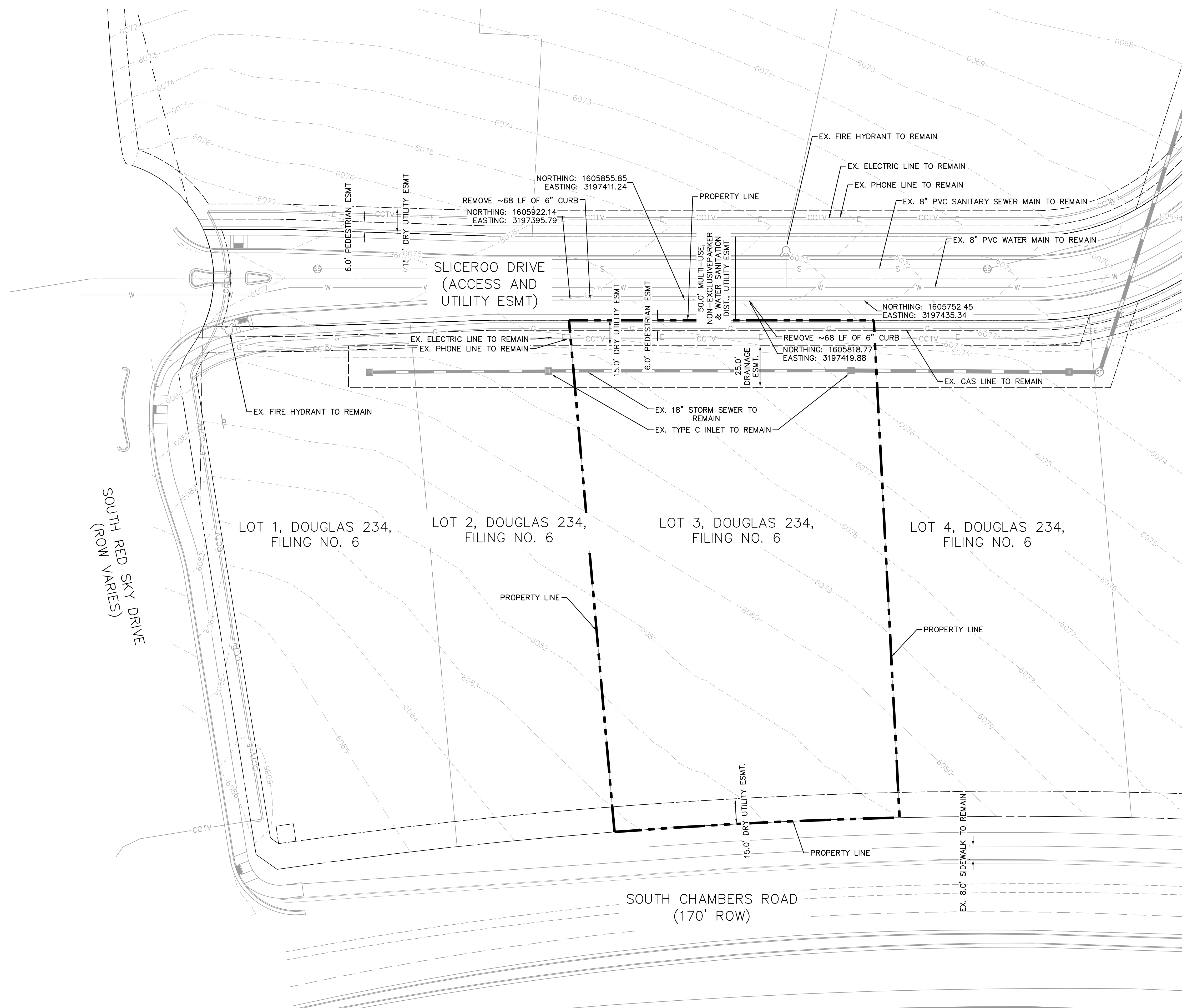


DOUGLAS 234 FILING NO. 6, LOT 3

A PORTION OF THE SOUTHEAST 1/4 OF THE SECTION 29,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
SITE PLAN



LEGEND

	PROPERTY LINE
	PARCEL LINE
	EASEMENT
	EX. WATER LINE
	EX. SANITARY LINE
	EX. STORM SEWER
	EX. PHONE LINE
	EX. ELECTRIC LINE
	EX. GAS LINE

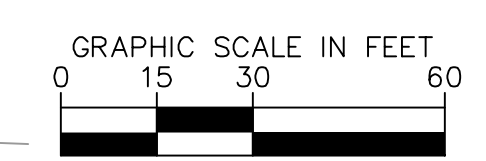
NOTES:

1. ALL EXISTING UTILITIES ARE TO REMAIN UNLESS OTHERWISE NOTED.
2. ALL EXISTING IMPROVEMENTS TO BE PROTECTED IN PLACE, UNLESS SPECIFICALLY CALLED OUT AS "TO BE REMOVED".

TITLE SITE PLAN	DRAWN BY LJM	DATE 7/1/21	PREPARED FOR: McDonald's USA, LLC <small>These drawings and specifications are the confidential and proprietary information of McDonald's USA, LLC. They are to be used only for the project and site specifically identified. The contract documents for use on this specific site in conjunction with its issue date and are not suitable for use on a different site or at a later time. Use of the services of properly licensed architects and engineers, reproduction of the contract documents for reuse on another project is not authorized.</small>	BY
	REVIEWED BY JRH	DATE ISSUED 7/1/21		
DESCRIPTION EXISTING CONDITIONS AND DEMOLITION PLAN	SITE ADDRESS LOT 3, DOUGLAS 234 FILING NO. 6			DATE
SITE ID 0050785				REV
				DATE
				DESCRIPTION
				BY

Kimley»Horn

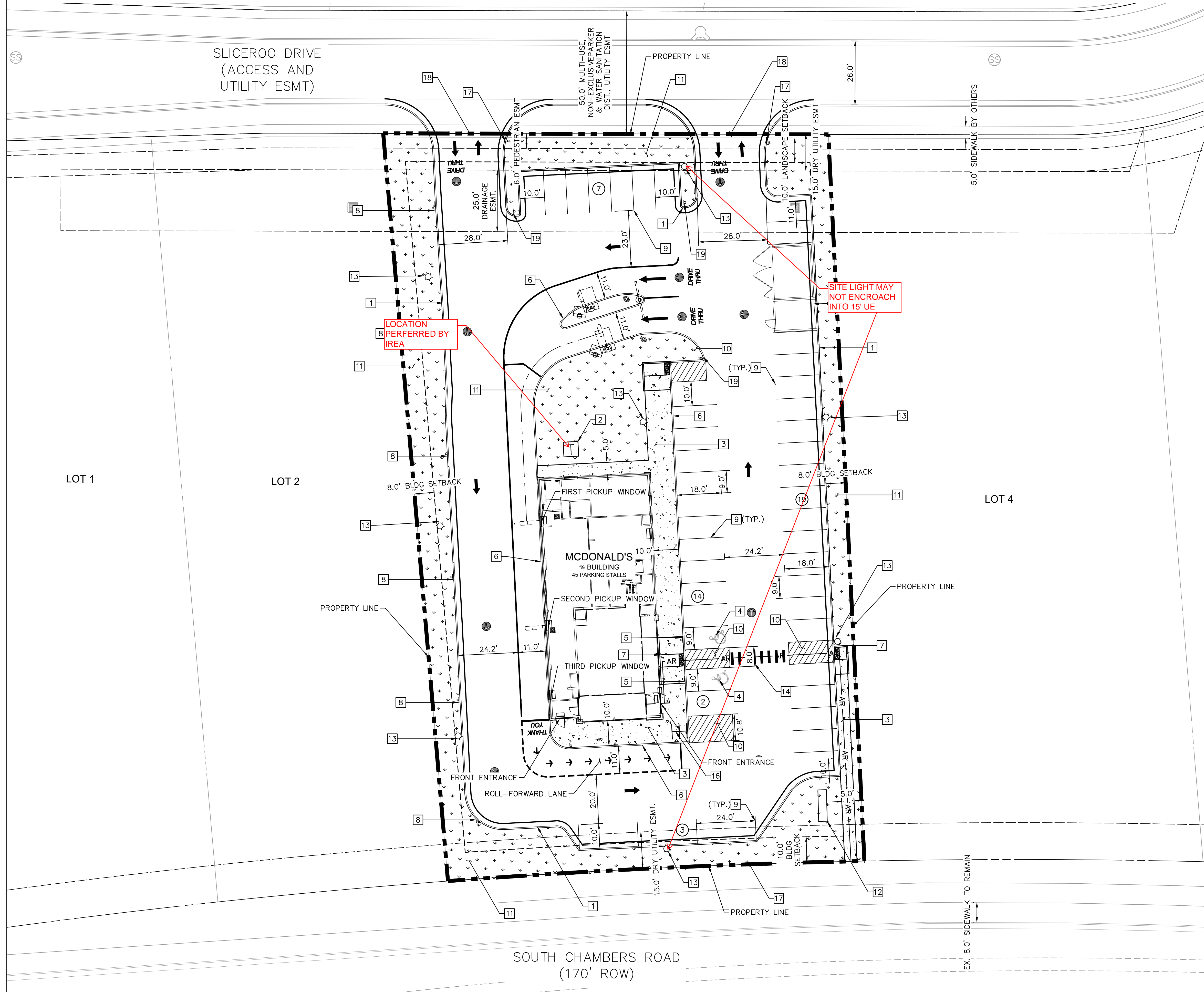
PRELIMINARY
FOR REVIEW ONLY
NOT FOR
CONSTRUCTION
Kimley»Horn
Kimley-Horn and Associates, Inc.



DOUGLAS 234 FILING NO. 6, LOT 3

A PORTION OF THE SOUTHEAST 1/4 OF THE SECTION 29,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE PLAN



LEGEND

- PROPERTY LINE
- SETBACK
- EASEMENT
- ACCESSIBLE ROUTE
- SCREEN WALL
- LANDSCAPE
- CONCRETE SIDEWALK
- PARKING STALL COUNT

KEY NOTES

- 1 PROPOSED CURB AND GUTTER
- 2 PROPOSED TRANSFORMER LOCATION
- 3 PROPOSED CONCRETE SIDEWALK (DIMENSION PER PLAN)
- 4 PROPOSED ADA SYMBOL
- 5 PROPOSED ADA SIGN
- 6 PROPOSED 6" WIDE X 6" TALL CURB HEAD
- 7 PROPOSED ADA RAMP
- 8 PROPOSED "NO PARKING FIRE LANE" SIGN
- 9 PROPOSED 4" WIDE PARKING STRIPE
- 10 PROPOSED 4" WIDE DIAGONAL PAVEMENT MARKINGS AT 36" ON CENTER
- 11 PROPOSED LANDSCAPING (REF. LANDSCAPING PLANS)
- 12 PROPOSED MONUMENT SIGN
- 13 PROPOSED SITE LIGHT (REF. PHOTOMETRIC PLANS FOR DETAILS)
- 14 PROPOSED CROSSWALK
- 15 PROPOSED TRASH ENCLOSURE AND SHED
- 16 PROPOSED BIKE PARKING (3 SPACES)
- 17 PROPOSED STOP SIGN
- 18 PROPOSED DRIVEWAY ACCESS
- 19 PROPOSED DO NOT ENTER SIGN

LOCATION PREFERRED BY IREA

SITE LIGHT MAY NOT ENCR OACH INTO 15' UE

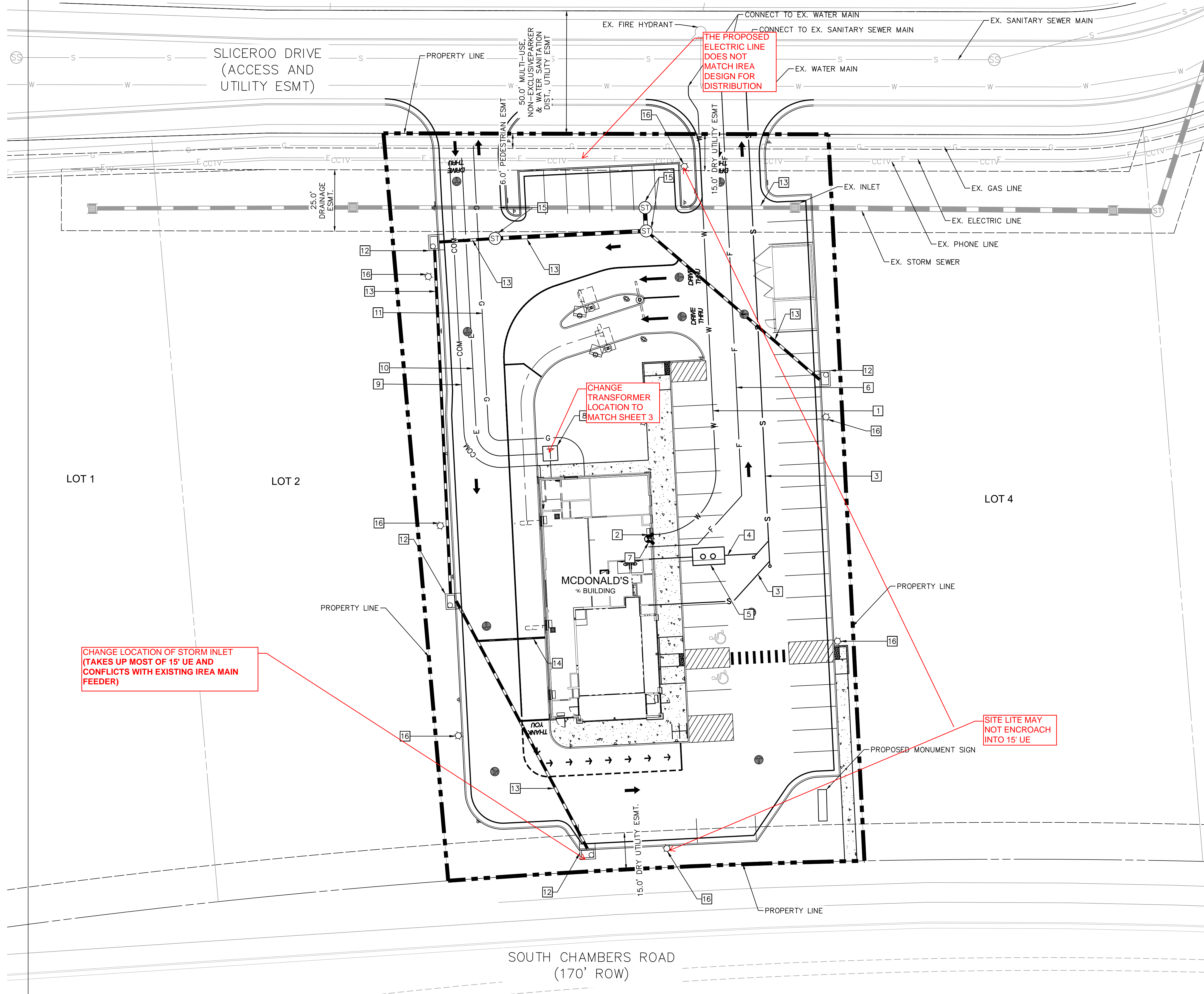
TITLE	SITE PLAN	DATE	7/1/21	BY	
DESCRIPTION	SITE PLAN	ISSUED	7/1/21	REV	
SITE ID	0050785	SITE ADDRESS	LOT 3, DOUGLAS 234 FILING NO. 6	DATE	
<p>McDonald's USA, LLC</p> <p>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared in reliance on the information provided and are not intended for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the written consent of Kimley-Horn and Associates, Inc. Use of the contract documents for reuse on another project is not authorized.</p>		<p>Kimley-Horn and Associates, Inc.</p>	<p>McDonald's USA, LLC</p>	<p>Kimley-Horn</p>	



DOUGLAS 234 FILING NO. 6, LOT 3

A PORTION OF THE SOUTHEAST 1/4 OF THE SECTION 29,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE PLAN



LEGEND

	PROPERTY LINE
	EASEMENT
	SCREEN WALL
	EX. WATER LINE
	EX. SANITARY LINE
	EX. STORM SEWER
	EX. PHONE LINE
	EX. ELECTRIC LINE
	EX. GAS LINE
	PROP. WATER LINE
	PROP. SANITARY LINE
	PROP. STORM SEWER
	PROP. PHONE LINE
	PROP. ELECTRIC LINE
	PROP. GAS LINE
	CONCRETE

KEY NOTES

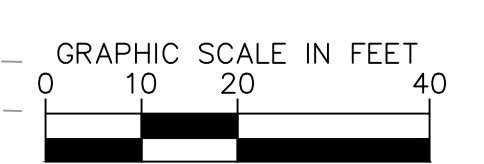
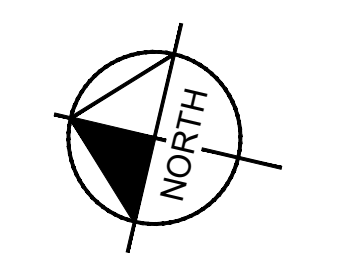
- 1 PROPOSED DOMESTIC WATER SERVICE LINE
- 2 PROPOSED WATER METER LOCATED INSIDE BUILDING.
- 3 PROPOSED SANITARY SEWER SERVICE LINE
- 4 PROPOSED GREASE INTERCEPTOR SERVICE LINE
- 5 PROPOSED GREASE TRAP WITH TRAFFIC RATED LIDS
- 6 PROPOSED FIRE SERVICE LINE
- 7 PROPOSED FDC
- 8 PROPOSED TRANSFORMER
- 9 PROPOSED TELECOMMUNICATIONS SERVICE LINE
- 10 PROPOSED ELECTRIC SERVICE LINE
- 11 PROPOSED GAS SERVICE LINE
- 12 PROPOSED STORM INLET
- 13 PROPOSED STORM SEWER
- 14 PROPOSED ROOF DRAIN
- 15 PROPOSED STORM MANHOLE
- 16 PROPOSED SITE LIGHT

CHANGE LOCATION OF STORM INLET
(TAKES UP MOST OF 15' UE AND
CONFLICTS WITH EXISTING IREA MAIN
FEEDER)

THE PROPOSED
ELECTRIC LINE
DOES NOT
MATCH IREA
DESIGN FOR
DISTRIBUTION

CHANGE
TRANSFORMER
LOCATION TO
MATCH SHEET 3

SITE LITE MAY
NOT ENCROACH
INTO 15' UE



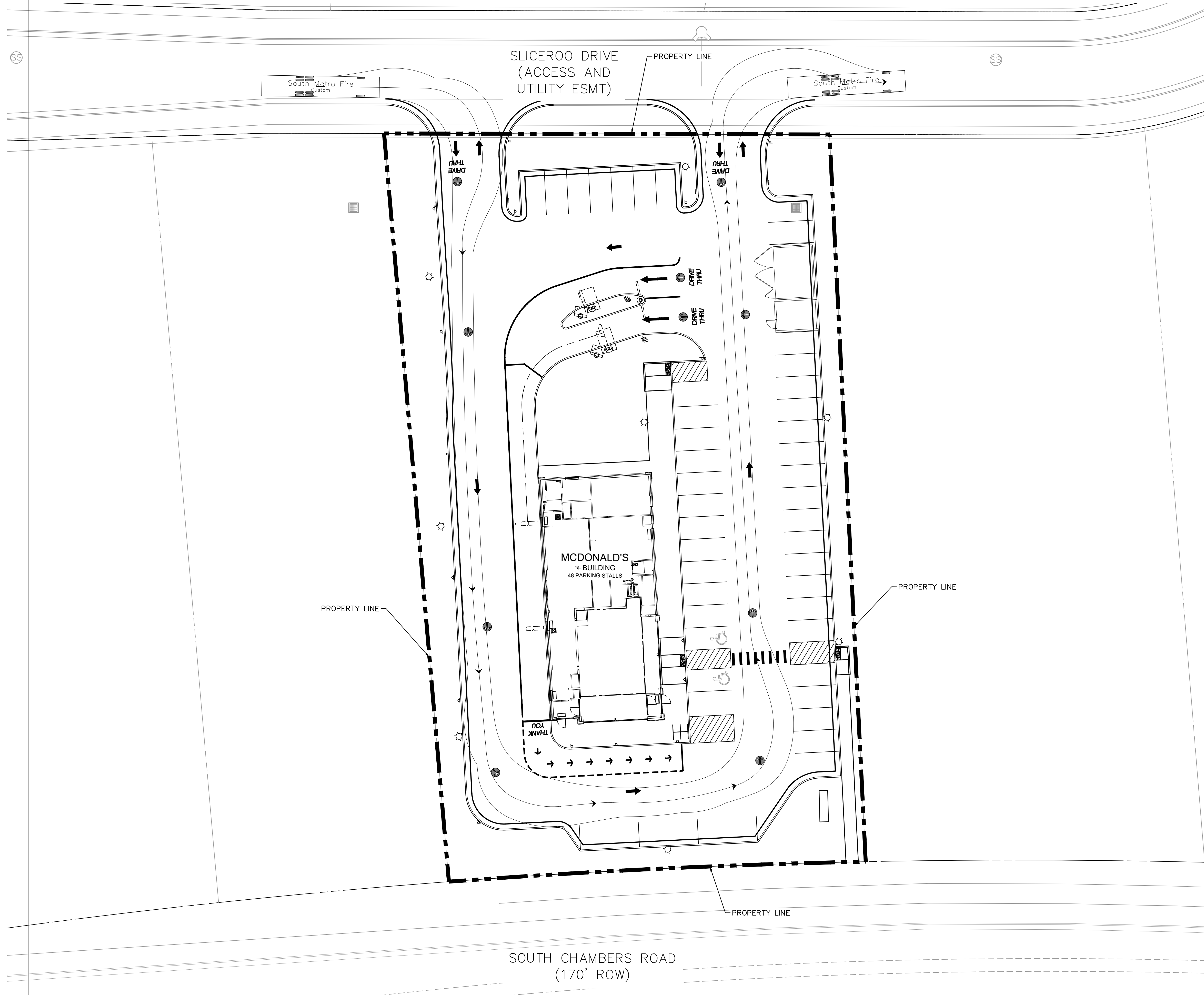
TITLE	SITE PLAN	DATE	7/1/21	BY	
DESCRIPTION	PRELIMINARY UTILITY PLAN	REVIEWED BY	JRH	DATE ISSUED	7/1/21
SITE ID	0050785	SITE ADDRESS	LOT 3, DOUGLAS 234 FILING NO. 6	REV	
				DATE	
				DESCRIPTION	



DOUGLAS 234 FILING NO. 6, LOT 3

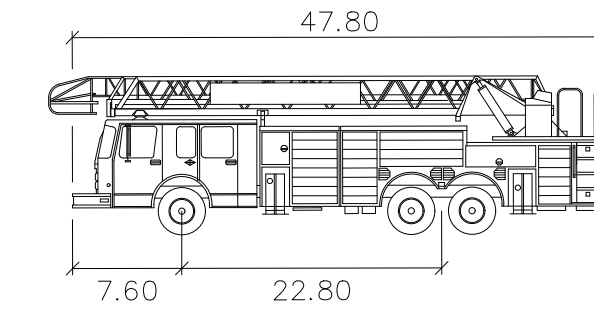
A PORTION OF THE SOUTHEAST 1/4 OF THE SECTION 29,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE PLAN



LEGEND

--- PROPERTY LINE



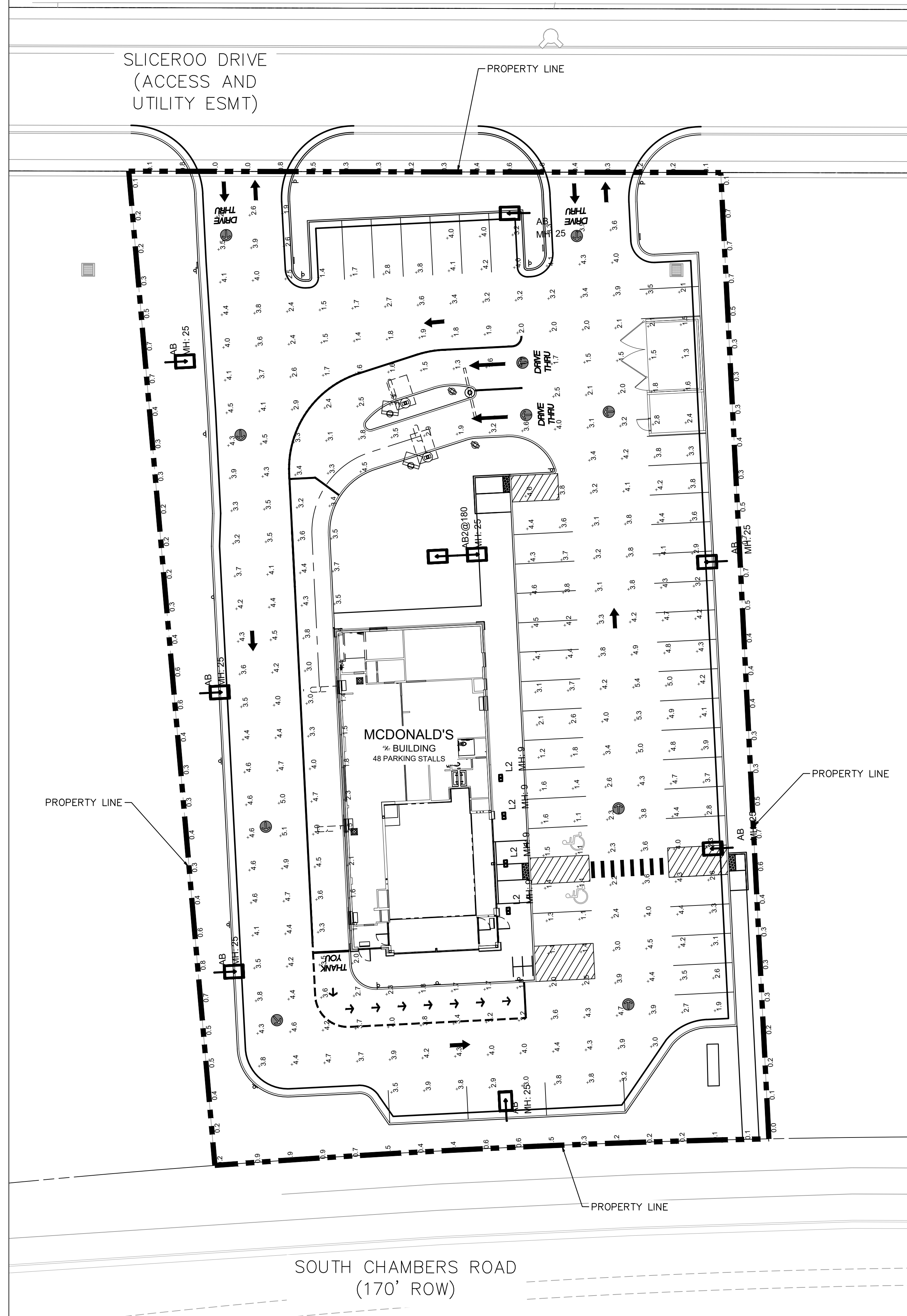
South Metro Fire
feet
Width : 8.40
Track : 8.20
Lock to Lock Time : 5.0
Steering Angle : 40.0

TITLE	DESCRIPTION	SITE ID	PREPARED FOR:	PREPARED BY:	DATE	REV	DATE	DESCRIPTION	BY
SITE PLAN	FIRE TRUCK ACCESS PLAN	0050785	McDonald's USA, LLC	Kimley»Horn					
<p>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared in accordance with the contract documents for this project and are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the approval of the engineer of record. Use of these drawings on any other project is not authorized.</p>									
<p>FOR REVIEW ONLY NOT FOR CONSTRUCTION</p>									



DOUGLAS 234 FILING NO. 6, LOT 3

A PORTION OF THE SOUTHEAST 1/4 OF THE SECTION 29,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
SITE PLAN



LEGEND

--- PROPERTY LINE

NOTES:

DISTANCE BETWEEN READINGS IS 10'

LIGHT POLE SHALL BE PLACED AT LEAST 18" FROM BACK OF CURB ADJACENT TO HEAD IN PARKING STALLS.

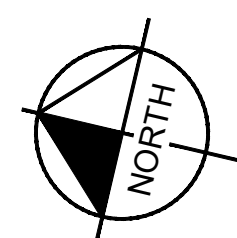
DETAILS:

MOUNTING HEIGHT = 25' (22' POLE + 3' BASE)
MOUNTING HEIGHT = 9' (WALL)
TILT = 0
LIGHTS ARE CUTOFF WITH FLAT GLASS LENS
CALCULATION GRIDS ARE AT GRADE (Z=0)

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PAVED SURFACE READINGS	Illuminance	Fc	3.30	5.4	1.1	3.00	4.91
PROPERTY LINE READINGS	Illuminance	Fc	0.42	1.0	0.0	N.A.	N.A.

Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	EPA	Mtg Height	Pole Type
[Symbol]	7	AB	SINGLE	0.900	RAR-2480L-240-4K7-4-BC	226.9	.55	25	SES-22-40-1-GL-TA-xx (4')
[Symbol]	1	AB2@180	BACK-BACK	0.900	RAR-2480L-240-4K7-4-BC	226.9	1.1	25	SES-22-40-1-GL-TA-xx (4')
[Symbol]	4	L2	SINGLE	0.900	RWSC-36L-5K-DO-U-PS	14.4		9	

Label	Lum. Lumens
AB	17669
AB2@180	17669
L2	1565

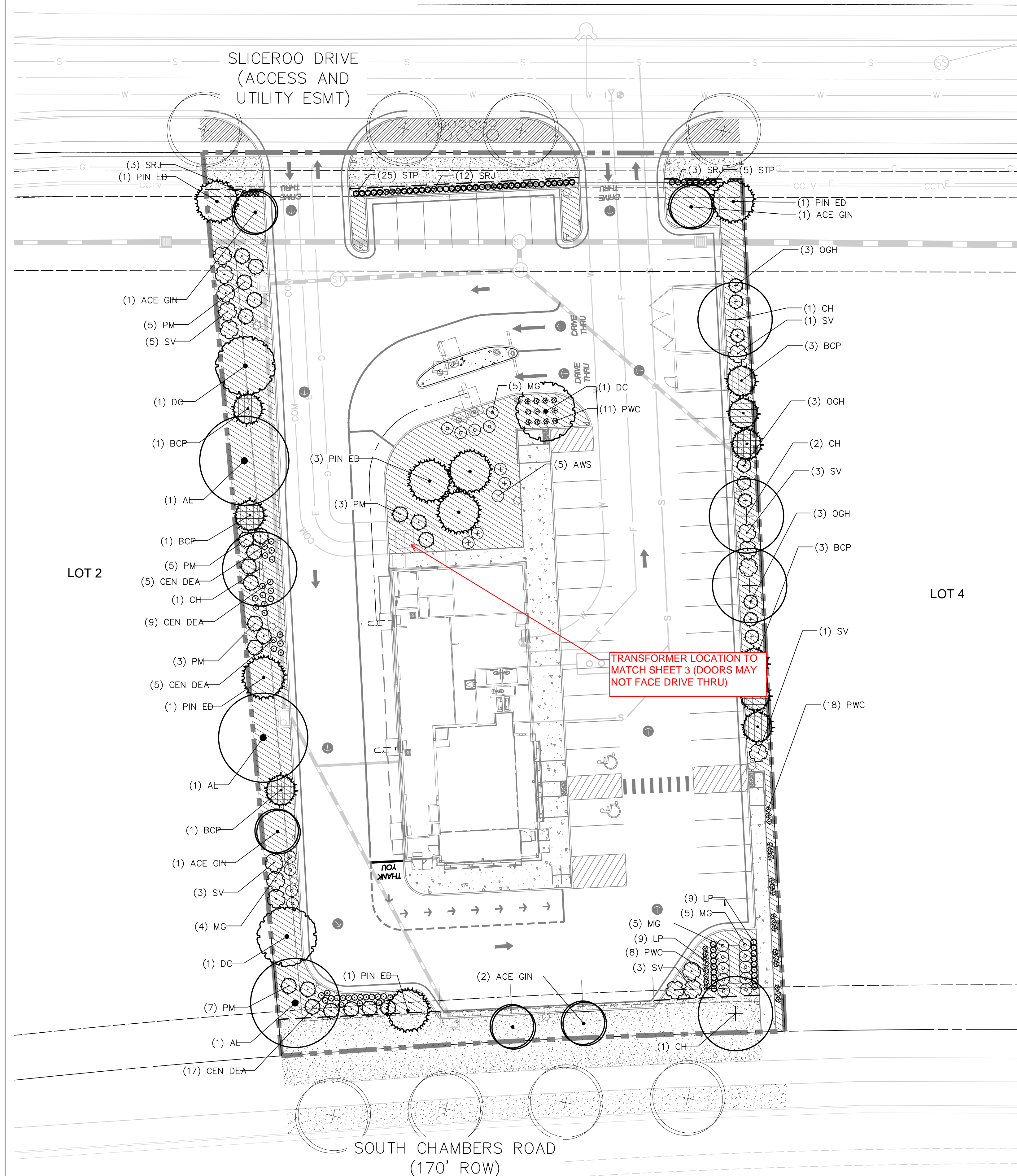


TITLE	SITE PLAN		DRAWN BY JUM	STD ISSUE DATE 7/1/21	REVIEWED BY JRH	DATE ISSUED 7/1/21	SITE ADDRESS LOT 3, DOUGLAS 234 FILING NO. 6	DESCRIPTION PHOTOMETRIC PLAN	REV	DATE	DESCRIPTION
	PHOTOMETRIC PLAN										
<p>PREPARED FOR: McDonald's USA, LLC</p> <p>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared by Kimley-Horn and Associates, Inc. and shall govern the project. Use of these drawings for reference or example on another project requires the approval of Kimley-Horn and Associates, Inc. Use of these drawings on any other project is not authorized.</p>											
<p>PREPARED BY: Kimley»Horn</p> <p>FOR REVIEW ONLY NOT FOR CONSTRUCTION</p>											
<p>811 Know what's below. Call before you dig.</p>											
<p>6</p>											

DOUGLAS 234 FILING NO. 6, LOT 3

A PORTION OF THE SOUTHEAST 1/4 OF THE SECTION 29,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE PLAN



PLANT SCHEDULE

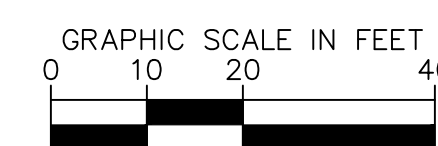
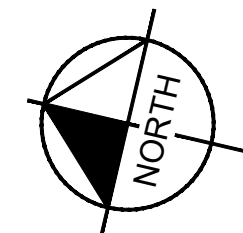
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	ACE GIN	5	Acer ginnala	Amur Maple	2" Cal.	B&B
	CH	5	Celtis occidentalis	Common Hackberry	B & B	2.5' Cal.
	DC	3	Malus 'Dolgo'	Dolgo Crabapple	2" Cal.	B&B
	BCP	9	Pinus aristata	Bristlecone Pine	6.0'	B&B
	PIN ED	7	Pinus edulis	Pinyon Pine	20' Ht.	B&B
	AL	3	Tilia americana	American Linden	2.5" Cal.	B&B

SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	MAX WIDTH	MAX HEIGHT
	LP	18	Amorpha canescens	Leadplant	5 gal.	Cont.	2'-4'	2'-4'
	SRJ	18	Juniperus scopulorum 'Skyrocket'	Skyrocket Juniper	5 gal.	Cont.	2'-3'	10'-12'
	STP	30	Ligustrum vulgare 'Swift' TM	Straight Talk Privet	5 gal.	Cont.	2'-3'	10'-12'
	OGH	9	Mahonia aquifolium	Oregon Grape Holly	5 gal.	Cont.	4'-6'	4'-6'
	PM	23	Pinus mugo 'Slowmound'	Mugo Pine	5 GAL	SEE PLAN	5'-6'	3'-5'
	AWS	5	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Bumald Spiraea	3 GAL	SEE PLAN	2'-4'	2'-3'
	SV	16	Syringa vulgaris 'Wedgwood Blue'	Wedgwood Blue Lilac	5 gal.	SEE PLAN	6'-8'	6'-8'

GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	MAX WIDTH	MAX HEIGHT
	MG	19	Miscanthus sinensis 'Gracillimus'	Maiden Grass	1 gal.	Cont.	3'-5'	4'-5'

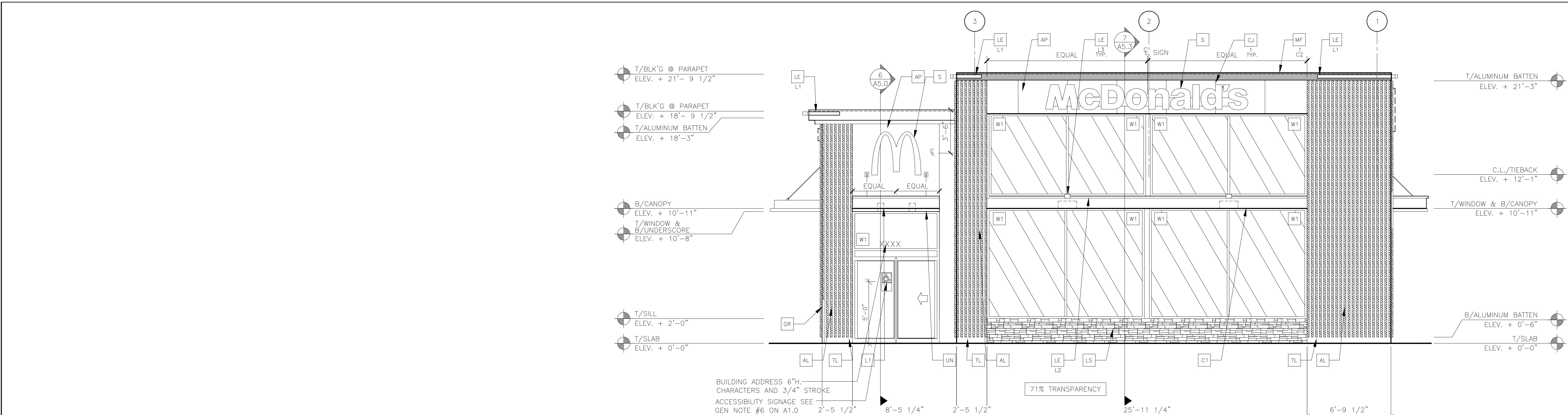
PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	MAX WIDTH	MAX HEIGHT
	PWC	37	Callirhoe involucrata	Prairie Winecups	1 gal.	Cont.	2'-3'	6'-12"
	CEN DEA	36	Centaurea dealbata	Persian Cornflower	1 gal.	Cont.	18"-24"	18"-24"

GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
	SEED	4,575 sf	Native Seed		SEED	
	COBL	9,463 sf	White Quartz Rock Mulch	By Pioneer Sand & Gravel	mulch	

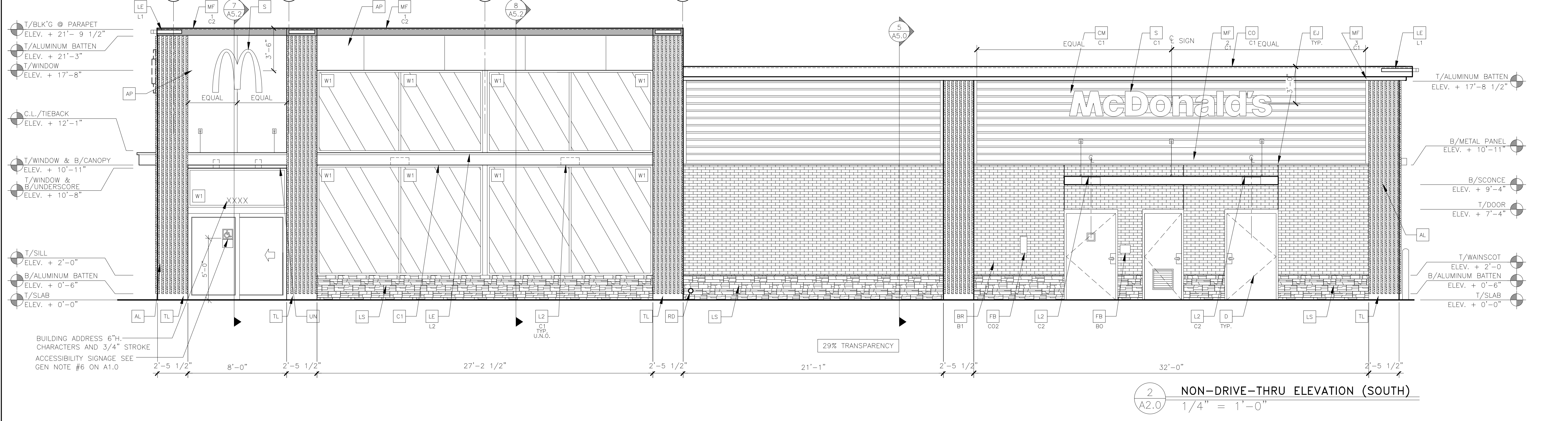


TITLE	SITE PLAN	DESCRIPTION	LANDSCAPE PLAN	SITE ID	0050785	SITE ADDRESS	LOT 3, DOUGLAS 234 FILING NO. 6	REV	DATE	DESCRIPTION	BY
PREPARED FOR:	<p>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared by Kimley-Horn and Associates, Inc. and are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the written consent of Kimley-Horn and Associates, Inc. Use of the contract documents for reuse on another project is not authorized.</p>										
DRAWN BY:	JJM	STD ISSUE DATE:	7/1/21	REVIEWED BY:	JRH	DATE ISSUED:	7/1/21				





1 FRONT ELEVATION (WEST)
 1/4" = 1'-0"



2 NON-DRIVE-THRU ELEVATION (SOUTH)
 1/4" = 1'-0"

KEY NOTES:	
AL ALUMINUM BATTEN SYSTEM SIZE: 2"x2" PROFILE COLOR: WOOD GRAIN, BACKRAIL UNFINISHED, ENDCAP PAINTED TO MATCH SUBSTRATE; 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB, GROUP 1, HDO BOTH FACES, APA TRADEMARKED. COURSE GRIT SAND SURFACES PRIOR TO PRIMING. PRIME AND PAINT BOTH SIDES AND ALL EDGES. SUBSTRATE COLOR: "IRON ORE" 7069 BY SHERWIN WILLIAMS	C2 ALUMINUM CANOPY SYSTEM COLOR: RAL 7022
AP ALPOLIC METAL PANEL (COLOR: RAL 7022)	C3 ALUMINUM CANOPY TIEBACK COLOR: RAL 7022 GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS
BR BRICK-COLOR: B1 = "SILVERADO" SMOOTH, MODULAR BY HEBON BRICK COMPANY	CJ CONTROL JOINT 1-TYPE: 1 = ALPOLIC
C1 ALUMINUM CANOPY SYSTEM W/FASCIA COLOR: WHITE	CM 7" REVEAL METAL WALL PANEL SYSTEM BY METAL ERA C1-COLOR: C1 = WEATHERED ZINC
DE DECAL BY GRAPHICS SUPPLIER SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED. SUPPLIERS: VOMELA (865) 330-7337, ann.bowen@vomela.com GFX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com	CO CORNICE C1-COLOR: WEATHER ZINC
EJ EXPANSION JOINT, SEE DETAIL 7/A4.1	D HOLLOW METAL DOOR PAINT: "FAIRVIEW TAUPE" HC-85 BY BENJAMIN MOORE
FB CO2 = BULK CO2 FILL BOX (EGPM SCHEDULE ITEM 49.00) BO = BULK OIL FILL BOX (EGPM SCHEDULE ITEM 700.18)	L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL COLOR: GOLD
GR GUARD RAIL -SEE SITE PLAN FOR EXACT LOCATION AND LENGTH PAINT: "IRON ORE" 7069 BY SHERWIN WILLIAMS	L2 RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL C1-COLOR: C1 = WHITE C2 = PLATINUM SILVER
LE ACCENT LIGHTING - SEE ELECTRICAL L1-LED LIGHT: L1 = SLIM LED (DOWN ONLY) L2 = INTEGRAL CANOPY FIXTURE L3 = UP ONLY FLOOD FIXTURE	MF METAL FASCIA C1-TYPE: 1 = PRE-FAB ANCHOR-TITE FASCIA 2 = BOTTOM TRIM AT METAL REVEAL PANEL 3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES COLOR: C1 = WEATHERED ZINC C2 = RAL 7022
LS CULTURED STONE BY BORAL HEWN STONE, COLOR: FOUNDATION (TO BE VERIFIED WITH McDONALDS ACM) CONTACT: KEVEN REIDY, (717) 377-2746	PT (RWHC) COIN COLLECTOR MODEL: #WPT STD CALL 1-888-743-7435 TO ORDER
RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL	ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. C1-COLOR: C1 = WEATHERED ZINC RACEWAY C2 = RAL 7022 RACEWAY	SP SPANDREL GLASS
TL TILE (@ BASE OF BATTEN SYSTEM) EUROWEST: E-WOOD COLLECTION; COLOR: R9 BLACK; SIZE:6"x24" WATERPROOFING SETTING MATERIAL AND GROUT: BY MAPEI GROUT COLOR: ULTRA COLOR PLUS - 47 CHARCOAL GROUT WIDTH: 1/8" TO 3/16" CONTACT: JAN DETER, (714) 937-7500	UN METAL UNDERSCORE COLOR: GOLD
W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS COLOR: DARK BRONZE	W2 DRIVE-THRU WINDOW BY READY ACCESS MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL OPEN; ELECTRONIC RELEASE COLOR: DEEP BRONZE SLIDE DIRECTION: RL = RIGHT TO LEFT LR = LEFT TO RIGHT

PREPARED BY: CORE STATES GROUP CONSULTANTS	DATE:	REV:	DESCRIPTION:
PREPARED FOR: McDonald's USA, LLC	DATE:	REV:	DESCRIPTION:
DRAWN BY: B.ARDALLA	DATE:	REV:	DESCRIPTION:
STD ISSUE DATE: 2021_05	DATE:	REV:	DESCRIPTION:
REVIEWED BY: MARC PELINI	DATE ISSUED: 05/12/21	REV:	DESCRIPTION:
C.S.G. PROJECT #: MCD.26562	SITE ADDRESS: 16098 E TALL TIMBER LANE PARKER, CO	REV:	DESCRIPTION:
TITLE: 2017 STANDARD BUILDING - BB20 4597 - WOOD/WOOD	DESCRIPTION: WOOD BEARING WALLS W/4" BRICK EXTERIOR FINISH & CI WOOD TRUSS ROOF FRAMING E.L.F.S./BATTEN/METAL PANEL/BRICK EXTERIOR FINISH	REV:	DESCRIPTION:
SHEET NO: A2.0 ELEVATIONS	005-0785.00.0	REV:	DESCRIPTION:

