

LEGEND

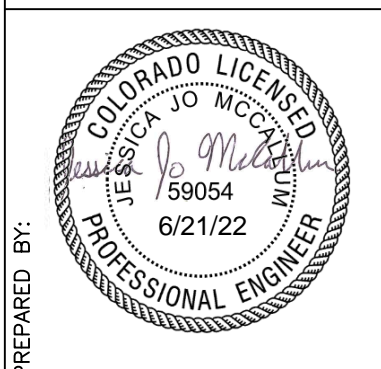
	PROPERTY LINE
	PARCEL LINE
	EASEMENT
	EX. WATER LINE
	EX. SANITARY LINE
	EX. STORM SEWER
	EX. PHONE LINE
	EX. ELECTRIC LINE
	EX. GAS LINE

NOTES:

1. ALL EXISTING UTILITIES ARE TO REMAIN UNLESS OTHERWISE NOTED.
2. ALL EXISTING IMPROVEMENTS TO BE PROTECTED IN PLACE, UNLESS SPECIFICALLY CALLED OUT AS "TO BE REMOVED".

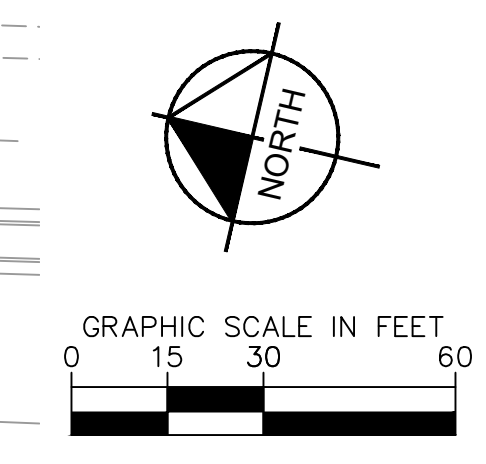
<p>CONSTRUCTION DOCUMENTS</p> <p>DESCRIPTION EXISTING CONDITIONS AND DEMOLITION PLAN</p> <p>SITE ID 0050785</p> <p>SITE ADDRESS 12201 SLICEROO DRIVE, PARKER, CO</p>	<p>DRAWN BY JMM</p> <p>STD ISSUE DATE 07/1/21</p>	<p>REVIEWED BY JRH</p> <p>DATE ISSUED 07/1/21</p>	<p>DATE</p>	<p>REV</p>	<p>DATE</p>	<p>DESCRIPTION</p>
	<p>REVISION #4</p>	<p>4/8/22</p>	<p>4</p>	<p>4/8/22</p>	<p>JMM</p>	<p>REVISION #4</p>
	<p>REVISION #3</p>	<p>3/9/22</p>	<p>3</p>	<p>3/9/22</p>	<p>JMM</p>	<p>REVISION #3</p>
	<p>REVISION #2</p>	<p>11/22/21</p>	<p>2</p>	<p>11/22/21</p>	<p>JMM</p>	<p>REVISION #2</p>
<p>REVISION #1</p>	<p>9/27/21</p>	<p>1</p>	<p>9/27/21</p>	<p>JMM</p>	<p>REVISION #1</p>	<p>BY</p>

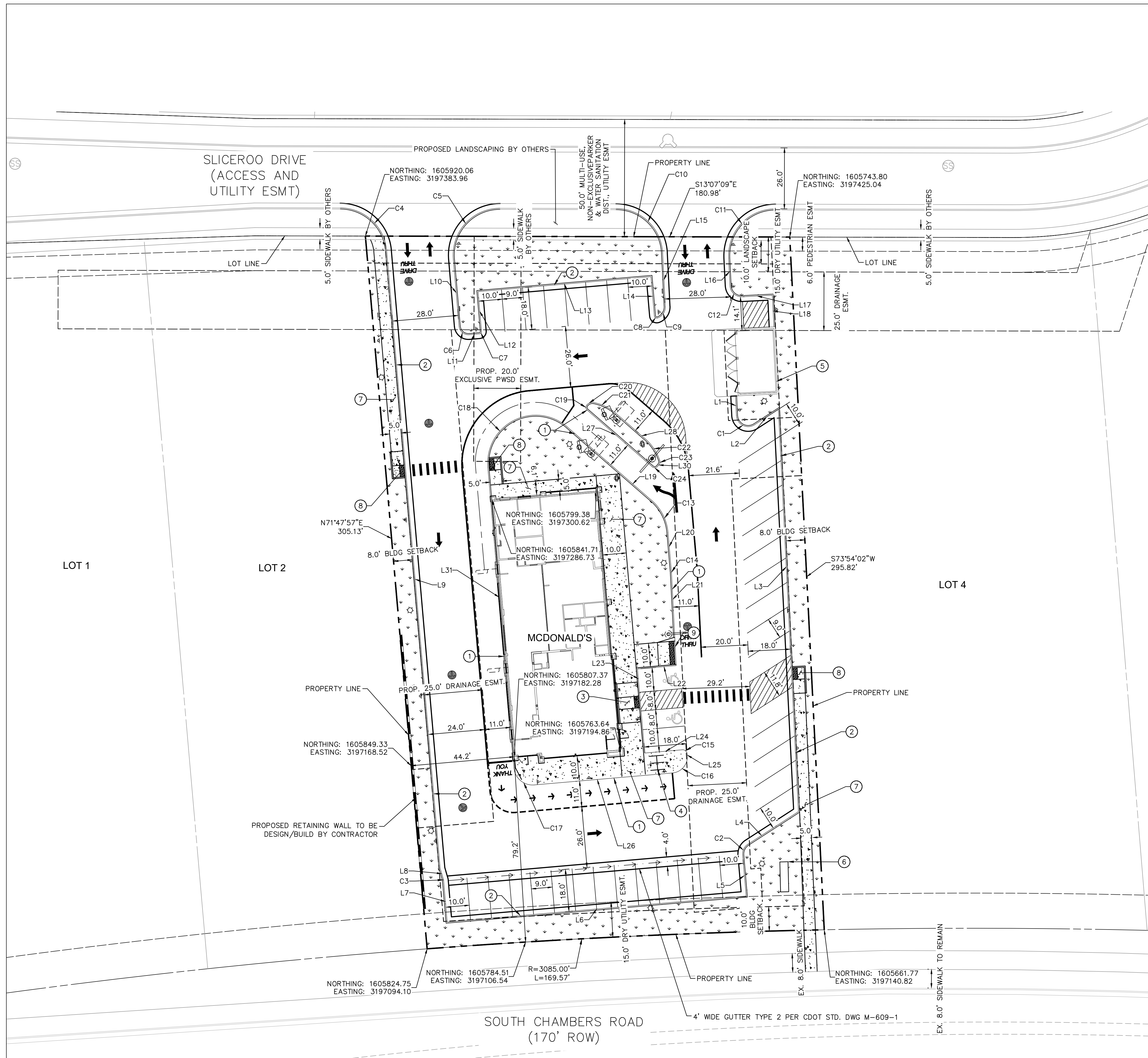
PREPARED BY: **Kimley»Horn**



PREPARED FOR: **McDonald's USA, LLC**

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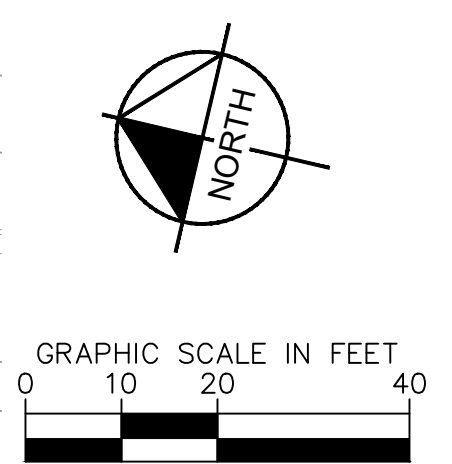
- LEGEND**
- PROPERTY LINE
 - EASEMENT
 - LANDSCAPE (REF. LANDSCAPE PLANS)
 - CONCRETE SIDEWALK (REF. PAVEMENT DETAILS ON SHEET C1.4)
 - CONCRETE DRIVES, PARKING, AND DRIVE-THRU LANES (REF. PAVEMENT DETAILS ON SHEET C1.4)

- KEYNOTE LEGEND**
- ① PROPOSED 6" WIDE X 6" TALL CURB HEAD (REF. SHEET C1.4 FOR DETAIL)
 - ② PROPOSED VERTICAL CURB AND GUTTER SECTION PER TOWN OF PARKER STD. DTL. 3
 - ③ PROPOSED MIDBLOCK CURB RAMP PER TOWN OF PARKER STD. DTL. 17
 - ④ PROPOSED BIKE PARKING (3 SPACES)
 - ⑤ PROPOSED TRASH ENCLOSURE
 - ⑥ PROPOSED MONUMENT SIGN (ALL SIGNS ARE REVIEWED UNDER SEPARATE PERMIT)
 - ⑦ PROPOSED SIDEWALK PER TOWN OF PARKER STD. DTL. 4
 - ⑧ PROPOSED PARALLEL RAMP (SIDEWALK ENDS) PER CDOT STD. PLAN NO. M-608-1
 - ⑨ PROPOSED PERPENDICULAR RAMP WITH VERTICAL RETURN CURB PER CDOT STD. PLANS NO. M-608-1

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____



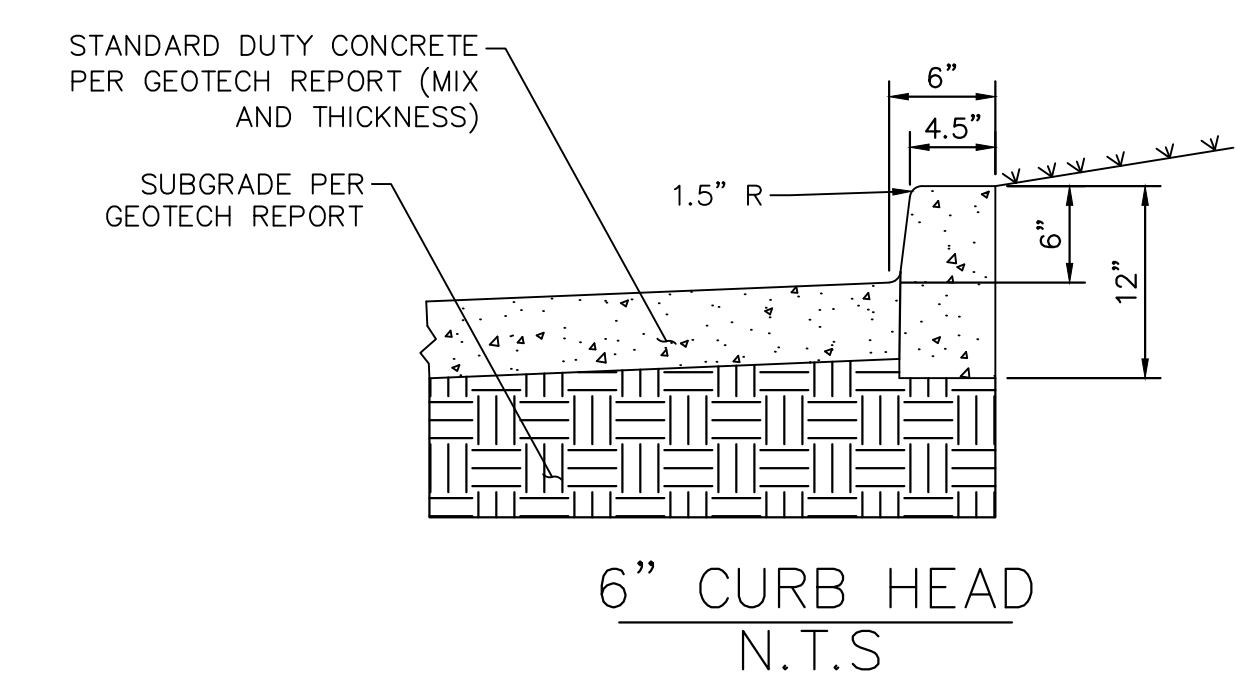
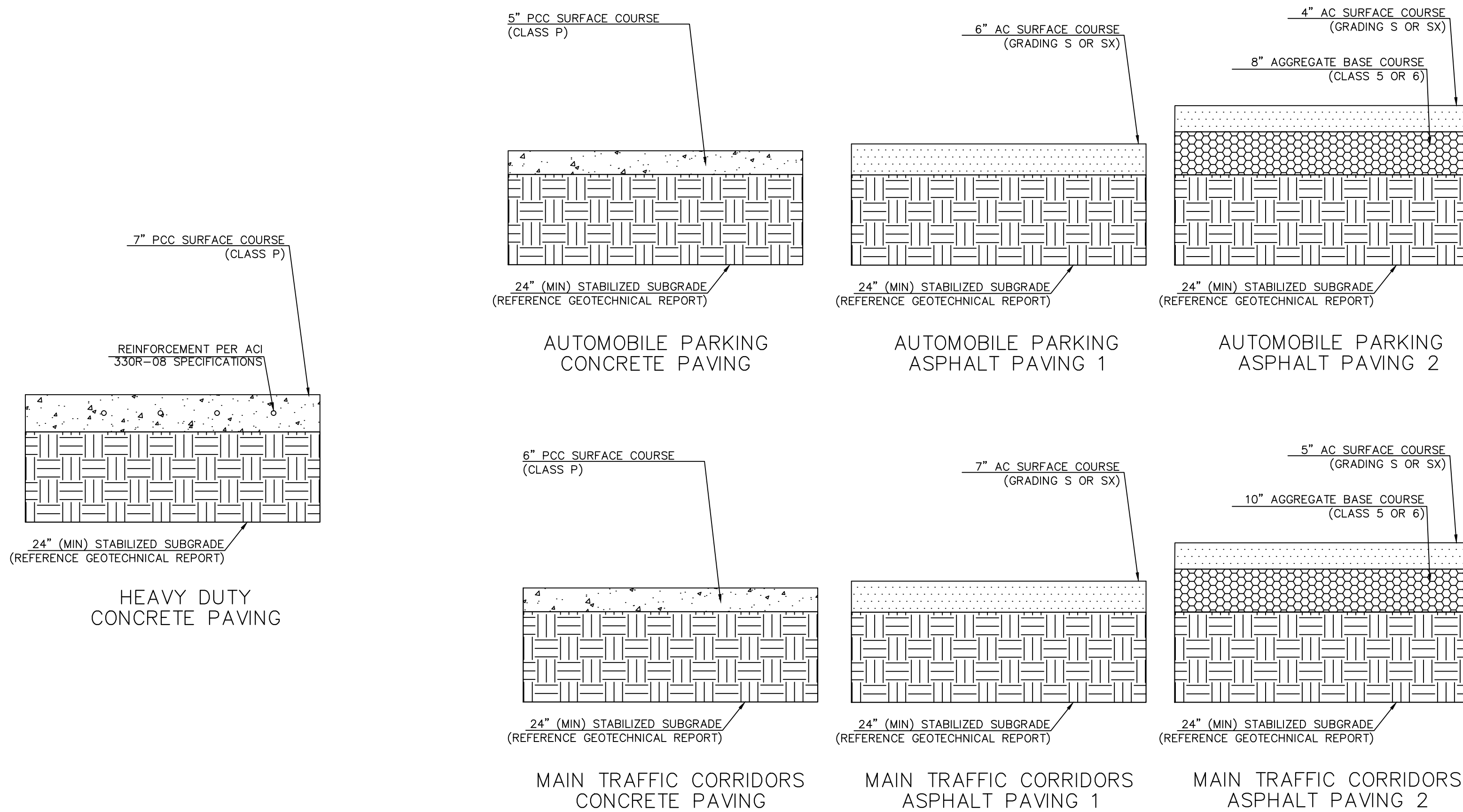
TITLE	CONSTRUCTION DOCUMENTS	DATE	07/1/21
DESCRIPTION	HORIZONTAL CONTROL PLAN	DATE ISSUED	07/1/21
SITE ID	0050785	SITE ADDRESS	12201 SLICEROO DRIVE, PARKER, CO
PREPARED FOR:	McDonald's USA, LLC	PREPARED BY:	JESSICA JO MCGEE
PROFESSIONAL ENGINEER	59054	DATE	6/21/22
REVISION #	4	DATE	4/8/22
REVISION #3	3	DATE	3/9/22
REVISION #2	2	DATE	11/22/21
REVISION #1	1	DATE	9/27/21
DESCRIPTION		REV	
		BY	

LINE TABLE		
LINE	LENGTH	BEARING
L1	8.34	S73°54'01.96"W
L2	12.12	S46°05'58.04"E
L3	171.79	S73°54'01.96"W
L4	25.61	N46°05'58.04"W
L5	17.54	S71°47'57.10"W
L6	128.00	N18°12'02.90"W
L7	17.50	N71°47'57.10"E
L8	4.60	N60°29'21.34"E
L9	264.44	N71°47'57.10"E
L10	28.68	S71°47'57.10"W
L11	4.33	S18°12'02.91"E
L12	17.00	N71°47'57.09"E
L13	74.00	S18°12'02.91"E
L14	16.87	S71°47'57.09"W
L15	22.78	N73°54'01.96"E
L16	11.78	S73°54'01.96"W
L17	12.83	S16°05'58.04"E
L18	13.43	S73°54'01.96"W
L19	47.75	N27°47'57.09"E
L20	16.86	N71°47'57.09"E

LINE TABLE		
LINE	LENGTH	BEARING
L21	39.66	N73°51'01.39"E
L22	16.57	S18°12'03.03"E
L23	36.00	N71°47'56.97"E
L24	16.00	N18°12'02.91"W
L25	0.49	N71°47'57.10"E
L26	59.12	S18°12'02.91"E
L27	36.92	S27°47'57.09"W
L28	16.23	N27°47'57.09"E
L30	0.92	S62°12'02.91"E
L31	128.73	S71°46'49.21"W

CURVE TABLE						
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	5.00'	10.47'	S13°54'02"W	8.66'	120°00'00"	8.66'
C2	5.00'	5.42'	N77°09'00"W	5.16'	62°06'05"	3.01'
C3	5.00'	0.99'	N66°08'39"E	0.99'	11°18'36"	0.50'
C4	20.00'	29.64'	N29°20'24"E	27.00'	84°55'06"	18.30'
C5	20.00'	33.19'	N60°39'36"W	29.51'	95°04'54"	21.86'
C6	4.00'	6.28'	S26°47'57"W	5.66'	90°00'00"	4.00'
C7	1.00'	1.57'	S63°12'03"E	1.41'	90°00'00"	1.00'
C8	1.00'	1.82'	S19°33'38"W	1.58'	104°28'39"	1.29'
C9	5.00'	6.41'	S69°23'20"E	5.98'	73°25'16"	3.73'
C10	20.00'	30.38'	N30°23'27"E	27.54'	87°01'11"	18.99'
C11	20.00'	32.46'	N59°36'33"W	29.01'	92°58'49"	21.07'
C12	5.00'	7.85'	S28°54'02"W	7.07'	90°00'00"	5.00'
C13	20.50'	15.74'	N49°47'57"E	15.36'	44°00'00"	8.28'
C14	9.00'	0.33'	N72°51'00"E	0.33'	2°06'05"	0.17'
C15	2.00'	3.14'	N26°47'57"E	2.83'	90°00'00"	2.00'
C16	7.00'	11.00'	S63°12'03"E	9.90'	90°00'00"	7.00'
C17	8.00'	12.53'	S26°39'54"W	11.29'	89°43'54"	7.96'
C18	20.50'	48.64'	N40°09'59"W	38.01'	135°55'51"	50.65'
C19	1.50'	2.36'	S72°48'00"W	2.12'	90°00'05"	1.50'
C20	3.00'	3.14'	N32°11'37"W	3.00'	60°00'41"	1.73'

CURVE TABLE						
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C21	20.50'	10.73'	N12°48'20"E	10.61'	29°59'14"	5.49'
C22	21.52'	11.43'	N42°21'32"E	11.30'	30°26'09"	5.85'
C23	2.00'	2.10'	N87°41'30"E	2.01'	60°12'54"	1.16'
C24	1.50'	2.36'	S17°12'03"E	2.12'	90°00'00"	1.50'



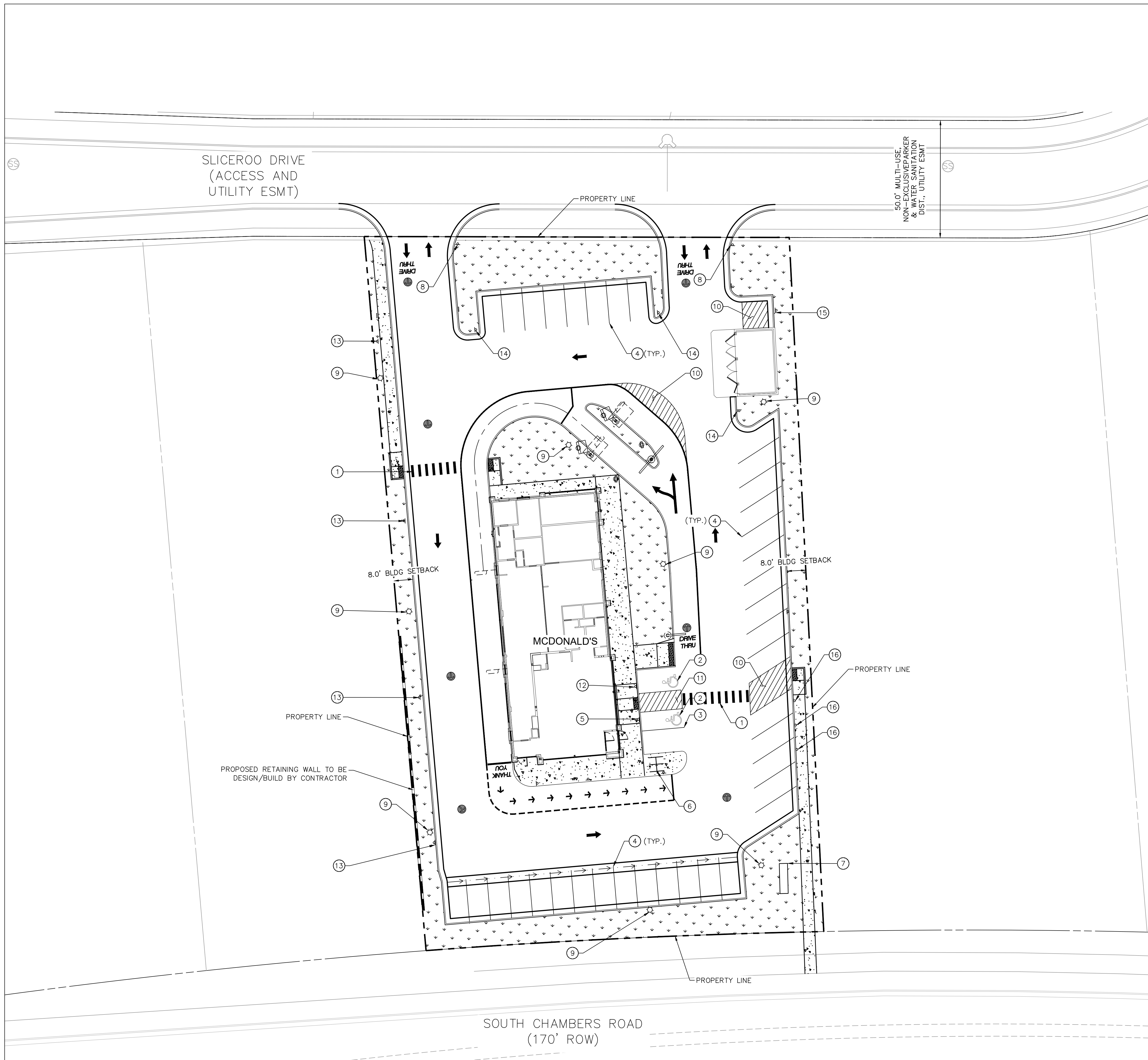
PAVING DETAILS
N.T.S.

NOTE: FOR CONCRETE SIDEWALKS, 3/4" W X 1" D DEEP SAWCUT CONTROL JOINTS SHALL BE PLACED AT 5' TYPICAL SPACING. APPLY 3/8" THICK PREFORMED EXPANSION JOINT MATERIAL AT 20' TYPICAL SPACING AND AT BUILDING FACE.

REFERENCE GEOTECHNICAL ENGINEERING REPORT (TERRACON PROJECT NO. 25205129) PREPARED BY TERRACON CONSULTANTS, INC., DATED SEPTEMBER 24, 2020.

	REVISION #4	4/8/22	JJM
	REVISION #3	3/9/22	JJM
	REVISION #2	11/22/21	JJM
	REVISION #1	9/27/21	JJM
REV	DATE	BY	
<p>TITLE: CONSTRUCTION DOCUMENTS</p> <p>DESCRIPTION: LINE AND CURVE TABLES AND PAVEMENT DETAILS</p> <p>SITE ADDRESS: 12201 SLICEROOD DRIVE, PARKER, CO 8050785</p>			
<p>DRAWN BY: JJM</p> <p>STD ISSUE DATE: 07/1/21</p> <p>REVIEWED BY: JRH</p> <p>DATE ISSUED: 07/1/21</p>			<p>PREPARED FOR: McDonald's USA, LLC</p> <p>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the contract documents for reuse on another project is not authorized.</p>
<p>PREPARED BY: JESSICA JO MCDONALD</p> <p>PROFESSIONAL ENGINEER</p> <p>59054</p> <p>6/21/22</p>			<p>DATE: 07/1/21</p> <p>DESCRIPTION: C1.4</p>





LEGEND

	PROPERTY LINE
	EASEMENT
	RETAINING WALL
	LANDSCAPE
	CONCRETE SIDEWALK
	CONCRETE PAVEMENT

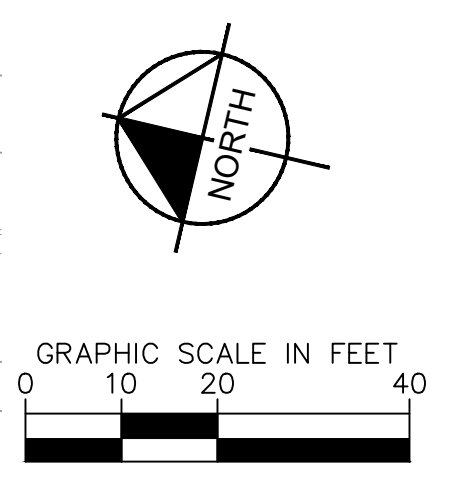
- KEYNOTES**
- PROPOSED WHITE CROSSWALK (REF. SITE CROSSWALK DETAIL ON SHEET C1.6)
 - PROPOSED BLUE ACCESSIBLE SYMBOL (REF. DETAIL ON SHEET C1.6)
 - PROPOSED BLUE PARKING STALL STRIPING
 - PROPOSED WHITE PARKING STALL STRIPING
 - PROPOSED ACCESSIBLE SIGN (REF. DETAIL ON SHEET C1.6)
 - PROPOSED BIKE RACK (REF. DETAIL ON SHEET C1.6)
 - MCDONALD'S MONUMENT SIGN (UNDER SEPARATE PERMIT)
 - PROPOSED R1-1 STOP SIGN (REF. DETAIL ON SHEET C1.6)
 - PROPOSED SITE LIGHT (REF. PHOTOMETRIC PLAN AND MEP PLANS)
 - PROPOSED WHITE 4" WIDE DIAGONAL PAVEMENT STRIPING AT 36" O.C.
 - PROPOSED BLUE 4" WIDE DIAGONAL PAVEMENT STRIPING AT 36" O.C.
 - PROPOSED VAN ACCESSIBLE SIGN (REF. DETAIL ON SHEET C1.6)
 - PROPOSED "NO PARKING FIRE LANE" SIGN R7-1 (MOD)
 - PROPOSED R5-1 DO NOT ENTER SIGN
 - PROPOSED R7-1 NO PARKING ANY TIME SIGN
 - MOBILE ORDER SIGN

NOTE:
ALL SIGNS ARE REVIEWED UNDER SEPARATE PERMIT.

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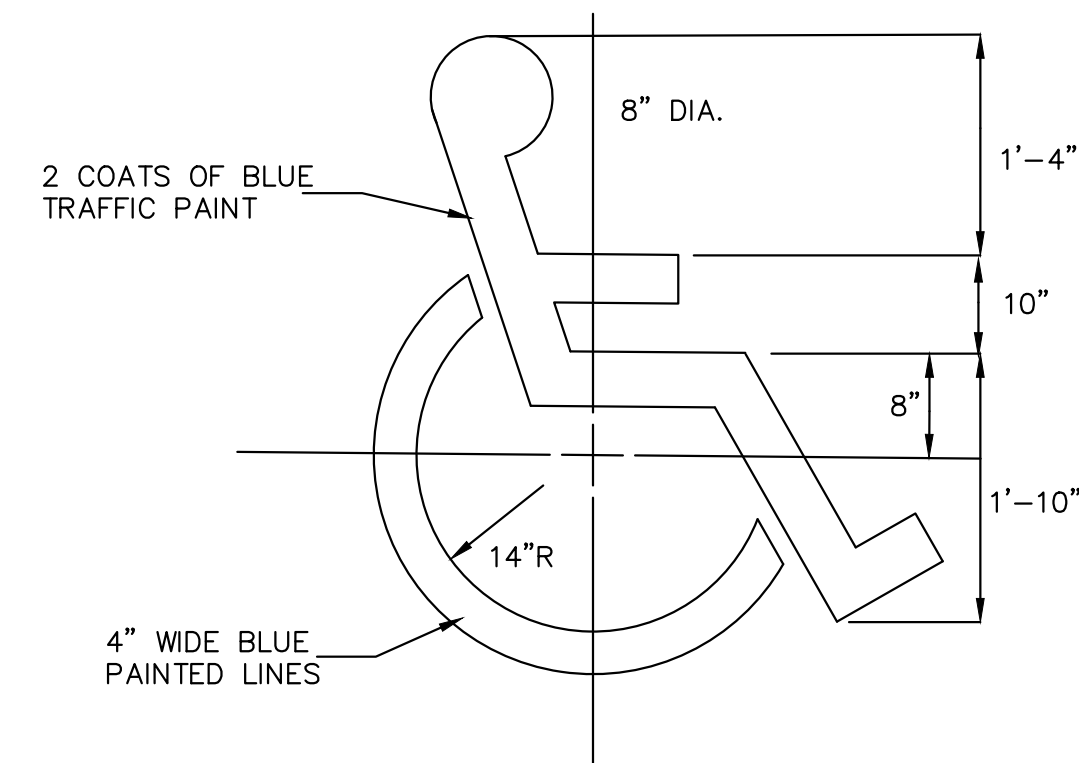
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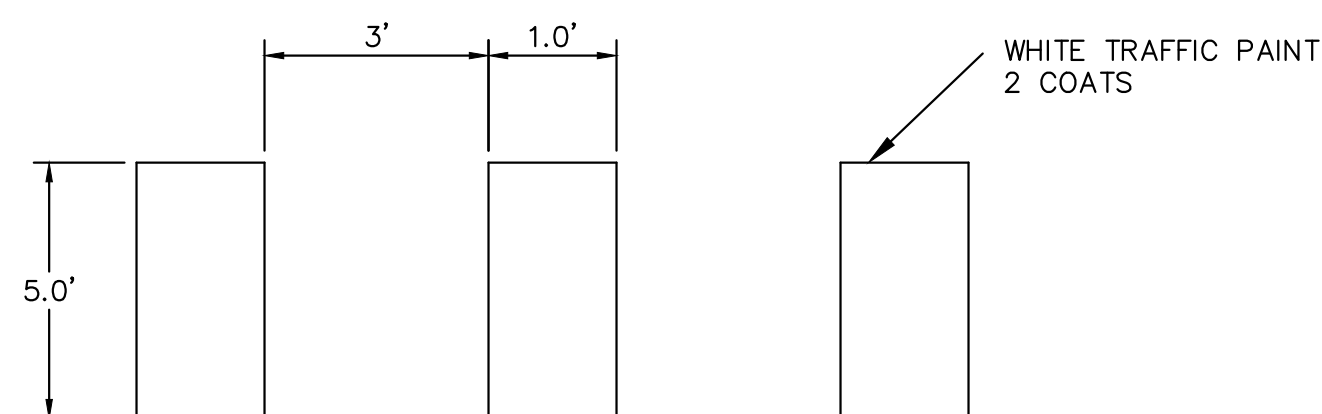


TITLE	CONSTRUCTION DOCUMENTS	REVISION #4	JJM
DESCRIPTION	SIGNAGE AND STRIPING PLAN	REVISION #3	JJM
SITE ID	0050785	REVISION #2	JJM
SITE ADDRESS	12201 SLICEROO DRIVE, PARKER, CO	REVISION #1	JJM
DATE	07/1/21	DATE	07/1/21
ISSUED	07/1/21	DATE	07/1/21
REVIEWED BY	JRH	DATE	07/1/21
ISSUE DATE	07/1/21	DATE	07/1/21
DRAWN BY	JJM	DATE	07/1/21
PREPARED FOR:	McDonald's USA, LLC	DATE	07/1/21
PROFESSIONAL ENGINEER:	Jessica M. McClellan	DATE	6/21/22
PROFESSIONAL ENGINEER NO.:	59054	DATE	6/21/22
PROFESSIONAL ENGINEER LICENSE:	62122	DATE	6/21/22
PREPARED BY:	Kimley»Horn	DATE	6/21/22

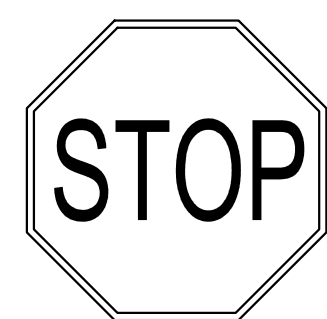




HANDICAP SYMBOL
NOT TO SCALE

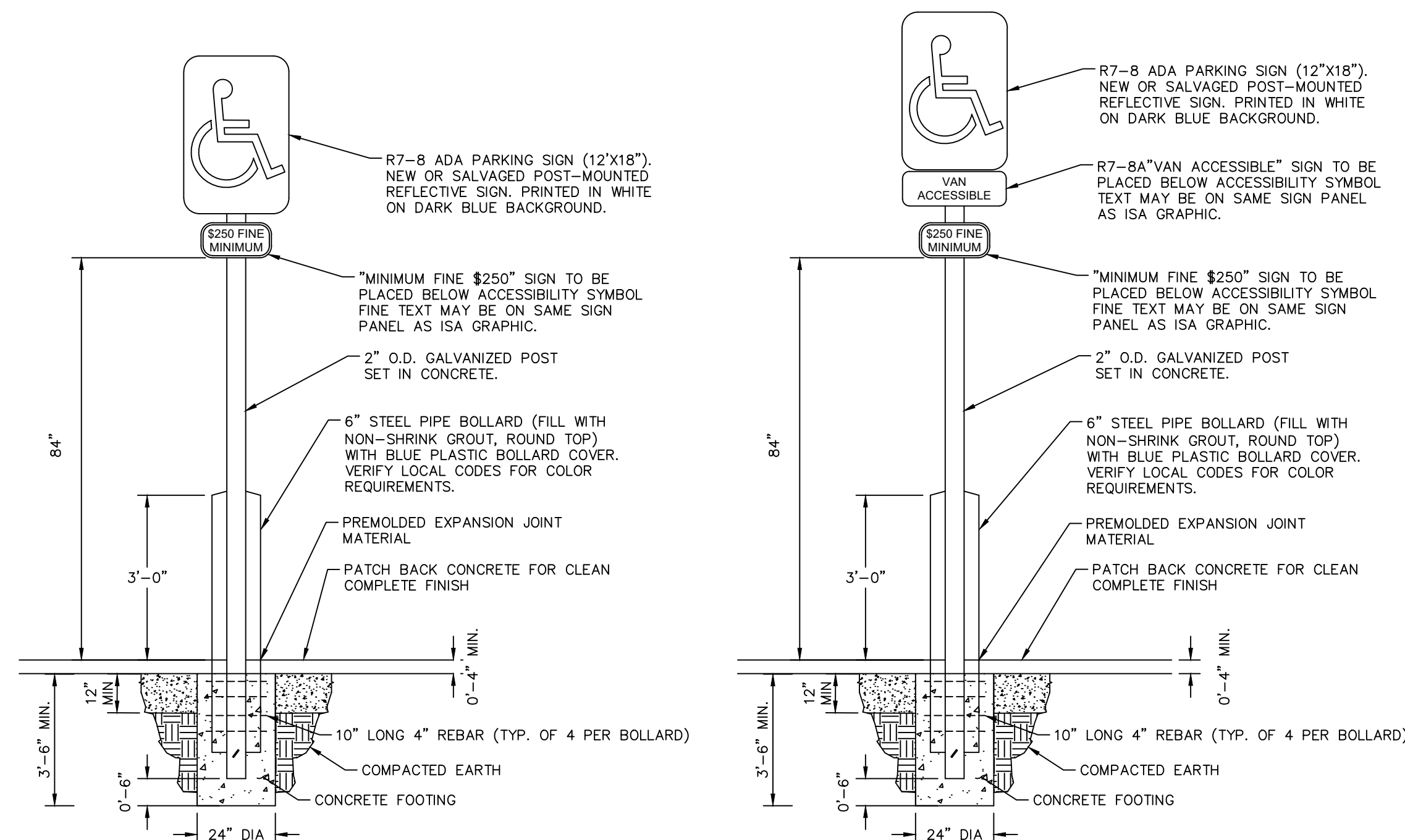


SITE CROSSWALK DETAIL
NOT TO SCALE

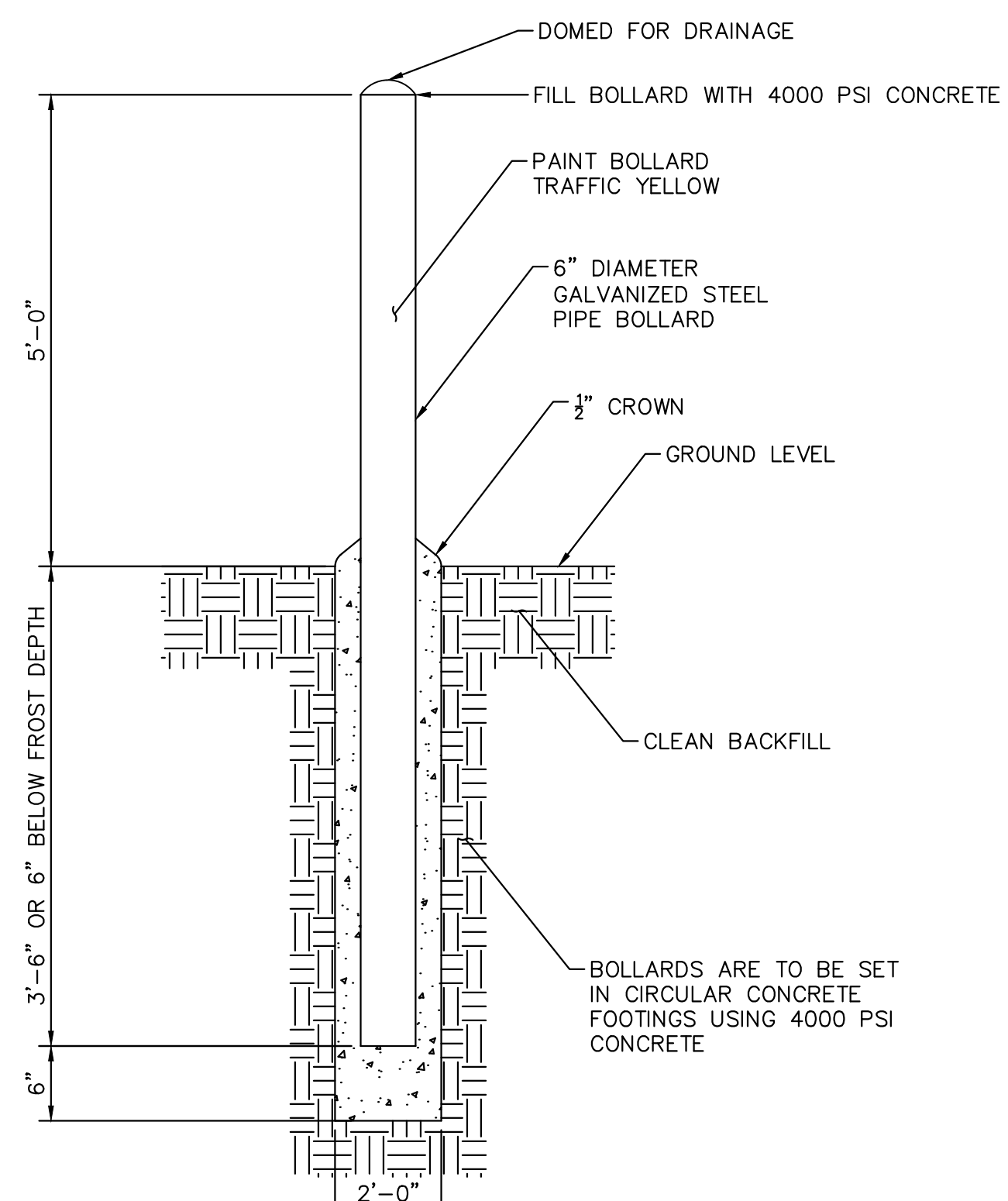


30"x30"
MINIMUM SIZE
BACKGROUND
4090 (3M-WHITE DIAMOND GRADE) OR EQUIVALENT
FOREGROUND
1172 C (3M-RED EC FILM) OR EQUIVALENT

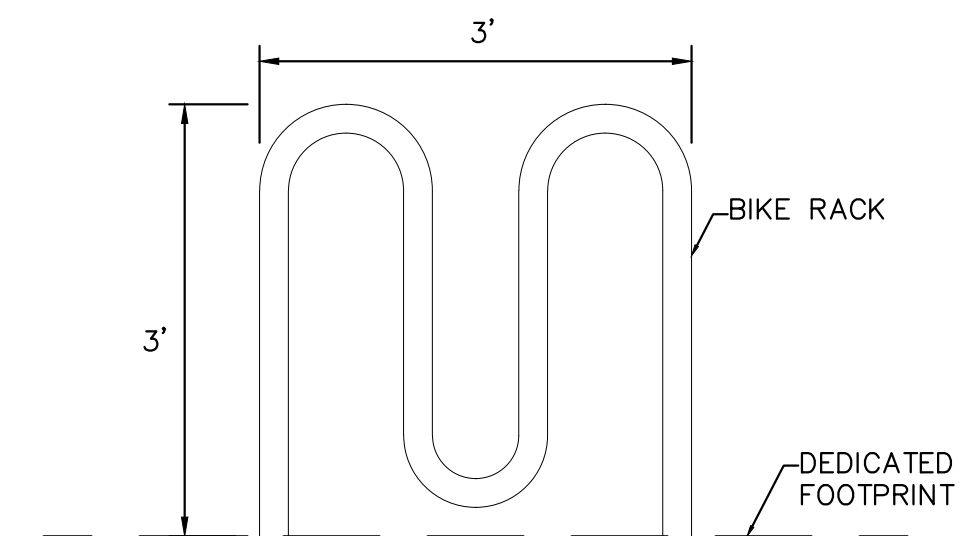
MUTCD R1-1 STOP SIGN DETAIL
NOT TO SCALE



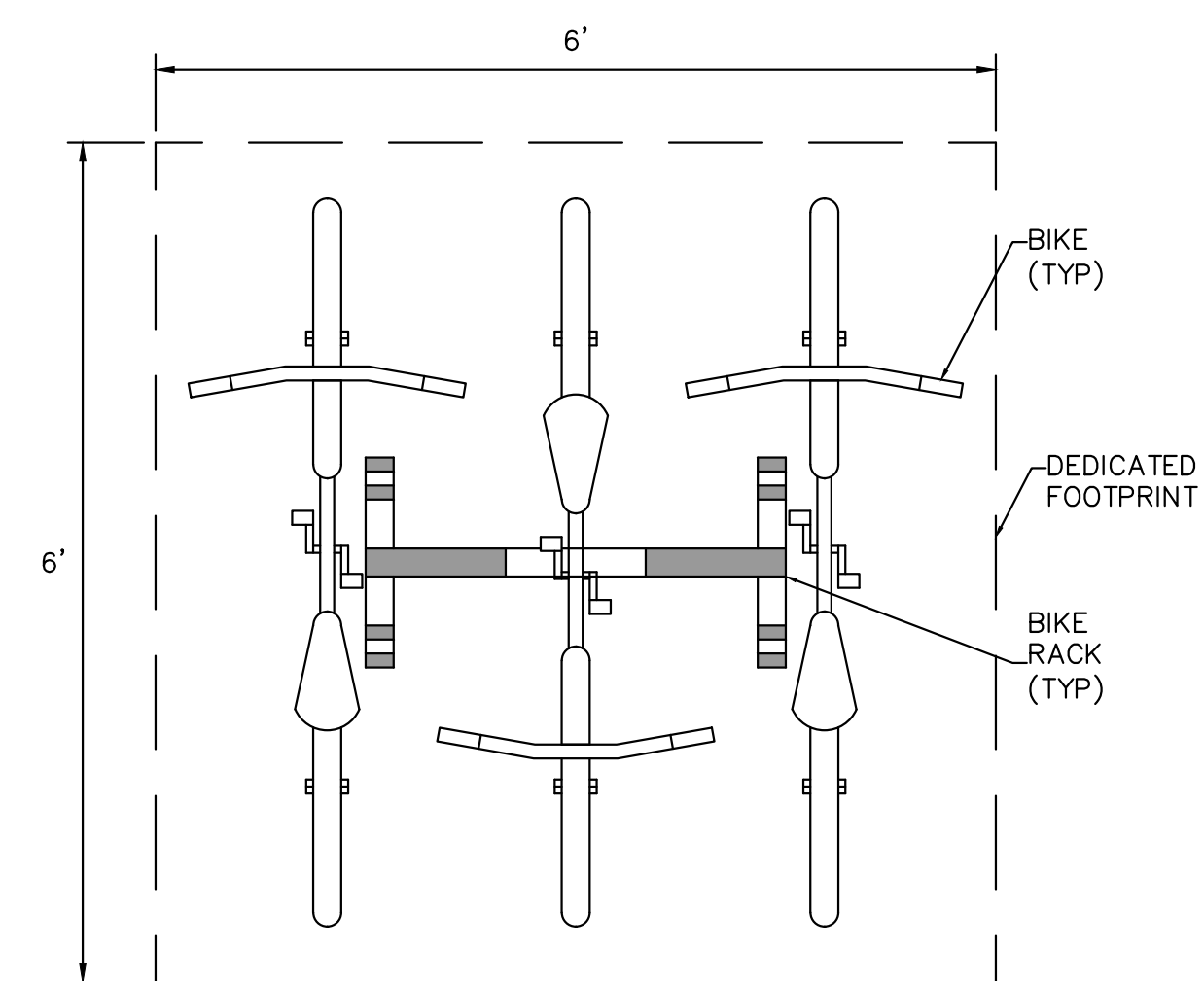
ADA PARKING SIGN DETAILS
NOT TO SCALE



BOLLARD DETAIL
NOT TO SCALE



FRONT ELEVATION



PLAN VIEW
DEDICATED FOOTPRINT FOR 3 BIKE RACK
NOT TO SCALE

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TITLE	CONSTRUCTION DOCUMENTS	DATE	4/8/22	REVISION #4	JJM
DESCRIPTION	SIGNAGE AND STRIPING DETAILS	DATE	3/9/22	REVISION #3	JJM
SITE ID	0050785	DATE	11/22/21	REVISION #2	JJM
SITE ADDRESS	12201 SLICEROOD DRIVE, PARKER, CO	DATE	9/27/21	REVISION #1	JJM
BY		DATE		DESCRIPTION	BY

PREPARED FOR: **McDonald's USA, LLC**

PREPARED BY: **JESSICA JO MCDONALD**
PROFESSIONAL ENGINEER
59054
6/21/22

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PREPARED BY: **Kimley»Horn**

SITE LEGEND

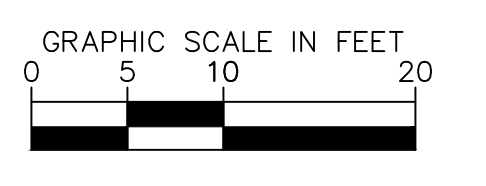
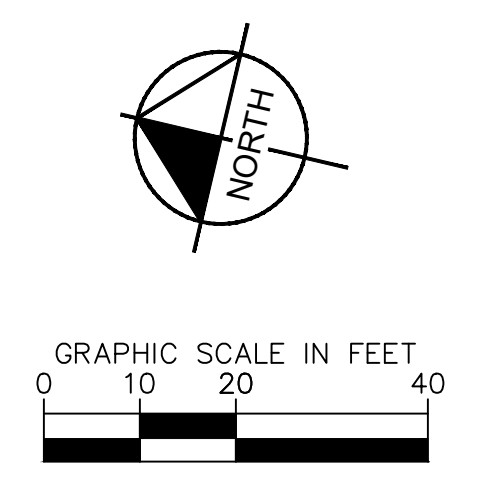
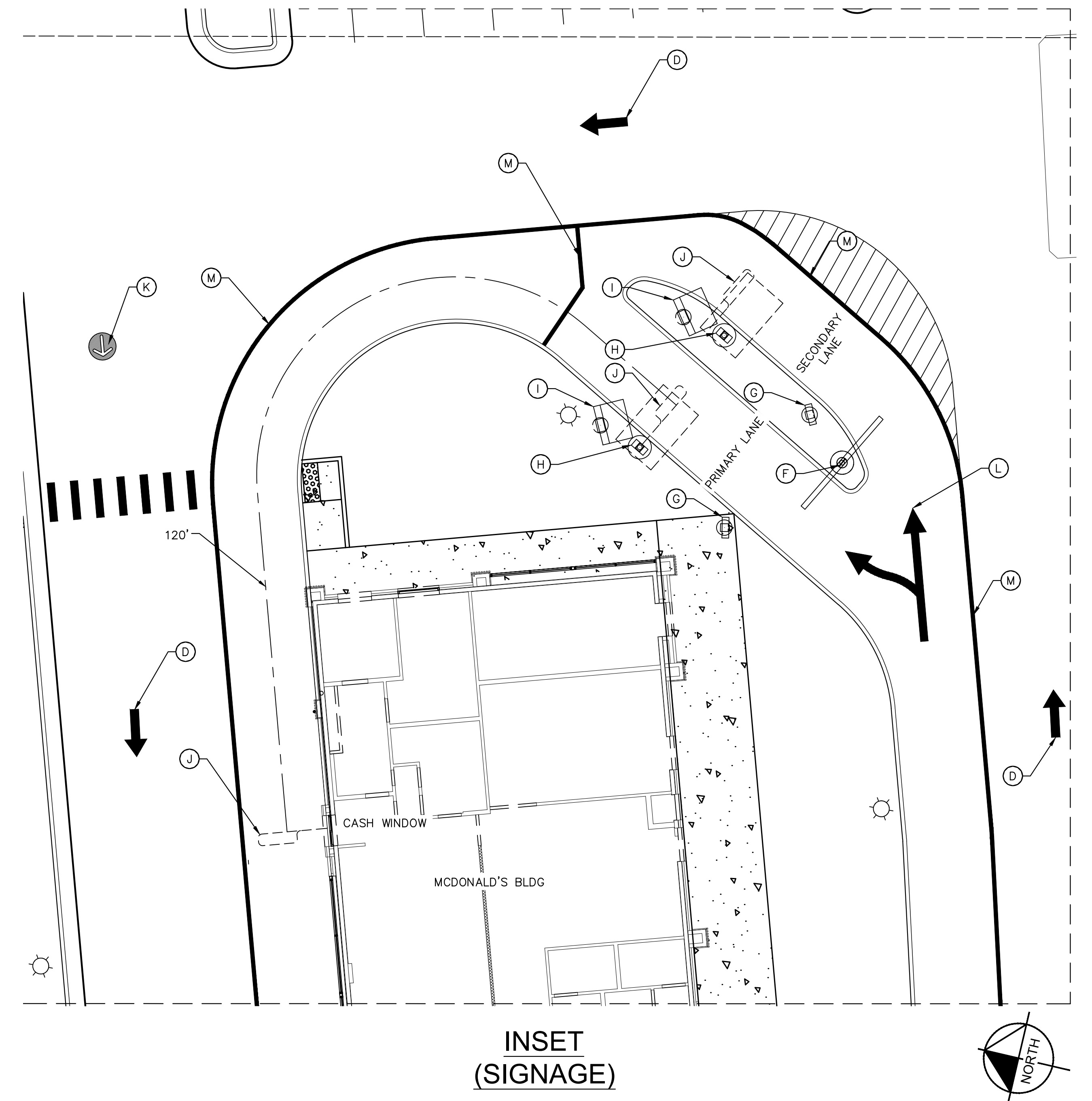
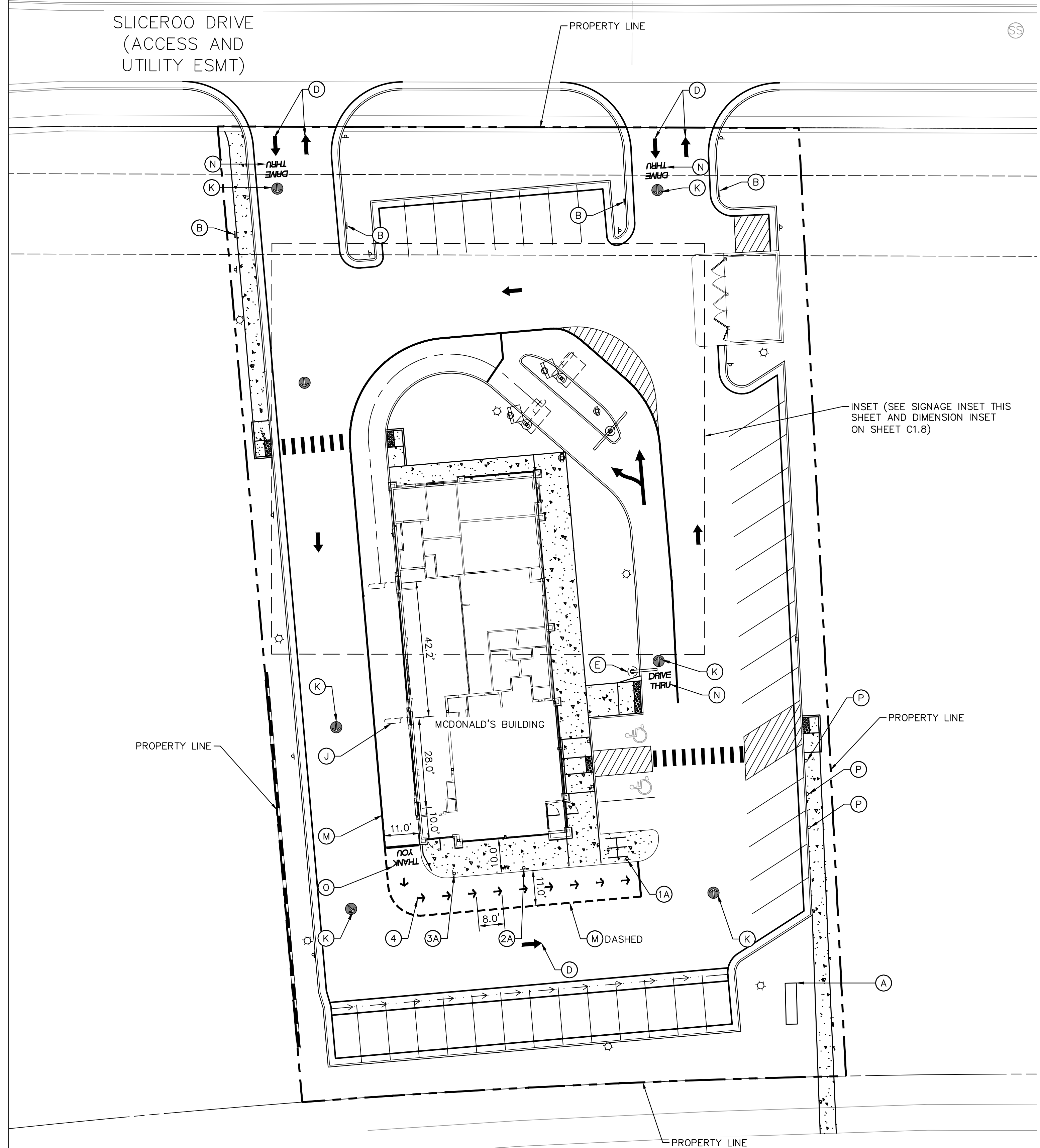
- (A) MONUMENT SIGN
- (B) DIRECTIONAL SIGN
- (D) DIRECTIONAL ARROW, WHITE, REFERENCE SHEET C1.8 FOR DETAIL
- (E) SINGLE GATEWAY ARM
- (F) DOUBLE GATEWAY ARM
- (G) PRE-SELL BOARD
- (H) DRIVE-THRU CANOPY WITH BUILT IN COD
- (I) DIGITAL MENU BOARD
- (J) LOOP DETECTOR
- (K) MCDONALD'S STANDARD TRAFFIC ARROW, REFERENCE SHEET C1.8 FOR DETAIL
- (L) MCDONALD'S DRIVE-THRU ARROW, REFERENCE SHEET C1.8 FOR DETAIL
- (M) PMS 123 YELLOW 6" DRIVE-THRU LANE STRIPING
- (N) DRIVE-THRU TEXT STRIPING, REFERENCE SHEET C1.8 FOR DETAIL
- (O) THANK YOU TEXT STRIPING, REFERENCE SHEET C1.8 FOR DETAIL
- (P) MOBILE ORDER SIGN

ROLL FORWARD SITE LEGEND

- (1A) ROLL FORWARD PICK UP SIGN
- (2A) ROLL FORWARD PULL AHEAD SIGN
- (3A) ROLL FORWARD LEFT TURN SIGN
- (4) ROLL FORWARD DIRECTIONAL ARROW PAVEMENT STRIPING, YELLOW, REFERENCE DETAIL ON SHEET C1.7

LEGEND

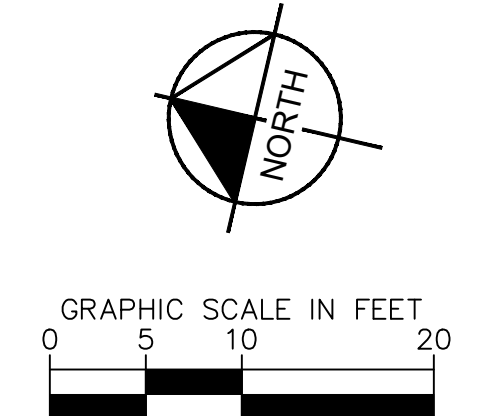
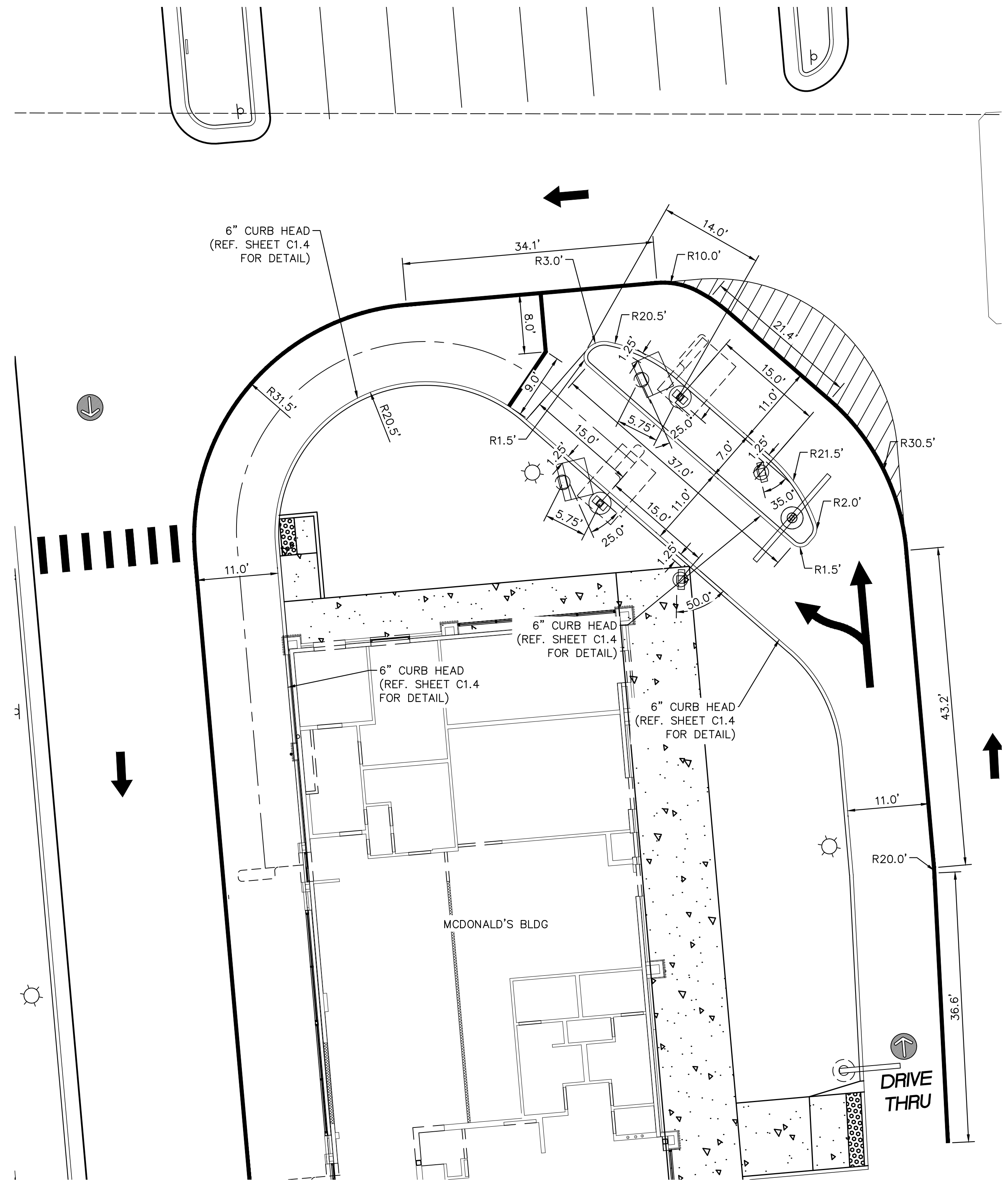
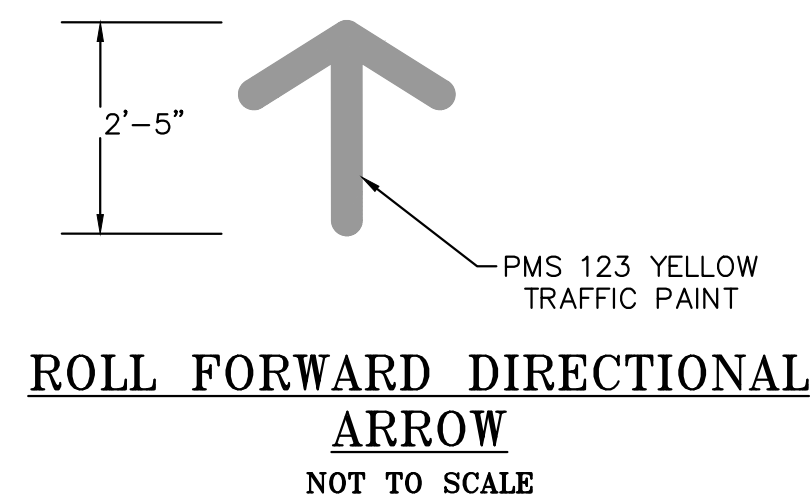
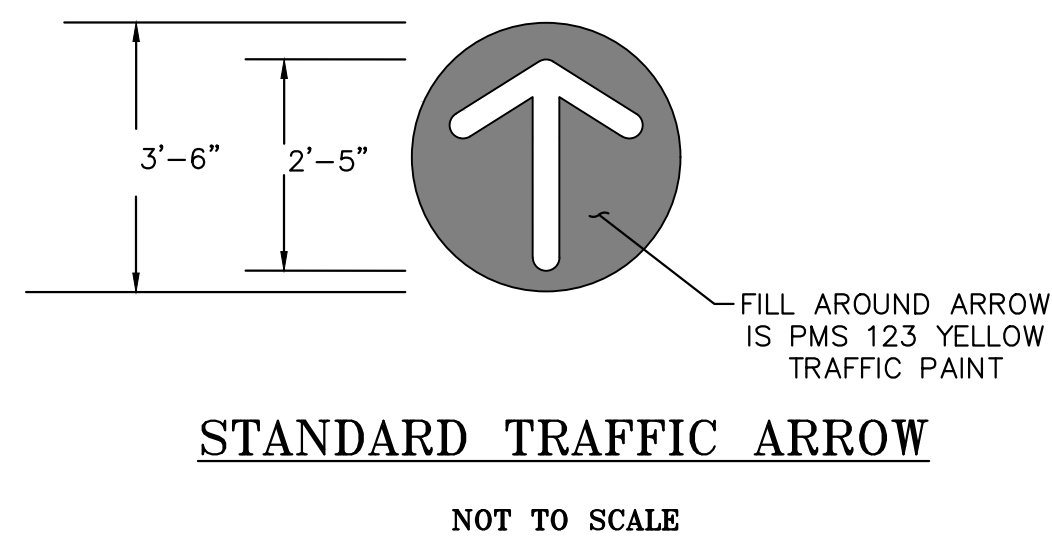
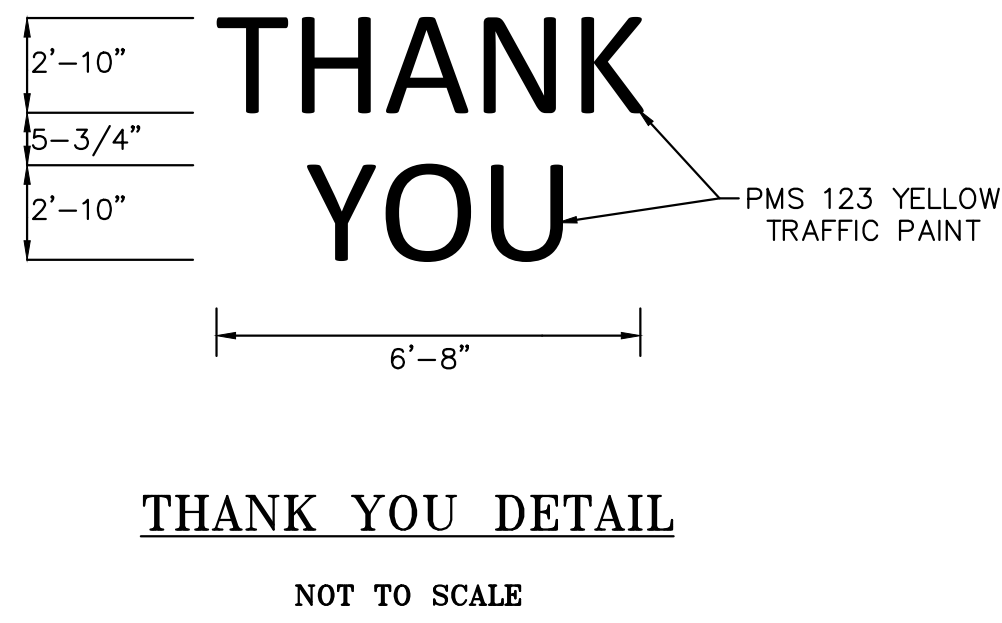
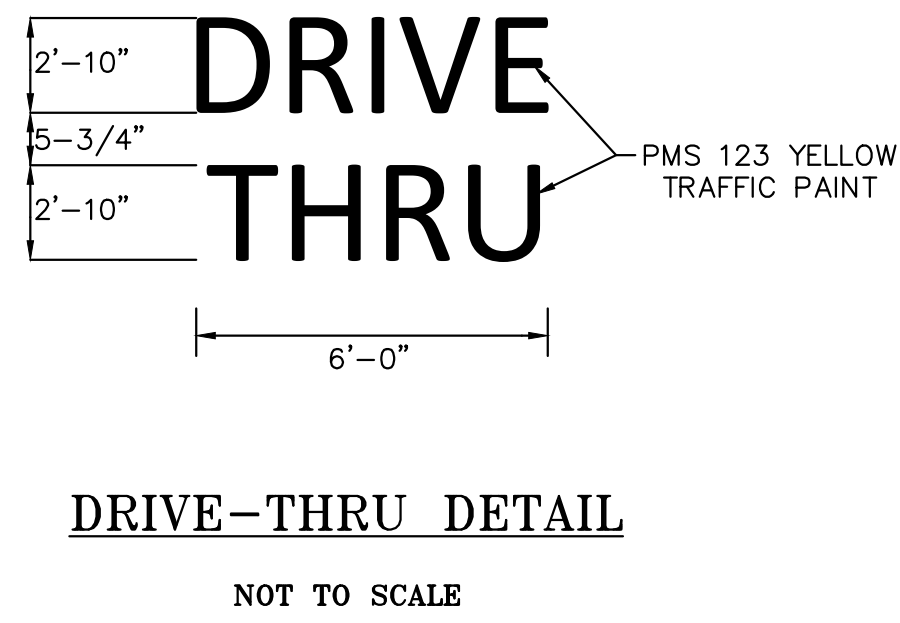
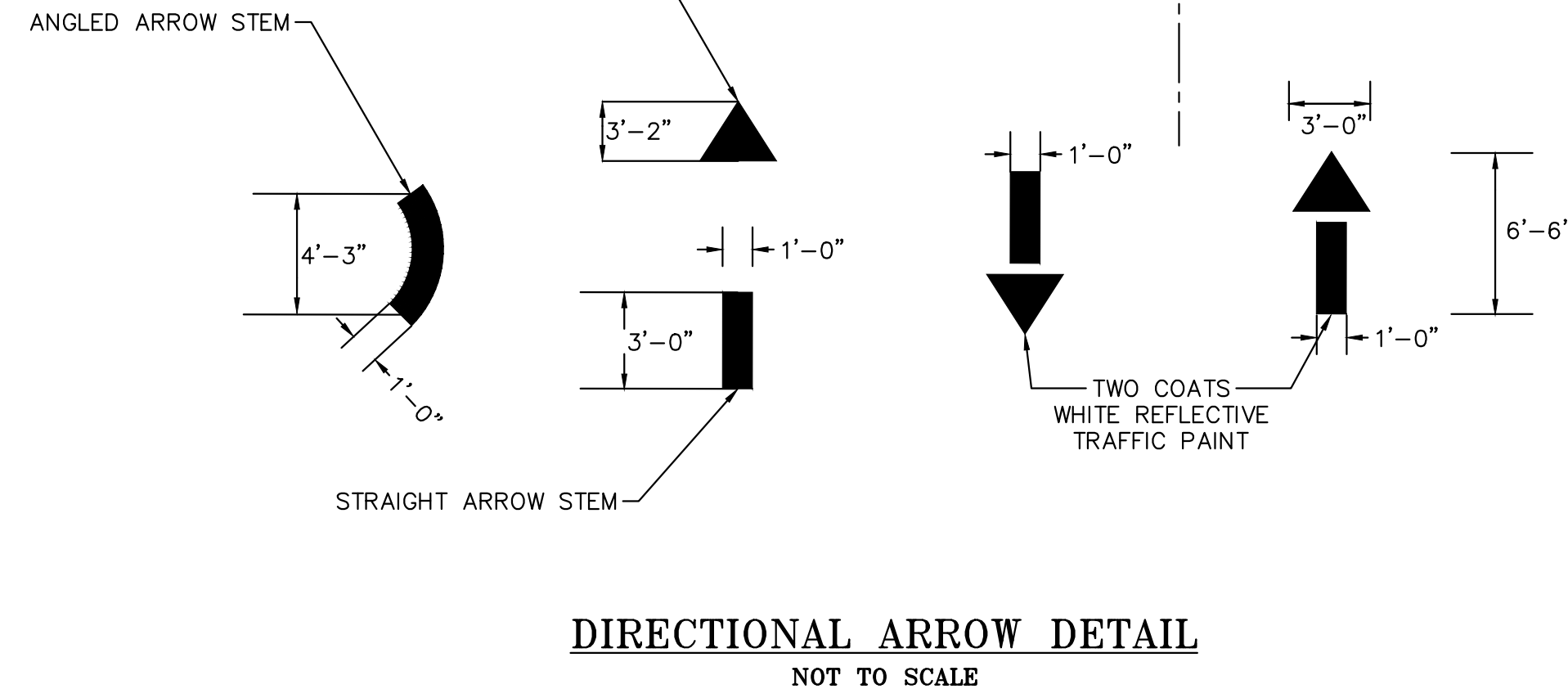
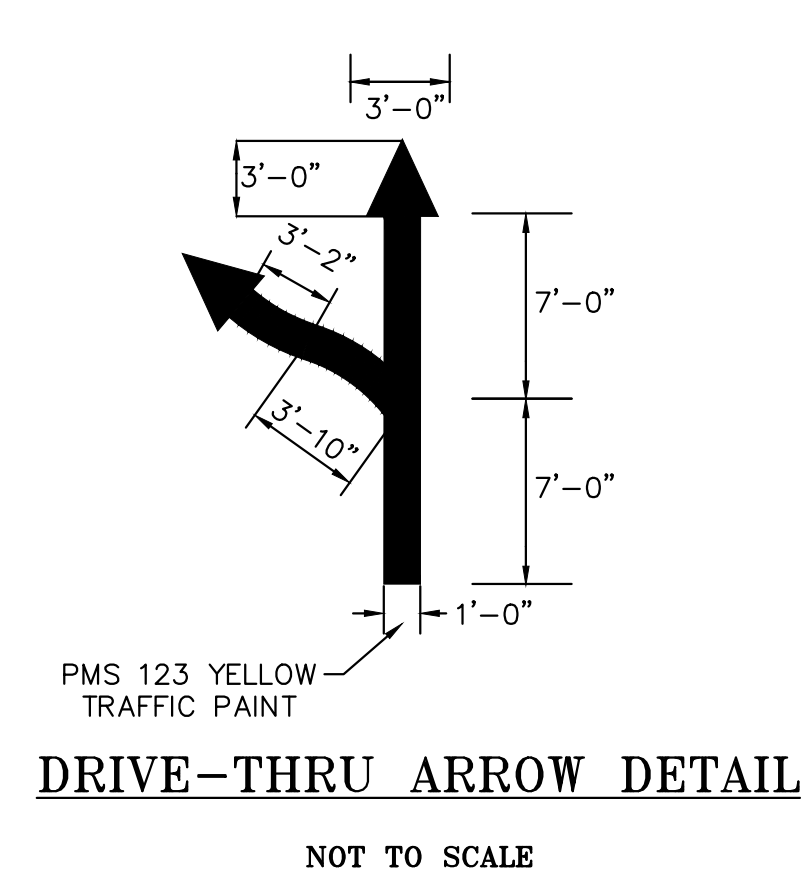
- PROPERTY LINE
- - - EASEMENT
- ▬▬▬ RETAINING WALL
- ▨ CONCRETE



TITLE	CONSTRUCTION DOCUMENTS		REVISION #4	4/8/22	JJM
	DESCRIPTION		REVISION #3	3/9/22	JJM
SITE ID	MCDONALD'S SIGNAGE AND DRIVE-THRU		REVISION #2	11/22/21	JJM
	SITE ADDRESS		REVISION #1	9/27/21	JJM
SITE ADDRESS		12201 SLICEROO DRIVE, PARKER, CO	REV	DATE	BY
DRAWN BY		JJM			
STD ISSUE DATE		07/1/21			
REVIEWED BY		JRH			
DATE ISSUED		07/1/21			
<p>PREPARED FOR: McDonald's USA, LLC</p> <p>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the the contract documents for reuse on another project is not authorized.</p>					
<p>PREPARED BY: Kimley»Horn</p> <p>JESSICA JO MCDONALD 59054 6/21/22 PROFESSIONAL ENGINEER</p>					
<p>811 Know what's below. Call before you dig.</p>					

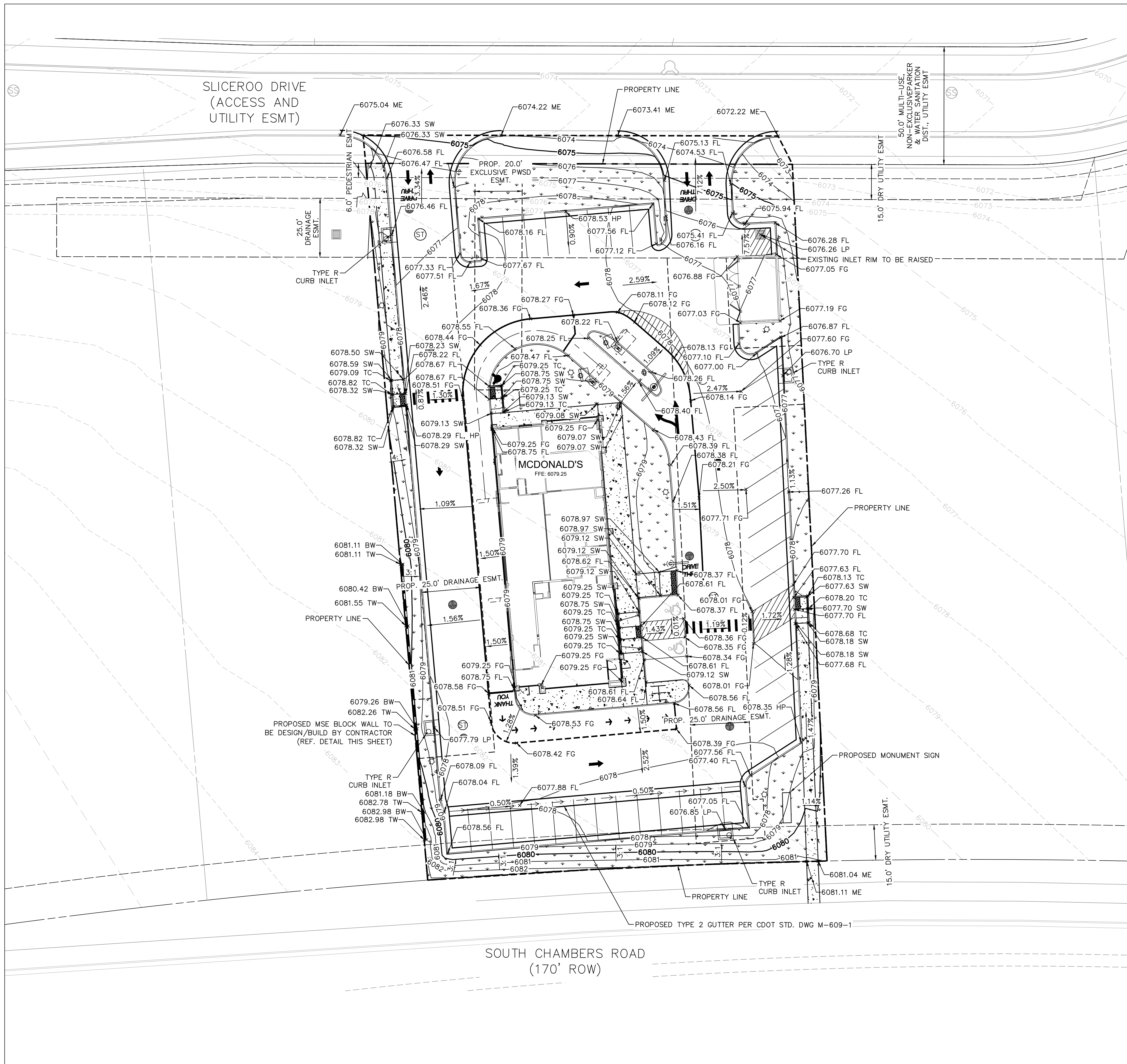
STANDARD STENCIL AND PAINT COLOR NOTE:

MCDONALD'S TYPICAL STENCILS ARE AVAILABLE AT THE PAVEMENT COMPANY
1-800-250-5547. ORDER PER DESCRIPTION; NO PART NUMBERS ASSOCIATED WITH THE STENCILS.



DRAWN BY JJM	STD	ISSUE	DATE	REVIEWED BY JRH	DATE	ISSUED	TITLE CONSTRUCTION DOCUMENTS
			07/1/21			07/1/21	
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			4	4/8/22	REVISION #4	JJM	
			3	3/9/22	REVISION #3	JJM	
			2	11/22/21	REVISION #2	JJM	
			1	9/27/21	REVISION #1	JJM	



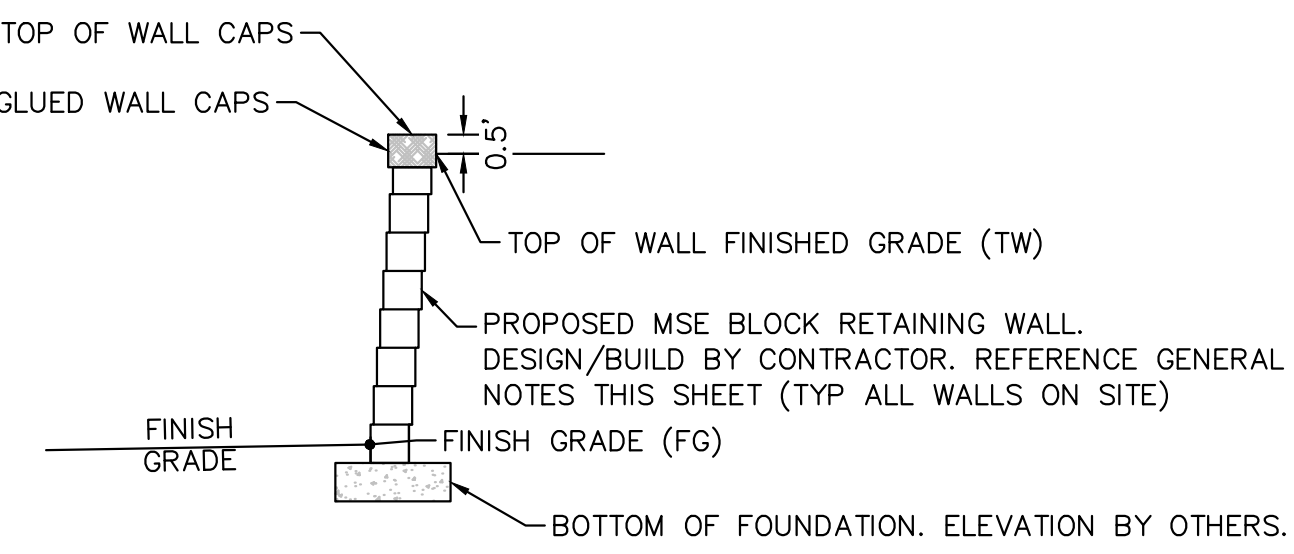


LEGEND

- PROPERTY LINE
- - - LIMITS OF GRADING/DISTURBANCE
- - - EASEMENT
- ▬▬▬ RETAINING WALL
- AR — ACCESSIBLE ROUTE
- - - 5430 - - EXISTING MAJOR CONTOUR
- - - 5431 - - EXISTING MINOR CONTOUR
- 5430 — PROPOSED MAJOR CONTOUR
- 5431 — PROPOSED MINOR CONTOUR
- ▬ LANDSCAPE
- ▬ CONCRETE SIDEWALK
- FL FLOWLINE
- FG FINISHED GRADE
- FFE FINISH FLOOR ELEVATION
- SW SIDEWALK
- ME MATCH EXISTING
- LP LOW POINT
- HP HIGH POINT

RETAINING WALL NOTES

- 1.1 FOR GEOTECHNICAL RECOMMENDATIONS, SEE "GEOTECHNICAL ENGINEERING REPORT," PREPARED BY TERRACON CONSULTANTS, INC., DATED APRIL 9, 2021.
- 1.2 WALL BACKFILL MATERIAL, PLACEMENT AND COMPACTION SHOULD COMPLY IN FULL WITH THE PROJECT SPECIFICATIONS. COMPACTION OF EACH LIFT ADJACENT TO WALLS SHALL BE ACCOMPLISHED WITH HAND OPERATED TAMPERS OR OTHER LIGHTWEIGHT COMPACTORS. FLOODING OR JETTING IS PROHIBITED. USE LOW EXPANSION POTENTIAL MATERIALS.
- 1.3 WALLS ARE TO BE SUITABLY BRACED DURING BACKFILLING TO PREVENT DAMAGE AND EXCESSIVE DEFLECTION. CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS AGAINST HEAVY CONSTRUCTION EQUIPMENT IN THE VICINITY OF RETAINING WALLS.
- 1.4 SEE PROJECT PLANS FOR WALL LAYOUT AND FINISHED GRADE ELEVATIONS.
- 1.5 WALL FOOTINGS TO BE PLACED ON MATERIAL PREPARED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND GEOTECHNICAL REPORT.
- 1.6 ALL WORK (MASONRY, CONCRETE, STEEL) AND MATERIALS TO CONFORM IN FULL WITH PROJECT SPECIFICATIONS.
- 1.7 SITE MSE BLOCK WALLS SHALL BE DESIGN/BUILD BY CONTRACTOR. WALLS SHALL BE COLORED TO MATCH THE BUILDING ARCHITECTURE. WALL DESIGN SHALL BE SUBMITTED TO THE ENGINEER OF RECORD AND ARCHITECT OF RECORD BY CONTRACTOR FOR REVIEW.



TYPICAL CROSS SECTION/BLOCK WALL DETAILS

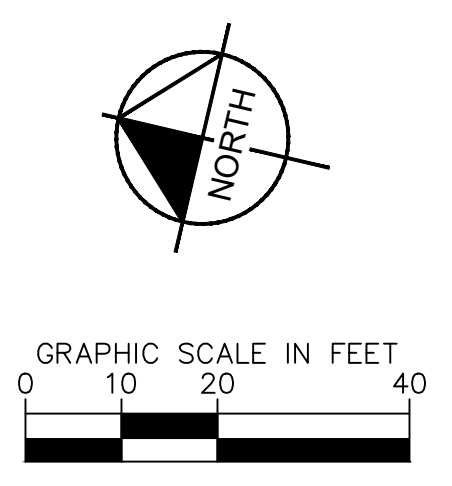
N.T.S.

NOTE: CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF PROPOSED SITE MSE BLOCK WALL TO ENGINEER OF RECORD FOR APPROVAL PRIOR TO CONSTRUCTION.

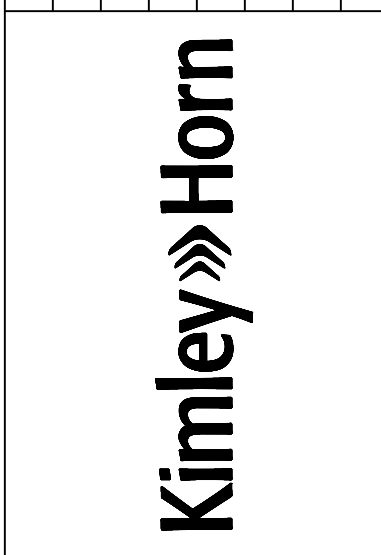
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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

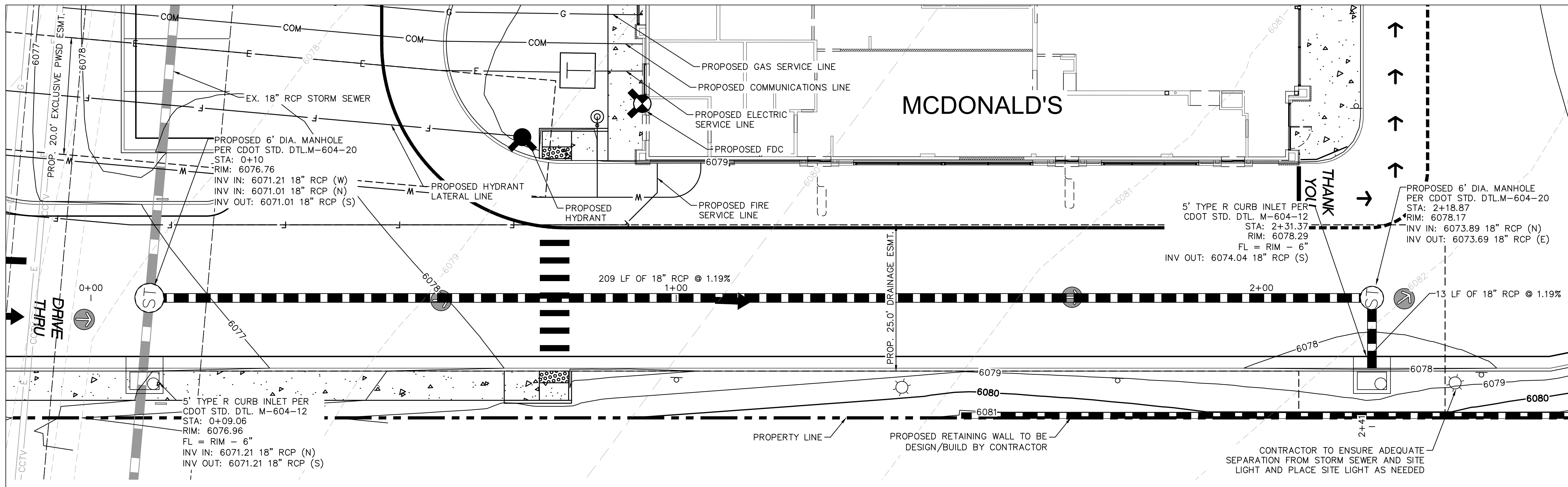


TITLE	CONSTRUCTION DOCUMENTS		REVISION #4	JUN	BY
	DESCRIPTION		REVISION #3	JUN	
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	SITE ADDRESS		REVISION #1	JUN	
SITE ID		0050785	DATE	9/27/21	REV
DRAWN BY		JUN	DATE	07/1/21	
STD ISSUE DATE		JUN	DATE	07/1/21	
REVIEWED BY		JRH	DATE ISSUED	07/1/21	
TOWN OF PARKER, DIRECTOR OF ENGINEERING		DATE			
12201 SLICEROO DRIVE, PARKER, CO		C1.9			



PREPARED FOR: McDonald's USA, LLC

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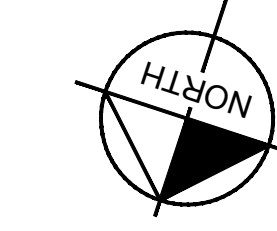
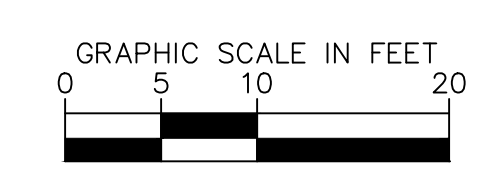


LEGEND

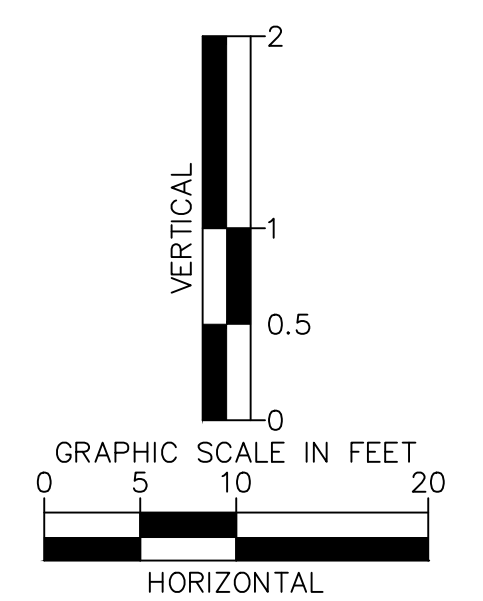
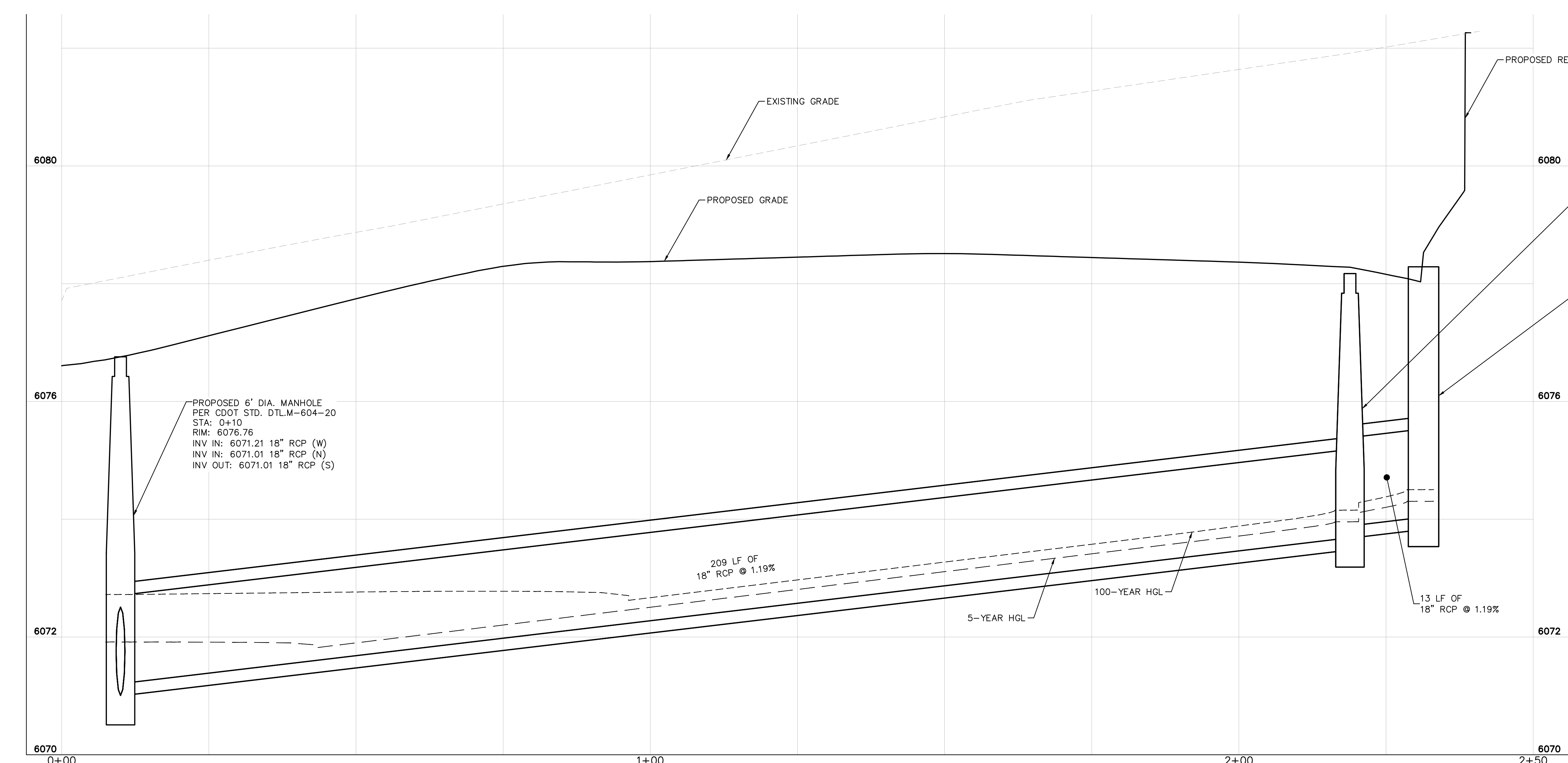
- PROPERTY LINE
- EASEMENT
- 5430 - EXISTING MAJOR CONTOUR
- 5431 - EXISTING MINOR CONTOUR
- 5430 - PROPOSED MAJOR CONTOUR
- 5431 - PROPOSED MINOR CONTOUR
- LANDSCAPE
- CONCRETE
- W - EX. WATER LINE
- S - EX. SANITARY LINE
- - - - EX. STORM SEWER
- - - - EX. PHONE LINE
- - - - EX. ELECTRIC LINE
- - - - EX. GAS LINE
- - - - PROP. WATER LINE
- - - - PROP. SANITARY LINE
- - - - PROP. STORM SEWER
- - - - PROP. PHONE LINE
- - - - PROP. ELECTRIC LINE
- - - - PROP. GAS LINE

CAUTION NOTES:

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- CONTRACTOR TO MAINTAIN AT LEAST 18" OF VERTICAL SEPARATION BETWEEN UTILITIES.



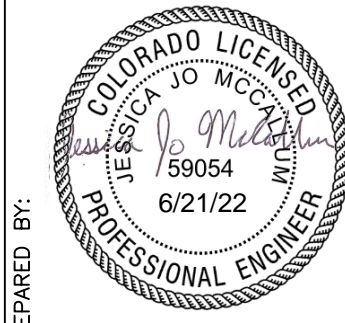
STORM SEWER A PLAN VIEW



STORM SEWER A PROFILE VIEW

TITLE	CONSTRUCTION DOCUMENTS		REVISION #4	JJM	
DESCRIPTION	STORM SEWER A PLAN AND PROFILE VIEW		REVISION #3	JJM	
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DRAWN BY	JJM	STD ISSUE DATE	07/1/21	REVIEWED BY	JRH
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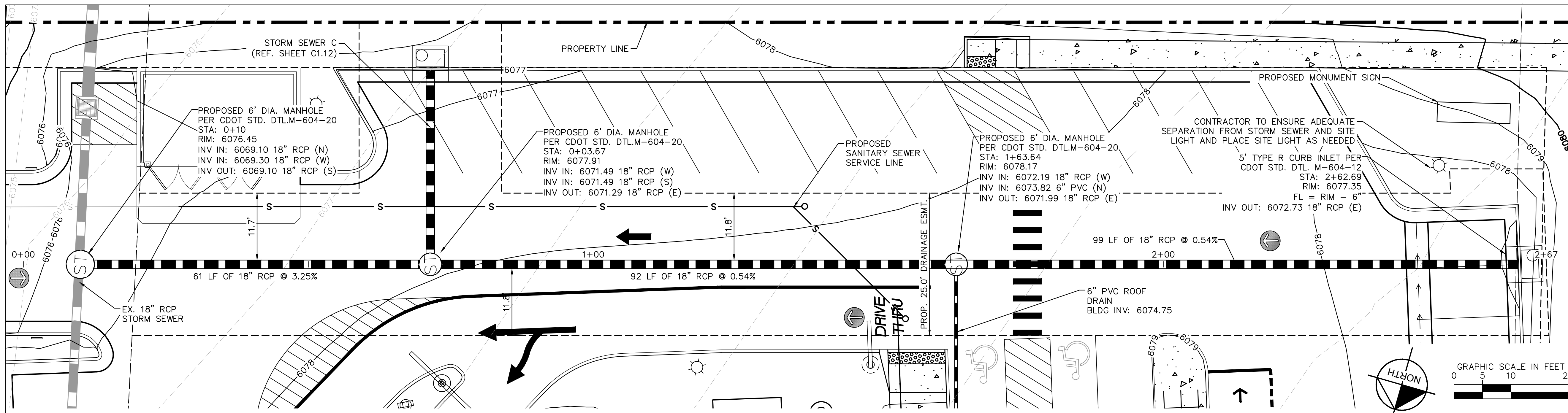
Kimley»Horn



McDonald's USA, LLC

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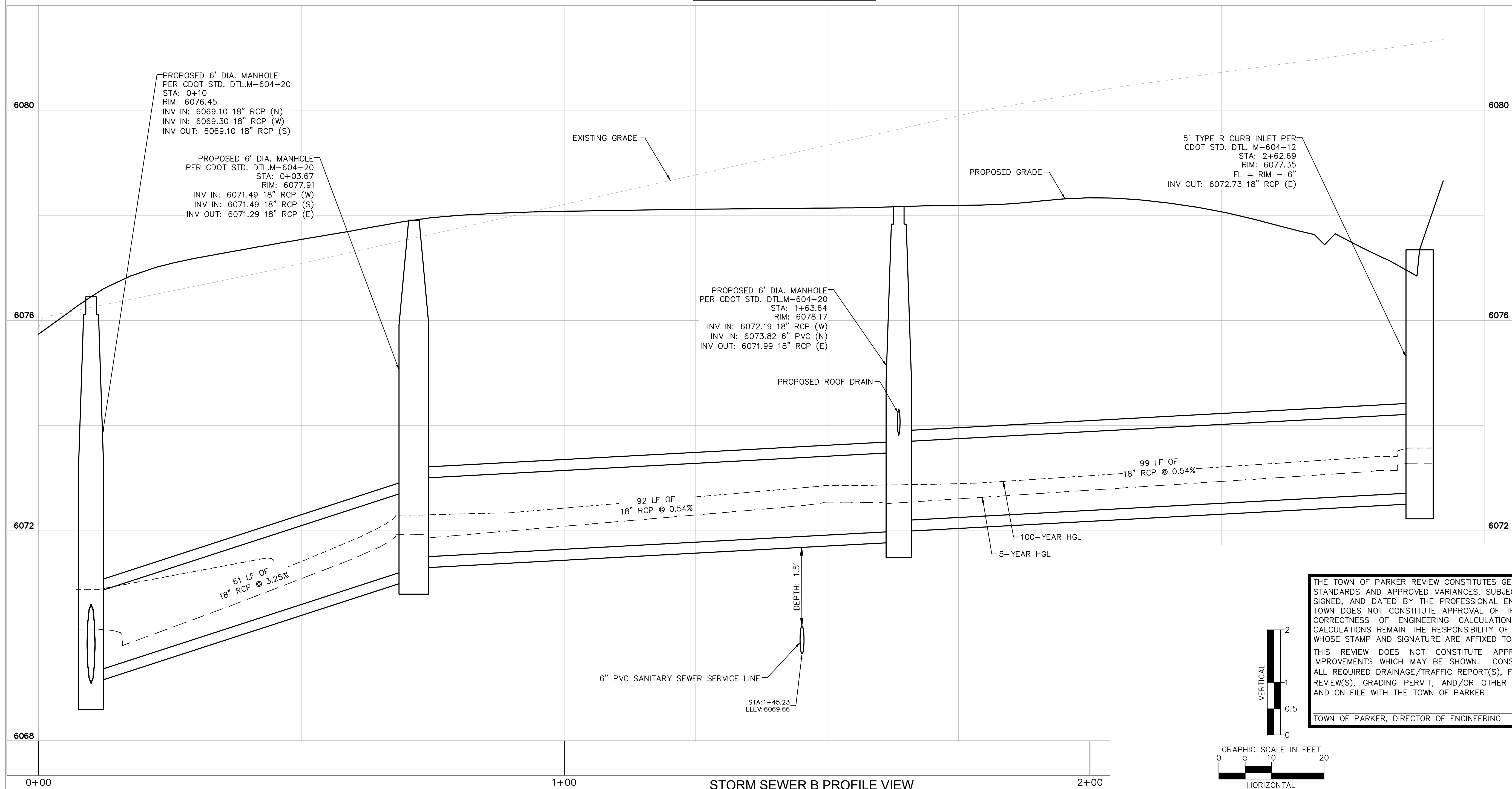


LEGEND

---	PROPERTY LINE
- - -	EASEMENT
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	LANDSCAPE
---	CONCRETE
---	EX. WATER LINE
---	EX. SANITARY LINE
---	EX. STORM SEWER
---	EX. PHONE LINE
---	EX. ELECTRIC LINE
---	EX. GAS LINE
---	PROP. WATER LINE
---	PROP. SANITARY LINE
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---	PROP. GAS LINE

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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

<p>McDonald's USA, LLC</p> <p>PREPARED BY: <i>Jessica M. McCreedy</i></p> <p>PROFESSIONAL ENGINEER</p> <p>59054 6/21/22</p>	<p>REVISION #4</p> <p>4/8/22</p>	<p>REVISION #3</p> <p>3/9/22</p>	<p>REVISION #2</p> <p>11/22/21</p>	<p>REVISION #1</p> <p>9/27/21</p>	<p>BY</p>
	<p>DATE</p>	<p>REV</p>	<p>DATE</p>	<p>REV</p>	<p>DESCRIPTION</p>
	<p>CONSTRUCTION DOCUMENTS</p>				
	<p>STORM SEWER B PLAN AND PROFILE VIEW</p>				
<p>TITLE</p>	<p>CONSTRUCTION DOCUMENTS</p>	<p>DESCRIPTION</p>	<p>STORM SEWER B PLAN AND PROFILE VIEW</p>	<p>SITE ADDRESS</p> <p>12201 SLICEROOD DRIVE, PARKER, CO</p>	<p>SITE ID</p> <p>0050785</p>

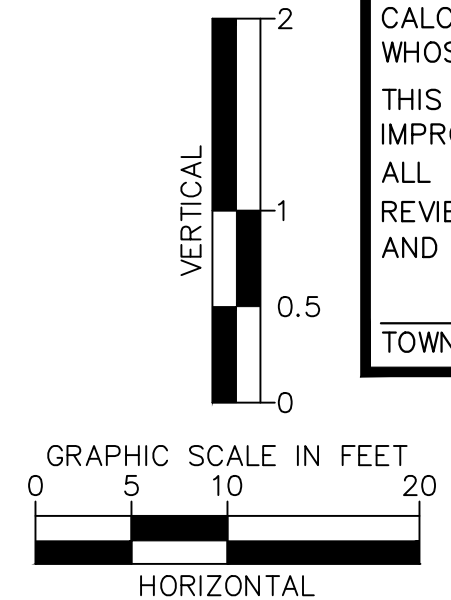
Kimley»Horn

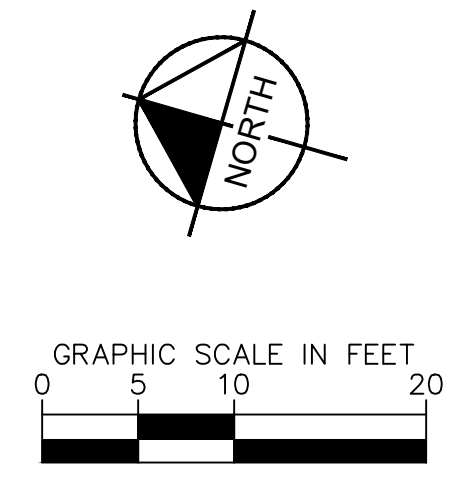
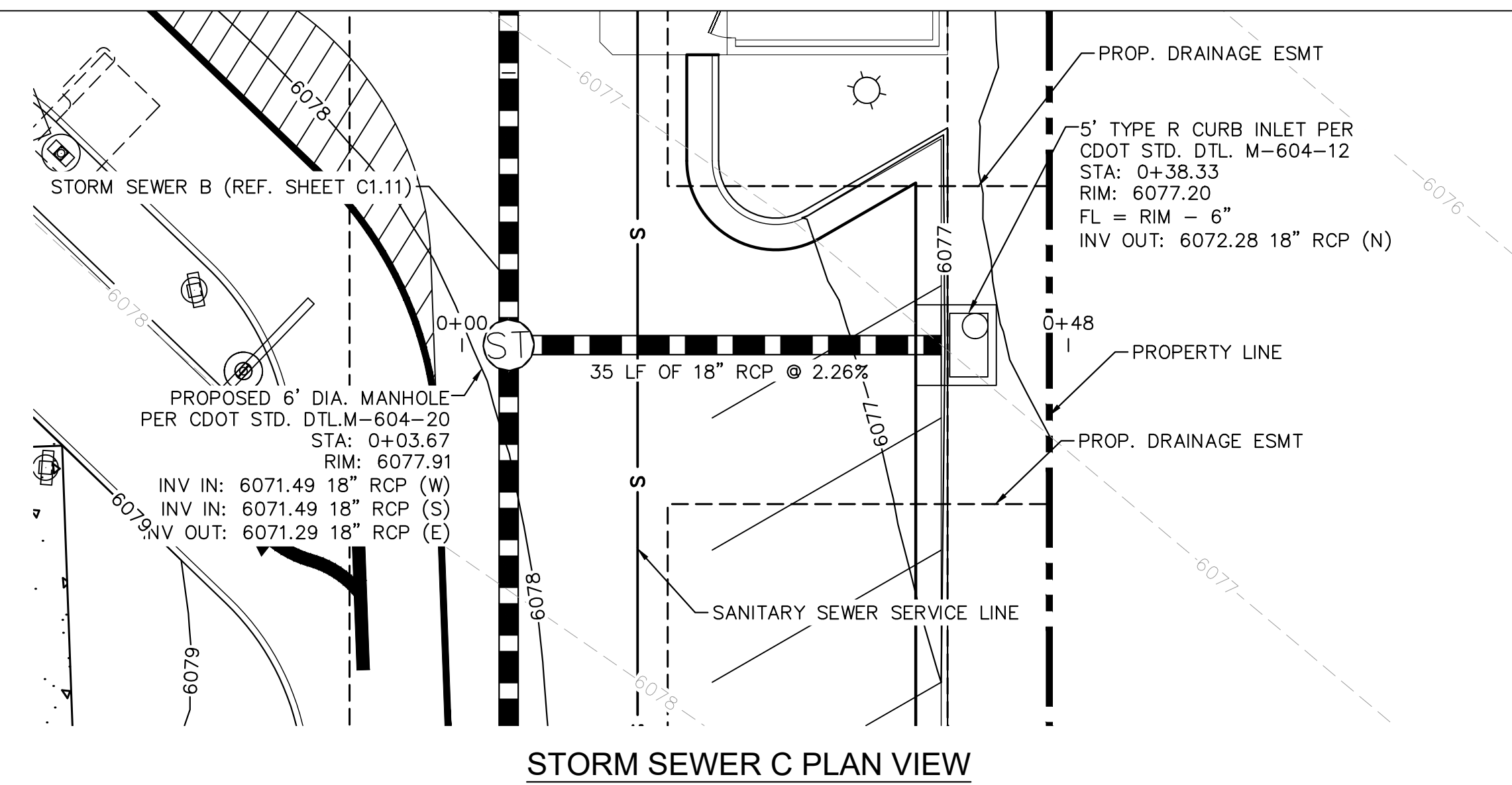


PREPARED FOR: **McDonald's USA, LLC**

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<p>DRAWN BY</p> <p>JJM</p>	<p>STD ISSUE DATE</p> <p>07/1/21</p>	<p>REVIEWED BY</p> <p>JRH</p>	<p>DATE ISSUED</p> <p>07/1/21</p>
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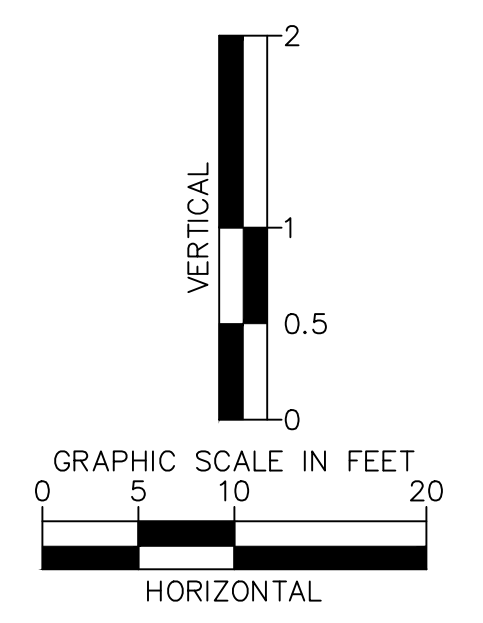
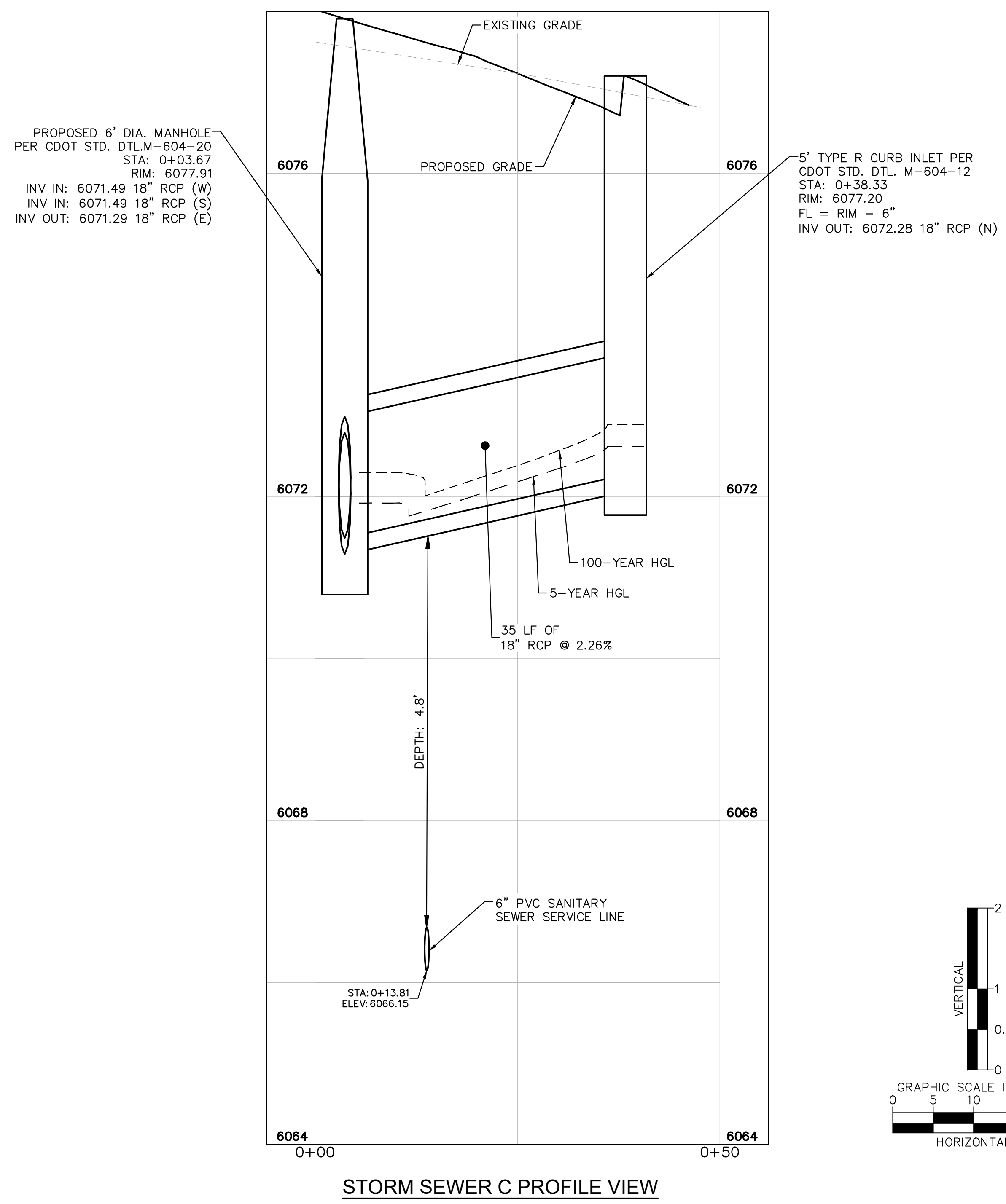


LEGEND

	PROPERTY LINE
	EASEMENT
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	5430 PROPOSED MAJOR CONTOUR
	5431 PROPOSED MINOR CONTOUR
	LANDSCAPE
	CONCRETE
	EX. WATER LINE
	EX. SANITARY LINE
	EX. STORM SEWER
	EX. PHONE LINE
	EX. ELECTRIC LINE
	EX. GAS LINE
	PROP. WATER LINE
	PROP. SANITARY LINE
	PROP. STORM SEWER
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	PROP. ELECTRIC LINE
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CAUTION NOTES:

- CONTRACTOR TO VERIFY TIE IN LOCATIONS TO EXISTING UTILITIES.
- CONTRACTOR TO MAINTAIN AT LEAST 18" OF VERTICAL SEPARATION BETWEEN UTILITIES.



THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

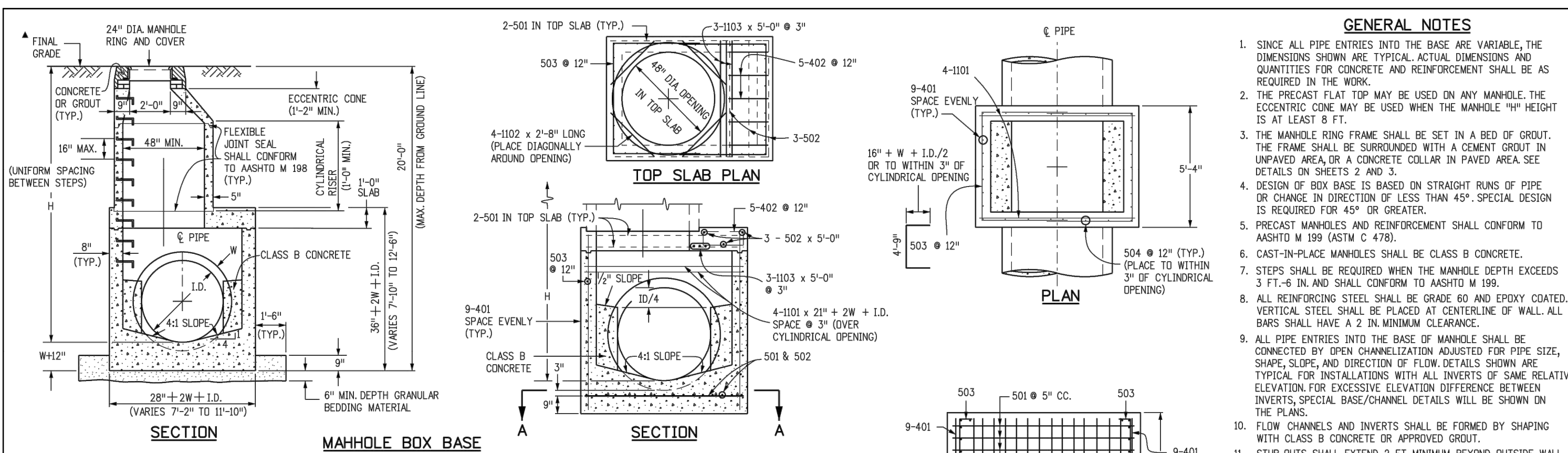
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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

<p>McDonald's USA, LLC</p> <p>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the contract documents for reuse on another project is not authorized.</p>	<p>PROFESSIONAL ENGINEER</p> <p>6/21/22</p>	<p>REVISION #4</p> <p>4/8/22</p>	<p>REVISION #3</p> <p>3/9/22</p>	<p>REVISION #2</p> <p>11/22/21</p>	<p>REVISION #1</p> <p>9/27/21</p>	<p>DATE</p>	<p>DESCRIPTION</p>	<p>BY</p>
	<p>4</p>	<p>3</p>	<p>2</p>	<p>1</p>	<p>REV</p>	<p>DATE</p>	<p>DESCRIPTION</p>	<p>BY</p>
	<p>4</p>	<p>3</p>	<p>2</p>	<p>1</p>	<p>REV</p>	<p>DATE</p>	<p>DESCRIPTION</p>	<p>BY</p>
	<p>4</p>	<p>3</p>	<p>2</p>	<p>1</p>	<p>REV</p>	<p>DATE</p>	<p>DESCRIPTION</p>	<p>BY</p>

<p>CONSTRUCTION DOCUMENTS</p>	<p>0050785</p>
<p>STORM SEWER C PLAN AND PROFILE VIEW</p>	<p>12201 SLICEROOD DRIVE, PARKER, CO</p>
<p>C1.12</p>	





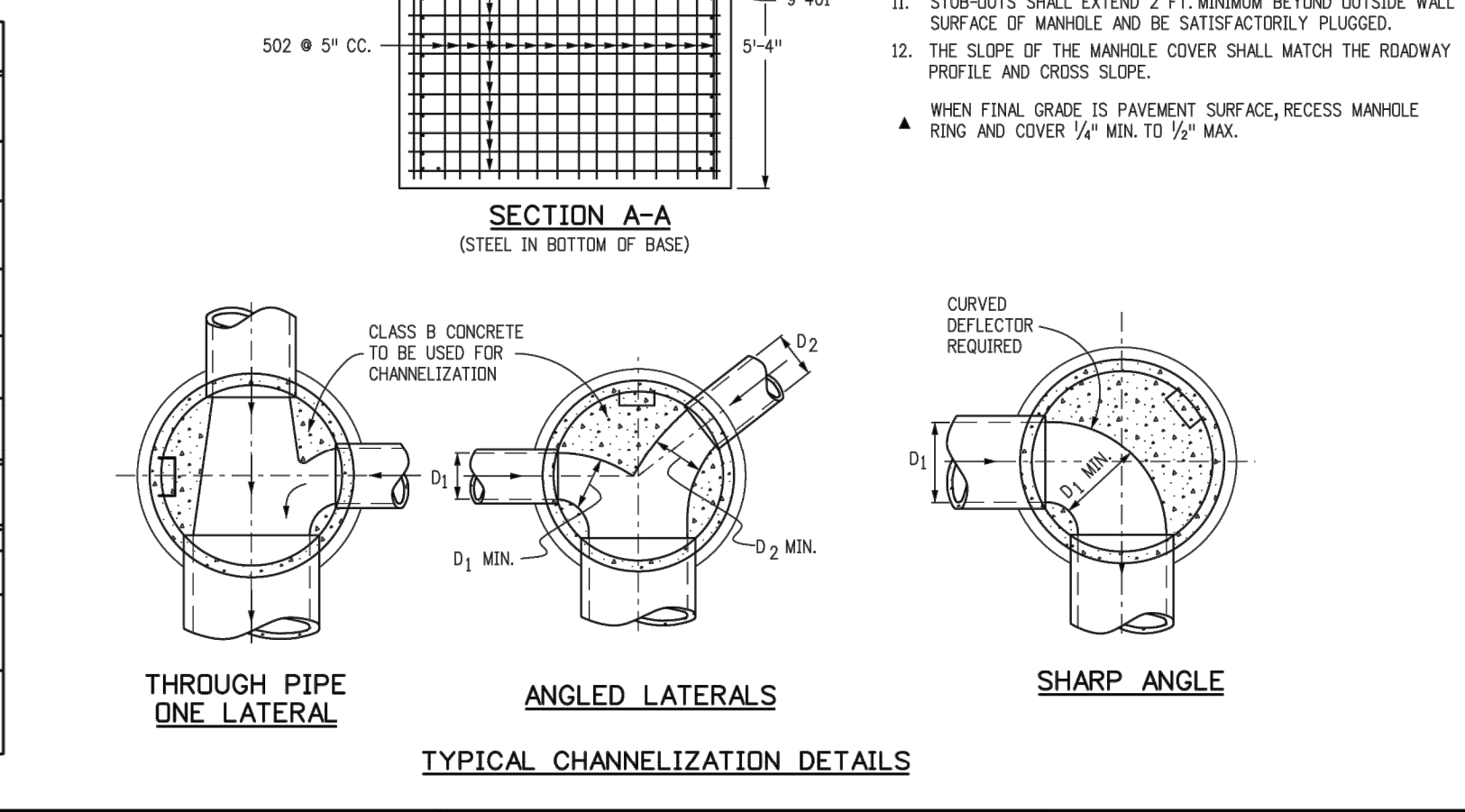
MARK	SIZE	TYPE	WT. #/FT.	REIN. REQ.	54"	60"	66"	72"	84"	96"	FORMULAS
401	4	I	0.668	NO. REQ.	18	18	18	18	18	18	401 BAR LENGTH = 32" + 2W + 1.D.
402	4	III	0.668	NO. REQ.	18	18	18	18	18	18	402 BAR LENGTH = 1.D. + 2W
501	5	I	1.043	NO. REQ.	17	17	17	17	17	17	501 BAR LENGTH = 24" + 1.D. + 2W
502	5	I	1.043	NO. REQ.	17	17	17	17	17	17	502 NUMBER BARS REQ'D = 3 + (24H.D./2W + 1)
503	5	II	1.043	NO. REQ.	16	16	16	16	16	16	503 NUMBER BARS REQ'D = 2 + (13H.D./2W + 1)
504	5	I	1.043	NO. REQ.	16	16	16	16	16	16	504 NUMBER BARS REQ'D = 2 + (2W/10 + 4)
1101	11	I	5.313	NO. REQ.	4	4	4	4	4	4	1101 BAR LENGTH = 21" + 1.D. + 2W
1102	11	I	5.313	NO. REQ.	4	4	4	4	4	4	1102 TYPE I STRAIGHT
1103	11	I	5.313	NO. REQ.	4	4	4	4	4	4	1103 TYPE II BENDING

REINFORCING STEEL TOTAL: 965.6 (1037.5) (127.2) (120.0) (130.0) (160.6)

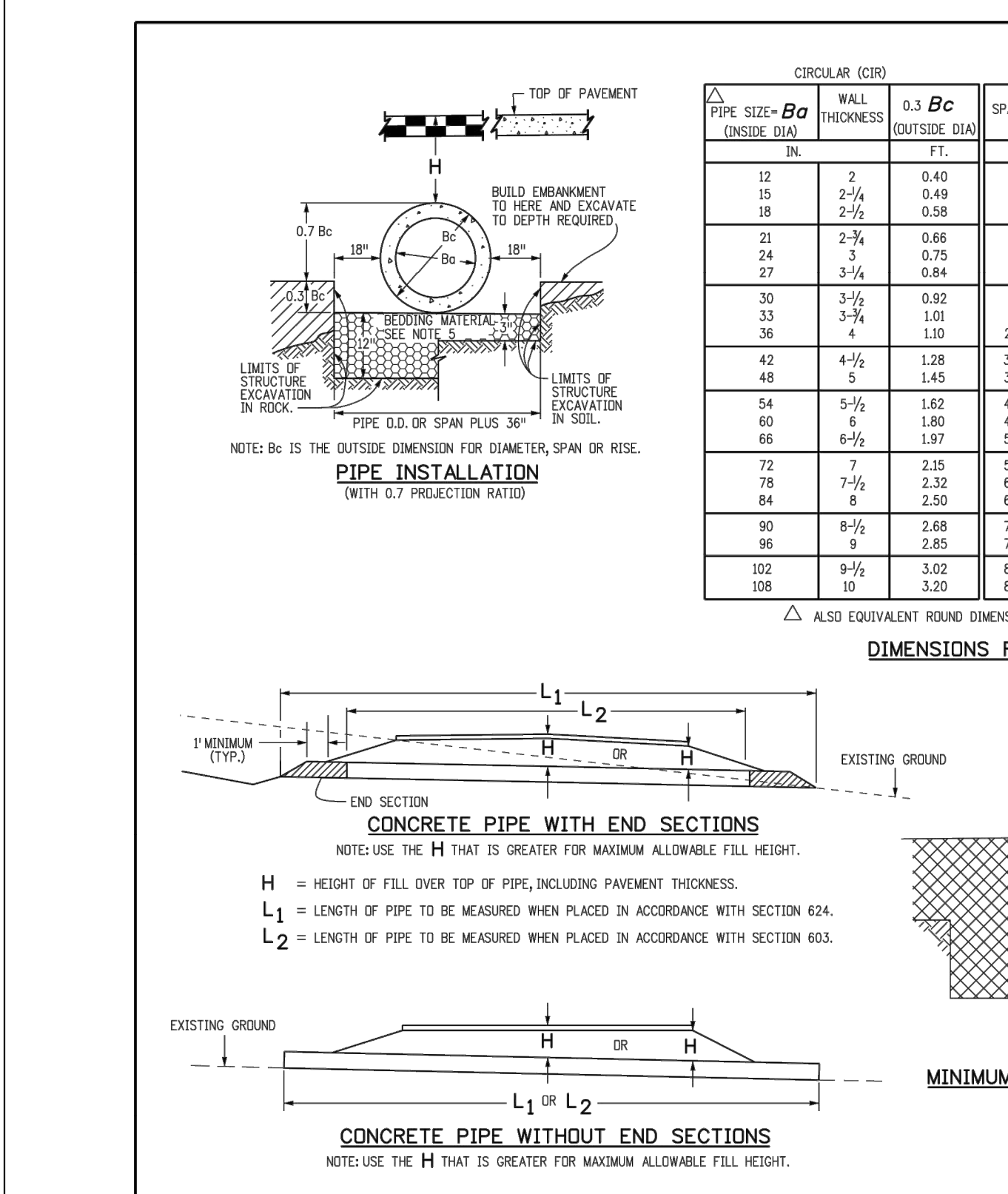
CONCRETE - CAST IN PLACE - TOTAL: 6.0 6.6 7.3 8.0 9.5 11.1

NOTE: QUANTITIES ARE BASED ON SAME SIZE PIPE ENTRANCE TO AND EXIT FROM BASE AND A 4 FT. MANHOLE ENTRANCE INTO TOP SLAB OF BASE.

Computer File Information	Sheet Revisions	Colorado Department of Transportation	STANDARD PLAN NO.
Creation Date: 07/04/12 Initials: DD Last Modification Date: 07/04/12 Initials: LTA Full Path: www.coloradodot.info/business/designsupport Drawing File Name: M06040200103.dgn CAD Ver.: MicroStation V8 Scale: Not to Scale Units: English	Date: _____ Comments: _____	2021 East Arkansas Avenue Denver, Colorado 80222 Phone: (303) 757-9083 Fax: (303) 757-9820	MANHOLES M-604-20



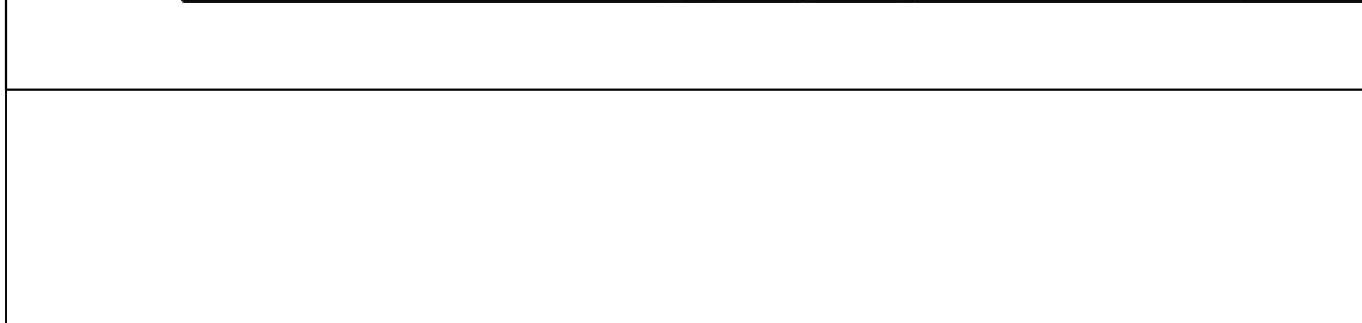
Computer File Information	Sheet Revisions	Colorado Department of Transportation	STANDARD PLAN NO.
Creation Date: 07/04/12 Initials: DD Last Modification Date: 07/04/12 Initials: LTA Full Path: www.coloradodot.info/business/designsupport Drawing File Name: M06040200203.dgn CAD Ver.: MicroStation V8 Scale: Not to Scale Units: English	Date: _____ Comments: _____	2021 East Arkansas Avenue Denver, Colorado 80222 Phone: (303) 757-9083 Fax: (303) 757-9820	MANHOLES M-604-20



Computer File Information	Sheet Revisions	Colorado Department of Transportation	STANDARD PLAN NO.
Creation Date: 07/31/19 Designer Initials: JBK Last Modification Date: 07/31/19 Dattler Initials: LTA CAD Ver.: MicroStation V8 Scale: Not to Scale Units: English	Date: _____ Comments: _____	8229 West Howard Place COOT HQ, 3rd Floor Denver, CO 80204 Phone: (303) 757-9021 FAX: 303-757-9868	REINFORCED CONCRETE PIPE M-603-2

PIPE SIZE - B _o (INSIDE DIA)	CIRCULAR (CIR)		VERTICAL ELLIPTICAL (VE)		HORIZONTAL ELLIPTICAL (HE)	
	WALL THICKNESS	0.3 B _c (OUTSIDE DIA)	SPAN	RISE	SPAN	RISE
12	2	0.40				
15	2-1/2	0.49			23	14
18	2-1/2	0.58				
21	2-3/4	0.66			30	19
24	3	0.75			34	22
27	3-1/4	0.84			38	24
30	3-1/2	0.92			42	26
33	3-3/4	1.01			45	29
36	4	1.10	29	45	4-1/2	1.35
42	4-1/2	1.28	34	53	5	1.58
48	5	1.45	38	60	5-1/2	1.78
54	5-1/2	1.62	43	68	6	2.00
60	6	1.80	48	76	6-1/2	2.23
66	6-1/2	1.97	53	83	7	2.43
72	7	2.15	58	91	7-1/2	2.65
78	7-1/2	2.32	63	98	8	2.85
84	8	2.50	68	106	8-1/2	3.08
90	8-1/2	2.68	72	113	9	3.28
96	9	2.85	77	121	9-1/2	3.50
102	9-1/2	3.02	82	128	9-3/4	3.69
108	10	3.20	87	136	10	3.90

TYPE OF PIPE	HEIGHT OF FILL OVER TOP OF PIPE, H (FEET)				
	CLASS CIR II	CLASS CIR III	CLASS CIR IV	CLASS CIR V	CLASS VE VI
CIRCULAR (CIR)	1 TO 18	1 TO 25	± 25 TO 37	± 37 TO 45	± 45 TO 62
VERTICAL ELLIPTICAL (VE)	1 TO 18	1 TO 25	± 25 TO 37	± 37 TO 45	± 45 TO 62
HORIZONTAL ELLIPTICAL (HE)	1 TO 18	1 TO 25	± 25 TO 37	± 37 TO 45	± 45 TO 62

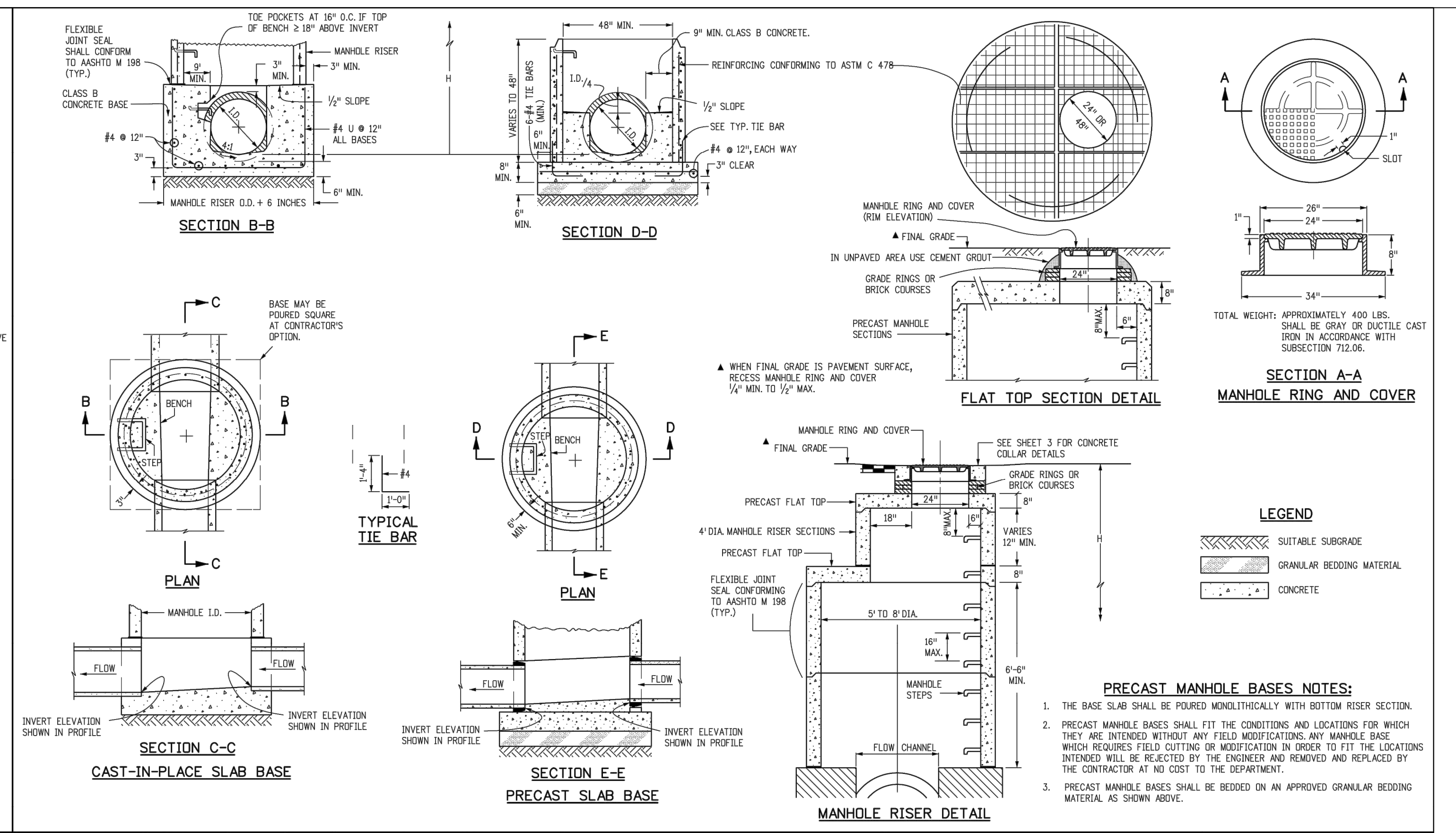


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Creation Date: 07/04/12 Initials: DD Last Modification Date: 07/04/12 Initials: LTA Full Path: www.coloradodot.info/business/designsupport Drawing File Name: M06040200303.dgn CAD Ver.: MicroStation V8 Scale: Not to Scale Units: English	Date: _____ Comments: _____	2021 East Arkansas Avenue Denver, Colorado 80222 Phone: (303) 757-9083 Fax: (303) 757-9820	MANHOLES M-604-20

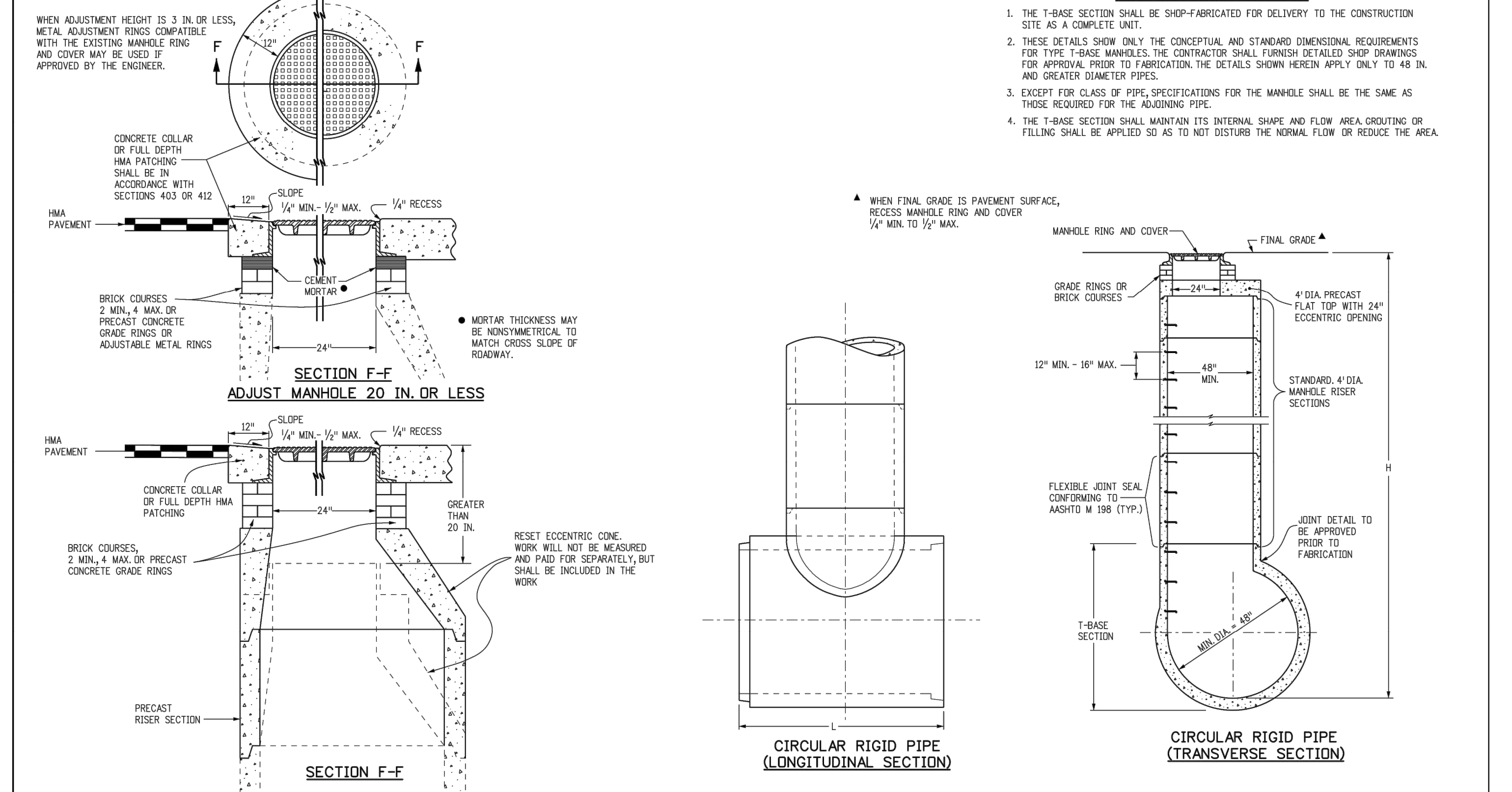
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TITLE	CONSTRUCTION DOCUMENTS	DESCRIPTION	STORM SEWER DETAILS
REVISION #4	4/8/22		
REVISION #3	3/9/22		
REVISION #2	1/22/21		
REVISION #1	9/27/21		
DATE			

Computer File Information	Sheet Revisions	Colorado Department of Transportation	STANDARD PLAN NO.
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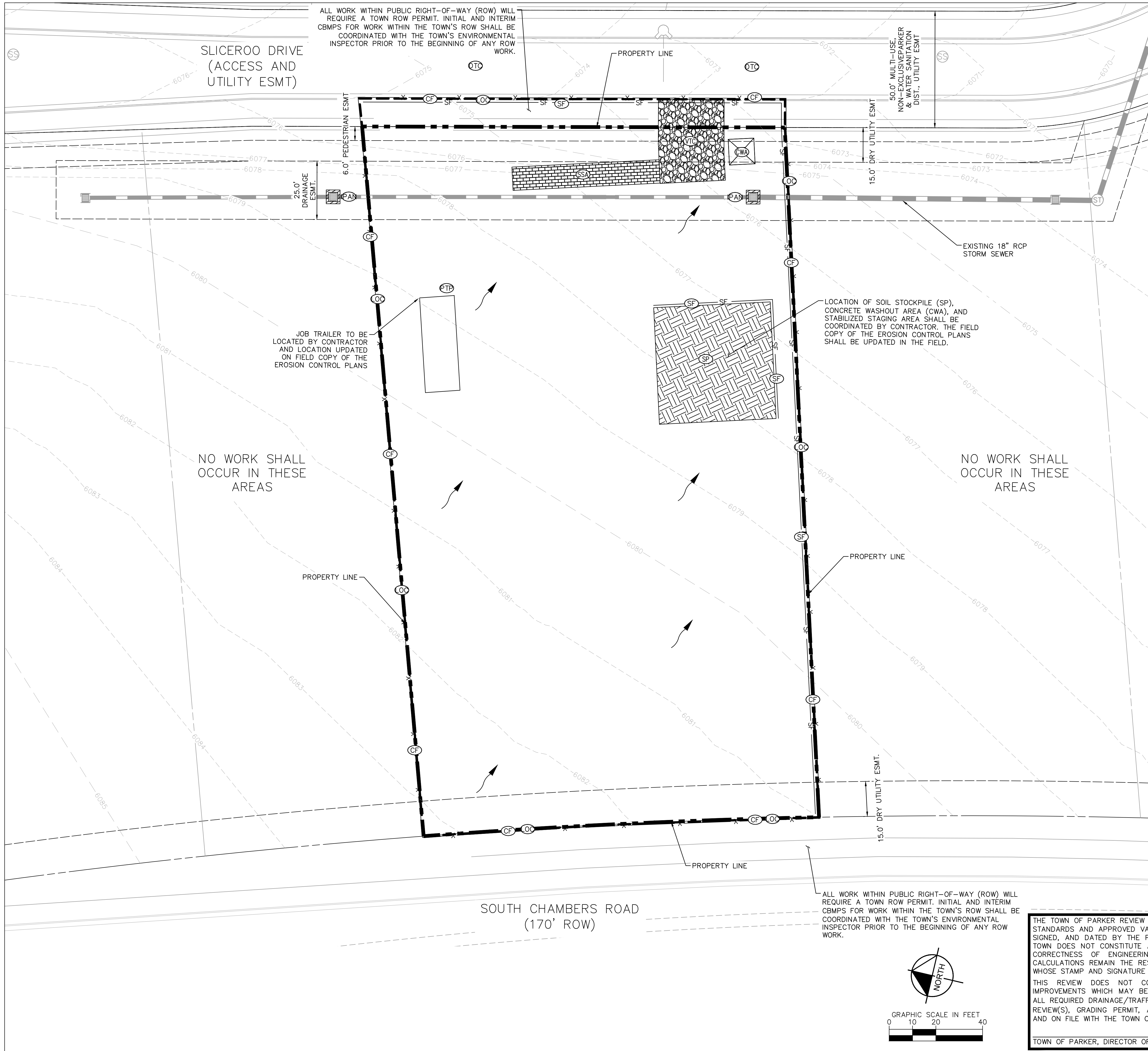
PREPARED FOR: **McDonald's USA, LLC**

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DATE	ISSUED	BY	DATE	ISSUED	BY
07/1/21	07/1/21	JRH	07/1/21	07/1/21	JRH

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ALL WORK WITHIN PUBLIC RIGHT-OF-WAY (ROW) WILL REQUIRE A TOWN ROW PERMIT. INITIAL AND INTERIM CBMPS FOR WORK WITHIN THE TOWN'S ROW SHALL BE COORDINATED WITH THE TOWN'S ENVIRONMENTAL INSPECTOR PRIOR TO THE BEGINNING OF ANY ROW WORK.

SLICEROO DRIVE
(ACCESS AND UTILITY ESMT)

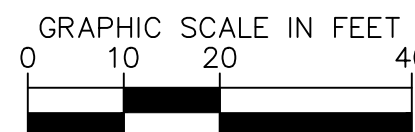
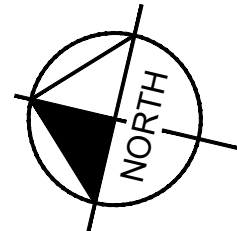
JOB TRAILER TO BE LOCATED BY CONTRACTOR AND LOCATION UPDATED ON FIELD COPY OF THE EROSION CONTROL PLANS

NO WORK SHALL OCCUR IN THESE AREAS

NO WORK SHALL OCCUR IN THESE AREAS

SOUTH CHAMBERS ROAD
(170' ROW)

ALL WORK WITHIN PUBLIC RIGHT-OF-WAY (ROW) WILL REQUIRE A TOWN ROW PERMIT. INITIAL AND INTERIM CBMPS FOR WORK WITHIN THE TOWN'S ROW SHALL BE COORDINATED WITH THE TOWN'S ENVIRONMENTAL INSPECTOR PRIOR TO THE BEGINNING OF ANY ROW WORK.



LEGEND

- PROPERTY LINE
- EASEMENT
- - - 5430 EXISTING MAJOR CONTOUR
- - - 5431 EXISTING MINOR CONTOUR
- 5430 PROPOSED MAJOR CONTOUR
- 5431 PROPOSED MINOR CONTOUR
- - - CUT/FILL LINE
- - - MATCH EXISTING GRADE LINE
- LOC LIMITS OF CONSTRUCTION
- X X CF CONSTRUCTION FENCE
- SF SF SILT FENCE
- SSA SSA STABILIZED STAGING AREA
- CWA CWA CONCRETE WASHOUT
- VTC VTC VEHICLE TRACKING CONTROL
- SP SP SOIL STOCKPILE
- ECB ECB EROSION CONTROL BLANKET
- PAN PAN INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT
- IPA IPA INLET PROTECTION, CURB ON SUMP, TYPE C INLET
- IRCOB IRCOB INLET PROTECTION, CURB ON SUMP, TYPE R INLET
- IRCOG IRCOG INLET PROTECTION, CURB ON GRADE, TYPE R INLET
- VTC VTC STREET SWEEPING
- PTP PTP PORTABLE TOILET PROTECTION
- MWP MWP MASONRY WORK PROTECTION
- SCL SCL SEDIMENT CONTROL LOG
- SMC SMC SEEDING, MULCHING, AND CRIMPING
- SR SR SURFACE ROUGHENING
- FLOW ARROW
- FINAL STABILIZATION. (REFERENCE LANDSCAPING PLANS)

1. THE INTENT OF THIS PLAN IS TO IDENTIFY THE EROSION CONTROL PRACTICES RECOMMENDED. THE CONTRACTOR SHALL REFERENCE ADDITIONAL CONSTRUCTION PLANS FOR DEMOLITION OF EXISTING AND CONSTRUCTION OF PROPOSED IMPROVEMENTS.
2. ADJACENT STREETS AND SIDEWALK SHALL BE KEPT CLEAN AND FREE OF SEDIMENT AND/OR DEBRIS AT ALL TIMES. CONTRACTOR SHALL PERFORM STREET SWEEPING AT ALL TIMES DURING ACTIVE TRACKING AND AT A MINIMUM ON A DAILY BASIS AT THE END OF EACH CONSTRUCTION DAY.
3. TEMPORARY STABILIZATION (TS) SHALL BE IMPLEMENTED WITHIN THE DISTURBED PORTIONS OF THE PROJECT SITE NO LATER THAN 14 DAYS FOLLOWING THE CEASE OF CONSTRUCTION ACTIVITIES WITHIN THE DISTURBED AREAS.
4. PERMANENT STABILIZATION (PS) MAY BE USED WITHIN AREAS OF TEMPORARY STABILIZATION (TS) AT THE CONTRACTOR'S DISCRETION. STABILIZATION SHALL BE APPLIED IN ACCORDANCE WITH APPLICABLE TEMPORARY STABILIZATION SEQUENCING REQUIREMENTS.
5. CONTRACTOR SHALL UTILIZE ROLLED EROSION CONTROL PRODUCTS ON ALL SLOPES 3H:1V OR GREATER TO ACHIEVE REQUIRED STABILIZATION.
6. CONTRACTOR SHALL MAINTAIN ACCEPTABLE EROSION CONTROL PRACTICES WITHIN THE ANTICIPATED LIMITS OF CONSTRUCTION IDENTIFIED HEREIN. BEST MANAGEMENT PRACTICES AND STABILIZATION SHALL BE COMPLETED AS IDENTIFIED HEREIN IN ACCORDANCE WITH OWNER REQUIREMENTS.
7. ALL WORK IN THE PRIVATE SHARED ACCESS ROW REQUIRES AN AGREEMENT BETWEEN THE SELLER AND McDONALD'S.
8. CONTRACTOR SHALL REFER TO THE APPROVED GEOTECHNICAL REPORT FOR OVEREXCAVATION REQUIREMENTS AND ADDITIONAL INFORMATION.
9. DEMOLITION, REMOVAL AND SOIL TREATMENT SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER RECOMMENDATIONS AS NOTED IN THE APPROVED PROJECT GEOTECHNICAL REPORT.
10. CONTRACTOR TO NOTE PROXIMITY OF EXISTING IMPROVEMENTS ADJACENT TO THE SITE AND PROVIDE NECESSARY MEASURES TO PROTECT ALL FACILITIES AND STRUCTURES IN PLACE.
11. CONTRACTOR SHALL MAINTAIN STABILIZED STAGING AREA (SSA), VEHICLE TRACKING CONTROL (VTC), AND CONCRETE WASHOUT AREA (CWA) AT THE CONSTRUCTION ENTRANCE AT ALL TIMES. CONTRACTOR SHALL UPDATE THE EROSION CONTROL PLAN IN THE FIELD TO INDICATE THE LOCATION OF THE SSA, VTC, AND CWA BMPS AS EXCAVATION SEQUENCING DICTATES.
12. CONTRACTOR MAY SUBSTITUTE SEDIMENT CONTROL LOGS (SCL) FOR SILT FENCE (SF) AS PERIMETER CONTROL, DEPENDING UPON SITE CONDITIONS. SCL AND SF MAY BE INTERCHANGED DEPENDING ON SITE CONDITIONS.
13. LOT PROTECTION (LP) IS REQUIRED ON COMMERCIAL LOTS WHEN LANDSCAPING IS NOT POSSIBLE.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

TITLE	DATE	REVISION #	DESCRIPTION
CONSTRUCTION DOCUMENTS	JUN		
	JUN	4	4/8/22
	JUN	3	3/9/22
	JUN	2	11/22/21
INITIAL CBMP PLAN	JUN	1	9/27/21
	JUN		REV
	JUN		DATE
	JUN		BY

PREPARED BY: **McDonald's USA, LLC**

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DATE	BY
07/1/21	JRH
07/1/21	JRH

PREPARED FOR: **McDonald's USA, LLC**

DRAWN BY: **JRH**

DATE: **07/1/21**

REVIEWED BY: **JRH**

DATE ISSUED: **07/1/21**

TITLE: **CONSTRUCTION DOCUMENTS**

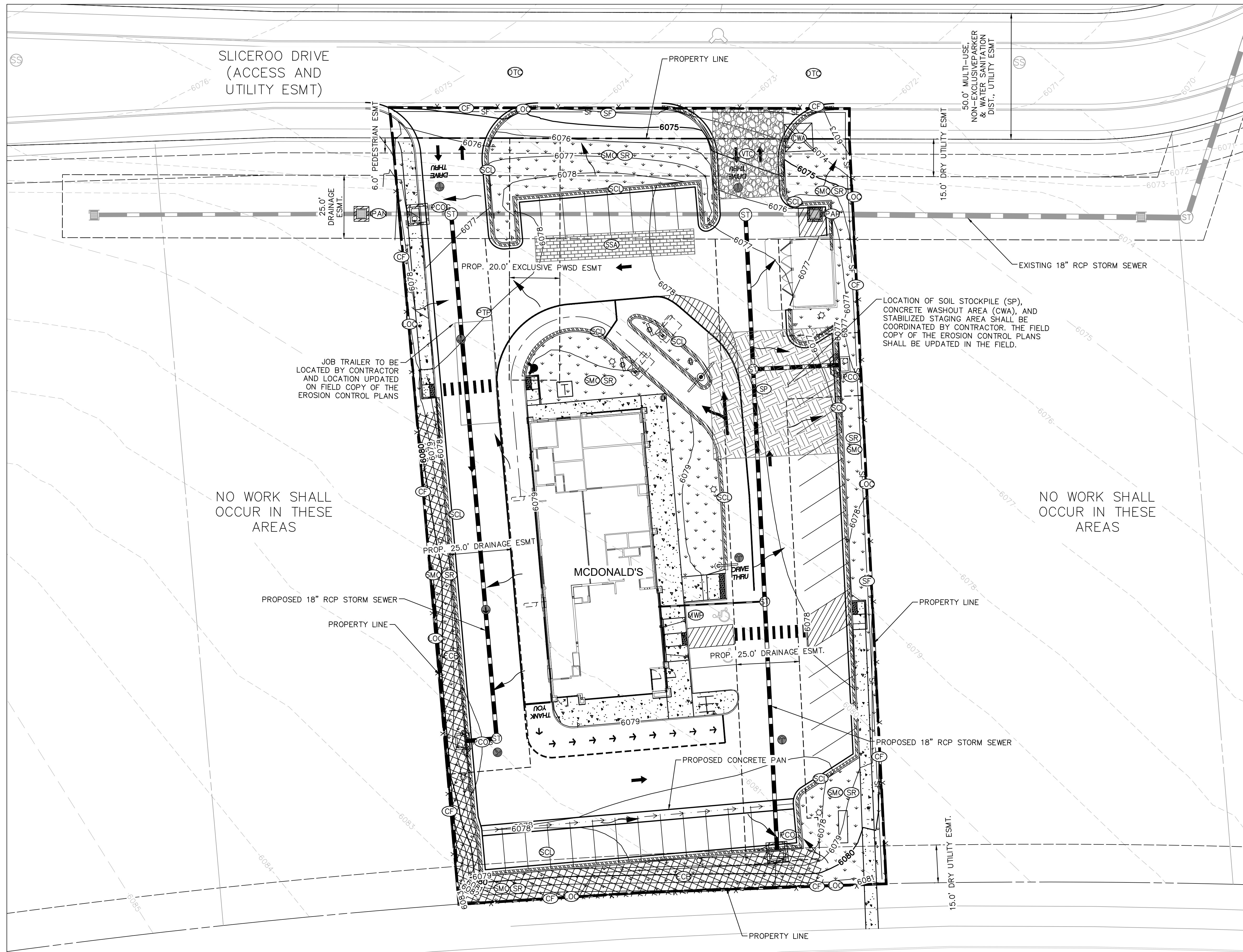
DESCRIPTION: **INITIAL CBMP PLAN**

SITE ADDRESS: **12201 SLICEROO DRIVE, PARKER, CO**

SITE ID: **0050785**

811 Know what's below. Call before you dig.

C1.15



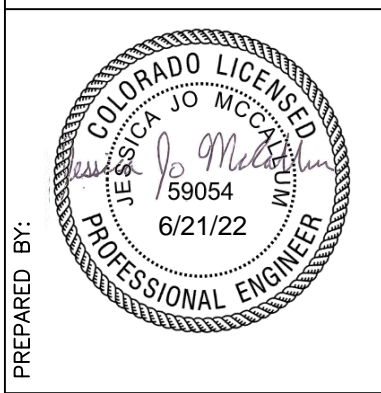
LEGEND

---	PROPERTY LINE
---	EASEMENT
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	CUT/FILL LINE
---	MATCH EXISTING GRADE LINE
---	LOC LIMITS OF CONSTRUCTION
X X	CF CONSTRUCTION FENCE
SF	SF SILT FENCE
[Brick Pattern]	SSA STABILIZED STAGING AREA
[Square]	CWA CONCRETE WASHOUT
[Stippled]	VTC VEHICLE TRACKING CONTROL
[Diagonal Lines]	SP SOIL STOCKPILE
[Cross-hatch]	ECB EROSION CONTROL BLANKET
[Circle]	IPAN INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT
[Circle]	IPAB INLET PROTECTION, CURB ON SUMP, TYPE C INLET
[Circle]	IRCOS INLET PROTECTION, CURB ON SUMP, TYPE R INLET
[Circle]	IRCOG INLET PROTECTION, CURB ON GRADE, TYPE R INLET
[Circle]	VTC STREET SWEEPING
[Circle]	PTP PORTABLE TOILET PROTECTION
[Circle]	MWP MASONRY WORK PROTECTION
[Circle]	SCL SEDIMENT CONTROL LOG
[Circle]	SMC SEEDING, MULCHING, AND CRIMPING
[Circle]	SR SURFACE ROUGHENING
[Arrow]	FLOW ARROW
[Dotted]	FINAL STABILIZATION. (REFERENCE LANDSCAPING PLANS)

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3. TEMPORARY STABILIZATION (TS) SHALL BE IMPLEMENTED WITHIN THE DISTURBED PORTIONS OF THE PROJECT SITE NO LATER THAN 14 DAYS FOLLOWING THE CEASE OF CONSTRUCTION ACTIVITIES WITHIN THE DISTURBED AREAS.
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5. CONTRACTOR SHALL UTILIZE ROLLED EROSION CONTROL PRODUCTS ON ALL SLOPES 3H:1V OR GREATER TO ACHIEVE REQUIRED STABILIZATION.
6. CONTRACTOR SHALL MAINTAIN ACCEPTABLE EROSION CONTROL PRACTICES WITHIN THE ANTICIPATED LIMITS OF CONSTRUCTION IDENTIFIED HEREIN. BEST MANAGEMENT PRACTICES AND STABILIZATION SHALL BE COMPLETED AS IDENTIFIED HEREIN IN ACCORDANCE WITH OWNER REQUIREMENTS.
7. ALL WORK IN THE PRIVATE SHARED ACCESS ROW REQUIRES AN AGREEMENT BETWEEN THE SELLER AND MCDONALD'S.
8. CONTRACTOR SHALL REFER TO THE APPROVED GEOTECHNICAL REPORT FOR OVEREXCAVATION REQUIREMENTS AND ADDITIONAL INFORMATION.
9. DEMOLITION, REMOVAL AND SOIL TREATMENT SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER RECOMMENDATIONS AS NOTED IN THE APPROVED PROJECT GEOTECHNICAL REPORT.
10. CONTRACTOR TO NOTE PROXIMITY OF EXISTING IMPROVEMENTS ADJACENT TO THE SITE AND PROVIDE NECESSARY MEASURES TO PROTECT ALL FACILITIES AND STRUCTURES IN PLACE.
11. CONTRACTOR SHALL MAINTAIN STABILIZED STAGING AREA (SSA), VEHICLE TRACKING CONTROL (VTC), AND CONCRETE WASHOUT AREA (CWA) AT THE CONSTRUCTION ENTRANCE AT ALL TIMES. CONTRACTOR SHALL UPDATE THE EROSION CONTROL PLAN IN THE FIELD TO INDICATE THE LOCATION OF THE SSA, VTC, AND CWA BMPS AS EXCAVATION SEQUENCING DICTATES.
12. CONTRACTOR MAY SUBSTITUTE SEDIMENT CONTROL LOGS (SCL) FOR SILT FENCE (SF) AS PERIMETER CONTROL, DEPENDING UPON SITE CONDITIONS. SCL AND SF MAY BE INTERCHANGED DEPENDING ON SITE CONDITIONS.
13. LOT PROTECTION (LP) IS REQUIRED ON COMMERCIAL LOTS WHEN LANDSCAPING IS NOT POSSIBLE.

JJM	REVISION #4	DATE	REV	DESCRIPTION
JJM <td>3 <td>3/9/22 <td>1 <td></td> </td></td></td>	3 <td>3/9/22 <td>1 <td></td> </td></td>	3/9/22 <td>1 <td></td> </td>	1 <td></td>	
JJM <td>4 <td>4/8/22 <td>2 <td></td> </td></td></td>	4 <td>4/8/22 <td>2 <td></td> </td></td>	4/8/22 <td>2 <td></td> </td>	2 <td></td>	
JJM <td>1 <td>11/22/21 <td>1 <td></td> </td></td></td>	1 <td>11/22/21 <td>1 <td></td> </td></td>	11/22/21 <td>1 <td></td> </td>	1 <td></td>	
JJM <td>2 <td>9/27/21 <td>1 <td></td> </td></td></td>	2 <td>9/27/21 <td>1 <td></td> </td></td>	9/27/21 <td>1 <td></td> </td>	1 <td></td>	

Kimley»Horn



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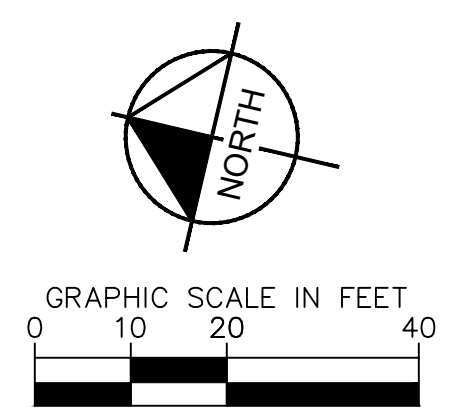
DRAWN BY: JJM	DATE: 07/1/21
REVIEWED BY: JJR	DATE ISSUED: 07/1/21

TITLE: CONSTRUCTION DOCUMENTS
DESCRIPTION: INTERIM/FINAL CBMP PLAN
SITE ADDRESS: 12201 SLICEROO DRIVE, PARKER, CO

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES. SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____



PHASED BMP IMPLEMENTATION – INITIAL PHASE

THE INITIAL PHASE SHALL CONSIST OF THE TEMPORARY CONSTRUCTION BMPS TO MINIMIZE POTENTIAL FOR EROSION AND SEDIMENT TRANSFER WHILE MOBILIZING AND PREPARING THE SITE FOR CONSTRUCTION ACTIVITIES. THE SITE SUPERVISOR SHALL COMPLETE THE ANTICIPATED INITIAL PHASE SEQUENCING AS FOLLOWS:

- 1.CONTRACTOR TO OBTAIN TOWN EROSION CONTROL PERMIT AND STATE CONSTRUCTION ACTIVITIES DISCHARGE PERMIT IN ADVANCE OF START OF CONSTRUCTION.
2.INSTALL CONSTRUCTION FENCE AROUND LIMITS OF CONSTRUCTION (LOC) AT PROPERTY LINE.
3.INSTALL STABILIZED VEHICLE TRACKING CONTROL PAD. THIS WILL BE THE FIRST CONSTRUCTION WORK ON THE PROJECT.
4.PREPARE STABILIZED STAGING AREA AND CONCRETE WASHOUT.
5.INSTALL PERIMETER SILT FENCE, AT DOWN GRADIENT LOCATIONS.
6.CALL TOWN OF PARKER FOR EROSION CONTROL INSPECTION.

PHASED BMP IMPLEMENTATION – INTERIM PHASE

THE INTERIM PHASE SHALL CONSIST OF THE TEMPORARY CONSTRUCTION BMPS TO MINIMIZE POTENTIAL FOR EROSION AND SEDIMENT TRANSFER DURING THE CONSTRUCTION UTILITIES AND SITE GRADING ASSOCIATED WITH THE PROPOSED RESIDENTIAL BUILDING. THE SITE SUPERVISOR SHALL COMPLETE THE ANTICIPATED INTERIM PHASE SEQUENCING AS FOLLOWS:

- 1.CONFIRM EXISTING BMPS WHICH ARE TO BE MAINTAINED THROUGHOUT CONSTRUCTION ARE IN WORKING ORDER AND COMPLIANT WITH APPLICABLE REGULATIONS.
2.REPAIR AND/OR REPLACE ANY EXISTING BMPS WHICH ARE DEEMED INADEQUATE.
3.STOCKPILE MATERIALS IN ACCORDANCE WITH THE STOCKPILE MANAGEMENT (SP) CBMP.

NOTE: SOIL STOCKPILES ARE DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES OR IS ANTICIPATED TO BE CEASED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE TEMPORARILY STABILIZED WITH TEMPORARY SEEDING OR OTHER STABILIZATION METHODS WITHIN 7 DAYS OF TEMPORARILY CEASING CONSTRUCTION.

NOTE: STOCKPILE AREAS SHOWN ON THE PLAN FOR REFERENCE ONLY. DUE TO THE CONSTRUCTION PHASES, REUSE OF DEMOLITION MATERIALS AND IMPORT REQUIRED, IT IS ANTICIPATED THAT ONSITE STOCKPILES WILL BE REQUIRED. CONTRACTOR SHALL IMPLEMENT STOCKPILE MANAGEMENT (SP) BMPS AT LOCATIONS REQUIRED BY CONSTRUCTION PHASING AND SEQUENCING AND NOTE SUCH ON THE STORMWATER MANAGEMENT SITE MAP.

- 4.INSTALL PRIVATE STORM, SANITARY, AND WATER FACILITIES.
5.INSTALL INLET PROTECTION AT ALL STORM SEWER STRUCTURES AS EACH INLET STRUCTURE IS INSTALLED. CONDUCT PERIODIC INSPECTIONS AT NOTED INTERVALS AS REQUIRED BY THE TOWN AND STATE OF COLORADO.

PHASED BMP IMPLEMENTATION – FINAL PHASE

THE FINAL PHASE SHALL CONSIST OF THE TEMPORARY CONSTRUCTION BMPS TO MINIMIZE POTENTIAL FOR EROSION AND SEDIMENT TRANSFER DURING THE CONSTRUCTION OF THE PROPOSED LIMITED SITE IMPROVEMENTS. THE SITE SUPERVISOR SHALL COMPLETE THE ANTICIPATED FINAL PHASE SEQUENCING AS FOLLOWS:

- 1.INSTALL DRY UTILITIES AND SET TRANSFORMERS AND METER BANKS IN COORDINATION WITH XCEL ENERGY AND IREA.
2.PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
3.UPON COMPLETION OF STORM DRAINAGE SYSTEM, CONTRACTOR SHALL ESTABLISH DETAILED CONSTRUCTION OF DRAINAGE FACILITIES.
4.PREPARE SITE FOR CURB, GUTTER, AND PAVING INSTALLATION.
5.PAVE SITE AND INSTALL HARDSCAPE.
6.REFER TO LANDSCAPING PLAN FOR PLANTING INFORMATION AND INSTALL FINAL STABILIZATION MEASURES.
7.CONTACT THE TOWN OF PARKER FOR FINAL INSPECTION.
8.REMOVE BMPS.
9.REFER TO LANDSCAPING PLAN FOR PLANTING INFORMATION AND INSTALL FINAL STABILIZATION MEASURES.

CONTRACTOR NOTE:

- 1, CONTRACTOR SHALL OBTAIN STATE STORMWATER PERMIT PRIOR TO CONSTRUCTION.

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER. Legend for CBMP Construction Best Management Practices. Includes symbols and descriptions for items like Check Dam, Construction Fence, Culvert Protection, Concrete Washout Area, Dewatering, Diversion Ditch, Detention Pond Protection, Debris Trash Control, Erosion Control Blanket, Inlet Protection for Area Inlets, Inlet Protection, Curb on-Grade, Type R Inlet, Inlet Protection, Curb on Sump, Type R Inlet.

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER. Legend for CBMP Construction Best Management Practices. Includes symbols and descriptions for items like Lot Protection, Masonry Work Protection, Portable Toilet Protection, Rough Cut Street Control, Rock Sock, Rock Sock in Swale, Straw Bale, Sediment Control Logs, Silt Fence, Seeding, Mulching and Crimping, Surface Roughing, Stabilized Staging Area, Sidewalk Transition Protection.

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER. Legend for CBMP Construction Best Management Practices. Includes symbols and descriptions for items like Temporary Irrigation, Temporary Sediment Basin, Vehicle Tracking Control.

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER. Legend for CBMP Construction Best Management Practices. Includes numbered list of 24 items detailing erosion and sediment control requirements, such as grading, drilling, clearing, excavation, and maintenance procedures.

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER. Legend for CBMP Construction Best Management Practices. Includes numbered list of 25 items detailing erosion and sediment control requirements, such as chemical spills, concrete washout, and equipment restrictions.

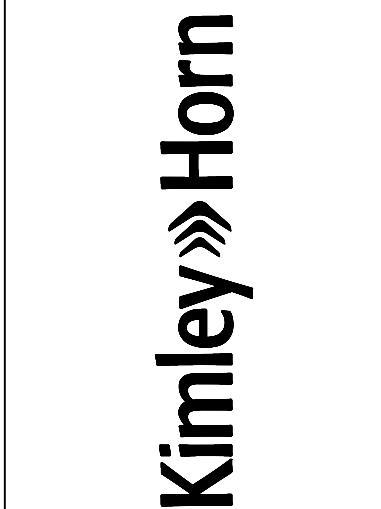
NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER. Legend for CBMP Construction Best Management Practices. Includes numbered list of 26 items detailing erosion and sediment control requirements, such as vehicle and equipment degreasing, and hydraulic seeding.

Town of Parker COLORADO CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 4 Oct. 2013 GEN NOTES

Town of Parker COLORADO CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 4 Oct. 2013 GEN NOTES

Town of Parker COLORADO CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES 3 OF 4 Oct. 2013 GEN NOTES

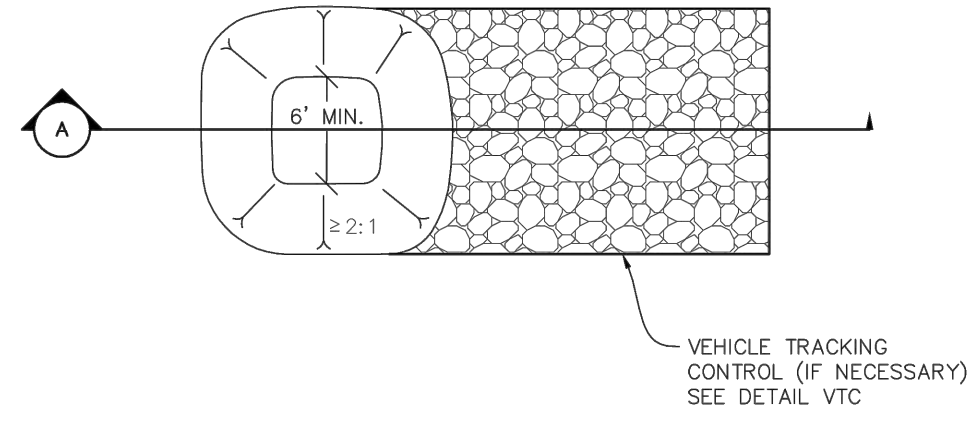
Table with columns: TITLE, CONSTRUCTION DOCUMENTS, CBMP DETAILS, SITE ADDRESS, 12201 SUCEROO DRIVE, PARKER, CO, 050785, C1.17, and a revision table with columns: REV, DATE, REVISION #, DESCRIPTION.



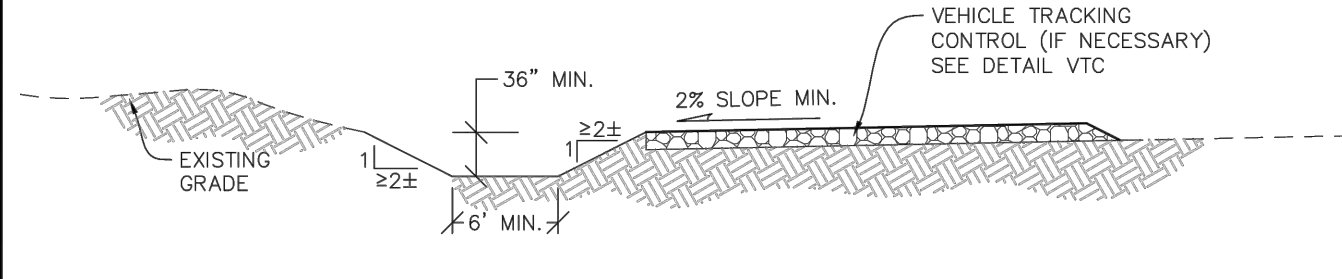
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NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

NOTE:
A VTC PAD IS NOT NECESSARY IF THERE IS ANOTHER VTC PAD IN BETWEEN THE CWA AND ROADWAY, PARKING LOT, DRIVE AISLES, ETC.



PLAN VIEW



SECTION A



Town of Parker COLORADO **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES CWA 1 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

CONCRETE WASHOUT AREA INSTALLATION NOTES

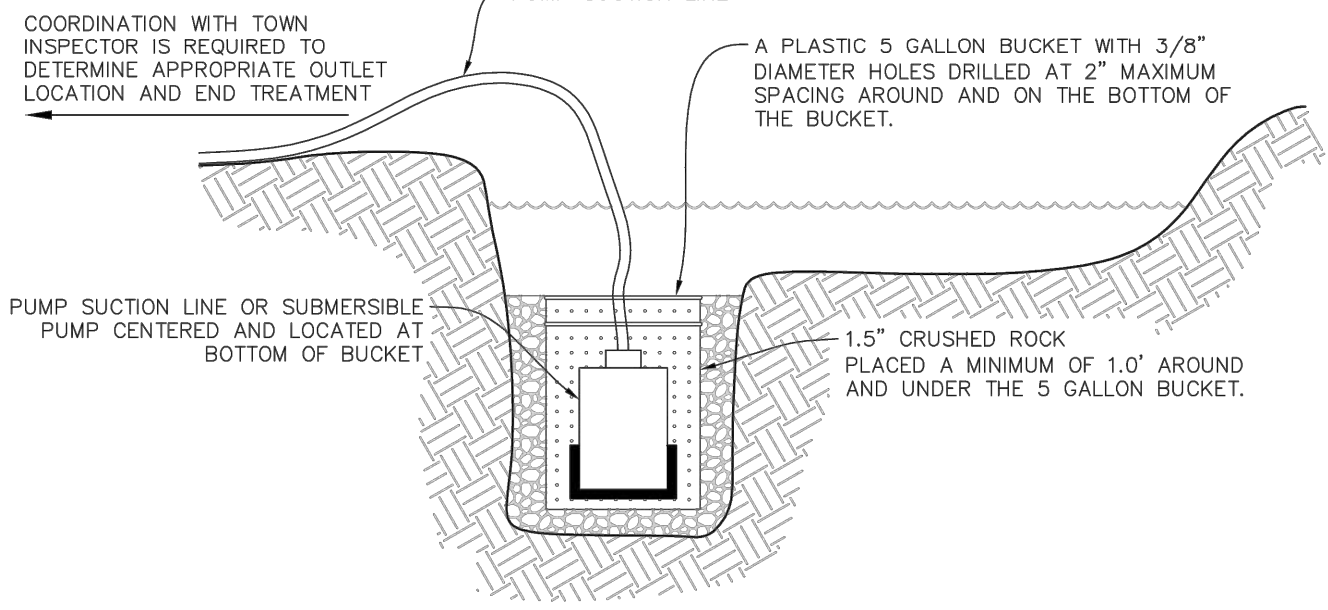
- 1. CONCRETE WASHOUT AREAS SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
- 2. A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT THE ACCESS POINT TO ALL CONCRETE WASHOUT AREAS WHEN NO OTHER VTC PAD EXISTS IN BETWEEN THE CWA AND THE ROADWAY.
- 3. IF GROUNDWATER IS ENCOUNTERED WHEN DIGGING THE PIT, A NEW LOCATION SHOULD BE SELECTED. IF NO OTHER LOCATION CAN BE FOUND, A ONE-PIECE IMPERVIOUS LINER SHALL BE REQUIRED ALONG THE BOTTOM AND SIDES OF THE SUBSURFACE PIT.

CONCRETE WASHOUT AREA INSPECTION AND MAINTENANCE NOTES

- 1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CONCRETE WASHOUT AREA.
- 2. CONCRETE WASHOUT MATERIALS SHALL BE REMOVED BEFORE ITS CAPACITY HAS BEEN REACHED.
- 3. CONCRETE WASHOUT AREAS SHALL BE ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE AND ASSOCIATED WASH WATER.
- 4. CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE AS NECESSARY TO ENSURE ADEQUATE CAPACITY.
- 5. CONCRETE WASHOUT AREAS SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
- 6. WHEN CONCRETE WASHOUT AREAS ARE REMOVED, THE TOWN'S INSPECTOR MAY REQUIRE EXCAVATIONS TO BE FILLED WITH SUITABLE COMPACTED BACKFILL AND TOPSOIL, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE CONCRETE WASHOUT AREAS SHALL BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

Town of Parker COLORADO **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES CWA 2 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER



TYPICAL DEWATERING SUMP

NOTE:
IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE APPROPRIATE MEASURES TO PROTECT PUMPING EQUIPMENT AND MINIMIZE SEDIMENT. USE OF A PLASTIC 5 GALLON BUCKET IS SUGGESTED BUT NOT REQUIRED. THE CONTRACTOR SHALL NOT HOLD THE TOWN LIABLE FOR DAMAGE TO PUMPING EQUIPMENT REGARDLESS OF METHODS USED.



Town of Parker COLORADO **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES D 1 OF 2 Oct. 2013

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DEWATERING INSTALLATION NOTES

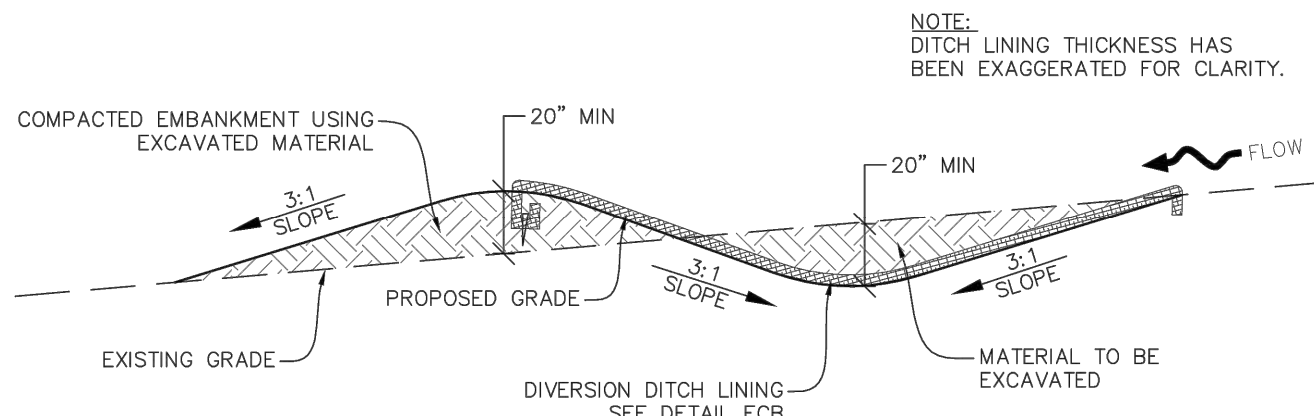
- 1. IT IS THE EROSION CONTROL SUPERVISOR'S RESPONSIBILITY TO ENSURE THAT ALL DEWATERING IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE).

DEWATERING MAINTENANCE NOTES

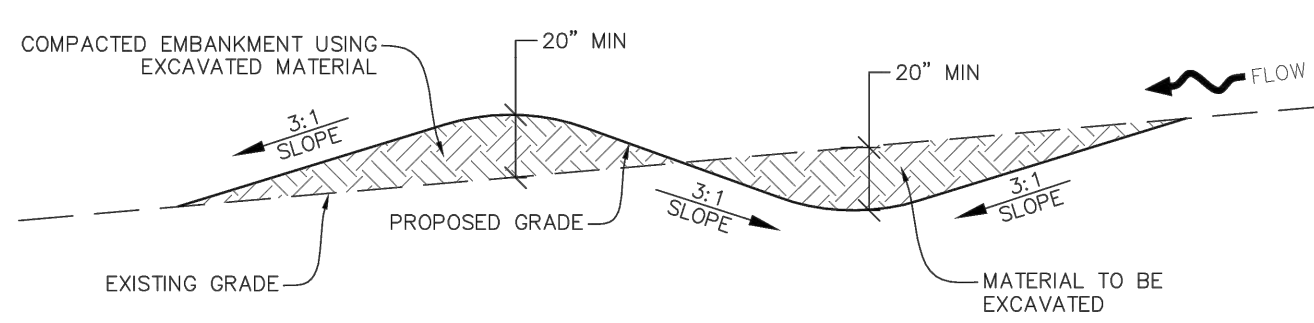
- 1. THE EROSION CONTROL SUPERVISOR SHALL INSPECT THE DEWATERING OPERATION TO ENSURE THAT THE DISCHARGE WATER IS DRAINING TO THE PROPER LOCATION(S) AND PERFORM ANY NECESSARY REPAIRS OR MAINTENANCE ON A FREQUENT BASIS.

Town of Parker COLORADO **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES D 2 OF 2 Oct. 2013

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DIVERSION DITCH SECTION LINED CHANNEL



DIVERSION DITCH SECTION UNLINED CHANNEL



Town of Parker COLORADO **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES DD 1 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

DIVERSION DITCH INSTALLATION NOTES

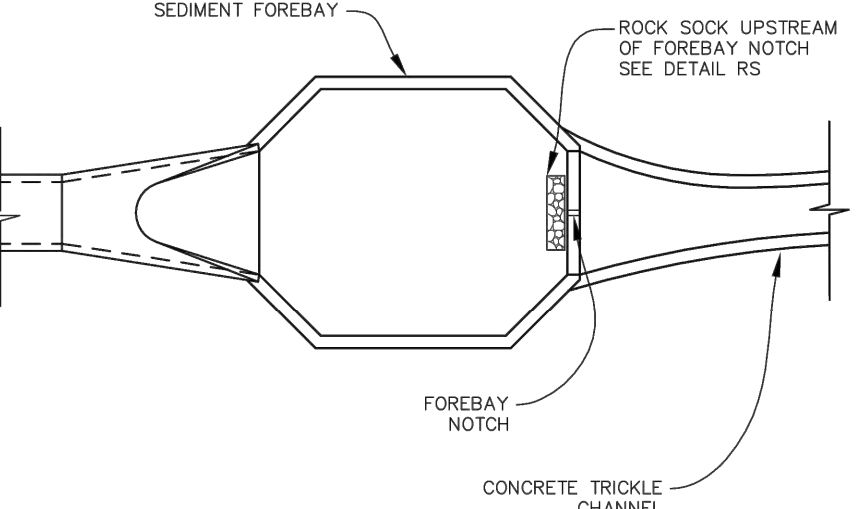
- 1. SEE THE PLAN VIEW FOR THE LOCATION(S) OF THE DIVERSION DITCHES.
- 2. A PLASTIC LINER, RIPRAP, OR EROSION CONTROL BLANKET MAY BE NECESSARY TO PROTECT THE DIVERSION DITCH. THE REQUIRED LINING MATERIAL SHALL BE OBTAINED FROM THE CBMP PLANS VIA THE DESIGN ENGINEER.
- 3. ALL MATERIAL EXCAVATED FROM THE DITCH MAY BE USED TO CONSTRUCT THE BERM ON THE DOWNHILL SIDE OF THE DITCH.
- 4. THE DIVERSION DITCH SHALL BE A MINIMUM OF 20" DEEP WITH APPROX. 3:1 SIDE SLOPES. THE ADJACENT BERM SHALL BE A MINIMUM OF 20" IN HEIGHT WITH APPROX. 3:1 SIDE SLOPES. ALL EMBANKMENTS SHALL BE FIRMLY COMPACTED.
- 5. THE DISCHARGE FROM THE DIVERSION DITCH SHALL BE DIRECTED TOWARDS AN APPROPRIATELY SIZED TEMPORARY SEDIMENT BASIN OR OTHER APPROVED AREA.

DIVERSION DITCH INSPECTION AND MAINTENANCE NOTES

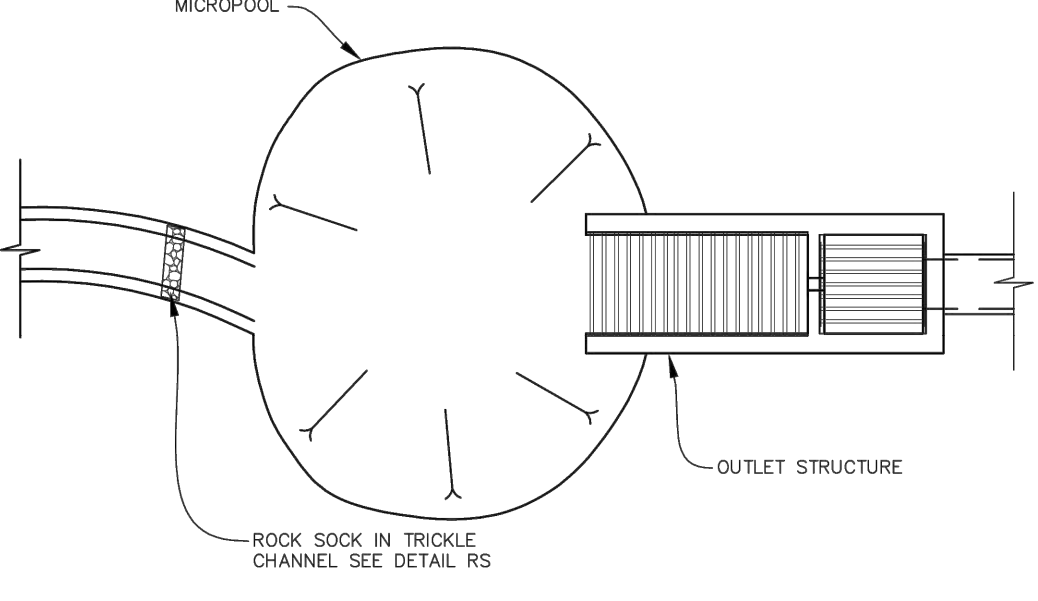
- 1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE DIVERSION DITCH.
- 2. ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE THE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 (10") THE CREST HEIGHT.
- 3. DIVERSION DITCHES SHALL BE RE-GRADED FOLLOWING THE SIGNS OF MODERATE OR MORE SOIL EROSION OR ANY DAMAGE.
- 4. DIVERSION DITCHES ARE TO REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR. ALTERNATIVELY, THE DIVERSION DITCHES MAY BE REMOVED WHEN THE SITE'S TOPOGRAPHY CHANGES SUCH THAT SIGNIFICANT RUNOFF IS NO LONGER POSSIBLE. IN SOME INSTANCES, THE DIVERSION DITCHES MAY REMAIN IN PLACE PERMANENTLY.

Town of Parker COLORADO **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES DD 2 OF 2 Oct. 2013

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FOREBAY



OUTLET / MICROPOL



Town of Parker COLORADO **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES DP 1 OF 2 Oct. 2013

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DETENTION POND PROTECTION INSTALLATION NOTES

- 1. DETENTION POND PROTECTION SHALL BE INSTALLED IMMEDIATELY FOLLOWING THE CONSTRUCTION OF THE TRICKLE CHANNEL AND FOREBAY.
- 2. CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
- 3. ROCK SOCK FOR OUTLET STRUCTURE AND FOREBAY PROTECTION SHALL BE ONE CONTINUOUS PIECE (SEE DETAIL RS).

DETENTION POND PROTECTION INSPECTION AND MAINTENANCE NOTES

- 1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE OUTLET STRUCTURE PROTECTION.
- 2. ACCUMULATED SEDIMENT SHALL BE REMOVED IMMEDIATELY.
- 3. OUTLET STRUCTURE PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

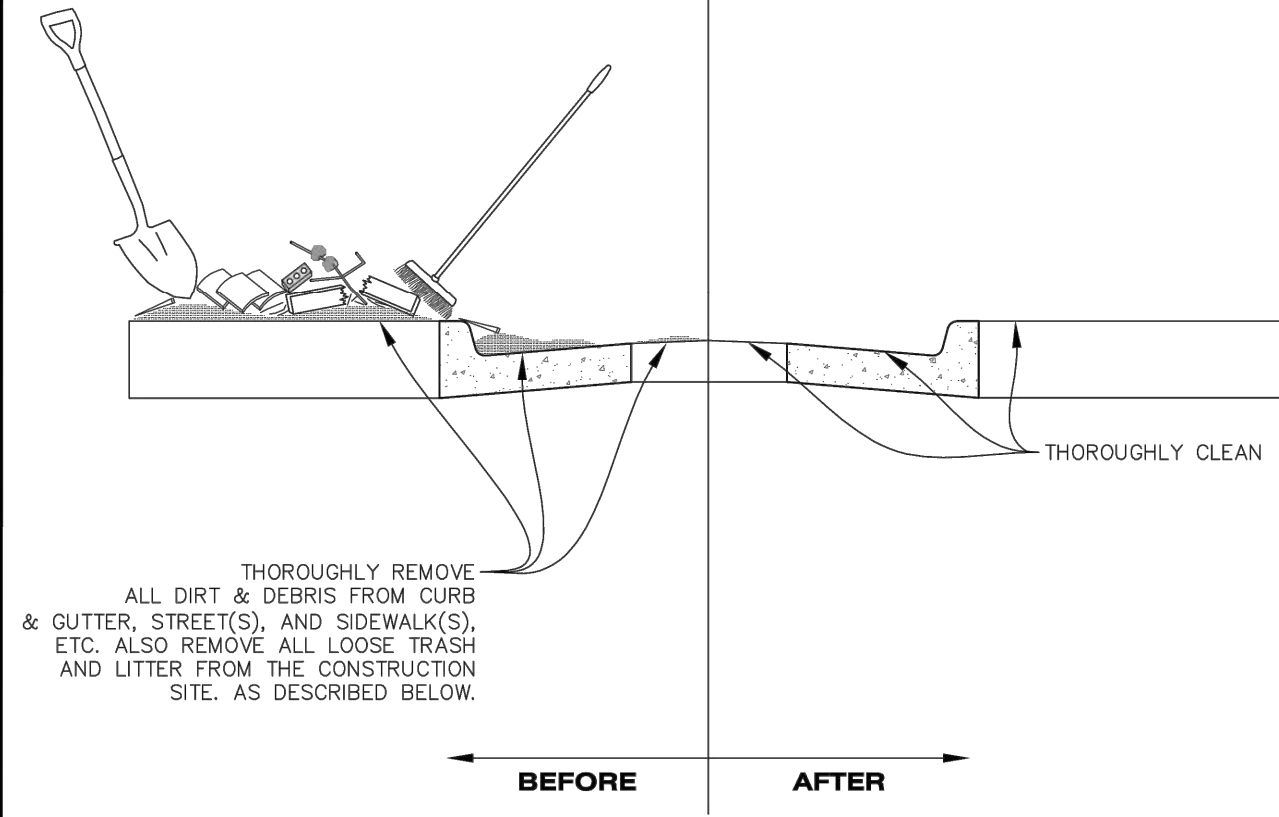
Town of Parker COLORADO **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES DP 2 OF 2 Oct. 2013

TITLE	CONSTRUCTION DOCUMENTS	REVISION #	DATE	DESCRIPTION
DESCRIPTION	CBMP DETAILS	4	4/8/22	REVISION #4
SITE ID	0050785	3	3/9/22	REVISION #3
SITE ADDRESS	12201 SLICEROO DRIVE, PARKER, CO	2	11/22/21	REVISION #2
		1	9/27/21	REVISION #1
				REV
				DATE
				BY

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PREPARED BY: **Kimley»Horn**
Professional Engineer
6/21/22

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



NOTE:
1. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR ENSURING THAT ALL STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, ALLEYS, TRICKLE CHANNELS, AND/OR OTHER IMPERVIOUS SURFACES IMPACTED BY CONSTRUCTION ACTIVITIES ARE THOROUGHLY CLEANED THROUGHOUT THE DAY IF THEY BECOME SOILED. THESE AREAS MUST ALSO BE THOROUGHLY CLEAN BEFORE THE END OF THE WORK DAY. FURTHERMORE, ALL LOOSE TRASH AND LITTER ASSOCIATED WITH THE PROJECT MUST BE REMOVED AND PROPERLY DISCARDED ON A DAILY BASIS.

DTC
DEBRIS AND TRASH CONTROL

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
DTC
1 OF 2
Oct. 2013

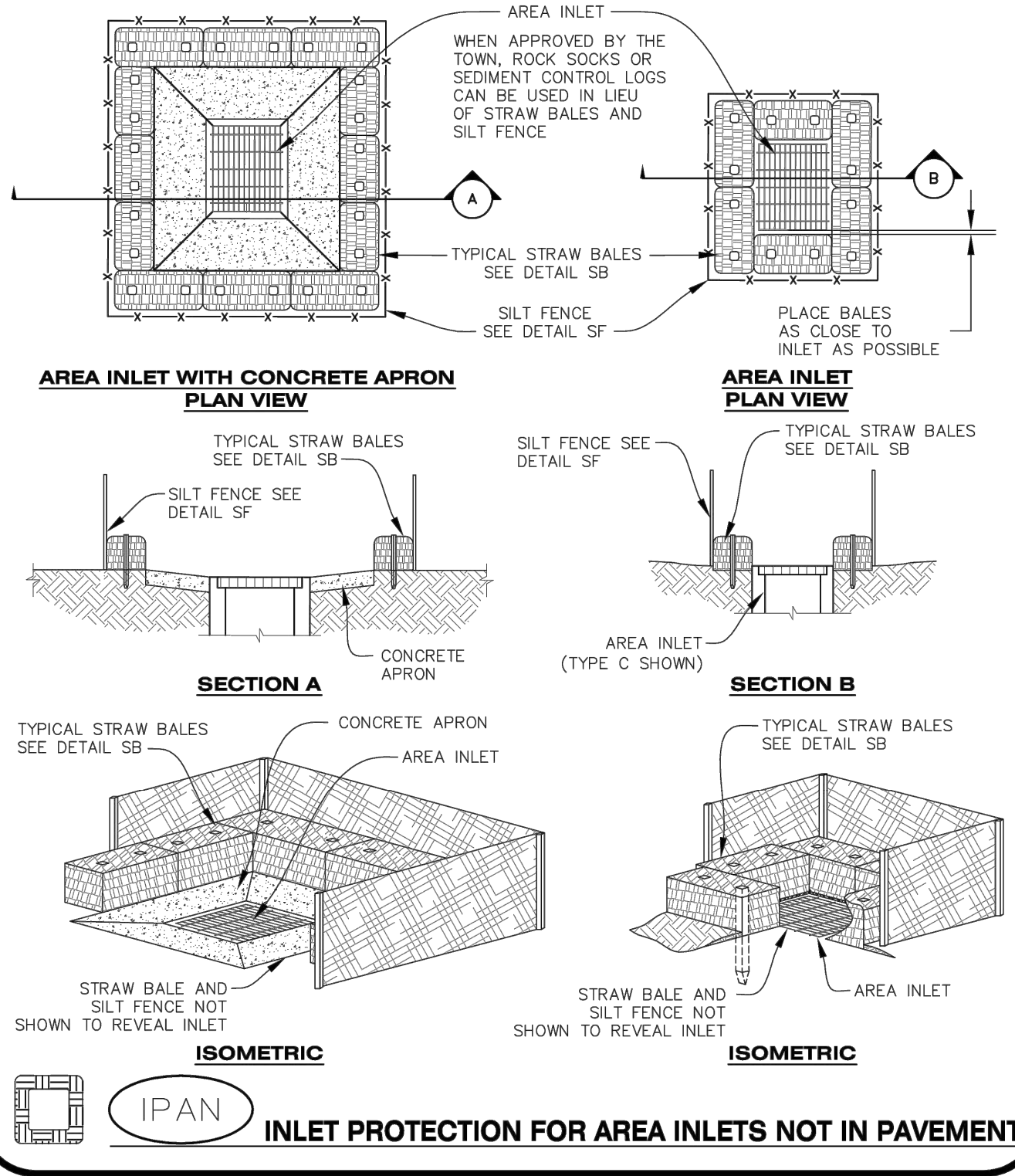
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- DEBRIS CONTROL NOTES:**
1. A COMBINATION OF SURFACE SCRAPING AND SWEEPING MAY BE NECESSARY TO PROPERLY CLEAN THESE AREAS.
 2. ALL CHEMICAL SPILLS AND/OR STAINS ON THE SITE SHALL BE CLEANED TO THE MAXIMUM EXTENT PRACTICABLE. IN SOME CASES IT MAY BE NECESSARY TO USE PRESSURIZED WATER AND A VAC-TRUCK.
 3. ON-SITE PERSONNEL, DELIVERY DRIVERS, ETC., SHOULD BE EDUCATED ON THE NEED FOR CONTINUAL DEBRIS AND TRASH CONTROL.

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
DTC
2 OF 2
Oct. 2013

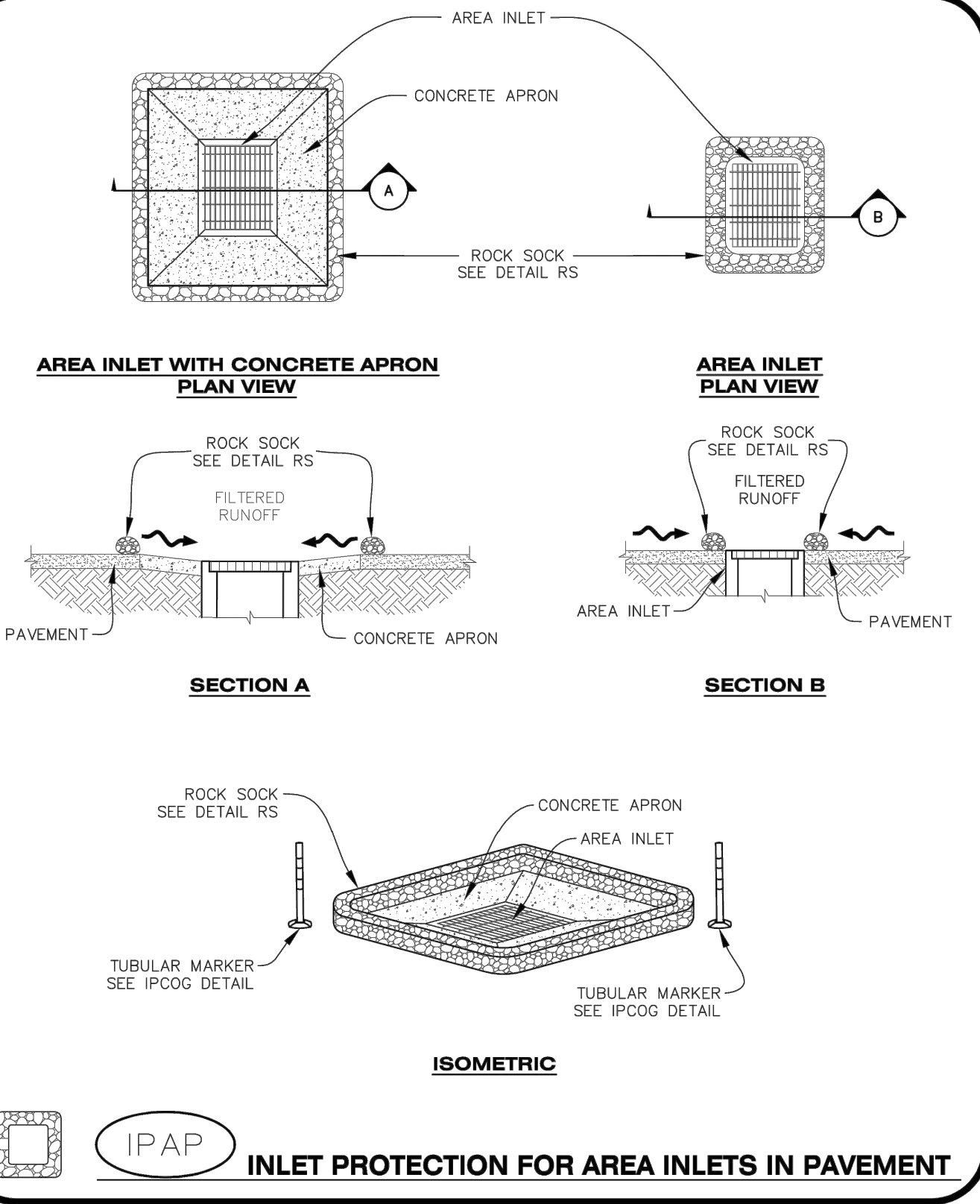
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THIS METHOD OF INLET PROTECTION SHALL NOT BE USED ON INLETS RECEIVING SIGNIFICANT FLOWS, SUCH AS IN CERTAIN SWALES/CHANNELS OR HIGHWAY MEDIANS. INLET PROTECTION FOR AREA INLETS IN PAVEMENT (SEE DETAIL IPAP) SHALL BE USED IN THESE CONDITIONS.



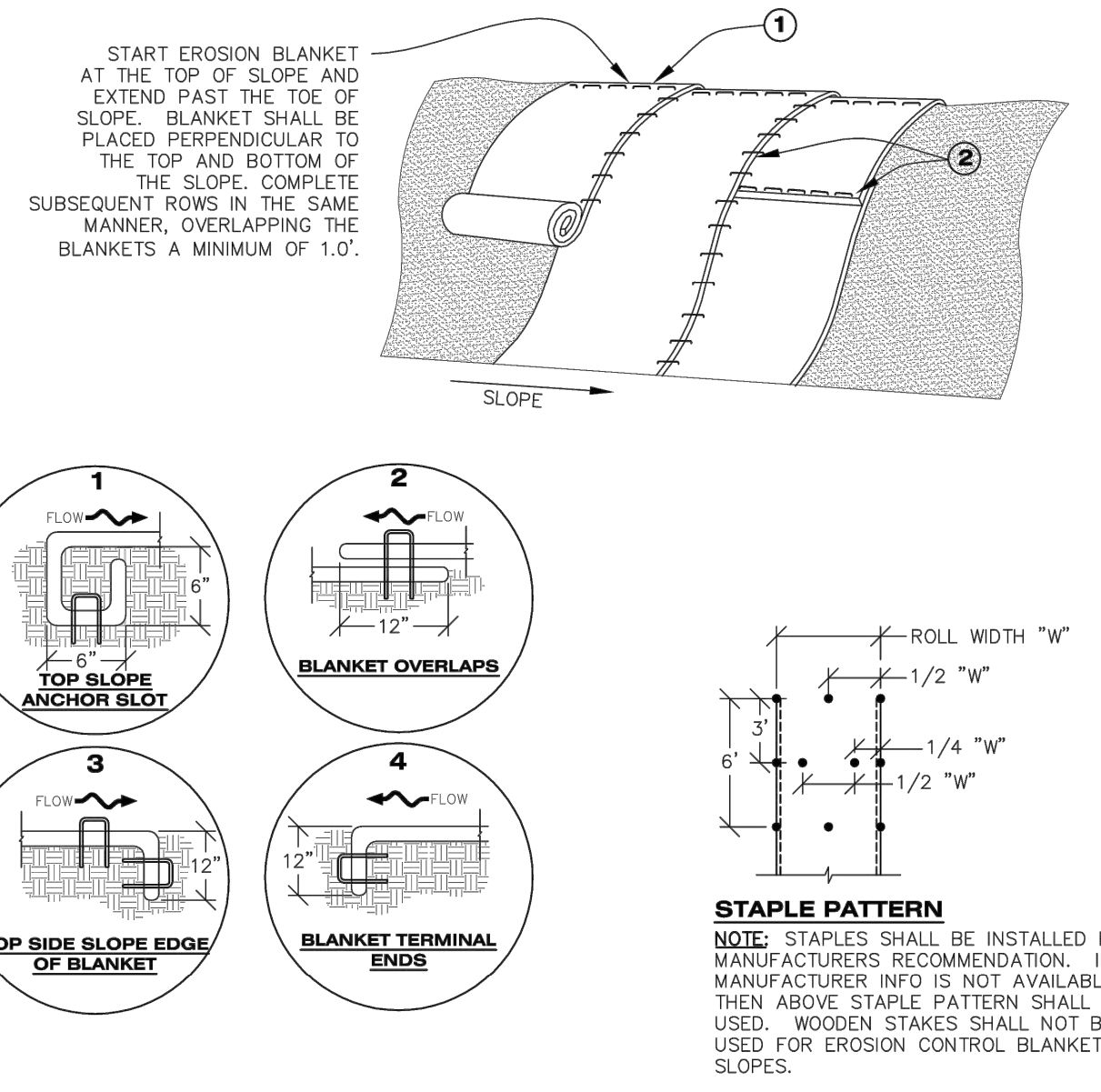
CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
IPAN
1 OF 1
Oct. 2013

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CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
IPAP
1 OF 1
Oct. 2013

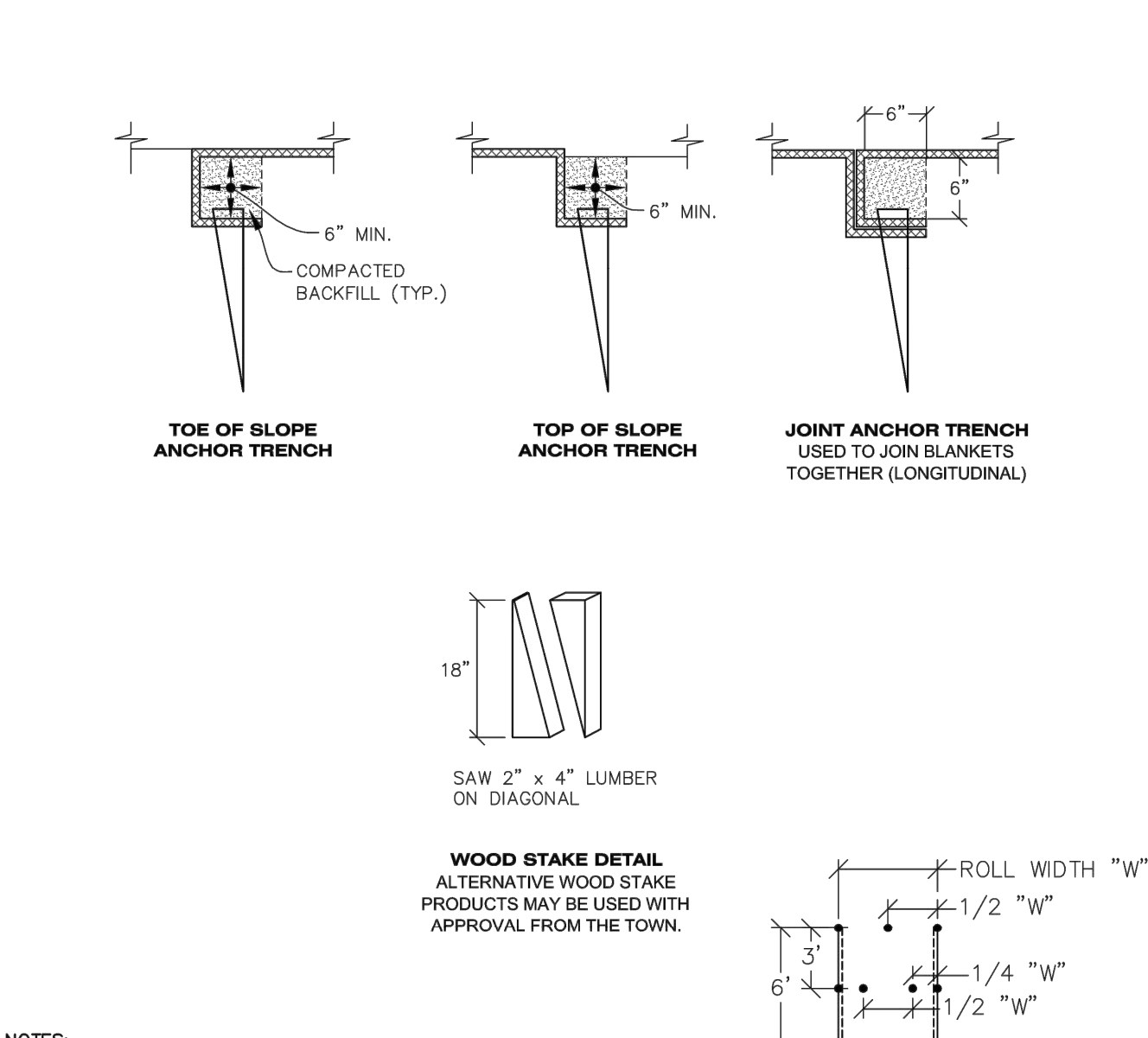
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ECB
EROSION CONTROL BLANKET (SLOPE)

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
ECB
1 OF 3
Oct. 2013

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ECB
EROSION CONTROL BLANKET (CHANNEL)

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
ECB
2 OF 3
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

- EROSION CONTROL BLANKET INSTALLATION NOTES**
1. SEE THE PLAN VIEW FOR THE LOCATION(S) OF THE EROSION CONTROL BLANKETS.
 2. EROSION CONTROL BLANKETS USED FOR CHANNEL PROTECTION SHALL BE PROPERLY SELECTED BY THE DESIGN ENGINEER BASED ON CURRENT AND FUTURE FLOW RATES WITHIN THE CHANNEL. BASED ON THESE CALCULATIONS, TURF REINFORCEMENT MATTING OR RIPRAP MAY BE NECESSARY IN LIEU OF EROSION CONTROL BLANKETS.
 3. IMMEDIATELY PRIOR TO BLANKET INSTALLATION, SOIL SURFACE SHALL BE SMOOTH AND FREE OF ANY GAPS, VOIDS, WEEDS, ROCKS, STICKS, OR OTHER MISCELLANEOUS DEBRIS.
 4. EROSION CONTROL BLANKET SHALL THEN BE INSTALLED ACCORDING TO THE DETAILED DRAWINGS.
 5. ANY DAMAGED OR REMAINING STAPLES OR STAKES SHALL BE REMOVED FROM THE SITE.
 6. ALL EROSION CONTROL BLANKETS FOR SLOPE PROTECTION INSTALLED IN THE TOWN SHALL BE DOUBLE NET, STRAW OR EXCELSIOR.
 7. IN MOST CASES, EROSION CONTROL BLANKETS FOR SLOPE PROTECTION ARE TO REMAIN IN PLACE PERMANENTLY.

EROSION CONTROL BLANKET MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE EROSION CONTROL BLANKETS AND MAKE ANY NECESSARY REPAIRS.

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- AREA INLET PROTECTION INSTALLATION NOTES**
1. SEE PLAN VIEW FOR LOCATION(S) OF AREA INLET PROTECTION.
 2. THE AREA INLET PROTECTION SHOWN ON CBMP PLANS SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE INSTALLATION OF NEW INLETS. AN INTERIM STYLE OF INLET PROTECTION MAY BE ALLOWED UNTIL THE INSTALLATION OF THE GUTTER AND/OR PAVEMENT.
- AREA INLET PROTECTION INSPECTION AND MAINTENANCE NOTES**
1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE AREA INLET PROTECTION.
 2. AREA INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
 3. WHEN THE AREA INLET PROTECTION IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE AREA INLET PROTECTION MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
 4. ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.

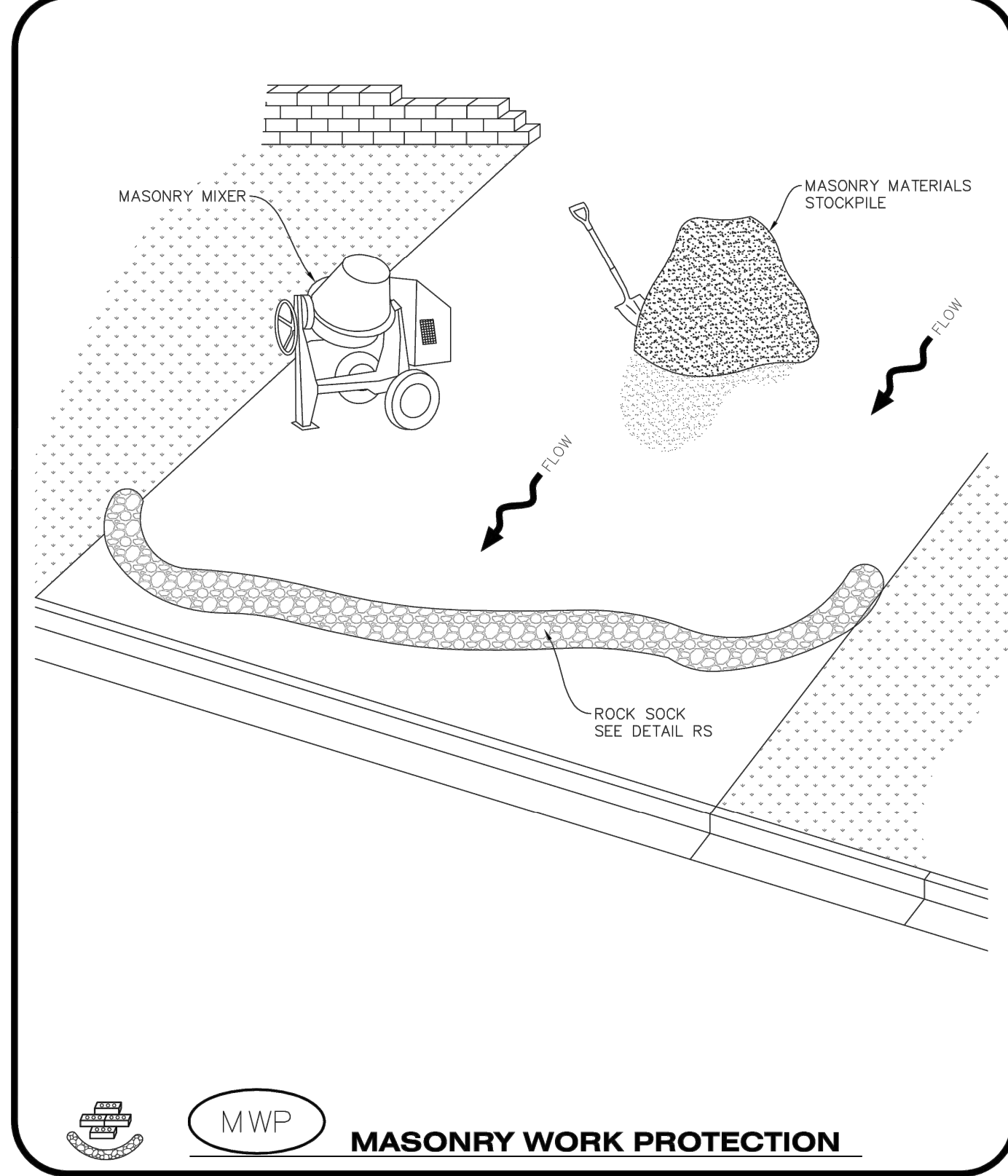
CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
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PREPARED FOR:	McDonald's USA, LLC					
DRAWN BY:	JJM					
STD ISSUE DATE:	07/1/21					
REVIEWED BY:	JRH					
DATE ISSUED:	07/1/21					
PREPARED BY:	JJM					
DATE:	6/21/22					
PROFESSIONAL ENGINEER:	JJM					
LICENSE NO.:	59054					
EXPIRES:	6/21/22					
STATE:	COLORADO					
PREPARED BY:	JJM					
DATE:	6/21/22					
PROFESSIONAL ENGINEER:	JJM					
LICENSE NO.:	59054					
EXPIRES:	6/21/22					
STATE:	COLORADO					
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DRAWN BY:	JJM					
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DATE:	6/21/22					
PROFESSIONAL ENGINEER:	JJM					
LICENSE NO.:	59054					
EXPIRES:	6/21/22					
STATE:	COLORADO					

Kimley»Horn



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MWP
MASONRY WORK PROTECTION

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MWP
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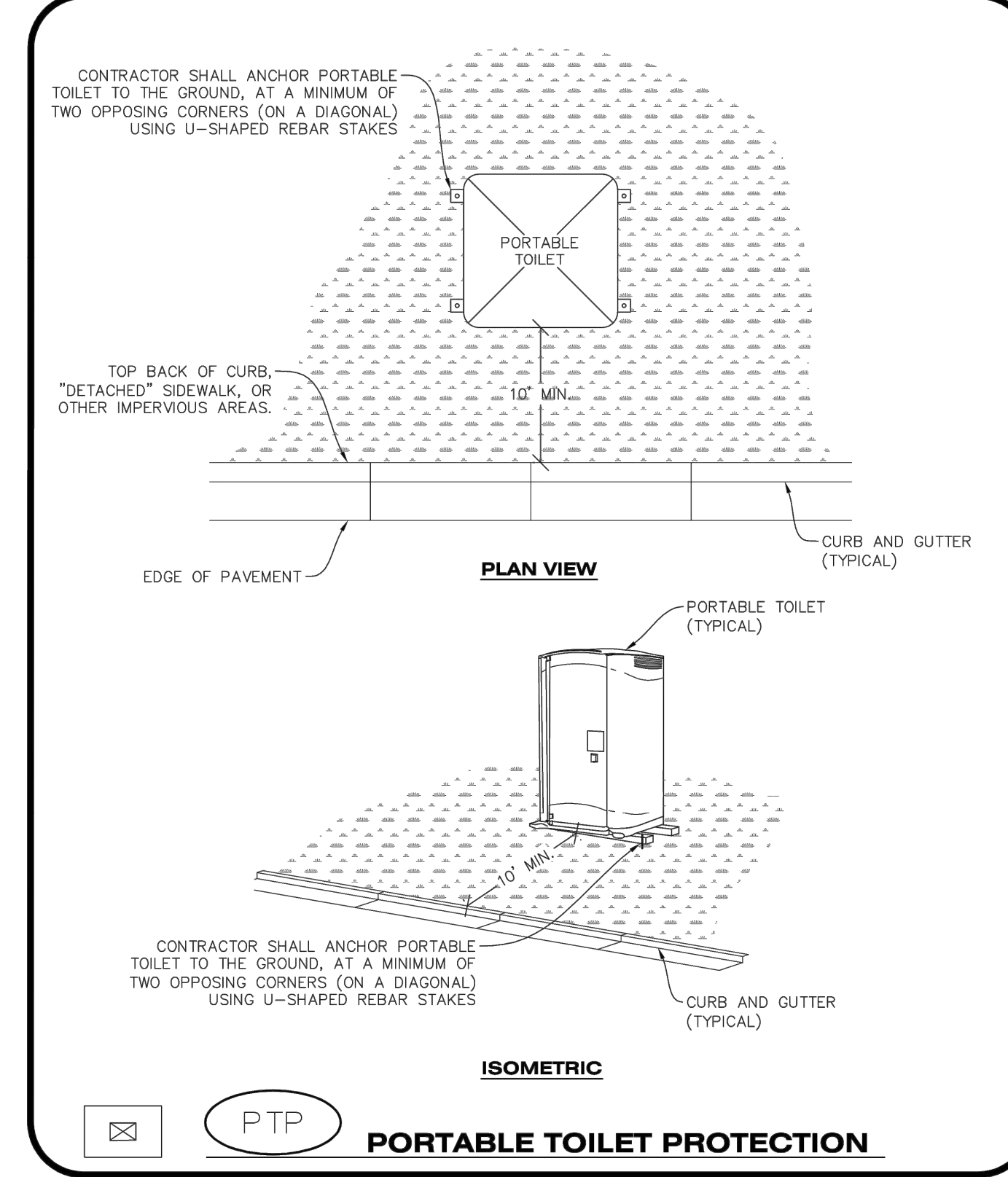
- MASONRY WORK PROTECTION INSTALLATION NOTES**
1. MASONRY WORK PROTECTION MAY NEED TO BE INSTALLED WHEN MASONRY WORK AND MIXING IS OCCURRING.
 2. A ROCK SOCK SHALL BE INSTALLED IN A CRESCENT SHAPE ON THE DOWNHILL SIDE OF THE MASONRY WORK AND MIXER.
 3. CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
 4. ROCK SOCK SHALL BE ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAPPED JOINTS (SEE DETAIL RS).
 5. ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL, SIZED TO KEEP ROCK FROM SPILLING OUT.

- MASONRY WORK PROTECTION INSPECTION AND MAINTENANCE NOTES**
1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE MASONRY WORK PROTECTION.
 2. ALL CONCRETE WASTE SHALL BE REGULARLY CLEANED AND PLACED IN THE CONCRETE WASH OUT AREA.
 3. ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.

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CONSTRUCTION BEST MANAGEMENT PRACTICES

PTP
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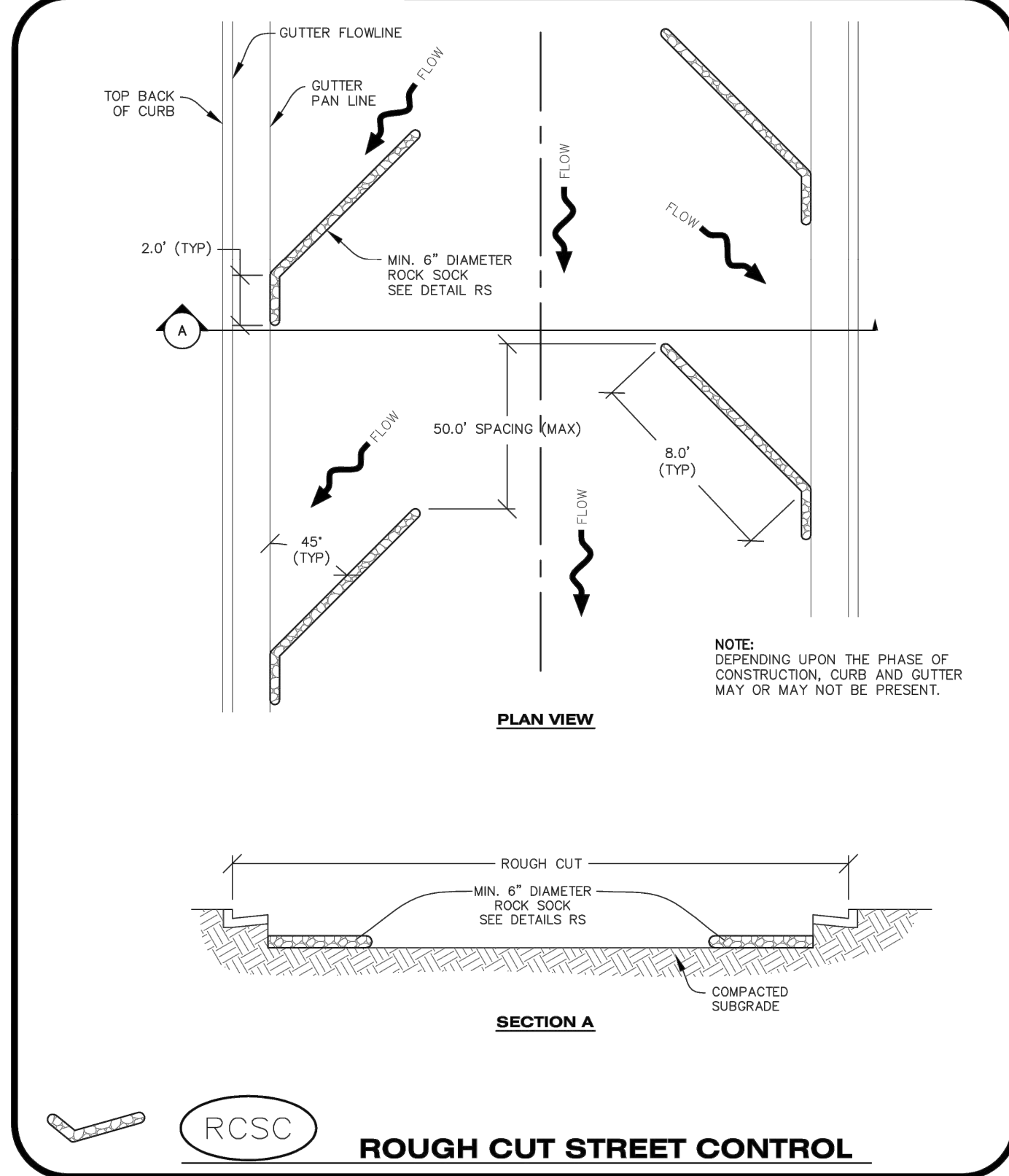
- PORTABLE TOILET PROTECTION INSTALLATION NOTES**
1. PORTABLE TOILETS SHALL BE PLACED A MINIMUM OF 10.0' BEHIND ALL CURBS, SIDEWALKS, AND OTHER IMPERVIOUS AREAS.
 2. ALL PORTABLE TOILETS MUST BE GROUPED TOGETHER.
 3. PORTABLE TOILETS SHALL BE SECURELY ANCHORED TO THE GROUND USING U-SHAPED REBAR STAKES.
 4. U-SHAPED REBAR STAKES SHALL BE POSITIONED ON AT LEAST 2 OPPOSING (DIGITAL) CORNERS.

- PORTABLE TOILET PROTECTION INSPECTION AND MAINTENANCE NOTES**
2. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE PORTABLE TOILET PROTECTION.
 3. PORTABLE TOILETS SHALL BE SERVICED AT THE NECESSARY INTERVALS TO ELIMINATE THE POSSIBILITY OF OVERFLOW.
 4. WHEN THE PORTABLE TOILETS ARE REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE TOILETS MAY NEED TO BE LANDSCAPED OR ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
 5. PORTABLE TOILETS THAT ARE NOT CONSISTENTLY MAINTAINED IN ACCORDANCE WITH THESE REQUIREMENTS MAY NEED TO BE CLUSTERED TOGETHER, IN ONE CENTRALIZED LOCATION IN ORDER TO INCREASE COMPLIANCE AND REDUCE THE CHANCE OF A SPILL.

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CONSTRUCTION BEST MANAGEMENT PRACTICES

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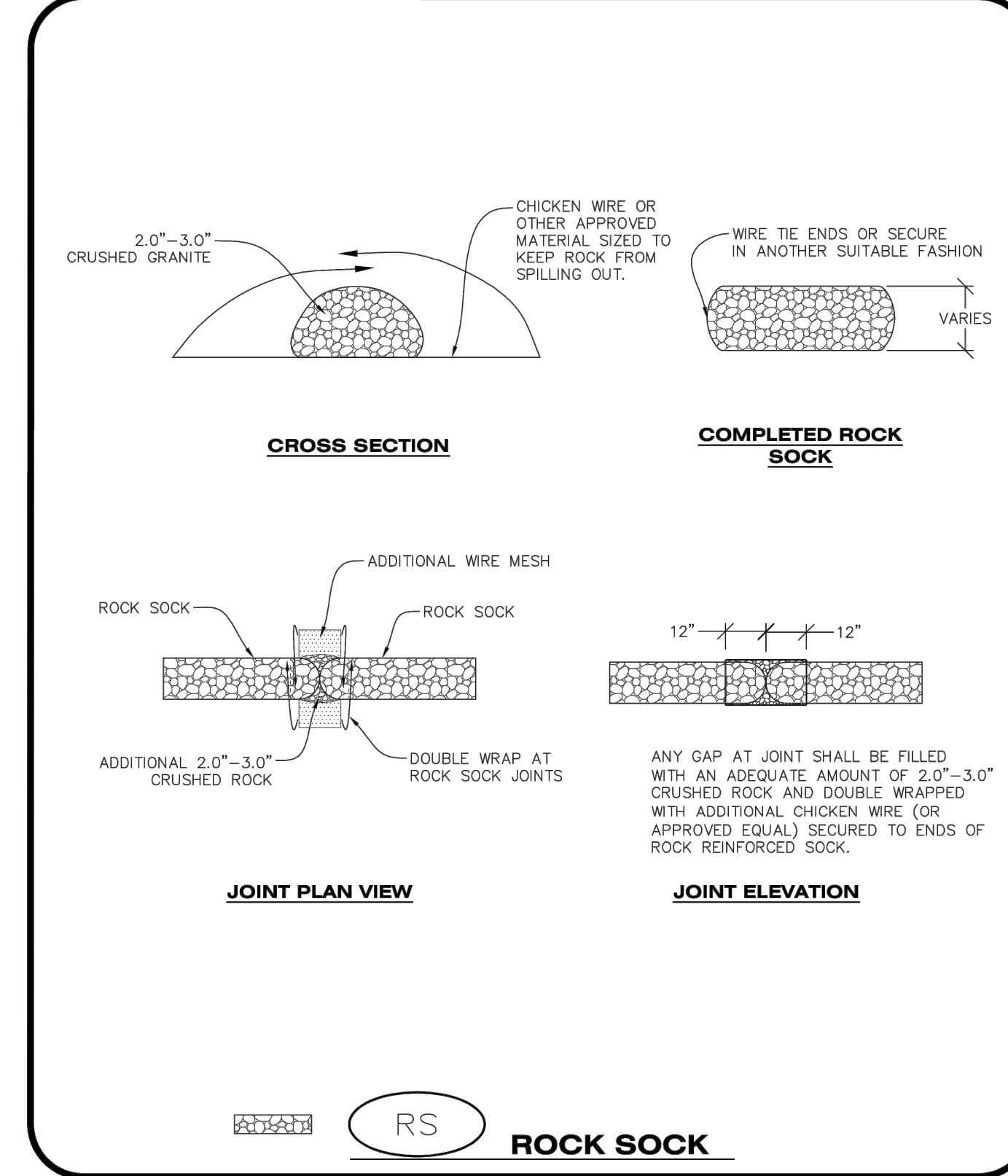
- ROUGH CUT STREET CONTROL INSTALLATION NOTES**
1. SEE CBMP PLAN FOR LOCATION(S) OF ROUGH CUT STREET CONTROL.
 2. THE SPACING OF THE ROUGH CUT STREET CONTROL MAY BE DETERMINED BY THE DESIGN ENGINEER AND SHOWN ON THE CBMP PLAN.

- ROUGH CUT STREET CONTROL INSPECTION AND MAINTENANCE NOTES**
1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE ROUGH CUT STREET CONTROL.
 2. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN THE SEDIMENT DEPTH IS 1/2 THE HEIGHT OF THE ROCK SOCK.
 3. ROUGH CUT STREET CONTROL SHALL BE REPAIRED IMMEDIATELY FOLLOWING ANY SIGN OF WEAR OR ALTERATION OF THE ORIGINAL SHAPE AND DIMENSIONS.
 4. ROUGH CUT STREET CONTROL SHALL BE KEPT IN PLACE AND MAINTAINED UNTIL SUB-GRADE PREPARATION BEGINS FOR PAVING. AT THAT POINT, THE RCSC SHOULD BE REMOVED IN INCREMENTS BASED ON SUBGRADE PREPARATION.

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- ROCK SOCK INSTALLATION NOTES**
1. SEE CBMP PLAN FOR LOCATION(S) OF ROCK SOCK.
 2. CRUSHED ROCK SHALL BE APPROXIMATELY 2.0"-3.0" GRANITE IN SIZE WITH A FRACTURED FACE (ALL SIDES).
 3. ROCK SOCK SHALL BE APPROXIMATELY ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAPPED JOINTS (SEE DETAIL RS).
 4. ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL SIZED TO KEEP ROCK FROM SPILLING OUT.
 5. MINIMUM ROCK SOCK DIAMETER SHALL VARY BASED ON APPLICATION (7" MIN).
 6. TUBULAR MARKERS MAY NEED TO BE USED IN CONJUNCTION WITH ROCK SOCKS ANYTIME THE ROCK SOCK IS PLACED ON A ROADWAY, SIDEWALK, PARKING LOT OR OTHER LOCATION SUSCEPTIBLE TO VEHICLE OR PEDESTRIAN TRAFFIC. TUBULAR MARKERS SHALL CONFORM TO THE TUBULAR MARKER DETAIL.

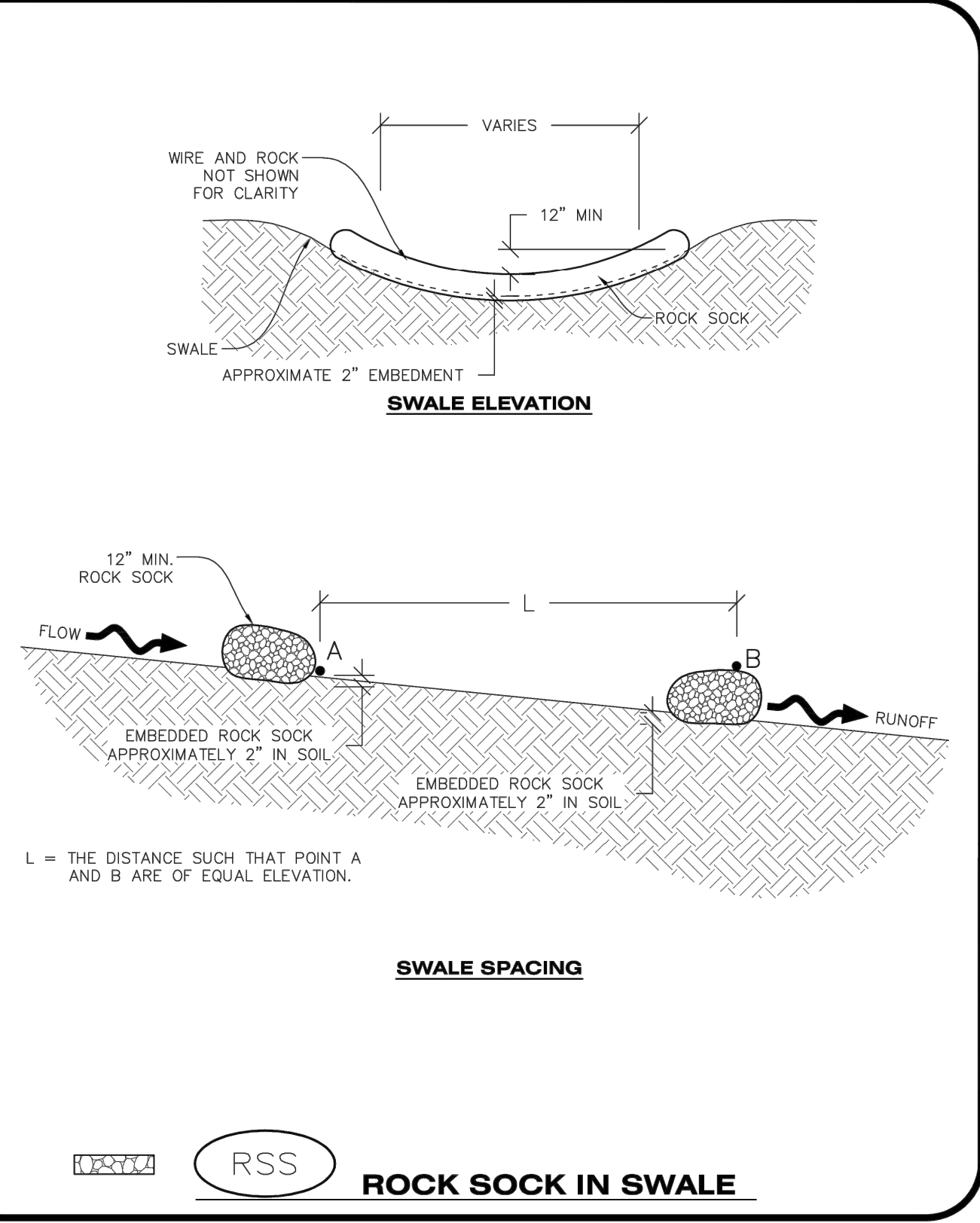
- ROCK SOCK INSPECTION AND MAINTENANCE NOTES**
1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE ROCK SOCKS.
 2. ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
 3. ROCK SOCKS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

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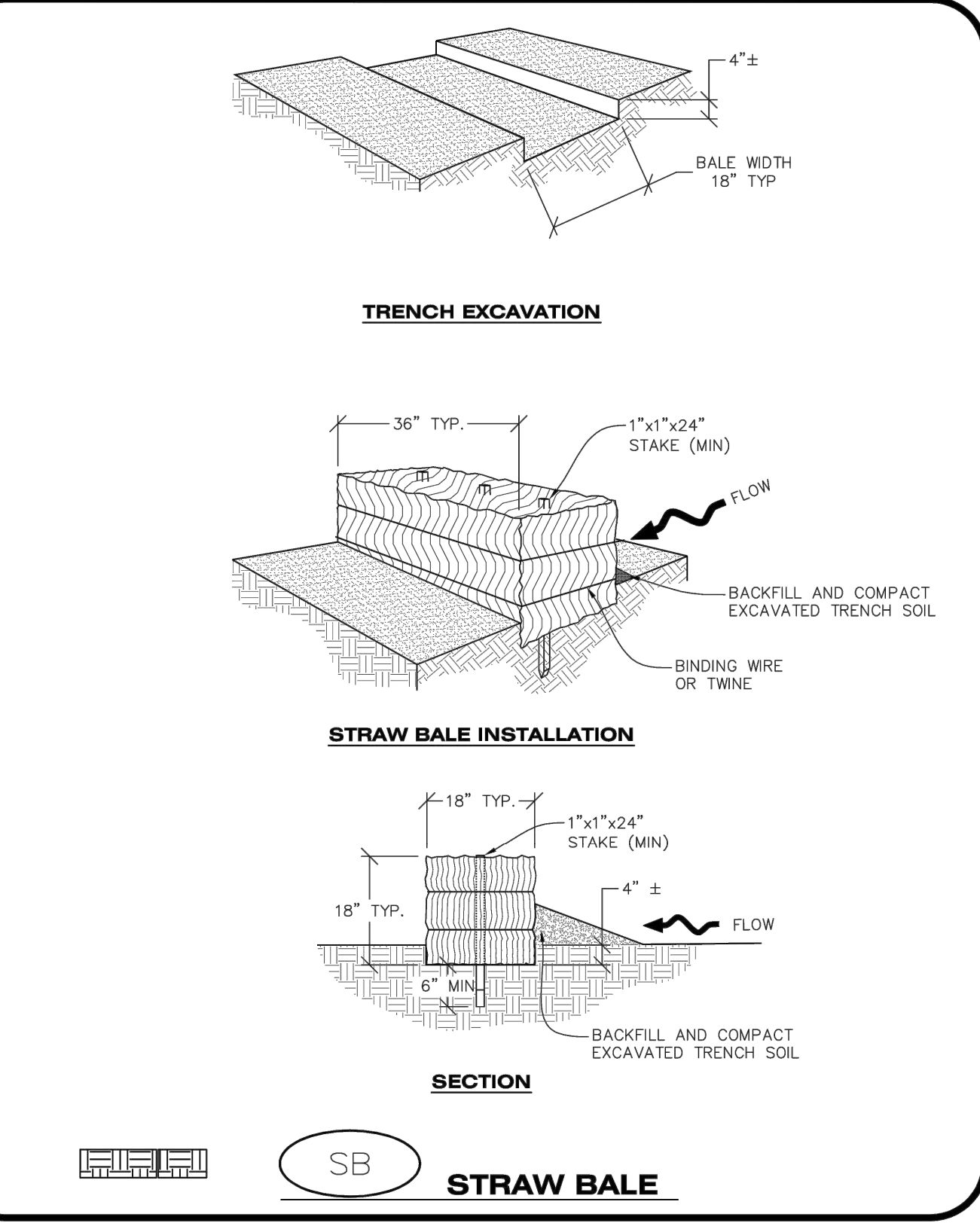
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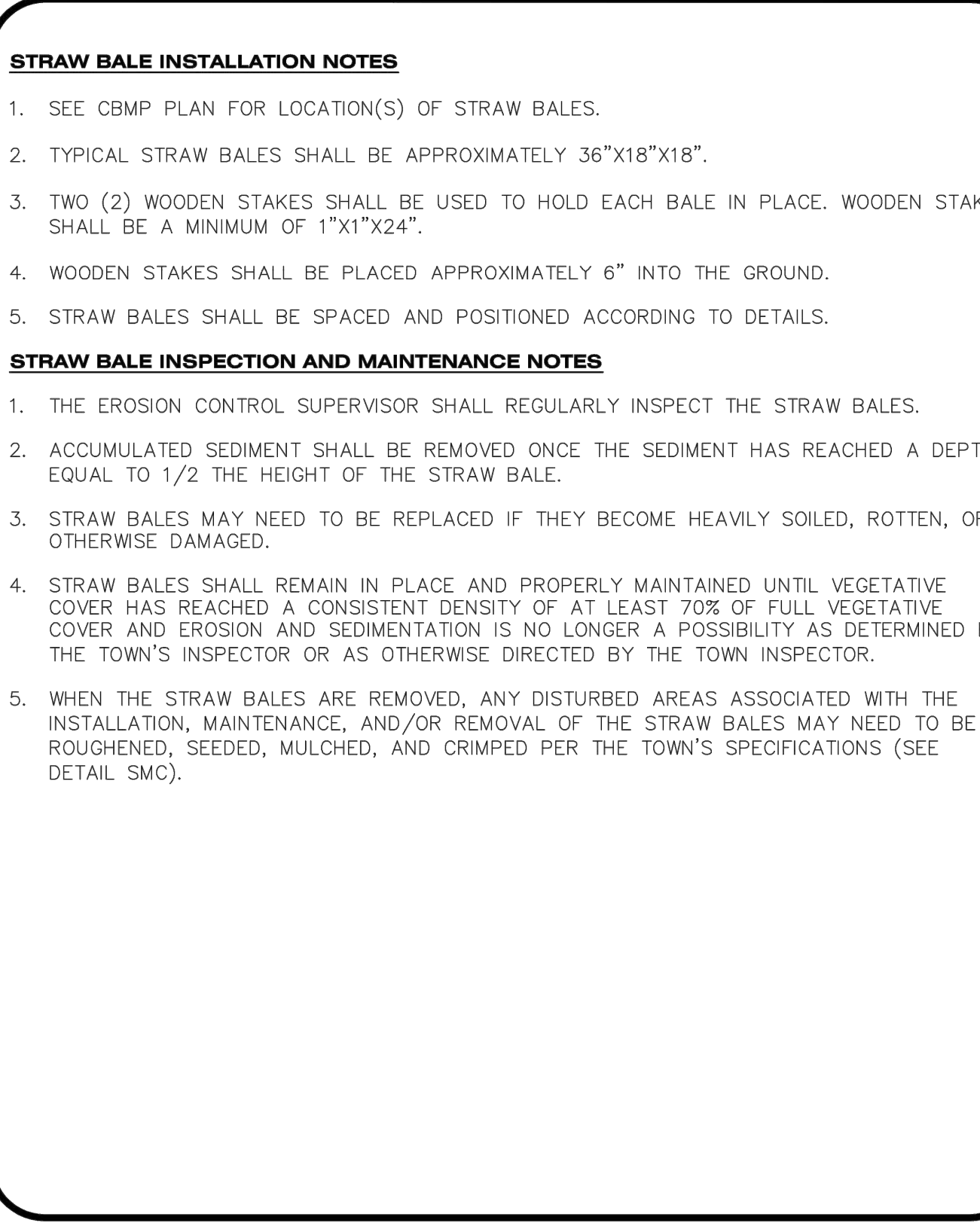
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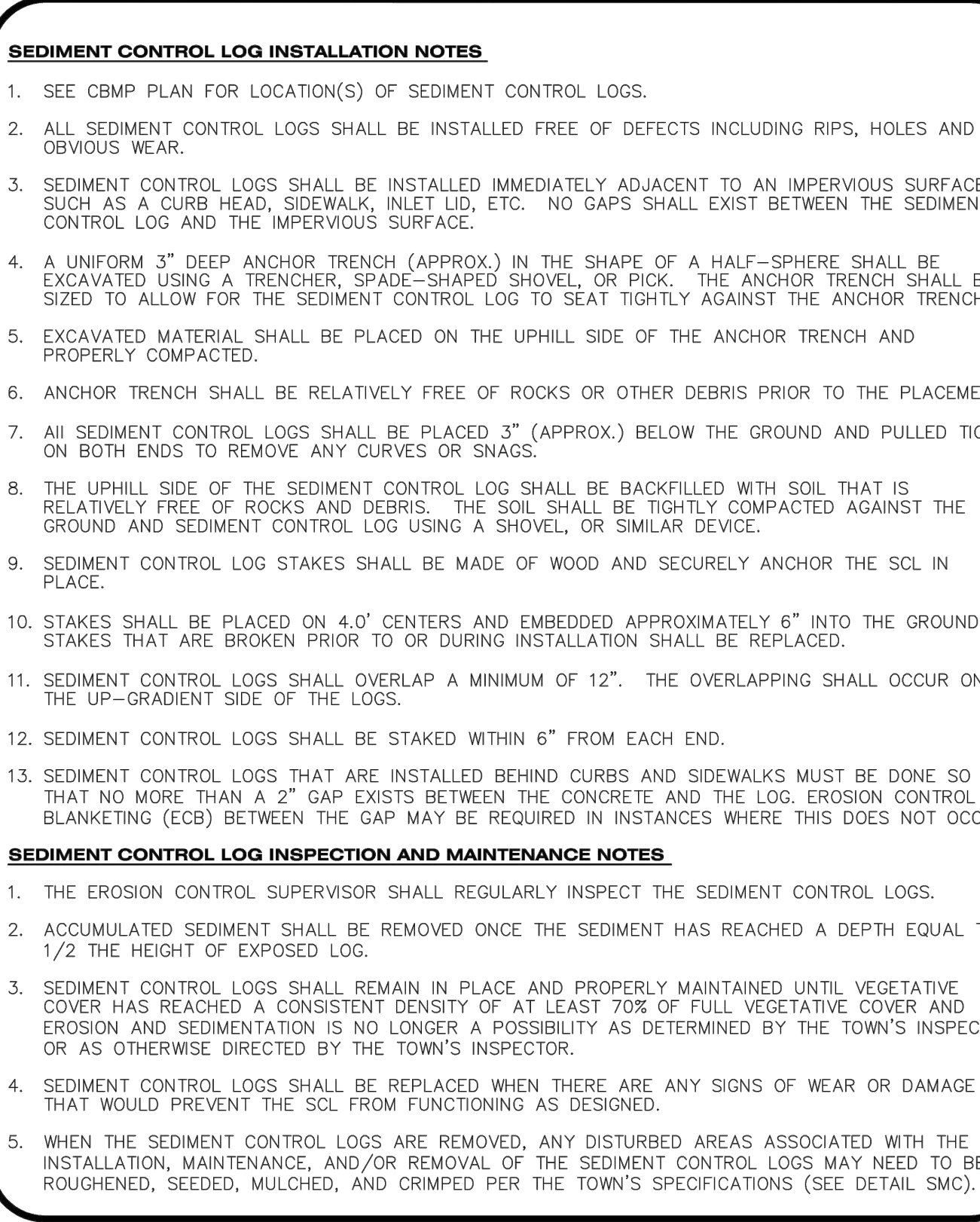
CBMP | **SB** | CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2 | Oct. 2013

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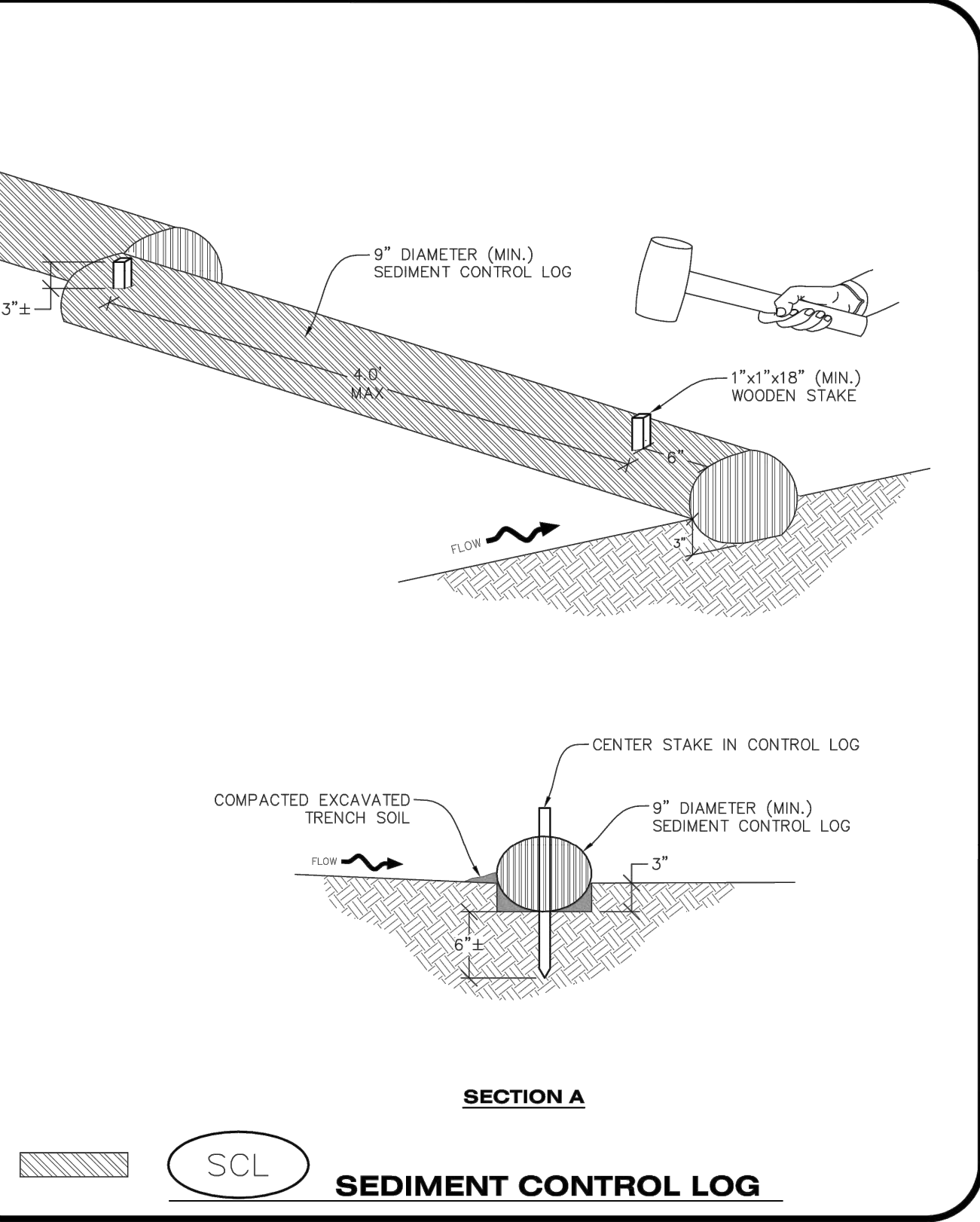
CBMP | **SB** | CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2 | Oct. 2013

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CBMP | **SCL** | CONSTRUCTION BEST MANAGEMENT PRACTICES | 3 OF 3 | Oct. 2013

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CBMP | **SCL** | CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 3 | Oct. 2013

STRAW BALE INSTALLATION NOTES

- SEE CBMP PLAN FOR LOCATION(S) OF STRAW BALES.
- TYPICAL STRAW BALES SHALL BE APPROXIMATELY 36"x18"x18".
- TWO (2) WOODEN STAKES SHALL BE USED TO HOLD EACH BALE IN PLACE. WOODEN STAKES SHALL BE A MINIMUM OF 1"x1"x24".
- WOODEN STAKES SHALL BE PLACED APPROXIMATELY 6" INTO THE GROUND.
- STRAW BALES SHALL BE SPACED AND POSITIONED ACCORDING TO DETAILS.

STRAW BALE INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE STRAW BALES.
- ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE THE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE STRAW BALE.
- STRAW BALES MAY NEED TO BE REPLACED IF THEY BECOME HEAVILY SOILED, ROTTEN, OR OTHERWISE DAMAGED.
- STRAW BALES SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN INSPECTOR.
- WHEN THE STRAW BALES ARE REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE STRAW BALES MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

SEDIMENT CONTROL LOG INSTALLATION NOTES

- SEE CBMP PLAN FOR LOCATION(S) OF SEDIMENT CONTROL LOGS.
- ALL SEDIMENT CONTROL LOGS SHALL BE INSTALLED FREE OF DEFECTS INCLUDING RIPS, HOLES AND OBVIOUS WEAR.
- SEDIMENT CONTROL LOGS SHALL BE INSTALLED IMMEDIATELY ADJACENT TO AN IMPERVIOUS SURFACE SUCH AS A CURB HEAD, SIDEWALK, INLET LID, ETC. NO GAPS SHALL EXIST BETWEEN THE SEDIMENT CONTROL LOG AND THE IMPERVIOUS SURFACE.
- A UNIFORM 3" DEEP ANCHOR TRENCH (APPROX.) IN THE SHAPE OF A HALF-SPHERE SHALL BE EXCAVATED USING A TRENCHER, SPADE-SHAPED SHOVEL, OR PICK. THE ANCHOR TRENCH SHALL BE SIZED TO ALLOW FOR THE SEDIMENT CONTROL LOG TO SEAT TIGHTLY AGAINST THE ANCHOR TRENCH.
- EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF THE ANCHOR TRENCH AND PROPERLY COMPACTED.
- ANCHOR TRENCH SHALL BE RELATIVELY FREE OF ROCKS OR OTHER DEBRIS PRIOR TO THE PLACEMENT.
- ALL SEDIMENT CONTROL LOGS SHALL BE PLACED 3" (APPROX.) BELOW THE GROUND AND PULLED TIGHT ON BOTH ENDS TO REMOVE ANY CURVES OR SNAGS.
- THE UPHILL SIDE OF THE SEDIMENT CONTROL LOG SHALL BE BACKFILLED WITH SOIL THAT IS RELATIVELY FREE OF ROCKS AND DEBRIS. THE SOIL SHALL BE TIGHTLY COMPACTED AGAINST THE GROUND AND SEDIMENT CONTROL LOG USING A SHOVEL, OR SIMILAR DEVICE.
- SEDIMENT CONTROL LOG STAKES SHALL BE MADE OF WOOD AND SECURELY ANCHOR THE SCL IN PLACE.
- STAKES SHALL BE PLACED ON 4.0' CENTERS AND EMBEDDED APPROXIMATELY 6" INTO THE GROUND. STAKES THAT ARE BROKEN PRIOR TO OR DURING INSTALLATION SHALL BE REPLACED.
- SEDIMENT CONTROL LOGS SHALL OVERLAP A MINIMUM OF 12". THE OVERLAPPING SHALL OCCUR ON THE UP-GRADE SIDE OF THE LOGS.
- SEDIMENT CONTROL LOGS SHALL BE STAKED WITHIN 6" FROM EACH END.
- SEDIMENT CONTROL LOGS THAT ARE INSTALLED BEHIND CURBS AND SIDEWALKS MUST BE DONE SO THAT NO MORE THAN A 2" GAP EXISTS BETWEEN THE CONCRETE AND THE LOG. EROSION CONTROL BLANKETING (ECB) BETWEEN THE GAP MAY BE REQUIRED IN INSTANCES WHERE THIS DOES NOT OCCUR.

SEDIMENT CONTROL LOG INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SEDIMENT CONTROL LOGS.
- ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE THE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF EXPOSED LOG.
- SEDIMENT CONTROL LOGS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- SEDIMENT CONTROL LOGS SHALL BE REPLACED WHEN THERE ARE ANY SIGNS OF WEAR OR DAMAGE THAT WOULD PREVENT THE SCL FROM FUNCTIONING AS DESIGNED.
- WHEN THE SEDIMENT CONTROL LOGS ARE REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE SEDIMENT CONTROL LOGS MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

TITLE	CONSTRUCTION DOCUMENTS	REVISION #4	4/8/22	JJM
DESCRIPTION	CBMP DETAILS	REVISION #3	3/9/22	JJM
SITE ID	0050785	REVISION #2	11/22/21	JJM
SITE ADDRESS	12201 SLICEROO DRIVE, PARKER, CO	REVISION #1	9/27/21	JJM
		REV	DATE	BY
		1		
		2		
		3		
		4		

PREPARED FOR: **McDonald's USA, LLC**

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DESIGNED BY: **Jessica Jo McClellan**

PROFESSIONAL ENGINEER

59054

6/21/22

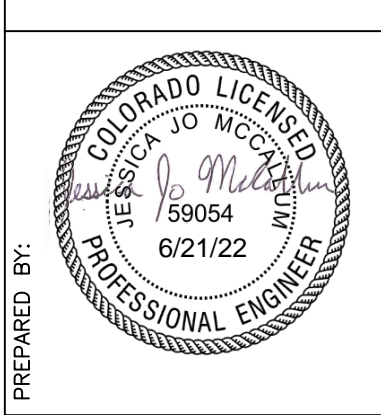
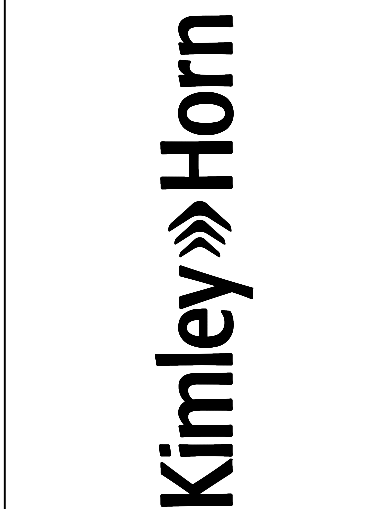
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STD ISSUE DATE: 07/1/21

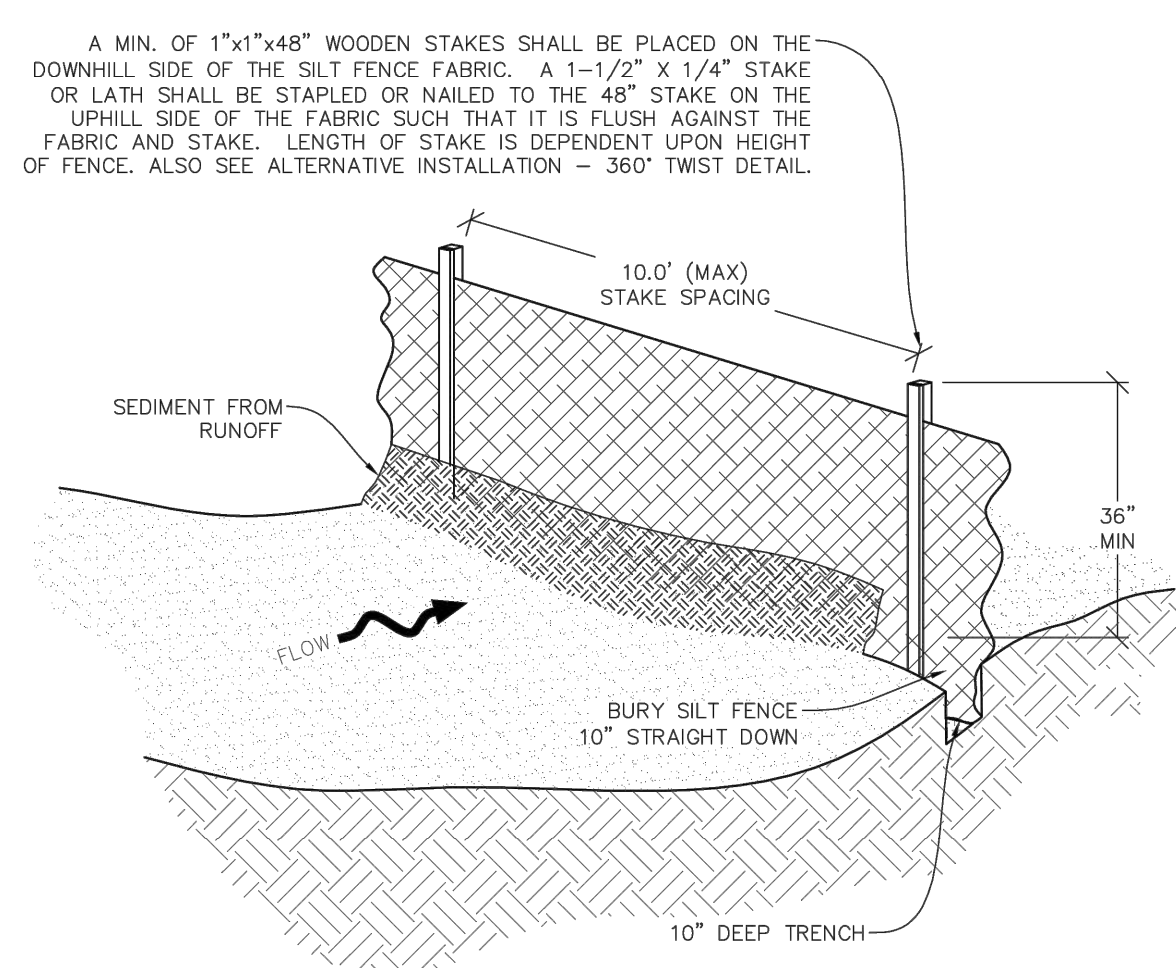
REVIEWED BY: **JRH**

DATE ISSUED: 07/1/21

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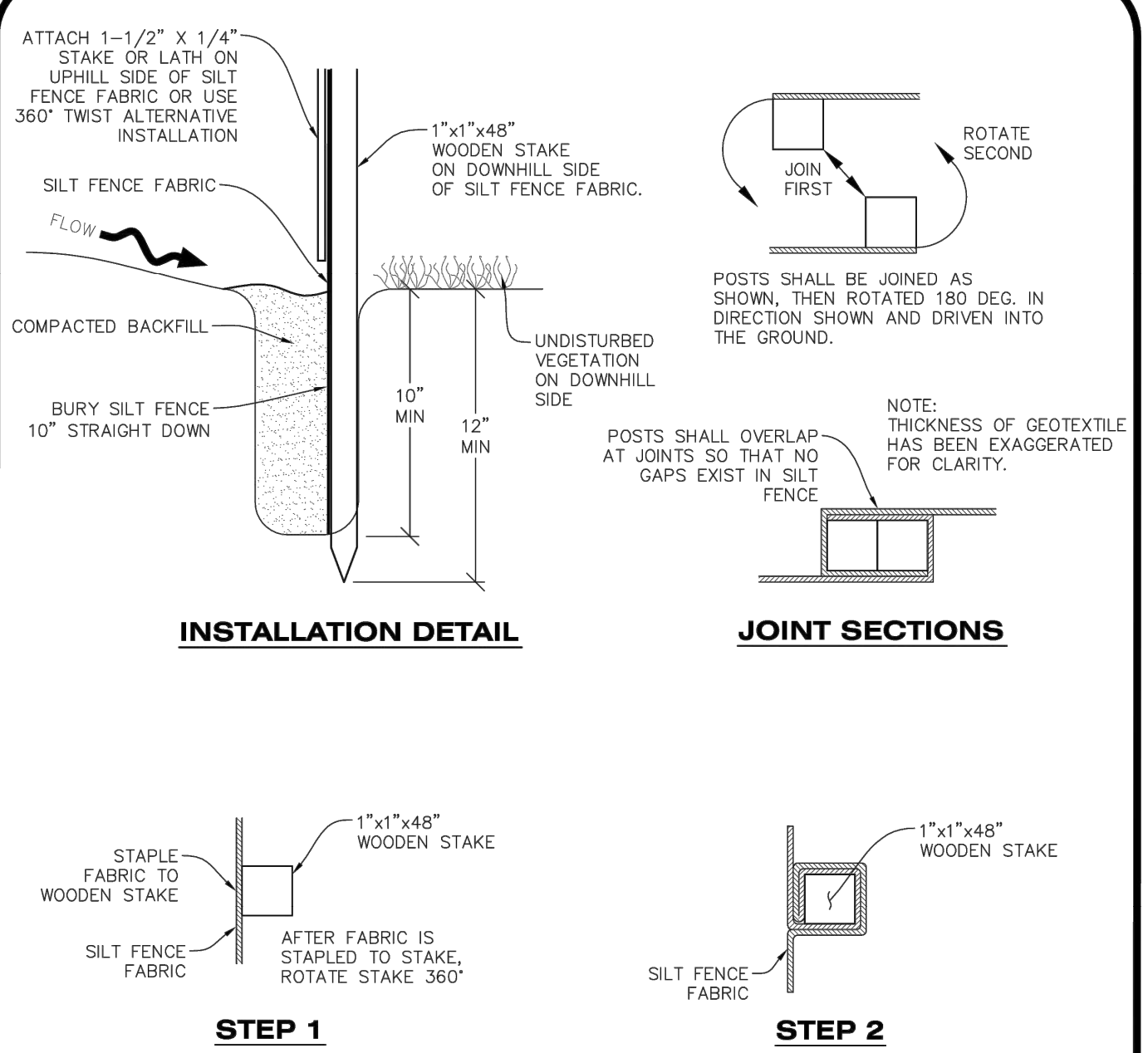
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SILT FENCE

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
 SF 1 OF 4 Oct. 2013

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ALTERNATIVE INSTALLATION - 360° TWIST

SILT FENCE

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
 SF 2 OF 4 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

- SILT FENCE INSTALLATION NOTES**
- SEE CBMP PLAN FOR LOCATION(S) OF SILT FENCE.
 - ALL SILT FENCE SHALL BE INSTALLED IN GOOD CONDITION AND FREE OF ANY DEFECTS INCLUDING RIPS, HOLES AND OBVIOUS WEAR.
 - A UNIFORM 10" DEEP ANCHOR TRENCH SHALL BE EXCAVATED USING A TRENCHER.
 - A 10" DEEP ANCHOR SILT SHALL BE FORMED IF USING A STATIC SLICING METHOD.
 - EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF THE ANCHOR TRENCH.
 - ANCHOR TRENCH SHALL BE GENERALLY FREE OF ROCKS OR OTHER DEBRIS PRIOR TO THE PLACEMENT OF THE SILT FENCE.
 - THE ANCHOR TRENCH SHALL BE THOROUGHLY BACKFILLED WITH SOIL THAT IS GENERALLY FREE OF ROCKS AND DEBRIS.
 - ALL EXCAVATED MATERIAL SHALL BE PLACED ON THE UP-GRAIDENT SIDE OF THE SILT FENCE.
 - STAKES SHALL BE POSITIONED ON THE DOWNHILL SIDE OF THE SILT FENCE FABRIC AND PLACED ON 10.0' CENTERS OR LESS. STAKES SHALL BE EMBEDDED A MINIMUM OF 12" INTO THE GROUND. A WOODEN LATH SHALL BE ATTACHED TO THE OPPOSING (UPHILL) SIDE OF THE STAKE FOR ADDED STRENGTH AND SUPPORT. THE LATH SHALL HAVE THE FOLLOWING DIMENSIONS: 1"x1/4"x24".
 - SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD NOT BE SIGNIFICANT SAGGING ALONG ANY PORTION OF THE SILT FENCE AFTER IT HAS BEEN ANCHORED TO THE STAKES.
 - SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES AND LATHS USING STAPLES OR NAILS OF AN APPROXIMATE LENGTH. ENOUGH STAPLES AND NAILS SHOULD BE PLACED ALONG THE LATH TO ENSURE PROPER ATTACHMENT.
 - SILT FENCE FABRIC SHALL MEET THE FOLLOWING MANDATORY REQUIREMENTS:

PROPERTIES	TEST METHOD	MANDATORY REQUIREMENTS
GRAB TENSILE STRENGTH	ASTM D 4632	≥ 124 LBS
MULLEN BURST STRENGTH	ASTM D 3786	≥ 300 PSI
PUNCTURE STRENGTH	ASTM D 4833	≥ 60 LBS
TRAPEZOID TEAR STRENGTH	ASTM D 4533	≥ 65 LBS
UV RESISTANCE	ASTM D 4355	≥ 80% AT 500 HOURS OF UV EXPOSURE
FLOW RATE	ASTM D 4491	≥ 10 GAL/MIN/FT2
 - AN ORIGINAL PRODUCT SPECIFICATION SHEET FROM THE SILT FENCE MANUFACTURER SHALL BE MADE AVAILABLE AT THE REQUEST OF THE TOWN'S INSPECTOR. THE PRODUCT SPECIFICATION SHEET SHALL PROVIDE THE RESULTS FOR THE TEST METHODS ABOVE.
 - SILT FENCE JOINTS SHALL BE CONNECTED ACCORDING TO THE ATTACHED DRAWING.
 - SILT FENCE THAT IS INSTALLED BEHIND CURBS AND SIDEWALKS MUST BE DONE SO THAT NO MORE THAN A 2" GAP EXISTS BETWEEN CONCRETE AND THE SILT FENCE. EROSION CONTROL BLANKETING (ECB) BETWEEN THE GAP MAY BE REQUIRED IN INSTANCES WHERE THIS DOES NOT OCCUR.

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
 SF 3 OF 4 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

- SILT FENCE INSPECTION AND MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SILT FENCE.
 - ACCUMULATED SEDIMENT SHALL BE REMOVED REGULARLY.
 - SILT FENCE SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
 - SILT FENCE SHALL BE REPLACED WHEN THERE ARE ANY SIGNS OF WEAR AND/OR DAMAGE.
 - WHEN THE SILT FENCE IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE SILT FENCE MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
 SF 4 OF 4 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

- SEEDING AND MULCHING SHALL BE PERFORMED ACCORDING TO THE ACCOMPANYING DETAIL(S) AND TEXT. NO EXCEPTIONS SHALL BE MADE**
- SEE PLAN VIEW FOR:
 - LOCATION(S) OF SEEDING AND MULCHING
 - TYPE OF SEED MIX
 - SEED MIXES MAY CONFORM TO THE TABLE PROVIDED WITH THE SMC NOTES OR ALTERNATIVES MAY BE ALLOWED WITH PRIOR PERMISSION BY THE TOWN'S INSPECTOR.
 - SEEDING MAY BE PERFORMED YEAR ROUND ASSUMING THE SOIL IS NOT FROZEN. SEEDING DURING TIMES OF EXTREME TEMPERATURES SHOULD BE AVOIDED IF POSSIBLE.
 - AT THE BEGINNING OF THE LAND DISTURBANCE ACTIVITIES, IT IS HIGHLY RECOMMENDED THAT AN APPROPRIATE AMOUNT OF NATIVE TOPSOIL BE STRIPPED FROM THE SITE AND STOCKPILED. ALL AREAS, PRIOR TO PERMANENT SEEDING AND MULCHING, WILL LIKELY NEED TO BE COVERED WITH AN APPROPRIATE LAYER OF TOPSOIL. THIS REQUIREMENT APPLIES TO ALL AREAS WHERE NATIVE SEEDING IS SPECIFIED ON THE CBMP PLAN AND/OR LANDSCAPING PLANS.
 - IT IS STRONGLY RECOMMENDED THAT SAMPLES FROM THE STRIPPED TOPSOIL BE PROPERLY COLLECTED AND TESTED BY A QUALIFIED LABORATORY TO ENSURE ADEQUATE NUTRIENT CONTENT PRIOR TO SEEDING AND MULCHING. IF IT IS DISCOVERED THAT THE TOPSOIL IS VOID OF THE NUTRIENTS NECESSARY TO SUCCESSFULLY ESTABLISH THE REQUIRED VEGETATION, THEN THE APPROPRIATE AMENDMENTS SHALL BE ADDED.
 - ALL AREAS TO BE SEEDED AND MULCHED SHALL BE SURFACE ROUGHENED ACCORDING TO THE SURFACE ROUGHENING DETAILS AND NOTES. SURFACE ROUGHENING SHALL OCCUR AFTER PLACEMENT OF THE TOPSOIL.
 - WHEN INSTALLED WITH A DRILL SEEDER, SEED SHALL BE PLACED AT A DEPTH OF 1/4 - 1/2 INCH. ROW SPACING SHALL BE NO MORE THAN 6-INCHES.
 - ALL AREAS INCAPABLE OF BEING DRILL SEEDER SHALL BE SURFACE ROUGHENED ACCORDING TO THE SURFACE ROUGHENING NOTES OR EFFECTIVELY ROUGHENED USING A HARROW OR OTHER SUCH IMPLEMENT. ALL AREAS SHALL BE UNIFORMLY HAND BROADCASTED WITH THE PROPER SEED MIX APPLIED AT TWO TIMES THE DRILL SEEDER RATE. BROADCASTED AREAS SHALL THEN BE RE-HARROWED OR RE-RAKED USING A HARD-TIPPED RAKE TO ENSURE THAT SEEDS ARE BURIED TO AN APPROXIMATE DEPTH OF 1/4 - 1/2 INCH.
 - AFTER SEEDING HAS BEEN COMPLETED, MULCH SHALL BE UNIFORMLY APPLIED AT A RATE OF 2 TONS/ACRE (4,000 LBS/ACRE). MULCH SHALL BE MECHANICALLY CRIMPED TO A DEPTH OF 2 INCHES USING A CRIMPER. MULCH SHALL BE HAND CRIMPED AND COVERED WITH A TACKIFIER IN AREAS WHERE MECHANICAL CRIMPING IS NOT POSSIBLE. WHEN SOILS PERMIT, ALL MULCH SHALL BE CRIMPED SUCH THAT THE INDIVIDUAL PIECES OF STRAW OR HAY FORM EXAGGERATED V-SHAPES PROTRUDING OUT OF THE GROUND SEVERAL INCHES.
 - IN CERTAIN INSTANCES, IT MAY BE NECESSARY TO APPLY A TACKIFIER IN ORDER TO HELP WITH STRAW DISPLACEMENT. TACKIFIER SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
 SMC 1 OF 3 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

- SEEDING AND MULCHING MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SEEDING AND MULCHING.
 - ANY SEEDED AND MULCHED AREAS THAT BECOME DAMAGED SHALL BE REPAIRED WITHIN THE TIME FRAME SPECIFIED BY THE TOWN'S INSPECTOR.
- WEED MANAGEMENT**
- ALL HERBICIDES SHALL BE APPLIED BY COMMERCIAL PESTICIDE APPLICATORS LICENSED BY THE COLORADO DEPARTMENT OF AGRICULTURE AS QUALIFIED APPLICATORS. THE CONTRACTOR SHALL FURNISH DOCUMENTATION OF SUCH LICENSING PRIOR TO HERBICIDE APPLICATION.
 - HERBICIDE APPLICATION METHOD SHALL BE SUCH THAT PLANT GROWTH OUTSIDE THE DESIGNATED TREATMENT AREAS WILL NOT BE DAMAGED. ALL DAMAGE CAUSED BY IMPROPER HERBICIDE APPLICATION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
 - HERBICIDES SHALL BE APPLIED DURING THE APPROPRIATE SEASONS, WHEN TARGET PLANTS ARE ACTIVELY GROWING.
 - AFTER THE GRASS SEED IS ESTABLISHED, APPROPRIATE HERBICIDES SHALL BE APPLIED TO CONTROL THE REMAINING WEEDS TO ENSURE A TIMELY RETURN OF THE FINANCIAL SECURITY. PROPER TIMING OF HERBICIDE APPLICATIONS ARE NECESSARY TO ACHIEVE THE SUPPRESSION OF WEED SEED PRODUCTION AND DEPLETION OF WEED ROOT MASS. ULTIMATELY, THE HERBICIDES USED SHALL BE BASED UPON THE TARGET WEEDS.
 - HERBICIDE TREATMENTS SHALL CONTINUE AT AN APPROPRIATE RATE UNTIL IT IS EVIDENT THAT WEED GROWTH PRESENCE AND GROWTH IS MINIMAL AND MAY BE CONTROLLED THROUGH MOWING AND/OR ANNUAL HERBICIDE TREATMENT.

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
 SMC 2 OF 3 Oct. 2013

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- TOWN OF PARKER, SEED MIX 1**
 20% CANADA WILDRYE
 15% CRESTED WHEATGRASS
 15% SLENDER WHEATGRASS
 10% ANNUAL RYEGRASS
 10% SHEEP FESCUE
 10% BIG BLUESTEM
 10% SIDEDOTS GRAMA
 5% CANADA BLUEGRASS
 5% BLUE GRAMA
- SEEDING RATE:**
 DRILLED: 25 LBS/ACRE
 BROADCAST: 50 LBS/ACRE
- TOWN OF PARKER, SEED MIX 2**
 22% SLENDER WHEATGRASS
 18% SODAR STREAMBANK WHEATGRASS
 13% ARIZONA FESCUE
 13% BLUE GRAMA
 12% BUFFALOGRASS
 12% BARLEY OR OATS
 5% SPIKE MUHLY
 5% INDIAN RICEGRASS
- SEEDING RATE:**
 DRILLED: 25 LBS/ACRE
 BROADCAST: 50 LBS/ACRE
- TOWN OF PARKER, SEED MIX 3 (LOW-GROWTH MIX)**
 25% EPHRAIM CRESTED WHEATGRASS
 23% SHEEP FESCUE
 18% PERENNIAL RYEGRASS
 13% CANADA BLUEGRASS
 12% BARLEY OR OATS
 9% BLUE FESCUE
- SEEDING RATE:**
 DRILLED: 25 LBS/ACRE
 BROADCAST: 50 LBS/ACRE
- SEED MIX 4:**
 OTHER SEED MIXES APPROVED BY THE TOWN OF PARKER

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
 SMC 3 OF 3 Oct. 2013

PREPARED BY: **Kimley»Horn**

PROFESSIONAL ENGINEER
 JESSICA JO MCNEEL
 59054
 6/21/22

PREPARED FOR: **McDonald's USA, LLC**
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CONSTRUCTION DOCUMENTS

DESCRIPTION: **CBMP DETAILS**

SITE ADDRESS: 12201 SLICEROOD DRIVE, PARKER, CO

0050785

JUN 4/8/22 REVISION #4
 JUN 3/9/22 REVISION #3
 JUN 11/22/21 REVISION #2
 JUN 9/27/21 REVISION #1

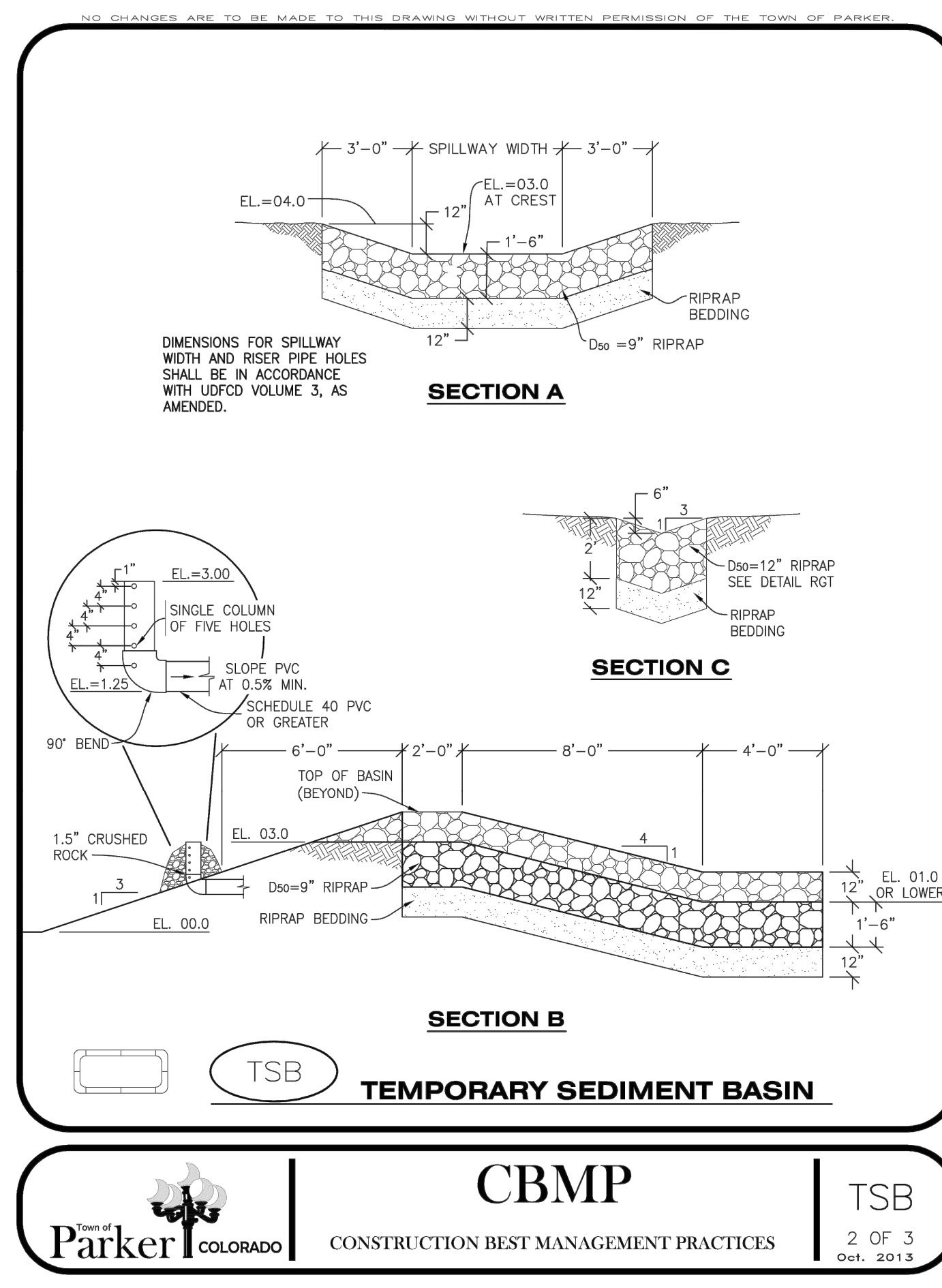
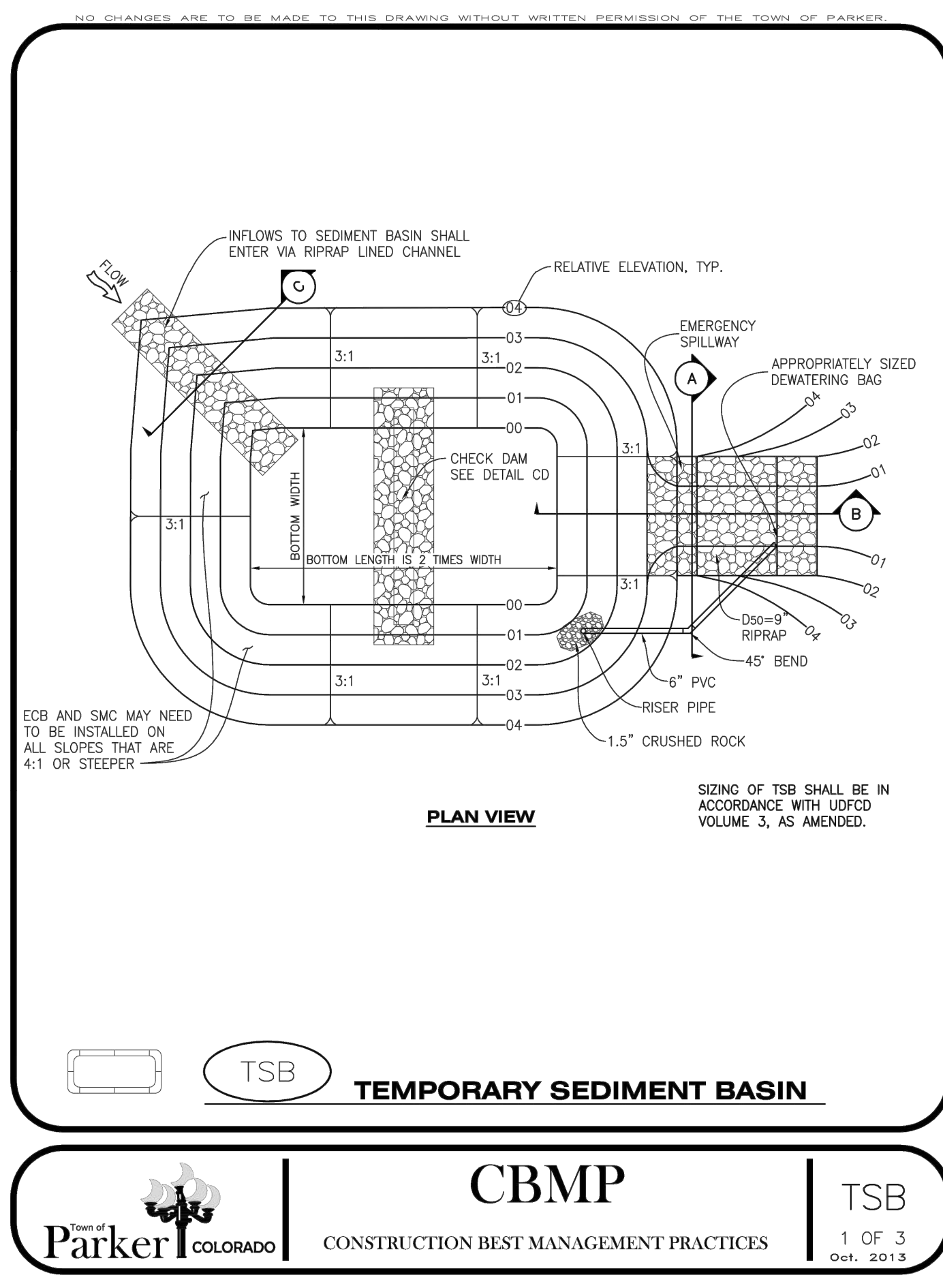
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DESCRIPTION

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TEMPORARY SEDIMENT BASIN INSTALLATION NOTES

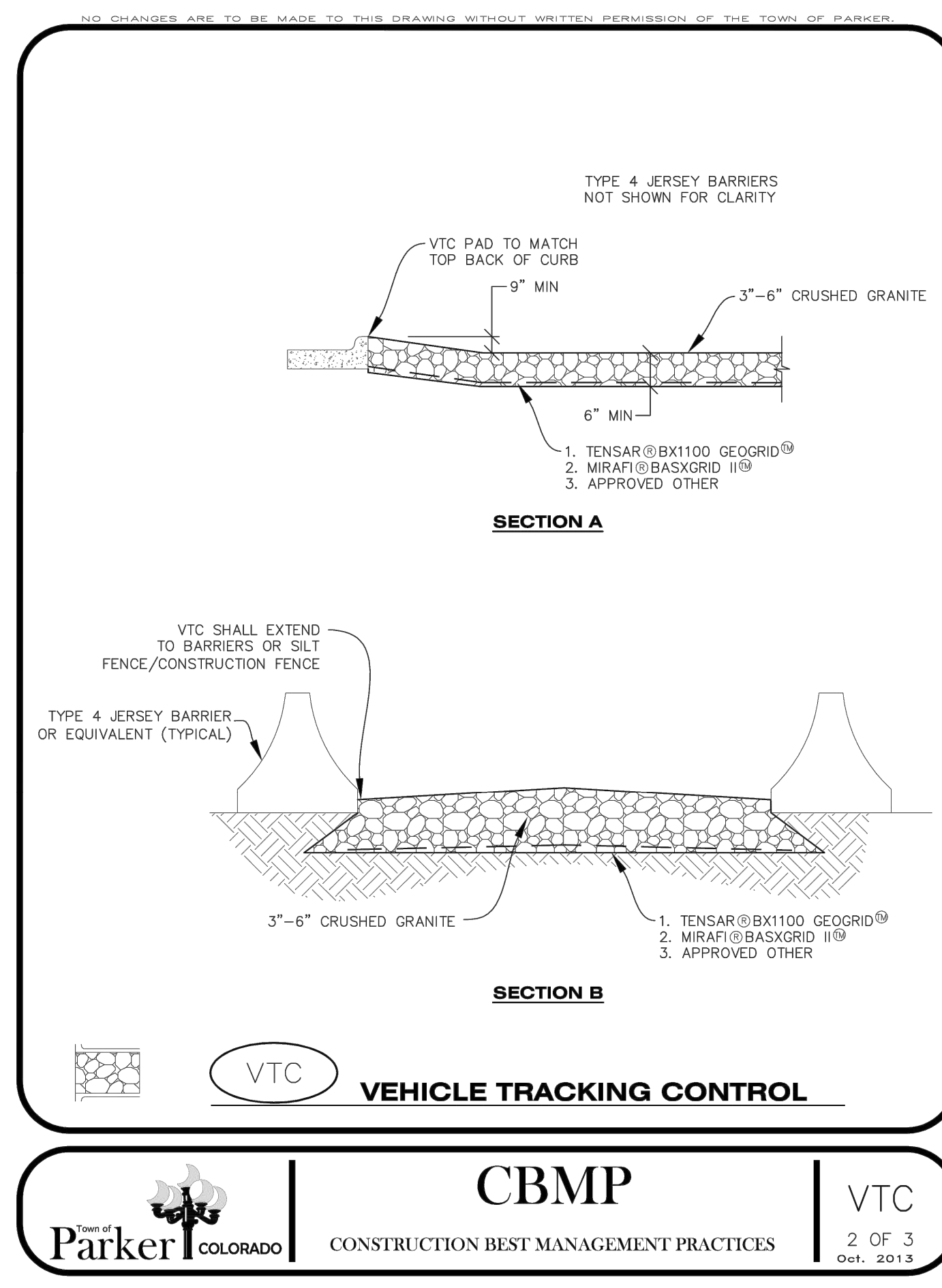
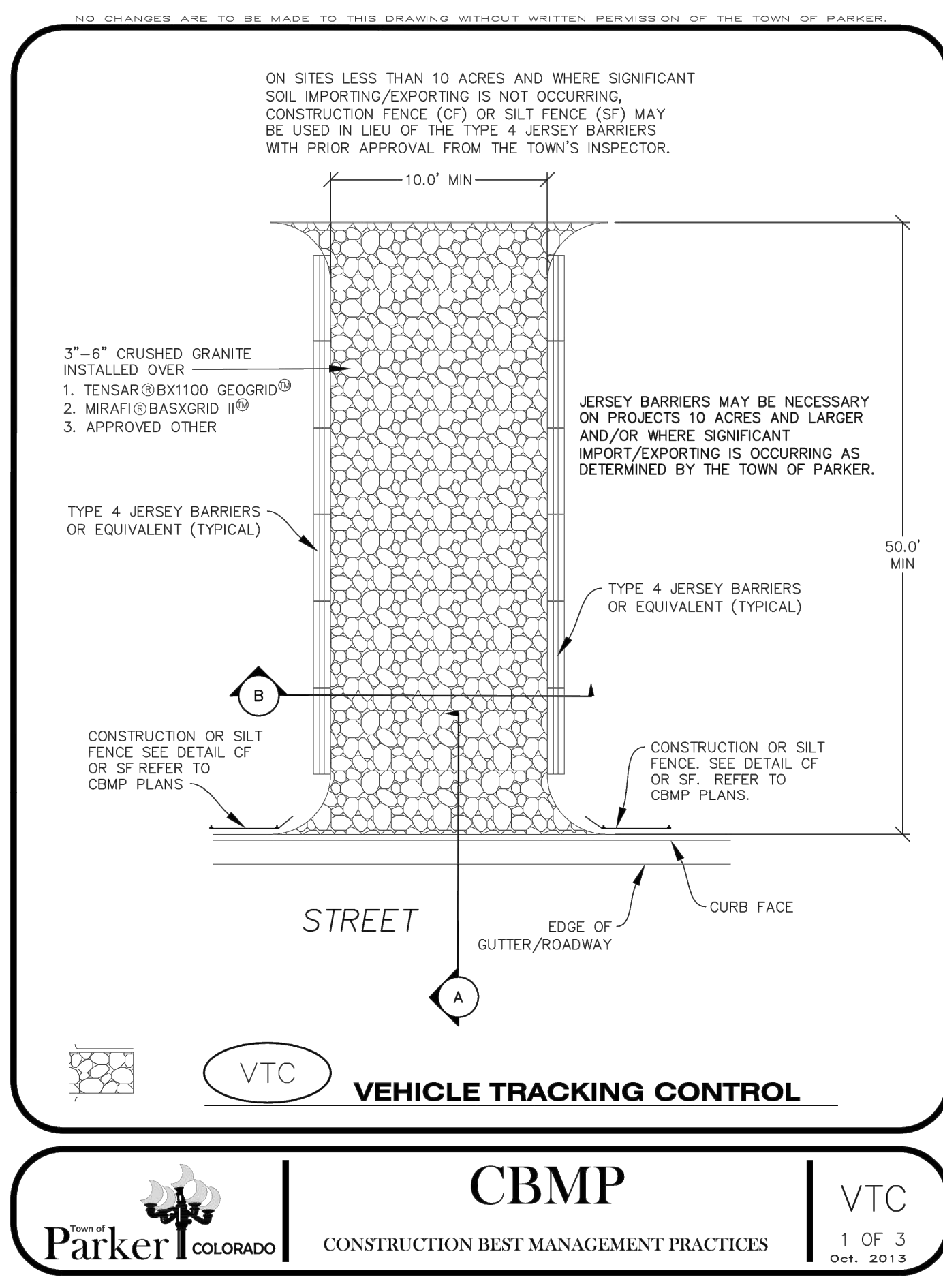
- SEE CBMP PLAN FOR LOCATION(S) OF SEDIMENT BASIN(S).
- THE TEMPORARY SEDIMENT BASIN(S) SHALL BE INSTALLED AND FUNCTIONING PRIOR TO ANY OTHER GRADING ACTIVITIES.
- THE EXACT DIMENSIONS AND DETAILS OF THE TEMPORARY SEDIMENT BASIN SHALL BE DETERMINED BY THE DESIGN ENGINEER, IN ACCORDANCE WITH UDFCD VOLUME 3, AS AMENDED.
- EMBANKMENT MATERIAL SHALL CONSIST OF SOIL FREE OF DEBRIS, ORGANIC MATERIAL, AND ROCKS OR CONCRETE GREATER THAN 3" AND SHALL HAVE A MINIMUM OF 15% BY WEIGHT PASSING THE NO. 200 SIEVE.
- EMBANKMENT MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 95% DENSITY, AND WITHIN +/- 2% OF OPTIMUM MOISTURE IN ACCORDANCE WITH ASTM D698.
- AN APPROPRIATELY SIZED DEWATERING BAG SHALL BE SECURED TO THE END OF THE DISCHARGE PIPE. THE DEWATERING BAG SHALL BE REPLACED ONCE SEDIMENT ACCUMULATION REACHES 50%.

TEMPORARY SEDIMENT BASIN INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE TEMPORARY SEDIMENT BASIN.
- ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN THE SEDIMENT REACHES A DEPTH OF 2.0', OR WITHIN 2.0' OF THE SPILLWAY CREST, OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- SEDIMENT BASINS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL UPSTREAM VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR.

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES

TSB
3 OF 3
Oct. 2013



NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

VEHICLE TRACKING CONTROL PAD INSTALLATION NOTES

- SEE CBMP PLAN FOR LOCATION(S) OF VEHICLE TRACKING CONTROL PAD(S).
- ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE THROUGH THE APPROVED ACCESS POINT(S). A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL APPROVED ACCESS POINTS TO THE SITE. EXCEPTIONS MAY BE CONSIDERED FOR CONSTRUCTION ACTIVITY OCCURRING IMMEDIATELY ADJACENT TO PAVED AREAS AND WHERE ALTERNATIVE BMP'S ARE IMPLEMENTED. SUCH ACTIVITY MAY INCLUDE, BUT NOT BE LIMITED TO RESIDENTIAL CONSTRUCTION, UTILITY CONSTRUCTION, ETC.
- THE VEHICLE TRACKING CONTROL PAD(S) INDICATED ON CBMP PLAN SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- VEHICLE TRACKING CONTROL PADS SHALL BE A MINIMUM OF 50-FOOT LONG AND 10-FOOT WIDE, UNLESS A VARIANCE HAS BEEN GRANTED BY THE TOWN'S INSPECTOR.
- A BIAxIAL GEO-GRID SHALL BE PLACED UNDER THE VEHICLE TRACKING CONTROL PAD PRIOR TO THE PLACEMENT OF ROCK. THE AREA SHALL BE FREE FROM ANY VOIDS, ROCKS AND DEBRIS. THE BIAxIAL GEO-GRID SHALL BE TENSAR BX1100, MIRAFI BASXGRID II, OR AN APPROVED EQUAL. GEO-GRID SHALL BE PLACED, AND APPROPRIATELY OVERLAPPED IF NECESSARY, TO COVER THE ENTIRE LENGTH AND WIDTH OF THE VEHICLE TRACKING CONTROL PAD.
- CRUSHED ROCK SHALL BE A MINIMUM OF 3-6" GRANITE WITH A FRACTURED FACE (ALL SIDES).

VEHICLE TRACKING CONTROL PAD INSTALLATION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE VEHICLE TRACKING CONTROL PAD.
- WHEN THE VEHICLE TRACKING CONTROL PAD IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE VEHICLE TRACKING CONTROL PAD SHALL BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
- THE VEHICLE TRACKING CONTROL PAD SHALL BE MAINTAINED SUCH THAT THE ROCK REMAINS RELATIVELY LOOSE AND ACCUMULATED MUD AND OTHER DEBRIS IS REGULARLY REMOVED.

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES

VTC
3 OF 3
Oct. 2013

TITLE	CONSTRUCTION DOCUMENTS	REVISION #4	JJM
DESCRIPTION	CBMP DETAILS	REVISION #3	JJM
SITE ID	0050785	REVISION #2	JJM
SITE ADDRESS	12201 SLICEROO DRIVE, PARKER, CO	REVISION #1	JJM
DATE	9/27/21	REV	BY
DATE	11/22/21	REV	BY
DATE	3/9/22	REV	BY
DATE	4/8/22	REV	BY

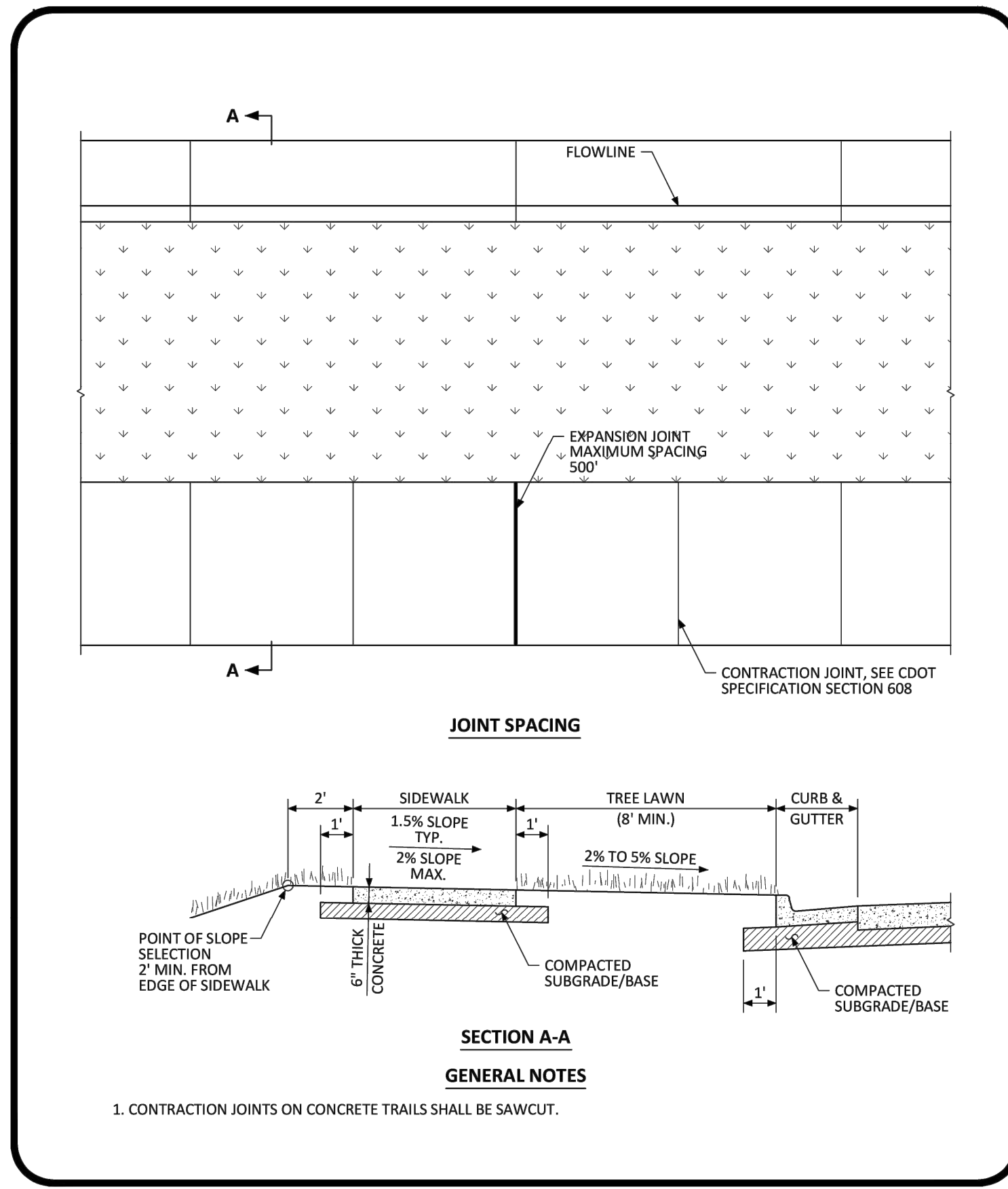
PREPARED FOR:
McDonald's USA, LLC
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PREPARED BY:
Jessica J. McClellan
PROFESSIONAL ENGINEER
6/21/22

Kimley»Horn

12201 SLICEROO DRIVE, PARKER, CO

C1.26



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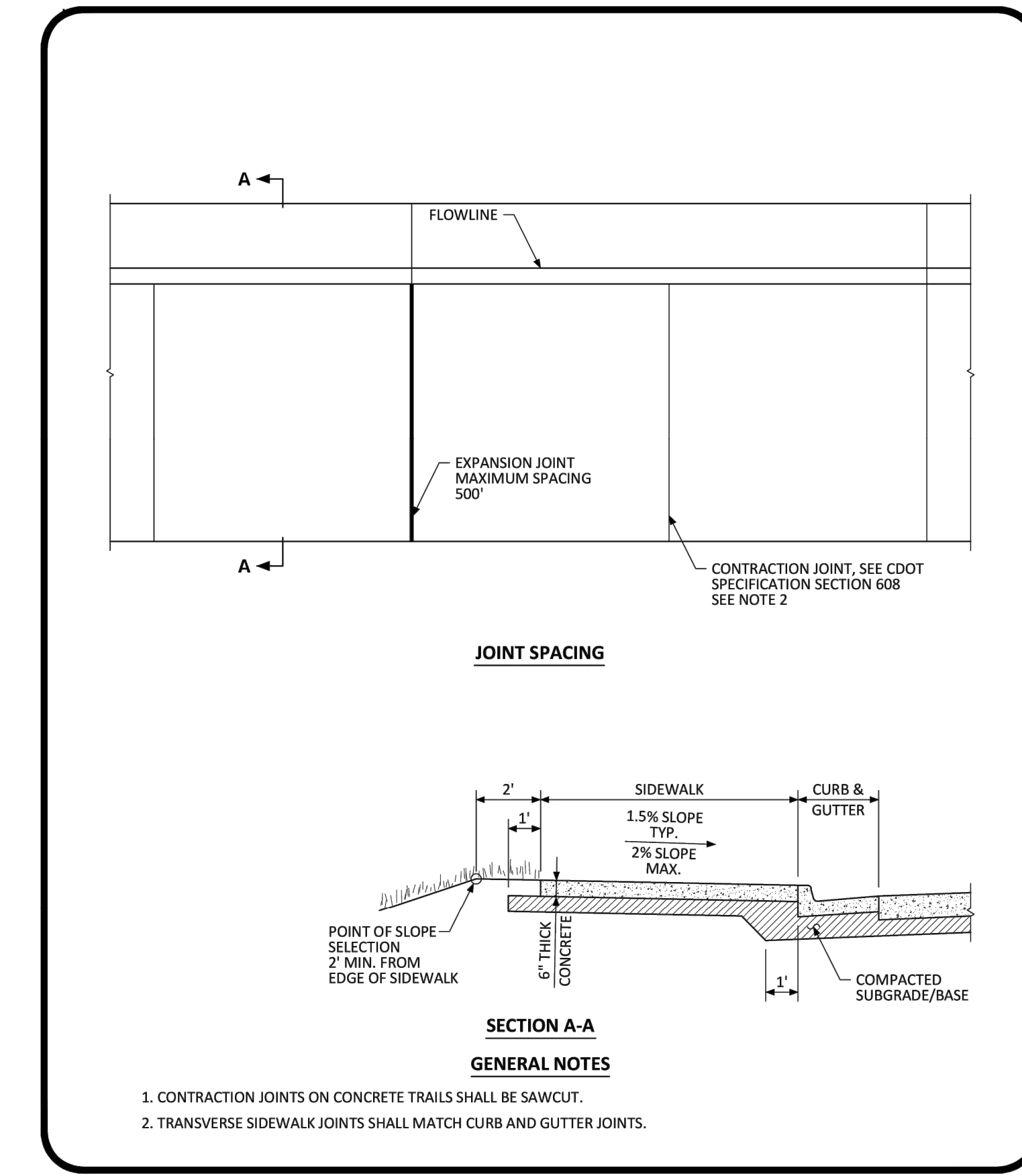
PARKER COLORADO

DETACHED SIDEWALK STANDARD DETAIL

DATE NOVEMBER 2020

DETAIL **4**

1 OF 2



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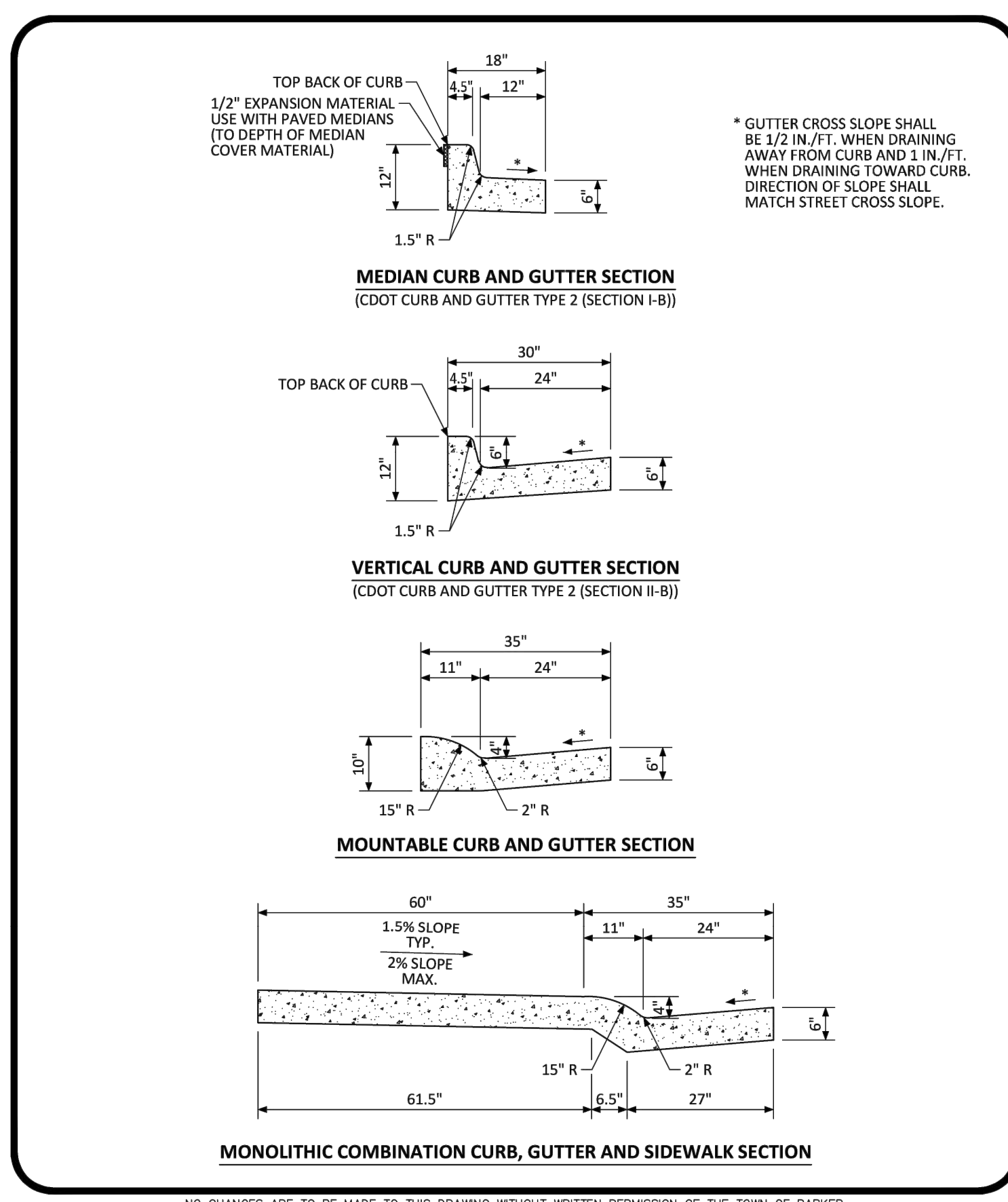
PARKER COLORADO

ATTACHED SIDEWALK STANDARD DETAIL

DATE NOVEMBER 2020

DETAIL **4**

2 OF 2



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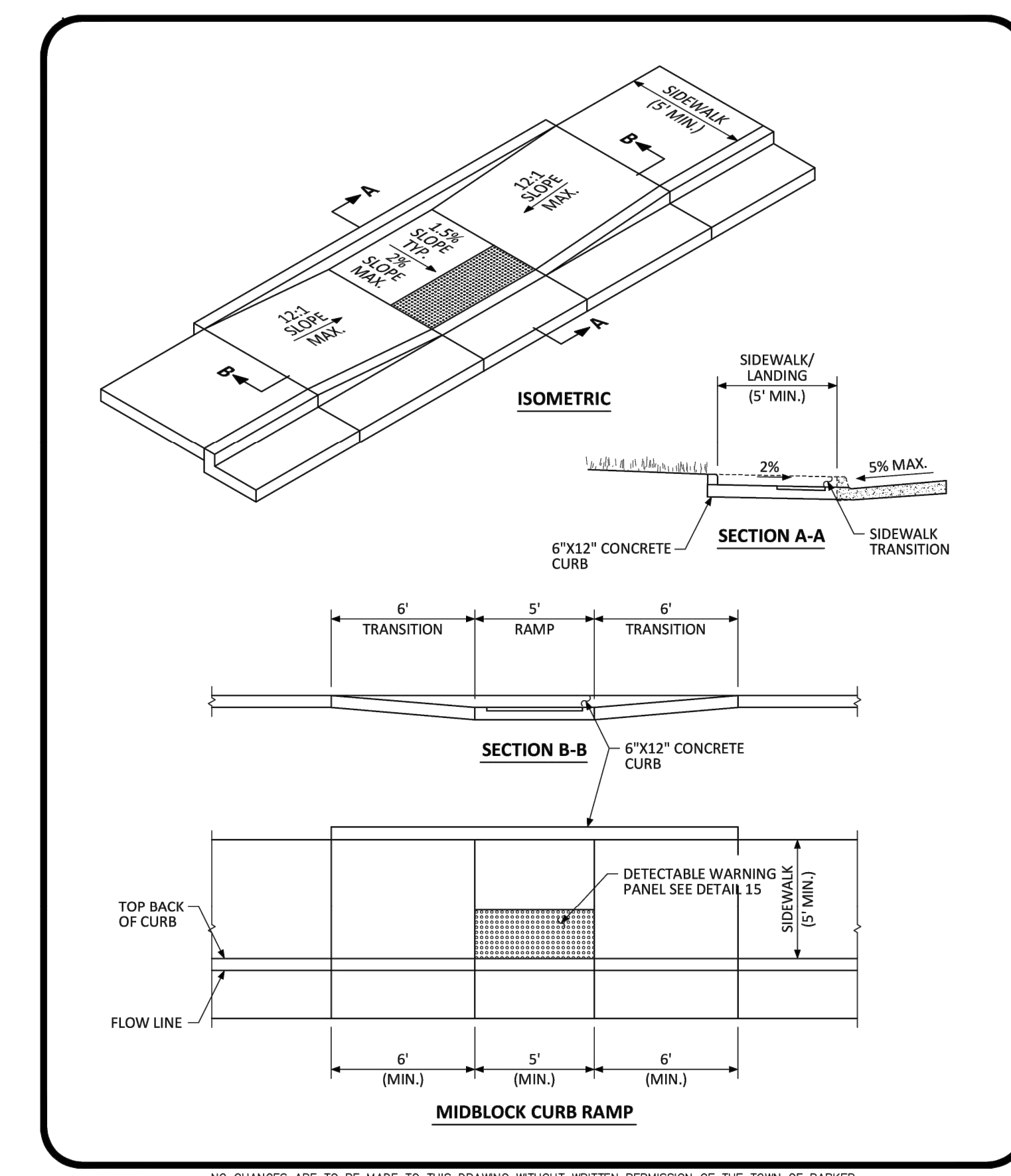
PARKER COLORADO

CURB, GUTTER, AND SIDEWALK SECTIONS STANDARD DETAIL

DATE NOVEMBER 2020

DETAIL **3**

1 OF 1



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PARKER COLORADO

MIDBLOCK CURB RAMP LAYOUT STANDARD DETAIL

DATE NOVEMBER 2020

DETAIL **17**

2 OF 2

TITLE	CONSTRUCTION DOCUMENTS	JJM	DATE	07/1/21	JJM	DATE	4/8/22	REVISION #4
DESCRIPTION	TOWN DETAILS	JJM	DATE	07/1/21	JJM	DATE	3/9/22	REVISION #3
SITE ID	0050785	JJM	DATE	07/1/21	JJM	DATE	11/22/21	REVISION #2
SITE ADDRESS	12201 SLICEROOD DRIVE, PARKER, CO	JJM	DATE	07/1/21	JJM	DATE	9/27/21	REVISION #1
								DESCRIPTION
								BY

Kimley»Horn



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PREPARED BY: **Jessica M. McDonald**

DATE: 6/21/22

PROFESSIONAL ENGINEER

