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 CONTACT: JEREMY POWELL, P.L.A.

BENCHMARK

BENCHMARK: NGS DESIGNATION C 355 (PID:KK0205): STANDARD NGS BM LOCATED 2 MI SE FROM SEDALIA. 2.0 MILES SOUTHEAST ALONG THE DENVER AND RIO GRANDE WESTERN RAILROAD FROM THE STATION AT SEDALIA, 0.5 MILE NORTHWEST OF MILEPOST 27, 32 FEET NORTH OF THE NORTH RAIL, 53 FEET SOUTH OF THE CENTER LINE OF U.S. HIGHWAY 85, 2 FEET WEST OF A WITNESS POST, SET IN THE TOP OF A CONCRETE POST WHICH PROJECTS 0.4 FOOT ABOVE THE GROUND.

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE SOUTH LINE OF THE SE 1/4 OF SECTION 29, T.6S., R.66W., OF THE 6TH P.M. BEARING S89°35'27"W AND BOUNDED BY A 3 1/4" ALUMINUM CAP AT THE S 1/4 CORNER OF SECTION 29 AND A 3 1/4" ALUMINUM CAP AT THE SE CORNER OF SECTION 29. THE MONUMENTS ARE STAMPED AS SHOWN HEREON.

FLOODPLAIN NOTE

BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 08035C0181G AND DATED MARCH 16, 2016 - SUBJECT PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.

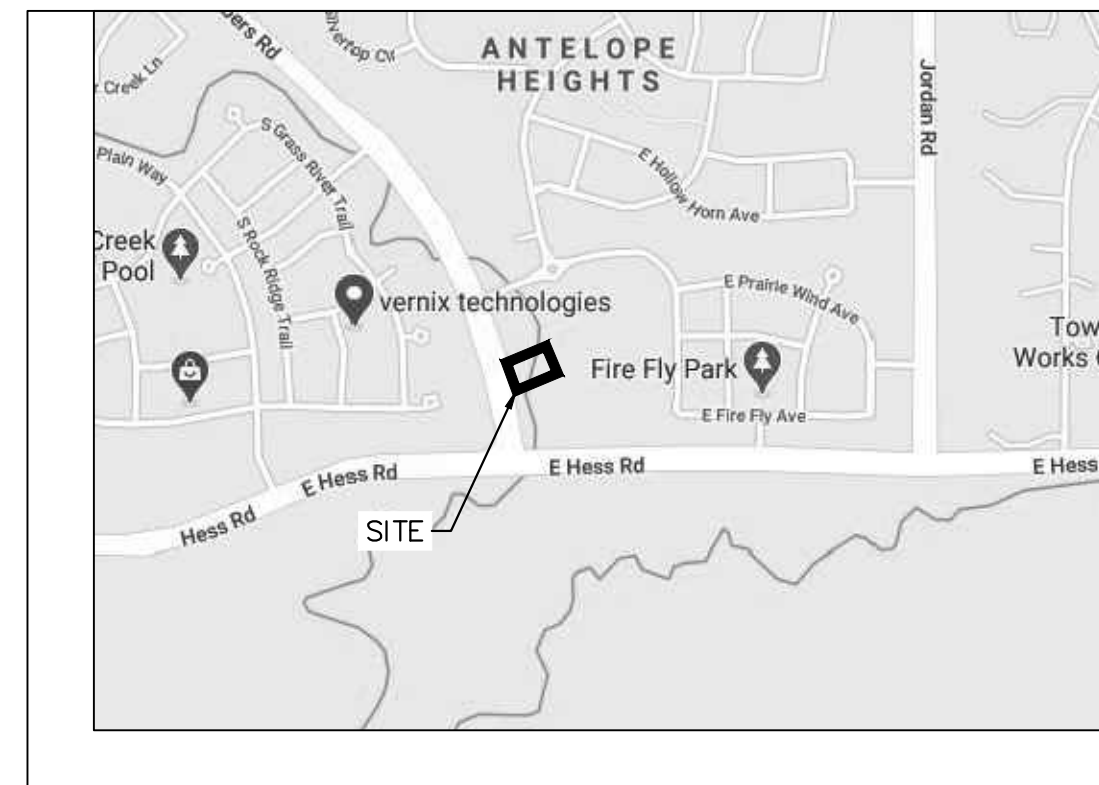
LEGAL DESCRIPTION

LOT 3, DOUGLAS 234, FILING NO. 6

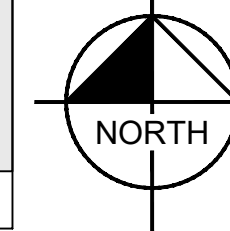
DOUGLAS 234 FILING NO. 6, LOT 3

A PORTION OF THE SOUTHEAST 1/4 OF THE SECTION 29,
 TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE PLAN



VICINITY MAP



SHEET INDEX	
SHEET NUMBER	SHEET TITLE
SITE PLAN	
1	COVER SHEET
2	EXISTING CONDITIONS AND DEMOLITION PLAN
3	SITE PLAN
4	PRELIMINARY UTILITY PLAN
5	FIRE TRUCK ACCESS PLAN
6	PHOTOMETRIC PLAN
7	PHOTOMETRIC DETAILS
8	PHOTOMETRIC DETAILS
9	LANDSCAPE PLAN
10	LANDSCAPE NOTES
11	LANDSCAPE DETAILS
A2.0	BUILDING ELEVATIONS
A2.1	BUILDING ELEVATIONS

SITE DATA

PROPERTY ACREAGE	1.204 ACRES (52,450 SF)
PERVIOUS AREA	0.24 ACRES
IMPERVIOUS AREA	0.96 ACRES
MAXIMUM IMPERVIOUS AREA	1.02 ACRES, 85% OF TOTAL LAND AREA
BUILDING DENSITY	4,445 SF (BLDG) = 8.46%
	52,540 SF (LOT)
MAX BUILDING DENSITY	NONE
PARKING AREA	27,400 SF

PARKING REQUIRED	45 (1 PER 100 SF)
PARKING PROVIDED	45 ON-SITE SPACES (2 ADA SPACES)
BICYCLE PARKING REQUIRED	2 (2 PER 10,000 SF)
BICYCLE PARKING PROVIDED	3

LAND USE DATA

EXISTING ZONING	PLANNED DEVELOPMENT
GROSS SITE AREA	1.204 ACRES
NUMBER OF BUILDINGS	1 BUILDING
BUILDING GROSS FLOOR AREA	4,445 SF

DEVELOPMENT STANDARDS

COMMERCIAL DEVELOPMENT STANDARDS	TOWN OF PARKER LAND DEVELOPMENT CODE REQ.	PROVIDED
MINIMUM LANDSCAPE AREA	0.18 AC (15%)	0.24 AC (19.9%)
MAXIMUM BUILDING HEIGHT	35 FEET	1 STORY/ 21'-9 1/2"
MINIMUM OFF-STREET PARKING	45	45 ONSITE SPACES (2 ADA STALLS)
MAXIMUM FLOOR AREA RATIO (FAR)	0.35	0.08

SETBACKS

COMMERCIAL DEVELOPMENT STANDARDS	REQUIRED SETBACK	PROVIDED SETBACK
FRONT	10'	78'
SIDE	8'	44'/81'
REAR	0'	111'

TITLE	DATE	BY
SITE PLAN	7/1/21	JJM
COVER SHEET	9/3/2021	JJM
DESCRIPTION		REVISION 1
SITE ID		DESCRIPTION
0050785		
LOT 3, DOUGLAS 234 FILING NO. 6		

Kimley»Horn

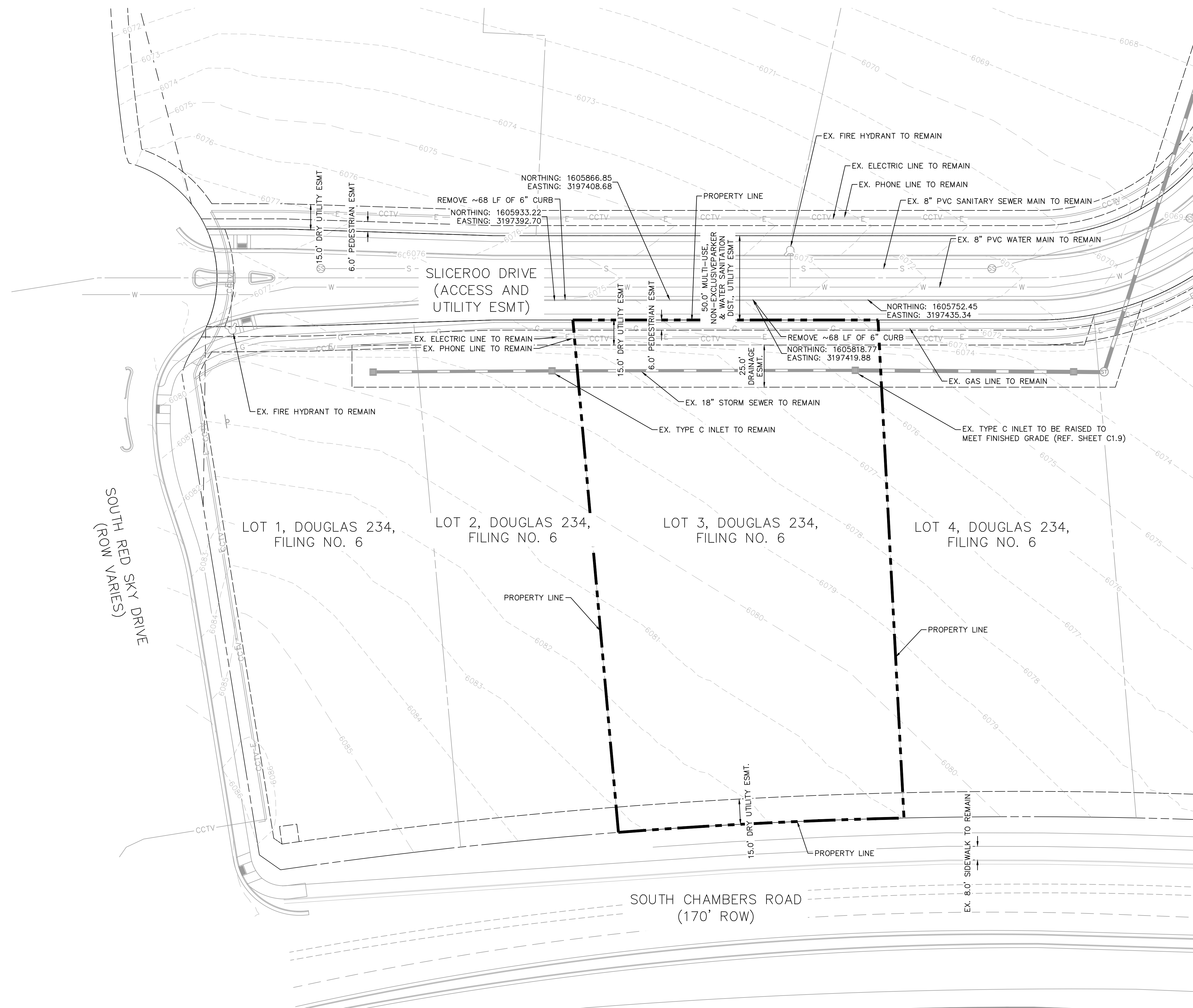
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DRAWN BY	JJM
STD ISSUE DATE	7/1/21
REVIEWED BY	JRH
DATE ISSUED	9/3/2021

DOUGLAS 234 FILING NO. 6, LOT 3

A PORTION OF THE SOUTHEAST 1/4 OF THE SECTION 29,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
SITE PLAN



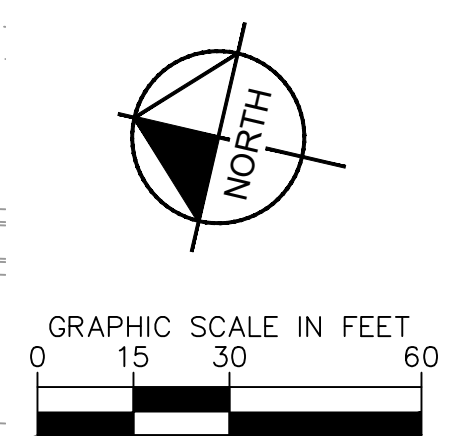
LEGEND

	PROPERTY LINE
	PARCEL LINE
	EASEMENT
	EX. WATER LINE
	EX. SANITARY LINE
	EX. STORM SEWER
	EX. PHONE LINE
	EX. ELECTRIC LINE
	EX. GAS LINE

NOTES:

1. ALL EXISTING UTILITIES ARE TO REMAIN UNLESS OTHERWISE NOTED.
2. ALL EXISTING IMPROVEMENTS TO BE PROTECTED IN PLACE, UNLESS SPECIFICALLY CALLED OUT AS "TO BE REMOVED".

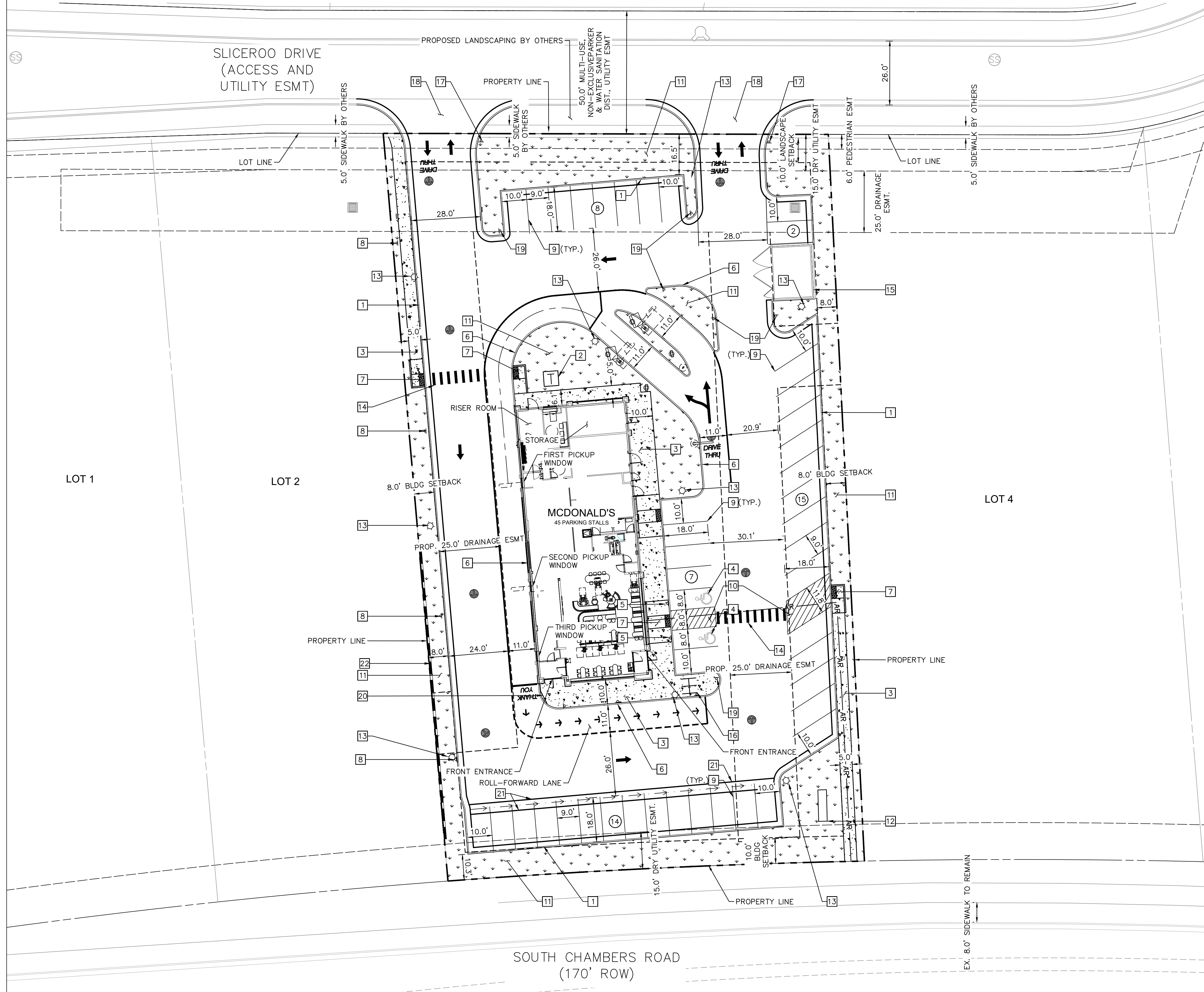
Kimley»Horn <small>PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION</small> <small>Kimley-Horn and Associates, Inc.</small>	PREPARED BY: McDonald's USA, LLC <small>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the contract documents for reuse on another project is not authorized.</small>	DRAWN BY: JJM STD ISSUE DATE: 7/1/21 REVIEWED BY: JRH DATE ISSUED: 9/3/2021	TITLE: SITE PLAN DESCRIPTION: EXISTING CONDITIONS AND DEMOLITION PLAN SITE ID: 0050785 SITE ADDRESS: LOT 3, DOUGLAS 234 FILING NO. 6	REVISION 1 DATE: 9/27/21 REV: 1	JJM BY:
	2	2	2	2	2



DOUGLAS 234 FILING NO. 6, LOT 3

A PORTION OF THE SOUTHEAST 1/4 OF THE SECTION 29,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE PLAN



LEGEND

- PROPERTY LINE
- SETBACK
- EASEMENT
- ACCESSIBLE ROUTE
- WALL
- LANDSCAPE
- CONCRETE SIDEWALK
- PARKING STALL COUNT

KEY NOTES

- 1 PROPOSED CURB AND GUTTER
- 2 PROPOSED TRANSFORMER LOCATION
- 3 PROPOSED CONCRETE SIDEWALK (DIMENSION PER PLAN)
- 4 PROPOSED ADA SYMBOL
- 5 PROPOSED ADA SIGN
- 6 PROPOSED 6" WIDE X 6" TALL CURB HEAD
- 7 PROPOSED ADA RAMP
- 8 PROPOSED "NO PARKING FIRE LANE" SIGN
- 9 PROPOSED 4" WIDE PARKING STRIPE
- 10 PROPOSED 4" WIDE DIAGONAL PAVEMENT MARKINGS AT 36" ON CENTER
- 11 PROPOSED LANDSCAPING (REF. LANDSCAPING PLANS)
- 12 PROPOSED MONUMENT SIGN (ALL SIGNS ARE REVIEWED UNDER SEPARATE PERMIT)
- 13 PROPOSED SITE LIGHT (REF. PHOTOMETRIC PLANS FOR DETAILS)
- 14 PROPOSED CROSSWALK
- 15 PROPOSED TRASH ENCLOSURE
- 16 PROPOSED BIKE PARKING (3 SPACES)
- 17 PROPOSED STOP SIGN
- 18 PROPOSED DRIVEWAY ACCESS
- 19 PROPOSED 'DO NOT ENTER' SIGN
- 20 PROPOSED GUARD RAIL
- 21 PROPOSED 4' CONCRETE GUTTER PAN
- 22 PROPOSED RETAINING WALL

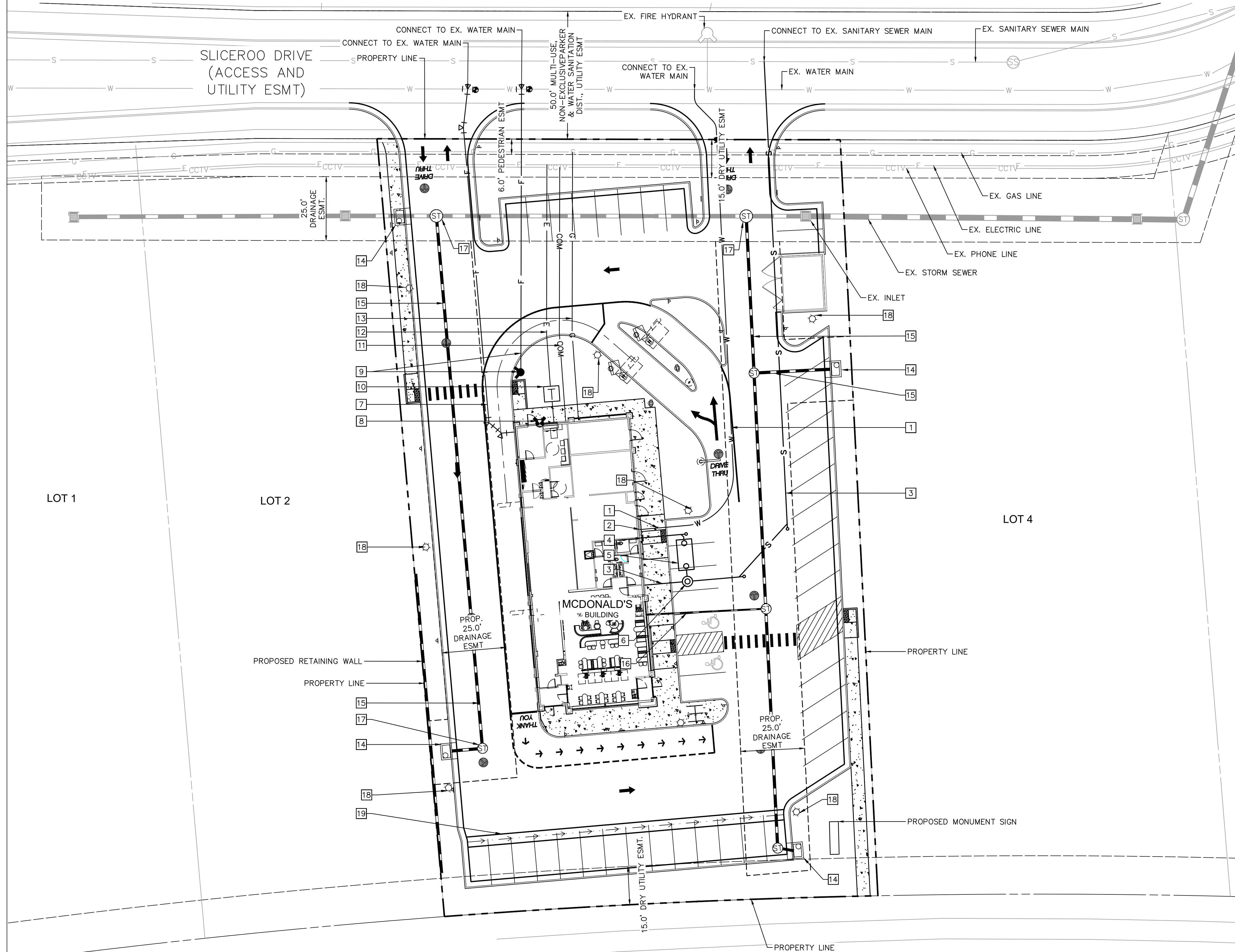
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TITLE SITE PLAN	DRAWN BY JMM	PREPARED FOR: McDonald's USA, LLC
DESCRIPTION SITE PLAN	STD ISSUE DATE 7/1/21	REVIEWED BY JRH
SITE ID 0050785	DATE ISSUED 9/3/2021	SITE ADDRESS LOT 3, DOUGLAS 234 FILING NO. 6
REVISION 1	DATE 9/27/21	DESCRIPTION
JMM	REV	BY



DOUGLAS 234 FILING NO. 6, LOT 3

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TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE PLAN

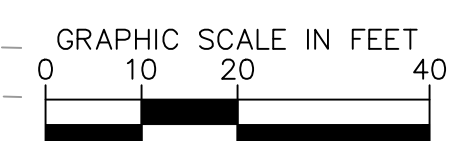
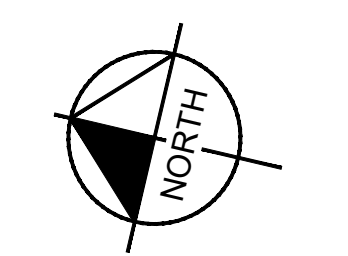


LEGEND

	PROPERTY LINE
	EASEMENT
	SCREEN WALL
	EX. WATER LINE
	EX. SANITARY LINE
	EX. STORM SEWER
	EX. PHONE LINE
	EX. ELECTRIC LINE
	EX. GAS LINE
	PROP. WATER LINE
	PROP. SANITARY LINE
	PROP. STORM SEWER
	PROP. PHONE LINE
	PROP. ELECTRIC LINE
	PROP. GAS LINE
	CONCRETE

KEY NOTES

- 1 PROPOSED DOMESTIC WATER SERVICE LINE
- 2 PROPOSED WATER METER LOCATED INSIDE BUILDING.
- 3 PROPOSED SANITARY SEWER SERVICE LINE
- 4 PROPOSED GREASE INTERCEPTOR SERVICE LINE
- 5 PROPOSED GREASE TRAP WITH TRAFFIC RATED LIDS
- 6 PROPOSED SAMPLING MANHOLE
- 7 PROPOSED FIRE SERVICE LINE
- 8 PROPOSED FDC
- 9 PROPOSED FIRE HYDRANT AND FIRE HYDRANT LATERAL
- 10 PROPOSED TRANSFORMER
- 11 PROPOSED TELECOMMUNICATIONS SERVICE LINE
- 12 PROPOSED ELECTRIC SERVICE LINE
- 13 PROPOSED GAS SERVICE LINE
- 14 PROPOSED STORM INLET
- 15 PROPOSED STORM SEWER
- 16 PROPOSED ROOF DRAIN
- 17 PROPOSED STORM MANHOLE
- 18 PROPOSED SITE LIGHT
- 19 PROPOSED 4" CONCRETE GUTTER PAN



TITLE	SITE PLAN	DRAWN BY JJM	STD ISSUE DATE 7/1/21	REVIEWED BY JRH	DATE ISSUED 9/3/2021	REVISION 1	DESCRIPTION
	PRELIMINARY UTILITY PLAN						
SITE ID	0050785	SITE ADDRESS		LOT 3, DOUGLAS 234 FILING NO. 6		JJM	BY

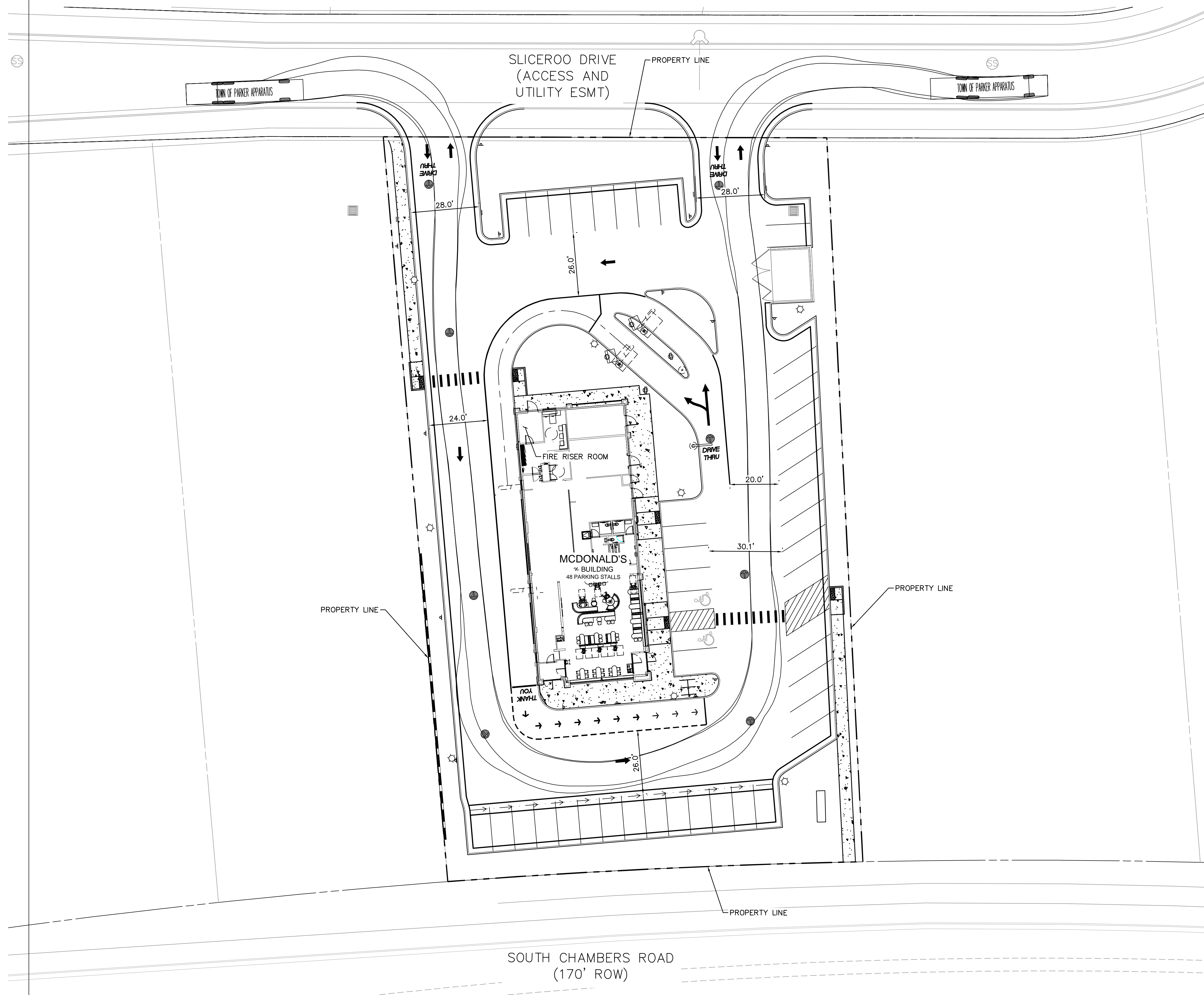


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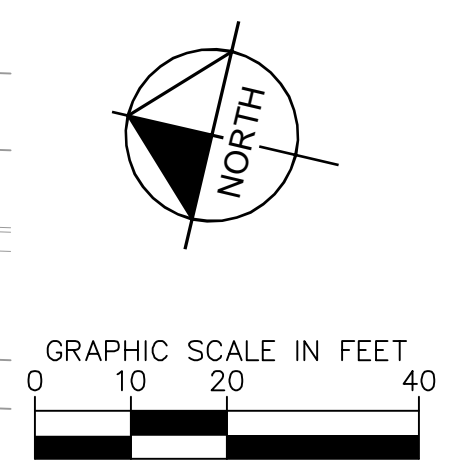
DOUGLAS 234 FILING NO. 6, LOT 3

A PORTION OF THE SOUTHEAST 1/4 OF THE SECTION 29,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
SITE PLAN



LEGEND
 - - - - - PROPERTY LINE

TOWN OF PARKER APPARATUS
 Overall Length 47.79ft
 Overall Width 8.50ft
 Overall Body Height 10.95ft
 Win Body Ground Clearance 1.82ft
 Track Width 6.00ft
 Lock-to-lock time 8.00s
 Wall to Wall Turning Radius 46.67ft

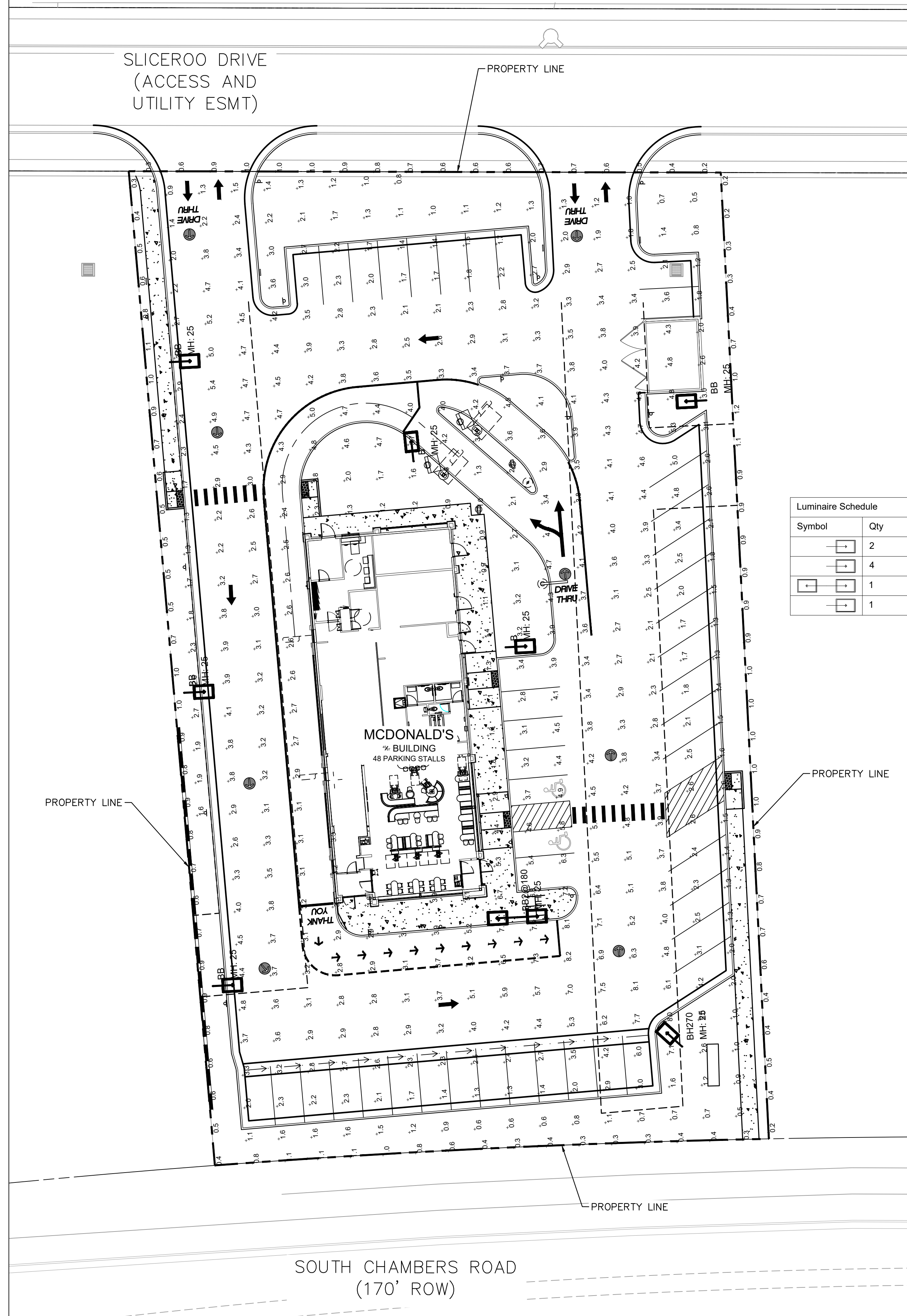


TITLE	SITE PLAN	DRAWN BY	JLM	PREPARED FOR:	<p>These drawings and specifications are the confidential and proprietary information of McDonald's USA, LLC. The contract documents prepared and issued for use on this specific site in conjunction with its issue date and are not suitable for use on a different site or at a later time. Use of the services of properly licensed architects and engineers, reproduction of the contract documents for reuse on another project is not authorized.</p>		
	DESCRIPTION	DATE ISSUED	7/1/21	<p>PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION</p>			
SITE ID	0050785	REVIEWED BY	JRH	DATE ISSUED	9/2/2021		
	SITE ADDRESS	LOT 3, DOUGLAS 234 FILING NO. 6	DATE	9/27/21	BY		
5				1	REV	DESCRIPTION	



DOUGLAS 234 FILING NO. 6, LOT 3

A PORTION OF THE SOUTHEAST 1/4 OF THE SECTION 29,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
SITE PLAN



LEGEND

--- PROPERTY LINE

NOTES:

DISTANCE BETWEEN READINGS IS 10'

LIGHT POLE SHALL BE PLACED AT LEAST 18" FROM BACK OF CURB ADJACENT TO HEAD IN PARKING STALLS.

DETAILS:

MOUNTING HEIGHT = 25' (22' POLE + 3' BASE)
MOUNTING HEIGHT = 9' (WALL)
MOUNTING HEIGHT MEASURED FROM TOP OF FIXTURE TO FINISHED GRADE
TILT = 0
LIGHTS ARE CUTOFF WITH FLAT GLASS LENS
CALCULATION GRIDS ARE AT GRADE (Z=0)

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ENTIRE SITE	Illuminance	Fc	3.13	8.2	0.5	6.26	16.40
PROPERTY LINE READINGS	Illuminance	Fc	0.68	1.2	0.2	3.40	6.00
PAVED SURFACE READINGS	Illuminance	Fc	3.43	8.20	1.00	3.43	8.20

Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	Lum. Lumens	EPA	Mtg Height	Pole Type	Mounting Type
[Symbol]	2	B	SINGLE	0.900	VP-L-96L-280-5K7-4W	280	27708	.55	25	SES-22-40-1-GL-TA-DB (4")	POLE
[Symbol]	4	BB	SINGLE	0.900	VP-L-96L-280-5K7-4W-BC	280	17716	.55	25	SES-22-40-1-GL-TA-DB (4")	POLE
[Symbol]	1	BB2@180	BACK-BACK	0.900	VP-L-96L-280-5K7-4W-BC	280	17716	1.1	25	SES-22-40-1-GL-TA-DB (4")	POLE
[Symbol]	1	BH270	SINGLE	0.900	VP-L-96L-280-5K7-4-HSS-270-FB	280	19503	.55	25	SES-22-40-1-GL-TA-DB (4")	POLE

Kimley»Horn

PREPARED FOR: **McDonald's USA, LLC**

DRAWN BY: JMM
STD ISSUE DATE: 7/1/21
REVIEWED BY: JRH
DATE ISSUED: 9/3/2021

TITLE: **SITE PLAN**
DESCRIPTION: **PHOTOMETRIC PLAN**
SITE ID: 0050785
SITE ADDRESS: LOT 3, DOUGLAS 234 FILING NO. 6

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REVISION 1
DATE: 9/27/21
DESCRIPTION: BY: JMM



DOUGLAS 234 FILING NO. 6, LOT 3

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TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
SITE PLAN

SECURITY LIGHTING™ SES GALVANIZED POLES

SQUARE STEEL STRAIGHT POLES (SSP)

Specifications
The Square Steel Straight Pole has been successfully installed in projects of all types for over 30 years and has become the most popular and economical pole option for all site lighting applications including retail, commercial, industrial and residential projects.
Now this popular series is offered as a fully hot dipped galvanized steel pole and base plate which is finished in weatherproof powder coat.
The SES GL series of galvanized poles are stocked for immediate shipping in multiple shaft sizes, heights and colors, all with a 2 3/8" OD tenon to enable any mounting configuration required with the full offering of available tenon top adapters.
• Square Steel Straight Shaft
• 2 3/8" OD Tenon
• One piece construction
• Steel Base Plate
• Fully hot dipped galvanized steel pole
• Finished in weatherproof powder coat
• 3 size options for anchor bolts. All anchor bolts fully galvanized with 2 nuts and washers (bolts ordered as separate line item and paper template included as component of pole)
• Square base cover available (ordered as separate line item)
• Pole finished in weather proof powder coat paint in 4 standard colors
• 3" x 5" Gasketed hand hole standard

Dimensions

Ordering Information Ordering Example: SES-18-40-1-TA-GL-PS

SES	TA	GL	PS
Square Steel Straight Pole	2 3/8" OD Tenon	Galvanized	Dark Bronze
18" Shaft	40" Shaft	1" Gauge, 119" Thick	White
22" Shaft	56" Shaft	7 Gauge, 119" Thick	Black
28" Shaft	72" Shaft		Platinum Silver

1. All non-structural galvanized poles have a 4 to 6 week lead time
2. Available in 12 gauges
3. Available in 7 gauges only

www.securitylighting.com
2100 Golf Road, Suite 400, Rolling Meadows, IL 60008-4704
Phone: 1-800-LIGHT IT, 1-800-544-4848, Fax: 847-279-0642
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SECURITY LIGHTING™ SES GALVANIZED POLES

SQUARE STEEL STRAIGHT POLES (SSP)

Ordering Information

Catalog Number	Shaft Dia. (in)	Shaft Length (ft)	Base Plate Dia. (in)	Base Plate Thickness (in)	Base Plate Weight (lbs)	Anchor Bolt Dia. (in)	Anchor Bolt Length (in)	Anchor Bolt Qty	Price (Est)
SP-4118-18-GL-XX	18	47	14.0	1.2	7.0	5.3	125	3	150
SP-4172-18-GL-XX	18	57	14.0	1.2	7.0	5.3	125	3	300
SP-4178-18-GL-XX	18	57	14.0	1.2	7.0	5.3	125	3	400

Stocked Poles

Catalog Number	Description
SES18401TA2LBR	POLE-SES-18THRU-156-116A-TENON-GALVANIZED-DARK BRONZE
SES18401TA2BL	POLE-SES-18THRU-156-116A-TENON-GALVANIZED-BLACK
SES18401TA2PS	POLE-SES-18THRU-156-116A-TENON-GALVANIZED-PLATINUM SILVER
SES18401TA2WB	POLE-SES-18THRU-156-116A-TENON-GALVANIZED-WHITE
SES18401TA2BR	POLE-SES-18THRU-156-116A-TENON-GALVANIZED-DARK BRONZE
SES18401TA2GL	POLE-SES-18THRU-156-116A-TENON-GALVANIZED-GALVANIZED
SES2070TA2LBR	POLE-SES-20THRU-174-126A-TENON-GALVANIZED-DARK BRONZE
SES2070TA2BL	POLE-SES-20THRU-174-126A-TENON-GALVANIZED-BLACK
SES2070TA2PS	POLE-SES-20THRU-174-126A-TENON-GALVANIZED-PLATINUM SILVER
SES2070TA2WB	POLE-SES-20THRU-174-126A-TENON-GALVANIZED-WHITE
SES2070TA2BR	POLE-SES-20THRU-174-126A-TENON-GALVANIZED-DARK BRONZE
SES2070TA2GL	POLE-SES-20THRU-174-126A-TENON-GALVANIZED-GALVANIZED

Bolt Circle Diagram

4" Square Pole (10" Bolt Circle) (Min. B.C. = 8")
5" Square Pole (11" Bolt Circle) (Min. B.C. = 10.5")

All listed SES poles use 27701349904 paper template
It's the contractor's responsibility to ensure that new poles will fit existing bases

www.securitylighting.com
2100 Golf Road, Suite 400, Rolling Meadows, IL 60008-4704
Phone: 1-800-LIGHT IT, 1-800-544-4848, Fax: 847-279-0642
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SECURITY LIGHTING™ SES GALVANIZED STRAIGHT POLES

SQUARE STEEL STRAIGHT POLES (SSP)

Accessories

Pole Cap
5" POLE CAP | 201023016002
4" POLE CAP | 201023016002

Tenon
1/2" x 3/8" x 10" Tenon | 201023016002

Hand Hole Cover
Hand Hole Cover | 201023016002

Base Cover
Order as a separate line item
POLE BASE COVERS FOR SQUARE POLES
POLE BASE COVERS FOR SQUARE POLES
POLE BASE COVERS FOR SQUARE POLES
POLE BASE COVERS FOR SQUARE POLES

Anchorage | Order as a separate line item
3/4" x 10" x 7" Anchor Bolt | 201023016002
1" x 10" x 7" Anchor Bolt | 201023016002
1" x 12" x 7" Anchor Bolt | 201023016002

Base Detail
Anchor Bolt
Flat Washer
Flat Washer
Great with drain
Level foundation
Engineering of footing by others

www.securitylighting.com
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SECURITY LIGHTING™ SES GALVANIZED POLES

SQUARE STEEL STRAIGHT POLES (SSP)

Mounting Brackets | Order As accessories

Side Mounting Locations

Catalog Number	Description	EP	Weight
TT-30-XX*	4" Square pole top tenon adapter 2 3/8" OD (fitting for max. four fixtures (90°))	0.46*	33lbs.
TT-30-XX*	4" Square pole top tenon adapter 2 3/8" OD (fitting for max. four fixtures (90°))	0.20*	20lbs.
TT-30-XX*	4" Square pole top tenon adapter 2 3/8" OD (fitting for max. four fixtures (90°))	0.20*	20lbs.
TT-30-XX*	4" Square pole top tenon adapter 2 3/8" OD (fitting for max. four fixtures (90°))	0.20*	20lbs.

Tenon Insert for single fixture mounting or tenon adapters
TT-1A*

Two Fixture Mounting Bracket
TT2A-XX*

Three Fixture Mounting Bracket
TT3A-XX*

www.securitylighting.com
2100 Golf Road, Suite 400, Rolling Meadows, IL 60008-4704
Phone: 1-800-LIGHT IT, 1-800-544-4848, Fax: 847-279-0642
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SECURITY LIGHTING™ SES GALVANIZED POLES

SQUARE STEEL STRAIGHT POLES (SSP)

Mounting Brackets | Order As accessories

Four Fixture Mounting Bracket
TT-4A-XX*

Four Fixture Mounting Bracket (90°)
TT-4A-XX*(90°)

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SECURITY LIGHTING™ SES GALVANIZED POLES

SQUARE STEEL STRAIGHT POLES (SSP)

Mid Pole Bracket Options | Order As accessories

FLB-12/24
FLB-12-XX*
FLB-24-XX*

4041
4041

S-302
S-302

4024C
4024C

TWM
TWM

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SECURITY LIGHTING™ SES GALVANIZED POLES

SQUARE STEEL STRAIGHT POLES (SSP)

Pole Introduction | Pole Selection Guide

Pole Selection Procedure
1. Determine the site location and steady wind velocity by referring to the appropriate isotach map. If the steady wind exceeds those listed, consult factory. The isotach maps are provided for reference only. Consult local authorities to determine the maximum velocities in your area.
2. Total the EPA for the required luminaires and bracketry.
3. Total the weight of the luminaires and bracketry.
4. Compare steps 2 and 3 with the maximum allowable EPA and weight tables shown for the style, material, and height pole required. The maximum allowable must be equal to or exceed the totals from steps 2 and 3.
5. Compare steps 2 and 3 with the maximum allowable EPA and weight tables shown for the style, material, and height pole required. The maximum allowable must be equal to or exceed the totals from steps 2 and 3.

FAST WIND OR SUSTAINED WIND VELOCITY
This is the maximum steady wind velocity expressed in MPH likely to occur in a specific location. Refer to isotach wind map on the next page for the wind velocity in your location. Isotach maps are provided for reference only. Consult local authorities to determine the maximum velocities in your area.

GUST VELOCITY
Our isotach maps represent two different methods of addressing wind speed gusts. We have used the "fastest-mile" wind speeds for years. These have a 1.5 gust factor in the calculations to account for gusting. As technology has improved the ability to accurately measure wind speeds for short durations, the gusts associated to a sustained wind speed have lessened. We are now moving toward 3-second-gust wind speed maps. The results are typically higher steady/sustained wind speeds with lower factors for gusts. The gust factors are different depending on the wind speed map selected.

EFFECTIVE PROJECTED AREA
Effective Projected Area (EPA) is the exposed surface area of a fixture and bracket multiplied by a shape factor which varies depending on the shape of the fixture and bracket. For example, a large rectangular fixture will present more resistance to the wind than will a round or cylindrical shape.

SPECIAL WIND REGIONS
Many locations such as mountainous areas, coastal areas and areas surrounding the Great Lakes exhibit wind velocities considerably higher than the surrounding areas. Consult local authorities to determine maximum wind velocities and select equipment accordingly.

MAXIMUM WEIGHT
This is the maximum allowable weight based on EPA loads. The weight is based on 30 pounds per square foot of EPA. Weight exceeding the 30 pound per foot of EPA may reduce the allowable EPA rating of the pole.

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SECURITY LIGHTING™ SES GALVANIZED POLES

SQUARE STEEL STRAIGHT POLES (SSP)

Wind Speed

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TITLE: SITE PLAN
DESCRIPTION: PHOTOMETRIC DETAILS
SITE ID: 050785
LOT: 3, DOUGLAS 234 FILING NO. 6

PREPARED FOR: McDonald's USA, LLC
DRAWN BY: JUM
STD ISSUE DATE: 7/1/21
REVIEWED BY: JRH
DATE ISSUED: 9/3/2021

NOT FOR CONSTRUCTION
Kimley-Horn and Associates, Inc.

PREPARED BY: Kimley-Horn and Associates, Inc.
DRAWN BY: JUM
STD ISSUE DATE: 7/1/21
REVIEWED BY: JRH
DATE ISSUED: 9/3/2021

REVISION 1
DATE: 9/27/21
REV: 1

JUM
BY:



DOUGLAS 234 FILING NO. 6, LOT 3

A PORTION OF THE SOUTHEAST 1/4 OF THE SECTION 29,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE PLAN

GENERAL LANDSCAPE SPECIFICATIONS

- A. SCOPE OF WORK
- THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.
 - WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.
- B. PROTECTION OF EXISTING STRUCTURES
- ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BEST MANAGEMENT PRACTICES (BMP) DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS THROUGH THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MAINTENANCE OF TRAFFIC (MOT) THAT MAY BE REQUIRED FOR THE PROJECT.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA, LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION, THE SAFETY AND PROTECTION THEREOF, REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- C. PROTECTION OF EXISTING PLANT MATERIALS
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MIS-SHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF FOUR HUNDRED DOLLARS (\$400) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.
 - SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.
- D. MATERIALS
- GENERAL

MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER. UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL	SAMPLE SIZE
MULCH	ONE (1) CUBIC FOOT
TOPSOIL MIX	ONE (1) CUBIC FOOT
PLANTS	ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)
 - PLANT MATERIALS
 - FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN ON DRAWINGS AND COMPLYING WITH ANSI Z60.1 AND THE COLORADO NURSERY ACT AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
 - TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE.
 - NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE PROJECT LANDSCAPE ARCHITECT. ANY ROW TREES MUST BE APPROVED BY OFFICE OF THE CITY FORESTER.
 - PROVIDE PLANTS OF SIZES, GRADES, AND BALL OR CONTAINER SIZES COMPLYING WITH ANSI Z60.1 AND COLORADO NURSERY ACT FOR TYPES AND FORM OF PLANTS REQUIRED. PLANTS OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO PROJECT LANDSCAPE ARCHITECT WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
 - PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER. FOR QUALITY, SIZE, AND VARIETY, SUCH APPROVAL SHALL NOT BE SUBJECT TO INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.
 - TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND TRUNK (INCLUDING BARK); CROSSING TRUNKS; CUT-OFF LIMBS MORE THAN 1/2 INCH (19 MM) IN DIAMETER, OR WITH STEM GIRDLING ROOTS WILL BE REJECTED.
 - FURNISH TREES AND SHRUBS WITH ROOT BALLS MEASURED FROM TOP OF ROOT BALL, WHICH SHALL BEGIN AT ROOT FLARE ACCORDING TO ANSI Z60.1 AND COLORADO NURSERY ACT. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.
 - LABEL AT LEAST ONE PLANT OF EACH VARIETY, SIZE, AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF COMMON NAME AND FULL SCIENTIFIC NAME, INCLUDING GENUS AND SPECIES. INCLUDE NOMENCLATURE FOR HYBRID, VARIETY, OR CULTIVAR, IF APPLICABLE FOR THE PLANT AS SHOWN ON DRAWINGS.
 - IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF PLANTS IS SHOWN ON DRAWINGS, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER THE LABELS TO ASSURE SYMMETRY IN PLANTING.
 - SOIL MIXTURE
 - CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW.
 - SOIL MIXTURE SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
 - TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT OPENINGS SHALL BE FERTILE, FRABLE, AND OF A LOAMY CHARACTER; REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER, FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER, HAVE A PH BETWEEN 5.5 AND 8.0, AND SOLUBLE SALTS LESS THAN 3.0 MMHOS/CM. SUBMIT SOIL SAMPLE AND PH TESTING RESULTS FOR APPROVAL.
 - SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.
 - TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.
 - WATER
 - WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC., IF SUCH WATER IS NOT AVAILABLE AT THE SITE. THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

* WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

G. FERTILIZER

- CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.

* FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

H. MULCH

- MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES CLEAR MULCH FROM EACH PLANT'S CROWN (BASE) OR AS SHOWN IN PLANTING DETAILS. MULCH SHALL BE DOUBLE SHREDED HARDWOOD MULCH. DYED MULCH IS NOT ACCEPTABLE. SUBMIT SAMPLES TO PROJECT LANDSCAPE ARCHITECT FOR APPROVAL. MULCH SHALL BE PROVIDED OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE RING (6" MINIMUM) PLANTED UNDER THIS CONTRACT, AS WELL AS FOR ANY EXISTING LANDSCAPE AREAS AS SHOWN ON PLANS.

I. DIGGING AND HANDLING

- ALL TREES SPECIFIED SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE APPROVED BY PROJECT LANDSCAPE ARCHITECT.
- PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILTFRUIF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
- B&B AND FIELD GROWN (FG) PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.

J. CONTAINER GROWN STOCK

- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
- AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE PLANT TO BE FULLY ESTABLISHED, SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
- ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.

K. MATERIALS LIST

- QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE PLANS SHALL GOVERN. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

L. FINE GRADING

- FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH.
- ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.

M. PLANTING PROCEDURES

- THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, BUILDING MATERIALS, AND TOXIC MATERIAL SHALL BE COMPLETELY REMOVED FROM PLANTING AREAS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS IN PLANTING AREAS WHICH WILL ADVERSELY AFFECT THE PLANT GROWTH, THE CONTRACTOR SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
- VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL COLORADO (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL PLANTING AREAS TO A MINIMUM DEPTH OF 36" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL.
- FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
- COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEADED IN PLACE FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE SHALL BE EXERCISED.
- WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
- ALL PLANTING OPENINGS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH ANSI Z60.1-2014 AMERICAN STANDARD FOR NURSERY STOCK.
- TEST ALL TREE OPENINGS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL.
- TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL FLOW STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN.
- PRIOR TO EXCAVATION OF TREE OPENINGS, AN AREA EQUAL TO TWO TIMES THE DIAMETER OF THE ROOT BALL SHALL BE ROTO-TILLED TO A DEPTH EQUAL TO THE DEPTH OF THE ROOT BALL.
- EXCAVATION OF TREE OPENINGS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.
- IN CONTINUOUS SHRUB AND GROUND COVER BEDS, THE ROTO-TILLED PERIMETER SHOULD EXTEND TO A DISTANCE OF ONE FOOT BEYOND THE DIAMETER OF A SINGLE ROOT BALL. THE BED SHALL BE TILLED TO A DEPTH EQUAL TO THE ROOT BALL DEPTH PLUS 6".
- TREE OPENINGS FOR WELL DRAINED SOILS SHALL BE DUG SO THAT THE BOTTOM OF THE ROOT BALL WILL REST ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL WILL BE FLUSH WITH FINISH GRADE. IN POORLY DRAINED SOILS THE TREE OPENING SHALL BE DUG SO THAT THE ROOT BALL RESTS ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL IS 1" ABOVE FINISH GRADE. PLANT PIT WALLS SHALL BE SCARIFIED PRIOR TO PLANT INSTALLATION.
- TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
- SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION 'E'.
- TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL,

AND SETTLED BY WATER (AFTER TAMPING).

- AMEND PINE AND OAK PLANT OPENINGS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT OPENINGS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.
- FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES. STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET, ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE.
- ALL BURLAP, ROPE, WIRES, BASKETS, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.
- TREES SHALL BE PRUNED, IN ACCORDANCE WITH ANSI A-300, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BARELY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY CERTIFIED ARBORIST.
- SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOWN ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6". REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.
- TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
- ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S RECOMMENDATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY)

N. LAWN SODDING

- THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
- ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
- PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
- SODDING
 - THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
 - SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL EXISTING CURBS AND OTHER ELEMENTS. PAVED AND PLANTED AREAS ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
 - DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.
- LAWN MAINTENANCE
 - WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"x12") UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK, INCLUDING REGRAIDING IF NECESSARY.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE WITH CLEAN TOPSOIL WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

O. EDGING

- CONTRACTOR SHALL INSTALL 4"x8" ROLLED TOP STEEL EDGING BETWEEN ALL SOD/SEED AREAS AND PLANTING BEDS.

P. CLEANUP

- UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM CONTRACTORS WORK. ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.

Q. PLANT MATERIAL MAINTENANCE

- ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULтивATING, SPRAYING, PRUNING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.

R. FINAL INSPECTION AND ACCEPTANCE OF WORK

- FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENTS AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

S. WARRANTY

- THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
- ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
- IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH.

STREETSCAPE AND SITE PERIMETER LANDSCAPING				
STREET NAME OR BOUNDARY:	EXISTING NONRESIDENTIAL USE (NORTH)	SOUTH CHAMBERS ROAD	SLICEROO DRIVE	EXISTING NONRESIDENTIAL USE (SOUTH)
ZONE DISTRICT BOUNDARY:	N/A	N/A	N/A	N/A
STREET CLASSIFICATION:	N/A	N/A	N/A	N/A
SETBACK/BUFFER DEPTH REQUIRED / PROVIDED:	N/A	BY MASTER DEVELOPER	BY MASTER DEVELOPER	N/A
LINEAR FOOTAGE:	305'	170'	190'	294'
TREE PER FEET REQ.:	1 TREE PER 40 LF	1 TREE PER 40 LF	1 TREE PER 40 LF	1 TREE PER 40 LF
NUMBER OF TREES REQ. / PROV.:	8 / 8	BY MASTER DEVELOPER. SEE DOUGLAS 234, FILING NO. 6	BY MASTER DEVELOPER. SEE DOUGLAS 234, FILING NO. 6	8 / 8
EVERGREEN TREES REQ. / PROV.:	(40-60%) 4-5 / 4	N/A	N/A	(40-60%) 4-5 / 5
SHRUB SUBSTITUTES REQ. / PROV.:	N/A	N/A	N/A	N/A
SHRUB PER FEET REQ.:	5 SHRUBS PER 40 LF	5 SHRUBS PER 40 LF	5 SHRUBS PER 40 LF	5 SHRUBS PER 40 LF
NUMBER OF SHRUBS REQ. / PROV.:	39 / 39	BY MASTER DEVELOPER. SEE DOUGLAS 234, FILING NO. 6	BY MASTER DEVELOPER. SEE DOUGLAS 234, FILING NO. 6	37 / 37
PLANT ABBREVIATION DENOTED ON PLAN:	NO	N / A	N / A	SO

PARKING LOT PERIMETER LANDSCAPING				
PERIMETER STREET OR BOUNDARY:	EXISTING NONRESIDENTIAL USE (NORTH)	SOUTH CHAMBERS ROAD	SLICEROO DRIVE	EXISTING NONRESIDENTIAL USE (SOUTH)
BUFFER WIDTH REQ. / PROV.:	8' / 8'	10' / 10'	10' / 10'	8' / 8'
SCREENING LENGTH REQ. / PROV.:	0' / 0'	129' / 129'	75' / 75'	190' / 190'

PARKING LOT INTERIOR LANDSCAPING	
PARKING LOT AREA:	27,400 SF
PERCENT MIN. LANDSCAPE REQ.:	N/A (PER SECTION 13.06.070.P.2.A.1)
PARKING LOT LANDSCAPE AREA REQ. / PROV.:	N/A
NUMBER OF LANDSCAPE ISLANDS:	N/A
TREE PER ISLAND REQ.:	N/A
PARKING LOT TREES REQ. / PROV.:	N/A
SHRUBS PER ISLAND REQ.:	N/A
PARKING LOT SHRUBS REQ. / PROV.:	N/A
PLANT ABBREVIATION DENOTED ON PLAN:	N/A

INTERNAL LANDSCAPING	
NET SITE AREA:	52,450 SF
PERCENT MIN. INTERNAL LANDSCAPE:	15%
INTERNAL LANDSCAPE AREA REQ. / PROV.:	7,867 SF / 10,338 SF
TREE PER FEET REQ.:	1 TREE PER 1500 SF
INTERNAL TREES REQ. / PROV.:	8 / 9
SHRUBS PER FEET REQ.:	5 SHRUB PER 1500 SF
INTERNAL SHRUBS REQ. / PROV.:	37 / 37
EVERGREEN TREES REQ. / PROV.:	(25-50%) 2-4 / 3
PLANT ABBREVIATION DENOTED ON PLAN:	IN
% LIVE GROUND COVER REQ.:	75%
LIVE GROUND COVER REQ. / PROV.:	7,763 SF / 17,753 SF+

TITLE	SITE PLAN	DATE	7/1/21	REVISION	1	DATE	9/27/21	BY	JJM
DESCRIPTION	LANDSCAPE NOTES	DATE ISSUED	9/3/2021	REV	1	DATE		DESCRIPTION	
SITE ADDRESS	LOT 3, DOUGLAS 234 FILING NO. 6	SITE ID	0050785						

PREPARED FOR: **McDonald's USA, LLC**

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PREPARED BY: **Kimley-Horn & Associates, Inc.**

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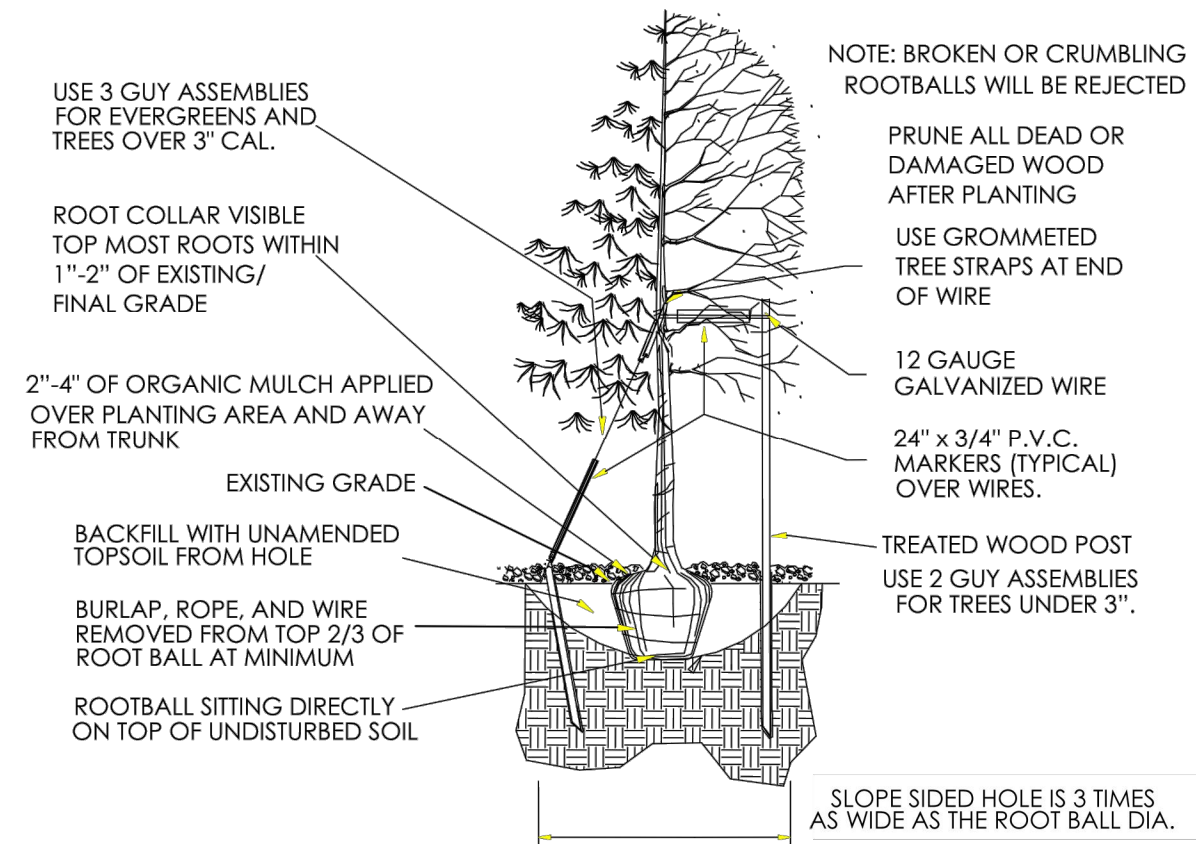


DOUGLAS 234 FILING NO. 6, LOT 3

A PORTION OF THE SOUTHEAST 1/4 OF THE SECTION 29,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE PLAN

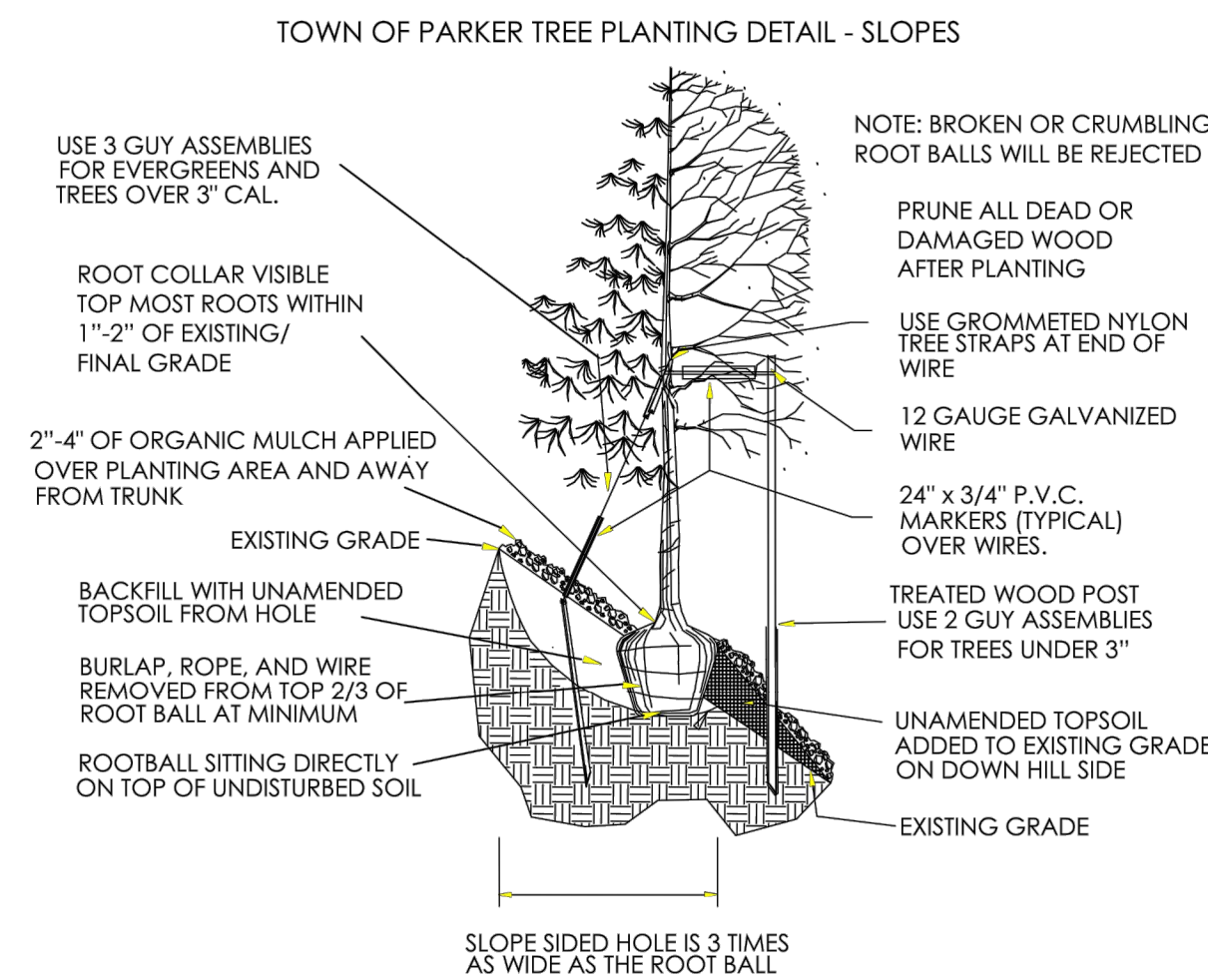
TOWN OF PARKER PLANTING STANDARDS



- Excavate planting holes with sloping sides. Make excavations at least three times as wide as the root ball diameter and no deeper than the distance from the top most roots in the root ball to the bottom of the root ball to allow for settling. Do not disturb soil at bottom of planting holes, but do score the sides of the planting hole. The planting area shall be loosened and aerated at least three times the diameter of the root ball. Backfill shall consist of existing on site topsoil - no amendments shall be used unless otherwise specified.
- Trees shall be planted with the root collar/flare visible above grade AND two or more structural roots located within the top 1" to 2" of the root ball/finished grade measured 3" to 4" from trunk. This includes trees that are set on slopes (see slope planting detail). Trees that do not have a visible root collar shall be rejected. Do not cover the root ball with soil.
- When root ball will remain intact, cut off bottom 1/4 of wire basket before placing tree in hole, cut off remainder of basket AFTER tree is set in hole, remove basket completely. At a minimum, the top 2/3 of the burlap and basket shall be removed from the root ball on all trees. Remove all nylon ties, twine, rope and burlap. Remove unnecessary packing material.
- Form soil into a 3" to 5" tall watering ring (saucer) around planting area. This is not necessary in irrigated turf areas. Apply 2" to 4" depth of specified mulch over planting area and inside saucers, away from trunk.
- Staking and guying of trees is optional in most planting situations. In areas of extreme winds, or on steep slopes, staking may be required to stabilize trees. Staking and guying must be removed within 1 year of planting date.
- Tree wrap is *not* to be used on any new plantings, except in late fall planting situations, and only then after consultation with the Town Arborist.
- Resetting of improperly planted trees will only be allowed if it is determined that doing so will in no way compromise the root ball, and shall only be done with approval of the Town Arborist.

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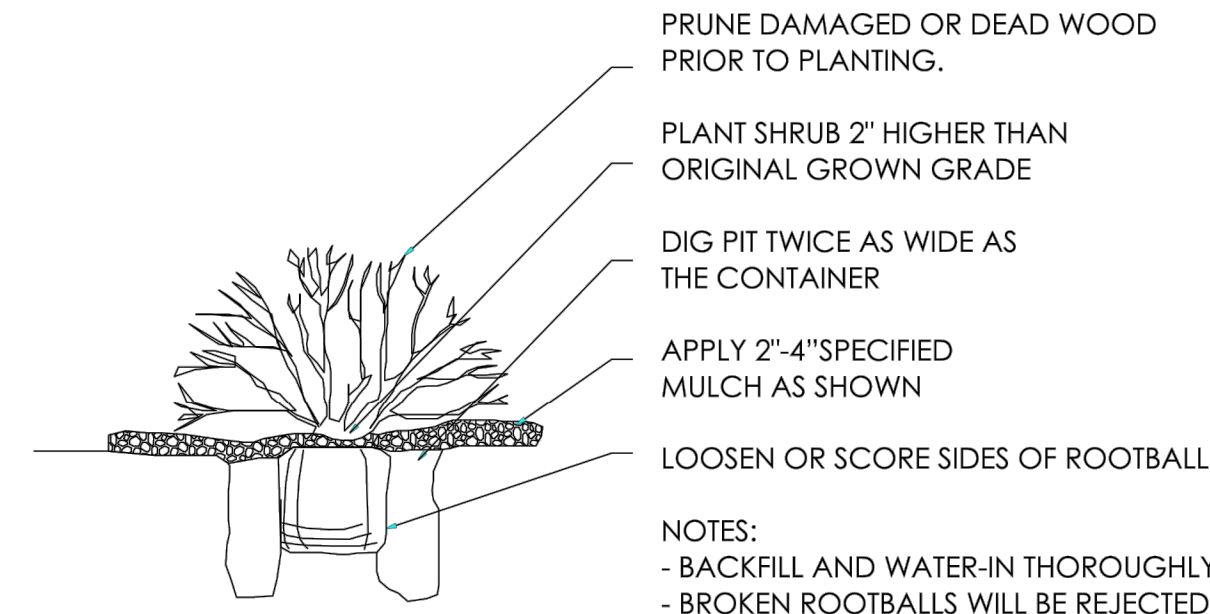
TOWN OF PARKER PLANTING STANDARDS



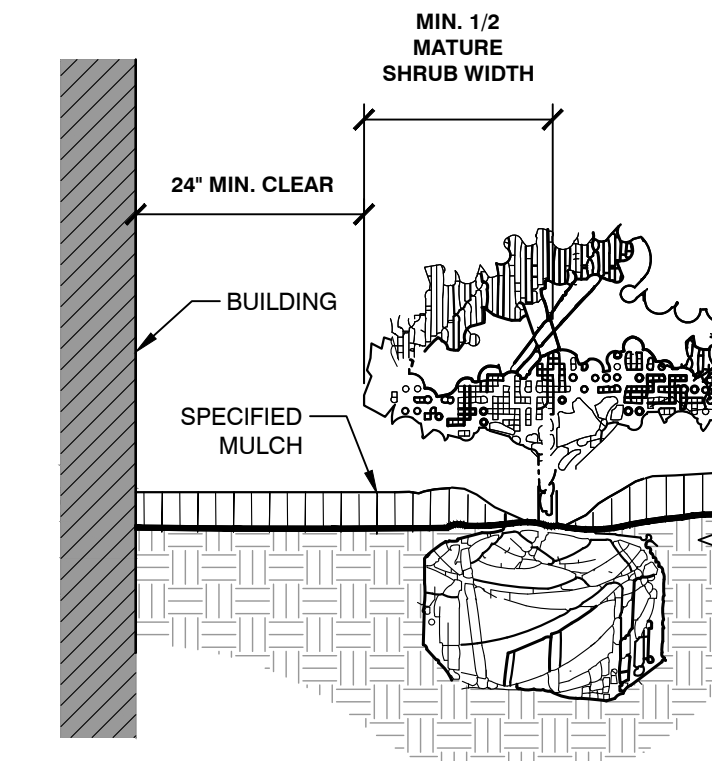
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TOWN OF PARKER PLANTING STANDARDS

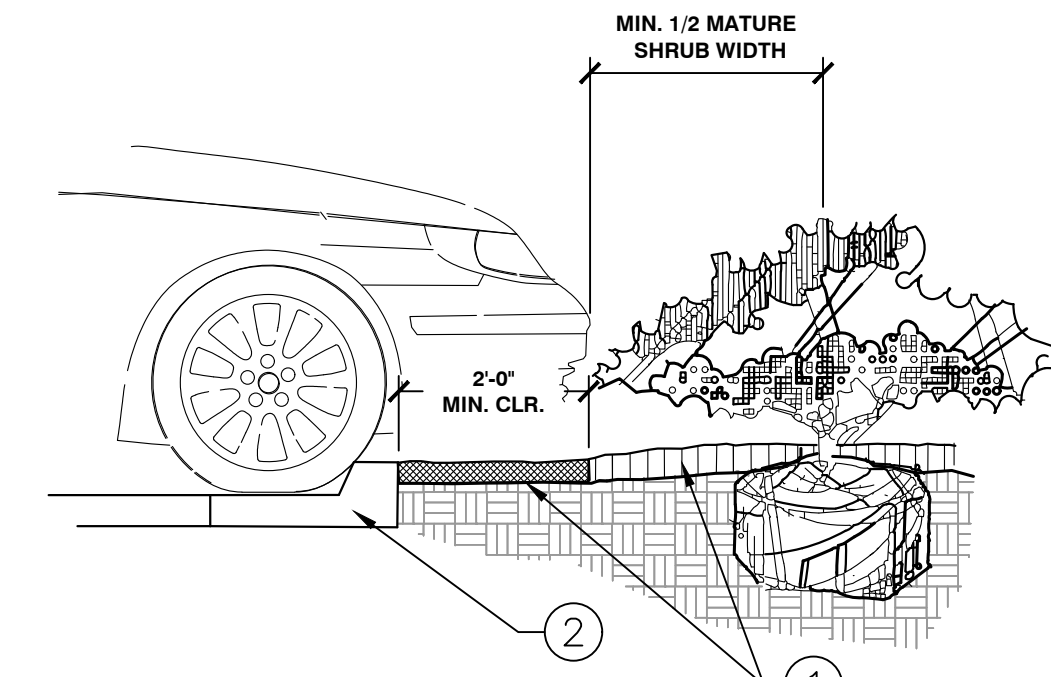
TOWN OF PARKER PLANTING DETAIL - SHRUBS



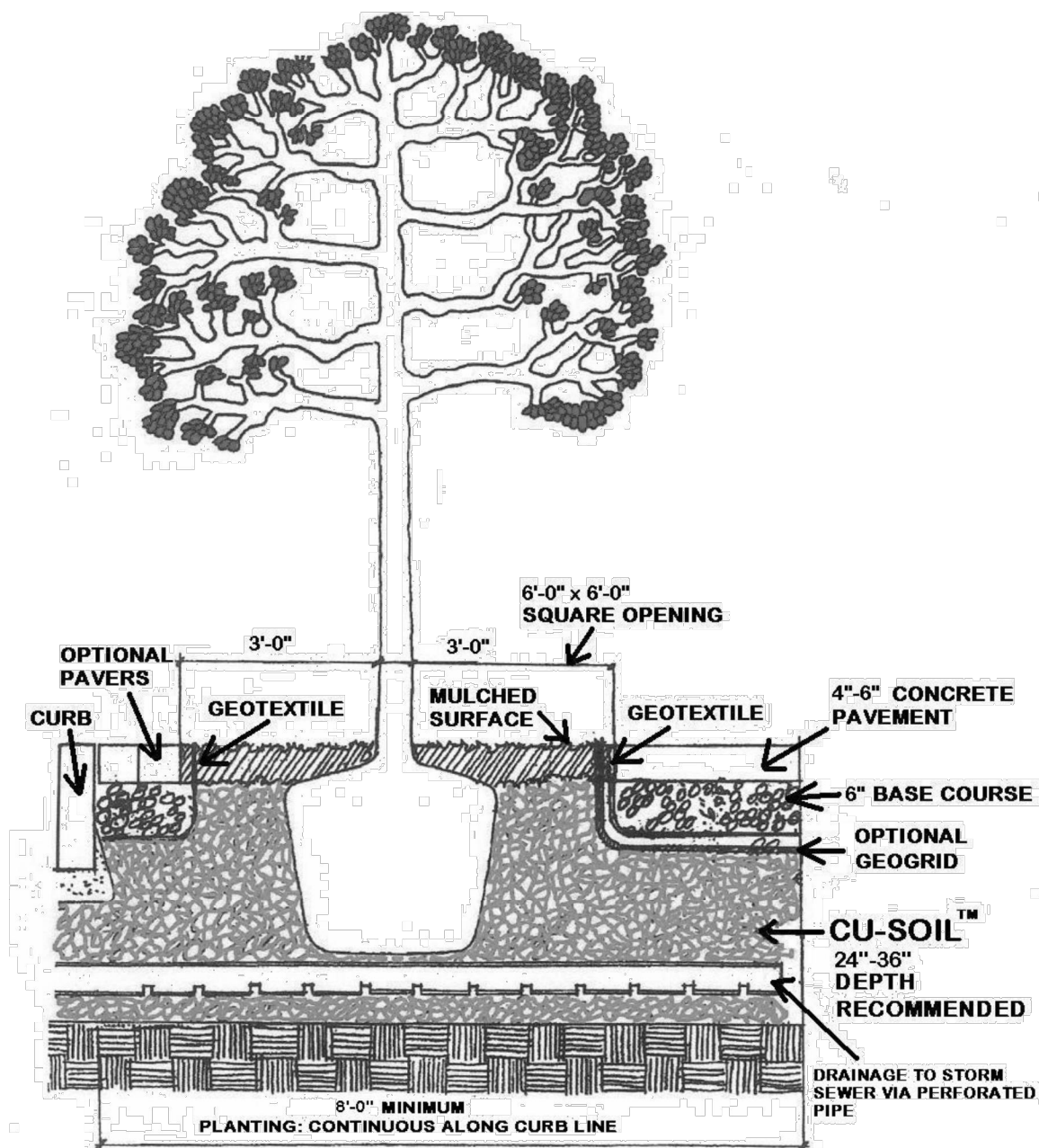
13



1 PLANTINGS ADJACENT TO BUILDINGS SECTION NTS



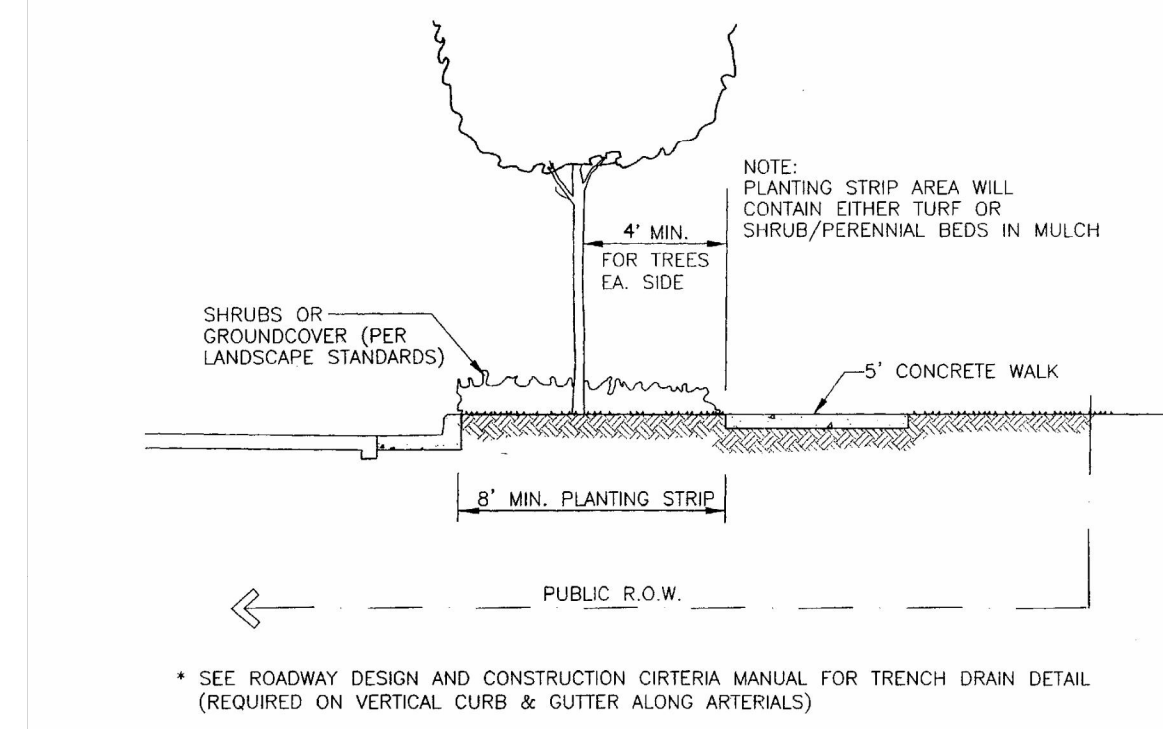
2 PARKING SPACE/CURB PLANTING SECTION NTS



There will be a need to ensure moisture recharge and free gas exchange throughout the root zone which is not the entire subbase. The challenge is met by the installation of a three dimensional geo-composite (a geo-grid wrapped in textile one inch thick by eight inches wide) which could be laid above the subbase as spokes radiating from the trunk flare opening. This form of passive irrigation is currently in the testing stage. Other previous surface treatments could also provide additional moisture recharge, as could traditional irrigation.

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TYPICAL STREET SECTION WITH DETACHED WALK



24

CU STRUCTURAL SOIL

CU Structural Soil is a designed medium which can meet or exceed pavement design and installation requirements while remaining root penetrable and supportive for tree growth. It consists of gap-graded gravels which are made up of crushed stone, clay loam, and a hydrogel stabilizing agent. The materials can be compacted to meet all relevant pavement design requirements yet allow for sustainable root growth. This system essentially forms a rigid, load-bearing stone lattice and partially fills the lattice voids with soil. Structural soil provides a continuous base course under pavements while providing material for tree root growth, shifting design away from individual tree pits, to a designed, root penetrable, high strength, pavement system. An added advantage of using this material is its ability to allow roots to grow away from the wearing surface, thus reducing the potential for sidewalk heaving as well as providing for healthier, long-lived trees.

This system consists of a four to six inch rigid pavement surface, with a pavement opening large enough to accommodate a 40 year or older tree. The opening could be concentric rings of pavers designed for removal as the buttress roots lift them. Below that a six inch base course could be installed and compacted with the material meeting normal regional pavement specifications for the traffic they are expected to experience. The base acts as a root exclusion zone from the pavements surface. A geotextile (weed barrier) segregates the base course from the subbase and extends as an apron emerging around the edges of the concrete. A gap-graded, structural soil material demonstrated to allow root penetration when compacted would be the subbase and area for subsequent tree root growth. This material would be compacted to not less than 95% Proctor density (AASHTO T-99) and possess a California Bearing Ratio greater than 40. The subbase thickness would depend on the depth of sub grade or to a proposed target of 36 inches. This is negotiable, but a 24 inch minimum would be encouraged for the root zone. The sub grade should be excavated to parallel the final grade. Under-drainage must be provided under the structural soil material conforming to approved engineering standard for that region.

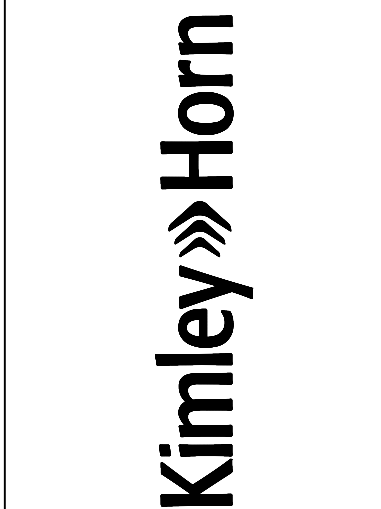
The three components of the Structural Soil are mixed in the following proportions by weight:

- Crushed Stone (granite or limestone, graded 3/4 to 1 1/2", highly angular, with no fines) - 100
- Clay Loam - 20
- Hydrogel - 0.03

In a typical street tree installation of such a structural soil, the potential rooting zone could extend from the building face to curb, running the entire length of the street. This would ensure an adequate volume of soil to meet the long term needs of the tree. Where this entire excavation is not feasible, a trench, running parallel to the curb, eight feet wide and three feet deep would be minimally adequate. Since this profile has adapted the standard surface and base specifications generally in use, less hesitation for engineering approval may result.

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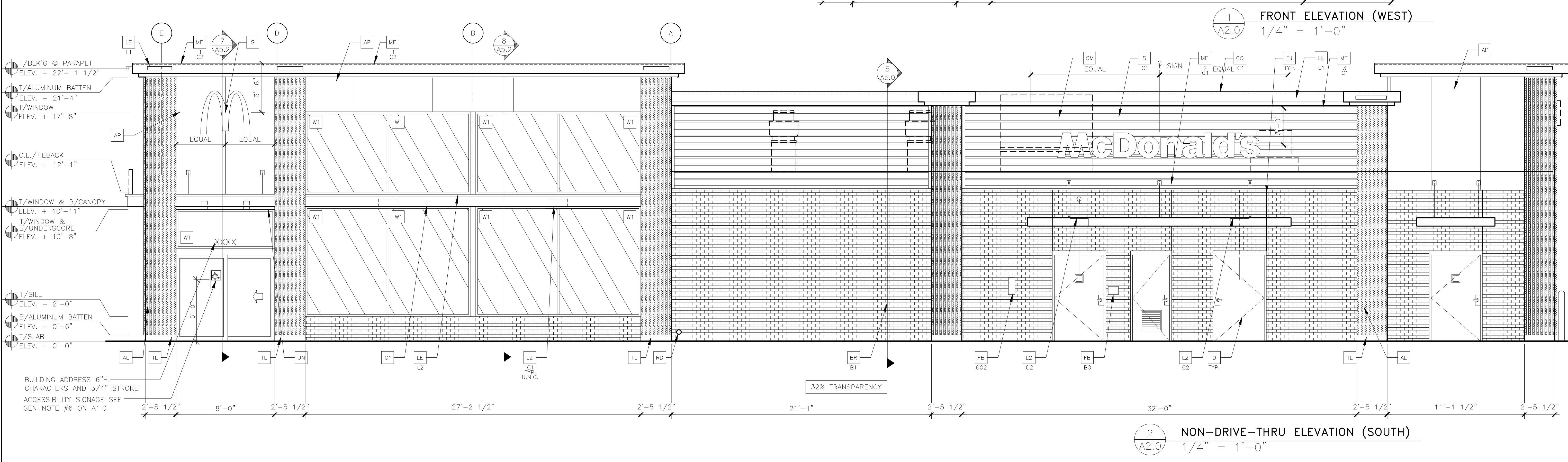
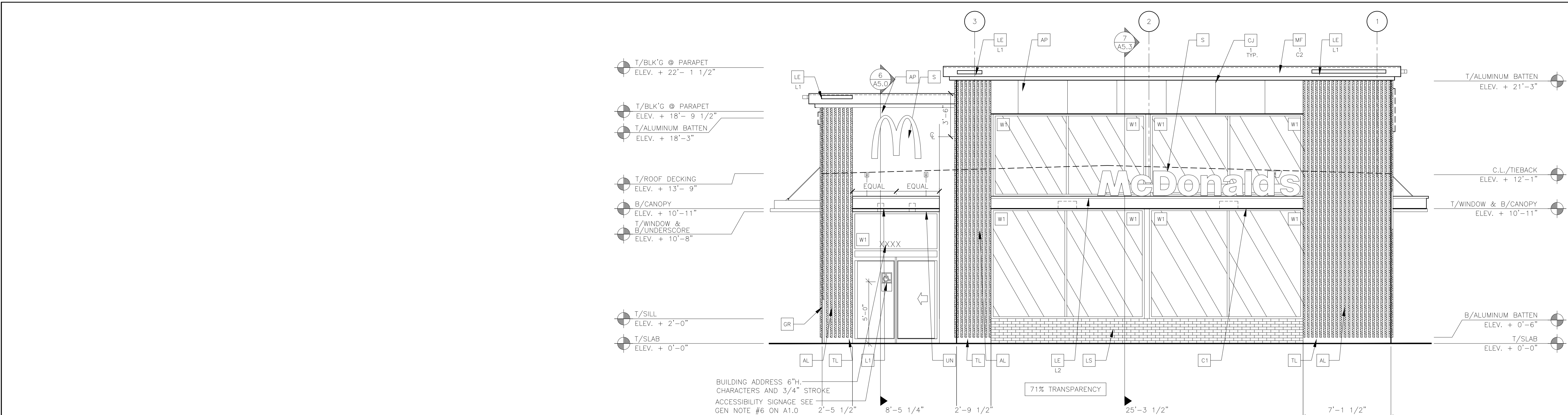
TITLE	SITE PLAN	DATE	JUN 7/1/21	REVISION	1	DATE	9/27/21	DESCRIPTION	JUN BY
DESCRIPTION	LANDSCAPE DETAILS	DATE ISSUED	9/3/2021						
SITE ID	0050785	SITE ADDRESS	LOT 3, DOUGLAS 234 FILING NO. 6						



PREPARED BY:
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Kimley Horn and Associates, Inc.

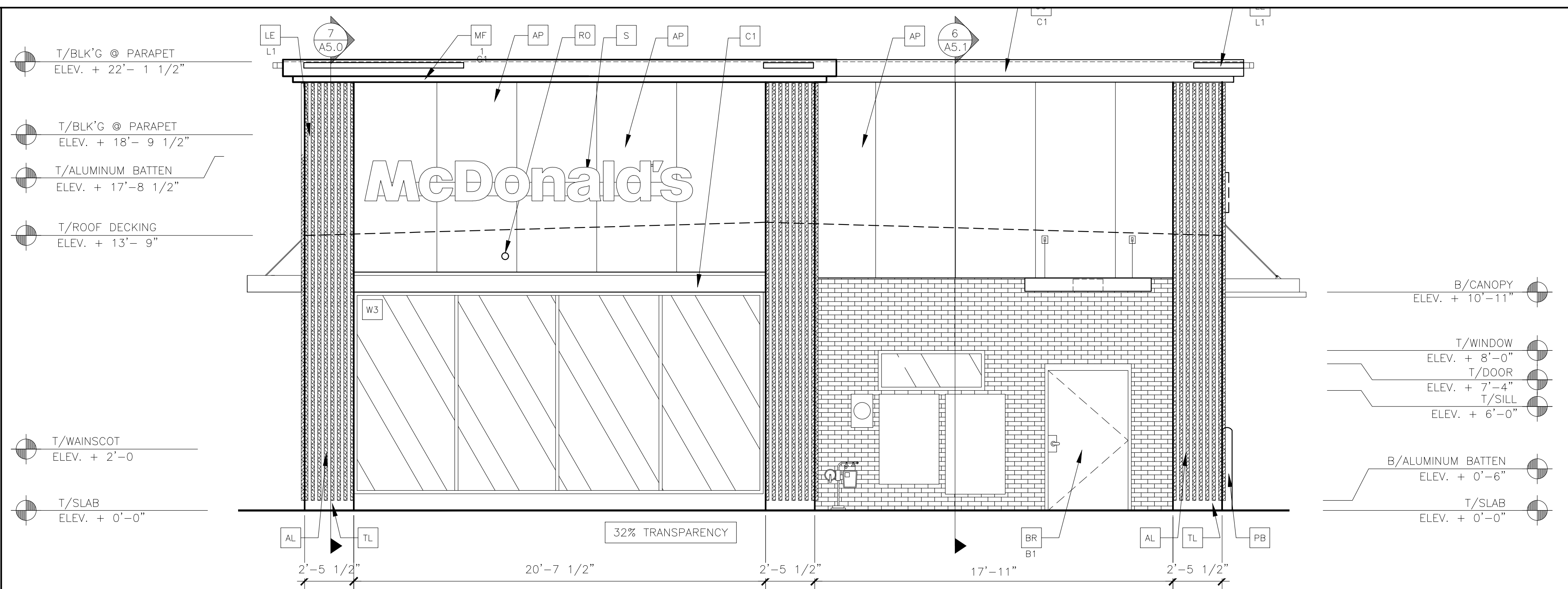
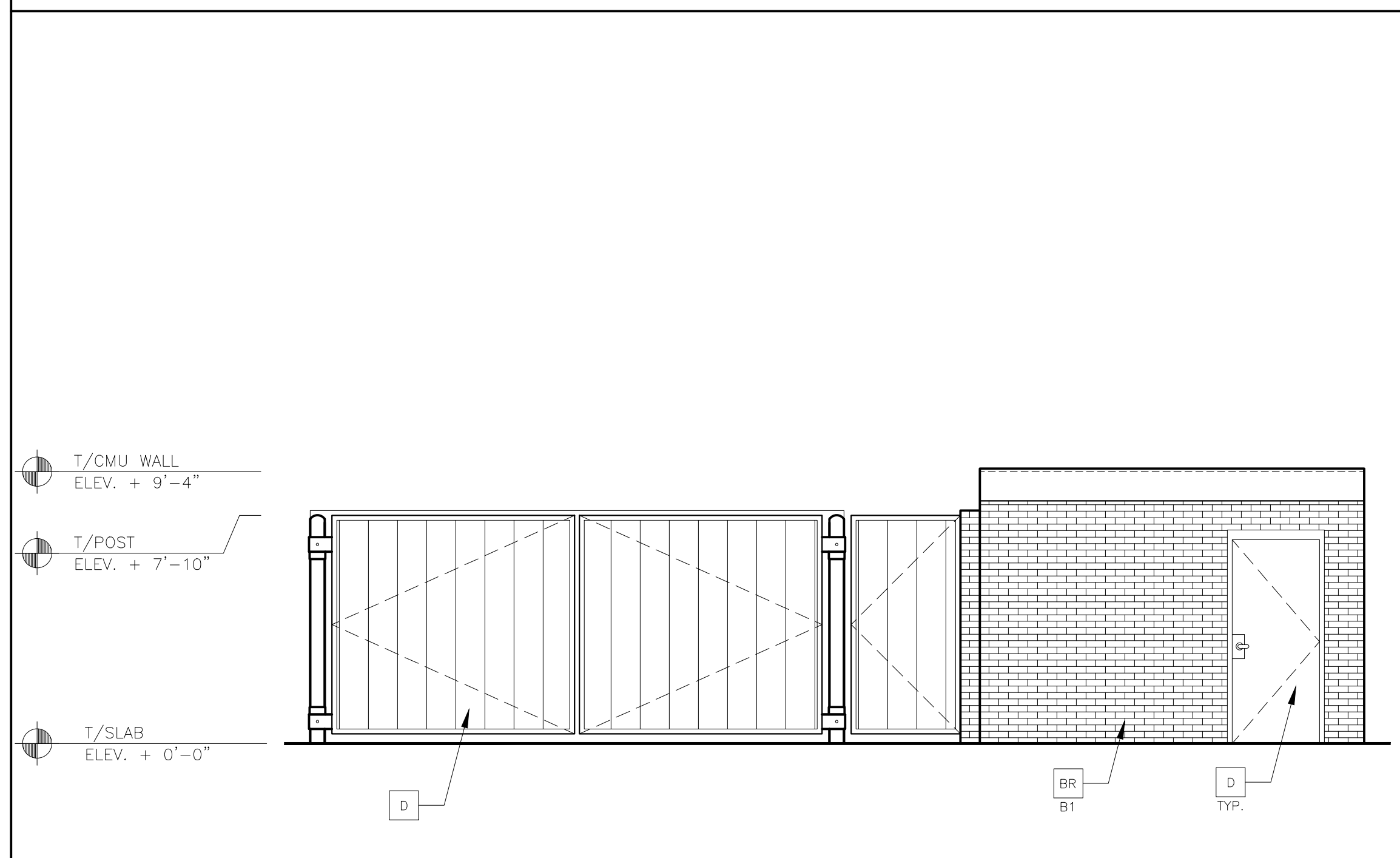
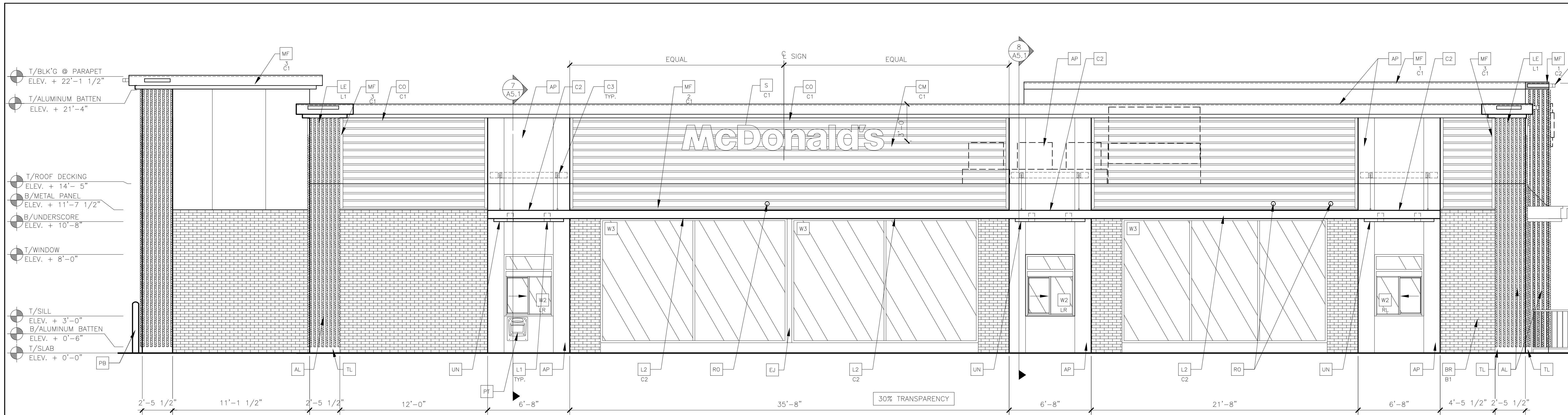
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KEY NOTES:	
<p>AL ALUMINUM BATTEN SYSTEM SIZE: 2"x2" PROFILE COLOR: WOOD GRAIN, BACKRAIL UNFINISHED, ENDCAP PAINTED TO MATCH SUBSTRATE; 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB, GROUP 1, HDO BOTH FACES, APA TRADEMARKED. COURSE GRIT SAND SURFACES PRIOR TO PRIMING. PRIME AND PAINT BOTH SIDES AND ALL EDGES. SUBSTRATE COLOR: "IRON ORE" 7069 BY SHERWIN WILLIAMS</p> <p>AP ALPOLIC METAL PANEL (COLOR: RAL 7022)</p> <p>BR BRICK B1-COLOR: "SILVERADO" SMOOTH, MODULAR BY HEBON BRICK COMPANY</p> <p>C1 ALUMINUM CANOPY SYSTEM W/FASCIA COLOR: WHITE</p>	<p>C2 ALUMINUM CANOPY SYSTEM COLOR: RAL 7022</p> <p>C3 ALUMINUM CANOPY TIEBACK COLOR: RAL 7022 GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS</p> <p>CJ CONTROL JOINT 1-TYPE: 1 = ALPOLIC</p> <p>CM 7" REVEAL METAL WALL PANEL SYSTEM BY METAL ERA C1-COLOR: C1 = WEATHERED ZINC</p> <p>CO CORNICE C1-COLOR: WEATHER ZINC</p> <p>D HOLLOW METAL DOOR PAINT: "FAIRVIEW TAUPE" HC-85 BY BENJAMIN MOORE</p>
<p>DE DECAL BY GRAPHICS SUPPLIER SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED. SUPPLIERS: VOMELA (865) 330-7337, ann.bowen@vomela.com GFX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com</p> <p>EJ EXPANSION JOINT, SEE DETAIL 7/A4.1</p> <p>FB FB C02 = BULK C02 FILL BOX (EGPM SCHEDULE ITEM 49.00) B0 = BULK OIL FILL BOX (EGPM SCHEDULE ITEM 700.18)</p> <p>GR GUARD RAIL -SEE CIVIL SITE PLAN FOR EXACT LOCATION AND LENGTH PAINT: "IRON ORE" 7069 BY SHERWIN WILLIAMS</p> <p>L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL COLOR: GOLD</p> <p>L2 RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL C1-COLOR: C1 = WHITE C2 = PLATINUM SILVER</p>	<p>LE ACCENT LIGHTING - SEE ELECTRICAL L1-LED LIGHT: L1 = SLIM LED (DOWN ONLY) L2 = INTEGRAL CANOPY FIXTURE L3 = UP ONLY FLOOD FIXTURE</p> <p>LS CULTURED STONE BY BORAL HEWN STONE, COLOR: FOUNDATION (TO BE VERIFIED WITH McDONALDS ACM) CONTACT: KEVEN REIDY, (717) 377-2746</p> <p>MF METAL FASCIA C1-TYPE: 1 = PRE-FAB ANCHOR-TITE FASCIA 2 = BOTTOM TRIM AT METAL REVEAL PANEL 3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES</p> <p>FB PIPE BOLLARD - PAINTED YELLOW</p>
<p>PT (RWMC) COIN COLLECTOR MODEL: #WPT STD CALL 1-888-743-7435 TO ORDER</p> <p>RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL</p> <p>S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. C1-COLOR: C1 = WEATHERED ZINC RACEWAY C2 = RAL 7022 RACEWAY</p> <p>SP SPANDREL GLASS</p> <p>TL TILE (@ BASE OF BATTEN SYSTEM) EUROWEST: E-WOOD COLLECTION; COLOR: R9 BLACK; SIZE:6"x24" WATERPROOFING SETTING MATERIAL AND GROUT: BY MAPEI GROUT COLOR: ULTRA COLOR PLUS - 47 CHARCOAL GROUT WIDTH: 1/8" TO 3/16" CONTACT: JAN DETER, (714) 937-7500</p> <p>UN METAL UNDERSCORE COLOR: GOLD</p>	<p>W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS COLOR: DARK BRONZE</p> <p>W2 DRIVE-THRU WINDOW BY READY ACCESS MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL OPEN; ELECTRONIC RELEASE COLOR: DEEP BRONZE SLIDE DIRECTION: RL = RIGHT TO LEFT LF = LEFT TO RIGHT</p> <p>W3 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS COLOR: DARK BRONZE BACK LIT GLAZING</p>

<p>PREPARED FOR: McDonald's USA, LLC</p> <p>PREPARED BY: CORE STATES GROUP CONSTRUCTIVE</p> <p>12000 Market Road Suite 102 31437-0000</p>	<p>© 2019 McDonald's USA, LLC</p> <p>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the contract documents for reuse on another project is not authorized.</p>
<p>DRAWN BY: B.ARDALLA</p> <p>STD ISSUE DATE: 2021_05</p> <p>REVIEWED BY: MARC PELINI</p> <p>DATE ISSUED: 05/12/21</p> <p>C.S.G. PROJECT #: MCD.26562</p>	<p>TITLE: 2017 STANDARD BUILDING - BB20</p> <p>DESCRIPTION: WOOD BEARING WALLS W/4" BRICK EXTERIOR FINISH & CI WOOD TRUSS ROOF FRAMING E.I.F.S./BATTEN/METAL PANEL/BRICK EXTERIOR FINISH</p> <p>SITE ADDRESS: CHAMBERS & HESS PARKER, CO</p>
<p>REV. DATE</p>	<p>DESCRIPTION</p>
<p>BY</p>	<p>DATE</p>
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<p>REV. DATE</p>	<p>DESCRIPTION</p>
<p>BY</p>	<p>DATE</p>



KEY NOTES:

- AL ALUMINUM BATTEN SYSTEM
SIZE: 2"x2" PROFILE
COLOR: WOOD GRAIN, BACKRAIL UNFINISHED, ENDCAP PAINTED TO MATCH SUBSTRATE; 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB, GROUP 1, HDO BOTH FACES, APA TRADEMARKED, COURSE GRIT SAND SURFACES PRIOR TO PRIMING, PRIME AND PAINT BOTH SIDES AND ALL EDGES.
SUBSTRATE COLOR: "IRON ORE" 7069 BY SHERWIN WILLIAMS
- AP ALPOLIC METAL PANEL (COLOR: RAL 7022)
- BR -COLOR-
B1 = "SILVERADO" SMOOTH, MODULAR BY HEBON BRICK COMPANY
- C1 ALUMINUM CANOPY SYSTEM W/FASCIA
COLOR: WHITE
- C2 ALUMINUM CANOPY SYSTEM
COLOR: RAL 7022
- C3 ALUMINUM CANOPY TIEBACK
COLOR: RAL 7022
GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS
- CJ CONTROL JOINT
1-TYPE: 1 = ALPOLIC
- CM 7" REVEAL METAL WALL PANEL SYSTEM BY METAL ERA
C1-COLOR:
C1 = WEATHERED ZINC
- CO CORNICE
C1-COLOR: WEATHER ZINC
C1-HOLLOW METAL DOOR
PAINT: "FAIRVIEW TAUPE" HC-85 BY BENJAMIN MOORE
- DE DECAL BY GRAPHICS SUPPLIER
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.
SUPPLIERS:
VOMELA (865) 330-7337, ann.bowen@vomela.com
GFX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com
- EJ EXPANSION JOINT, SEE DETAIL 7/A4.1
- FB CO2 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)
BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18)
- GR GUARD RAIL -SEE CIVIL SITE PLAN FOR EXACT LOCATION AND LENGTH
PAINT: "IRON ORE" 7069 BY SHERWIN WILLIAMS
- L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL
COLOR: GOLD
- L2 RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL
C1-COLOR:
C1= WHITE
C2= PLATINUM SILVER

- LE ACCENT LIGHTING - SEE ELECTRICAL
L1-LED LIGHT:
L1 = SUM LED (DOWN ONLY)
L2 = INTEGRAL CANOPY FIXTURE
L3 = UP ONLY FLOOD FIXTURE
- LS CULTURED STONE BY BORAL
HEWN STONE, COLOR: FOUNDATION
(TO BE VERIFIED WITH MCDONALDS ACM)
CONTACT: KEVEN REIDY, (717) 377-2746
- MF METAL FASCIA
C1-TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = BOTTOM TRIM AT METAL REVEAL PANEL
3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES
COLOR:
C1= WEATHERED ZINC
C2= RAL 7022
- PB PIPE BOLLARD - PAINTED YELLOW
- PT (RMHC) COIN COLLECTOR
MODEL: #WPT STD CALL 1-888-743-7435 TO ORDER
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S MCDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
C1-COLOR:
C1 = WEATHERED ZINC RACEWAY
C2 = RAL 7022 RACEWAY
- SP SPANDREL GLASS
- TL TILE (@ BASE OF BATTEN SYSTEM)
EUROWEST: E-WOOD COLLECTION; COLOR: R9 BLACK; SIZE:6"x24"
WATERPROOFING SETTING MATERIAL AND GROUT: BY MAPEI
GROUT COLOR: ULTRA COLOR PLUS - 47 CHARCOAL
GROUT WIDTH: 1/8" TO 3/16"
- UN METAL UNDERSORE
COLOR: GOLD
- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS
COLOR: DARK BRONZE
- W2 DRIVE-THRU WINDOW BY READY ACCESS
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL OPEN; ELECTRONIC RELEASE
COLOR: DEEP BRONZE
SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT
- W3 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS
COLOR: DARK BRONZE
BACK LIFT GLAZING

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TITLE	2017 STANDARD BUILDING - BB20	DATE	4-597
DESCRIPTION	WOOD BEARING WALLS W/4" BRICK EXTERIOR FINISH & CI WOOD TRUSS ROOF FRAMING	DATE ISSUED	05/12/21
SHEET NO.	A2.1	SITE ADDRESS	CHAMBERS & HESS PARKER, CO
ELEVATIONS		C.S.G. PROJECT #	MCD.26562
		PREPARED FOR:	McDonald's USA, LLC
		PREPARED BY:	CORE STATES GROUP
		REVIEWED BY:	MARC PELINI
		DATE ISSUED:	05/12/21
		REVISION	
		REV	DATE
		DESCRIPTION	