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BENCHMARK

BENCHMARK: NGS DESIGNATION C 355 (PID:KK0205): STANDARD NGS BM LOCATED 2 MI SE FROM SEDALIA. 2.0 MILES SOUTHEAST ALONG THE DENVER AND RIO GRANDE WESTERN RAILROAD FROM THE STATION AT SEDALIA, 0.5 MILE NORTHWEST OF MILEPOST 27, 32 FEET NORTH OF THE NORTH RAIL, 53 FEET SOUTH OF THE CENTER LINE OF U.S. HIGHWAY 85, 2 FEET WEST OF A WITNESS POST, SET IN THE TOP OF A CONCRETE POST WHICH PROJECTS 0.4 FOOT ABOVE THE GROUND.

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE SOUTH LINE OF THE SE 1/4 OF SECTION 29, T.6S., R.66W., OF THE 6TH P.M. BEARING S89°35'27"W AND BOUNDED BY A 3 1/4" ALUMINUM CAP AT THE S 1/4 CORNER OF SECTION 29 AND A 3 1/4" ALUMINUM CAP AT THE SE CORNER OF SECTION 29. THE MONUMENTS ARE STAMPED AS SHOWN HEREON.

FLOODPLAIN NOTE

BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 08035C0181G AND DATED MARCH 16, 2016 - SUBJECT PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.

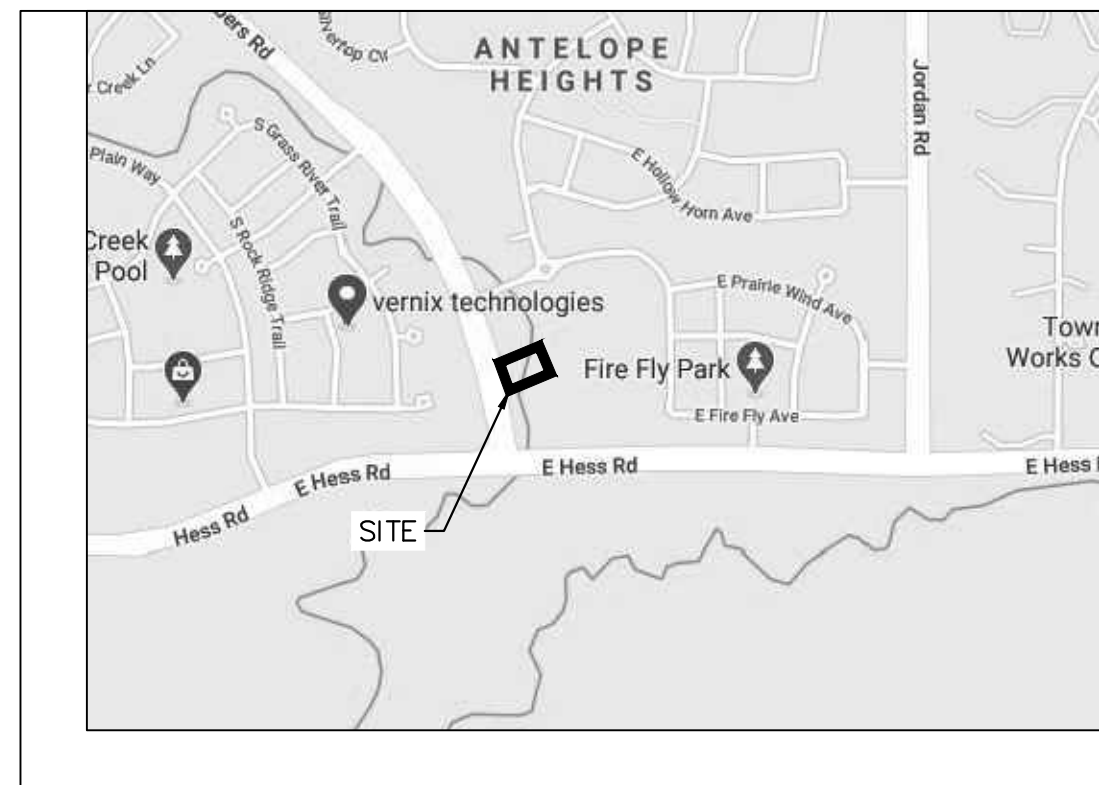
LEGAL DESCRIPTION

LOT 3, DOUGLAS 234, FILING NO. 6

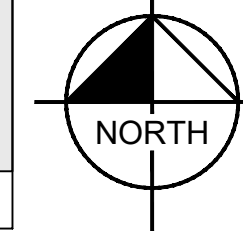
DOUGLAS 234 FILING NO. 6, LOT 3

A PORTION OF THE SOUTHEAST 1/4 OF THE SECTION 29,
 TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE PLAN



VICINITY MAP



SHEET INDEX	
SHEET NUMBER	SHEET TITLE
SITE PLAN	
1	COVER SHEET
2	EXISTING CONDITIONS AND DEMOLITION PLAN
3	SITE PLAN
4	PRELIMINARY UTILITY PLAN
5	FIRE TRUCK ACCESS PLAN
6	PHOTOMETRIC PLAN
7	PHOTOMETRIC DETAILS
8	PHOTOMETRIC DETAILS
9	PHOTOMETRIC DETAILS
10	LANDSCAPE PLAN
11	LANDSCAPE NOTES
12	LANDSCAPE DETAILS
13	NET LEASABLE AREA
14	IRRIGATION PLAN
15	IRRIGATION NOTES
16	IRRIGATION DETAILS
A2.0	BUILDING ELEVATIONS
A2.1	BUILDING ELEVATIONS
A2.2	TRASH ENCLOSURE ELEVATIONS

SITE DATA

PROPERTY ACREAGE	1.204 ACRES (52,450 SF)
PERVIOUS AREA	0.25 ACRES
IMPERVIOUS AREA	0.95 ACRES
MAXIMUM IMPERVIOUS AREA	1.02 ACRES, 85% OF TOTAL LAND AREA
BUILDING DENSITY	5,328 SF (BLDG) = 10.14%
	52,540 SF (LOT)
MAX BUILDING DENSITY	NONE
PARKING AREA	35,963 SF

PARKING REQUIRED	34 (1 PER 100 NLA)
PARKING PROVIDED	40 ON-SITE SPACES (2 ADA SPACES)
BICYCLE PARKING REQUIRED	2 (2 PER 10,000 SF)
BICYCLE PARKING PROVIDED	3

LAND USE DATA

EXISTING ZONING	PLANNED DEVELOPMENT
GROSS SITE AREA	1,204 ACRES
NUMBER OF BUILDINGS	1 BUILDING
BUILDING GROSS FLOOR AREA	5,328 SF
NET LEASABLE AREA	3,421 SF

DEVELOPMENT STANDARDS

COMMERCIAL DEVELOPMENT STANDARDS	TOWN OF PARKER LAND DEVELOPMENT CODE REQ.	PROVIDED
MINIMUM LANDSCAPE AREA	0.18 AC (15%)	0.25 AC (20.8%)
MAXIMUM BUILDING HEIGHT	35 FEET	1 STORY/ 22'-1 1/2"
MINIMUM OFF-STREET PARKING	34 (PER NLA)	40 ONSITE SPACES (2 ADA STALLS)
MAXIMUM FLOOR AREA RATIO (FAR)	0.35	0.10

SETBACKS

COMMERCIAL DEVELOPMENT STANDARDS	REQUIRED SETBACK	PROVIDED SETBACK
FRONT	10'	79'
SIDE	8'	44'/88'
REAR	0'	109'

AS-BUILT

AB 2023-0609 - AS BUILT CONDITIONS WITH ADDED WALL AND LANDSCAPE UPDATES. UPDATE TO TRASH ENCLOSURE BRICK FINISH.

AV	REVISION 6	6/6/23
JJM	REVISION 5	4/8/22
JJM	REVISION 4	3/9/22
JJM	REVISION 3	11/22/21
JJM	REVISION 2	9/27/21
JJM	REVISION 1	6/11/21
BY	DESCRIPTION	DATE
	6	6/6/23
	5	4/8/22
	4	3/9/22
	3	11/22/21
	2	9/27/21
	1	6/11/21
	REV	

Kimley»Horn

PREPARED FOR:
McDonald's USA, LLC
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DRAWN BY	JJM
STD ISSUE DATE	7/1/21
REVIEWED BY	JRH
DATE ISSUED	9/3/2021
TITLE	SITE PLAN
DESCRIPTION	COVER SHEET
SITE ID	0050785
	LOT 3, DOUGLAS 234 FILING NO. 6

PARKER COLORADO
 Final Document
 Subject To Conditions In Approval Letter
 APPROVED DATE: 06/15/2023
 Planning Approval By: S. Nerger



DOUGLAS 234 FILING NO. 6, LOT 3

A PORTION OF THE SOUTHEAST 1/4 OF THE SECTION 29,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE PLAN

AS-BUILT

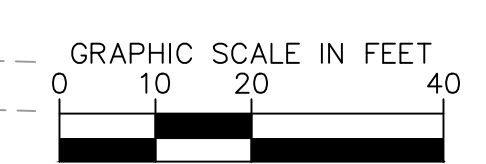
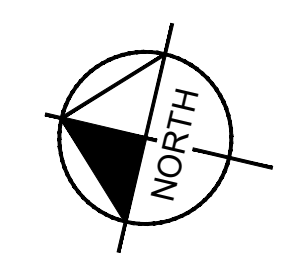
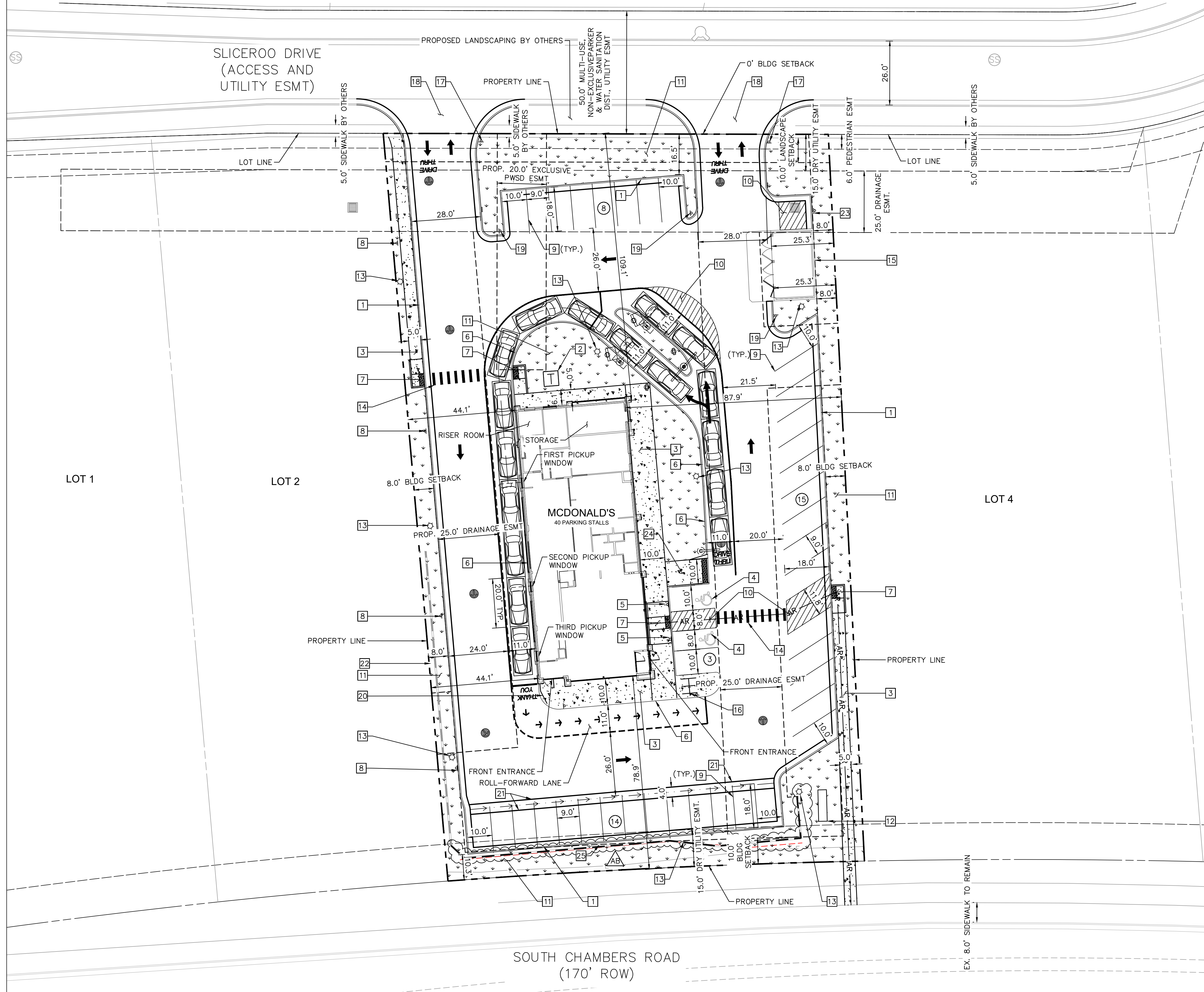
2023-0609 - AS BUILT CONDITIONS WITH ADDED WALL AND LANDSCAPE UPDATES.

LEGEND

- PROPERTY LINE
- SETBACK
- EASEMENT
- AR ACCESSIBLE ROUTE
- RETAINING WALL
- LANDSCAPE
- CONCRETE SIDEWALK
- PARKING STALL COUNT

KEY NOTES

- 1 PROPOSED CURB AND GUTTER
- 2 PROPOSED TRANSFORMER LOCATION
- 3 PROPOSED CONCRETE SIDEWALK (DIMENSION PER PLAN)
- 4 PROPOSED ADA SYMBOL
- 5 PROPOSED ADA SIGN
- 6 PROPOSED 6" WIDE X 6" TALL CURB HEAD
- 7 PROPOSED ADA RAMP
- 8 PROPOSED "NO PARKING FIRE LANE" SIGN
- 9 PROPOSED 4" WIDE PARKING STRIPE
- 10 PROPOSED 4" WIDE DIAGONAL PAVEMENT MARKINGS AT 36" ON CENTER
- 11 PROPOSED LANDSCAPING (REF. LANDSCAPING PLANS)
- 12 PROPOSED MONUMENT SIGN (ALL SIGNS ARE REVIEWED UNDER SEPARATE PERMIT)
- 13 PROPOSED SITE LIGHT (REF. PHOTOMETRIC PLANS FOR DETAILS)
- 14 PROPOSED CROSSWALK
- 15 PROPOSED TRASH ENCLOSURE
- 16 PROPOSED BIKE PARKING (3 SPACES)
- 17 PROPOSED STOP SIGN
- 18 PROPOSED DRIVEWAY ACCESS
- 19 PROPOSED 'DO NOT ENTER' SIGN
- 20 PROPOSED GUARD RAIL
- 21 PROPOSED 4" CONCRETE GUTTER PAN
- 22 PROPOSED RETAINING WALL
- 23 PROPOSED NO PARKING SIGN
- 24 PROPOSED DELIVERY RAMP
- 25 AS-BUILT CMU RETAINING WALL WITH A FINISH OF HERITAGE THIN STONE BY TELLURIDE TO MATCH THE BUILDING





PARKER
COLORADO

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TITLE	DRAWN BY	DATE	REVISION	DATE	DESCRIPTION
SITE PLAN	JJM	7/1/21	6	6/6/23	REVISION 6
	JJM	7/1/21	5	4/8/22	REVISION 5
SITE PLAN	JRH	9/3/2021	4	3/9/22	REVISION 4
	JRH	9/3/2021	3	11/22/21	REVISION 3
			2	9/27/21	REVISION 2
			1	6/11/21	REVISION 1
			REV		DESCRIPTION

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PREPARED BY: **Kimley»Horn**
 TITLE: SITE PLAN
 DESCRIPTION: SITE PLAN
 SITE ID: 0050785
 SITE ADDRESS: LOT 3, DOUGLAS 234 FILING NO. 6

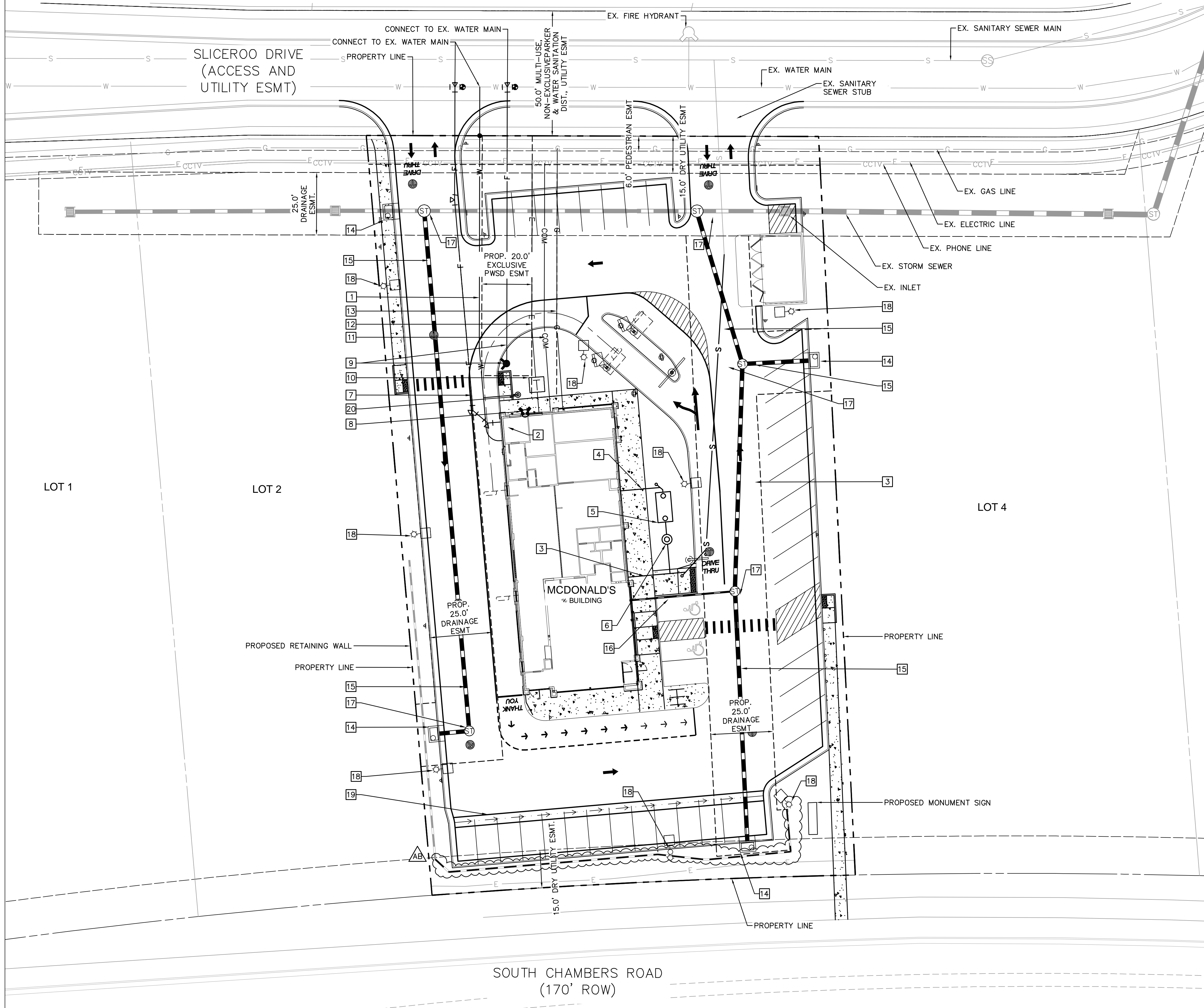
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SITE PLAN

AS-BUILT

2023-0609 - AS BUILT CONDITIONS WITH ADDED WALL AND LANDSCAPE UPDATES.



LEGEND

	PROPERTY LINE
	EASEMENT
	RETAINING WALL
	EX. WATER LINE
	EX. SANITARY LINE
	EX. STORM SEWER
	EX. PHONE LINE
	EX. ELECTRIC LINE
	EX. GAS LINE
	PROP. WATER LINE
	PROP. SANITARY LINE
	PROP. STORM SEWER
	PROP. PHONE LINE
	PROP. ELECTRIC LINE
	PROP. GAS LINE
	CONCRETE

KEY NOTES

- 1 PROPOSED DOMESTIC WATER SERVICE LINE
- 2 PROPOSED WATER METER LOCATED INSIDE BUILDING.
- 3 PROPOSED SANITARY SEWER SERVICE LINE
- 4 PROPOSED GREASE INTERCEPTOR SERVICE LINE
- 5 PROPOSED GREASE TRAP WITH TRAFFIC RATED LIDS
- 6 PROPOSED SAMPLING MANHOLE
- 7 PROPOSED FIRE SERVICE LINE
- 8 PROPOSED FDC
- 9 PROPOSED FIRE HYDRANT AND FIRE HYDRANT LATERAL
- 10 PROPOSED TRANSFORMER
- 11 PROPOSED TELECOMMUNICATIONS SERVICE LINE
- 12 PROPOSED ELECTRIC SERVICE LINE
- 13 PROPOSED GAS SERVICE LINE
- 14 PROPOSED STORM INLET
- 15 PROPOSED STORM SEWER
- 16 PROPOSED ROOF DRAIN
- 17 PROPOSED STORM MANHOLE
- 18 PROPOSED SITE LIGHT
- 19 PROPOSED 4" CONCRETE GUTTER PAN
- 20 PROPOSED 3/4" IRRIGATION METER PIT

TITLE	SITE PLAN	DATE	7/1/21
DESCRIPTION	PRELIMINARY UTILITY PLAN	REVIEWED BY	JRH
SITE ID	0050785	DATE ISSUED	9/3/2021
PREPARED FOR:	McDonald's USA, LLC	DATE	9/3/2021
PREPARED BY:	Kimley»Horn	DATE	6/11/21
REVISION	NO.	DATE	DESCRIPTION
6	6/6/23		REVISION 6
5	4/8/22		REVISION 5
4	3/9/22		REVISION 4
3	11/22/21		REVISION 3
2	9/27/21		REVISION 2
1	6/11/21		REVISION 1
	REV		DESCRIPTION

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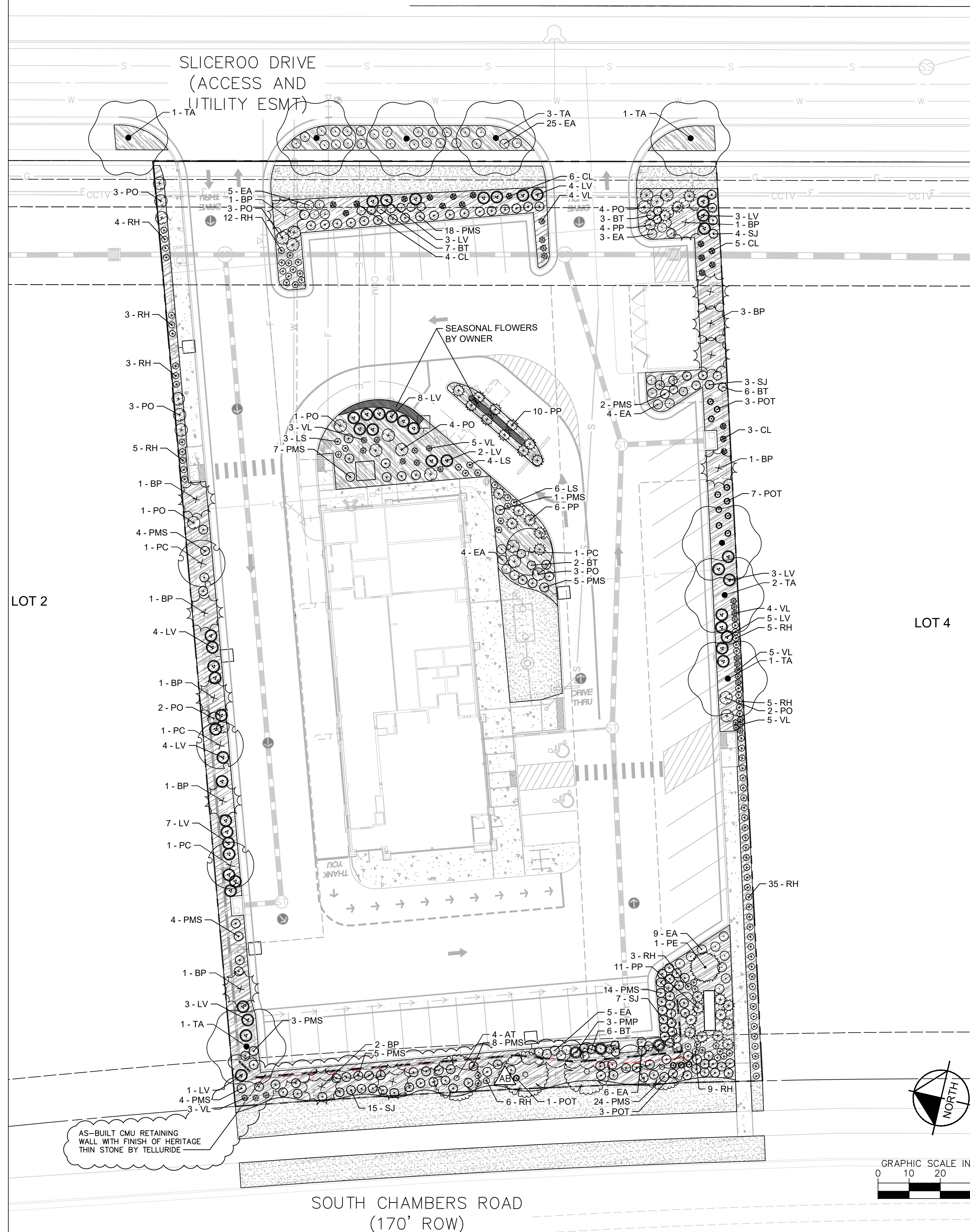
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SITE PLAN

AS-BUILT

2023-0609 - AS BUILT CONDITIONS WITH ADDED WALL AND LANDSCAPE UPDATES.



PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SIZE/CAL.	WIDTH	HEIGHT
	TA	9	TILIA AMERICANA / AMERICAN LINDEN	B & B	2" CAL MIN	30'-40'	40'-50'
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SIZE/CAL.	WIDTH	HEIGHT
	BP	13	PINUS ARTISTATA / BRISTLECOONE PINE	B & B	6" HGT.	10'-15'	20'-30'
	PE	1	PINUS EDULIS / PINON PINE	B & B	6" HGT.	10'-15'	20'-30'
ORNAMENTAL TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SIZE/CAL.	WIDTH	HEIGHT
	AT	4	ACER TATARICUM / TATARIAN MAPLE	B & B		15'-20'	15'-18'
	PC	4	PRUNUS CERASIFERA / PURPLE-LEAF PLUM	B & B		15'-25'	15'-25'
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SPACING	WIDTH	HEIGHT
	EA	61	EUONYMUS ALATUS 'COMPACTUS' / COMPACT BURNING BUSH	5 GAL		4'-5'	4'-5'
	PO	26	PHYSCARPUS OPULIFOLIUS 'DARTS GOLD' / DARTS GOLD NINEBARK	5 GAL		4'-5'	4'-5'
	POT	14	PHYSCARPUS OPULIFOLIUS 'SMPTW' / TINY WINE® NINEBARK	5 GAL		3'-4'	3'-4'
	SJ	29	SPIRAEA JAPONICA 'ANTHONY WATERER' / ANTHONY WATERER JAPANESE SPIREA	5 GAL		3'-5'	3'-5'
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SPACING	WIDTH	HEIGHT
	BT	24	BERBERIS THUNBERGII 'CRIMSON PYGMY' / CRIMSON PYGMY JAPANESE BARBERRY	5 GAL		2'-3'	2'-3'
	CL	18	CHAMAECYPARIS LAWSONIANA 'ELLWOOD'S PILLAR' / ELLWOOD'S PILLAR PORT ORFORD CEDAR	5 GAL		1'-2'	5'-7'
	LV	47	LIGUSTRUM VULGARE / PRIVET	5 GAL		4'-5'	4'-5'
	PMP	3	PINUS MUGO 'PUMILIO' / DWARF MUGO PINE	5 GAL		4'-5'	4'-5'
	PMS	99	PINUS MUGO 'SLOWMOUND' / SLOWMOUND MUGO PINE	5 GAL		2'-3'	2'-3'
	PP	31	PICEA PUNGENS 'GLOBOSA' / DWARF GLOBE BLUE SPRUCE	5 GAL		5'-6'	3'-5'
PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SPACING	WIDTH	HEIGHT
	LS	13	LIATRIS SPICATA / BLAZING STAR	1 GAL.		1'-2'	1'-2'
	RH	90	RUDBECKIA HIRTA / BLACK-EYED SUSAN	1 GAL.		1'-2'	1'-2'
	VL	29	VERONICA LONGIFOLIA / SPEEDWELL	1 GAL.		2'-3'	2'-4'
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	TYPE	INSTALL RATE	WEED FABRIC	MFR.
	ROCK2	10,089 SF	3/4" - 1-1/2" COLORADO ROSE ROCK MULCH INSTALLED AT A MINIMUM DEPTH OF 3" OVER WEED BARRIER FABRIC. SUBMIT SAMPLE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.	ROCK MULCH	3" DEPTH	YES	PIONEER SAND
	SOD	4,693 SF	POA PRATENSIS / KENTUCKY BLUEGRASS	---			

REVISION 6	JUN	6/6/23					
REVISION 5	JUN	4/8/22					
REVISION 4	JUN	3/9/22					
REVISION 3	JUN	11/22/21					
REVISION 2	JUN	9/27/21					
REVISION 1	JUN	6/11/21					
DESCRIPTION		REV	DATE				

PREPARED BY: **Kimley»Horn**

PREPARED FOR: **McDonald's USA, LLC**

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DRAWN BY	JUN	7/1/21
STD ISSUE DATE	JUN	7/1/21
REVIEWED BY	JRH	9/3/2021
DATE ISSUED	JUN	9/3/2021

TITLE: **SITE PLAN**

DESCRIPTION: **LANDSCAPE PLAN**

SITE ID: 0050785

SITE ADDRESS: LOT 3, DOUGLAS 234 FILING NO. 6

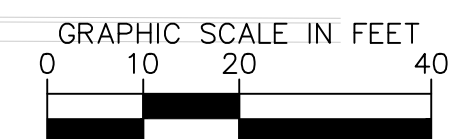
811 Know what's below. Call before you dig.

PARKER COLORADO

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Planning Approval By: S. Nerger



DOUGLAS 234 FILING NO. 6, LOT 3

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TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
SITE PLAN

GENERAL LANDSCAPE SPECIFICATIONS

- A. SCOPE OF WORK
- THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.
 - WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.
- B. PROTECTION OF EXISTING STRUCTURES
- ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BEST MANAGEMENT PRACTICES (BMP) DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS THROUGH THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MAINTENANCE OF TRAFFIC (MOT) THAT MAY BE REQUIRED FOR THE PROJECT.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE PRIOR TO EXCAVATION. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA; LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION; THE SAFETY AND PROTECTION THEREOF; REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- C. PROTECTION OF EXISTING PLANT MATERIALS
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC.. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRAINAGE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRAINAGE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPE AND/OR UNSOUND SHALL BE REPLACED AT THE CONTRACTOR'S COST TO THE CONTRACTOR FOUR HUNDRED DOLLARS (\$400) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL. FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL. FOR TREES OVER FOUR (4) INCHES IN CALIPER.
 - SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.
- D. MATERIALS
- GENERAL
MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER. UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL	SAMPLE SIZE
MULCH	ONE (1) CUBIC FOOT
TOPSOIL MIX	ONE (1) CUBIC FOOT
PLANTS	ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)
 - PLANT MATERIALS
 - FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN ON DRAWINGS AND COMPLYING WITH ANSI Z60.1 AND THE COLORADO NURSERY ACT, AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING; PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
 - TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE.
 - NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE PROJECT LANDSCAPE ARCHITECT. ANY ROW TREES MUST BE APPROVED BY OFFICE OF THE CITY FORESTER.
 - PROVIDE PLANTS OF SIZES, GRADES, AND BALL OR CONTAINER SIZES COMPLYING WITH ANSI Z60.1 AND COLORADO NURSERY ACT FOR TYPES AND FORM OF PLANTS REQUIRED. PLANTS OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO PROJECT LANDSCAPE ARCHITECT WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
 - PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER. FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.
 - TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND TRUNK ("INCLUDED BARK"); CROSSING TRUNKS; CUT-OFF LIMBS MORE THAN 1/2 INCH (19 MM) IN DIAMETER; OR WITH STEM GIRDLING ROOTS WILL BE REJECTED.
 - FURNISH TREES AND SHRUBS WITH ROOTS BALLS MEASURED FROM TOP OF ROOT BALL, WHICH SHALL BEGIN AT ROOT FLARE ACCORDING TO ANSI Z60.1 AND COLORADO NURSERY ACT. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.
 - LABEL AT LEAST ONE PLANT OF EACH VARIETY, SIZE, AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF COMMON NAME AND FULL SCIENTIFIC NAME, INCLUDING GENUS AND SPECIES, INCLUDE NOMENCLATURE FOR HYBRID, VARIETY, OR CULTIVAR, IF APPLICABLE FOR THE PLANT AS SHOWN ON DRAWINGS.
 - IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF PLANTS IS SHOWN ON DRAWINGS, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER THE LABELS TO ASSURE SYMMETRY IN PLANTING.
 - SOIL MIXTURE
 - CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW.
 - SOIL MIXTURE SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
 - TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT OPENINGS SHALL BE FERTILE, FRABLE, AND OF A LOAMY CHARACTER, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER, FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTERNAL OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER, HAVE A PH BETWEEN 5.5 AND 8.0, AND SOLUBLE SALTS LESS THAN 3.0 MMHOS/CM. SUBMIT SOIL SAMPLE AND PH TESTING RESULTS FOR APPROVAL.
 - SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.
 - TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.
- F. WATER
- WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC.. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

- * WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.
- G. FERTILIZER
- CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.
* FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.
- H. MULCH
- MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES CLEAR MULCH FROM EACH PLANTS CROWN (BASE) OR AS SHOWN IN PLANTING DETAILS. MULCH SHALL BE DOUBLE SHREDDED HARDWOOD MULCH. DYED MULCH IS NOT ACCEPTABLE. SUBMIT SAMPLES TO PROJECT LANDSCAPE ARCHITECT FOR APPROVAL. MULCH SHALL BE PROVIDED OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE RING (6" MINIMUM) PLANTED UNDER THIS CONTRACT, AS WELL AS FOR ANY EXISTING LANDSCAPE AREAS AS SHOWN ON PLANS.
- I. DIGGING AND HANDLING
- ALL TREES SPECIFIED SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE APPROVED BY PROJECT LANDSCAPE ARCHITECT.
 - PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSPORT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILT-PRO" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
 - B&B AND FIELD GROWN (FG) PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.
- J. CONTAINER GROWN STOCK
- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
 - AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT BALLS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
 - ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.
- K. MATERIALS LIST
- QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE PLANS SHALL GOVERN. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.
- L. FINE GRADING
- FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH.
 - ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS, REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.
- M. PLANTING PROCEDURES
- THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, BUILDING MATERIALS, AND TOXIC MATERIAL SHALL BE COMPLETELY REMOVED FROM PLANTING AREAS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS IN PLANTING AREAS WHICH WILL ADVERSELY AFFECT THE PLANT GROWTH, THE CONTRACTOR SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
 - VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL COLORADO (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMESTONE AND LIMESTONE SUB-BASE FROM ALL PLANTING AREAS TO A MINIMUM DEPTH OF 36" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ORIGINAL FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMESTONE OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL.
 - FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
 - COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEATED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE SHALL BE EXERCISED.
 - WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
 - ALL PLANTING OPENINGS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH ANSI Z60.1-2014 AMERICAN STANDARD FOR NURSERY STOCK.
 - TEST ALL TREE OPENINGS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL.
 - TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN.
 - PRIOR TO EXCAVATION OF TREE OPENINGS, AN AREA EQUAL TO TWO TIMES THE DIAMETER OF THE ROOT BALL SHALL BE ROTO-TILLED TO A DEPTH EQUAL TO THE DEPTH OF THE ROOT BALL.
 - EXCAVATION OF TREE OPENINGS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.
 - IN CONTINUOUS SHRUB AND GROUND COVER BEDS, THE ROTO-TILLED PERIMETER SHOULD BE EXTENDED TO A DISTANCE OF ONE FOOT BEYOND THE DIAMETER OF A SINGLE ROOT BALL. THE BED SHALL BE TILLED TO A DEPTH EQUAL TO THE ROOT BALL DEPTH PLUS 6".
 - TREE OPENINGS FOR WELL DRAINED SOILS SHALL BE DUG SO THAT THE BOTTOM OF THE ROOT BALL WILL REST ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL WILL BE FLUSH WITH FINISH GRADE. IN POORLY DRAINED SOILS THE TREE OPENING SHALL BE DUG SO THAT THE ROOT BALL RESTS ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL IS 1" ABOVE FINISH GRADE. PLANT PIT WALLS SHALL BE SCRAPPED PRIOR TO PLANT INSTALLATION.
 - TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
 - SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION 'E'.
 - TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL,

- AND SETTLED BY WATER (AFTER TAMPING).
- AMEND PINE AND OAK PLANT OPENINGS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT OPENINGS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.
 - FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET, ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE.
 - ALL BURLAP, ROPE, WIRES, BASKETS, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.
 - TREES SHALL BE PRUNED, IN ACCORDANCE WITH ANSI A-300, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY CERTIFIED ARBORIST.
 - SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOWN ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.
 - TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER AGREE TO DEFER TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
 - ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S RECOMMENDATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY).
- N. LAWN SODDING
- THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
 - ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER HEIGH TO NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
 - PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
 - SODDING
 - THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
 - SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORM AND AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS A 24 INCH STRIP MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
 - DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.
 - LAWN MAINTENANCE
 - WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"x12") UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK, INCLUDING REGRADING IF NECESSARY.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.
- O. EDGING
- CONTRACTOR SHALL INSTALL 4"x8" ROLLED TOP STEEL EDGING BETWEEN ALL SOD/SEED AREAS AND PLANTING BEDS.
- P. CLEANUP
- UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM NECESSARY WORK. ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.
- Q. PLANT MATERIAL MAINTENANCE
- ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, PRUNING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
- R. FINAL INSPECTION AND ACCEPTANCE OF WORK
- FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.
- S. WARRANTY
- THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL, INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
 - ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
 - IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH.

SITE PERIMETER REQUIREMENTS			
ADJACENT LAND USE	PERIMETER LENGTH	REQUIRED / PROVIDED TREES (1 TREE / 40 LINEAR FEET (40-60% EVERGREEN)	REQUIRED / PROVIDED SHRUBS (5 SHRUBS / 40 LINEAR FEET)
COMMERCIAL (NORTH PROPERTY LINE)	305'	8 / 8 (5 EVERGREEN TREES)	39 / 41
COMMERCIAL (SOUTH PROPERTY LINE)	294'	8 / 8 (5 EVERGREEN TREES)	37 / 64
SLICEROO DRIVE (EAST PROPERTY LINE)	180'	5 / 7 (2 EVERGREEN TREES)	23 / 75
ADJACENT LAND USE	PERIMETER LENGTH	REQUIRED / PROVIDED TREES (1 TREE / 25 LINEAR FEET (40-60% EVERGREEN)	REQUIRED / PROVIDED SHRUBS (5 SHRUBS / 25 LINEAR FEET)
RESIDENTIAL / CHAMBERS ROAD (WEST PROPERTY LINE)	170'	7 / 7 (2 EVERGREEN TREES)	34 / 121

LANDSCAPE REQUIREMENTS						
TOTAL DEVELOPED AREA 52,450 SF	SITE LANDSCAPE REQUIREMENTS	SITE TREES 1 TREE / 1,500 SF (% EVERGREEN)	SITE SHRUBS 5 SHRUBS / 1,500 SF	GRASSES 3 GRASSES / 1 SHRUB	SOD (AREA)	
REQUIRED	15% LANDSCAPE AREA 75% LIVE GROUND COVER	8 TREES (25-50%)	38 SHRUBS	N/A	15% MAX	
PROVIDED	7,868 SF / 11,697 SF (22.3%) LIVE GROUND COVER AREA REQUIRED/PROVIDED	31 TREES (14 EVERGREEN)	352 SHRUBS	132 GRASSES	14.12% (1,651 SF)	

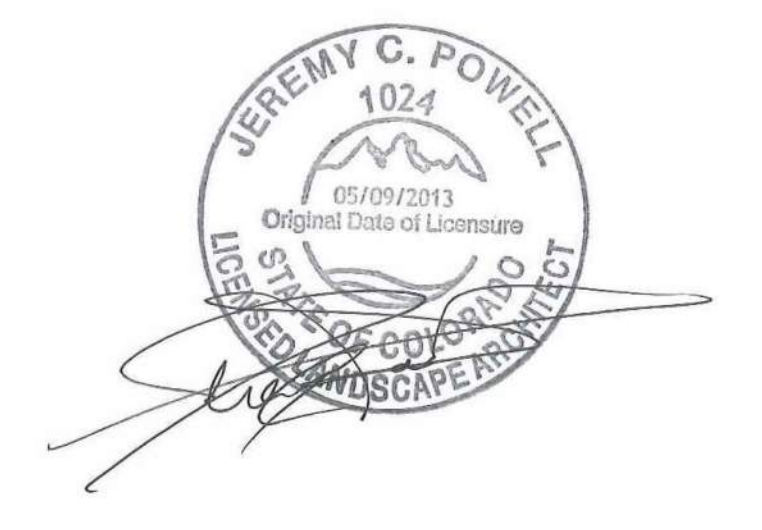
- NOTES:
- 1,698 SF OF SOD LOCATED WITHIN THE CHAMBERS ROAD RIGHT-OF-WAY IS NOT REFLECTED IN TOTAL LANDSCAPE AREA PROVIDED, LIVE GROUND COVER AREA PROVIDED, OR SOD AREA PROVIDED.
 - THE SITE CONTAINS LESS THAN 80 PARKING STALLS; PARKING LOT INTERIOR LANDSCAPING SHALL NOT BE APPLIED.

STREET TREE REQUIREMENTS		
STREET NAME	STREET FRONTAGE LENGTH	REQUIRED/PROVIDED TREES (1 TREE / 40 LINEAR FEET)
SOUTH CHAMBERS ROAD	170'	BY MASTER DEVELOPER. SEE DOUGLAS 234, FILING NO. 6
SLICEROO DRIVE	180'	BY MASTER DEVELOPER. SEE DOUGLAS 234, FILING NO. 6

Final Document
Subject To Conditions In Approval Letter

APPROVED DATE: 06/15/2023

Planning Approval By: S. Nergler



REVISION 6
REVISION 5
REVISION 4
REVISION 3
REVISION 2
REVISION 1

6/6/23
4/8/22
3/9/22
11/22/21
9/27/21
6/11/21

DATE
REV

PREPARED BY: **Kimley»Horn**

PREPARED FOR: **McDonald's USA, LLC**
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DRAWN BY: JUM
STD ISSUE DATE: 7/1/21
REVIEWED BY: JRH
DATE ISSUED: 9/3/2021

TITLE: **SITE PLAN**
DESCRIPTION: **LANDSCAPE NOTES**
SITE ID: 0050785
LOT 3, DOUGLAS 234 FILING NO. 6

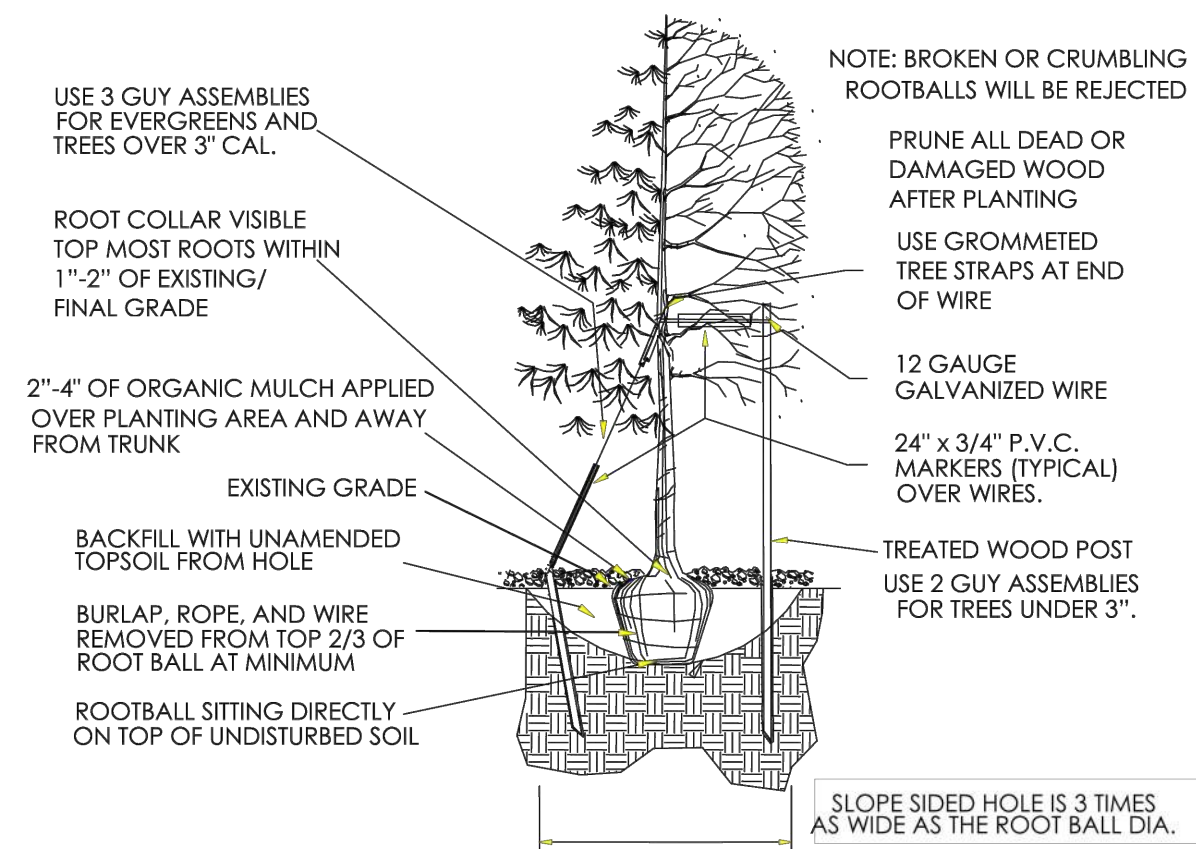
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DOUGLAS 234 FILING NO. 6, LOT 3

A PORTION OF THE SOUTHEAST 1/4 OF THE SECTION 29,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE PLAN

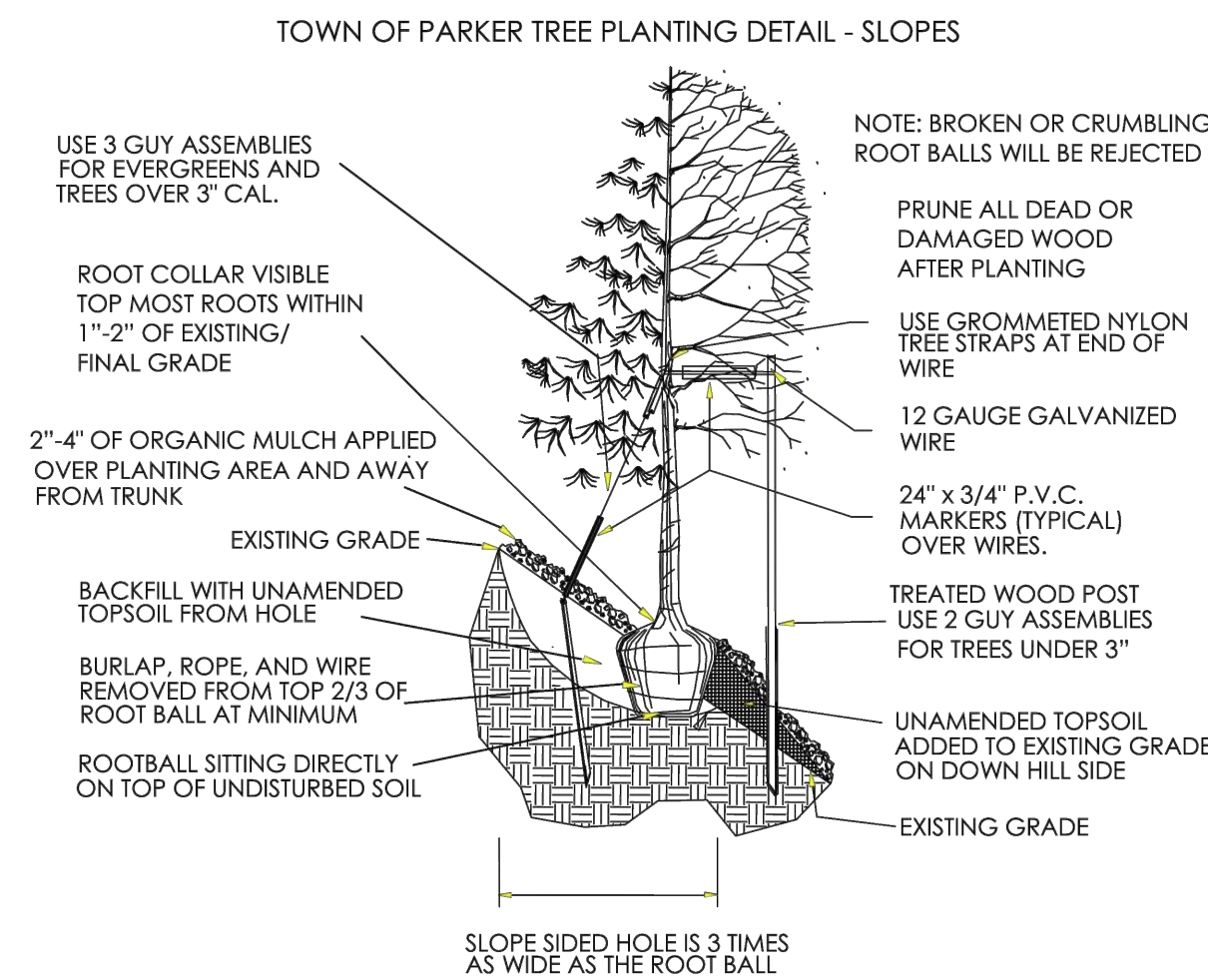
TOWN OF PARKER PLANTING STANDARDS



- Excavate planting holes with sloping sides. Make excavations at least three times as wide as the root ball diameter and no deeper than the distance from the top most roots in the root ball to the bottom of the root ball to allow for settling. Do not disturb soil at bottom of planting holes, but do score the sides of the planting hole. The planting area shall be loosened and aerated at least three times the diameter of the root ball. Backfill shall consist of existing on site topsoil - no amendments shall be used unless otherwise specified.
- Trees shall be planted with the root collar/flare visible above grade AND two or more structural roots located within the top 1" to 2" of the root ball/finished grade measured 3" to 4" from trunk. This includes trees that are set on slopes (see slope planting detail). Trees that do not have a visible root collar shall be rejected. Do not cover the root ball with soil.
- When root ball will remain intact, cut off bottom 1/4 of wire basket before placing tree in hole, cut off remainder of basket AFTER tree is set in hole, remove basket completely. At a minimum, the top 2/3 of the burlap and basket shall be removed from the root ball on all trees. Remove all nylon ties, twine, rope and burlap. Remove unnecessary packing material.
- Form soil into a 3" to 5" tall watering ring (saucer) around planting area. This is not necessary in irrigated turf areas. Apply 2" to 4" depth of specified mulch over planting area and inside saucers, away from trunk.
- Staking and guying of trees is optional in most planting situations. In areas of extreme winds, or on steep slopes, staking may be required to stabilize trees. Staking and guying must be removed within 1 year of planting date.
- Tree wrap is *not* to be used on any new plantings, except in late fall planting situations, and only then after consultation with the Town Arborist.
- Resetting of improperly planted trees will only be allowed if it is determined that doing so will in no way compromise the root ball, and shall only be done with approval of the Town Arborist.

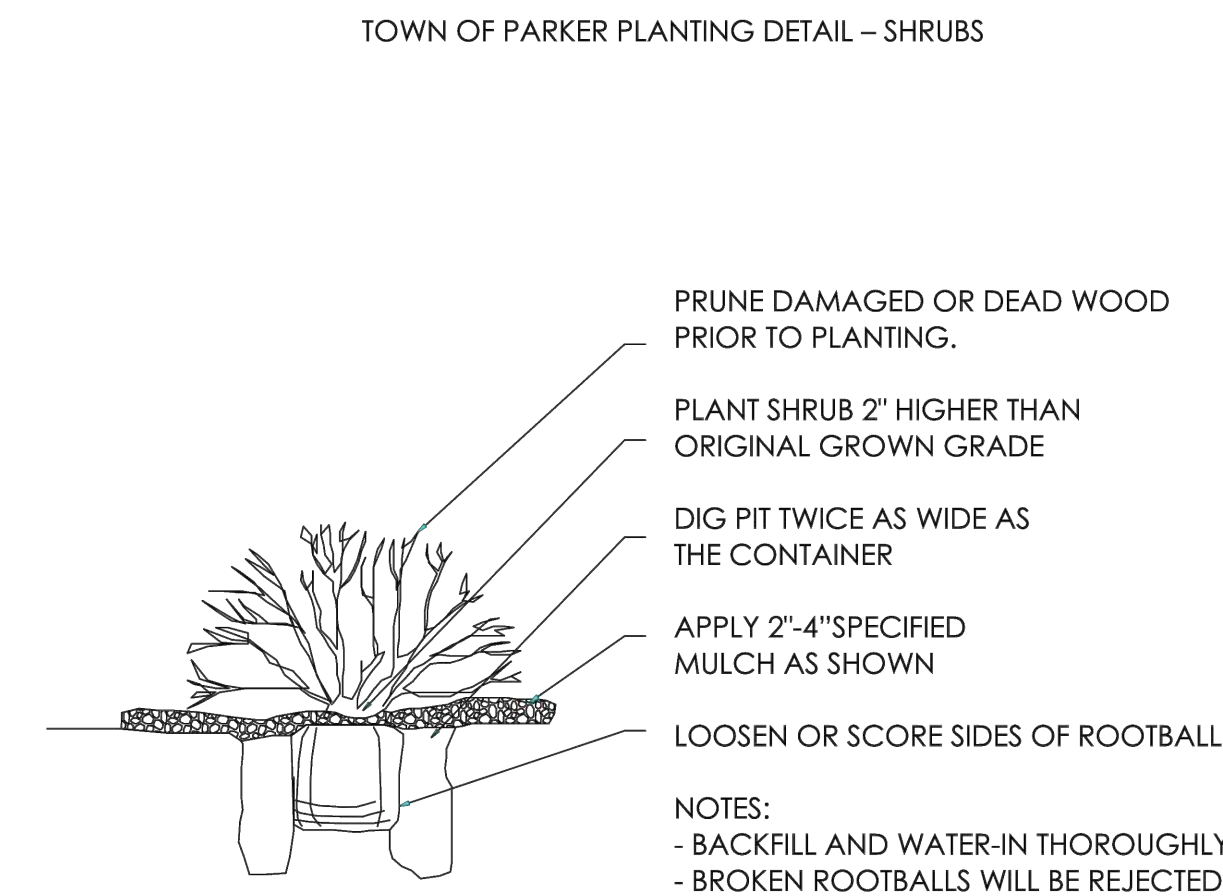
11

TOWN OF PARKER PLANTING STANDARDS

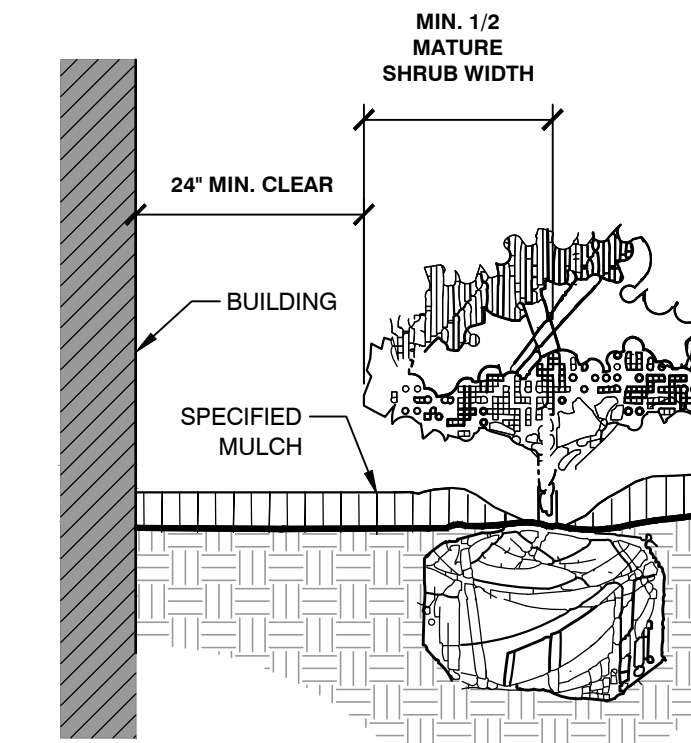


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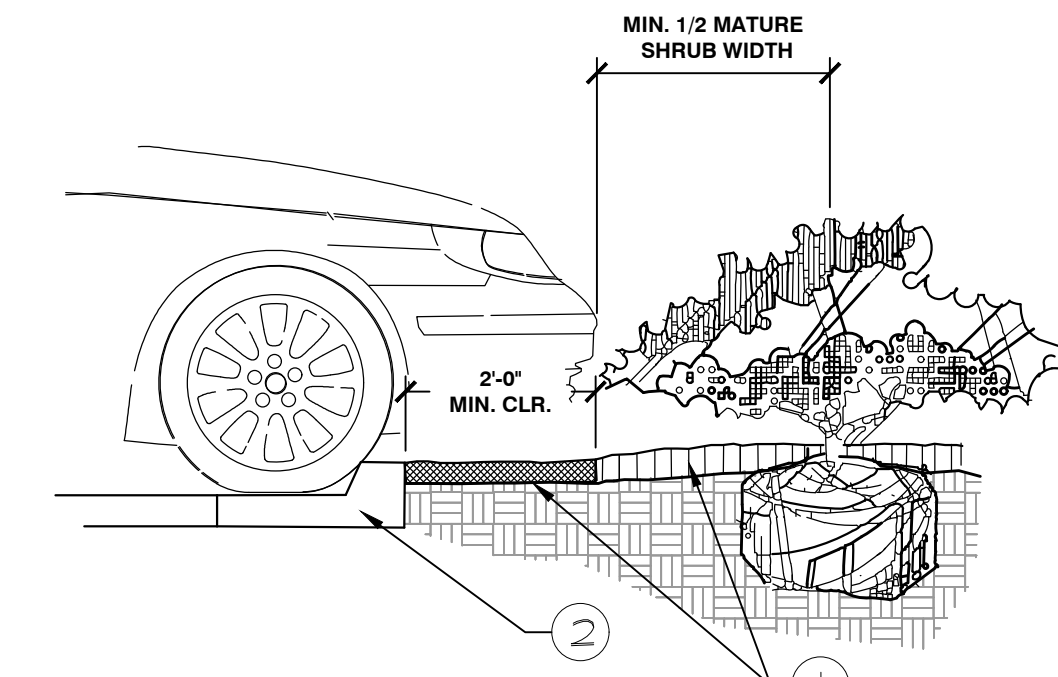
TOWN OF PARKER PLANTING STANDARDS



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1 PLANTINGS ADJACENT TO BUILDINGS SECTION NTS



2 PARKING SPACE/CURB PLANTING SECTION NTS

PARKER COLORADO
Final Document
Subject To Conditions In Approval Letter
APPROVED DATE: 06/15/2023
Planning Approval By: S. Nerger



TITLE	SITE PLAN	DATE	7/1/21	BY	JJM
DESCRIPTION	LANDSCAPE DETAILS	ISSUED	9/3/2021	DATE	JJM
SITE ID	0050785	SITE ADDRESS	LOT 3, DOUGLAS 234 FILING NO. 6	REV	JJM
REVISION	6	DATE	6/6/23	DESCRIPTION	JJM
REVISION	5	DATE	4/8/22	DESCRIPTION	JJM
REVISION	4	DATE	3/9/22	DESCRIPTION	JJM
REVISION	3	DATE	11/22/21	DESCRIPTION	JJM
REVISION	2	DATE	9/27/21	DESCRIPTION	JJM
REVISION	1	DATE	6/11/21	DESCRIPTION	JJM

PREPARED FOR: **McDonald's USA, LLC**
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