

January 31, 2023

Town of Parker
Public Works Department
20120 E. Mainstreet
Parker, CO 80138

Subject: *McDonald's Parker – Douglas 234 Field Change Narrative 3*

This memorandum provides a summary of the field change required for the proposed McDonald's under construction at 12201 Sliceroo Drive near the intersection of Chambers Road and Hess Road in the Douglas 234 commercial development.

Location

The 1.204-acre Project is located on Lot 3 of the Douglas 234 Filing No. 6 commercial development located at the northeast corner of South Chambers Road and Hess Road in Parker, Colorado (the "Site"). The proposed Project consists of a new single-story McDonald's fast-food restaurant with dual drive-thru lanes, drive aisles, parking on the south, east, and west side of the building, landscaping, and associated utility improvements (the "Project").

Field Change Information

The proposed retaining wall on the north side of the Site was updated to shift to be at least 2' from the north property line so that the heel of the retaining wall remains fully on the McDonald's property. This retaining wall will be a concrete cast in place wall with a finish of the same stone material utilized for the building.

Conclusion

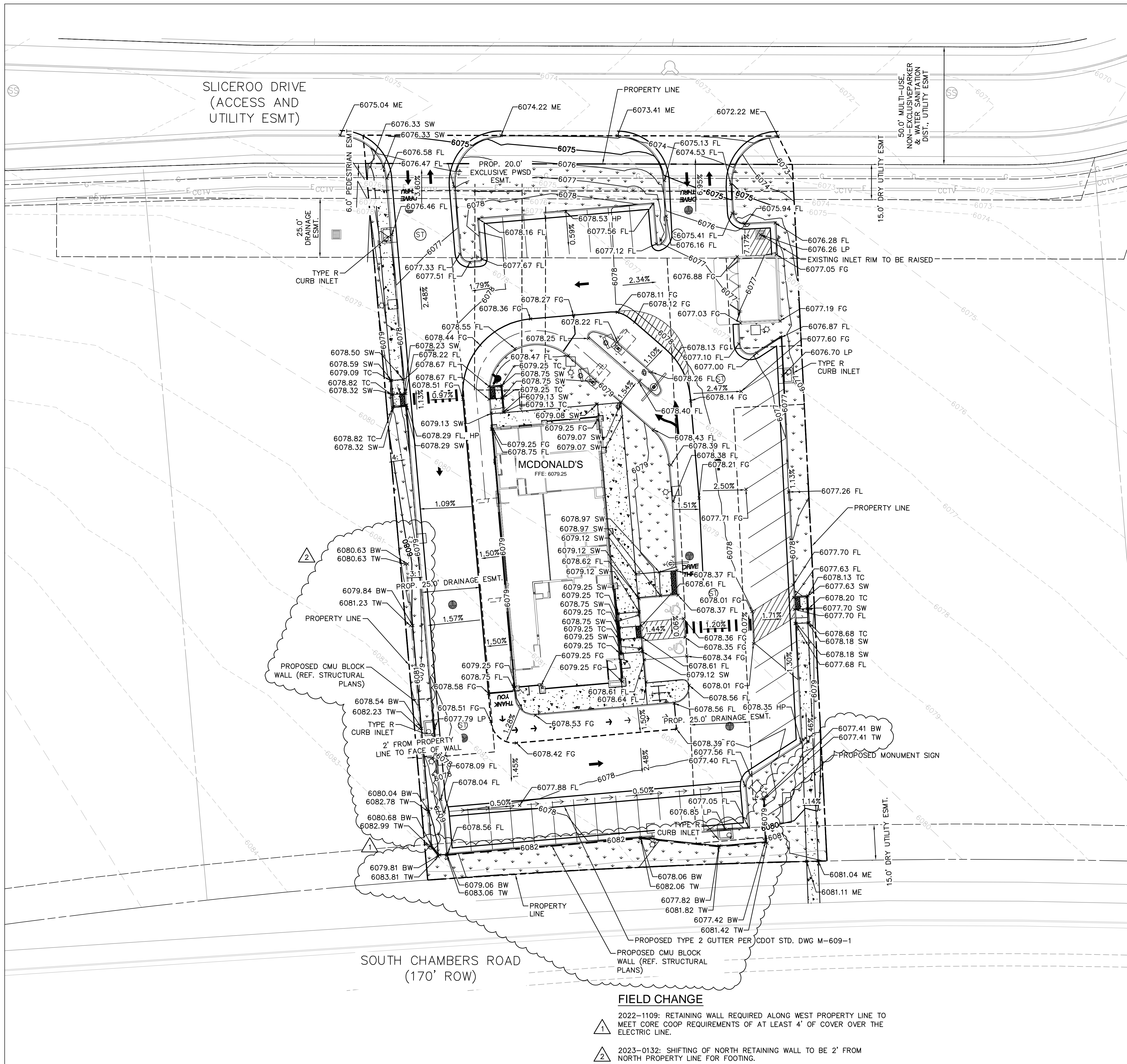
We hereby request that the field change information shown in this memorandum be approved by the Town of Parker.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.



Jessica McCallum, P.E.

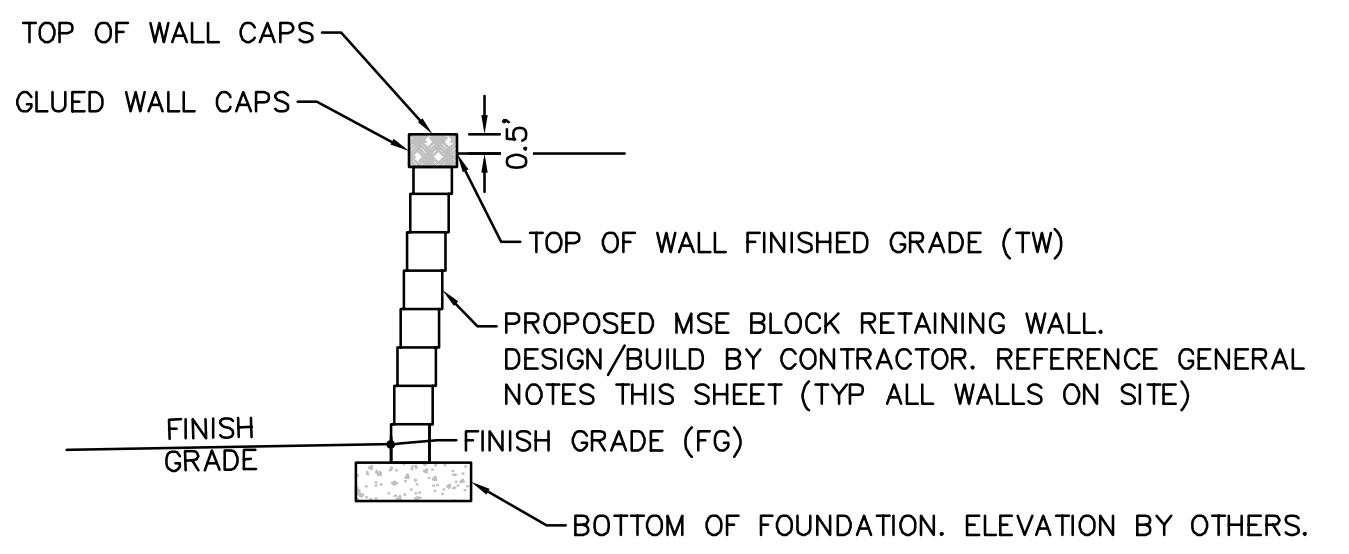


LEGEND

- PROPERTY LINE
- - - LIMITS OF GRADING/DISTURBANCE
- - - EASEMENT
- ▬▬▬ RETAINING WALL
- AR — ACCESSIBLE ROUTE
- 5430 — EXISTING MAJOR CONTOUR
- 5431 — EXISTING MINOR CONTOUR
- 5430 — PROPOSED MAJOR CONTOUR
- 5431 — PROPOSED MINOR CONTOUR
- ▭ LANDSCAPE
- ▭ CONCRETE SIDEWALK
- FL FLOWLINE
- FG FINISHED GRADE
- FFE FINISH FLOOR ELEVATION
- SW SIDEWALK
- ME MATCH EXISTING
- LP LOW POINT
- HP HIGH POINT

RETAINING WALL NOTES

- 1.1 FOR GEOTECHNICAL RECOMMENDATIONS, SEE "GEOTECHNICAL ENGINEERING REPORT," PREPARED BY TERRACON CONSULTANTS, INC., DATED APRIL 9, 2021.
- 1.2 WALL BACKFILL MATERIAL, PLACEMENT AND COMPACTION SHOULD COMPLY IN FULL WITH THE PROJECT SPECIFICATIONS. COMPACTION OF EACH LIFT ADJACENT TO WALLS SHALL BE ACCOMPLISHED WITH HAND OPERATED TAMPERS OR OTHER LIGHTWEIGHT COMPACTORS. FLOODING OR JETTING IS PROHIBITED. USE LOW EXPANSION POTENTIAL MATERIALS.
- 1.3 WALLS ARE TO BE SUITABLY BRACED DURING BACKFILLING TO PREVENT DAMAGE AND EXCESSIVE DEFLECTION. CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS AGAINST HEAVY CONSTRUCTION EQUIPMENT IN THE VICINITY OF RETAINING WALLS.
- 1.4 SEE PROJECT PLANS FOR WALL LAYOUT AND FINISHED GRADE ELEVATIONS.
- 1.5 WALL FOOTINGS TO BE PLACED ON MATERIAL PREPARED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND GEOTECHNICAL REPORT.
- 1.6 ALL WORK (MASONRY, CONCRETE, STEEL) AND MATERIALS TO CONFORM IN FULL WITH PROJECT SPECIFICATIONS.
- 1.7 SITE MSE BLOCK WALLS SHALL BE DESIGN/BUILD BY CONTRACTOR. WALLS SHALL BE COLORED TO MATCH THE BUILDING ARCHITECTURE. WALL DESIGN SHALL BE SUBMITTED TO THE ENGINEER OF RECORD AND ARCHITECT OF RECORD BY CONTRACTOR FOR REVIEW.



TYPICAL CROSS SECTION/BLOCK WALL DETAILS

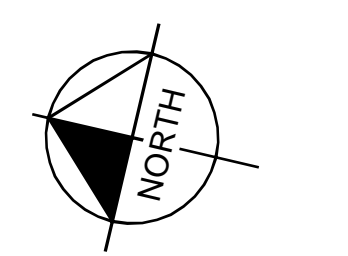
N.T.S.

NOTE: CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF PROPOSED SITE MSE BLOCK WALL TO ENGINEER OF RECORD FOR APPROVAL PRIOR TO CONSTRUCTION.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____



- FIELD CHANGE**
- 2022-1109: RETAINING WALL REQUIRED ALONG WEST PROPERTY LINE TO MEET CORE COOP REQUIREMENTS OF AT LEAST 4' OF COVER OVER THE ELECTRIC LINE.
 - 2023-0132: SHIFTING OF NORTH RETAINING WALL TO BE 2' FROM NORTH PROPERTY LINE FOR FOOTING.

REVISION #4	4/8/22	DATE	BY
REVISION #3	3/9/22	DATE	BY
REVISION #2	11/22/21	DATE	BY
REVISION #1	9/27/21	DATE	BY
REV		DATE	BY

PREPARED BY: **Kimley»Horn**

PREPARED FOR: **McDonald's USA, LLC**

These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared in accordance with the project specifications and shall be used only for the project and site identified herein. Use of these drawings for reference or example on another project requires the approval of the engineer of record. Use of these drawings on any other project is not authorized.

DRAWN BY	JJM
STD ISSUE DATE	07/1/21
REVIEWED BY	JRH
DATE ISSUED	07/1/21

CONSTRUCTION DOCUMENTS

GRADING PLAN

TITLE: _____

DESCRIPTION: _____

SITE ADDRESS: 12201 SLICEROO DRIVE, PARKER, CO

0050785

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