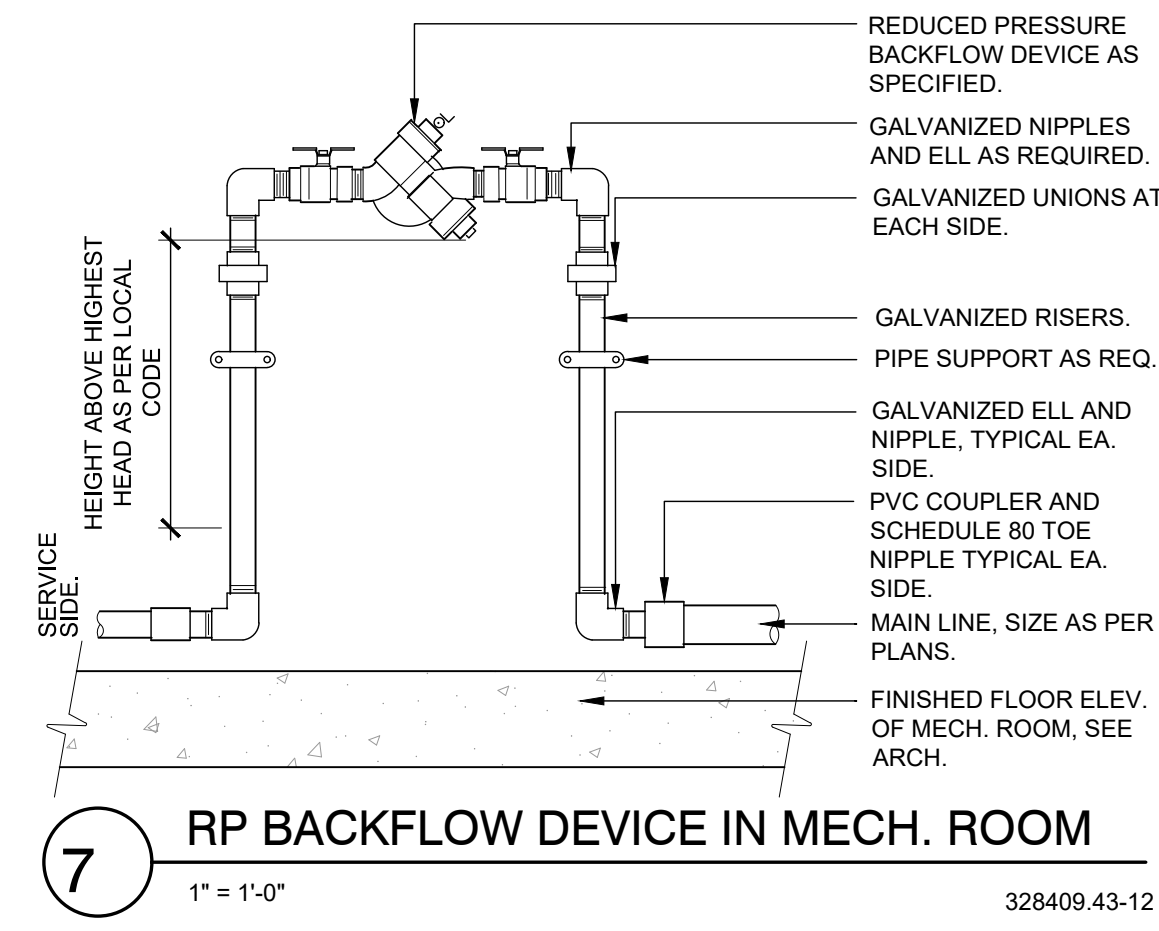


1 RP BACKFLOW DEVICE IN MECH. ROOM 1" = 1'-0" 328409.43-12

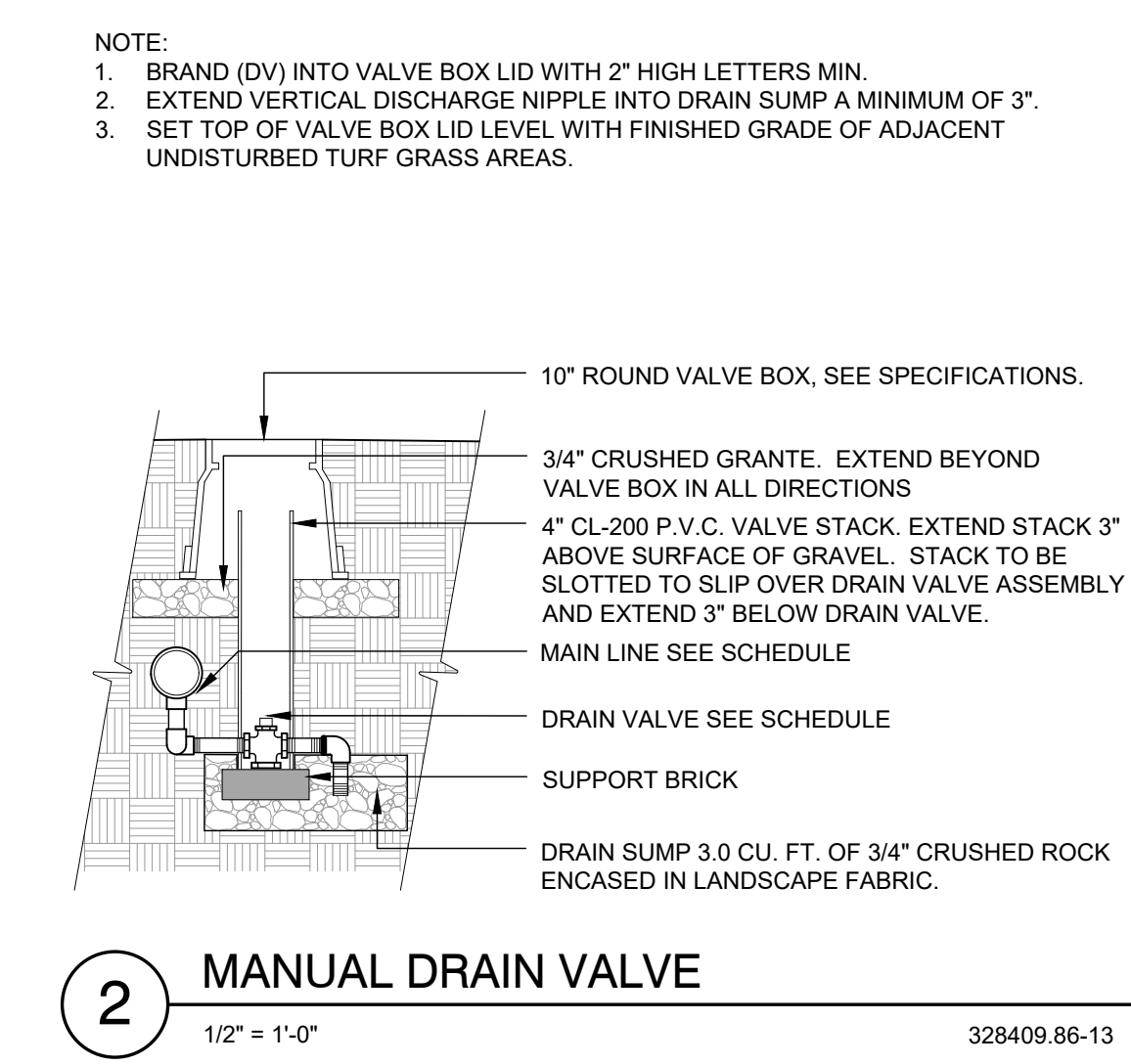


4 RP BACKFLOW DEVICE IN MECH. ROOM 1" = 1'-0" 328409.43-12

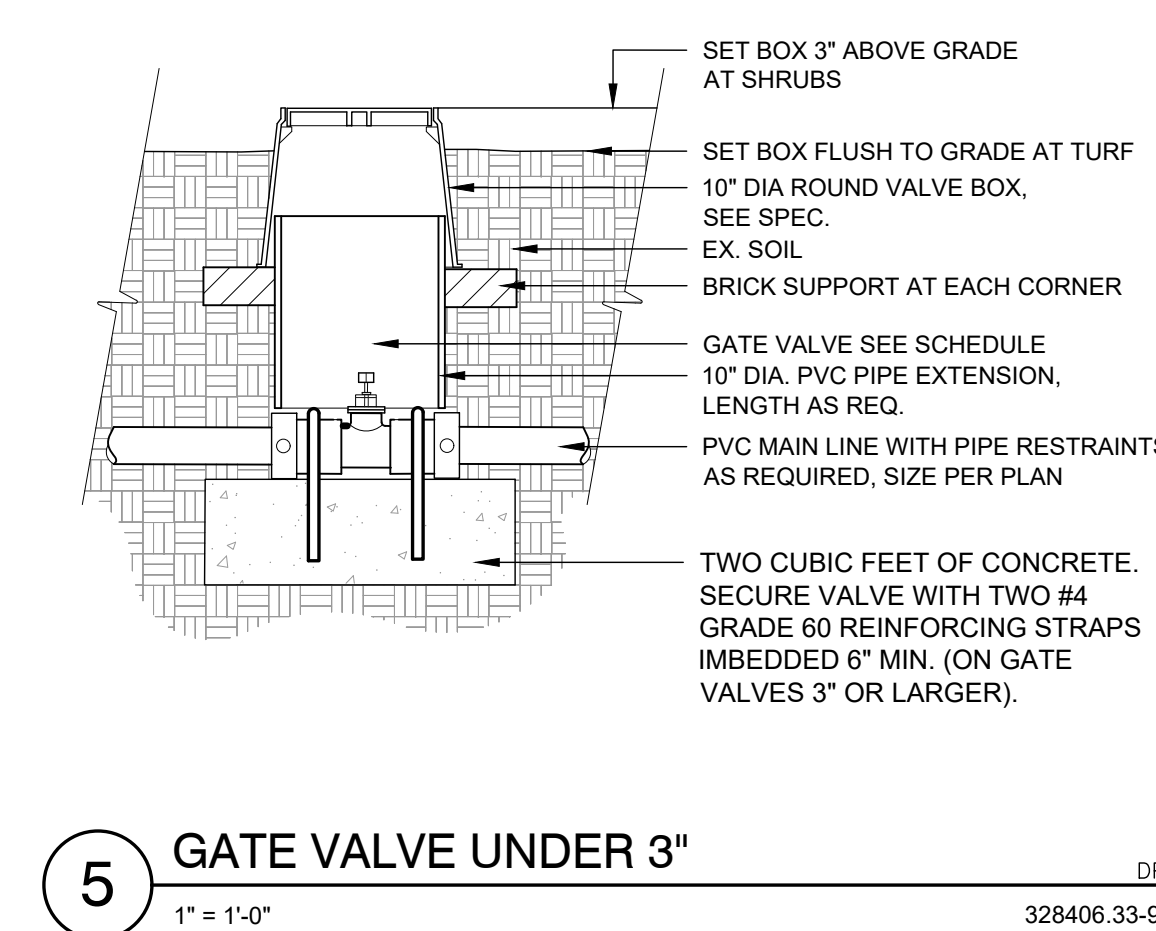
NOTES: ENSURE PRESENCE OF A FLOOR DRAIN IN MECHANICAL ROOM. EXTEND DRAIN PIPE FROM BACKFLOW LOCATION TO DRAIN.



7 RP BACKFLOW DEVICE IN MECH. ROOM 1" = 1'-0" 328409.43-12

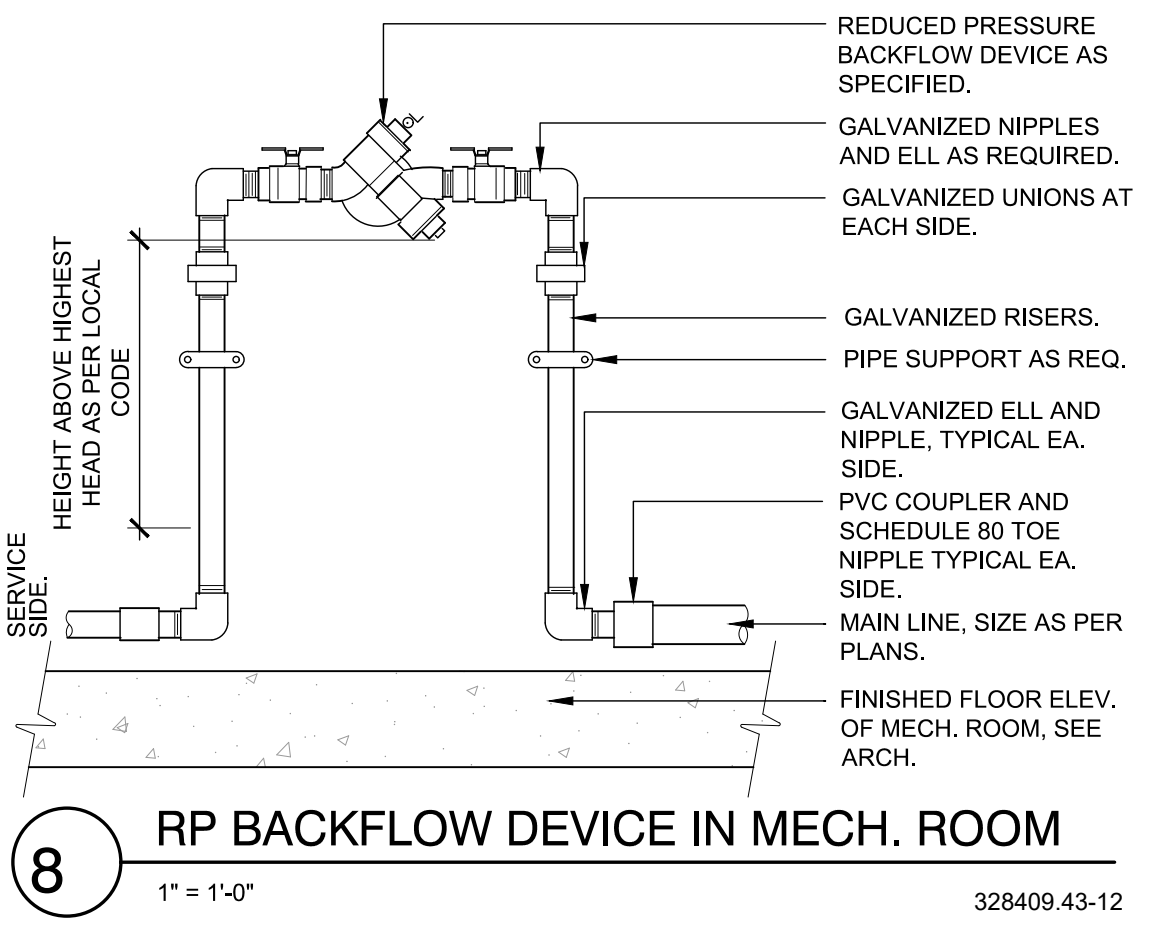


2 MANUAL DRAIN VALVE 1/2" = 1'-0" 328409.86-13



5 GATE VALVE UNDER 3" 1" = 1'-0" 328406.33-90

NOTES: ENSURE PRESENCE OF A FLOOR DRAIN IN MECHANICAL ROOM. EXTEND DRAIN PIPE FROM BACKFLOW LOCATION TO DRAIN.

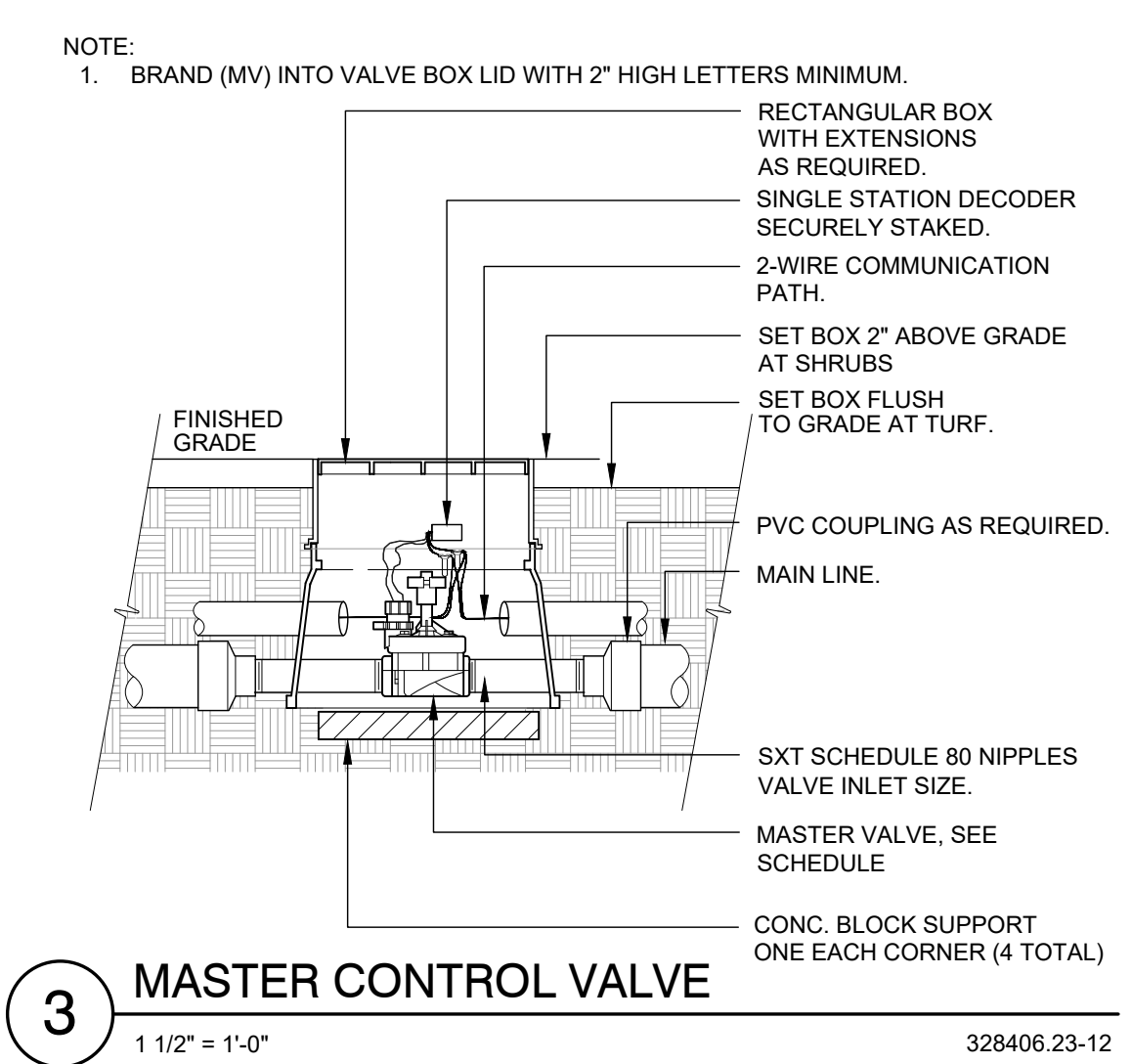


8 RP BACKFLOW DEVICE IN MECH. ROOM 1" = 1'-0" 328409.43-12

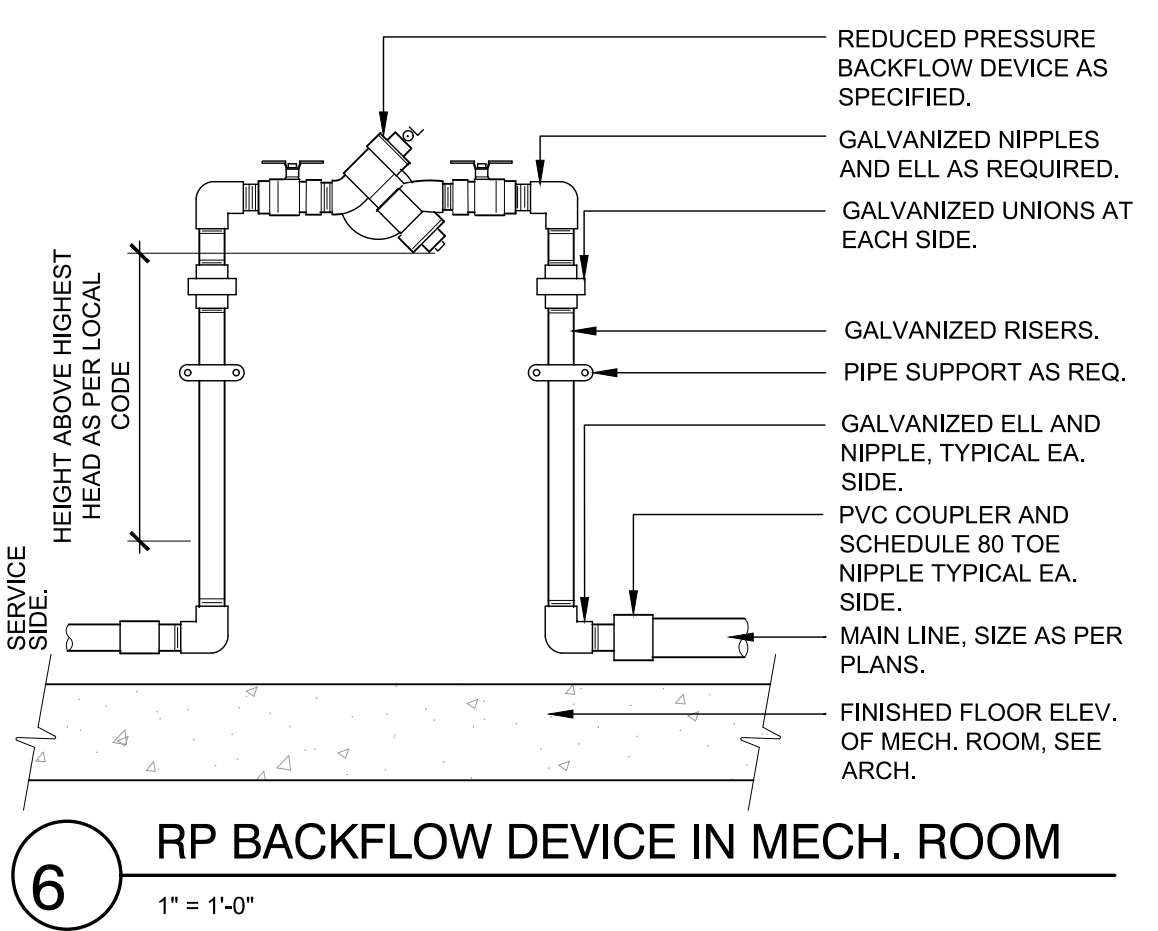


Know what's below. Call before you dig.

CALL UTILITY NOTIFICATION CENTER OF COLORADO 1-800-922-1987 or 811 CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



3 MASTER CONTROL VALVE 1 1/2" = 1'-0" 328406.23-12



6 RP BACKFLOW DEVICE IN MECH. ROOM 1" = 1'-0" 328406.33-90

NOTES: ENSURE PRESENCE OF A FLOOR DRAIN IN MECHANICAL ROOM. EXTEND DRAIN PIPE FROM BACKFLOW LOCATION TO DRAIN.

Table with columns for REVISION, No., and DATE.

EES ENGINEERING SOLUTIONS, INC. 501 S Cherry St, Suite 300 Glendale, CO 80246 303-572-7997 www.ees.us

CONSTRUCTION DOCUMENTS CONVENIENCE STORE AND CARWASH CHAMBERS ROAD AND RED SKY DRIVE PARKER, CO 80134 IRRIGATION NOTES AND DETAILS

PROJECT NO: DESIGNED BY: BK DRAWN BY: BK DATE: 09/03/2021

IR1.3

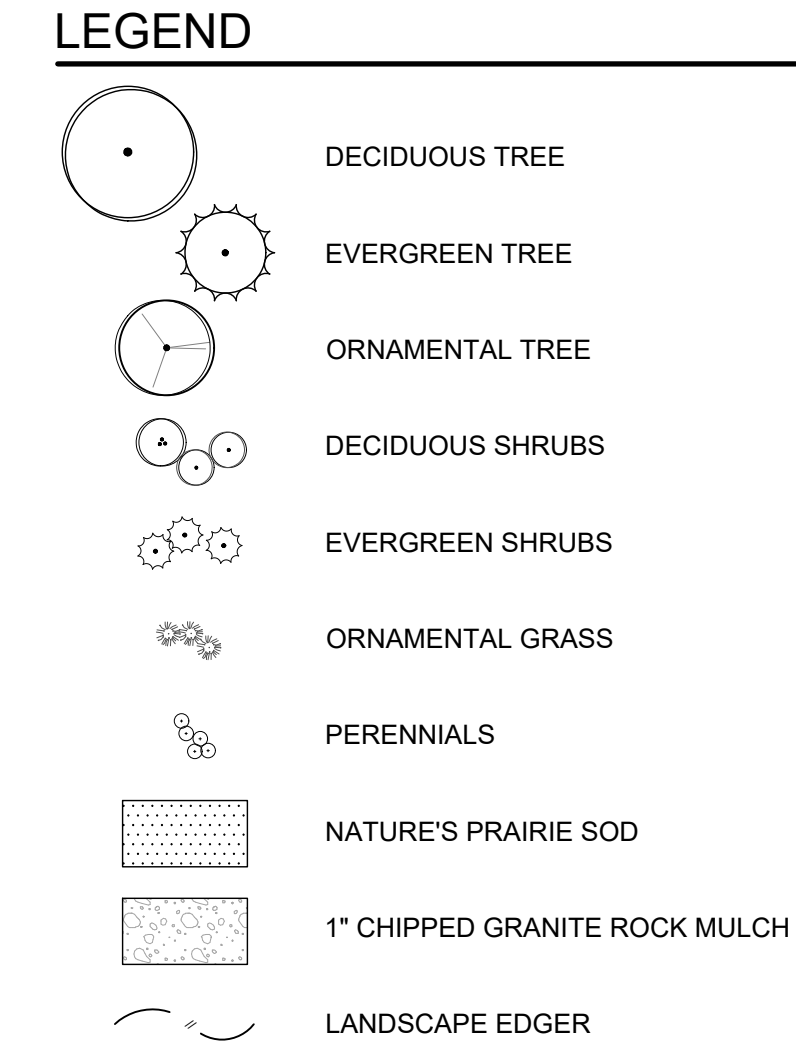
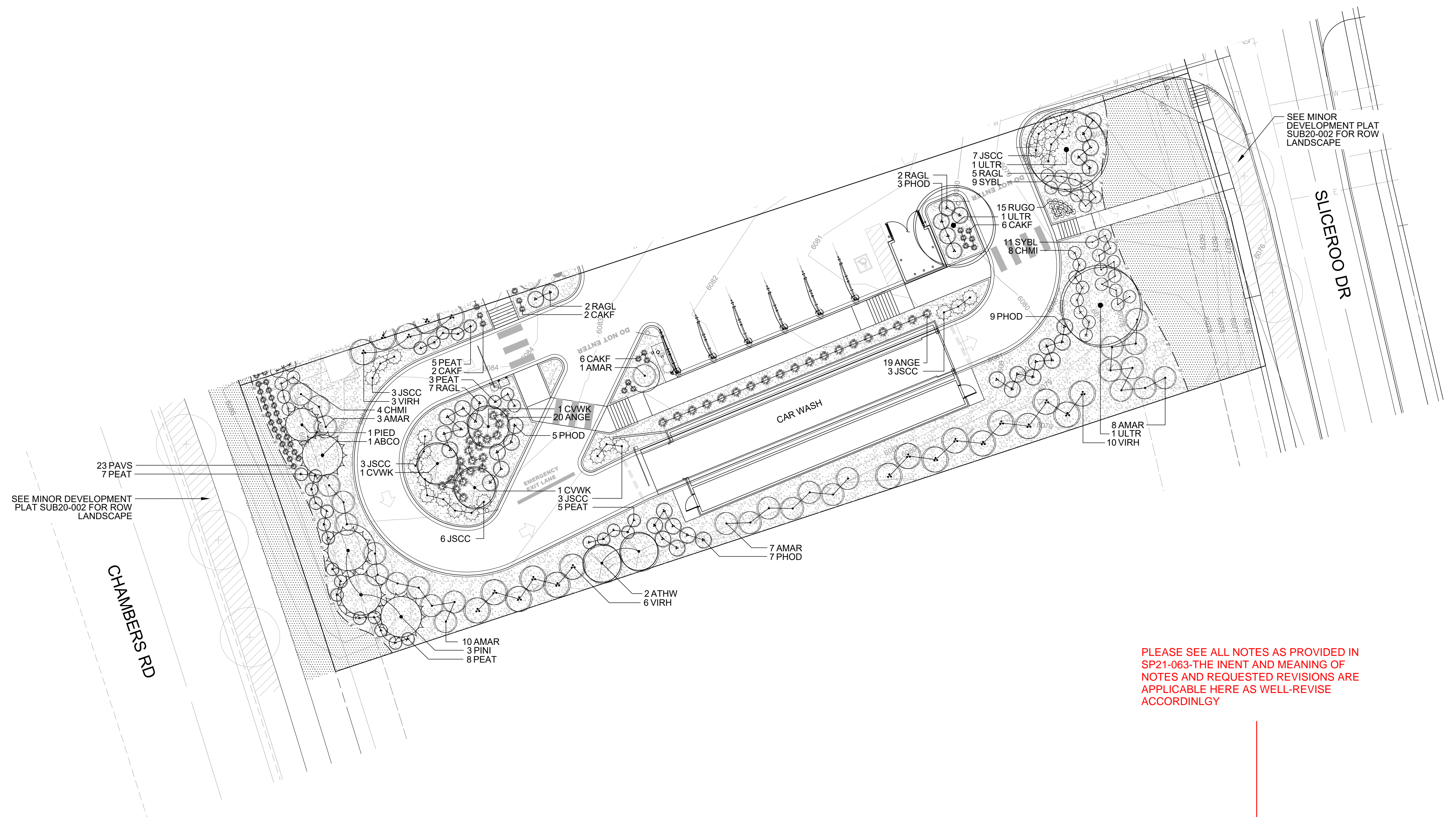
THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES. SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT. THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING/PUBLIC WORKS DATE

9/3/2021 12:47 PM X:\DROPROX (VALERIAN)\VALERIAN TEAM\FOLDERPROJECTS\2021\09-03\_LAND\_IR\_CDS\20-085\_7\_IRRIGATION DETAILS.DWG

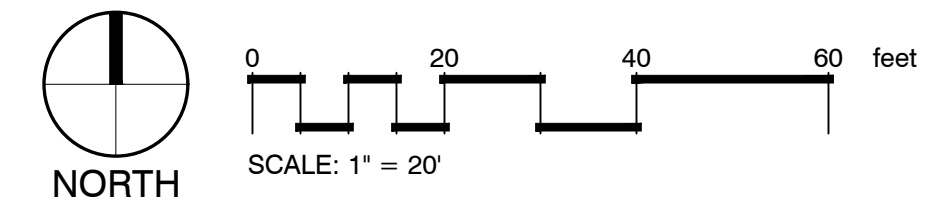


X:\DRG\BOX (VALERIAN)\VALERIAN TEAM FOLDER\PROJECTS\20-085\_EES\_PARKER 7-ELEVEN & CAR WASH\2.WORKING\2021-09-03\_LAND\_IR\_CDS20-085\_3\_LANDSCAPE PLAN\_CAR WASH.DWG



PLEASE SEE ALL NOTES AS PROVIDED IN SP21-063-THE INTENT AND MEANING OF NOTES AND REQUESTED REVISIONS ARE APPLICABLE HERE AS WELL-REVISE ACCORDINLGY

## 1 LANDSCAPE PLAN



### PLANT SCHEDULE LOT 2

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	HT X SP
ULTR	3	ULMUS X TRIUMPH	TRIUMPH ELM	B & B	2.5" CAL	50' X 40'
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	HT X SP
ABCO	1	ABIES CONCOLOR	WHITE FIR	B & B	6' HT	50' X 20'
PIED	1	PINUS EDULIS	PINON PINE	B & B	6' HT	50' X 20'
PINI	3	PINUS NIGRA	AUSTRIAN PINE	B & B	8' HT.	50' X 20'
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	HT X SP
ATHW	2	ACER TATARICUM 'GARANN'	HOT WINGS TATARIAN MAPLE	B & B	2" CAL	20' X 20'
CVWK	3	CRATAEGUS VIRIDIS 'WINTER KING'	WINTER KING HAWTHORN	B & B	2" CAL	20' X 20'
DECIDUOUS SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	HT X SP
AMAR	29	AMELANCHIER ALNIFOLIA 'REGENT'	SASKATOON SERVICEBERRY	#5		8' X 8'
CHMI	12	CHAMAEBATIARIA MILLEFOLIUM 'FERNBUSH'	FERNBUSH	#5		4' X 4'
PEAT	28	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	#5		4' X 4'
PHOD	24	PHYSOCARPUS OPULIFOLIUS 'DIABLO'	DIABLO NINEBARK	#5		6' X 5'
RAGL	16	RHUS AROMATICA 'GRO-L-OW'	GRO LOW SUMAC	#5		2' X 5'
SYBL	20	SYRINGA X 'BLOOMERANG'	BLOOMERANG LILAC	#5		4' X 4'
VIRH	19	VIBURNUM X RHYTIDOPHYLLOIDES 'ALLEGHANY'	ALLEGHANY VIBURNUM	#5		8' X 8'
EVERGREEN SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	HT X SP
JSCC	25	JUNIPERUS SABINA 'CALGARY CARPET'	CALGARY CARPET JUNIPER	#5		1' X 5'
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	HT X SP
ANGE	39	ANDROPOGON GERARDII	BIG BLUE STEM	#1		6' X 3'
CAKF	16	CALAMAGROSTIS ACTUIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#1		5' X 2'
PAVS	23	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	#1		4' X 2'
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	HT X SP
RUGO	15	RUDBECKIA FULGIDA 'GOLDSTRUM'	BLACK EYED SUSAN	#1		1.5' X 1.5'
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT @	CAL	HT X SP
	4,381 SF	NATURE'S PRAIRIE SOD	NATURE'S PRAIRIE SOD	SOD		

### INTERNAL LANDSCAPE

NET SITE AREA	LANDSCAPE AREA			% LIVE COVER			TREE EQUIVALENT CALCULATION		
	REQUIRED 15%	PROVIDED	SURPLUS/ DEFICIT	REQUIRED (75%)	PROVIDED	SURPLUS/ DEFICIT	SHRUBS AVAILABLE FOR EQUIVALENTS	TOTAL EQUIVALENT TREES	TOTAL TREE & TREE EQUIVALENTS PROVIDED
29,024 SF	4,354 SF	14,609 SF	+10,255 SF	10,957 SF	11,810 SF	+853 SF	0	0	4.6

### LANDSCAPE PERIMETER STANDARD

LOCATION	LENGTH / PERCENT	TREE REQUIREMENT 1/40 LF			SHRUB REQUIREMENT 5/40 LF			TREE EQUIVALENT CALCULATION		
		REQUIRED	PROVIDED	SURPLUS/ DEFICIT	REQUIRED	PROVIDED	SURPLUS/ DEFICIT	SHRUBS AVAILABLE FOR EQUIVALENTS	TOTAL EQUIVALENT TREES	TOTAL TREE & TREE EQUIVALENTS PROVIDED
SOUTH	305	7.6	5	-2.6	38	62	+24	24	2.4	11.2

### LANDSCAPE PERIMETER ENHANCED

LOCATION	LENGTH / PERCENT	TREE REQUIREMENT 1/25 LF			SHRUB REQUIREMENT 5/25 LF			TREE EQUIVALENT CALCULATION		
		REQUIRED	PROVIDED	SURPLUS/ DEFICIT	REQUIRED	PROVIDED	SURPLUS/ DEFICIT	SHRUBS AVAILABLE FOR EQUIVALENTS	TOTAL EQUIVALENT TREES	TOTAL TREE & TREE EQUIVALENTS PROVIDED
EAST	94	3.8	3	-0.8	19	51	+32	32	3.2	8.1
WEST	93	3.7	5	+1.3	19	70	+51	67	5.1	12

	REQUIRED	PROVIDED
TOTAL TE'S	27.2	35.9

- PLANT REQUIREMENT NOTES:**
- \*WHERE REQUIREMENT AREAS OVERLAP, LANDSCAPE IS COUNTED TOWARDS BOTH REQUIREMENTS.
  - ORNAMENTAL GRASSES AND PERENNIALS ARE COUNTED TOWARD TE'S AS 3 GRASSES = 1 SHRUB.

### EVERGREEN TREE REQUIREMENT - OVERALL SITE

MINIMUM EVERGREEN REQ.	25%	
NUMBER OF TREES	REQUIRED	PROVIDED
13 TOTAL	3.3	5

### TURF

MAXIMUM ALLOWED	4,354 SF - 15%
PROVIDED	3,378 SF - 11.6%

CALL UTILITY NOTIFICATION CENTER OF COLORADO  
1-800-922-1987 or 811

CALL 3 BUSINESS DAYS NOT INCLUDING INITIAL DAY OF CONTACT IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

Know what's below.  
Call before you dig.

BY	DATE
NR	9/03/21

No.	REVISION	PER COMMENTS
1		

**EES**  
ENGINEERING AND SOLUTIONS, INC.  
501 S. Cherry St. Suite 300  
Denver, CO 80246  
303.572.7397 www.eesusa.com

SITE PLAN LOT 2

CONVENIENCE STORE

CHAMBERS AND HESS, PARKER, CO

LANDSCAPE PLAN

PROJECT NO: TSD003.01  
DESIGNED BY: LCG  
DRAWN BY: JLG  
DATE: 03/19/21

**L1.1**

**GENERAL NOTES:**

1. VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. BE AWARE OF ANY UNDERGROUND UTILITIES. PROTECT ALL EXISTING SITE FEATURES TO REMAIN FROM POTENTIAL DAMAGE BY SITE CONSTRUCTION OPERATIONS. AVOID ANY WORK BEYOND SCOPE OF PROJECT AREA.
2. COORDINATE ALL DISCIPLINES AND SITE CONSTRUCTION THAT WILL BE NEEDED TO COMPLETE THE PROJECT IN THE TIME FRAME GIVEN AND WITHIN BUDGET. ALL ACCESS TO SITE, USE OF UTILITIES, STORAGE, AND OTHER REQUIREMENTS SHALL BE COORDINATED PRIOR TO BEGINNING WORK.
3. CONTRACTOR IS RESPONSIBLE TO INSPECT AND CONFIRM SITE CONDITIONS PRIOR TO BEGINNING WORK. COMMENCEMENT OF WORK SHALL SIGNIFY ALL CONDITIONS ARE ACCEPTABLE AND NO ALLOWANCE WILL BE MADE FOR UNRECOGNIZED CONDITIONS AFTER START OF WORK.
4. NOTIFY OWNER/LANDSCAPE ARCHITECT IMMEDIATELY UPON DISCOVERY OF UNFORESEEN SITE CONDITIONS OR PLAN DISCREPANCIES. NO CHANGE TO SPECIFIED WORK SHALL BE COMPLETED WITHOUT VERIFICATION OF EXISTING CONDITIONS AND WRITTEN APPROVAL OF MODIFICATION BY THE LANDSCAPE ARCHITECT.

**CLEARING & GRADING:**

1. ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH ALL APPLICABLE MUNICIPAL CODES AND DEVELOPMENT STANDARDS; UNIFORM BUILDING CODES; PERMIT CONDITIONS; AND ALL OTHER APPLICABLE CODES, ORDINANCES, STANDARDS, AND POLICIES.
2. A COPY OF THE APPROVED PLANS MUST BE ON-SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY OTHER RELATED OR REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION.
4. ALL LOCATIONS OF EXISTING UTILITIES HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD, THEREFORE, BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR (1) TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS AND (2) TO DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.

**SOIL SPECIFICATIONS:**

1. ANY PLANTING AREA THAT DOES NOT MEET THE FOLLOWING SOIL PREPARATION REQUIREMENTS ARE SUBJECT TO REJECTION AT OWNER/OWNERS REPRESENTATIVES DISCRETION.
2. LANDSCAPE CONTRACTOR IS REQUIRED TO NOTIFY OWNER/OWNERS REPRESENTATIVE A MINIMUM OF 24 HOURS PRIOR TO BEGINNING SOIL PREP WORK. SOIL PREP NOT INSPECTED BY OWNER/OWNERS REPRESENTATIVE IS SUBJECT TO REJECTION AT ANYTIME PRIOR TO INITIAL ACCEPTANCE.
3. LANDSCAPE CONTRACTOR SHALL SUBMIT DELIVERY (TRIP) TICKETS TO OWNER/OWNERS REPRESENTATIVE FOR ALL ORGANIC SOIL AMENDMENTS WITHIN 24 HOURS AFTER DELIVERY.
4. IMPORTED TOPSOIL SHALL BE FERTILE, FRIABLE, SANDY LOAM FROM THE 'A' HORIZON AND SHALL BE FREE OF STONES OVER .75" IN DIAMETER, REFUSE, PLANTS OR THEIR ROOTS, STICKS, NOXIOUS WEEDS, SALTS, SOIL STERILANTS, OR OTHER MATERIAL WHICH WOULD BE DETRIMENTAL TO PLANT GROWTH.
5. ORGANIC SOIL AMENDMENT SHALL CONSIST OF DRY, WELL-ROTTED, PULVERIZED, AGED MINIMUM ONE YEAR ORGANIC COMPOST CLASS I TYPE SUCH AS AVAILABLE FROM A-1 COMPOST, JENSEN SALES, PULVERIZED HORSE, SHEEP OR DAIRY COW MANURE **NOT ACCEPTABLE**. SUBMIT DATED RECENT MATERIAL ANALYSIS TO OWNER/OWNERS REPRESENTATIVE TO GUARANTEE PRODUCT CONDITION AND PROOF NO LIVE WEED SEEDS AND CHEMICAL ADDITIVES ARE PRESENT.
6. SOIL PREPARATION FOR AREAS TO BE SODDED SHALL INCLUDE TOPSOIL AND ORGANIC MATTER ADDED AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILLED EIGHT (8) INCHES INTO THE SOIL.
7. PREPARED BACKFILL FOR TREE/SHRUB PLANTING SHALL BE A MIX OF 2/3 IMPORTED/SALVAGED TOPSOIL AND 1/3 ORGANIC SOIL AMENDMENT. WHERE TREES AND SHRUBS ARE LOCATED IN LARGE BEDS PROVIDE SOIL AMENDMENT AT A RATE OF FIVE CUBIC YARDS PER ONE THOUSAND SQUARE FEET AND TILL EIGHT INCHES INTO THE SOIL THROUGHOUT THE ENTIRE PLANTING BED, NOT JUST IN EXCAVATED PLANTING HOLES.

**EDGING:**

1. ALL LANDSCAPE EDGING TO BE 1/8"x4" 14 GAUGE GALVANIZED STEEL AS PER THE TOWN OF PARKER CONSTRUCTION SPECIFICATIONS AND DESIGN CONSIDERATIONS FOR PARKS, TRAILS, AND STREETSCAPES.

**PLANTING NOTES:**

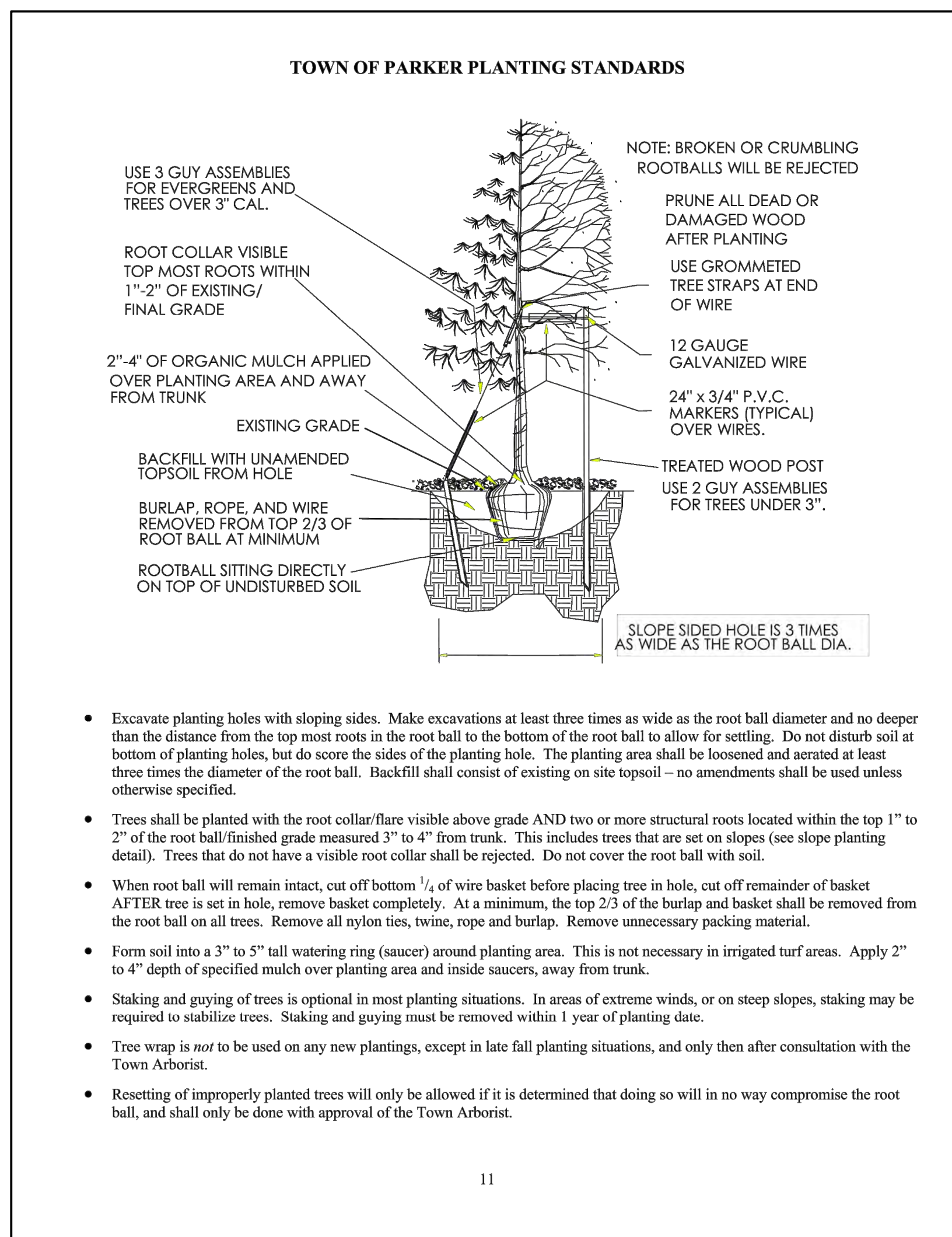
1. LANDSCAPE CONTRACTOR SHALL LOCATE ALL TREES, SHRUBS AND PLANTING BEDS ACCORDING TO LOCATIONS SHOWN ON DRAWINGS. ALL PLANTING LOCATIONS SHALL BE SUBJECT TO REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO THE START OF PLANTING OPERATIONS. LANDSCAPE CONTRACTOR SHALL MAKE MODIFICATIONS IN LOCATIONS AS DIRECTED BY LANDSCAPE ARCHITECT.
2. THE PLANT SCHEDULE IS FOR CONTRACTOR'S CONVENIENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AND REPORTING IN WRITING TO THE LANDSCAPE ARCHITECT ANY CONFLICTS RELATIVE TO IMPLEMENTATION OF THE LANDSCAPE CONSTRUCTION DOCUMENTS. VALERIAN LLC SHALL NOT ASSUME ANY ERRORS OR OMISSIONS IN THE PLANT SCHEDULE LISTED HEREIN. THE PLANT SYMBOLS SHOWN ON THE LANDSCAPE PLAN SHALL PREVAIL SHOULD THERE BE ANY DISCREPANCIES IN QUANTITIES BETWEEN THE PLAN AND PLANT SCHEDULE.
3. LANDSCAPE CONTRACTOR SHALL PROVIDE PLANT PROTECTION AND MAINTENANCE THROUGHOUT INSTALLATION AND UNTIL FINAL ACCEPTANCE OF LANDSCAPE INSTALLATION AS FOLLOWS:
  - A) ALL PLANT MATERIAL SHALL BE PROTECTED, FROM TIME OF DIGGING TO TIME OF FINAL ACCEPTANCE, FROM INJURY, EXCESSIVE DRYING FROM WINDS, IMPROPER VENTILATION, OVER-WATERING, FREEZING, HIGH TEMPERATURES, OR ANY OTHER CONDITION DAMAGING TO PLANTS.
  - B) PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY IF POSSIBLE. ALL PLANTS NOT PLANTED ON THE DAY OF DELIVERY SHALL BE PLACED IN A TEMPORARY NURSERY AND KEPT MOIST, SHADED, AND PROTECTED FROM THE SUN AND WIND. EACH ROOTBALL SHALL BE COVERED ENTIRELY WITH MULCH. ALL PLANT MATERIALS SHALL BE INSTALLED PER THE PLAN DRAWINGS AND SPECIFICATIONS.
  - C) LANDSCAPE CONTRACTOR SHALL PROVIDE PLANT MATERIALS THAT COMPLY WITH THE REQUIREMENTS OF THE MOST RECENT ANSI Z 60.1 "STANDARDS FOR NURSERY STOCK" UNLESS OTHERWISE SPECIFIED. CALIPER OF B&B TREES SHALL BE TAKEN 6 INCHES ABOVE THE GROUND UP TO AND INCLUDING 4 INCH CALIPER SIZE, AND 12 INCHES ABOVE THE GROUND FOR LARGER SIZES.
  - D) PLANTING MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTIVATING, RESETTING PLANTS TO PROPER GRADES OR POSITION, REESTABLISHING SETTLED GRADES. HERBICIDE IS NOT RECOMMENDED FOR ONE YEAR FOLLOWING LANDSCAPE INSTALLATION.
  - E) PLANT MAINTENANCE SHALL INCLUDE THOSE OPERATIONS NECESSARY TO PROPER GROWTH AND SURVIVAL OF ALL PLANT MATERIALS. CONTRACTOR SHALL PROVIDE THIS WORK IN ADDITION TO SPECIFIC WARRANTY/GUARANTEES.
4. CONTRACTOR SHALL VERIFY AND MAINTAIN ALL SETBACKS, CLEAR ZONES AND SIGHT TRIANGLES REQUIRED BY ALL LOCAL AND MUNICIPAL CODES WHERE APPLICABLE.
5. LANDSCAPE CONTRACTOR SHALL ENSURE THAT THE LANDSCAPE INSTALLATION IS COORDINATED WITH THE PLANS PREPARED BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE OR OTHER PROPOSED CONSTRUCTION DOES NOT CONFLICT WITH NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS AS DESIGNATED ON THIS PLAN.
6. ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. THE SYSTEM SHALL BE PROPERLY ZONED TO SEPARATE PLANT MATERIAL BY WATER REQUIREMENT. ALL SHRUB BEDS AND TREES IN NATIVE SEED AREAS SHALL BE IRRIGATED BY USING LOW WATER/DRIP TECHNIQUES. ALL TURF AREAS SHALL BE IRRIGATED USING POP-UP SPRAY OR ROTOR APPLICATION.

**MULCH**

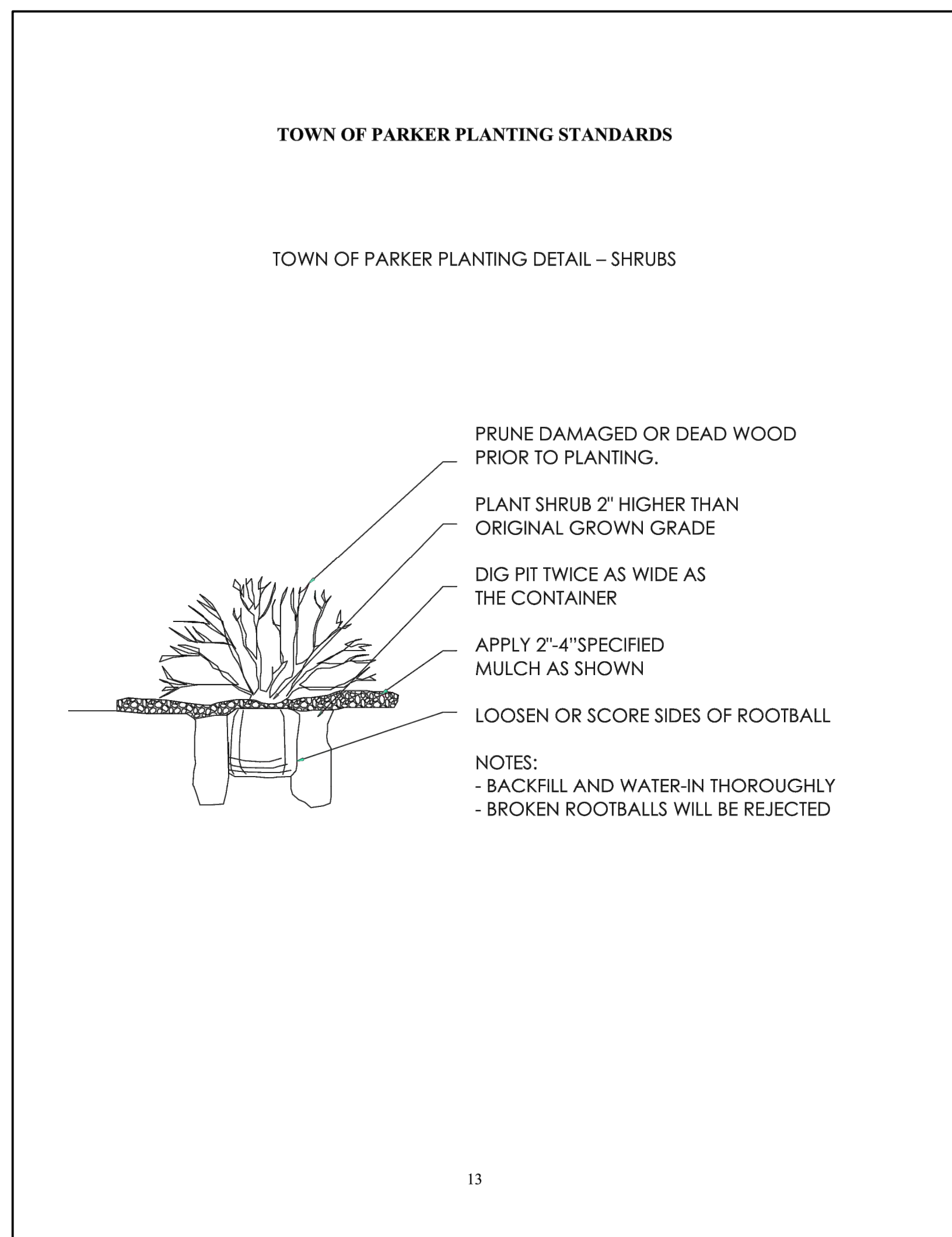
1. PLANTING BEDS (AS SPECIFIED) SHALL CONTAIN 1" CHIPPED GRANITE MULCH AT A MINIMUM DEPTH OF 3" WITH A DOUBLE SHREDDED CEDAR MULCH RING AROUND EACH TREE, SHRUB, GRASS, AND PERENNIAL. WOOD MULCH RING SHALL BE 1.5X THE CONTAINER SIZE OF THE SHRUB, GRASS OR PERENNIAL. DEPRESS MULCH 2" BELOW SURROUNDING CURBS AND WALKS, PLACE WITH TIGHT JOINTS. TREE MULCH RING SHALL BE GREEN INDUSTRY STANDARD SIZE.
2. GEOTEXTILE FABRIC (FILTER FABRIC) UNDERLAYMENT SHALL BE MIRAFI, MIRASCAPE, DUPONT TYPAR 3301 OR APPROVED EQUAL (SUBMIT SAMPLE).

**TURF SOD**

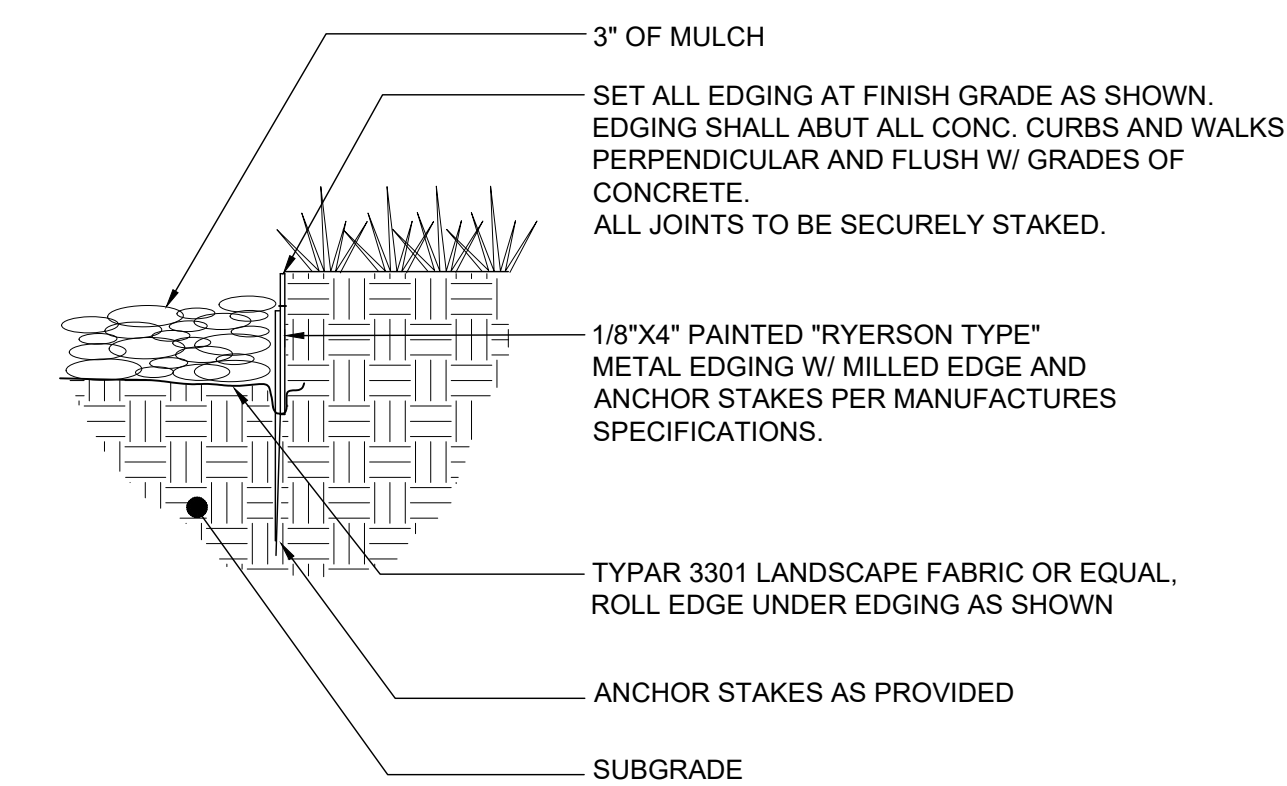
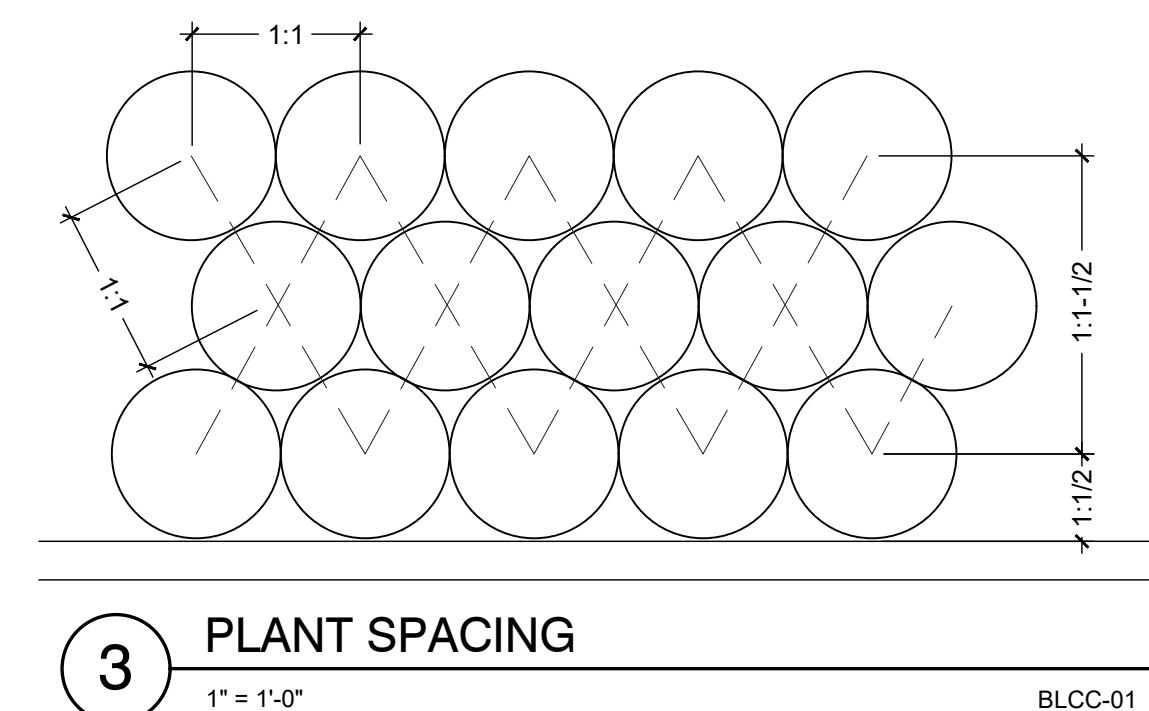
1. KEEP ALL EQUIPMENT, VEHICLES AND FOOT TRAFFIC OFF ALL SODDED AREAS. ALL DAMAGED MATERIALS SHALL BE REPLACED AND ALL DAMAGED AREAS RESTORED TO ORIGINAL CONDITIONS.
2. ALL TURF SOD SHALL BE NATURE'S PRAIRIE SOD (SUPPLIED BY TURFMASTER SOD) AS OUTLINED IN THE PLANT SCHEDULE OR APPROVED EQUAL. FOR SUBSTITUTION APPROVAL CONTACT THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
3. ALL SOD SHALL BE INSTALLED WITHIN 24 HOURS FROM THE TIME OF CUTTING ON A FIRM AND MOIST SUBGRADE. DO NOT PLANT IF SOD IS DORMANT OR THE GROUND IS FROZEN.
4. ALL SOD SHALL BE INSTALLED PARALLEL TO SLOPES TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS. DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.



**1 DECIDUOUS TREE PLANTING - TOWN OF PARKER**  
N.T.S.



**2 SHRUB PLANTING - TOWN OF PARKER**  
N.T.S.



**4 STEEL EDGING**  
1" = 1'-0"

No.	REVISION	BY	DATE
1	PER COMMENTS	NR	9/03/21

**EES**  
ENGINEERING AND SOLUTIONS, INC.  
501 S Cherry St, Suite 300  
Denver, CO 80246  
303.572.7997 www.ees-us.com

**SITE PLAN LOT 2**

**CONVENIENCE STORE**  
CHAMBERS AND HESS, PARKER, CO

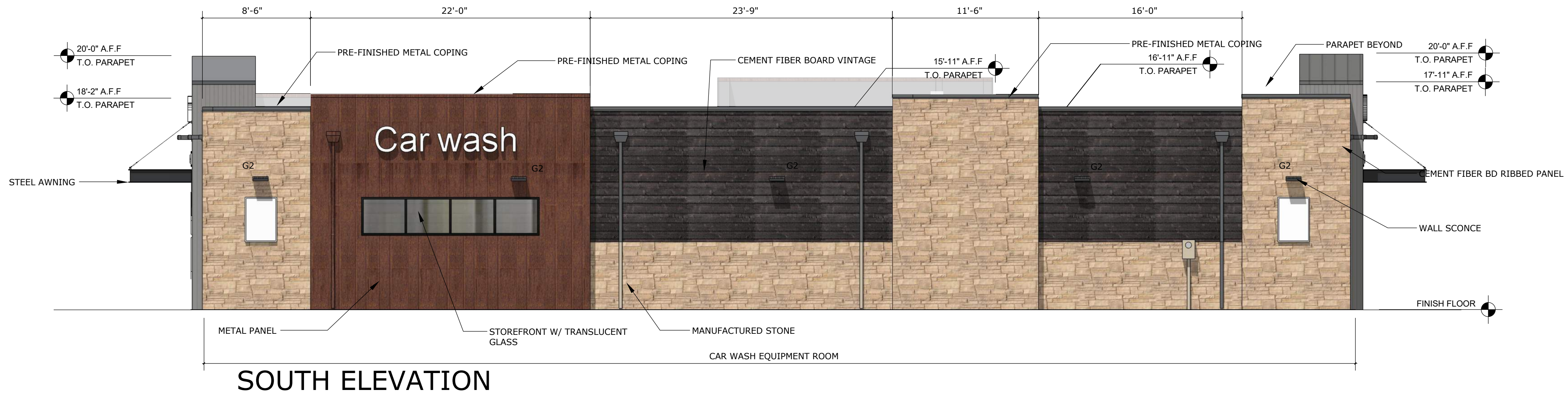
**LANDSCAPE NOTES AND DETAILS**

PROJECT NO:	TSD003.01
DESIGNED BY:	LCG
DRAWN BY:	JLG
DATE:	03/19/21

**L1.2**

X:\DRGBOX\VALERIAN\VALERIAN TEAM\FOLDER\PROJECTS\20-085\_EES\_PARKER 7-ELEVEN & CAR WASH\2.WORKING\2021-09-03\_LAND\_IR\_CDS\20-085\_4\_LANDSCAPE NOTES AND DETAILS\_CAR WASH.DWG

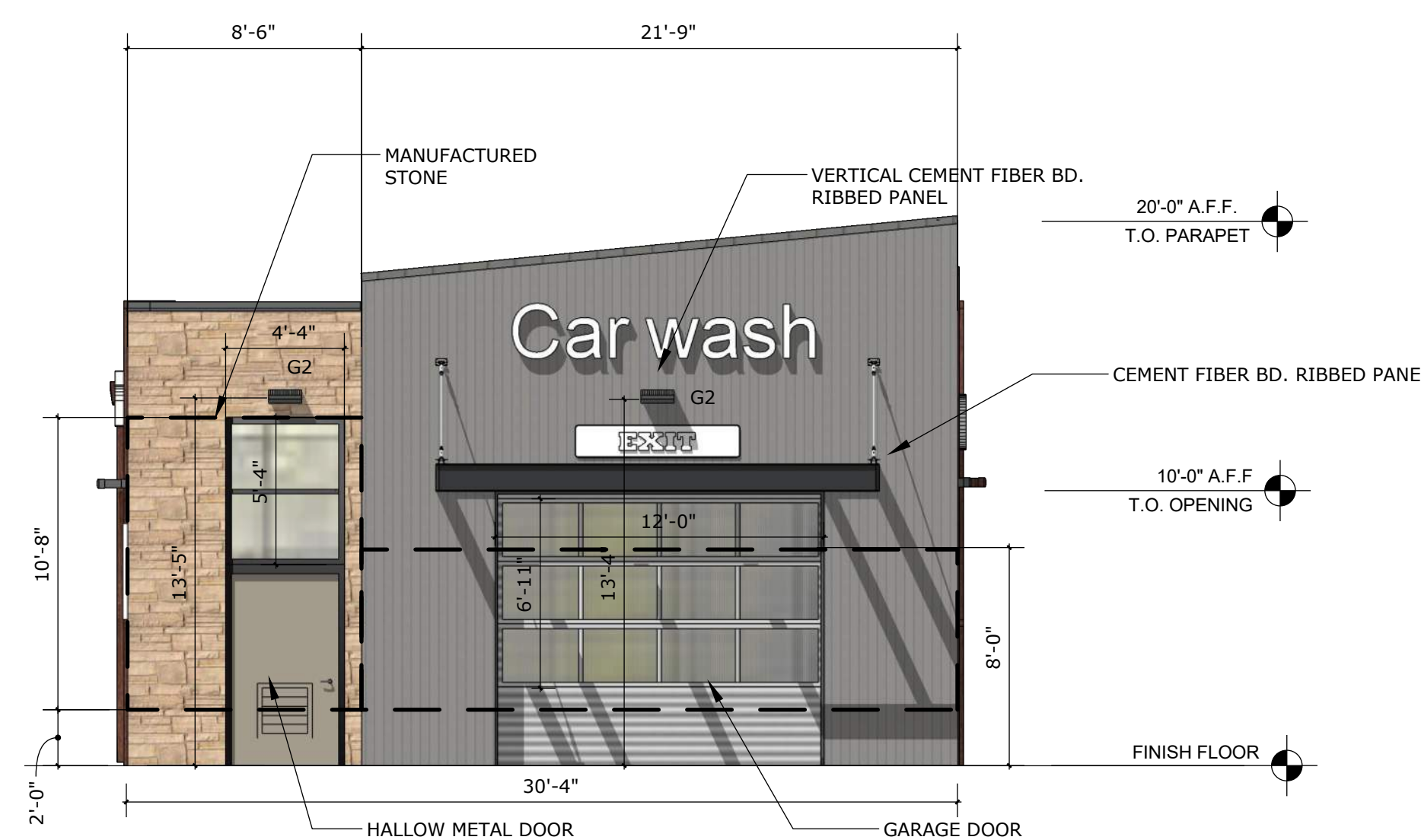
**811**  
CALL UTILITY NOTIFICATION CENTER OF COLORADO  
1-800-922-1987 or 811  
CALL 3-BUSINESS DAYS (NOT INCLUDING INITIAL DAY OF CONTACT) IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.  
Know what's below. Call before you dig.



**SOUTH ELEVATION**



**NORTH ELEVATION**



**EAST ELEVATION**  
 TRANSPARENCY REQUIRED = 263 SF X 40% = 105.2 SF  
 TOTAL TRANSPARENCY PROVIDED = 105 SF = 29%

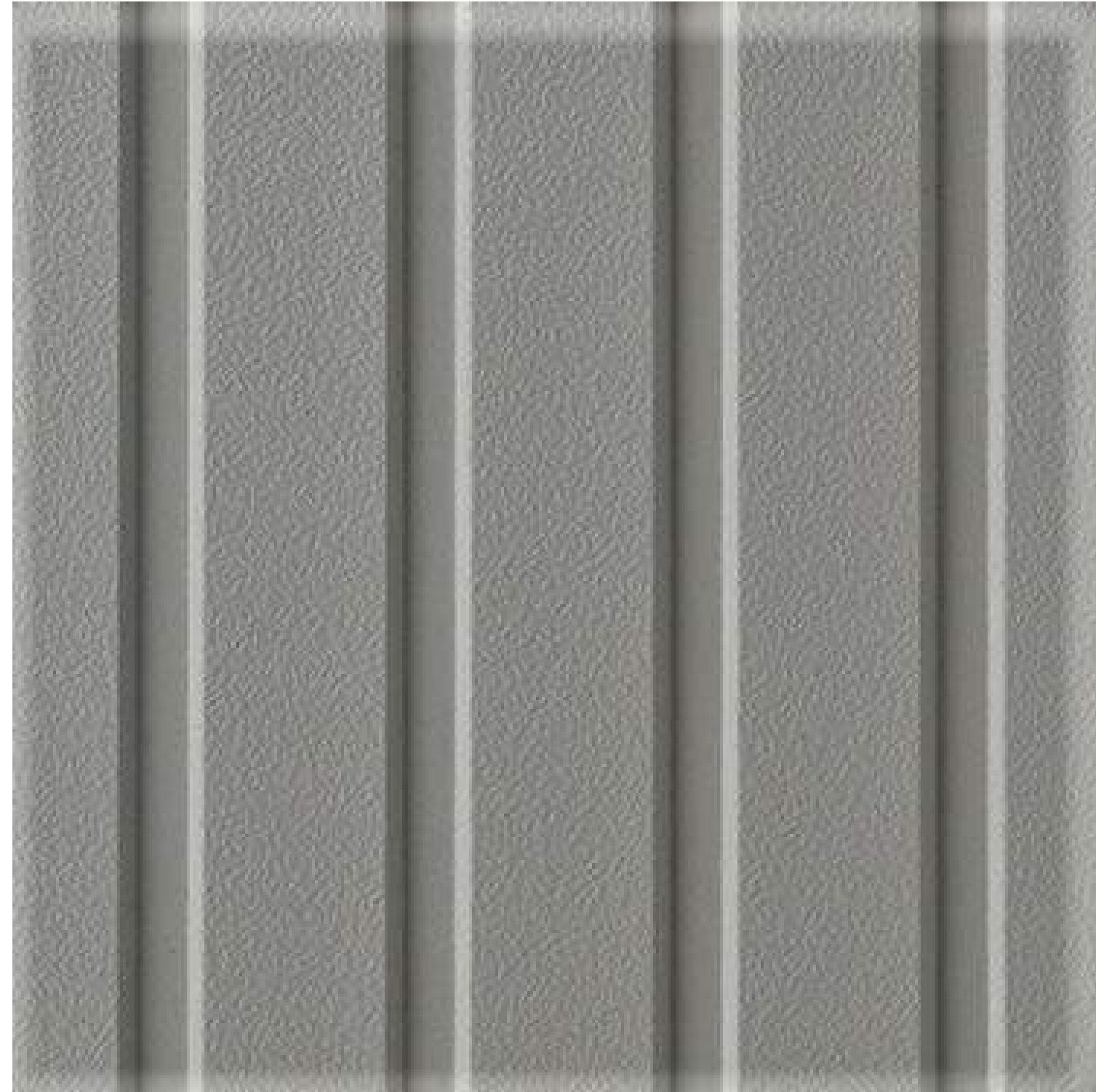
**EAST ELEVATION**



**WEST ELEVATION**

**GENERAL NOTES:**  
 SIGNAGE IS A PLACE HOLDER AND WILL BE OBTAINED UNDER A SEPARATE PERMIT.

NICHIHA - RIBBED PANEL  
SW7655 STAMPED CONCRETE



SW 7655 STAMPED  
CONCRETE



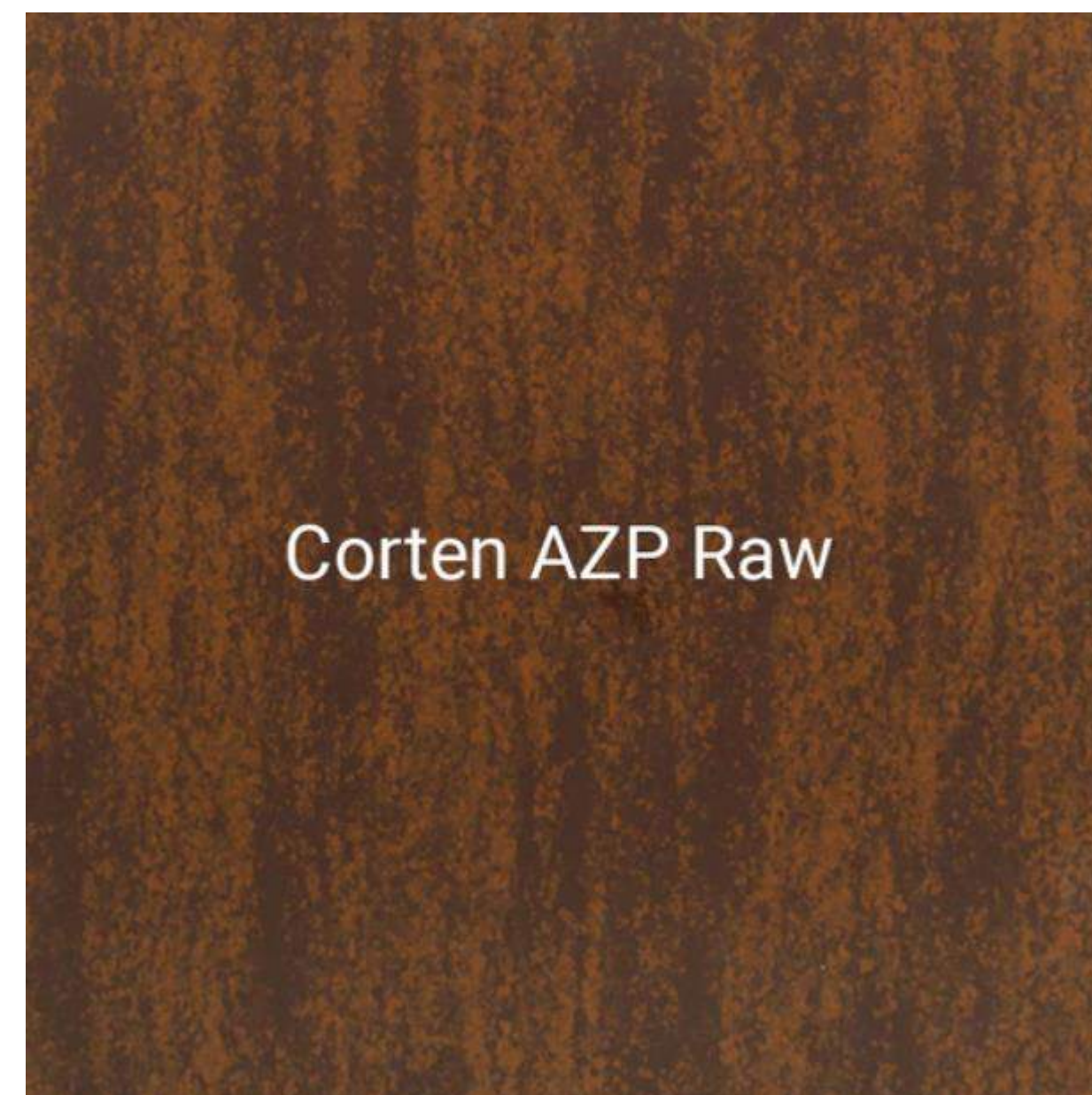
SW 9565 FORGED  
STEEL



NICHIHA VINTAGE WOOD



BLACK ANODIZED  
STOREFRONT



Corten AZP Raw

METAL PANEL

MATERIAL BOARD SAMPLE PHOTOS



NICHIHA BLUFF LEDGESTONE



