



Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

MEMORANDUM

TO: Jessica McCallum, Kimley Horn
FROM: BrieAnna Simon, Associate Planner
DATE: January 5, 2022
SUBJECT: Douglas 234 F6 AMD 1 L3 – McDonalds (SP21-067)
Review Comments v3

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER: BrieAnna Simon

EMAIL: bsimon@parkeronline.org

PHONE: 303.805.3338

GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at:
[Parker 2035 Master Plan](#)
[Development Design Standards](#)
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**
6. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKIT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not refer the application out with this naming convention.
Example: "02" or "Second Submittal"

7. **Prairie Dog Management:** The Town’s current land development ordinance section 13.10.250 - Prairie Dog Management requires applicants/developers to make a good faith effort to have any prairie dogs on site relocated. Documentation of this effort will be a condition of the land use application approval/site development and a certificate of compliance will be required prior to issuance of the grading permit. If relocation of the prairie dogs is not available, humane extermination may be considered. Prairie Dog management should begin as early as possible during the review process. Please coordinate with staff.

Site Plan and Project Details

1. **Please see the attached redlines for additional information.**

Comment Addressed: Yes No
Response:

2. **Please note, additional public comments were received. Please respond to all additional comments and let staff know how public comments from residents will be responded to.**

Comment Addressed: Yes No
Response:

3. **Please note, the site plan cannot be approved until after the replat is recorded. If the property is closed on prior to the replat, the owner will be required to sign the replat.**

Comment Addressed: Yes No
Response:

OUTSIDE REFERRAL AGENCY COMMENTS

Please address all outside referral agency comments with a written response. The following agencies have provided comments for review:

- Town of Parker – Environmental (Construction Plans)
- Fire Life Safety
- Parker Water and Sanitation
- Town of Parker – Civil (Site Plan)
- Town of Parker – Stormwater (Site Plan)
- Town of Parker – Civil (Traffic Impact Study)

These comments are available on eTRAKiT. Please address accordingly.

Comment(s) Addressed: Yes No

Response:

Property Owner

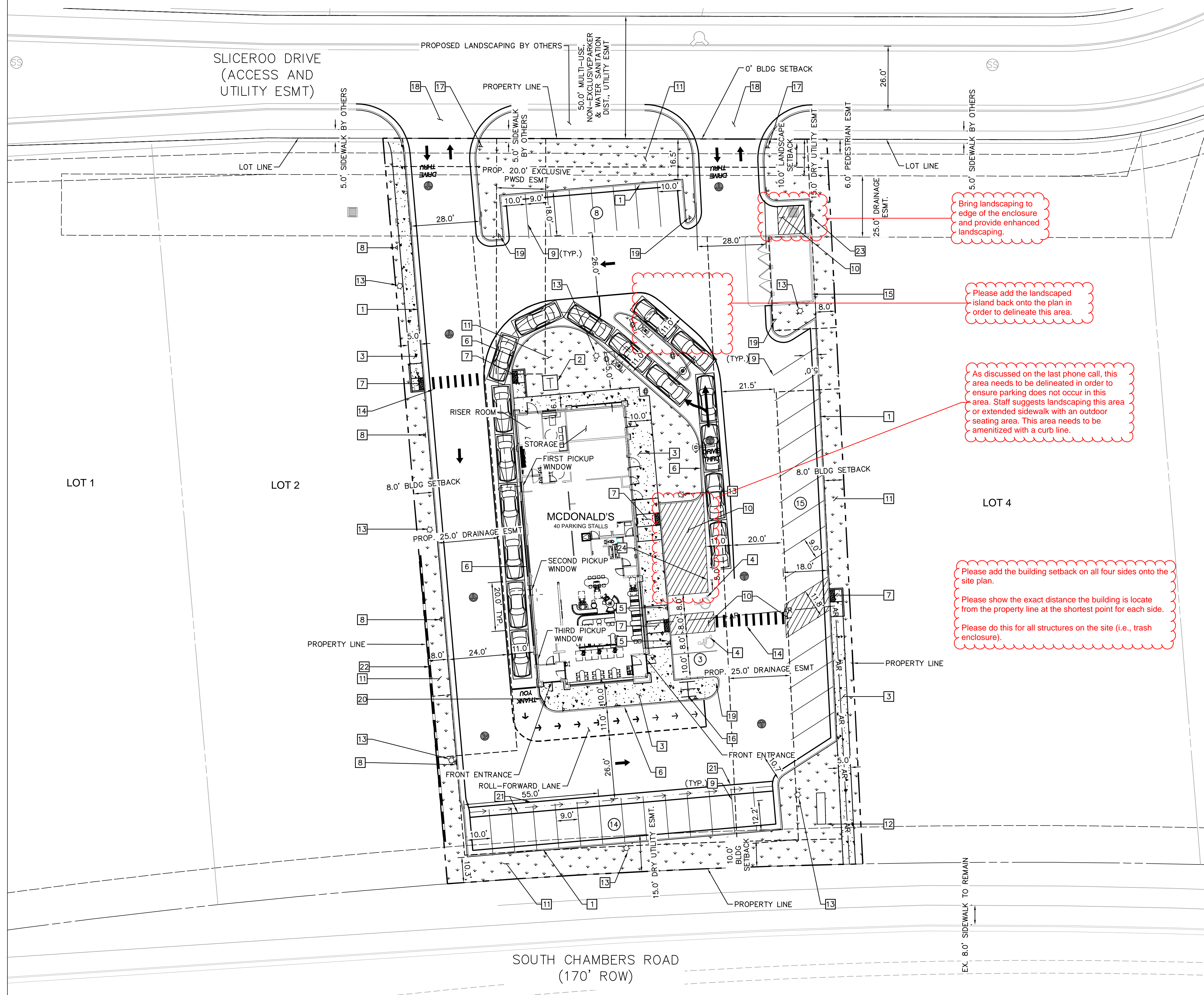
Date

Project Representative

Date

DOUGLAS 234 FILING NO. 6, LOT 3

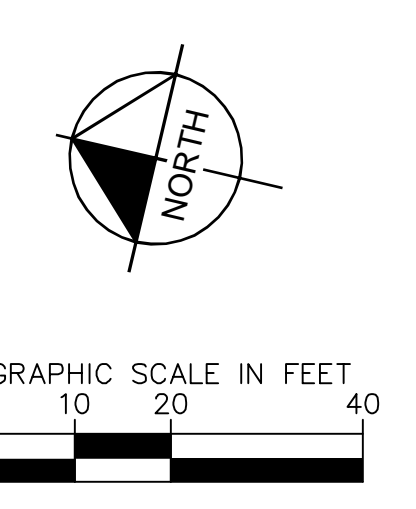
A PORTION OF THE SOUTHEAST 1/4 OF THE SECTION 29,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
SITE PLAN



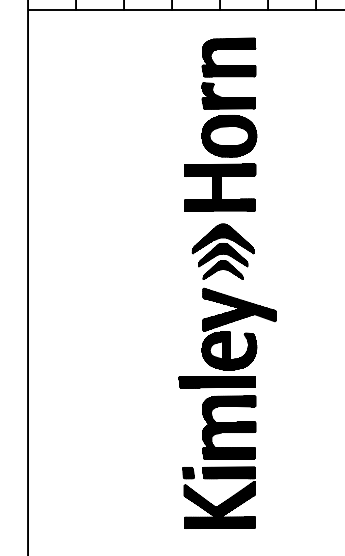
LEGEND

---	PROPERTY LINE
- - -	SETBACK
- · - · -	EASEMENT
AR	ACCESSIBLE ROUTE
▬	WALL
▨	LANDSCAPE
▩	CONCRETE SIDEWALK
⊕	PARKING STALL COUNT

- KEY NOTES**
- PROPOSED CURB AND GUTTER
 - PROPOSED TRANSFORMER LOCATION
 - PROPOSED CONCRETE SIDEWALK (DIMENSION PER PLAN)
 - PROPOSED ADA SYMBOL
 - PROPOSED ADA SIGN
 - PROPOSED 6" WIDE X 6" TALL CURB HEAD
 - PROPOSED ADA RAMP
 - PROPOSED "NO PARKING FIRE LANE" SIGN
 - PROPOSED 4" WIDE PARKING STRIPE
 - PROPOSED 4" WIDE DIAGONAL PAVEMENT MARKINGS AT 36" ON CENTER
 - PROPOSED LANDSCAPING (REF. LANDSCAPING PLANS)
 - PROPOSED MONUMENT SIGN (ALL SIGNS ARE REVIEWED UNDER SEPARATE PERMIT)
 - PROPOSED SITE LIGHT (REF. PHOTOMETRIC PLANS FOR DETAILS)
 - PROPOSED CROSSWALK
 - PROPOSED TRASH ENCLOSURE
 - PROPOSED BIKE PARKING (3 SPACES)
 - PROPOSED STOP SIGN
 - PROPOSED DRIVEWAY ACCESS
 - PROPOSED "DO NOT ENTER" SIGN
 - PROPOSED GUARD RAIL
 - PROPOSED 4" CONCRETE GUTTER PAN
 - PROPOSED RETAINING WALL
 - PROPOSED NO PARKING SIGN
 - PROPOSED FLEXIBLE DELINEATOR SPACED EVERY 5' ALONG STRIPED AISLE



TITLE		DRAWN BY		DATE	
SITE PLAN		JIM		7/1/21	
DESCRIPTION		REVIEWED BY		DATE	
SITE PLAN		JRH		9/2/2021	
SITE ID		SITE ADDRESS		DATE	
0050785		LOT 3, DOUGLAS 234 FILING NO. 6		REV	
				BY	
				DESCRIPTION	
				REVISION 3	
				REVISION 2	
				REVISION 1	



PRELIMINARY
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Kimley-Horn and Associates, Inc.

PREPARED FOR:
McDonald's USA, LLC
These drawings and specifications are the confidential and proprietary information of McDonald's USA, LLC. The contract documents prepared for use on this specific site in conjunction with its issue date and are not suitable for use on a different site or at a later time. The services of properly licensed architects and engineers, reproduction of the contract documents for reuse on another project is not authorized.



DOUGLAS 234 FILING NO. 6, LOT 3

A PORTION OF THE SOUTHEAST 1/4 OF THE SECTION 29,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
SITE PLAN

LEGEND

--- PROPERTY LINE

NOTES:

DISTANCE BETWEEN READINGS IS 10'

LIGHT POLE SHALL BE PLACED AT LEAST 18" FROM BACK OF CURB ADJACENT TO HEAD IN PARKING STALLS.

DETAILS:

MOUNTING HEIGHT = 25' (22' POLE + 3' BASE)
MOUNTING HEIGHT MEASURED FROM TOP OF FIXTURE TO FINISHED GRADE
TILT = 0
LIGHTS ARE CUTOFF WITH FLAT GLASS LENS
CALCULATION GRIDS ARE AT GRADE (Z=0)

There must be a numeric value associate with the Max/Min and Avg/Min ratio. If the ratios are zero please remove the zero values from the area and recalculate.

Per Section 13.10.140 for pedestrian safety and orientation, medium activity lots the maximum Uniformity Ratio (average to minimum) is 3:1.

Per Section 13.10.140 for pedestrian safety and orientation, medium activity lots the maximum Uniformity Ratio (maximum to minimum) is 10:1.

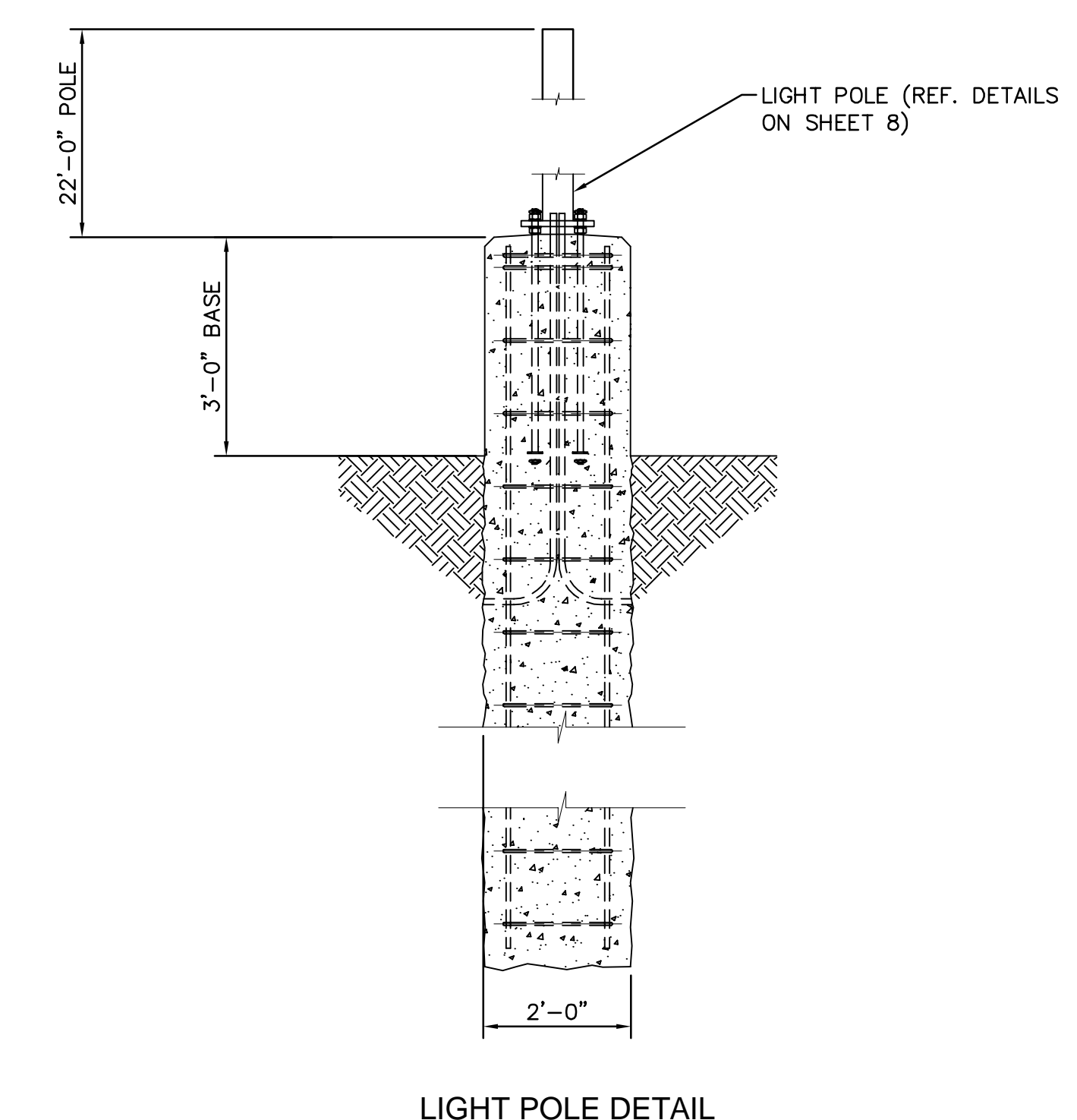
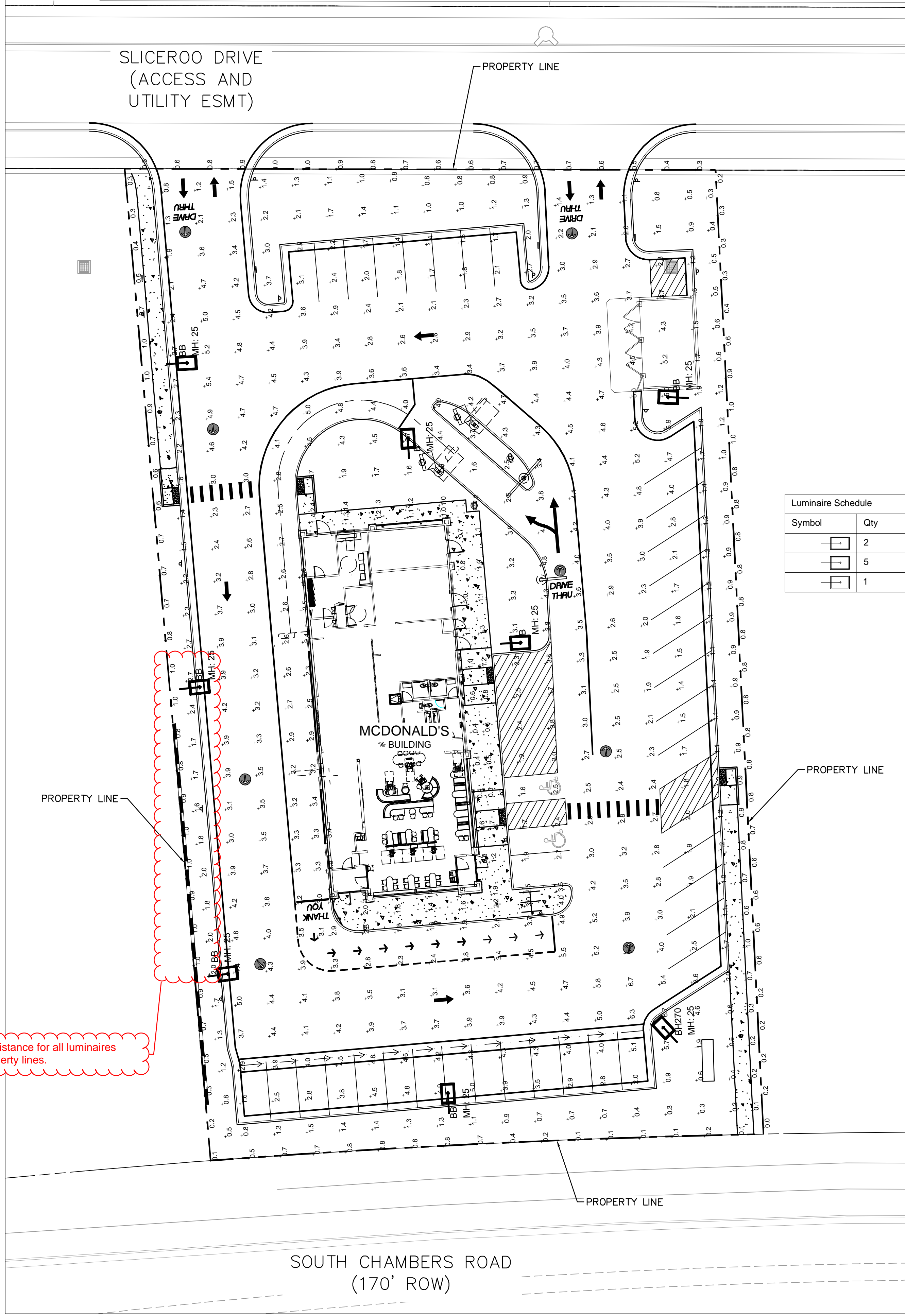
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PROPERTY LINE READINGS	Illuminance	Fc	0.62	1.0	0.0	N.A.	N.A.
PAVED SURFACE READINGS	Illuminance	Fc	3.23	6.70	1.00	3.23	6.70

Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	Lum. Lumens	EPA	Mtg Height	Pole Type	Mounting Type
[Symbol]	2	B	SINGLE	0.900	VP-L-96L-280-5K7-4W	280	27708	.55	25	SES-22-40-1-GL-TA-DB (4")	POLE
[Symbol]	5	BB	SINGLE	0.900	VP-L-96L-280-5K7-4W-BC	280	17716	.55	25	SES-22-40-1-GL-TA-DB (4")	POLE
[Symbol]	1	BH270	SINGLE	0.900	VP-L-96L-280-5K7-4-HSS-270-FB	280	19503	.55	25	SES-22-40-1-GL-TA-DB (4")	POLE

Please clearly label which lights are which in the cut sheets that follow.

Please add finish for each fixture to the Luminaire Schedule.

Please add distance for all luminaires from the property lines.



Kimley»Horn

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TITLE	DESCRIPTION	DATE	REV	DATE	DESCRIPTION	BY
SITE PLAN	PHOTOMETRIC PLAN	7/1/21	3	11/22/21	REVISION 3	JUM
			2	9/27/21	REVISION 2	JUM
			1	6/11/21	REVISION 1	JUM

DRAWN BY: JUM
SITE ADDRESS: LOT 3, DOUGLAS 234 FILING NO. 6
SITE ID: 0050785

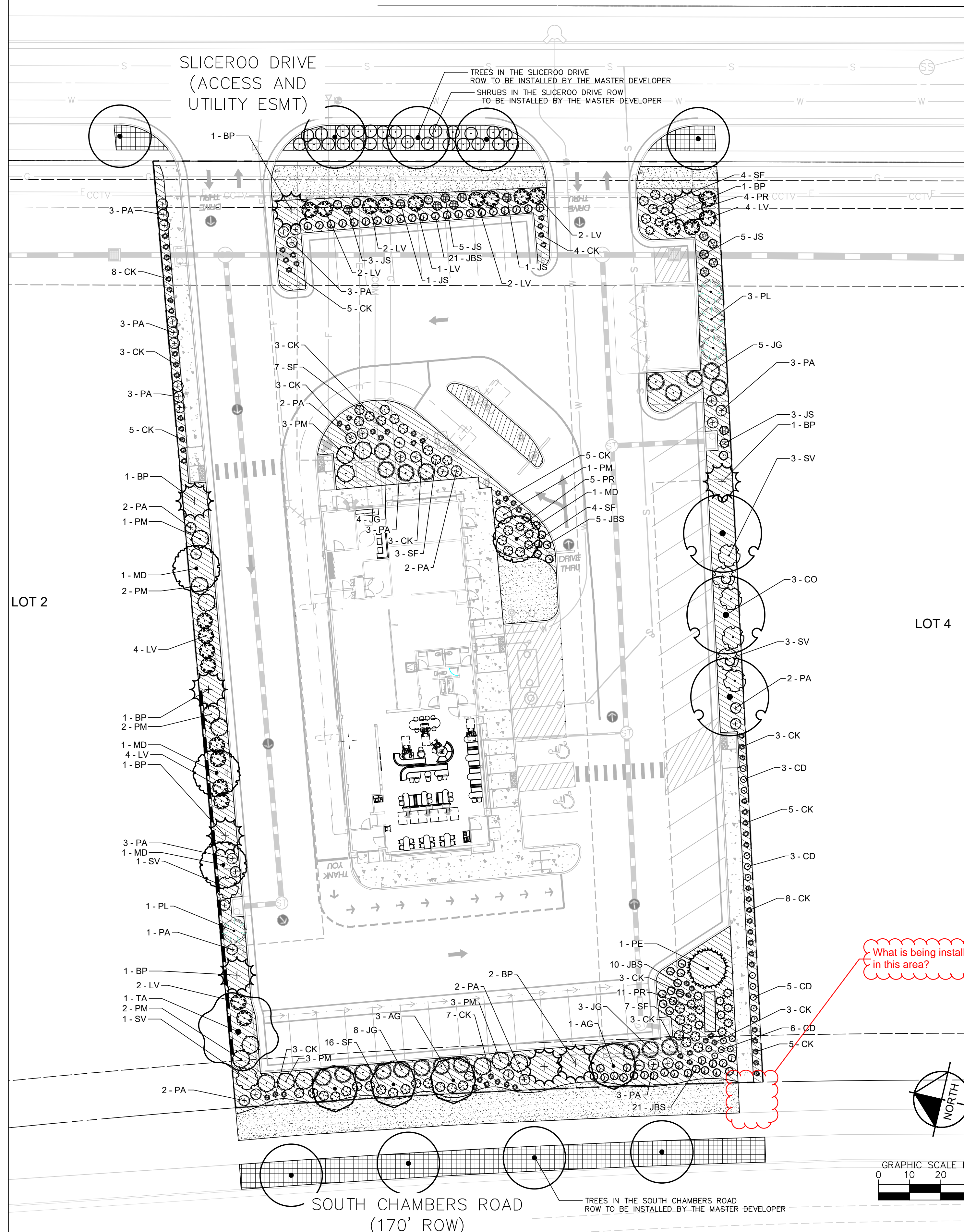
811 Know what's below. Call before you dig.

6

DOUGLAS 234 FILING NO. 6, LOT 3

A PORTION OF THE SOUTHEAST 1/4 OF THE SECTION 29,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE PLAN



PLANT SCHEDULE

BY MASTER DEVELOPER	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SIZE/CAL	WIDTH	HEIGHT
TREE MD		9	TREE BY MASTER DEVELOPER	EXISTING			
DECIDUOUS TREES							
CO		3	CELTIS OCCIDENTALIS / COMMON HACKBERRY	B & B	2' CAL MIN	40'-50'	50'-60'
TA		1	TILIA AMERICANA / AMERICAN LINDEN	B & B	2' CAL MIN	30'-40'	40'-50'
EVERGREEN TREES							
BP		9	PINUS ARTISTATA / BRISTLECOONE PINE	B & B	6' HGT.	10'-15'	20'-30'
PE		1	PINUS EDULIS / PINON PINE	B & B	6' HGT.	10'-15'	20'-30'
PL		4	PINUS LEUCODERMIS 'SALEUT' / MINT TRUFFLE BOSNIAN PINE	B & B	6' HGT.	8'-10'	15'-20'
ORNAMENTAL TREES							
AG		4	ACER GINNALA / AMUR MAPLE	B & B	2' CAL MIN	15'-20'	15'-20'
MD		4	MALUS 'DOLGO' / DOLGO CRABAPPLE	B & B	2' CAL MIN	15'-20'	15'-20'
BY MASTER DEVELOPER							
SHRUB M		26	SHRUB BY MASTER DEVELOPER	EXISTING			
DECIDUOUS SHRUBS							
LV		23	LIGUSTRUM VULGARE 'CHEYENNE' / CHEYENNE PRIVET	5 GAL.	SEE PLAN	4'-6'	6'-8'
PA		37	PEROVSKIA ATRIPLICIFOLIA / RUSSIAN SAGE	5 GAL.	SEE PLAN	3'-5'	3'-5'
SF		41	SPIREJA JAPONICA 'NEON FLASH' / NEON FLASH SPIREA	5 GAL.	SEE PLAN	2'-4'	2'-3'
SV		8	SYRINGA VULGARIS 'WEDGWOOD BLUE' / WEDGWOOD BLUE LILAC	5 GAL.	SEE PLAN	6'-8'	6'-8'
EVERGREEN SHRUBS							
JBS		57	JUNIPERUS SQUAMATA 'BLUE STAR' / BLUE STAR JUNIPER	5 GAL.	SEE PLAN	2'-3'	12'-18'
JG		20	JUNIPERUS X MEDIA 'SEA GREEN' / SEA GREEN JUNIPER	5 GAL.	SEE PLAN	6'-8'	5'-6'
JS		18	JUNIPERUS SCOPULORUM 'SKYROCKET' / SKYROCKET JUNIPER	5 GAL.	SEE PLAN	2'-3'	10'-12'
PM		17	PINUS MUGO 'BIG TUNA' / MUGO PINE	5 GAL.	SEE PLAN	6'-8'	6'-8'
PR		20	PICEA PUNGENS 'ROUNDAABOUT' / ROUNDAABOUT COLORADO SPRUCE	5 GAL.	SEE PLAN	2'-3'	2'-3'
GRASSES							
CK		80	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	5 GAL.	SEE PLAN	18"-24"	4'-5'
PERENNIALS							
CD		17	CENTAUREA DEALBATA / PERSIAN CORNFLOWER	1 GAL.	SEE PLAN	18"-24"	18"-24"
GROUND COVERS							
MASTER		2,155 SF	GROUND COVER BY MASTER DEVELOPER INSTALLED AT A MINIMUM DEPTH OF 3" OVER WEED BARRIER FABRIC. SUBMIT SAMPLE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.	---			
ROCK2		9,150 SF	3/4" - 1-1/2" COLORADO ROCK MULCH INSTALLED AT A MINIMUM DEPTH OF 3" OVER WEED BARRIER FABRIC. SUBMIT SAMPLE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.	ROCK MULCH	3" DEPTH	YES	PIONEER SAND
SOD		3,040 SF	POA PRATENSIS / KENTUCKY BLUEGRASS	---			

What is being installed/provided in this area?

The landscape plans cannot be approved until all of the landscape requirements outlined in Section 13.06.070 have been met. Tables showing these requirements have been met must be included in the site plan. Please add the tables back in and review the comments from the previous set of plans. Please note, a full review of the landscape plans was unable to be completed with this referral.

Kimley»Horn

PREPARED FOR: **McDonald's USA, LLC**

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Kimley»Horn
Kimley-Horn and Associates, Inc.

TITLE	SITE PLAN
DESCRIPTION	LANDSCAPE PLAN
SITE ID	0050785
SITE ADDRESS	LOT 3, DOUGLAS 234 FILING NO. 6
DRAWN BY	JJM
STD ISSUE DATE	7/1/21
REVIEWED BY	JRH
DATE ISSUED	9/3/2021
REVISION 3	11/22/21
REVISION 2	9/27/21
REVISION 1	6/11/21
DATE	REV
DESCRIPTION	BY

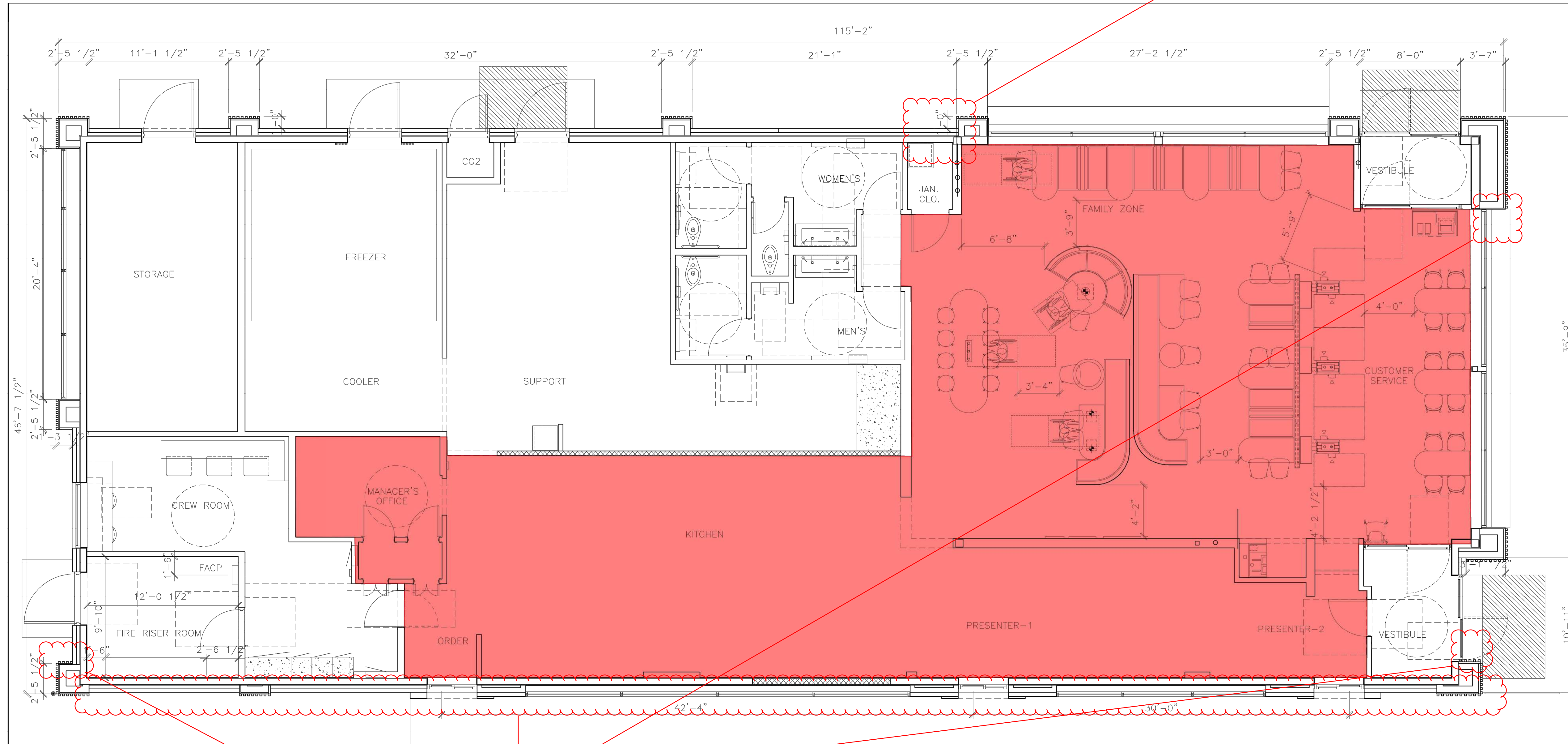
9



DOUGLAS 234 FILING NO. 6, LOT 3

A PORTION OF THE SOUTHEAST 1/4 OF THE SECTION 29,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
SITE PLAN

Per page 54 of the Development Design Standards, buildings over 60 feet in length shall require a vertical massing break at a distance of 25 to 50 feet on front and sides. Stepbacks shall be increased based on the massing or architecture of the building and shall be a minimum of 24 inches in horizontal distance.
Please adjust accordingly.



Please provide all measurements on all sides of the building so staff can determine if the massing break requirements have been met.

1 FLOOR PLAN
R1.3 1/4"=1'-0"

4597- WW PLAN
4,456 GROSS SQ. FT.
70 SEATS (4 ACCESSIBLE SEATS)

NET LEASABLE AREA = 3,421 SQUARE FEET

THIS DRAWING IS FOR REFERENCE ONLY NOT FOR CONSTRUCTION SEATING LAYOUT IS SCHEMATIC, THE FINAL SEATING LAYOUT TO BE PROVIDED BY OTHERS.

REVISION 3	11/22/21	REVISION 3	JJM
REVISION 2	9/27/21	REVISION 2	JJM
REVISION 1	6/11/21	REVISION 1	JJM
REV	DATE	REV	DATE
DESCRIPTION		DESCRIPTION	
BY		BY	



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McDonald's USA, LLC
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TITLE	2017 STANDARD BUILDING - BB20	DATE	7/1/21
DESCRIPTION	4597 - WOOD/WOOD	REVIEWED BY	JRH
SITE ID	005-0785.00.0	DATE ISSUED	9/3/2021
SHEET NO.	R1.3	SITE ADDRESS	CHAMBERS & HESS PARKER, CO
DESCRIPTION	SEATING PLAN	C.S.C. PROJECT #	MCD-26562

Kimley»Horn

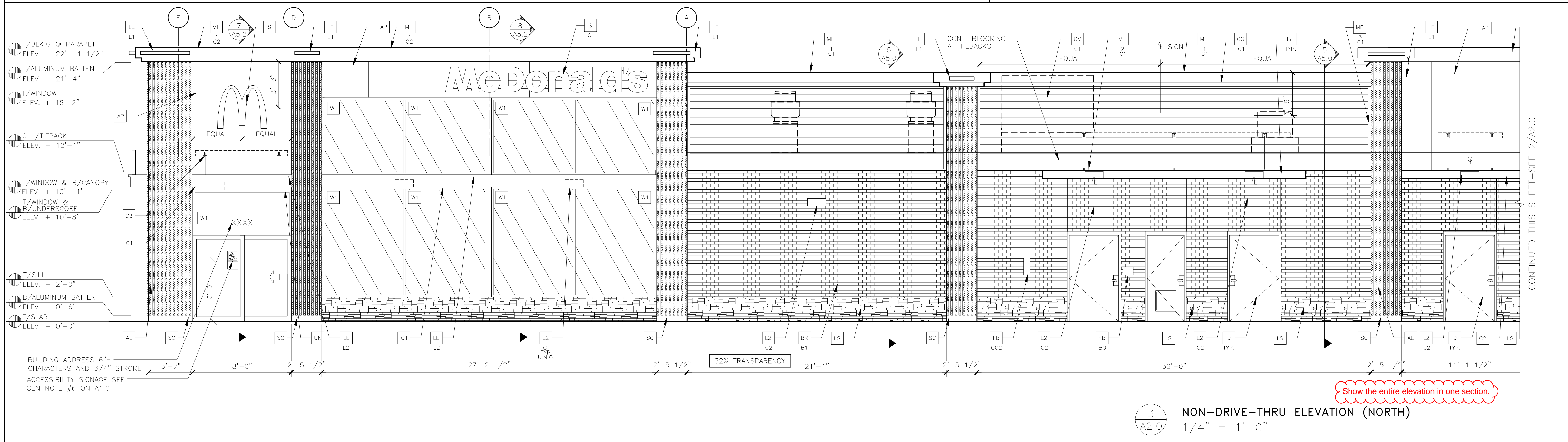
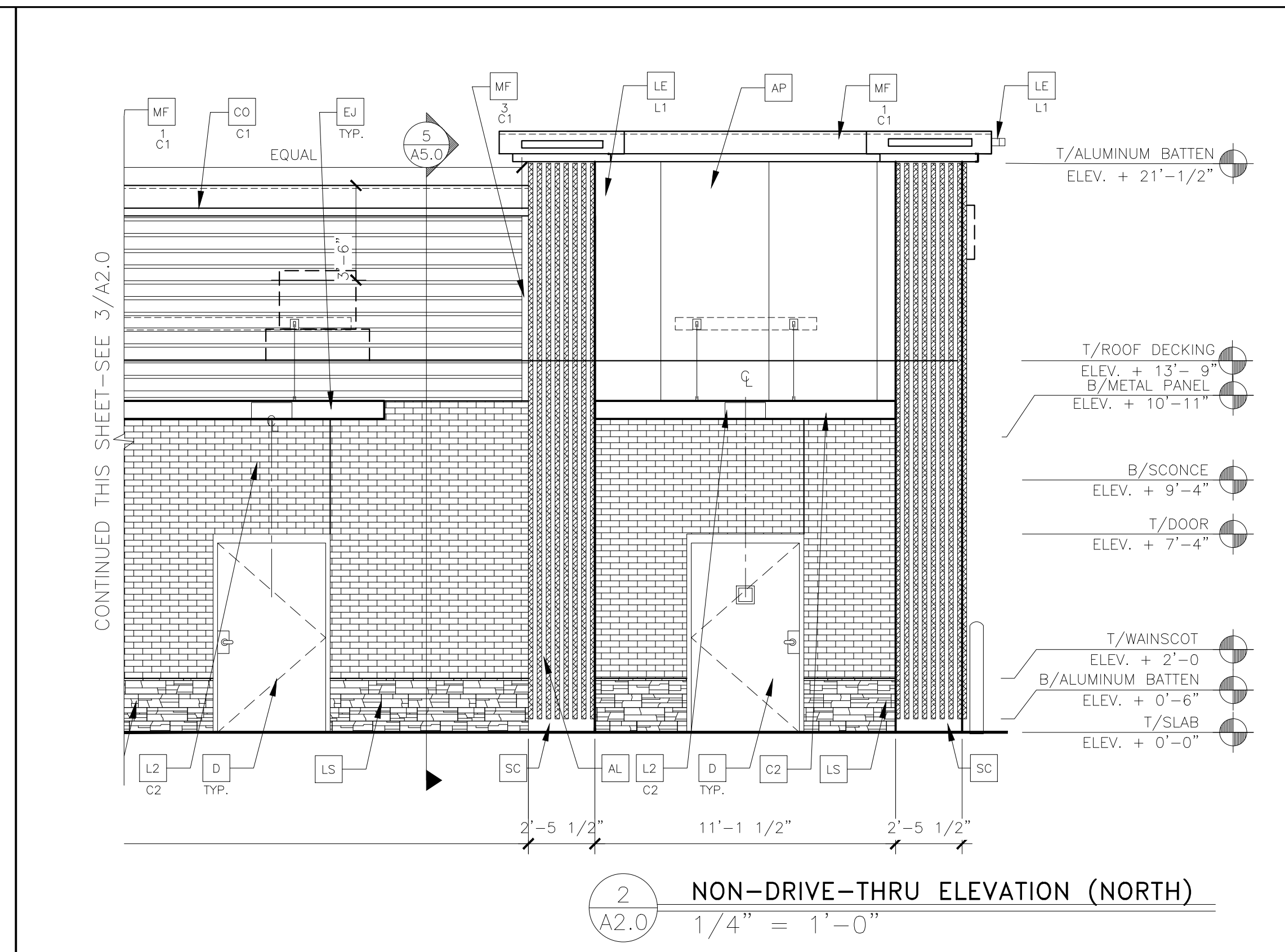
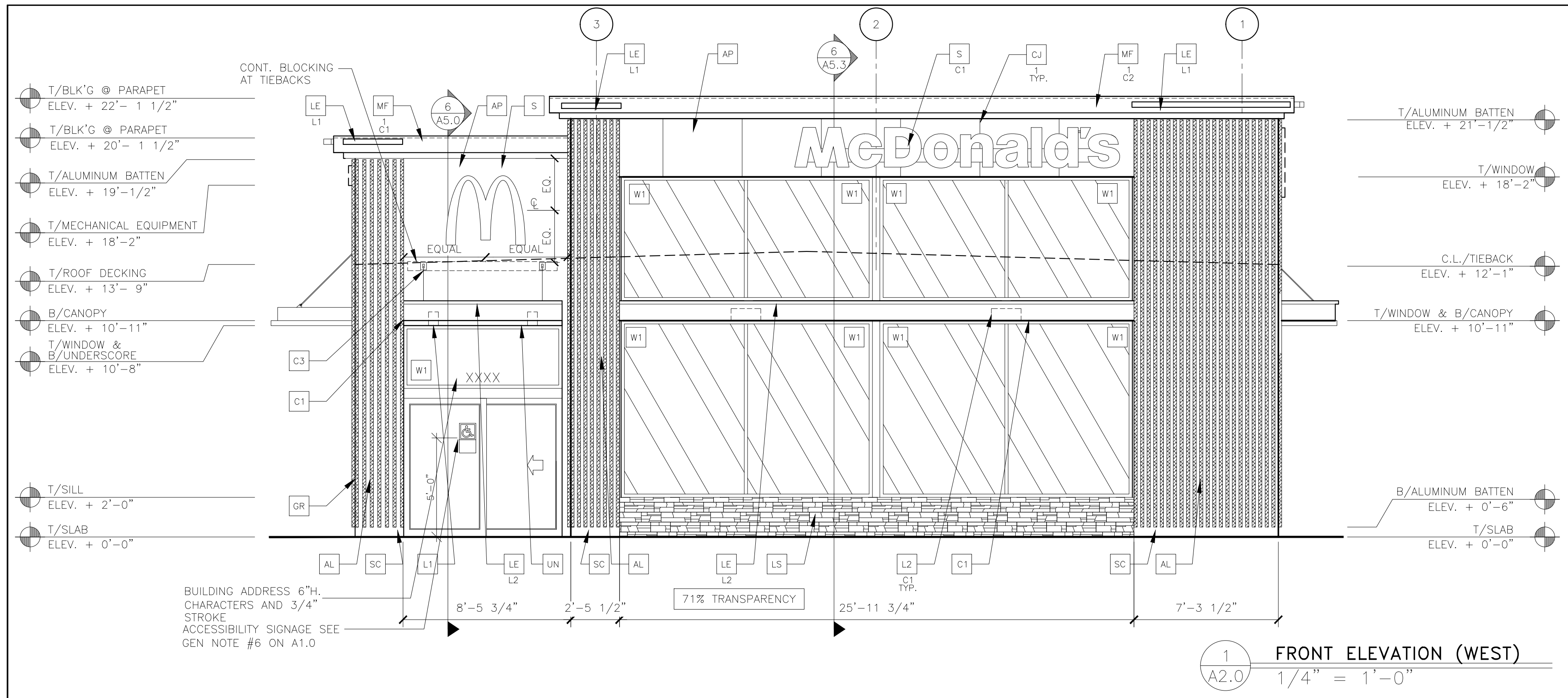
PREPARED BY: **Kimley»Horn and Associates, Inc.**

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PREPARED FOR: **McDonald's USA, LLC**

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TITLE	SITE PLAN
DESCRIPTION	NET LEASABLE AREA
SHEET NO.	0050785
PROJECT NO.	LOT 3, DOUGLAS 234 FILING NO. 6



KEY NOTES:

- AL ALUMINUM BATTEN SYSTEM
SIZE: 2"x2" PROFILE
COLOR: WOOD GRAIN, BACKRAIL UNFINISHED, ENDCAP PAINTED TO MATCH SUBSTRATE; 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB, GROUP 1, HDO BOTH FACES, APA TRADEMARKED, COURSE GRIT SAND SURFACES PRIOR TO PRIMING. PRIME AND PAINT BOTH SIDES AND ALL EDGES.
SUBSTRATE COLOR: "IRON ORE" 7069 BY SHERWIN WILLIAMS
- AP ALPOLIC METAL PANEL (COLOR: RAL 7022)
- BM BRAKE METAL PANEL
COLOR: PAINT "HARVEST MOON" #232-5 BY VALSPAR
- BR MODULAR FACE BRICK
B1-COLOR:
B1 = "SLATE GRAY" SMOOTH, MODULAR BY HEBON BRICK COMPANY
- C1 ALUMINUM CANOPY SYSTEM W/FASCIA
COLOR: WHITE
- C2 ALUMINUM CANOPY SYSTEM
COLOR: RAL 7022
- C3 ALUMINUM CANOPY TIEBACK
COLOR: RAL 7022
GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS
- CJ CONTROL JOINT
1-TYPE: 1 = ALPOLIC
- CM 7" REVEAL METAL WALL PANEL SYSTEM BY METAL ERA
C1-COLOR:
C1 = WEATHERED ZINC
- CO CORNICE
C1-COLOR: WEATHER ZINC
- D HOLLOW METAL DOOR
PAINT: "GAUNTLET GRAY" SW-7017 BY SHERWIN WILLIAMS
- DE DECAL BY GRAPHICS SUPPLIER
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.
SUPPLIERS:
YOMELA (865) 330-7337, ann.bowen@yomela.com
GEX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfai.com
- EJ EXPANSION JOINT, SEE DETAIL 7/A4.1
- FB CO2 = BULK CO2 FILL BOX (EOPM SCHEDULE ITEM 49.00)
BO = BULK OIL FILL BOX (EOPM SCHEDULE ITEM 700.18)
- GR GUARD RAIL -SEE CIVIL SITE PLAN FOR EXACT LOCATION AND LENGTH
PAINT: "IRON ORE" 7069 BY SHERWIN WILLIAMS
- L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL
COLOR: GOLD
- L2 RADIAL SCOURCE LIGHT FIXTURE - SEE ELECTRICAL
C1-COLOR:
C1 = WHITE
C2 = PLATINUM SILVER
- LE ACCENT LIGHTING - SEE ELECTRICAL
L1-LED LIGHT:
L1 = SLIM LED (DOWN ONLY)
L2 = INTEGRAL CANOPY FIXTURE
L3 = UP ONLY FLOOD FIXTURE
- LS HERITAGE THIN STONE BY TELLURIDE
COLOR: BILTMORE
(TO BE VERIFIED WITH McDONALDS ACM)
- MF METAL FASCIA
1-TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = BOTTOM TRIM AT METAL REVEAL PANEL
3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES
COLOR:
C1 = WEATHERED ZINC
C2 = RAL 7022
- PB PIPE BOLLARD - PAINTED YELLOW
- PT (RWMC) COIN COLLECTOR
MODEL: #WPT STD CALL 1-888-743-7435 TO ORDER
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
C1-COLOR:
C1 = WEATHERED ZINC RACEWAY
C2 = RAL 7022 RACEWAY
- SC STUCCO
C1- PAINT TO MATCH HARDIE PLANK SIDING OR GAUNTLET GRAY SW7019 BY SHERWIN WILLIAMS
- SP SPANDREL GLASS
- UN METAL UNDERSCORE
COLOR: GOLD
- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS
COLOR: DARK BRONZE
- W2 DRIVE-THRU WINDOW BY READY ACCESS
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL OPEN, ELECTRONIC RELEASE
COLOR: DEEP BRONZE
SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT
- W3 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS
COLOR: DARK BRONZE
BACK LIT GLAZING

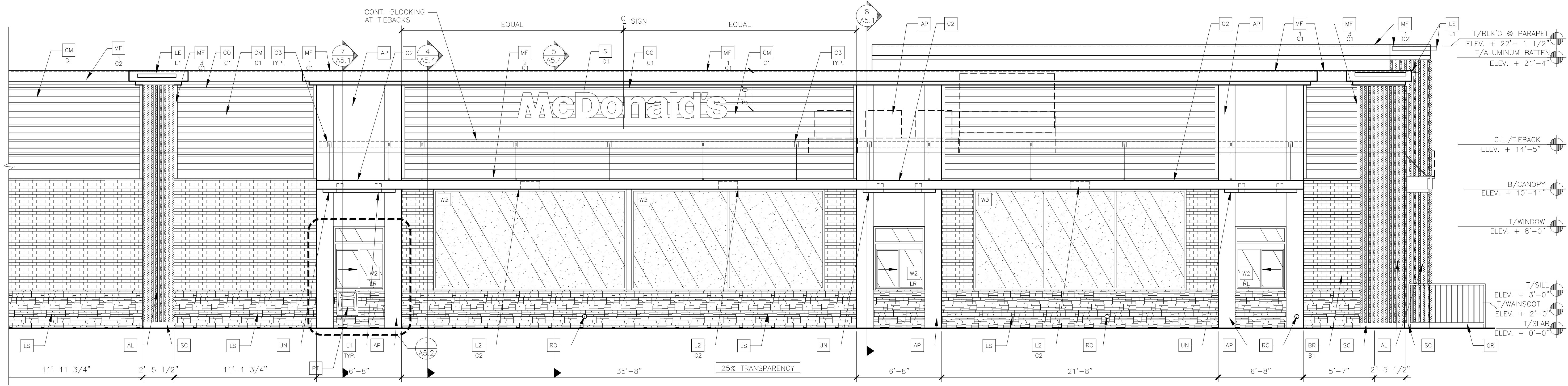
TITLE	2017 STANDARD BUILDING - BB20	DATE	2021_05
DESCRIPTION	WOOD BEARING WALLS W/4" BRICK EXTERIOR FINISH & CI WOOD TRUSS ROOF FRAMING	DATE ISSUED	11/19/21
SHEET NO.	A2.0	DATE	
ELEVATIONS		REV	
		DATE	
		DESCRIPTION	

PREPARED FOR: **McDonald's USA, LLC**
 PREPARED BY: **CORE STATES GROUP**
 111 Park Ave, Suite 400, New York, NY 10022
 212.247.1300
 www.corestates.com

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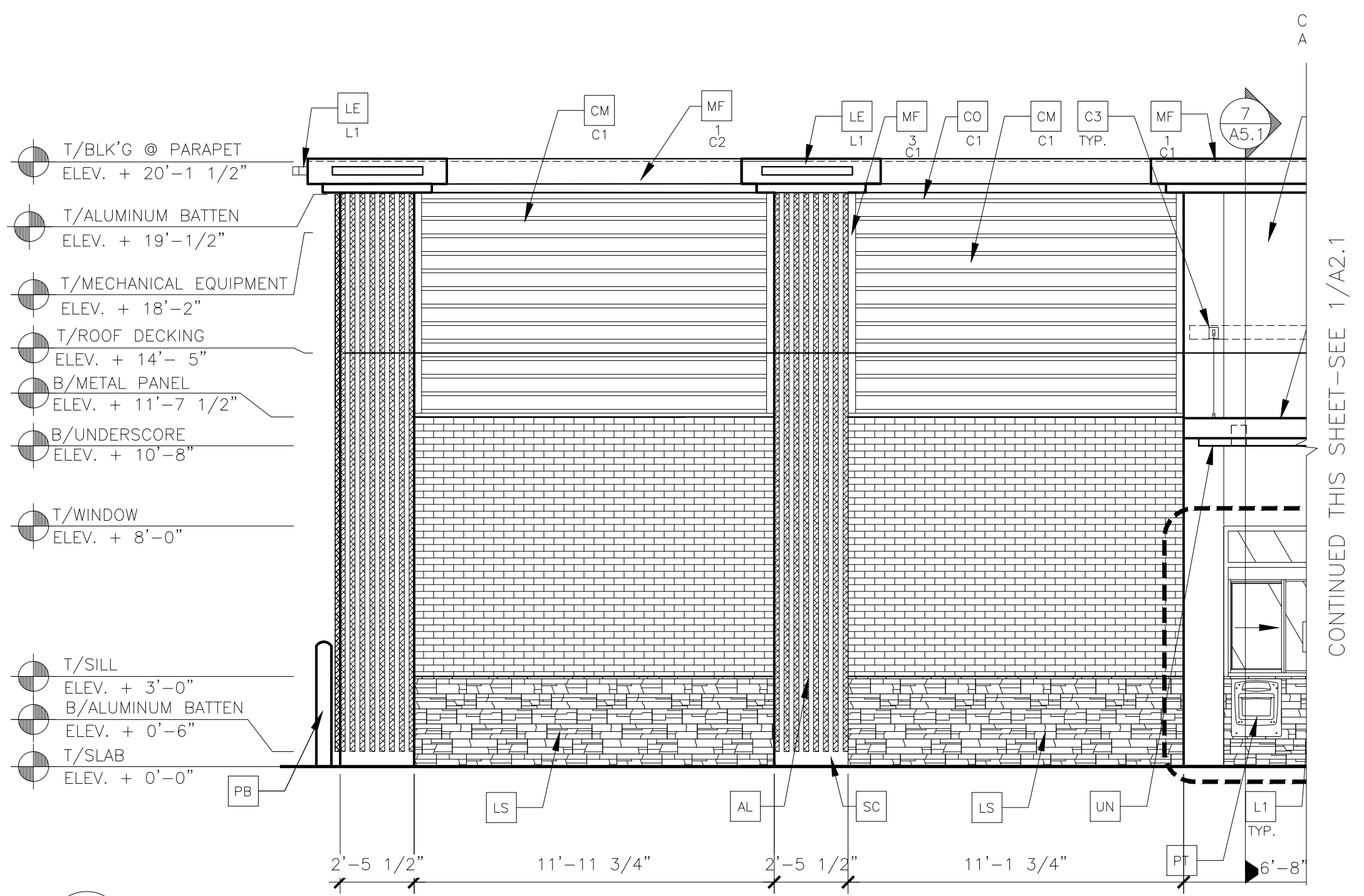
DRAWN BY: B.ABDALLA
 STD ISSUE DATE: 2021_05
 REVIEWED BY: MARC PELINI
 DATE ISSUED: 11/19/21
 C.S.G. PROJECT # MCD.324.06
 CHAMBERS & HESS PARKER, CO

CONTINUED THIS SHEET—SEE 2/A2.1



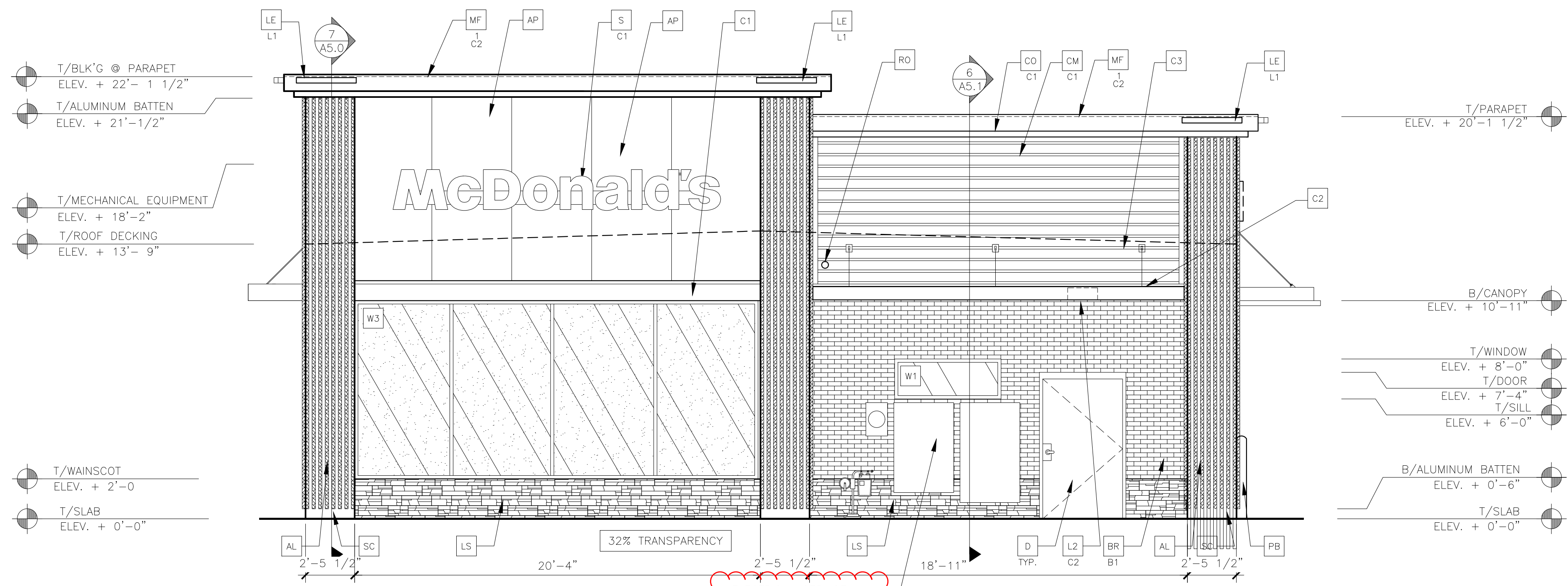
Show the entire elevation in one section.

1 DRIVE THRU ELEVATION (SOUTH)
1/4" = 1'-0"



2 DRIVE THRU ELEVATION (SOUTH)
1/4" = 1'-0"

CONTINUED THIS SHEET—SEE 1/A2.1



Painted what color?

3 REAR ELEVATION (EAST)
1/4" = 1'-0"

KEY NOTES:

- AL ALUMINUM BATTEN SYSTEM
SIZE: 2"x2" PROFILE
COLOR: WOOD GRAIN, BACKRAIL UNFINISHED, ENDCAP PAINTED TO MATCH SUBSTRATE; 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB, GROUP 1, HDO BOTH FACES, APA TRADEMARKED, COURSE GRIT SAND SURFACES PRIOR TO PRIMING, PRIME AND PAINT BOTH SIDES AND ALL EDGES.
SUBSTRATE COLOR: "IRON ORE" 7069 BY SHERWIN WILLIAMS
- AP ALPOLIC METAL PANEL (COLOR: RAL 7022)
- BM BRAKE METAL PANEL
COLOR: PAINT "HARVEST MOON" #232-5 BY VALSPAR
- BR MODULAR FACE BRICK
- B1—COLOR: "SLATE GRAY" SMOOTH, MODULAR BY HEBON BRICK COMPANY
- C1 ALUMINUM CANOPY SYSTEM W/FASCIA
COLOR: WHITE
- C2 ALUMINUM CANOPY SYSTEM
COLOR: RAL 7022
- C3 ALUMINUM CANOPY TIEBACK
COLOR: RAL 7022
GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS
- CJ CONTROL JOINT
1—TYPE: 1 = ALPOLIC
- CM 7" REVEAL METAL WALL PANEL SYSTEM BY METAL ERA
C1—COLOR: C1 = WEATHERED ZINC
- CO CORNICE
C1—COLOR: WEATHER ZINC
- D HOLLOW METAL DOOR
PAINT: "GAUNTLET GRAY" SW-7017 BY SHERWIN WILLIAMS

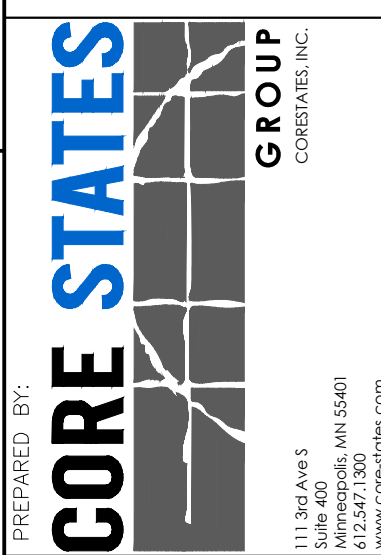
- DE DECAL BY GRAPHICS SUPPLIER
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.
SUPPLIERS:
VOMELA (865) 330-7337, ann.bowen@vomela.com
GEX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com
- EJ EXPANSION JOINT, SEE DETAIL 7/A4.1
- FB CO2 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)
BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18)
- GR GUARD RAIL—SEE CIVIL SITE PLAN FOR EXACT LOCATION AND LENGTH
PAINT: "IRON ORE" 7069 BY SHERWIN WILLIAMS
- L1 RECESSED DOWN LIGHT FIXTURE—SEE ELECTRICAL
COLOR: GOLD
- L2 RADIAL SCENCE LIGHT FIXTURE—SEE ELECTRICAL
C1—COLOR:
C1= WHITE
C2= PLATINUM SILVER

- LE ACCENT LIGHTING—SEE ELECTRICAL
L1—LED LIGHT:
L1 = SUM LED (DOWN ONLY)
L2 = INTEGRAL CANOPY FIXTURE
L3 = UP ONLY FLOOD FIXTURE
- LS HERITAGE THIN STONE BY TELLURIDE
COLOR: BILTMORE
(TO BE VERIFIED WITH McDONALDS ACM)
- MF METAL FASCIA
C1—TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = BOTTOM TRIM AT METAL REVEAL PANEL
3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES
COLOR:
C1= WEATHERED ZINC
C2= RAL 7022
- PB PIPE BOLLARD—PAINTED YELLOW

- PT (RMHC) COIN COLLECTOR
MODEL: #WPT STD CALL 1-888-743-7435 TO ORDER
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S McDONALD'S SIGNAGE BY OTHERS—UNDER SEPARATE PERMIT.
C1—COLOR:
C1 = WEATHERED ZINC RACEWAY
C2 = RAL 7022 RACEWAY
- SC STUCCO
C1—PAINT TO MATCH HARDIE PLANK SIDING OR GAUNTLET GRAY SW7019 BY SHERWIN WILLIAMS
- SP SPANDREL GLASS
- UN METAL UNDERSCORE
COLOR: GOLD

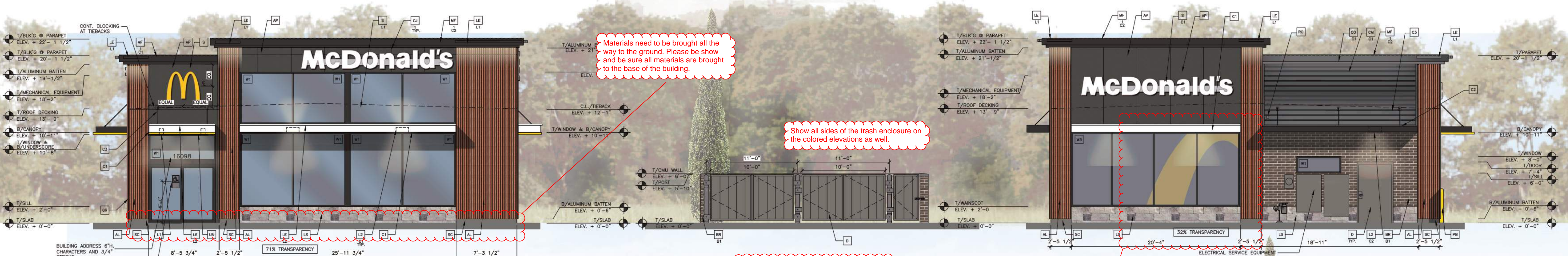
- W1 EXTERIOR WINDOW ASSEMBLY—TEMPERED GLASS
COLOR: DARK BRONZE
- W2 DRIVE-THRU WINDOW BY READY ACCESS
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL OPEN; ELECTRONIC RELEASE
COLOR: DEEP BRONZE
SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT
- W3 EXTERIOR WINDOW ASSEMBLY—TEMPERED GLASS
COLOR: DARK BRONZE
BACK LIT GLAZING

TITLE	2017 STANDARD BUILDING — BB20	DATE	11/19/21
SHEET NO.	4597	DESCRIPTION	WOOD BEARING WALLS W/4" BRICK EXTERIOR FINISH & CI WOOD TRUSS ROOF FRAMING E.L.F.S./BATTEN/METAL PANEL/BRICK EXTERIOR FINISH
PROJECT NO.	005-0785.00.0	SITE ADDRESS	CHAMBERS & HESS PARKER, CO
DATE	11/19/21	DATE ISSUED	11/19/21
REVIEWED BY	MARC PELINI	DATE ISSUED	11/19/21
DESIGNED BY	MARC PELINI	C.S.G. PROJECT #	MCD.32406
DRAWN BY	B.ARDALLA	PREPARED FOR	McDonald's USA, LLC
STD ISSUE DATE	2021_05	PREPARED BY	McDonald's USA, LLC
REV		DATE	
DESCRIPTION		DATE	



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11/19/21
 111 Parker Ave., Suite 400, Fort Worth, TX 76102
 817.241.3300
 www.corestates.com



Front Elevation (West)

Rear Elevation (East)

Materials need to be brought all the way to the ground. Please be show and be sure all materials are brought to the base of the building.

Show all sides of the trash enclosure on the colored elevations as well.

To meet the corner element, please increase this to be a difference of 3-3.5 feet.

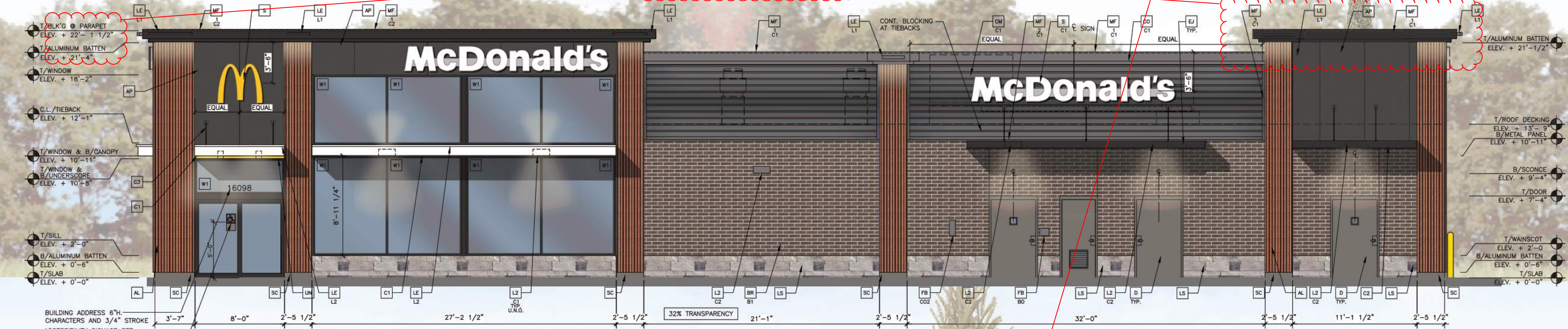
Per page 69 of the Development Design Standards, all exterior elements of the building that are metal, such as flues, and flashings shall be painted a flat color that is compatible with the building and not be left nor allowed to become bare metal. The proposed material needs to be flat, not shiny or bare metal. Please update plans with a new material and provide a new material sample to staff.

Please add labels used on the drawings next to the appropriate material.

The proposed mural behind the windows would count as signage. Please adjust accordingly.
All murals need to be approved through the site plan process. Please provide additional information on what mural is being proposed.

Materials Legend

- Modular Face Brick (Main Building)
"Slate Gray" by Hebron Brick
- Metal (Coping) & Aluminum Trellis
"RAL 7022" by Metal-Era
- Aluminum Canopy (Prefinished Metal)
White
- Glazing (Windows & Storefront)
1" Insulated Clear Glass
- Metal (Coping)
*"Weathered Zinc" by Metal-Era
Factory Finished*
- Apolic Metal Panel
"RAL 7022" by Metal-Era
- Aluminum Underscore (Prefinished)
"Gold"
- Battens (Aluminum)
*B+N Industries
Color: Wood Grain*
- Paint
"Gauntlet Gray" by Benjamin Moore
- Stone Wainscot
"Gauntlet Gray" by Benjamin Moore



Non-Drive-Thru Side Elevation (North)



Drive-Thru Side Elevation (South)