

# LINCOLN PROFESSIONAL PARK FILING NO.1 PRELIMINARY SITE PLAN

SITUATED IN THE NORTHWEST 1/4 OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE  
66 WEST OF THE 6TH P.M., COUNTY OF DOUGLAS, STATE OF COLORADO.

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOCHER SMITH.

### LEGAL DESCRIPTION:

A PARCEL OF LAND SITUATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 15;  
THENCE SOUTH 83°44'03" EAST, A DISTANCE OF 846.76 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF LINCOLN AVENUE AND THE POINT OF BEGINNING;

THENCE NORTH 89°29'00" EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 697.77 FEET TO THE NORTHWEST CORNER OF LOT 1, PEALSEE SUBDIVISION FILING NO. 1, RECORDED AT RECEPTION NO. 99104313;  
THENCE ALONG THE WEST LINE OF SAID LOT 1 THE FOLLOWING TWO (2) COURSES:

- 1) SOUTH 00°31'00" EAST, A DISTANCE OF 89.84 FEET;
- 2) SOUTH 11°49'46" EAST, A DISTANCE OF 225.08 FEET TO THE NORTHWEST CORNER OF LOT 1, PEASLEE SUBDIVISION FILING NO. 2, RECORDED AT RECEPTION NO. 2005085666;

THENCE SOUTH 05°51'51" EAST ALONG THE WEST LINE OF SAID LOT 1, A DISTANCE OF 120.83 FEET TO A POINT ON THE NORTH LINE OF LOT 1B, PARKER PROFESSIONAL PARK FIRST AMENDMENT, RECORDED AT RECEPTION NO. 8725509;

THENCE SOUTH 84°07'50" WEST ALONG SAID NORTH LINE, A DISTANCE OF 24.51 FEET TO THE NORTHEAST CORNER OF LOT 1, BLOCK 1 E.T. TECHNOLOGIES INC., RECORDED AT RECEPTION NO. 2002093991;

THENCE ALONG SAID NORTH LINE THE FOLLOWING TWO (2) COURSES:

- 1) SOUTH 82°44'13" WEST, A DISTANCE OF 163.50 FEET;
- 2) SOUTH 84°51'34" WEST, A DISTANCE OF 577.15 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF DRANSFELDT ROAD DEEDED BY RECEPTION NO. 2002088425 AND A POINT OF NON-TANGENT CURVATURE;

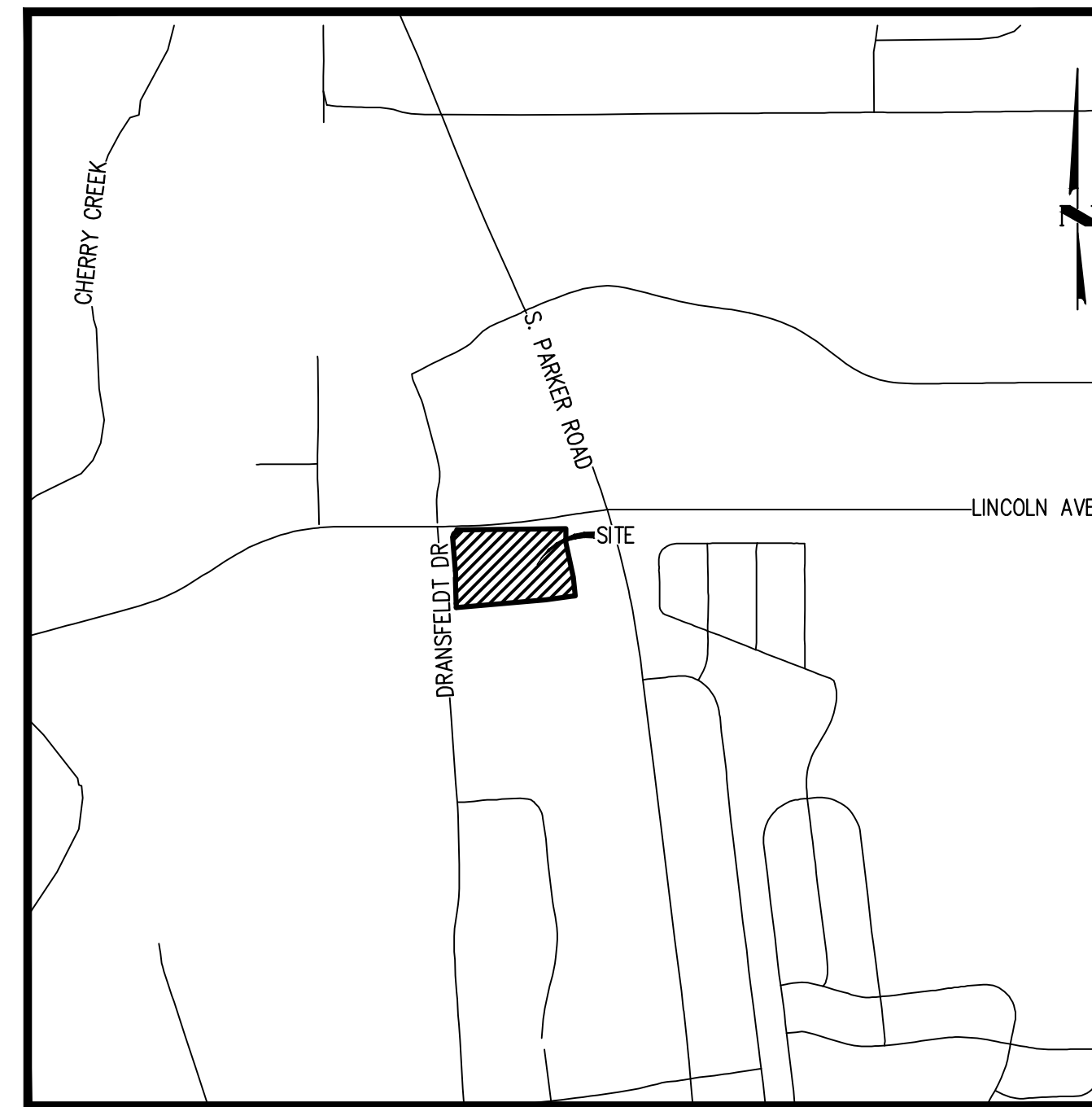
THENCE ALONG SAID EAST RIGHT-OF-WAY LINE THE FOLLOWING SIX (6) COURSE:

- 1) ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 25.79 FEET, SAID CURVE HAVING A RADIUS OF 660.00 FEET, A CENTRAL ANGLE OF 02°14'19", AND A CHORD WHICH BEARS NORTH 02°20'42" WEST A CHORD DISTANCE OF 25.79 FEET;
- 2) NORTH 01°13'32" WEST, A DISTANCE OF 165.71 FEET TO A POINT OF CURVATURE;
- 3) ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 43.04 FEET, SAID CURVE HAVING A RADIUS OF 740.00 FEET, A CENTRAL ANGLE OF 03°19'57", AND A CHORD WHICH BEARS NORTH 02°53'30" WEST A CHORD DISTANCE OF 43.03 FEET;
- 4) NORTH 04°33'29" WEST, A DISTANCE OF 217.83 FEET TO A POINT OF CURVATURE;
- 5) ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 49.23 FEET, SAID CURVE HAVING A RADIUS OF 30.00 FEET, A CENTRAL ANGLE OF 94°01'51", AND A CHORD WHICH BEARS NORTH 42°27'27" EAST A CHORD DISTANCE OF 43.89 FEET;
- 6) NORTH 04°33'21" WEST, A DISTANCE OF 15.04 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 346,479 SQUARE FEET OR 7.95 ACRES, MORE OR LESS.

### BASIS OF BEARINGS

BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN. AS MONUMENTED AT BOTH THE NORTHWEST QUARTER CORNER AND NORTH QUARTER CORNER BY 3.25" ALUMINUM CAPS, ASSUMED TO BEAR SOUTH 89°29'00" WEST.



**VICINITY MAP**  
SCALE: 1" = 1000'

### SHEET INDEX

- 1 COVER
- 2 SITE PLAN
- 3 LANDSCAPE PLAN
- 4 LANDSCAPE DETAILS
- 5 COMMERCIAL CONCEPT

PARCEL	LOT/TRACT GROSS AREA (AC)	LOT/TRACT GROSS AREA (SF)	BUILDING AREA (SF)	ANTICIPATED USE	PARKING REQUIRED	MAX. BUILDING HEIGHT	FRONT BUILDING SETBACK	REAR BUILDING SETBACK	SIDE BUILDING SETBACK
OVERALL SITE	7.93	345,311	N/A	N/A	128	35'	40	25	0
LOT 1	1.36	59,066	5129	Gas Station	21	35'	40	25	0
LOT 2	1.05	45832	3129	Fast Food	31	35'	40	25	0
LOT 3	0.92	39930	2089	Retail	7	35'	40	25	0
LOT 4	0.97	42067	2320	Coffee Drive-Thru	33	35'	40	25	0
LOT 5	1.16	50672	8100	Retail	27	35'	40	25	0
LOT 6	0.61	26591	2250	Automotive	9	35'	40	25	0
LOT 7	0.44	19092	N/A	N/A	N/A	35'	40	25	0
TRACT B (DETENTION POND)	0.82	35564	N/A	N/A	N/A	35'	N/A	N/A	N/A
TRACT D (EX WQ POND)	0.50	21842	N/A	N/A	N/A	35'	N/A	N/A	N/A

DATE	REVISION COMMENTS
07-12-2022	PER TOWN OF PARKER COMMENTS
09-21-2022	PER TOWN OF PARKER COMMENTS
12-21-2022	PER TOWN OF PARKER COMMENTS
01-19-2023	PER TOWN OF PARKER COMMENTS



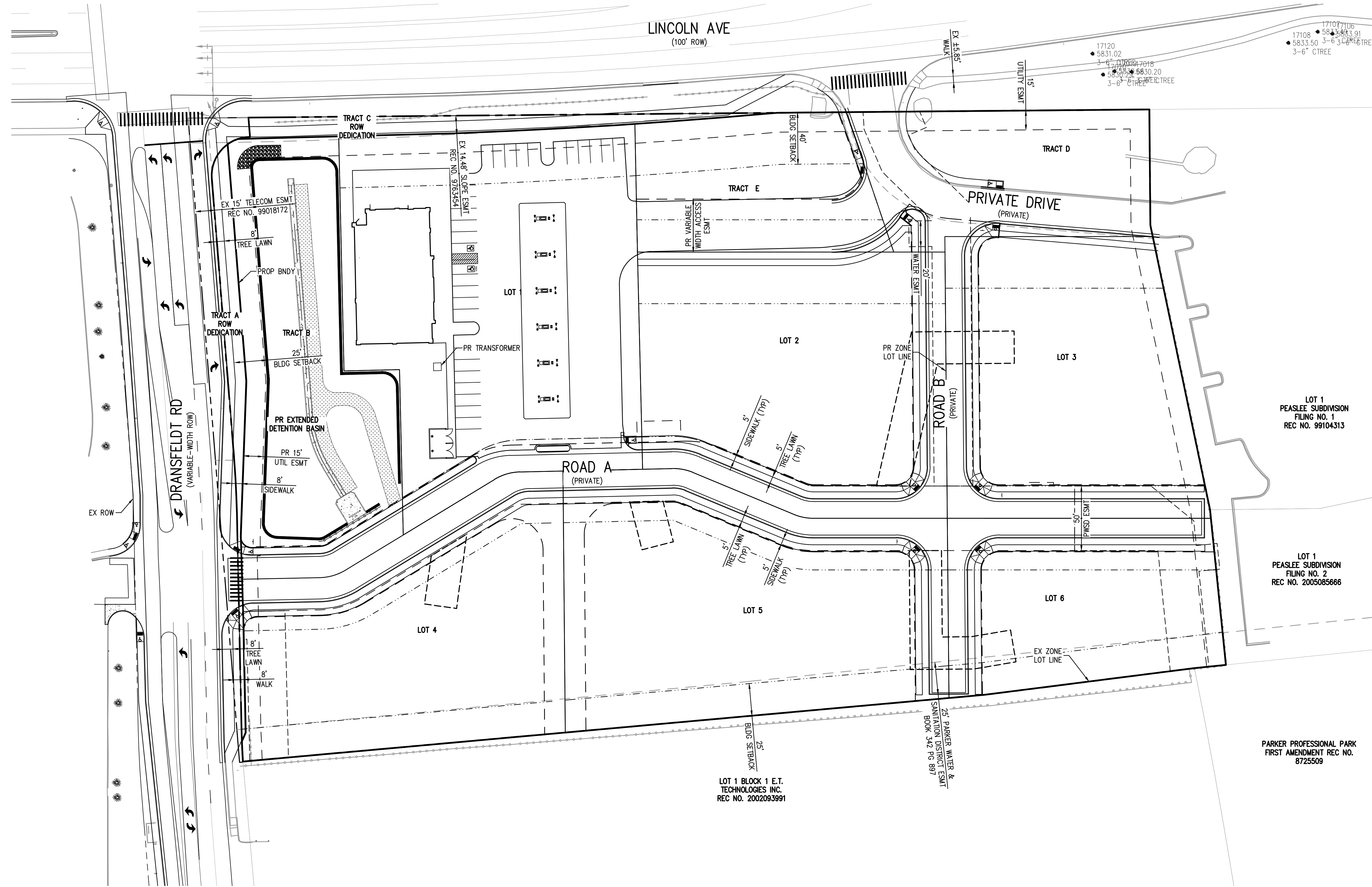
Know what's below.  
Call before you dig.



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Printed: THU 01/19/23 10:37:56A By: Olivia McCracken

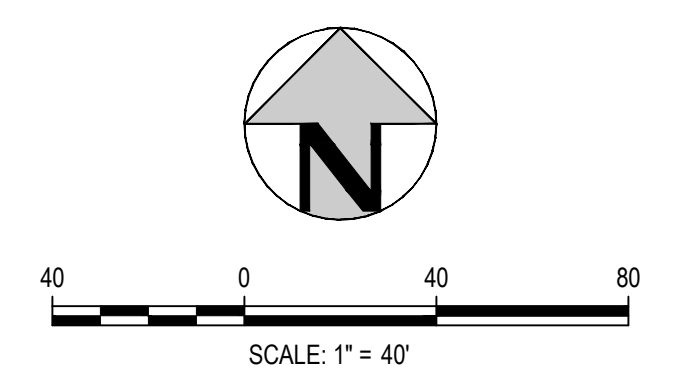
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LOT 1  
PEASLEE SUBDIVISION  
FILING NO. 1  
REC NO. 99104313

LOT 1  
PEASLEE SUBDIVISION  
FILING NO. 2  
REC NO. 2005085666

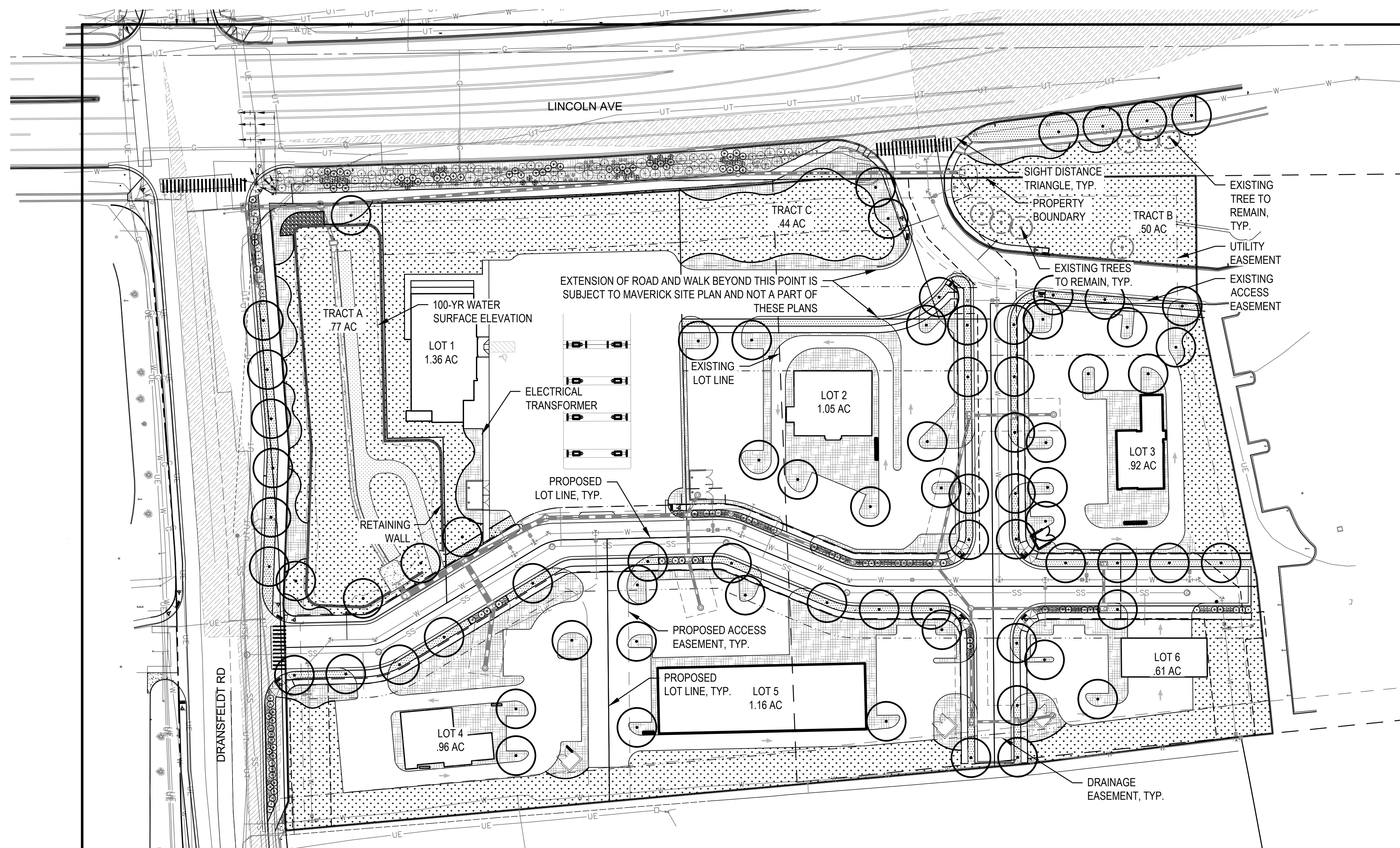
PARKER PROFESSIONAL PARK  
FIRST AMENDMENT REC NO.  
8725509

LOT 1 BLOCK 1 E.T.  
TECHNOLOGIES INC.  
REC NO. 2002093991

PROJECT #: 200829

# LINCOLN PROFESSIONAL PARK FILING NO.1 PRELIMINARY SITE PLAN

SITUATED IN THE NORTHWEST 1/4 OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE  
66 WEST OF THE 6TH P.M., COUNTY OF DOUGLAS, STATE OF COLORADO.



## GENERAL LANDSCAPE NOTES

- THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AND SPECIFICATIONS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC QUANTITIES TAKES PRECEDENCE OVER WRITTEN QUANTITIES.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
- THE OWNER'S REPRESENTATIVE MAY ELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION, AVAILABILITY, OR TO ENHANCE SPECIFIC AREAS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE PRIOR TO PURCHASING, SHIPPING OR STOCKING OF PLANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE FOR APPROVAL IF ADDITIONAL COST IS REQUESTED BY THE CONTRACTOR PRIOR TO INSTALLATION. RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES.
- THE CONTRACTOR SHALL WARRANT ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS.
- REFER TO IRRIGATION PLANS FOR LIMITS AND TYPES OF IRRIGATION DESIGNED FOR THE LANDSCAPE. IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM DISTANCE FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATION DISTRIBUTION LINES, HEADS AND EMITTERS SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT.
- LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENED TO A DEPTH OF 8" - 12" AND AMENDED PER SPECIFICATIONS.
- ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT 5 cu.yds/1,000sf OR AS NOTED IN THE TECHNICAL SPECIFICATIONS.
- TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
- THE CENTER OF EVERGREEN TREES SHALL NOT BE PLACED CLOSER THAN 8' AND THE CENTER OF ORNAMENTAL TREES CLOSER THAN 6' FROM A SIDEWALK, STREET OR DRIVE LANE. EVERGREEN TREES SHALL NOT BE LOCATED ANY CLOSER THAN 15' FROM IRRIGATION ROTOR HEADS. NOTIFY OWNER'S REPRESENTATIVE IF TREE LOCATIONS CONFLICT WITH THESE STANDARDS FOR FURTHER DIRECTION.
- ALL EVERGREEN TREES SHALL BE FULLY BRANCHED TO THE GROUND AND SHALL NOT EXHIBIT SIGNS OF ACCELERATED GROWTH AS DETERMINED BY THE OWNER'S REPRESENTATIVE.
- ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A PERIOD OF 1 YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 1 YEAR FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
- ALL TREES INSTALLED ABOVE RETAINING WALLS UTILIZING GEO-GRID MUST BE HAND DUG TO PROTECT GEO-GRID. IF GEO-GRID MUST BE CUT TO INSTALL TREES, APPROVAL MUST BE GIVEN BY OWNER'S REPRESENTATIVE PRIOR TO DOING WORK.
- ALL TREES IN SEED OR TURF AREAS SHALL RECEIVE MULCH RINGS. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY TREES THAT WILL NOT BE MULCHED FOR EXCESSIVE MOISTURE REASONS.
- SHRUB, GROUNDCOVER AND PERENNIAL BEDS ARE TO BE CONTAINED BY 4" x 14 GAUGE BROWN, ROLL TOP, INTERLOCKING TYPE EDGER, RYERSON OR EQUAL. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, WALKS OR SOLID FENCES WITHIN 3' OF PRE-MULCHED FINAL GRADE. EDGER SHALL NOT BE REQUIRED TO SEPARATE WALK TYPES UNLESS SPECIFIED ON THE PLANS.
- ALL SHRUB BEDS ARE TO BE MULCHED WITH MIN. 3" DEPTH, SHREDDED CEDAR GORILLA HAIR LANDSCAPE MULCH OVER SPECIFIED GEOTEXTILE WEED CONTROL FABRIC. ALL GROUND COVER AND PERENNIAL FLOWER BEDS SHALL BE MULCHED WITH 3" DEPTH, SHREDDED CEDAR GORILLA HAIR LANDSCAPE MULCH. NO WEED CONTROL FABRIC IS REQUIRED IN GROUNDCOVER OR PERENNIAL AREAS.
- AT SEED AREA BOUNDARIES ADJACENT TO EXISTING NATIVE AREAS, OVERLAP ADJUTING NATIVE AREAS BY THE FULL WIDTH OF THE SEEDER.
- EXISTING TURF AREAS THAT ARE DISTURBED DURING CONSTRUCTION, ESTABLISHMENT AND THE MAINTENANCE PERIOD SHALL BE RESTORED WITH NEW SOD TO MATCH EXISTING TURF SPECIES. DISTURBED NATIVE AREAS WHICH ARE TO REMAIN SHALL BE OVER SEEDDED AND RESTORED WITH SPECIFIED SEED MIX.
- CONTRACTOR SHALL OVER SEED ALL MAINTENANCE OR SERVICE ACCESS BENCHES AND ROADS WITH SPECIFIED SEED MIX UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL SEEDED SLOPES EXCEEDING 25% IN GRADE (4:1) SHALL RECEIVE EROSION CONTROL BLANKETS. PRIOR TO INSTALLATION, NOTIFY OWNER'S REPRESENTATIVE FOR APPROVAL OF LOCATION AND ANY ADDITIONAL COST IF A CHANGE ORDER IS NECESSARY.
- WHEN COMPLETE, ALL GRADES SHALL BE WITHIN +/- 1/8" OF FINISHED GRADES AS SHOWN ON THE PLANS.
- SOFT SURFACE TRAILS NEXT TO MANICURED TURF OR SHRUB BEDS SHALL BE CONTAINED WITH 4" x 14 GAUGE BROWN ROLL TOP EDGER, RYERSON OR EQUAL.
- PLANT MATERIAL WITHIN PLANTER POTS SHALL BE PER OWNER. IRRIGATION FOR PLANTER POTS TO BE ON SEPARATE ZONE(S). CONTRACTOR TO COORDINATE PLACEMENT OF NECESSARY SLEEVING PRIOR TO PLACEMENT OF PAVEMENT.
- PRIOR TO THE PLACEMENT OF MULCH AND WEED FABRIC, A GRANULAR, PRE-EMERGENT, WEED CONTROL AGENT SHALL BE ADDED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION, EXCEPT AROUND ORNAMENTAL GRASSES.
- THE CONTRACTOR IS EXPECTED TO KNOW AND UNDERSTAND THE CITY AND COUNTY SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION. IN CASES OF DISCREPANCIES THE HIGHER OF THE TWO STANDARDS SHALL HAVE PRECEDENCE.
- THE DEVELOPER, HIS SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL IMPROVEMENTS SHOWN OR INDICATED ON THE APPROVED LANDSCAPE PLAN ON FILE IN THE PLANNING DEPARTMENT.

## CONCEPT PLANT SCHEDULE LIST

Symbol	Description	Quantity/SF
	DECIDUOUS TREE	76
	EXISTING TREE TO REMAIN	7
	EVERGREEN SHRUBS	98
	DECIDUOUS SHRUBS	162
	ORNAMENTAL GRASSES	131
	NATIVE SEED	91,641 SF
	IRRIGATED SOD	6,667 SF
	PLANTING BED	45,390 SF

## LANDSCAPE REQUIREMENTS

Area	Area	Required (15%)	Provided
LOT 1	59,066 SF	8,860 SF	17,434 SF
LOT 2	45,832 SF	6,875 SF	11,733 SF
LOT 3	39,931 SF	5,990 SF	14,182 SF
LOT 4	41,679 SF	6,252 SF	18,369 SF
LOT 5	50,672 SF	7,601 SF	16,518 SF
LOT 6	26,592 SF	3,989 SF	11,364 SF
TRACT A	33,467 SF	5,020 SF	24,842 SF
TRACT B	21,843 SF	3,276 SF	16,712 SF
TRACT C	19,069 SF	2,860 SF	11,393 SF

NOTE: AREA TAKEOFFS DO NOT INCLUDE AREAS WITHIN RIGHT OF WAY TREE LAWNS.

## NOTES

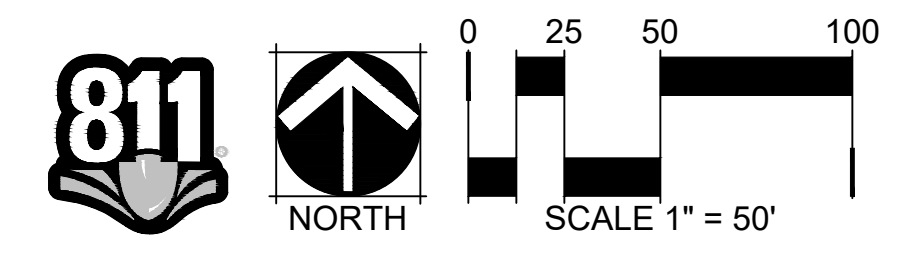
NO SUBSTANTIAL CHANGE FROM THE APPROVED LANDSCAPE PLAN MAY OCCUR WITHOUT PRIOR REVIEW OF THE PARKER WATER AND SANITATION DISTRICT, WHICH MAY REQUIRE ADDITIONAL IRRIGATION TAPS DUE TO MORE WATER INTENSIVE LANDSCAPING DESIGN SHOWN IS CONCEPTUAL. FINAL DESIGN WILL BE DETERMINED AT TIME OF FINAL SITE PLAN APPROVAL.

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PROJECT # 200823

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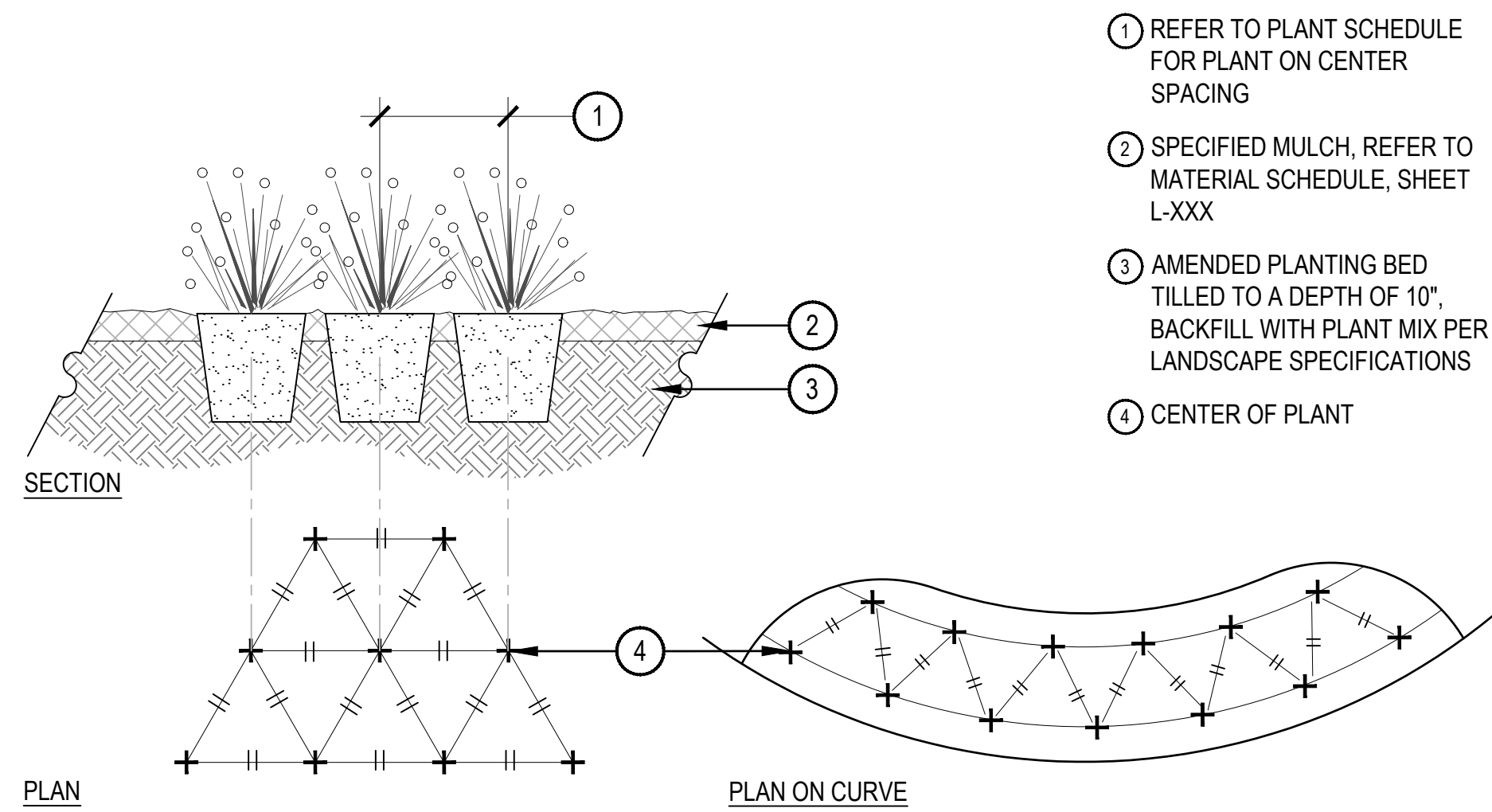
LENGTH P PLAZA STREET PARTNERS - LINCOLN DRANSFELDT - 1184-01-31-18-DRAWINGS/SUBMITTALS/BASE PLAZASST.PLAN.SP.DWG. Layout SITE PLAN  
PLOT: WED 01/18/23 12:27:39P By: Carl Rupp



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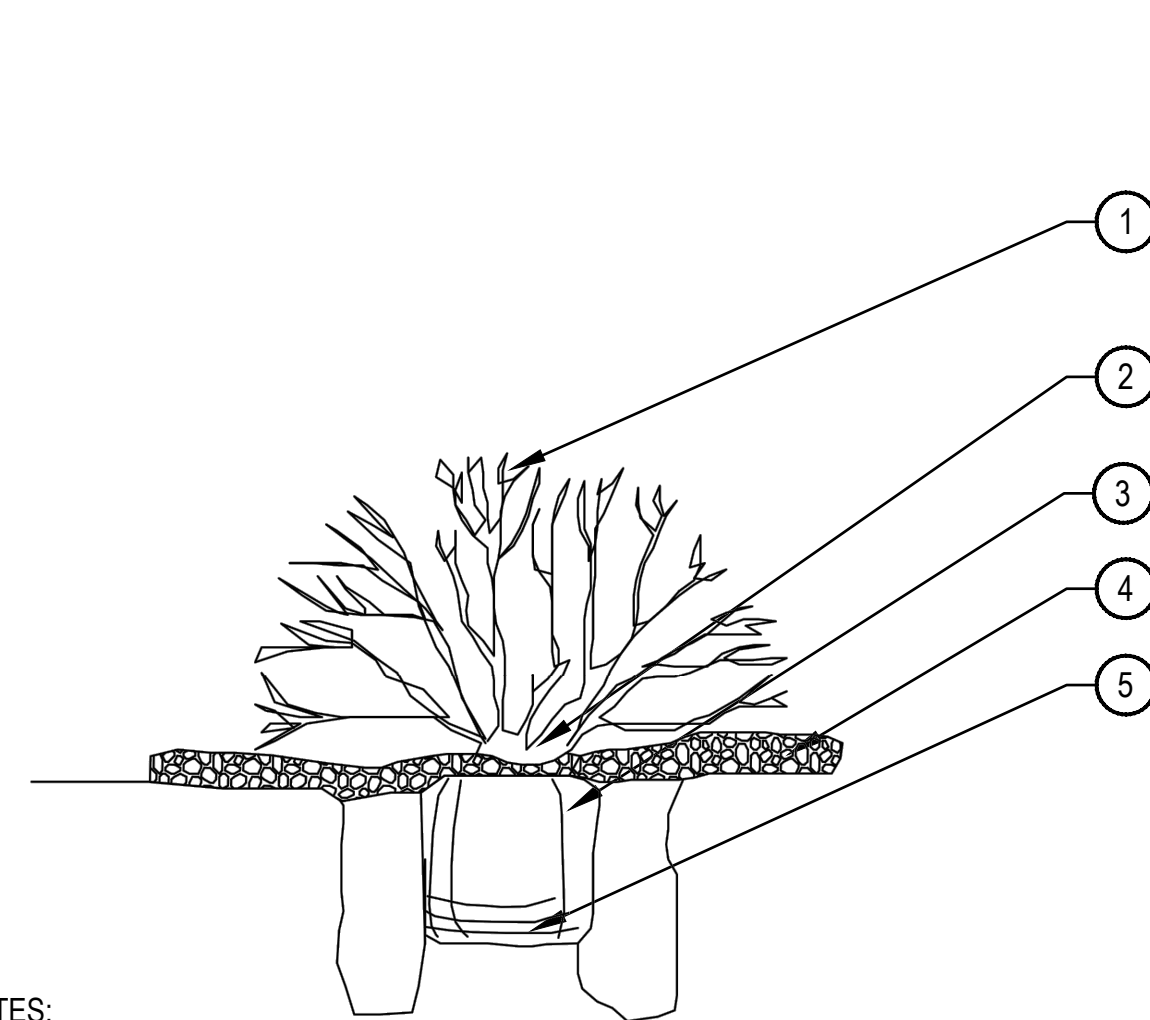


- ① REFER TO PLANT SCHEDULE FOR PLANT ON CENTER SPACING
- ② SPECIFIED MULCH, REFER TO MATERIAL SCHEDULE, SHEET L-XXX
- ③ AMENDED PLANTING BED TILLED TO A DEPTH OF 10", BACKFILL WITH PLANT MIX PER LANDSCAPE SPECIFICATIONS
- ④ CENTER OF PLANT

NOTES:  
1. WHEN PLANTED ON A CURVE, ORIENT ROWS TO FOLLOW THE LONG AXIS OF AREAS WHERE PLANTS ARE MASSED.

## 1 ORNAMENTAL GRASS AND PERENNIAL PLANT LAYOUT

SCALE: 1" = 1'-0"

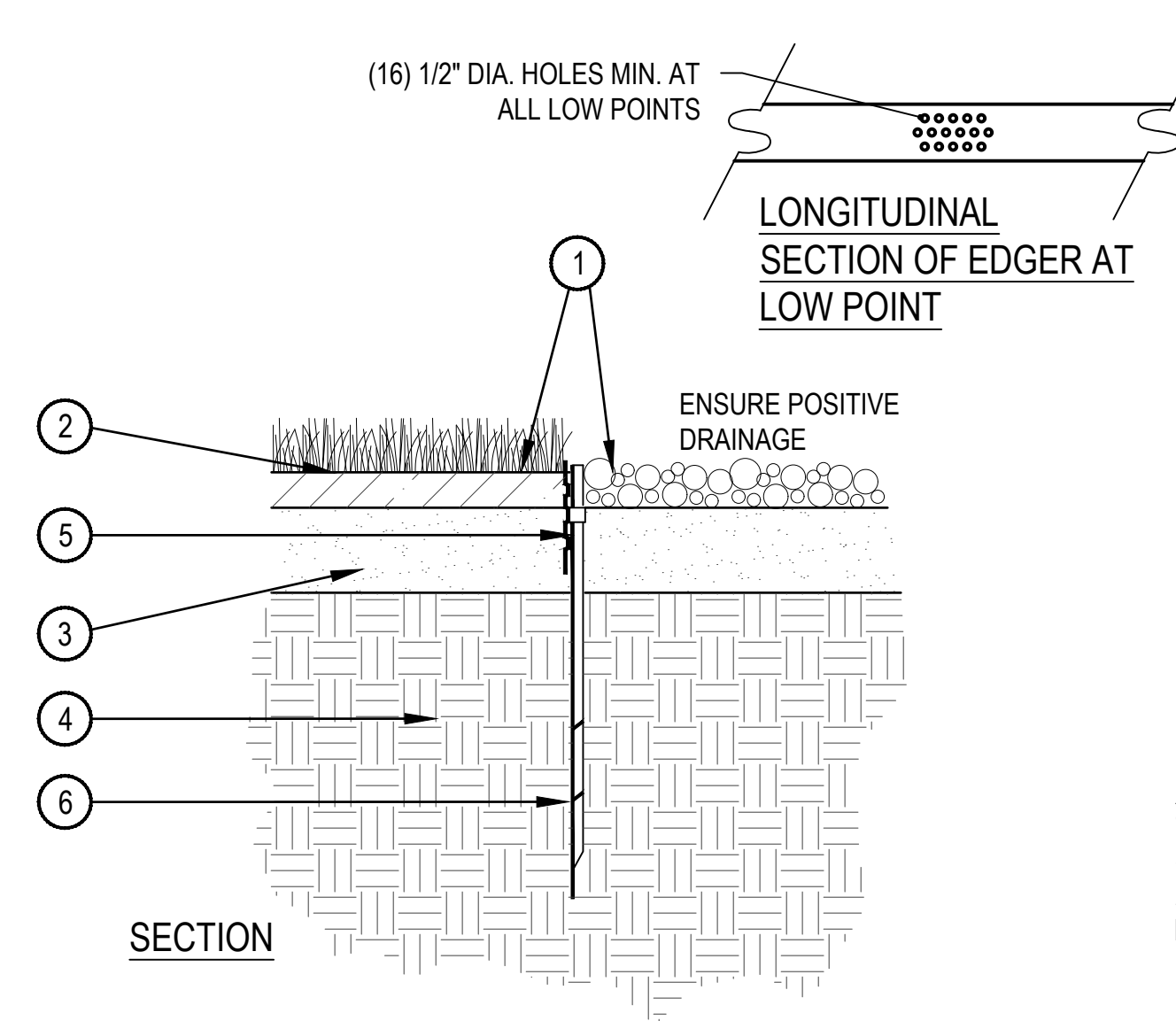


- ① PRUNE DAMAGED OR DEAD WOOD PRIOR TO PLANTING
- ② PLANT SHRUB 2" HIGHER THAN ORIGINAL GROWN GRADE
- ③ DIG PIT TWICE AS WIDE AS THE CONTAINER
- ④ APPLY 2"-4" SPECIFIED MULCH AS SHOWN
- ⑤ LOOSEN OR SCORE SIDES OF ROTBALL

NOTES:  
1. PLANTING TO CONFORM TO ALL TOWN OF PARKER STANDARDS, REFER TO PUBLIC WORKS TECHNICAL REFERENCE MANUAL  
2. BACKFILL AND WATER-IN THOROUGHLY  
3. BROKEN ROOTBALLS WILL BE REJECTED

## 2 TOWN OF PARKER SHRUB PLANTING

NOT TO SCALE

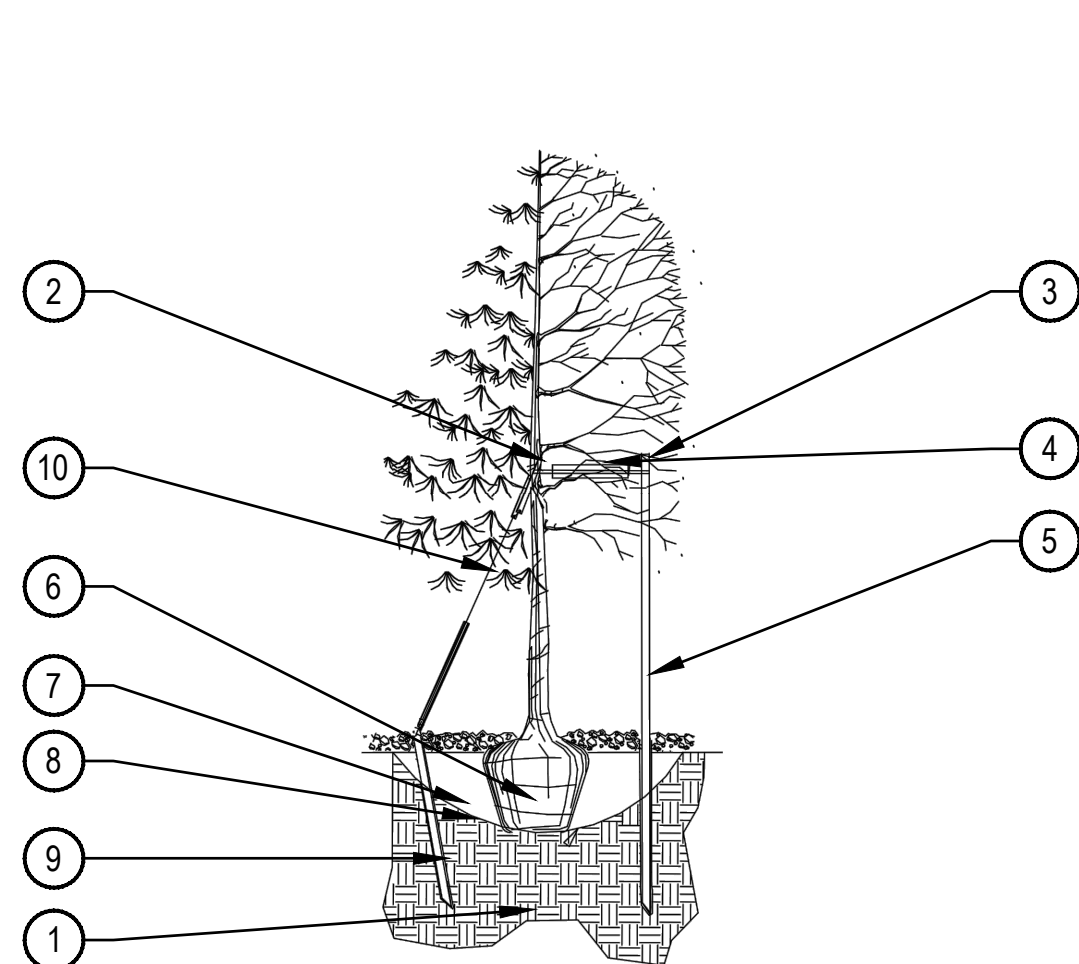


- ① FINISHED GRADE - TOP OF SOD THATCH LAYER AND TOP OF MULCH OR CRUSHER FINES SHALL BE FLUSH WITH TOP OF EDGER
- ② TURF THATCH
- ③ AMENDED SOIL PER SPECIFICATIONS
- ④ SUBGRADE
- ⑤ STEEL EDGER - DRILL (16) 1/2" DIA. HOLES 1" O.C. MIN. AT ALL LOW POINTS OR POORLY DRAINING AREAS IN ORDER TO ENSURE ADEQUATE DRAINAGE
- ⑥ EDGER STAKE

NOTES:  
1. THERE SHALL BE NO EXPOSED SHARP / JAGGED EDGES.  
2. CONTRACTOR SHALL INSTALL STAKES AS REQUIRED BY THE MANUFACTURER.

## 3 STEEL EDGER

SCALE: 1" = 1'-0"



- ① ROOTBALL SITTING DIRECTLY ON TOP OF UNDISTURBED SOIL
- ② USE GROMMETED TREE STRAPS AT END OF WIRE
- ③ 12 GAUGE GALVANIZED WIRE
- ④ 24" X 3/4" P.V.C. MARKERS (TYPICAL) OVER WIRES
- ⑤ TREATED WOOD POST USE 2 GUY ASSEMBLIES FOR TREES UNDER 3"
- ⑥ ROOT COLLAR VISIBLE TOP MOST ROOTS WITHIN 1"-2" OF EXISTING FINAL GRADE
- ⑦ 2"-4" OF ORGANIC MULCH APPLIED OVER PLANTING AREA AND AWAY FROM TRUNK
- ⑧ EXISTING GRADE
- ⑨ BACKFILL WITH UNAMENDED TOPSOIL FROM HOLE
- ⑩ USE 3 GUY ASSEMBLIES FOR EVERGREENS AND TREE OVER 3" CAL.

NOTES:  
1. PLANTING TO CONFORM TO ALL TOWN OF PARKER STANDARDS, REFER TO PUBLIC WORKS TECHNICAL REFERENCE MANUAL

## 4 TOWN OF PARKER TREE PLANTING

NOT TO SCALE

### LANDSCAPE TREE CALCULATIONS

ROAD NAME	LENGTH	REQUIRED	PROVIDED
LINCOLN AVENUE	575'	14	4*
DRANSFELDT ROAD	392'	10	6*
INTERNAL NORTH/SOUTH (EAST SIDE)	145'	4	8
INTERNAL NORTH/SOUTH (WEST SIDE)	171'	5	5
INTERNAL EAST/WEST (NORTH SIDE)	327'	8	4*
INTERNAL EAST/WEST (SOUTH SIDE)	431'	11	11
NE INTERNAL ROAD (SOUTH SIDE)	108'	3	5
TRACT C ROAD	21'	1	1**

NOTES:  
1. ROAD LENGTH CALCULATIONS FOR INTERNAL STREETS EXCLUDE RADII AT ALL LOT ENTRANCES (CURRENTLY PROPOSED AND FUTURE) AND INTERSECTIONS. IN AREAS WHERE TREES CANNOT BE PLACED DUE TO UTILITY CONFLICTS SHRUBS AND ORNAMENTAL GRASSES HAVE BEEN PROVIDED IN ACCORDANCE WITH TOWN CODE AT A RATIO OF 10 SHRUBS (5 GAL CONTAINER SIZE) PER TREE, WITH 3 ORNAMENTAL GRASSES (1 GAL CONTAINER SIZE) COUNTING AS 1 SHRUB.  
2. INTERNAL EAST/WEST ROAD CALCULATION DOES NOT INCLUDE SIDE OF ROAD ADJACENT TO LOT 1 UTILIZING AN ATTACHED WALK CONDITION.  
\*\* REMAINING PORTION OF ROAD INTO LOT 1 IS SUBJECT TO MAVERICK PROPERTY SITE PLAN AND NOT A PART OF THIS MASTER LANDSCAPE PLAN.

### \* SHRUB CALCULATIONS

ROAD NAME	TREE DEFICIT	SHRUBS REQUIRED	SHRUBS PROVIDED	ORNAMENTAL GRASSES PROVIDED	TOTAL PROVIDED
LINCOLN AVENUE	10	100	113	62 (20 SHRUB EQUIVALENTS)	133
DRANSFELDT ROAD	4	40	35	15 (5 SHRUB EQUIVALENTS)	40
INTERNAL EAST/WEST (NORTH SIDE)	4	40	50	31 (10 SHRUB EQUIVALENTS)	60

Planned by PLAZA STREET PARTNERS - LINCOLN DRANSFELDT - 1154-01-31-18-DRAWINGS/SUBMITTALS/BRIDGE-PLAZASST/PLAN/SP/DWG/Layout\_Details  
Planned by PLAZA STREET PARTNERS - LINCOLN DRANSFELDT - 1154-01-31-18-DRAWINGS/SUBMITTALS/BRIDGE-PLAZASST/PLAN/SP/DWG/Layout\_Details  
Planned by PLAZA STREET PARTNERS - LINCOLN DRANSFELDT - 1154-01-31-18-DRAWINGS/SUBMITTALS/BRIDGE-PLAZASST/PLAN/SP/DWG/Layout\_Details

PROJECT #: 200823

REVISION DATE:

ISSUE DATE: 01-18-2023

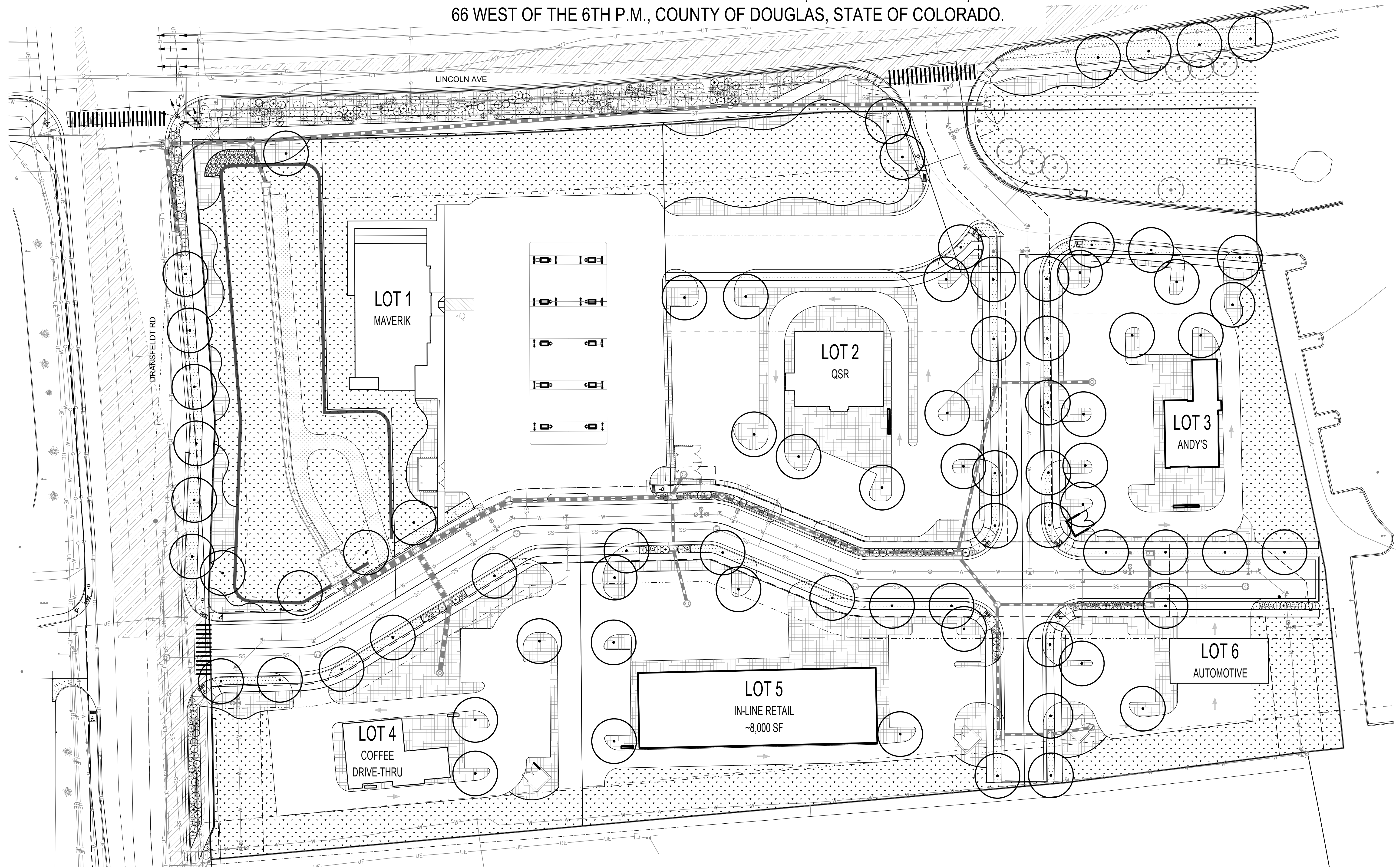
LANDSCAPE DETAILS

SHEET 4 OF 5

LINCOLN PROFESSIONAL PARK

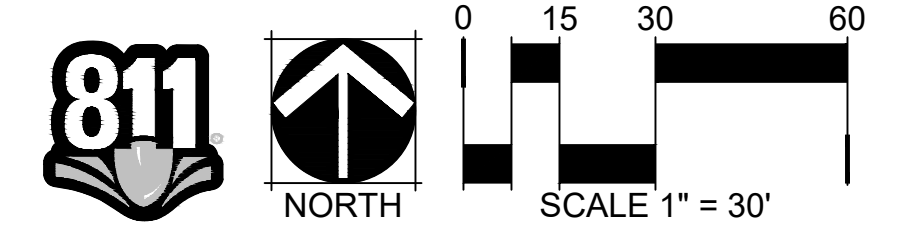
# LINCOLN PROFESSIONAL PARK FILING NO.1 PRELIMINARY SITE PLAN

SITUATED IN THE NORTHWEST 1/4 OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE  
66 WEST OF THE 6TH P.M., COUNTY OF DOUGLAS, STATE OF COLORADO.



NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF HARRIS KOEHLER SMITH

811 STREET PARTNERS - LINCOLN DRANSFELDT - 1184-01-31-18 DRAWING SUBMITTAL SBASE PLAZASIT PLAN SP DWG. Layout, COMMERCIAL CONCEPT PLAN  
Project: WED 01/18/23 6:27:48P By: Carl Rupp



PROJECT # 200929