



Development Review Division

Community Development Department: Town Hall / 20120 East Mainstreet Parker, CO 80138 Phone: 303.841.2332 Fax: 303.841.3223

MEMORANDUM

TO: Jessica McCallum, Kimley Horn
FROM: BrieAnna Simon, Associate Planner
DATE: November 8, 2021
SUBJECT: Douglas 234 F6 AMD 1 L3 – McDonalds (SP21-067)
Review Comments v2

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER: BrieAnna Simon

EMAIL: bsimon@parkeronline.org

PHONE: 303.805.3338

GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at:
[Parker 2035 Master Plan](#)
[Development Design Standards](#)
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**
6. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKiT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not refer the application out with this naming convention.
Example: "02" or "Second Submittal"

7. **Prairie Dog Management:** The Town's current land development ordinance section 13.10.250 - Prairie Dog Management requires applicants/developers to make a good faith effort to have any prairie dogs on site relocated. Documentation of this effort will be a condition of the land use application approval/site development and a certificate of compliance will be required prior to issuance of the grading permit. If relocation of the prairie dogs is not available, humane extermination may be considered. Prairie Dog management should begin as early as possible during the review process. Please coordinate with staff.

Site Plan and Project Details

1. **Please see the attached redlines for additional information.**

Comment Addressed: ☐ Yes ☐ No

Response:

2. **Please note, additional public comments were received. Please respond to all additional comments and let staff know how public comments from residents will be responded to.**

Comment Addressed: ☐ Yes ☐ No

Response:

3. **Please note, the site plan cannot be approved until after the replat is recorded. If the property is closed on prior to the replat, the owner will be required to sign the replat.**

Comment Addressed: ☐ Yes ☐ No

Response:

OUTSIDE REFERRAL AGENCY COMMENTS

Please address all outside referral agency comments with a written response. The following agencies have provided comments for review:

- Town of Parker – Civil (Construction Plans)
- Town of Parker – Stormwater (Construction Plans)
- Town of Parker – Environmental (Construction Plans)
- Town of Parker – Stormwater (Drainage Report)
- Fire Life Safety
- Parker Water and Sanitation
- Town of Parker – Civil (Site Plan)
- Town of Parker – Stormwater (Site Plan)
- Town of Parker – Civil (Traffic Impact Study)

These comments are available on eTRAKiT. Please address accordingly.

Comment(s) Addressed: ☐ Yes ☐ No

Response:

Property Owner

Date

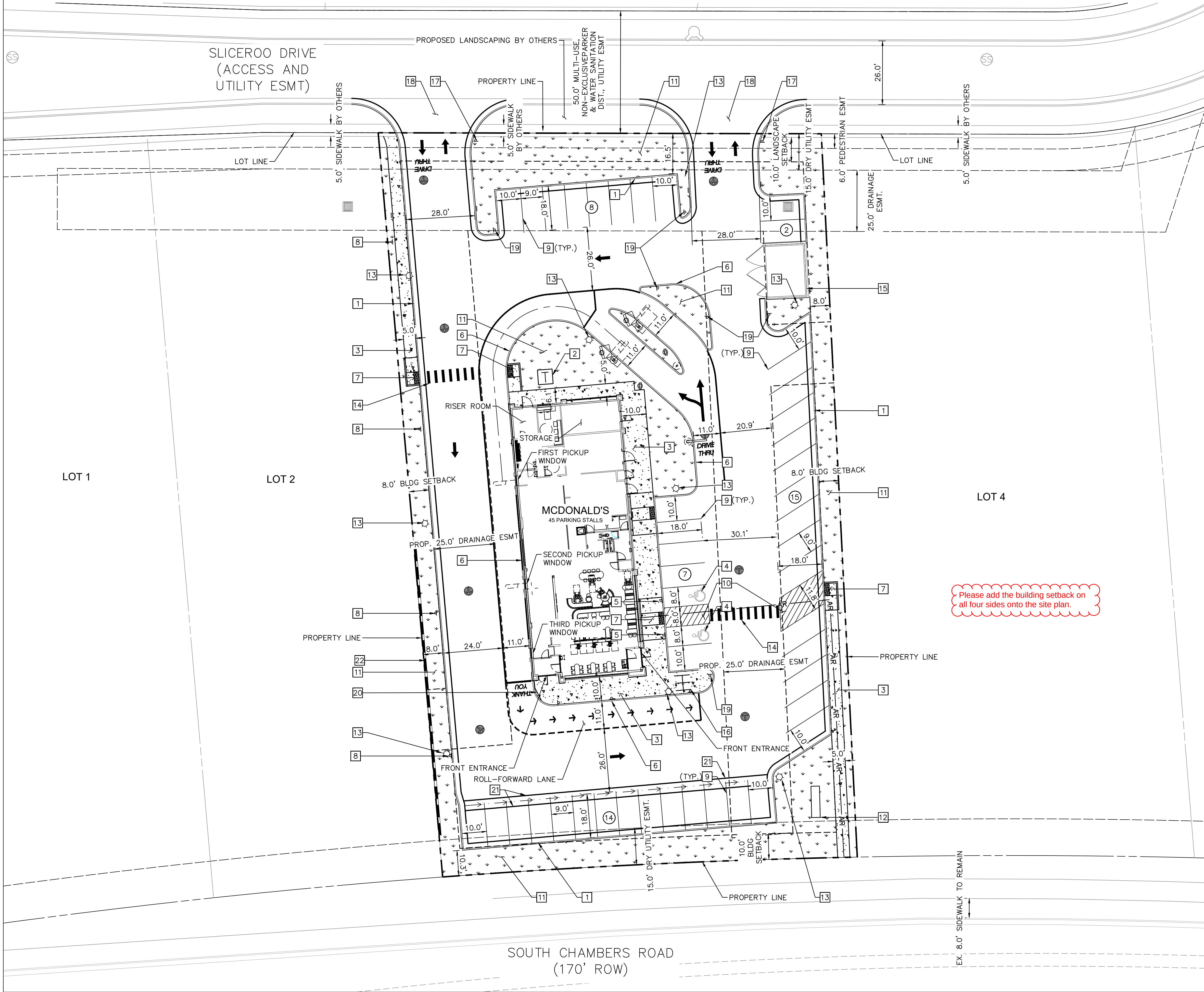
Project Representative

Date

DOUGLAS 234 FILING NO. 6, LOT 3

A PORTION OF THE SOUTHEAST 1/4 OF THE SECTION 29,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE PLAN

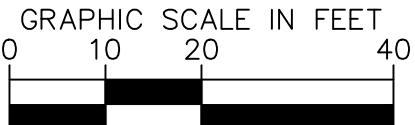
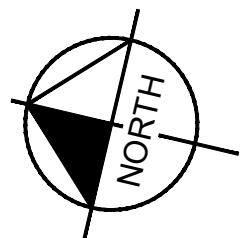


LEGEND

- PROPERTY LINE
- SETBACK
- EASEMENT
- ACCESSIBLE ROUTE
- WALL
- LANDSCAPE
- CONCRETE SIDEWALK
- PARKING STALL COUNT

KEY NOTES

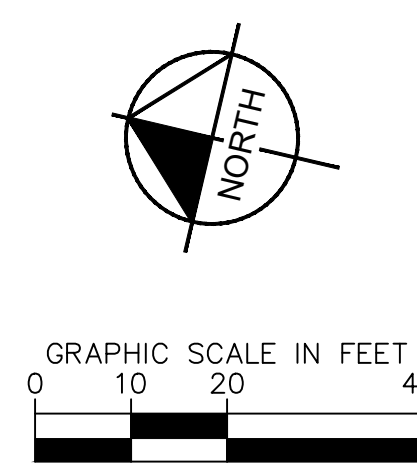
- PROPOSED CURB AND GUTTER
- PROPOSED TRANSFORMER LOCATION
- PROPOSED CONCRETE SIDEWALK (DIMENSION PER PLAN)
- PROPOSED ADA SYMBOL
- PROPOSED ADA SIGN
- PROPOSED 6" WIDE X 6" TALL CURB HEAD
- PROPOSED ADA RAMP
- PROPOSED "NO PARKING FIRE LANE" SIGN
- PROPOSED 4" WIDE PARKING STRIPE
- PROPOSED 4" WIDE DIAGONAL PAVEMENT MARKINGS AT 36" ON CENTER
- PROPOSED LANDSCAPING (REF. LANDSCAPING PLANS)
- PROPOSED MONUMENT SIGN (ALL SIGNS ARE REVIEWED UNDER SEPARATE PERMIT)
- PROPOSED SITE LIGHT (REF. PHOTOMETRIC PLANS FOR DETAILS)
- PROPOSED CROSSWALK
- PROPOSED TRASH ENCLOSURE
- PROPOSED BIKE PARKING (3 SPACES)
- PROPOSED STOP SIGN
- PROPOSED DRIVEWAY ACCESS
- PROPOSED 'DO NOT ENTER' SIGN
- PROPOSED GUARD RAIL
- PROPOSED 4' CONCRETE GUTTER PAN
- PROPOSED RETAINING WALL



3	TITLE		DRAWN BY JJM	PREPARED FOR:		PREPARED BY:											
	SITE PLAN		STD 7/1/21	McDonald's USA, LLC These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared by Kimley-Horn and Associates, Inc. for the use of the client only and are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the written consent of Kimley-Horn and Associates, Inc. and the contract documents for reuse on another project is not authorized.	PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION Kimley»Horn Kimley-Horn and Associates, Inc.	Kimley»Horn											
	DESCRIPTION																
	SITE PLAN			REVIEWED BY JJRH DATE ISSUED 9/3/2021													
	SITE ID																

A PORTION OF THE SOUTHEAST 1/4 OF THE SECTION 29,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE PLAN



Luminaire Schedule											
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	Lum. Lumens	EPA	Mtg Height	Pole Type	Mounting Type
	2	B	SINGLE	0.900	VP-L-96L-280-5K7-4W	280	27708	.55	25	SES-22-40-1-GL-TA-DB (4")	POLE
	4	BB	SINGLE	0.900	VP-L-96L-280-5K7-4W-BC	280	17716	.55	25	SES-22-40-1-GL-TA-DB (4")	POLE
	1	BB2@180	BACK-BACK	0.900	VP-L-96L-280-5K7-4W-BC	280	17716	1.1	25	SES-22-40-1-GL-TA-DB (4")	POLE
	1	BH270	SINGLE	0.900	VP-L-96L-280-5K7-4-HSS-270-FB	280	19503	.55	25	SES-22-40-1-GL-TA-DB (4")	POLE

Luminaire Schedule											
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	Lum. Lumens	EPA	Mtg Height	Pole Type	Mounting Type
	2	B	SINGLE	0.900	VP-L-96L-280-5K7-4W	280	27708	.55	25	SES-22-40-1-GL-TA-DB (4")	POLE
	4	BB	SINGLE	0.900	VP-L-96L-280-5K7-4W-BC	280	17716	.55	25	SES-22-40-1-GL-TA-DB (4")	POLE
	1	BB2@180	BACK-BACK	0.900	VP-L-96L-280-5K7-4W-BC	280	17716	1.1	25	SES-22-40-1-GL-TA-DB (4")	POLE
	1	BH270	SINGLE	0.900	VP-L-96L-280-5K7-4-HSS-270-FB	280	19503	.55	25	SES-22-40-1-GL-TA-DB (4")	POLE

NOTES:

DISTANCE BETWEEN READINGS IS 10'

LIGHT POLE SHALL BE PLACED AT LEAST 18" FROM BACK OF CURB ADJACENT TO HEAD IN PARKING STALLS.

MOUNTING HEIGHT = 25' (22' POLE + 3' BASE)
MOUNTING HEIGHT = 9' (WALL)
MOUNTING HEIGHT MEASURED FROM TOP OF FIXTURE TO FINISHED GRADE
HLP = 0
LIGHTS ARE CUTOFF WITH FLAT GLASS LENS
CALCULATION GRIDS ARE AT GRADE (Z=0)

Please provide a light pole detail and indicate how height is being measured.

Are wall lights being provided? There are no wall lights shown in the Luminaire Schedule. Please adjust accordingly.

Per Section 13.10.140 for pedestrian safety and orientation, medium activity lots the maximum Uniformity Ratio (average to minimum) is 3:1. Please adjust accordingly.

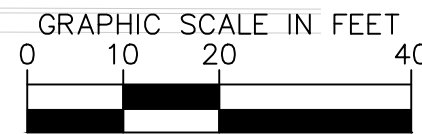
Per Section 13.10.140 for pedestrian safety and orientation, medium activity lots the maximum Uniformity Ratio (maximum to minimum) is 10:1. Please adjust accordingly.

- Please add setbacks for all luminaires.
- Per Section 13.10.140 the setbacks from
- the property line shall be at least equal to
- the total height of the luminaire.

Please adjust labels to the values do not over lap on entire plan.

There are still large areas of the plan that foot candles have not been provided. Staff has highlighted a few of these areas in blue. Please provide additional values to ensure the lighting code has been met. Additional comments may still be provided on the next referral as all values have not been provided.

A PORTION OF THE SOUTHEAST 1/4 OF THE SECTION 29,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
SITE PLAN



<u>BY MASTER DEVELOPER</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT.</u>	<u>SIZE/CAL.</u>	<u>WIDTH</u>	<u>HEIGHT</u>	
	TREE MD	9	TREE BY MASTER DEVELOPER	EXISTING				
<u>DECIDUOUS TREES</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT.</u>	<u>SIZE/CAL.</u>	<u>WIDTH</u>	<u>HEIGHT</u>	
	CO	3	CELTIS OCCIDENTALIS / COMMON HACKBERRY	B & B	2" CAL MIN	40'-50'	50'-60'	
	TA	5	TILIA AMERICANA / AMERICAN LINDEN	B & B	2" CAL MIN	30'-40'	40'-50'	
<u>EVERGREEN TREES</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT.</u>	<u>SIZE/CAL.</u>	<u>WIDTH</u>	<u>HEIGHT</u>	
	BP	9	PINUS ARTISTATA / BRISTLEcone PINE	B & B	6' HGT.	10'-15'	20'-30'	
	PE	2	PINUS EDULIS / PINON PINE	B & B	6' HGT.	10'-15'	20'-30'	
<u>ORNAMENTAL TREES</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT.</u>	<u>SIZE/CAL.</u>	<u>WIDTH</u>	<u>HEIGHT</u>	
	AG	3	ACER GINNALA / AMUR MAPLE	B & B	2" CAL MIN	15'-20'	15'-20'	
	MD	2	MALUS 'DOLGO' / DOLGO CRABAPPLE	B & B	2" CAL MIN	15'-20'	15'-20'	
<u>BY MASTER DEVELOPER</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT.</u>	<u>SIZE</u>	<u>SPACING</u>	<u>WIDTH</u>	<u>HEIGHT</u>
	SHRUB M	26	SHRUB BY MASTER DEVELOPER	EXISTING				
<u>DECIDUOUS SHRUBS</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT.</u>	<u>SIZE</u>	<u>SPACING</u>	<u>WIDTH</u>	<u>HEIGHT</u>
	LP	17	AMORPHA CANESCENS / LEADPLANT	5 GAL.	SEE PLAN	2'-4'	2'-4'	
	LV	15	LIGUSTRUM VULGARE 'CHEYENNE' / CHEYENNE PRIVET	5 GAL.	SEE PLAN	4'-6'	6'-8'	
	PA	25	PEROVSKIA ATRIPLICIFOLIA / RUSSIAN SAGE	5 GAL.	SEE PLAN	3'-5'	3'-5'	
	SF	3	SPIRAEA JAPONICA 'NEON FLASH' / NEON FLASH SPIREA	5 GAL.	SEE PLAN	2'-4'	2'-3'	
	SV	22	SYRINGA VULGARIS 'WEDGWOOD BLUE' / WEDGWOOD BLUE LILAC	5 GAL.	SEE PLAN	6'-8'	6'-8'	
<u>EVERGREEN SHRUBS</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT.</u>	<u>SIZE</u>	<u>SPACING</u>	<u>WIDTH</u>	<u>HEIGHT</u>
	JG	8	JUNIPERUS X MEDIA 'SEA GREEN' / SEA GREEN JUNIPER	5 GAL.	SEE PLAN	6'-8'	5'-6'	
	PM	7	PINUS MUGO 'SLOWMOUND' / MUGO PINE	5 GAL.	SEE PLAN	5'-6'	3'-5'	
	SJ	39	JUNIPERUS SCOPULORUM 'SKYROCKET' / SKYROCKET JUNIPER	5 GAL.	SEE PLAN	2'-3'	10'-12'	
<u>GRASSES</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT.</u>	<u>SIZE</u>	<u>SPACING</u>	<u>WIDTH</u>	<u>HEIGHT</u>
	CK	37	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	5 GAL.	SEE PLAN	18"-24"	4'-5'	
	MG	17	MISCANTHUS SINENSIS 'GRACILLIMUS' / MAIDEN GRASS	5 GAL.	SEE PLAN	3'-5'	4'-5'	
<u>PERENNIALS</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT.</u>	<u>SIZE</u>	<u>SPACING</u>	<u>WIDTH</u>	<u>HEIGHT</u>
	CD	40	CENTAUREA DEALBATA / PERSIAN CORNFLOWER	1 GAL.	SEE PLAN	18"-24"	18"-24"	
	CI	12	CALLIRHOE INVOLUCRATA / PRAIRIE WINECUPS	1 GAL.	SEE PLAN	2'-3'	6'-12"	
<u>GROUND COVERS</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>TYPE</u>	<u>INSTALL RATE</u>	<u>WEED FABRIC</u>	<u>MFR.</u>	
	ROCK	456 SF	4-6" GLACIER WHITE GRANITE RIVER ROCK INSTALLED AT A MINIMUM DEPTH OF 3" OVER WEED BARRIER FABRIC. SUBMIT SAMPLE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.	ROCK MULCH	3" DEPTH	YES		
	ROCK2	8,908 SF	2-4" WHITE QUARTZ ROCK MULCH INSTALLED AT A MINIMUM DEPTH OF 3" OVER WEED BARRIER FABRIC. SUBMIT SAMPLE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.	ROCK MULCH	3" DEPTH	YES		
	SEED	976 SF	PBSI NATIVE LAWN MIX 50% BUFFALOGRASS, 50% BLUE GRAMA	SEED				PAWNEE BUTTES SEED

McDonald's USA, LLC

SITE PLAN		JUN
STD	ISSUE DATE	7/1/21
LANDSCAPE PLAN		
DESCRIPTION		
REVIEWED BY		JRH
DATE ISSUED		9/3/2021

DOUGLAS 234 FILING NO. 6, LOT 3

A PORTION OF THE SOUTHEAST 1/4 OF THE SECTION 29,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE PLAN

GENERAL LANDSCAPE SPECIFICATIONS

LANDSCAPE REQUIREMENTS					
MINIMUM SITE LANDSCAPE STANDARDS (PUBLIC PLAZAS INCLUDED IN CALCULATION)					
	TOTAL DEVELOPED AREA 45,237 SF	SITE LANDSCAPE REQUIREMENTS	SITE TREES 1 TREE / 1,500 SF (% EVERGREEN)	SITE SHRUBS 5 SHRUBS / 1,500 SF	GRASSES 3 GRASSES / 1 SHRUB
	REQUIRED	75%	13 TREES (25%)	65 SHRUBS	N/A
PROVIDED	TOTAL (LANDSCAPE AREA)	19,016 SF (42%)	27 TREES (37%)	468 SHRUBS	699 GRASSES
	LIVING	15,563 SF (81%)		N/A	
					15% MAX 12.5% (2,433 SF)

SITE PERIMETER REQUIREMENTS			
ADJACENT LAND USE	PERIMETER LENGTH	REQUIRED TREES (1 TREE/40 LF) REQUIRED/PROVIDED	REQUIRED SHRUBS (5 SHRUB/40 LF) REQUIRED/PROVIDED
COMMERCIAL (NORTH PROPERTY LINE)	69 LF	2 REQ/3 PROVIDED (3 EVERGREEN TREES)	10 REQ/12 PROVIDED
COMMERCIAL (EAST PROPERTY LINE)	140 LF	4 REQ/4 PROVIDED (6 EVERGREEN TREES)	18 REQ/36 PROVIDED
STROH ROAD (SOUTH PROPERTY LINE)	260 LF	7 REQ/7 PROVIDED (1 EVERGREEN TREE)	33 REQ/74 PROVIDED
PARKER ROAD (WEST PROPERTY LINE)	150 LF	4 REQ/11 PROVIDED (6 EVERGREEN TREES)	19 REQ/41 PROVIDED

PARKING LOT INTERIOR REQUIREMENTS			
PARKING ISLAND AREA	PROVIDED TREES	PROVIDED SHRUBS	PROVIDED GRASSES
1,207 SF	3 PROVIDED	59 PROVIDED	79 PROVIDED

NOTE: BECAUSE SITE CONTAINS LESS THAN 80 PARKING STALLS, PARKING LOT INTERIOR LANDSCAPING SHALL NOT BE APPLIED.

NOTE: LANDSCAPE IN ROW IS NOT INCLUDED IN PLANT REQUIREMENT CALCULATIONS.



There are a number of calculations missing from this table. Please review Section 13.06.070 for all landscape requirements. This table does not provide enough information to show the required landscaping has been met. The site plan will not be approved until all landscape requirements are met. Please see the example above for what should be included. Additionally, please show all substitutions being made and check calculations. Please work with staff if you have question on the landscape requirements.

Site perimeter landscaping is required on all four sides of the property. Also these are two separate standards that need to be met. The table below is not being calculated correctly. Please work with staff and adjust accordingly.

STREETSCAPE AND SITE PERIMETER LANDSCAPING				
STREET NAME OR BOUNDARY:	EXISTING NONRESIDENTIAL USE (NORTH)	SOUTH CHAMBERS ROAD	SLICEROO DRIVE	EXISTING NONRESIDENTIAL USE (SOUTH)
ZONE DISTRICT BOUNDARY:	N/A	N/A	N/A	N/A
STREET CLASSIFICATION:	N/A	N/A	N/A	N/A
SETBACK/BUFFER DEPTH REQUIRED / PROVIDED:	N/A	BY MASTER DEVELOPER	BY MASTER DEVELOPER	N/A
LINEAR FOOTAGE:	305'	170'	180'	294'
TREE PER FEET REQ.:	1 TREE PER 40 LF	1 TREE PER 40 LF	1 TREE PER 40 LF	1 TREE PER 40 LF
NUMBER OF TREES REQ. / PROV.	8 / 8	BY MASTER DEVELOPER. SEE DOUGLAS 234, FILING NO. 6	BY MASTER DEVELOPER. SEE DOUGLAS 234, FILING NO. 6	8 / 8
EVERGREEN TREES REQ. / PROV.	(40-60%) 4-5 / 4	N/A	N/A	(40-60%) 4-5 / 5
SHRUB SUBSTITUTES REQ. / PROV.	N/A	N/A	N/A	N/A
SHRUB PER FEET REQ.:	5 SHRUBS PER 40 LF	5 SHRUBS PER 40 LF	5 SHRUBS PER 40 LF	5 SHRUBS PER 40 LF
NUMBER OF SHRUBS REQ. / PROV.	39 / 39	BY MASTER DEVELOPER. SEE DOUGLAS 234, FILING NO. 6	BY MASTER DEVELOPER. SEE DOUGLAS 234, FILING NO. 6	37 / 37
PLANT ABBREVIATION DENOTED ON PLAN:	NO	N / A	N / A	SO

PARKING LOT PERIMETER LANDSCAPING				
PERIMETER STREET OR BOUNDARY:	EXISTING NONRESIDENTIAL USE (NORTH)	SOUTH CHAMBERS ROAD	SLICEROO DRIVE	EXISTING NONRESIDENTIAL L USE (SOUTH)
BUFFER WIDTH REQ. / PROV.:	8' / 8'	10' / 10'	10' / 10'	8' / 8'
SCREENING LENGTH REQ. / PROV.:	0' / 0'	129' / 129'	75' / 75'	190' / 190'

Per Section 13.06.070(l)(5) one (1) tree and five (5) shrubs shall be planted for each one thousand five hundred (1,500) square feet of lot area not covered by a building or required parking.

Staff is unable to evaluate the landscape plan based on the information provided on this referral. Additional comments will be provided on the next referral. Please review Section 13.06.070 for required landscaping. Please ask staff if you have questions on what needs to be provided in the landscape evaluation tables.

Per Section 13.06.070, there are six (6) types of landscaping required for each developed parcel:
(1) Streetscape landscaping;
(2) Parking lot perimeter landscaping;
(3) Parking lot interior landscaping;
(4) Site perimeter landscaping; and (applies to all four sides of the property)
(5) Additional areas to be landscaped.

Please provide tables showing all types of landscaping requirements have been met. This includes the required 15 percent landscaping as found in Section 13.06.070(l) and the 75% living requirement. If you have any questions on what is required and/or need examples please let staff know.

PARKING LOT INTERIOR LANDSCAPING	
PARKING LOT AREA:	27,400 SF
PERCENT MIN. LANDSCAPE REQ.:	N/A (PER SECTION 13.06.070.P.2.A.1)
PARKING LOT LANDSCAPE AREA REQ. / PROV.:	N/A
NUMBER OF LANDSCAPE ISLANDS:	N/A
TREE PER ISLAND REQ.:	N/A
PARKING LOT TREES REQ. / PROV.:	N/A
SHRUBS PER ISLAND REQ.:	N/A
PARKING LOT SHRUBS REQ. / PROV.:	N/A
PLANT ABBREVIATION DENOTED ON PLAN:	N/A

INTERNAL LANDSCAPING	
NET SITE AREA:	52,450 SF
PERCENT MIN. INTERNAL LANDSCAPE:	15%
INTERNAL LANDSCAPE AREA REQ. / PROV.:	7,867 SF / 10,338 SF
TREE PER FEET REQ.:	1 TREE PER 1500 SF
INTERNAL TREES REQ. / PROV.:	8 / 9
SHRUBS PER FEET REQ.:	5 SHRUB PER 1500 SF
INTERNAL SHRUBS REQ. / PROV.:	37 / 37
EVERGREEN TREES REQ. / PROV.:	(25-50%) 2-4 / 3
PLANT ABBREVIATION DENOTED ON PLAN:	IN
% LIVE GROUND COVER REQ.:	75%
LIVE GROUND COVER REQ. / PROV.:	7,753 SF / 7,753 SF+

STREET TREE REQUIREMENTS			
STREET	STREET FRONTAGE LENGTH	REQUIRED TREES (1 TREE / 40 LINEAL FEET) REQUIRED/PROVIDED	
S. PARKER ROAD	119 LF	3 REQ./3 PROVIDED	
STROH ROAD	198 LF	5 REQ./5 PROVIDED	

TREES ARE EXISTING PRIOR TO DEVELOPMENT.
PROTECTION AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR: REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA; LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION; THE SAFETY AND PROTECTION THEREOF; REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.

PROTECTION OF EXISTING PLANT MATERIALS

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC.. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF FOUR HUNDRED DOLLARS (\$400) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL. FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL. FOR TREES OVER FOUR (4) INCHES IN CALIPER.
- SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.

MATERIALS

- GENERAL
MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER. UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL	SAMPLE SIZE
MULCH	ONE (1) CUBIC FOOT
TOPSOIL MIX	ONE (1) CUBIC FOOT
PLANTS	ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)
- PLANT MATERIALS
 - FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN ON DRAWINGS AND COMPLYING WITH ANSI Z60.1 AND THE COLORADO NURSERY ACT, AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
 - TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE.
 - NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE PROJECT LANDSCAPE ARCHITECT. ANY ROW TREES MUST BE APPROVED BY OFFICE OF THE CITY FORESTER.
 - PROVIDE PLANTS OF SIZES, GRADES, AND BALL OR CONTAINER SIZES COMPLYING WITH ANSI Z60.1 AND COLORADO NURSERY ACT FOR TYPES AND FORM OF PLANTS REQUIRED. PLANTS OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO PROJECT LANDSCAPE ARCHITECT WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
 - PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL INCLUDE THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.
 - TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND MAIN TRUNK; CROSSING TRUNKS; CUT-OFF LIMBS MORE THAN 1/2 (1/2) INCH (19 MM) IN DIAMETER, OR WITH STEM GIRDLING ROOTS WILL BE REJECTED.
 - FURNISH TREES AND SHRUBS WITH ROOT BALLS MEASURED FROM TOP OF ROOT BALL, WHICH SHALL BEGIN AT ROOT FLARE ACCORDING TO ANSI Z60.1 AND COLORADO NURSERY ACT. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.
 - LABEL AT LEAST ONE PLANT OF EACH VARIETY, SIZE, AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF COMMON NAME AND FULL SCIENTIFIC NAME, INCLUDING GENUS AND SPECIES. INCLUDE NOMENCLATURE FOR HYBRID, VARIETY, OR CULTIVAR, IF APPLICABLE FOR THE PLANT AS SHOWN ON DRAWINGS.
 - IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF PLANTS IS SHOWN ON DRAWINGS, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER THE LABELS TO ASSURE SYMMETRY IN PLANTING.
- SOIL MIXTURE

- CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW:
 - SOIL MIXTURE SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
 - TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT OPENINGS SHALL BE FERTILE, FRABLE, AND OF A LOAMY CHARACTER; REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER, FREE OF ROOTS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATERIAL HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER, HAVE A PH BETWEEN 5.5 AND 8.0, AND SOLUBLE SALTS LESS THAN 3.0 MMHOS/CM. SUBMIT SOIL SAMPLE AND PH TESTING RESULTS FOR APPROVAL.
 - SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.
 - TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.
- WATER
WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC.. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

- PROTECT ROOTS OF ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRIVING RAINS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILTRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
- B&B, AND FIELD GROWN (FG) PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.

CONTAINER GROWN STOCK

- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
- AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
- ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.

MATERIALS LIST

- QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE PLANS SHALL GOVERN. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.
- FINE GRADING
 - FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH.
 - ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.

PLANTING PROCEDURES

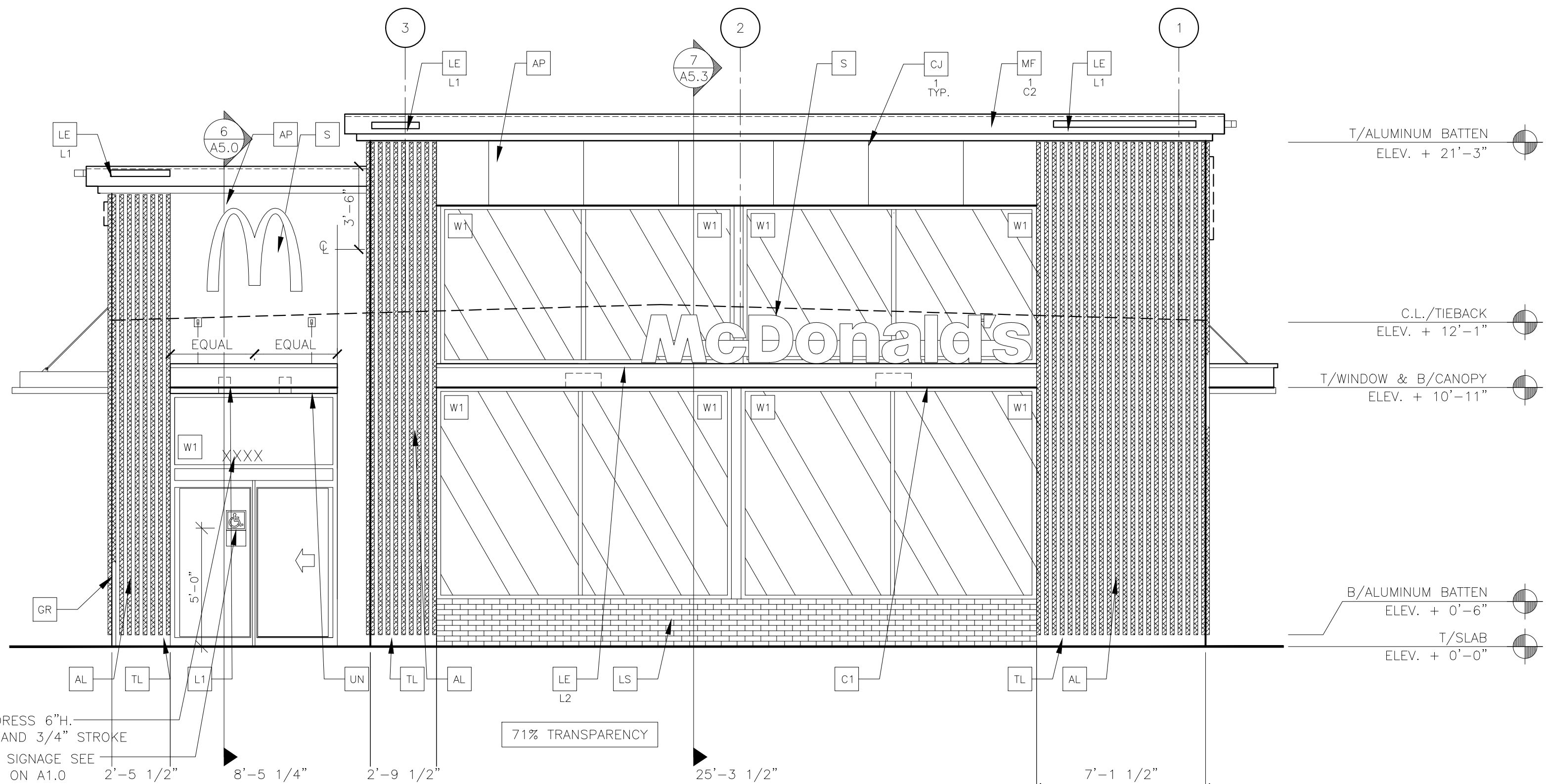
- THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, BUILDING MATERIALS, AND TOXIC MATERIAL SHALL BE COMPLETELY REMOVED FROM PLANTING AREAS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS IN PLANTING AREAS WHICH WILL ADVERSELY AFFECT THE PLANT GROWTH, THE CONTRACTOR SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
- VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES, CALL COLORADO (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL PLANTING AREAS TO A MINIMUM DEPTH OF 36" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL.
- FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
- COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEALED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE SHALL BE EXERCISED.
- WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APERTURNANCES AND PLANTS.
- ALL PLANTING OPENINGS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH ANSI Z60.1-2014 AMERICAN STANDARD FOR NURSERY STOCK.
- TEST ALL TREE OPENINGS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE. PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL.
- TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FLUSH HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN.
- PRIOR TO EXCAVATION OF TREE OPENINGS, AN AREA EQUAL TO TWO TIMES THE DIAMETER OF THE ROOT BALL SHALL BE ROTO-TILLED TO A DEPTH EQUAL TO THE DEPTH OF THE ROOT BALL.
- EXCAVATION OF TREE OPENINGS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.
- IN CONTINUOUS SHRUB AND GROUND COVER BEDS, THE ROTO-TILLED PERIMETER SHOULD EXTEND TO A DISTANCE OF ONE FOOT BEYOND THE DIAMETER OF A SINGLE ROOT BALL. THE BED SHALL BE TILLED TO A DEPTH EQUAL TO THE ROOT BALL DEPTH PLUS 6".
- TREE OPENINGS FOR WELL DRAINED SOILS SHALL BE DUG SO THAT THE BOTTOM OF THE ROOT BALL WILL REST ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL WILL BE FLUSH WITH FINISH GRADE. IN POORLY DRAINED SOILS THE TREE OPENING SHALL BE DUG SO THAT THE ROOT BALL RESTS ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL IS 1" ABOVE FINISH GRADE. PLANT PIT WALLS SHALL BE SCARIFIED PRIOR TO PLANT INSTALLATION.
- TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
- SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION 'E'.
- TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL.

TITLE	SITE PLAN	DATE	7/1/21	REVISION	1	DATE	9/27/21
DESCRIPTION	LANDSCAPE NOTES	SITE ADDRESS	LOT 3, DOUGLAS 234 FILING NO. 6	REV	1	DATE	
PREPARED BY:	McDonald's USA, LLC	DRAWN BY:	JMM	REVISION	1	DATE	
REVIEWED BY:	JRH	DATE ISSUED	9/3/2021	DESCRIPTION			
These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared in accordance with the terms and conditions of the contract. Use of these drawings for reference or example on another project requires the use of the contract documents for that project. Use of these drawings for any other purpose is unauthorized.							
Kimley»Horn							
FOR REVIEW ONLY NOT FOR CONSTRUCTION Kimley»Horn and Associates, Inc.							
JMM							

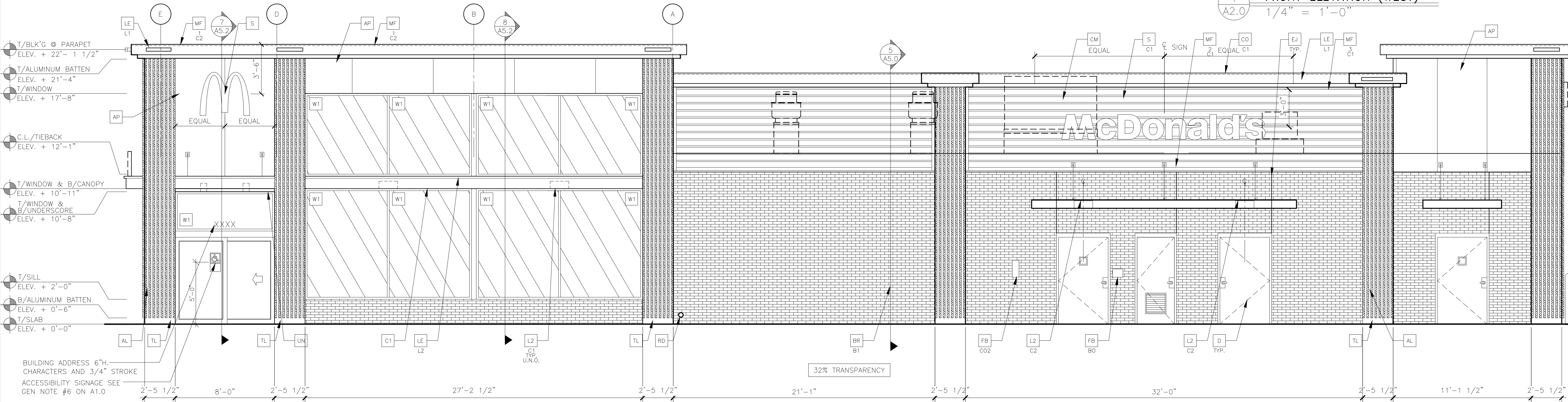
Where will the electrical panels be located on the building? This will need to be painted to match the building and screened with landscaping.

- T/BLK'G @ PARAPET
ELEV. + 22'-1 1/2"
- T/BLK'G @ PARAPET
ELEV. + 18'-9 1/2"
- T/ALUMINUM BATTEN
ELEV. + 18'-3"
- T/ROOF DECKING
ELEV. + 13'-9"
- B/CANOPY
ELEV. + 10'-11"
- T/WINDOW & B/UNDERSCORE
ELEV. + 10'-8"
- T/SILL
ELEV. + 2'-0"
- T/SLAB
ELEV. + 0'-0"

BUILDING ADDRESS 6"H.
CHARACTERS AND 3/4" STROKE
ACCESSIBILITY SIGNAGE SEE
GEN NOTE #6 ON A1.0



1 FRONT ELEVATION (WEST)
1/4" = 1'-0"



2 NON-DRIVE-THRU ELEVATION (SOUTH)
1/4" = 1'-0"

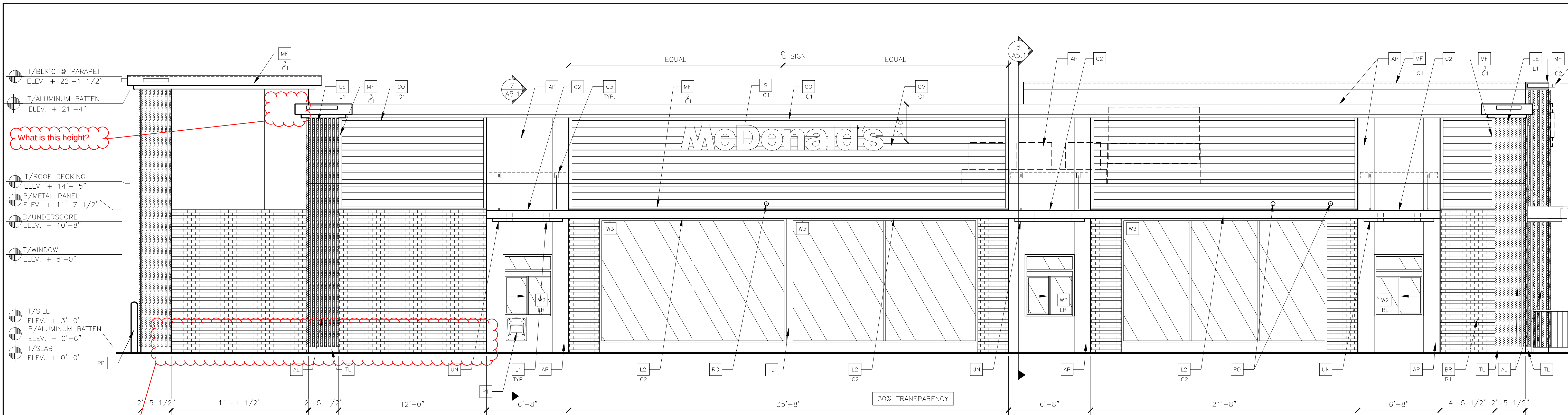
KEY NOTES:

- AL ALUMINUM BATTEN SYSTEM
SIZE: 2"x2" PROFILE
COLOR: WOOD GRAIN, BACKRAIL UNFINISHED, ENDCAP PAINTED TO MATCH SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB, GROUP 1, HDO BOTH FACES, APA TRADEMARKED.
COURSE GRIT SAND SURFACES PRIOR TO PRIMING. PRIME AND PAINT BOTH SIDES AND ALL EDGES.
SUBSTRATE COLOR: "IRON ORE" 7069 BY SHERWIN WILLIAMS
- AP ALPOLIC METAL PANEL (COLOR: RAL 7022)
- BR B1-COLOR:
B1 = "SILVERADO" SMOOTH, MODULAR BY HEBON BRICK COMPANY
- C1 ALUMINUM CANOPY SYSTEM W/FASCIA
COLOR: WHITE
- C2 ALUMINUM CANOPY SYSTEM
COLOR: RAL 7022
- C3 ALUMINUM CANOPY TIEBACK
COLOR: RAL 7022
GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS
- CJ CONTROL JOINT
1-TYPE: 1 = ALPOLIC
- CM 7" REVEAL METAL WALL PANEL SYSTEM BY METAL ERA
C1-COLOR:
C1 = WEATHERED ZINC
- CO CORNICE
C1-COLOR: WEATHER ZINC
- D HOLLOW METAL DOOR
PAINT: "FAIRVIEW TAUPE" HC-85 BY BENJAMIN MOORE
- DE DECAL BY GRAPHICS SUPPLIER
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.
SUPPLIERS:
YOMELA (865) 330-7337, ann.bowen@yomela.com
GFX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com
- EJ EXPANSION JOINT, SEE DETAIL 7/A4.1
- FB C02 = CO2 = BULK CO2 FILL BOX (EOPM SCHEDULE ITEM 49.00)
BO = BULK OIL FILL BOX (EOPM SCHEDULE ITEM 700.18)
- GR GUARD RAIL -SEE CIVIL SITE PLAN FOR EXACT LOCATION AND LENGTH
PAINT: "IRON ORE" 7069 BY SHERWIN WILLIAMS
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COLOR: GOLD
- L2 RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL
C1-COLOR:
C1 = WHITE
C2 = PLATINUM SILVER

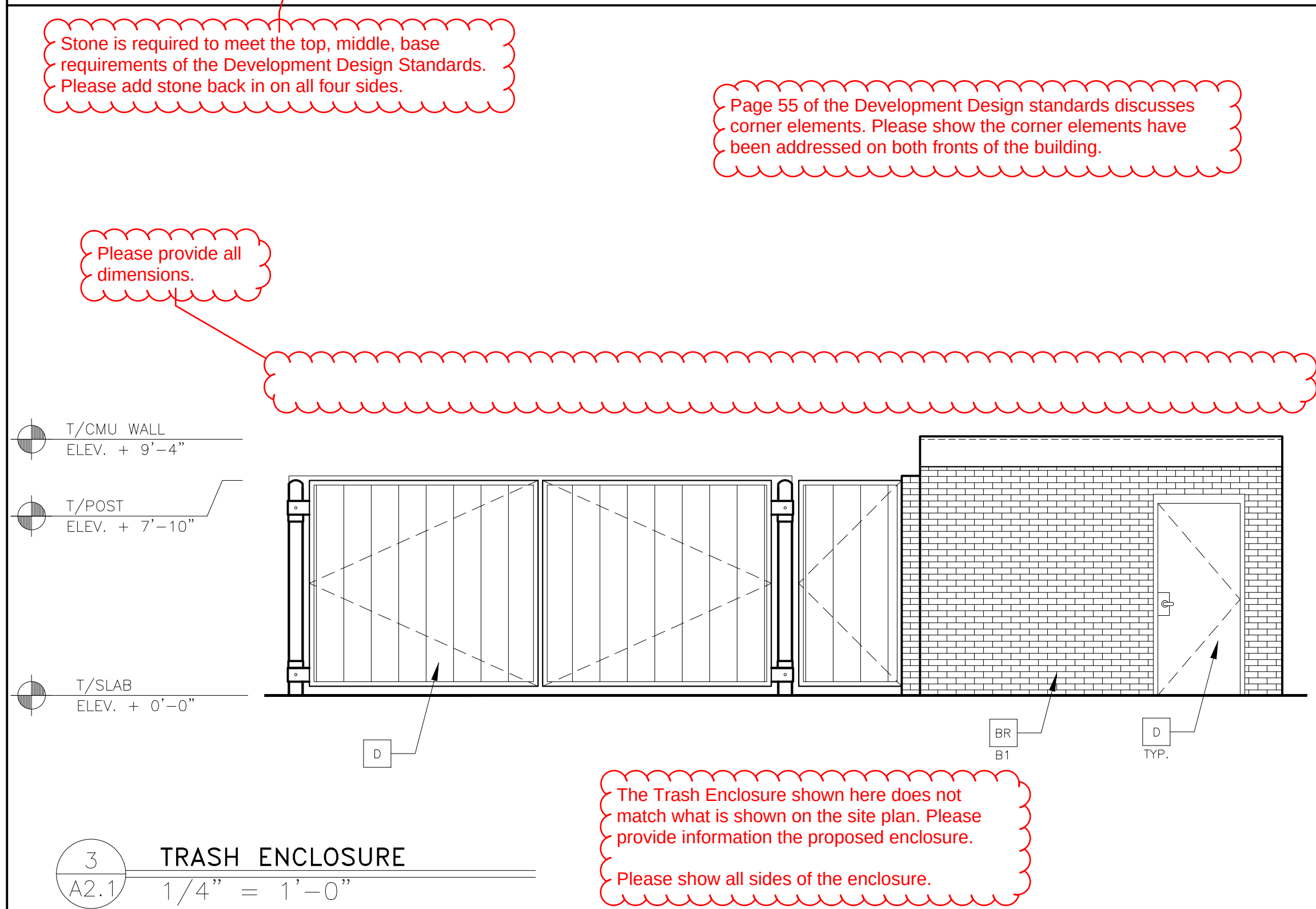
- LE ACCENT LIGHTING - SEE ELECTRICAL
L1-LED LIGHT:
L1 = SLIM LED (DOWN ONLY)
L2 = INTEGRAL CANOPY FIXTURE
L3 = UP ONLY FLOOD FIXTURE
- LS CULTURED STONE BY BORAL
HEWN STONE, COLOR: FOUNDATION
(TO BE VERIFIED WITH McDONALDS ACM)
CONTACT: KEVEN REIDY, (717) 377-2746
- MF METAL FASCIA
1-TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = BOTTOM TRIM AT METAL REVEAL PANEL
3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES
COLOR:
C1= WEATHERED ZINC
C2= RAL 7022
- FB PIPE BOLLARD - PAINTED YELLOW
- PT (RWHC) COIN COLLECTOR
MODEL: #WPT STD CALL 1-888-743-7435 TO ORDER
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
C1-COLOR:
C1 = WEATHERED ZINC RACEWAY
C2 = RAL 7022 RACEWAY
- SP SPANDREL GLASS
- TL TILE (@ BASE OF BATTEN SYSTEM)
EUROWEST: E-WOOD COLLECTION; COLOR: R9 BLACK; SIZE:6"x24"
WATERPROOFING SETTING MATERIAL AND GROUT: BY MAPEI
GROUT COLOR: ULTRA COLOR PLUS - 47 CHARCOAL
GROUT WIDTH: 1/8" TO 3/16"
CONTACT: JAN DETER, (714) 937-7500
- UN METAL UNDERSCORE
COLOR: GOLD

- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS
COLOR: DARK BRONZE
- W2 DRIVE-THRU WINDOW BY READY ACCESS
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL OPEN; ELECTRONIC RELEASE
COLOR: DEEP BRONZE
SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT
- W3 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS
COLOR: DARK BRONZE
BACK LIT GLAZING

TITLE		DRAWN BY		PREPARED FOR:		PREPARED BY:		REVISIONS		DATE		DESCRIPTION		BY	
2017 STANDARD BUILDING - BB20		B.ABDALLA		© 2019 McDonald's USA, LLC		B.ABDALLA		1		2021_05		McDonald's USA, LLC		BY	
4597		2021_05		These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the approval of McDonald's USA, LLC. The contract documents for use on another project are not authorized.		REVIEWED BY		1		2021_05		McDonald's USA, LLC		BY	
WOOD TRUSS ROOF FRAMING		MARC PELINI		DATE ISSUED		DATE ISSUED		1		2021_05		McDonald's USA, LLC		BY	
E.L.F.S./BATTEN PANEL/BRICK EXTERIOR FINISH		05/12/21		C.S.G. PROJECT #		C.S.G. PROJECT #		1		2021_05		McDonald's USA, LLC		BY	
SITE ADDRESS		CHAMBERS & HESS		PARKER, CO		PARKER, CO		1		2021_05		McDonald's USA, LLC		BY	
005-0785.00.0		A2.0		ELEVATIONS		ELEVATIONS		1		2021_05		McDonald's USA, LLC		BY	



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1/4" = 1'-0"



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SLIDE DIRECTION: RL = RIGHT TO LEFT
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W3 EXTERIOR WINDOW ASSEMBLY — TEMPERED GLASS
COLOR: DARK BRONZE
BACK LIFT GLAZING

THE TRASH ENCLOSURE SHOWN HERE DOES NOT MATCH WHAT IS SHOWN ON THE SITE PLAN. PLEASE PROVIDE INFORMATION THE PROPOSED ENCLOSURE.

PLEASE SHOW ALL SIDES OF THE ENCLOSURE.

PLEASE PROVIDE ADDITIONAL INFORMATION ON THE PROPOSED WINDOWS AND DIFFERENCE BETWEEN THE WINDOW TYPES. ARE THESE ALL TRANSPARENT, GLAZED, BACK LIT, ETC.?

PREPARED BY: CORE STATES GROUP
12709 Walnut Road
Suite 102
314.937.2660
www.corestates.com

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DRAWN BY	B.ABDALLA
STD ISSUE DATE	2021_05
REVIEWED BY	MARC PELINI
DATE ISSUED	05/12/21
C.S.G. PROJECT #	MCD.26562

TITLE	2017 STANDARD BUILDING — BB20
DESCRIPTION	4597 — WOOD/WOOD
WOOD BEARING WALLS W/4" BRICK EXTERIOR FINISH & GI	
WOOD TRUSS ROOF FRAMING	
ELF.S/BATTEN/METAL PANEL/BRICK EXTERIOR FINISH	
SITE ID	CHAMBERS & HESS
005-0785	

005-0785.00.0

A2.1
ELEVATIONS

Please add all the dimensions and notes for the elevations on both the colored and black/white.

Please provide a physical material board. This application will not be sent out for the next review until a physical material board is provided to staff.

Please see comment on the site plan. This enclosure does not match what is shown on the site plan.

Rear Elevation (East)

Non-Drive-Thru Side Elevation (North)

Drive-Thru Side Elevation (South)

Materials Legend

- Modular Face Brick (Main Building)
"Silverado" by Hebron Brick
- Metal (Coping) & Aluminum Trellis
"RAL 7022" by Metal-Era
- Aluminum Canopy (Prefinished Metal)
White
- Glazing (Windows & Storefront)
1" Insulated Clear Glass
- Metal (Coping)
"Weathered Zinc" by Metal-Era
- Apollic Metal Panel
"RAL 7022" by Metal-Era
- Aluminum Underscore (Prefinished)
"Gold"
- Battens (Aluminum)
B+N Industries
Color: Wood Grain
- Paint
"Fairview Taupe" by Benjamin Moore

Per page 68 of the Development Design Standards, field painted standard metal siding is a prohibited material. Please provide information showing the proposed material is an approved material.

The proposed mural behind the windows would count as signage. Please adjust accordingly.

All murals need to be approved through the site plan process. Please provide additional information on what mural is being proposed.