



## Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

### MEMORANDUM

**TO:** Ryanne Sass, Plaza Street Partners  
**FROM:** Stacey Nerger, Senior Planner  
**DATE:** January 3, 2022  
**SUBJECT:** Lincoln Professional Park – Preliminary Site Plan  
Review Comments 02

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

**TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER:** Stacey Nerger  
**EMAIL:** [snerger@parkeronline.org](mailto:snerger@parkeronline.org)  
**PHONE:** 303.805.3199

#### GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at:  
[Parker 2035 Master Plan](#)  
[Development Design Standards](#)  
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKiT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not refer the application out with this naming convention.
  - a. Example: "03 Preliminary Site Plan"

## General Comments

1. Please see the attached redlines for additional information.

Comment Addressed:  Yes  No

Response:

2. Please include a cover page that includes the overall project details. See redlines for more information.

Comment Addressed:  Yes  No

Response:

3. The Lincoln Professional Park Annexation Agreement requires improvements to both Dransfeldt Road and Lincoln Avenue. Additional sidewalk and streetscape requirements have been identified on the redlines. The sidewalk along Dransfeldt Road will need to include an 8-foot tree lawn and 5-foot detached sidewalk to meet the Major Collector Roadway requirements. Please show this on your plans.

Comment Addressed:  Yes  No

Response:

4. Please show the required setbacks for each lot based on the C-Commercial Zone District standards. See redlines for the different setbacks that will apply to each lot.

Comment Addressed:  Yes  No

Response:

5. For lots where you are not sure what use will be built, please include a conceptual plan that shows the minimum landscaping, building area and parking needed. This will also help to demonstrate that the lot sizes proposed are sufficient for commercial use. Something similar to what is shown for Lot 3 would be perfect.

Comment Addressed:  Yes  No

Response:

6. Staff has included a recently approved Preliminary Site Plan for a similar project for your reference in what is needed.

Comment Addressed:  Yes  No

Response:

### Parking

1. Please submit a parking breakdown of what the highest and best use for the property could be. Please ensure that the proposed parking meets the requirements outlined within Section 13.06.050.

Comment Addressed:  Yes  No

Response:

### Landscape Plan

1. Pursuant to Section 13.16.020 (c) (5) Preliminary Landscape Plan. Each request for preliminary site plan approval shall be accompanied by a preliminary landscape plan prepared by a qualified professional. An electronic copy of the proposed preliminary landscape plan shall be submitted to the Planning Department with the preliminary site plan submittal. The preliminary landscape plan shall identify landscape screening, buffers, berms and retaining walls, dedication areas, and general planting materials with tree symbols. A plan note shall also be required and notated as "Design shown is conceptual. Final design will be determined at time of Final Site Plan approval". Review of the preliminary landscape plan will be simultaneous with that of the preliminary site plan. Please submit a preliminary landscape plan that shows the following:

- a. Landscaping required as part of the Minor Development Plat (grayed back)
- b. Each proposed lot can accommodate the required 15% landscaping.

Please see the example PSP for what this should look like. In addition, please see the Planning Comments 1<sup>st</sup> Referral Memo for the different requirements.

Comment Addressed:  Yes  No

Response:

## OUTSIDE REFERRAL AGENCY COMMENTS

1. Please address all outside referral agency comments with a written response. The following agencies have provided comments for review for the Annexation Application:
  - Fire Life Safety
  - IREA
  - Parker Authority for Reinvestment (PAR)

These comments are available on eTRAKiT. Please address accordingly.

Comment(s) Addressed:  Yes  No

Response:

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Property Owner

---

Date

---

Project Representative

---

Date



# PARKER AND PINE PRELIMINARY SITE PLAN

PARKER AND PINE FILING 1

A PART OF THE SOUTHEAST QUARTER OF SECTION 9 AND A PART OF THE  
NORTHEAST QUARTER OF SECTION 16 TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE  
6TH P.M. TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

## LEGAL DESCRIPTION

PARKER AND PINE FILING 1, COUNTY OF DOUGLAS, STATE OF COLORADO.

## BENCHMARK

A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN. CULVERT, 25 FEET WEST OF THE WEST EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.

ELEVATION = 5734.25 FEET (NAVD 1988), AS PUBLISHED BY DOUGLAS COUNTY.

## BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE BASED UPON THE WEST LINE OF THE SW ¼ OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST, OF THE 6TH PRINCIPAL MERIDIAN BEARING S00°17'51"W AS REFERENCED ON THE PLAT OF PARKER AUTO PLAZA FILING NO.1 AND BOUND BY THE MONUMENTS SHOWN HEREON.

## FLOODPLAIN NOTE

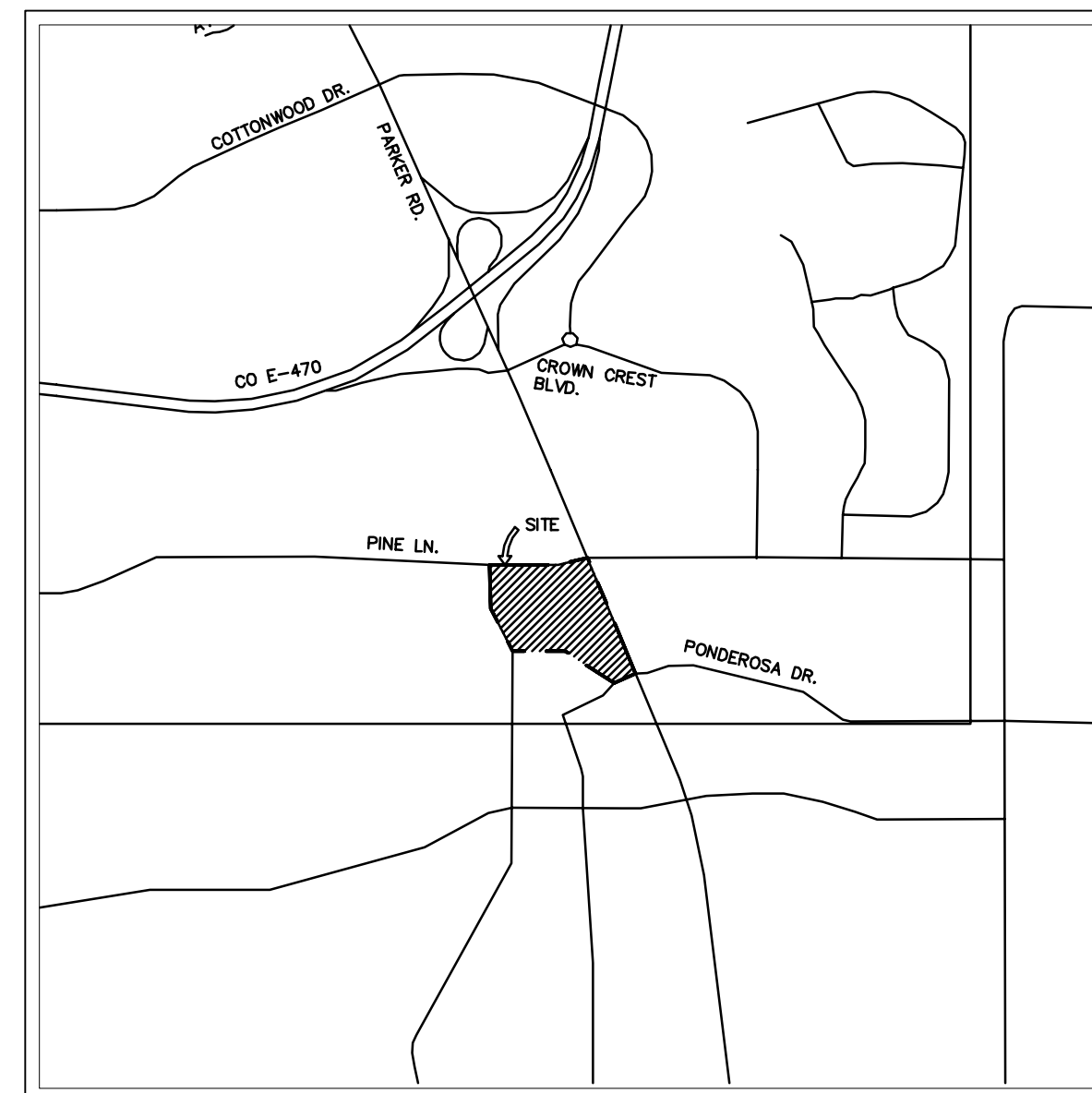
BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 08035C0067G AND DATED MARCH 16, 2016 - SUBJECT PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.

## SITE DATA TABLE

PARCEL	LOT/TRACT GROSS AREA (AC)	LOT/TRACT GROSS AREA (SF)	BUILDING AREA (SF)	F.A.R. (0.35 MAX)	ANTICIPATED USE	PARKING		MAX. BUILDING HEIGHT	MIN. BUILDING SETBACKS			LOT WIDTH (FT)	
						REQUIRED	PROVIDED		FRONT	REAR	SIDE	REQUIRED	PROVIDED
LOT 1	1.87	81,637	17,000	0.21	RETAIL	57	53	35'	25	25	25	120	358
LOT 2	1.09	47,544	2,830	0.06	FUEL	10	11	35'	25	25	25	120	146
LOT 3	0.87	37,998	3,480	0.09	FAST FOOD	42	42	35'	25	25	25	120	170
LOT 4	1.84	79,940	5,380	0.07	CAR WASH	5	41	35'	25	25	25	120	375
LOT 5	0.87	38,082	2,042	0.05	FAST FOOD	26	33	35'	25	25	25	120	173
LOT 6	1.38	60,131	12,723	0.21	DAYCARE	38	39	35'	25	25	25	120	290
LOT 7	8.02	349,536							25	25	25	120	301
<b>TOTAL</b>	<b>15.95</b>	<b>694,868</b>	<b>43,455</b>	<b>0.06</b>		<b>178</b>	<b>219</b>						

### NOTES:

1. REQUIRED PARKING FOR OFFICE/SHOPPING CENTER IS 1 PER 300 GSF
2. REQUIRED PARKING FOR FAST FOOD IS 1 PER 3 PERSON CAPACITY
3. REQUIRED PARKING FOR DAYCARE IS 1 PER 4 CHILDREN
4. REQUIRED PARKING FOR CARWASH IS 1 + 1 PER STAFF



VICINITY MAP  
1"=2,000'

## SHEET INDEX

01 OF 06	COVER SHEET
02 OF 06	EXISTING CONDITIONS
03 OF 06	SITE PLAN
04 OF 06	UTILITY PLAN
05 OF 06	GRADING PLAN
06 OF 06	LANDSCAPE PLAN

## CONTACTS:

**DEVELOPER:**  
EVT PARKER COLORADO, LLC  
C/O: EISENBERG COMPANY, INC.  
2710 E. CAMELBACK ROAD, SUITE 210  
PHOENIX, AZ 85016  
TEL: (602) 468-6100  
CONTACT: RYAN AMATO

**ENGINEER:**  
KIMLEY-HORN AND ASSOCIATES, INC.  
4582 SOUTH ULSTER STREET, SUITE 1500  
DENVER, CO 80237  
TEL: (303) 228-2318  
CONTACT: DAN SKEEHAN

**LANDSCAPE ARCHITECT:**  
KIMLEY-HORN AND ASSOCIATES, INC.  
4582 SOUTH ULSTER STREET, SUITE 1500  
DENVER, CO 80237  
TEL: (303) 228-2319  
CONTACT: CHRIS HEPLER

**TELEPHONE:**  
CENTURYLINK  
1801 CALIFORNIA STREET, SUITE 240  
DENVER, CO 80202  
CONTACT: IZZY MILLER  
EMAIL: IZZY.MILLER@CENTURYLINK.COM

**GAS SERVICE:**  
XCEL ENERGY  
1800 LARIMER STREET  
DENVER, CO 80202  
CONTACT: RON JOHNSON  
EMAIL: RON.H.JOHNSON@XCELENERGY.COM

**TOWN OF PARKER:**  
TOWN OF PARKER  
20120 EAST MAIN STREET  
PARKER, CO 80138-7334  
TEL: (303) 805-3331  
CONTACT: CAROLYN PARKINSON

**ELECTRICAL SERVICE:**  
IREA  
5496 US HWY 85  
SEDALIA, CO 80135  
TEL: (303) 688-7431  
CONTACT: AMANDA STEINER

**ARCHITECT:**  
NAOS DESIGN GROUP, LLC  
4949 SOUTH SYRACUSE ST. SUITE 460  
DENVER, CO 80237  
TEL: 303-759-5777  
CONTACT: JORDAN BONICELLI

**SURVEYOR:**  
ENGINEERING SERVICE COMPANY  
1300 SOUTH POTOMAC ST. SUITE 126  
AURORA, CO 80012  
TEL: 303-337-1393  
CONTACT: CHARLES BECKSTROM, PLS

**TELEVISION:**  
COMCAST  
1601 MILE HIGH STADIUM CIRCLE  
DENVER, CO 80204  
CONTACT: DEAN FLENTHROPE  
EMAIL: DEAN\_FLENTHROPE@COMCAST.COM

**WATER/SANITARY SEWER:**  
PARKER WATER AND SANITATION DISTRICT  
18100 E. WOODMAN ROAD  
PARKER, CO 80134  
TEL: 303-841-4627  
CONTACT: DRAYTON SANDERSON

**FIRE DEPARTMENT:**  
SOUTH METRO FIRE RESCUE AUTHORITY  
9195 E. MINERAL AVE.  
CENTENNIAL, CO 80112  
TEL: (720) 989-2244  
CONTACT: CHIP KERKHOVE

**TOWN OF PARKER PLAN REVIEW:**  
20120 E. MAIN STREET  
PARKER, CO 80138  
TEL: (303) 805-3169  
CONTACT: RANDY CAPRA

## FIRE CODE REVIEW BLOCK

ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO WATER UTILITY STANDARDS. THE NUMBER AND LOCATIONS OF THE FIRE HYDRANTS AS SHOWN ON THE OVERALL UTILITY PLAN ARE CORRECT AS SPECIFIED BY THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.

FIRE CODE OFFICIAL OR DESIGNATED REPRESENTATIVE \_\_\_\_\_ DATE \_\_\_\_\_

(NOTE - UNDERGROUND FORE LINE (UFL) SUBMITTAL DOCUMENTS MUST MEET THE REQUIREMENTS OF NFPA 24 WHEN SUBMITTING FOR REVIEW)



EISENBERG COMPANY  
2710 E. CAMELBACK ROAD, SUITE 210  
PHOENIX, AZ 85016

Address:

PARKER AND PINE  
FILING 1  
COUNTY OF DOUGLASS,  
STATE OF COLORADO

Architect Information:



Naos Design Group, LLC  
4949 SOUTH SYRACUSE ST. SUITE 460  
DENVER, COLORADO 80237  
(303) 759-5777  
www.naosdg.com

## Kimley»Horn

4582 SOUTH ULSTER STREET  
SUITE 1500  
DENVER, CO 80237  
PH: 303-228-2300

**PRELIMINARY**

FOR REVIEW ONLY  
NOT FOR  
CONSTRUCTION

Kimley»Horn  
Kimley-Horn and Associates, Inc.

PRELIMINARY  
SITE PLAN

Revisions:

#	Date	Description
	05/16/2018	PLANNING SUBMITTAL
	11/30/2018	TOWN REVISION
	11/20/2019	TOWN REVISION
	03/11/2020	TOWN REVISION
	05/08/2020	TOWN REVISION

Sheet Title:

COVER SHEET

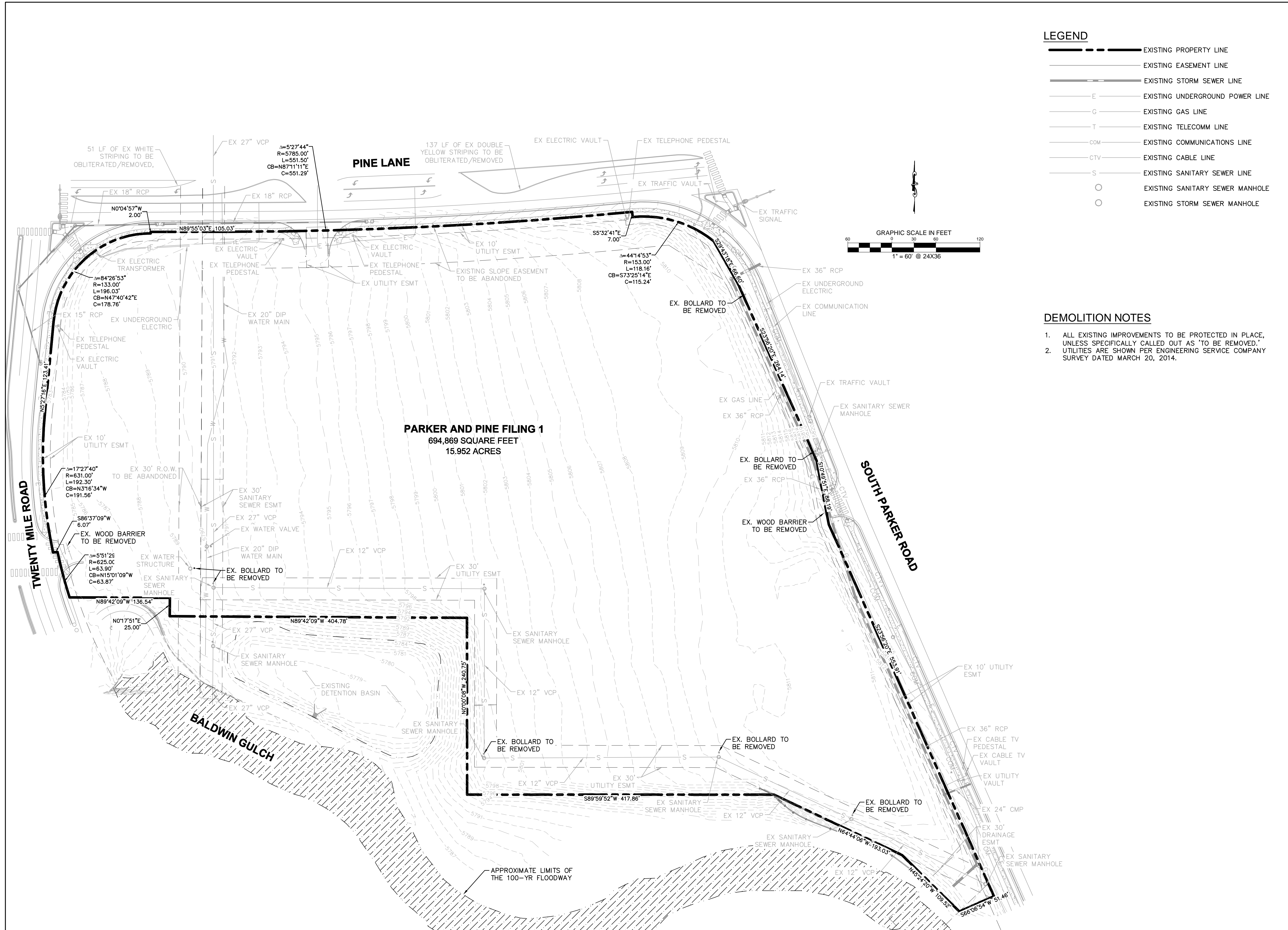
Date: 05/08/2020

Project Number: 096502001

Drawn By: JRK

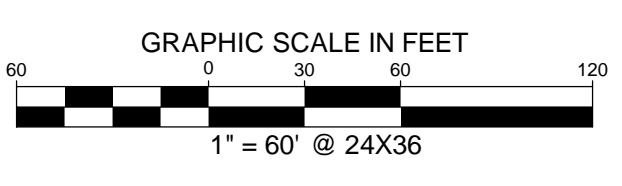
Sheet Number:

01 OF 06



**LEGEND**

---	EXISTING PROPERTY LINE
---	EXISTING EASEMENT LINE
---	EXISTING STORM SEWER LINE
---	EXISTING UNDERGROUND POWER LINE
---	EXISTING GAS LINE
---	EXISTING TELECOMM LINE
---	EXISTING COMMUNICATIONS LINE
---	EXISTING CABLE LINE
---	EXISTING SANITARY SEWER LINE
○	EXISTING SANITARY SEWER MANHOLE
○	EXISTING STORM SEWER MANHOLE



- DEMOLITION NOTES**
- ALL EXISTING IMPROVEMENTS TO BE PROTECTED IN PLACE, UNLESS SPECIFICALLY CALLED OUT AS 'TO BE REMOVED.'
  - UTILITIES ARE SHOWN PER ENGINEERING SERVICE COMPANY SURVEY DATED MARCH 20, 2014.

**Eisenberg Company**  
*Full service commercial real estate*

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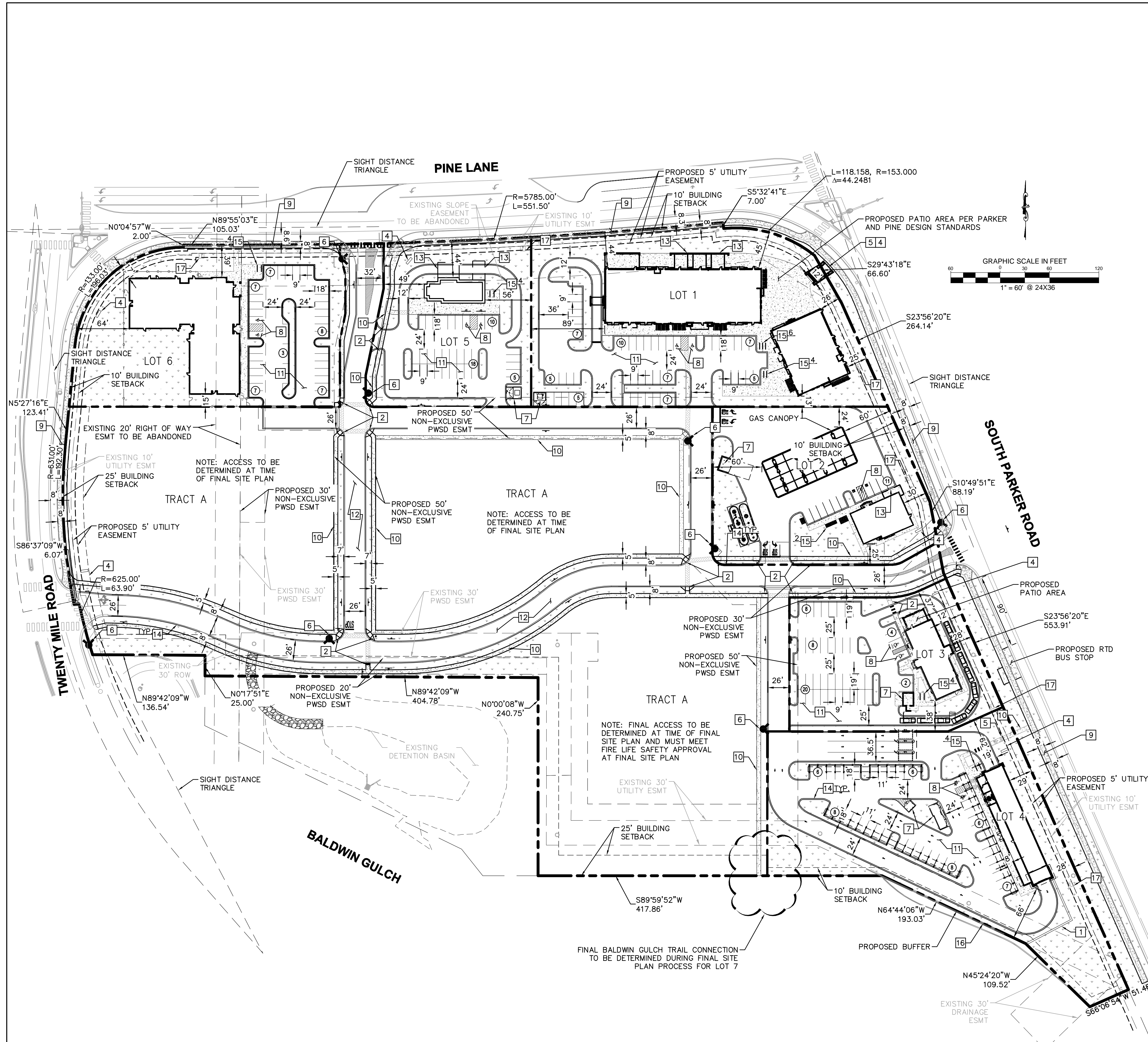
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05/08/2020	TOWN REVISION	

Sheet Title: **EXISTING  
CONDITIONS &  
DEMOLITION PLAN**  
Date: 05/08/2020  
Project Number: 096502001  
Drawn By: JRC



**LEGEND**

- PROPERTY LINE
- NUMBER OF PARKING SPACES
- ACCESSIBLE PARKING SPACES
- PROPOSED ELECTRICAL TRANSFORMER
- LANDSCAPED AREA
- HEAVY DUTY ASPHALT PAVING
- STANDARD DUTY ASPHALT PAVING
- COLORED CONCRETE
- STANDARD DUTY CONCRETE
- PROPOSED EASEMENT
- EXISTING EASEMENT
- PROPOSED CURB AND GUTTER

**KEY NOTES**

- 1 PROPOSED 3' SCREEN WALL
- 2 PROPOSED ACCESSIBLE RAMP W/ 36" DEEP DETECTABLE WARNING
- 3 PROPOSED 5' WIDE PEDESTRIAN CONNECTION.
- 4 PROPOSED MONUMENT SIGN.
- 5 PROPOSED SIDEWALK STAIRS. WIDTH PER PLAN
- 6 PROPOSED FIRE HYDRANT.
- 7 PROPOSED TRASH ENCLOSURE.
- 8 PROPOSED ADA PARKING STALLS.
- 9 PROPOSED 8' CONCRETE SIDEWALK.
- 10 PROPOSED 5' CONCRETE SIDEWALK.
- 11 PROPOSED STANDARD DUTY ASPHALT PAVING.
- 12 PROPOSED HEAVY DUTY ASPHALT PAVING.
- 13 PROPOSED BUILDING OVERHANG
- 14 PROPOSED 18" VERTICAL CURB.
- 15 PROPOSED BICYCLE PARKING.
- 16 EXISTING RETAINING WALL
- 17 PROPOSED TRANSFORMER

- NOTES:**
1. ALL LIGHTING ON-SITE, EXTERIOR, UNROOFED LIGHTING SHALL CONFORM TO THE TOWN'S LIGHTING STANDARDS.
  2. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM A PUBLIC RIGHT OF WAY. FINAL LOCATION AND SCREENING MEASURES SHALL BE DETERMINED AT TIME OF FINAL SITE PLAN.
  3. LOCATION OF TRASH RECEPTACLES SHALL BE DETERMINED AT TIME OF FINAL SITE PLAN AND BE SCREENED BY A SOLID SCREEN FENCE SURROUNDING AT LEAST 3 SIDES OF THE CONTAINER.
  4. CANOPIES AND PORTICO'S THAT ARE PROPOSED AT FINAL SITE PLAN TO MEET THE ZONING REQUIREMENTS FOR SETBACK PROXIMITY MUST BE PHYSICALLY AND ARCHITECTURALLY CONNECTED TO THE PRIMARY STRUCTURE AND MUST CREATE MEANINGFUL, ATTRACTIVE AND SIGNIFICANT ARCHITECTURAL INTEREST ALONG PARKER ROAD AND/OR PINE LANE.
  5. DESIGN SHOWN IS PRELIMINARY. FINAL ARCHITECTURE SHALL BE APPROVED AT THE TIME OF FINAL SITE PLAN APPROVAL AND IS SUBJECT TO ALL REGULATORY DOCUMENTS.
  6. ALL PARKING AND CIRCULATION REQUIREMENTS, INCLUDING BIKE AND PEDESTRIAN CIRCULATION MUST BE MET. FURTHER REQUIREMENTS MAY BE IMPOSED AT TIME OF FINAL SITE PLAN APPROVAL.
  7. ADEQUATE SCREENING, AS DETERMINED BY STAFF AT TIME OF FINAL SITE PLAN, IS REQUIRED FOR ALL LOTS ADJACENT TO PARKER ROAD.
  8. ARCHITECTURE WILL BE REQUIRED TO MEET ALL APPLICABLE REGULATIONS AND STANDARDS AT TIME OF FINAL SITE PLAN.
  9. VACUUM STATIONS WILL NOT BE ALLOWED ADJACENT TO THE PEDESTRIAN TRAIL BUT MUST BE LOCATED TO LIMIT IMPACTS TO THE TRAIL AS MUCH AS POSSIBLE AT FINAL SITE PLAN.
  10. ADEQUATE SCREENING, AS DETERMINED BY STAFF AT TIME OF FINAL SITE PLAN, IS REQUIRED FOR LOT 4 ADJACENT TO THE BALDWIN GULCH TRAIL.



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PHOENIX, AZ 85016

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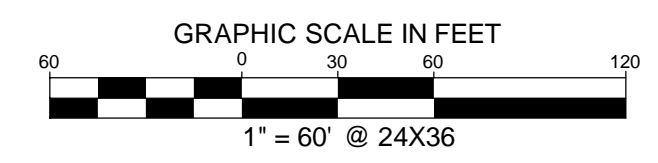
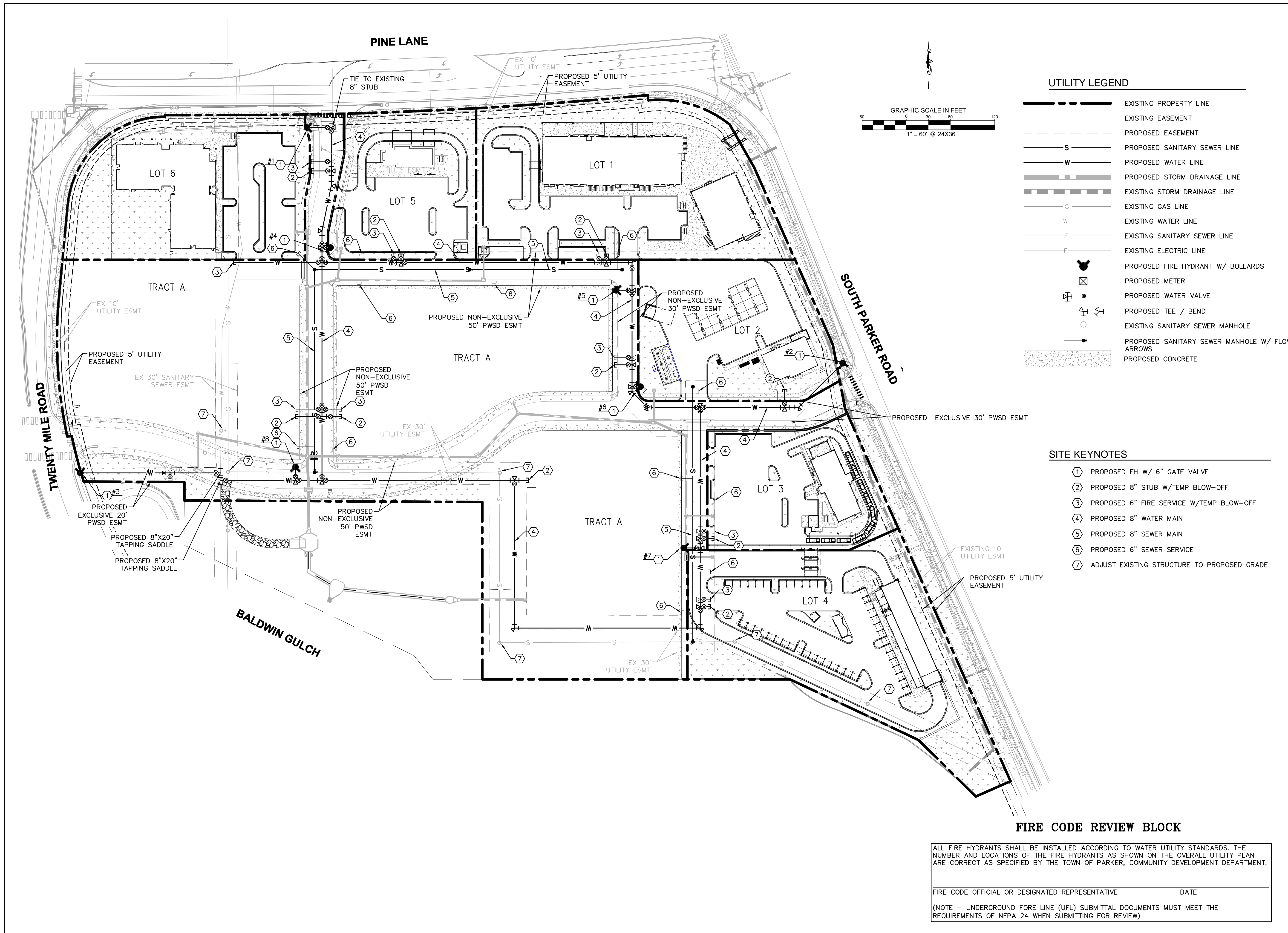
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Sheet Title:  
**PRELIMINARY SITE  
PLAN**

Date: 05/08/2020  
Project Number: 096502001  
Drawn By: JRK

Sheet Number:  
**03 OF 06**



**UTILITY LEGEND**

---	EXISTING PROPERTY LINE
- - -	EXISTING EASEMENT
- · - · -	PROPOSED EASEMENT
— S —	PROPOSED SANITARY SEWER LINE
— W —	PROPOSED WATER LINE
— S —	PROPOSED STORM DRAINAGE LINE
— S —	EXISTING STORM DRAINAGE LINE
— G —	EXISTING GAS LINE
— W —	EXISTING WATER LINE
— S —	EXISTING SANITARY SEWER LINE
— E —	EXISTING ELECTRIC LINE
⊕	PROPOSED FIRE HYDRANT W/ BOLLARDS
⊗	PROPOSED METER
⊕ ⊗	PROPOSED WATER VALVE
⊕ ⊗	PROPOSED TEE / BEND
○	EXISTING SANITARY SEWER MANHOLE
○	PROPOSED SANITARY SEWER MANHOLE W/ FLOW ARROWS
■	PROPOSED CONCRETE

**SITE KEYNOTES**

①	PROPOSED FH W/ 6" GATE VALVE
②	PROPOSED 8" STUB W/TEMP BLOW-OFF
③	PROPOSED 6" FIRE SERVICE W/TEMP BLOW-OFF
④	PROPOSED 8" WATER MAIN
⑤	PROPOSED 8" SEWER MAIN
⑥	PROPOSED 6" SEWER SERVICE
⑦	ADJUST EXISTING STRUCTURE TO PROPOSED GRADE

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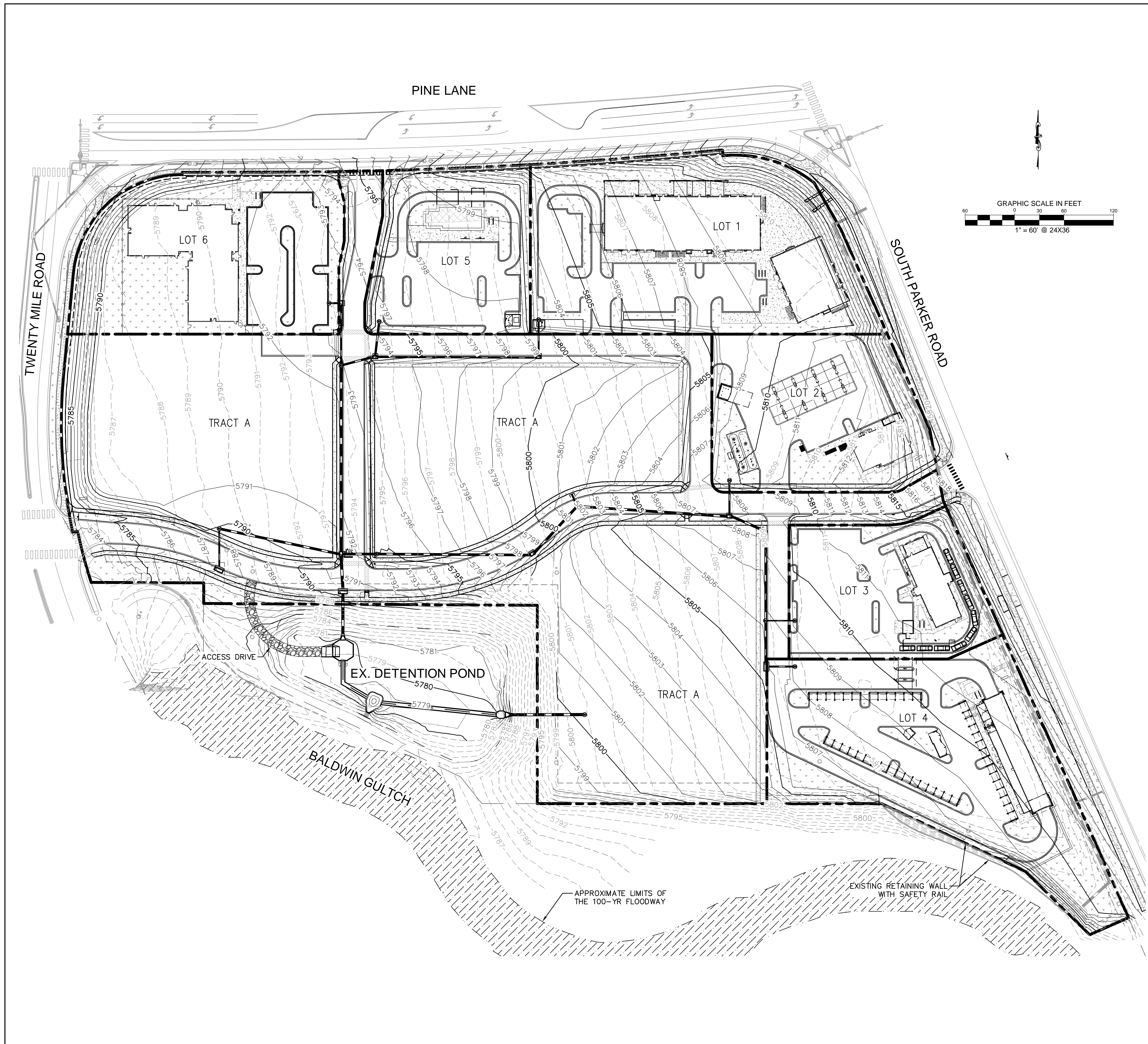
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**PRELIMINARY**  
**UTILITY PLAN**

Date: 05/08/2020  
 Project Number: 096502001  
 Drawn By: JRK



**LEGEND**

	EXISTING PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	PROPOSED STORM INLET
	PROPOSED CONCRETE

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Architect Information:  
  
 Naos Design Group, LLC  
 4949 SOUTH SYRACUSE ST. SUITE 400  
 DENVER, COLORADO 80237  
 (303) 759-5777  
 www.naosdg.com

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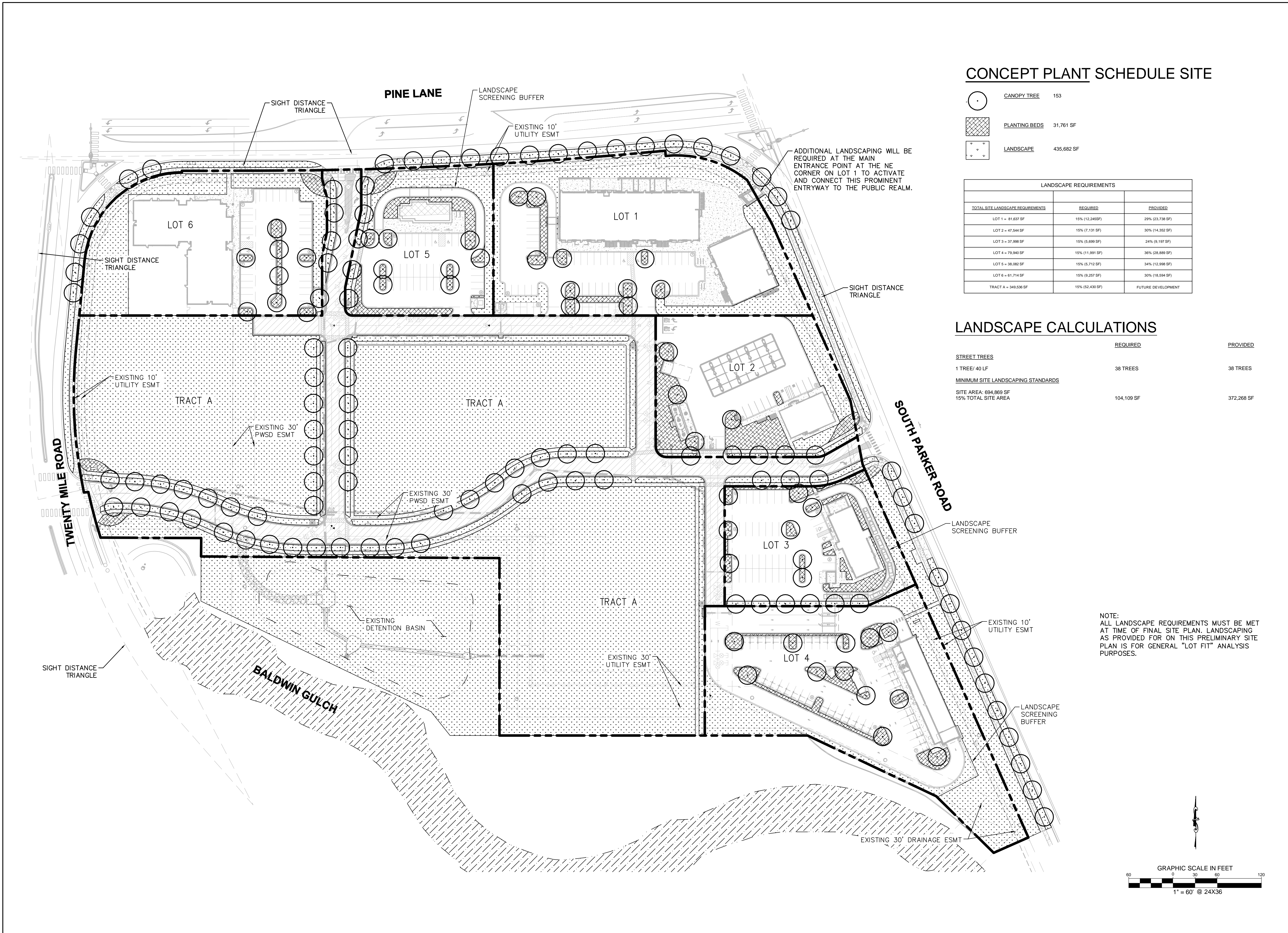
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	11/20/2019	TOWN REVISION
	03/11/2020	TOWN REVISION
	05/08/2020	TOWN REVISION

Sheet Title:  
**PRELIMINARY  
 GRADING PLAN**

Date: 05/08/2020  
 Project Number: 096502001  
 Drawn By: JRK



EISENBERG COMPANY  
2770 E. CAMELBACK ROAD, SUITE 210  
PHOENIX, AZ 85016

Address:  
**PARKER AND PINE  
FILING 1  
COUNTY OF DOUGLASS,  
STATE OF COLORADO**

Architect Information:



**Naos Design Group, LLC**  
4949 SOUTH SYRACUSE ST. SUITE 460  
DENVER, COLORADO 80237  
(303) 759-5777  
www.naosdg.com

**Kimley»Horn**

4582 SOUTH ULSTER STREET  
SUITE 1500  
DENVER, CO 80237  
PH: 303-228-2300

**PRELIMINARY**

**FOR REVIEW ONLY  
NOT FOR  
CONSTRUCTION**

**Kimley»Horn**

Kimley-Horn and Associates, Inc.

**PRELIMINARY  
SITE PLAN**

Revisions:

#	Date	Description
	05/16/2018	PLANNING SUBMITTAL
	11/30/2018	TOWN REVISION
	11/20/2019	TOWN REVISION
	03/11/2020	TOWN REVISION
	05/08/2020	TOWN REVISION

Sheet Title:

**PRELIMINARY  
LANDSCAPE PLAN**

Date: 05/08/2020

Project Number: 096502001

Drawn By: JRK

Sheet Number:

**06 OF 06**