

COMPARK VILLAGE SOUTH
ARCHITECTURAL EXHIBITS
LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER
65120950
DRAWN BY
KTGY
DATE
9/16/2021



Architecture + Planning
820 16th Street, Suite 500
Denver, CO 80202
303.825.6400
ktgy.com



PREPARED FOR CENTURY
COMMUNITIES



PROJECT

COMPARK
VILLAGE
SOUTH

TOWN OF PARKER, COUNTY
OF DOUGLAS, COLORADO
80134

SHEET TITLE
COVER
SHEET

ARCHITECTURAL EXHIBITS

SHEET NUMBER
A0.0

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Building Type A - 24 Plex							
Unit Type	Units per level	Units per bldg	Bedrooms	*NRSF area	No. of bldg	Total units	Total area
P0-1	1	3	0	520		6	3120
P1-0	1	3	1	735		6	4410
P1-1		0	1	750		0	0
P1-2		0	1	725		0	0
P1-3	1	3	1	740		6	4440
P1-4		0	1	825		0	0
P2-0		0	2	1060		0	0
P2-1	2	6	2	1070		12	12840
P2-2	1	3	2	1080		6	6480
P2-3		0	2+den	1270		0	0
P2-4		0	2	1050		0	0
P2-5	1	3	2	1035		6	6210
P3-0		0	3	1270		0	0
P3-1	1	3	3	1245		6	7470
Total	8	24			2	48	44,970

Building Type B - 36 Plex							
Unit Type	Units per level	Units per bldg	Bedrooms	*NRSF area	No. of bldg	Total units	Total area
P0-1		0	0	520		0	0
P1-0		0	1	735		0	0
P1-1	2	6	1	750		12	9000
P1-2	2	6	1	725		12	8700
P1-3	1	3	1	740		6	4440
P1-4	2	6	1	825		12	9900
P2-0	1	3	2	1060		6	6360
P2-1	3	9	2	1070		18	19260
P2-2		0	2	1080		0	0
P2-3		0	2+den	1270		0	0
P2-4		0	2	1050		0	0
P2-5		0	2	1035		0	0
P3-0	1	3	3	1270		6	7620
P3-1		0	3	1245		0	0
Total	12	36			2	72	65,280

Building Type C - 24 Plex							
Unit Type	Units per level	Units per bldg	Bedrooms	*NRSF area	No. of bldg	Total units	Total area
P0-1	1	3	0	520		9	4680
P1-0	2	6	1	735		18	13230
P1-1		0	1	750		0	0
P1-2		0	1	725		0	0
P1-3	2	6	1	740		18	13320
P1-4		0	1	825		0	0
P2-0		0	2	1060		0	0
P2-1	1	3	2	1070		9	9630
P2-2	1	3	2	1080		9	9720
P2-3		0	2+den	1270		0	0
P2-4		0	2	1050		0	0
P2-5		0	2	1035		0	0
P3-0		0	3	1270		0	0
P3-1	1	3	3	1245		9	11205
Total	8	24			3	72	61,785

Building Type D - 36 Plex with mezzanine in center							
Unit Type	Units per level	Units per bldg	Bedrooms	*NRSF area	No. of bldg	Total units	Total area
P0-1		0	0	520		0	0
P1-0		0	1	735		0	0
P1-1	2	6	1	750		18	13500
P1-2	2	6	1	725		18	13050
P1-3	1	3	1	740		9	6660
P1-4	(Level 1-2)	2	4	825		12	9900
P2-0	1	3	2	1060		9	9540
P2-1	(Level 1-2)	3	7	1070		21	22470
P2-2		0	2	1080		0	0
P2-3	(Level 3)	2	2	1270		6	7620
P2-4	(Level 3)	2	2	1050		6	6300
P2-5		0	2	1035		0	0
P3-0	1	3	3	1270		9	11430
P3-1		0	3	1245		0	0
Total	12	36			3	108	100,470

*NRSF = Net rentable square footage: To outside face of stud + 1" air gap; does not include balcony

Site Summary	
**Net Site Area	± 9.74 AC
Dwelling Units	300 DU
Net Density	31 DU/AC

**Net Site Area = Lot 1 area only, does not include Tract 1 +2.

Plan Summary						
Plan	Beds	*NRSF area	Quantity	%	Total NRSF	Avg. NRSF
P0-1	0	520	15	5.0%		
P1-0	1	735	24	8.0%		
P1-1	1	750	30	10.0%		
P1-2	1	725	30	10.0%		
P1-3	1	740	39	13.0%		
P1-4	1	825	24	8.0%		
P2-0	2	1060	15	5.0%		
P2-1	2	1070	60	20.0%		
P2-2	2	1080	15	5.0%		
P2-3	2+den	1270	6	2.0%		
P2-4	2	1050	6	2.0%		
P2-5	2	1035	6	2.0%		
P3-0	3	1270	15	5.0%		
P3-1	3	1245	15	5.0%		
Total			300	100%	272,505	908.4

Type	No. Units	Mix
Studio Total	15	5.0%
1 Bedroom Total	147	49.0%
2 Bedroom Total	108	36.0%
3 Bedroom Total	30	10.0%
Total	300	100.0%

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OF DOUGLAS, COLORADO
80134

SHEET TITLE

**PROJECT
DATA**

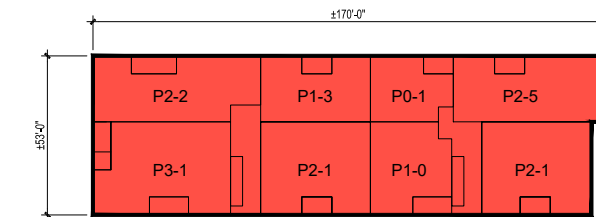
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A0.1

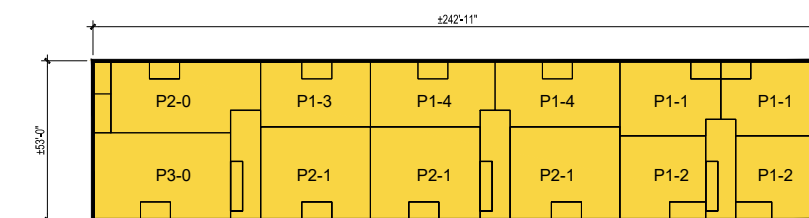
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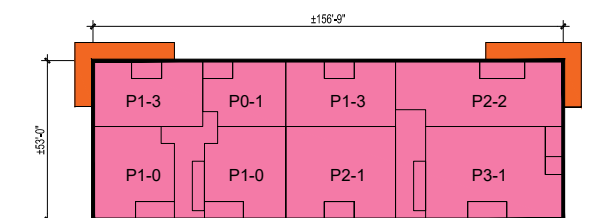
Building A - 24plex
(3-story)



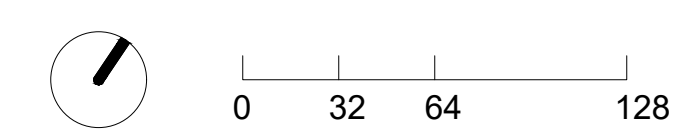
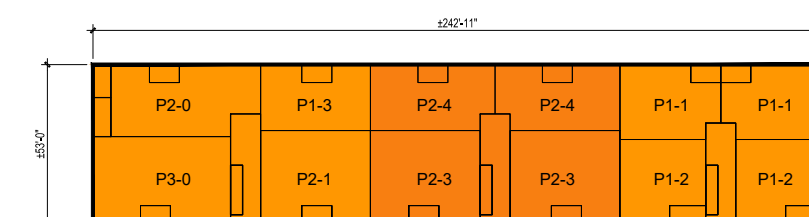
Building B - 36plex
(3-story)



Building C - 24plex w/ Wrap Porches
(3-story)



Building D - 36plex w/ Mezzanines
(3-Story Plus)



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SHEET TITLE
BUILDING KEY PLAN - GROUND LEVEL

SHEET NUMBER
A1.0

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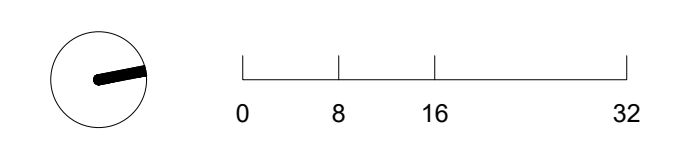
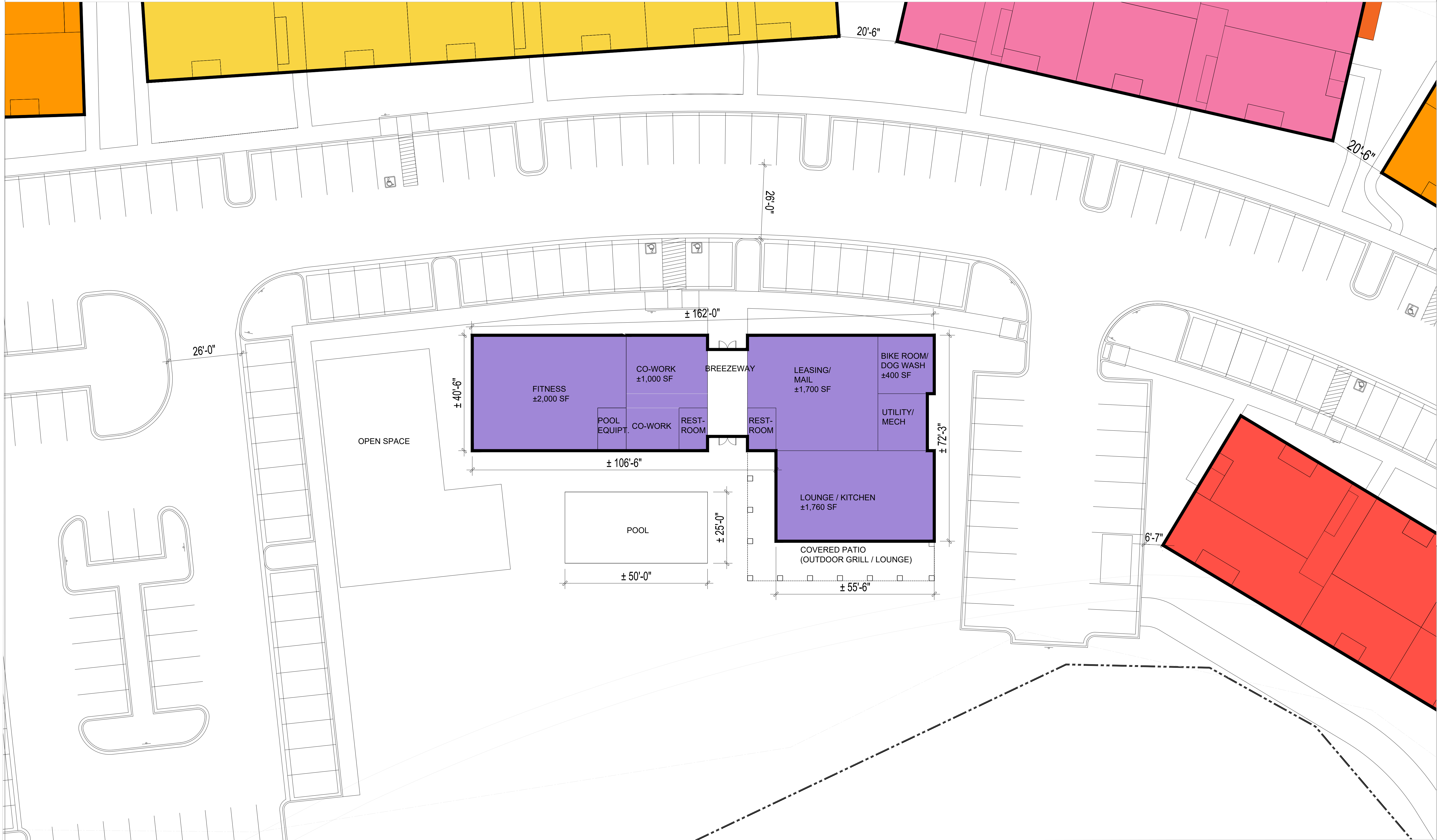
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SHEET TITLE
AMENITY
BUILDING PLAN

SHEET NUMBER
A1.1





SIMPLE SOPHISTICATION

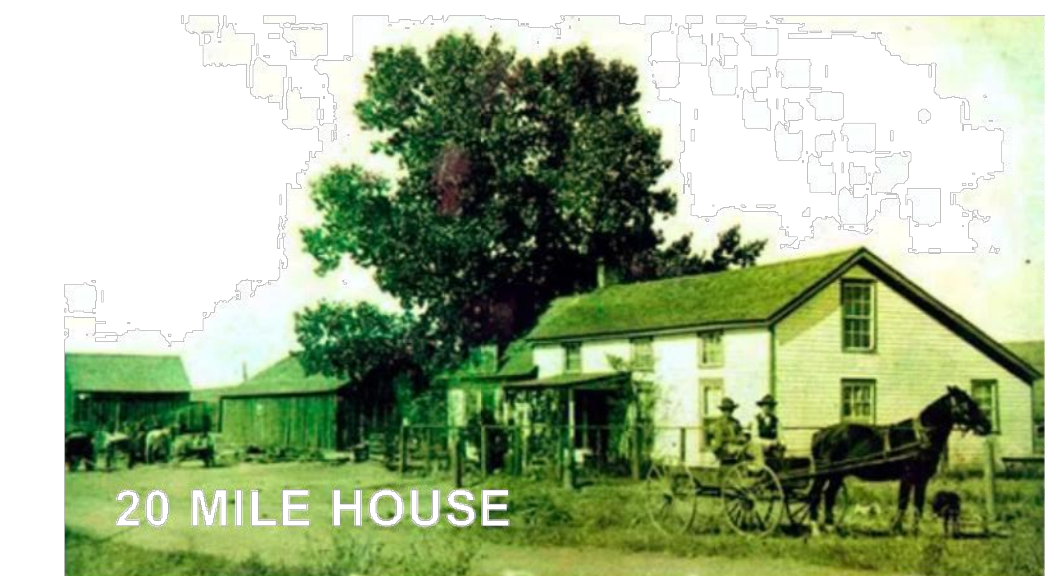


INDOOR / OUTDOOR

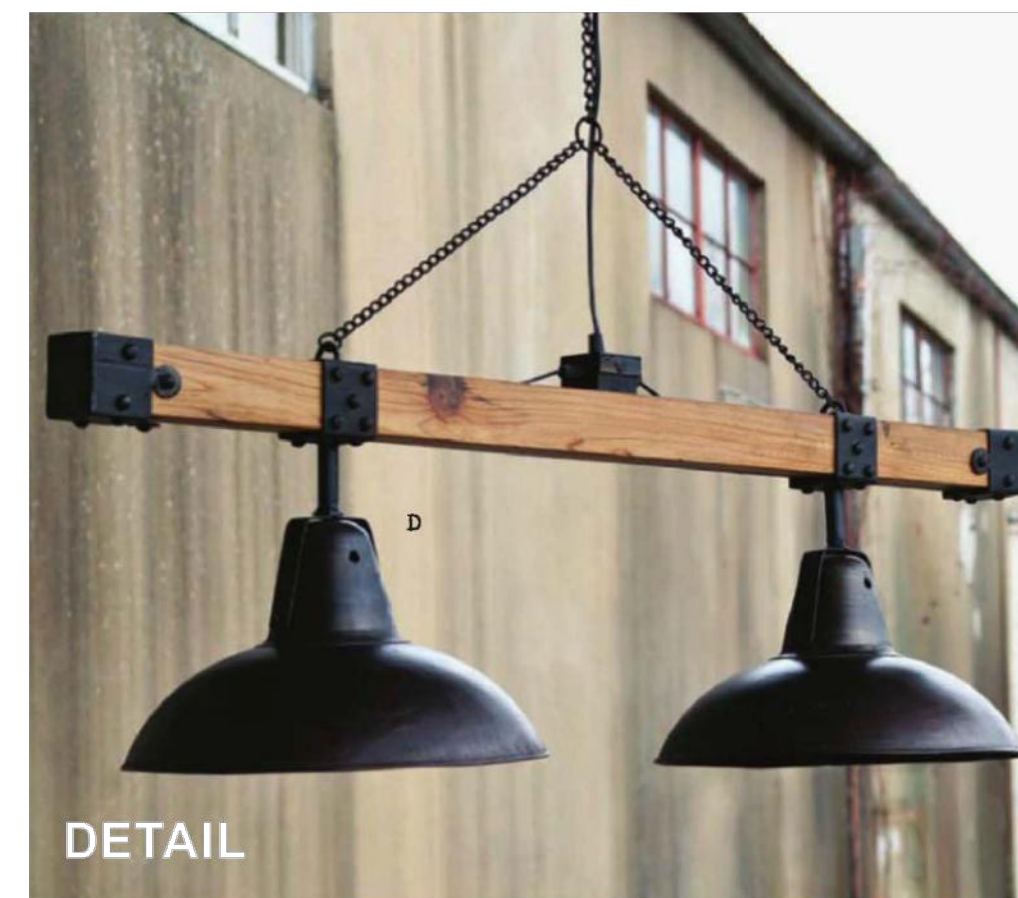
DESIGN APPROACH

Proposed is a balance of the past + future with a farmhouse modern style.

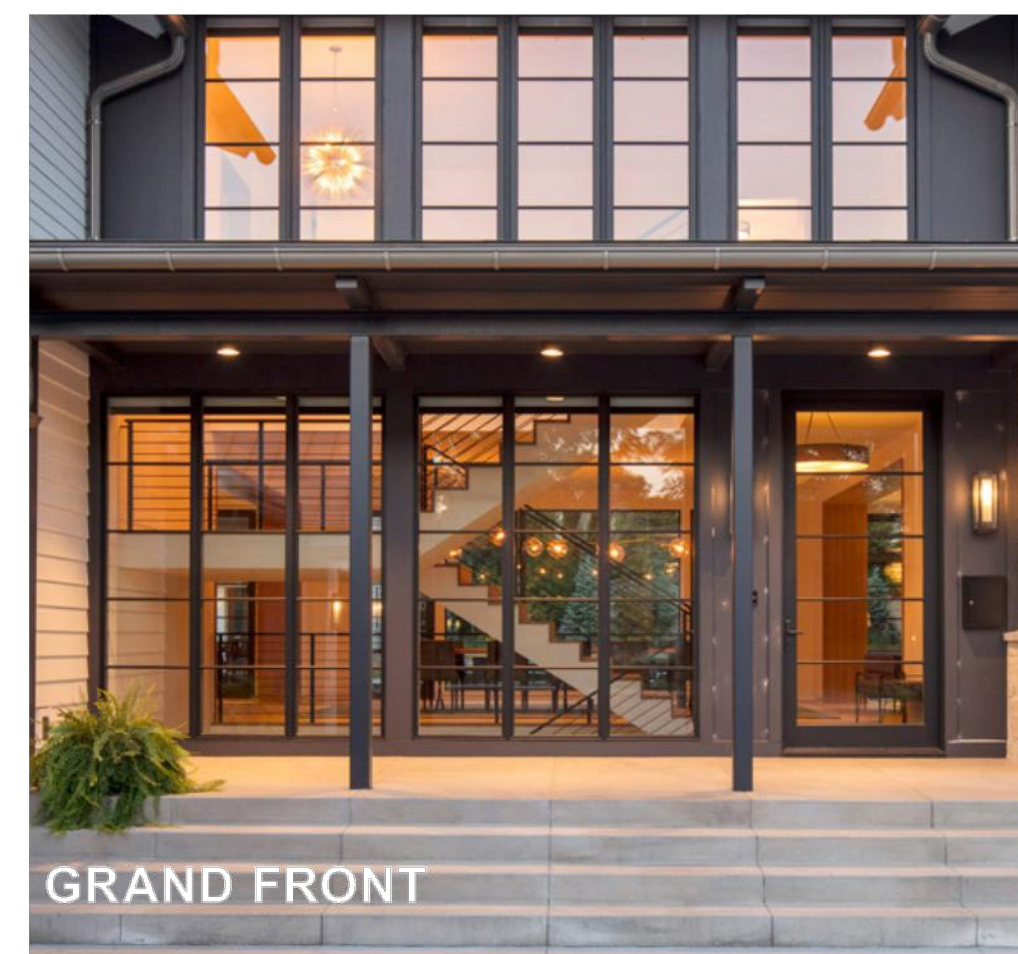
Refreshingly new, with hints to Parkers agricultural past of high pitched roofs, clean forms, and gridded windows. Rustic yet fresh, the buildings are envisioned to sit quaintly within the existing context.



20 MILE HOUSE



DETAIL



GRAND FRONT



BALANCE + MATERIALITY

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SHEET TITLE
IMAGE BOARD

SHEET NUMBER
A2.0

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SHEET TITLE
**CONCEPTUAL
RENDERINGS**

SHEET NUMBER
A3.0

BUILDING # 8 PERSPECTIVE VIEW LOOKING NORTH
BUILDING TYPE A

COMPARK VILLAGE SOUTH
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**CONCEPTUAL
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SHEET NUMBER
A3.1

BUILDING # 2 PERSPECTIVE VIEW LOOKING WEST
BUILDING TYPE B

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**CONCEPTUAL
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SHEET NUMBER

A3.2

BUILDING # 6 PERSPECTIVE VIEW LOOKING SOUTH
BUILDING TYPE C

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A3.3



BUILDING # 4 PERSPECTIVE VIEW LOOKING NORTH
BUILDING TYPE D

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A3.4

NORTHERN ENTRY LOOKING AT BUILDING # 4
BUILDING TYPE D

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RENDERINGS**

SHEET NUMBER
A3.5

BUILDING # 10 PERSPECTIVE VIEW LOOKING SOUTH
BUILDING TYPE C

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**CONCEPTUAL
RENDERINGS**

CLUBHOUSE AMENITY BUILDING

SHEET NUMBER
A3.6

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SHEET TITLE

**CONCEPTUAL
RENDERINGS**

SHEET NUMBER

A3.7

CLUBHOUSE AMENITY BUILDING

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SHEET NUMBER
A3.8

CLUBHOUSE AMENITY BUILDING

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CLUBHOUSE AMENITY BUILDING

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CLUBHOUSE AMENITY BUILDING

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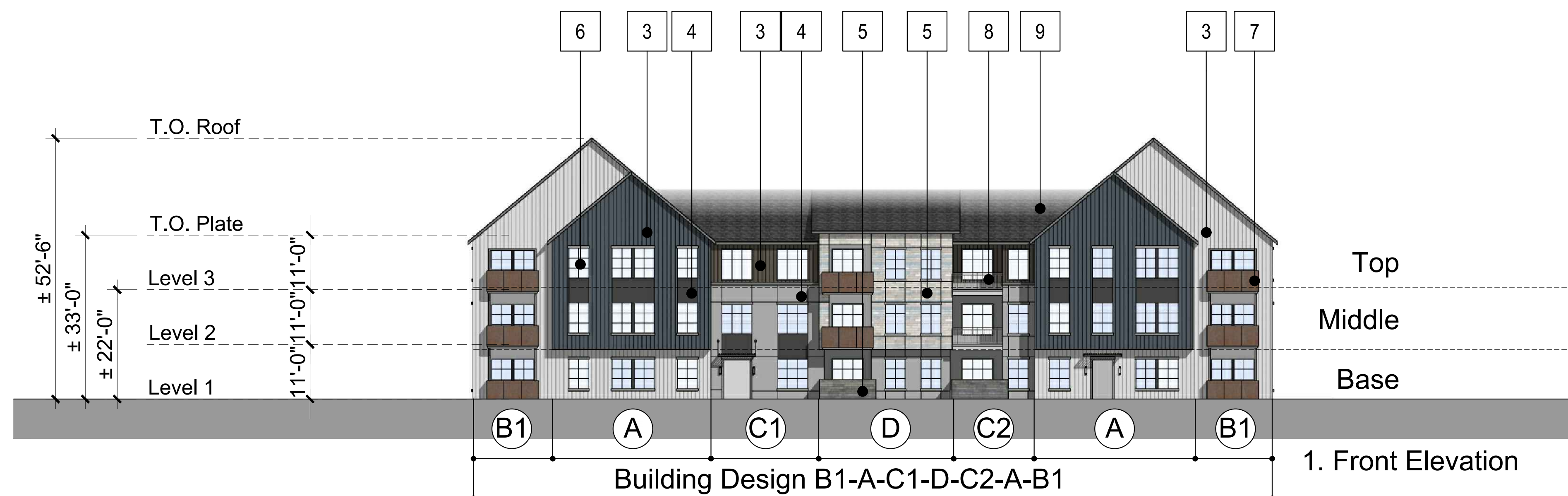
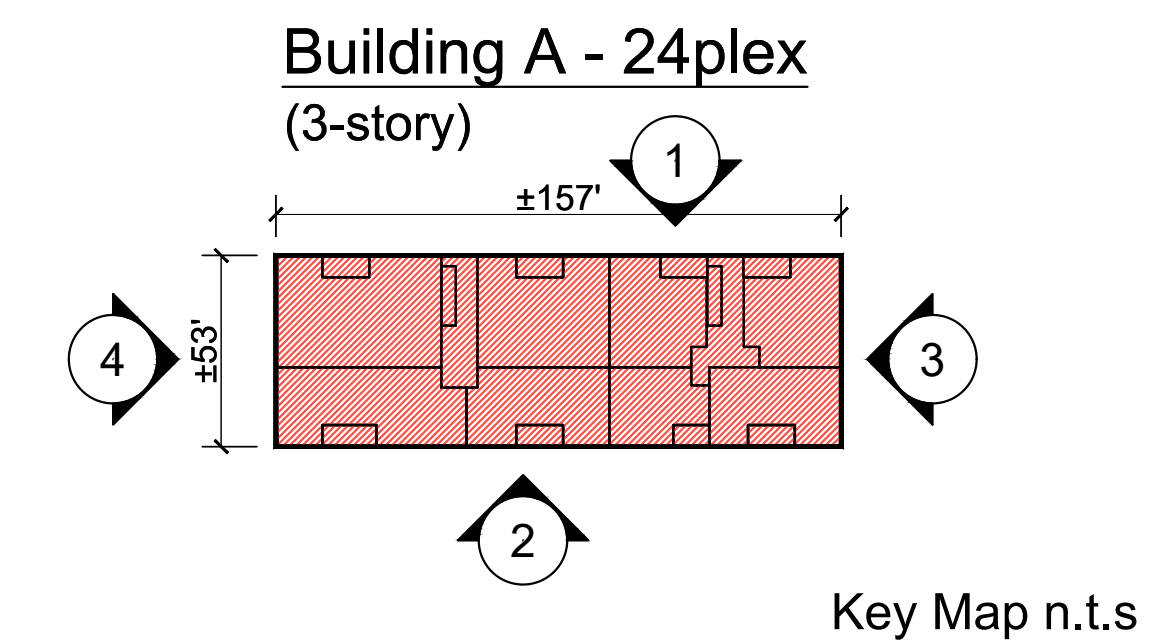
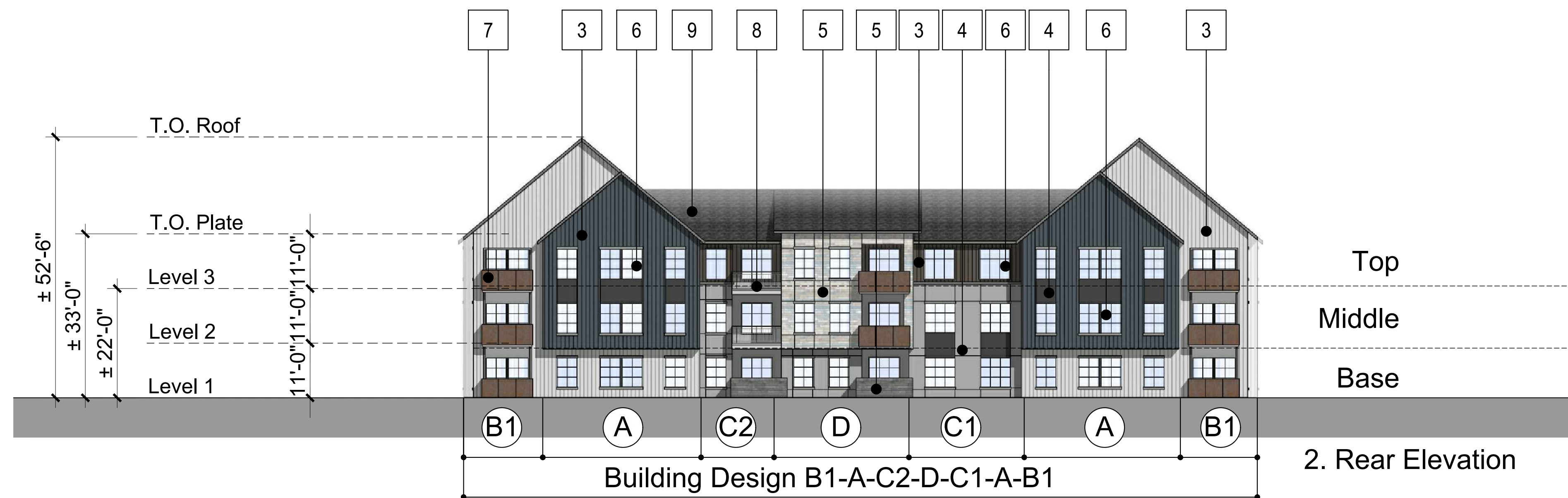
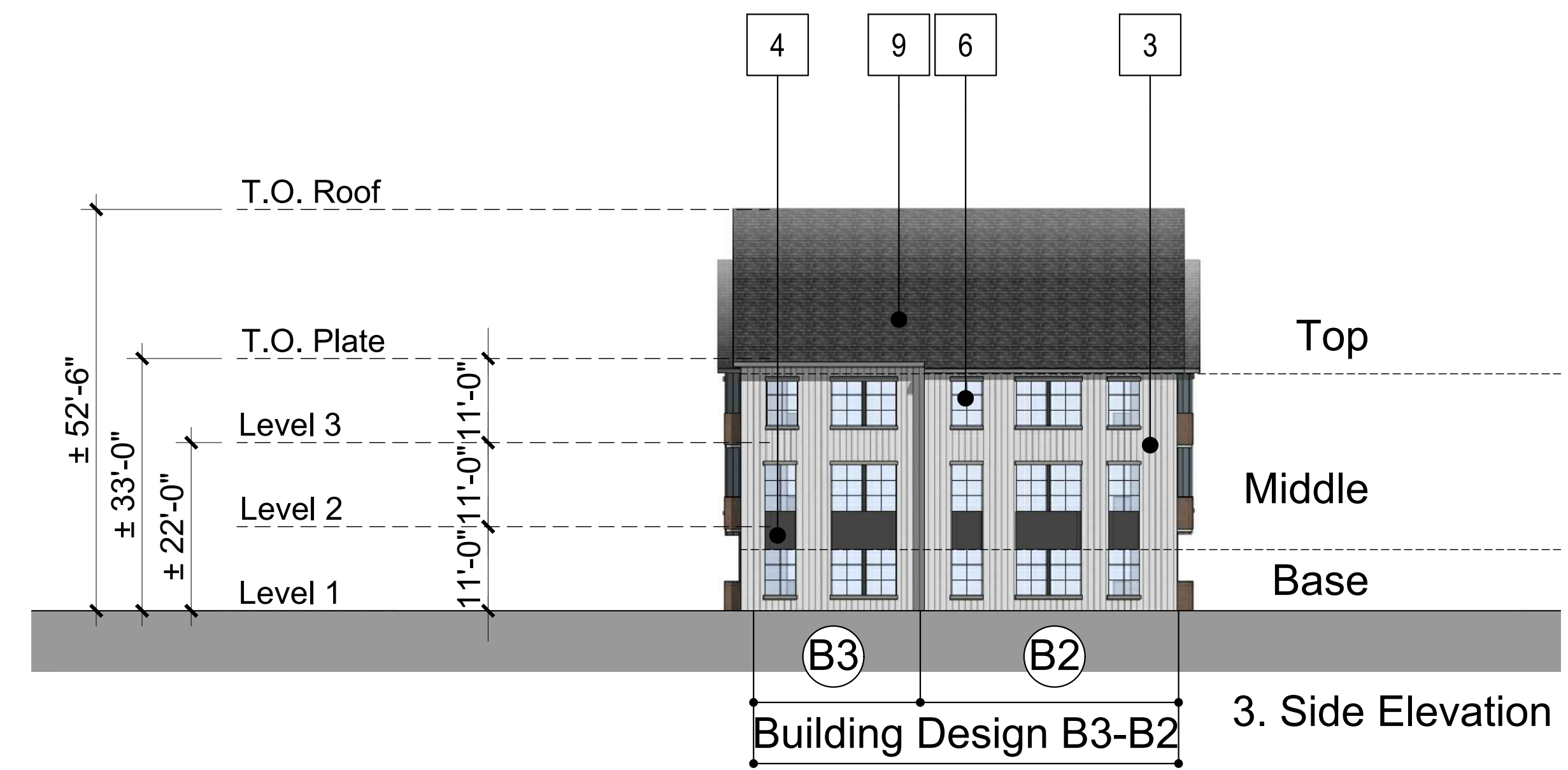
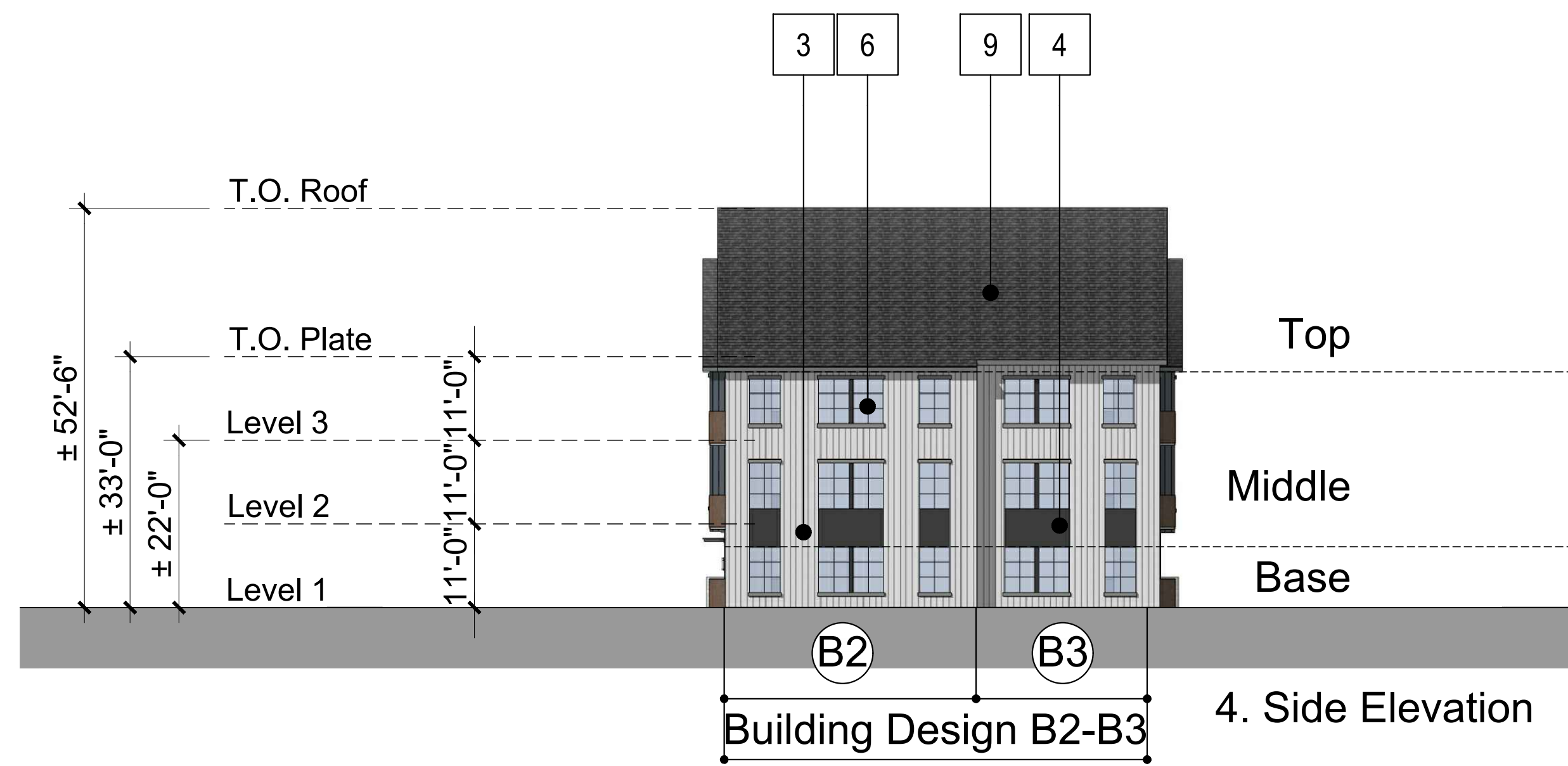
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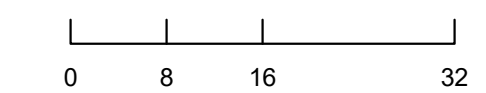
**BUILDING
A
ELEVATIONS**

SHEET NUMBER
A4.0



Material Legend:

1. Vertical Board and Batten
2. Cementitious Vertical Siding (Woodtone or similar)
3. Cementitious Vertical Siding (Painted)
4. Cementitious Panel
5. Stone Veneer
6. Vinyl Window
7. Metal Panel Railing
8. Metal Picket Railing
9. Shingle Roof

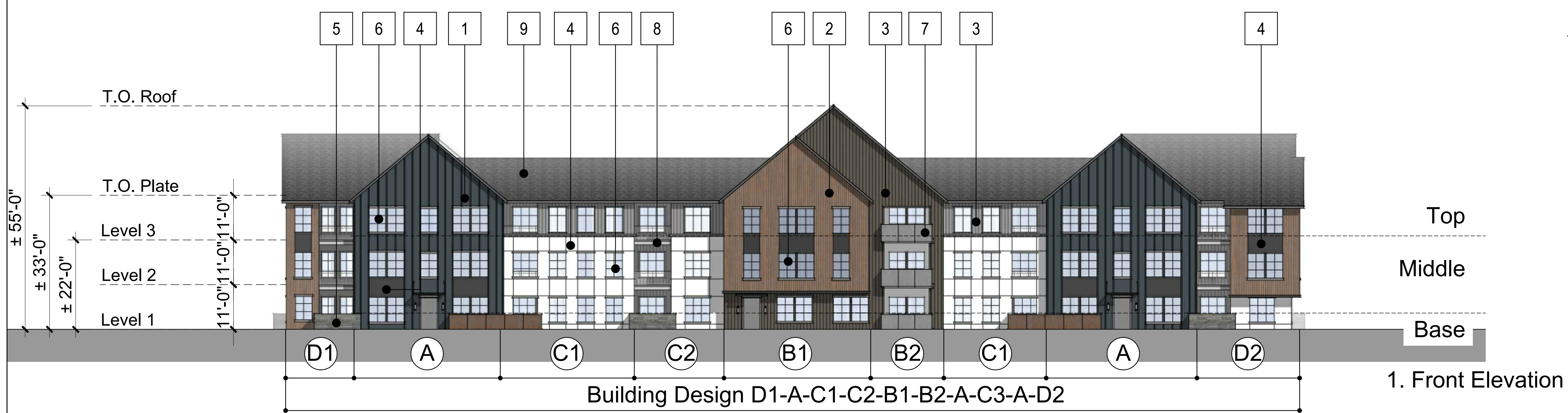
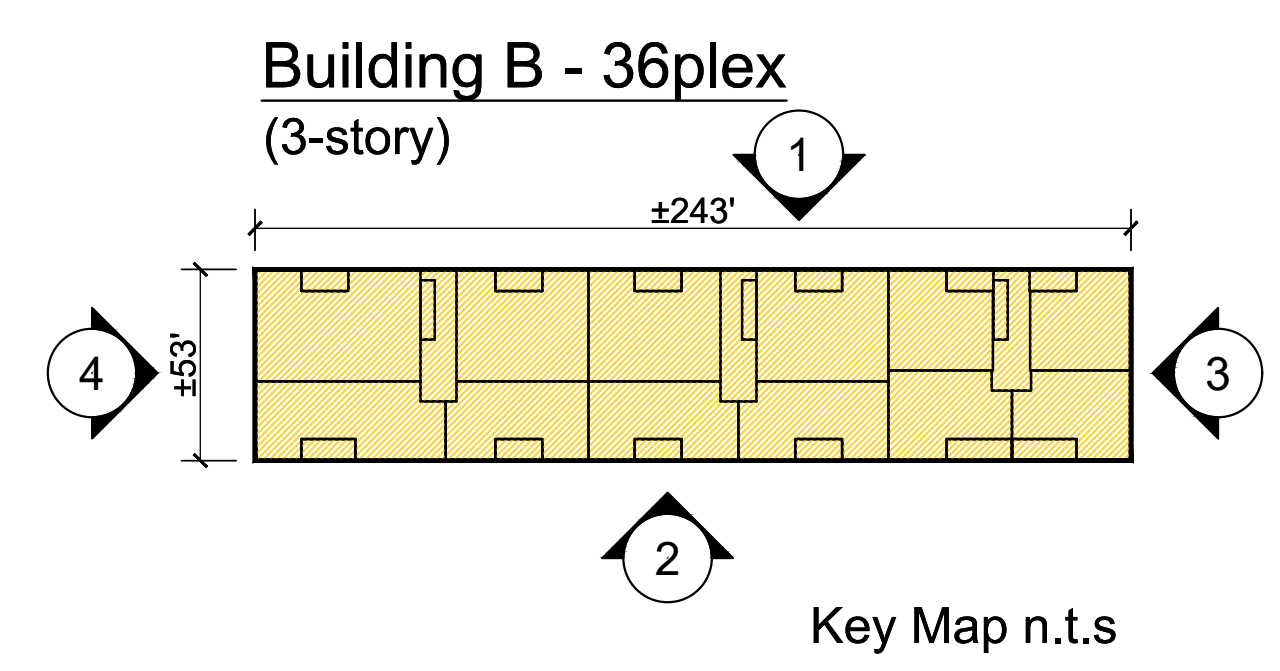
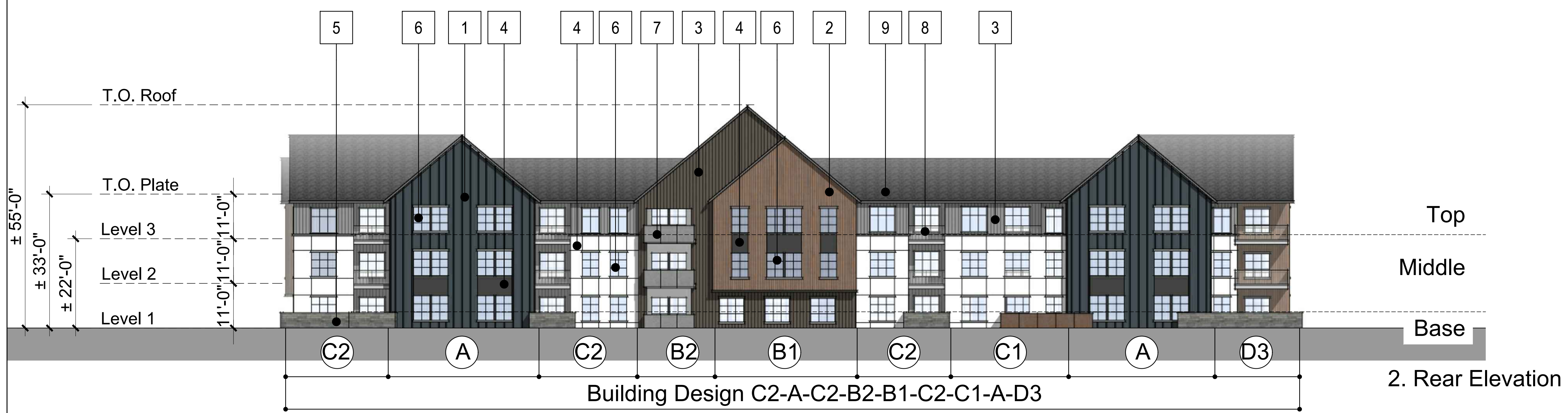
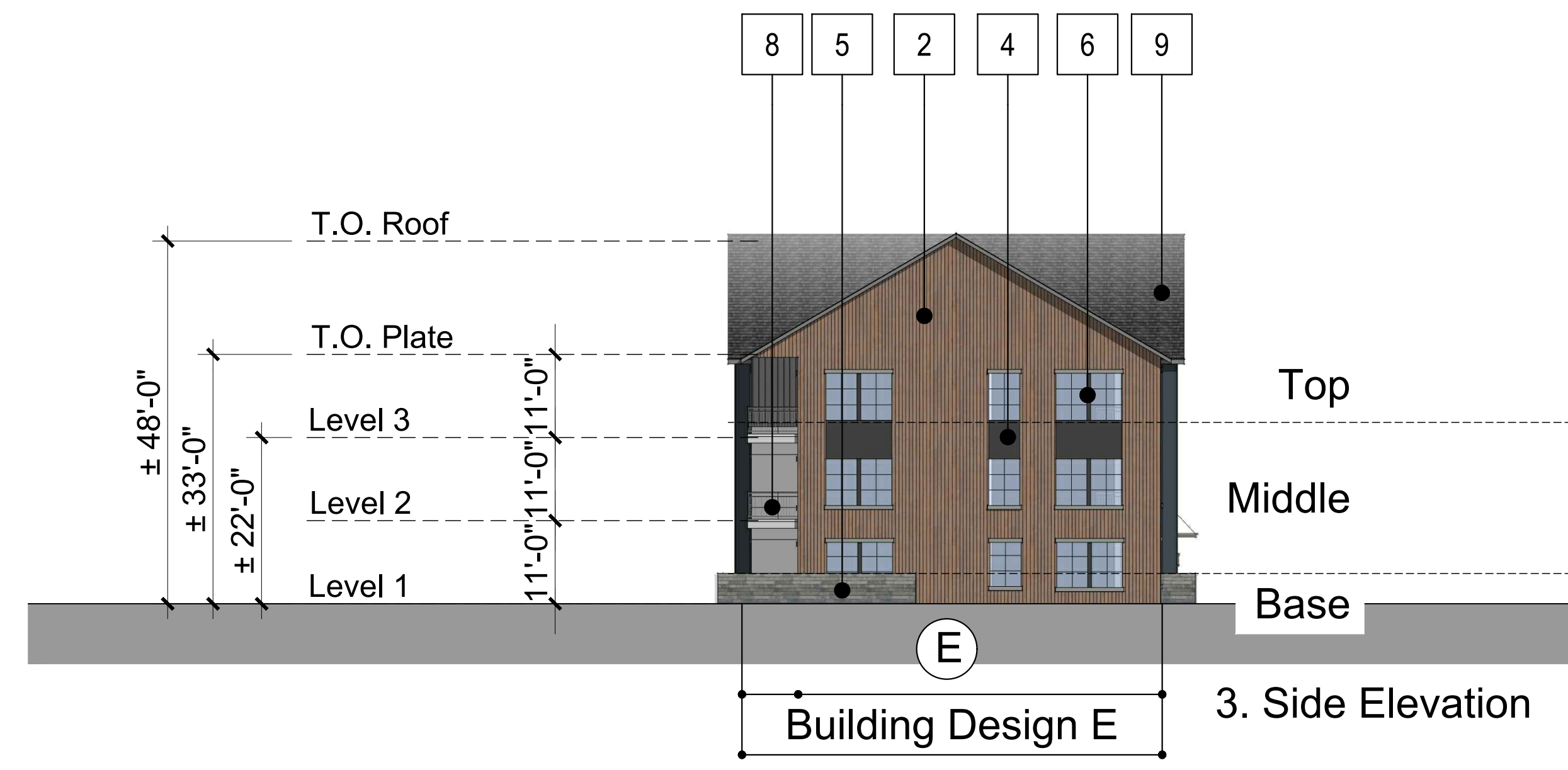
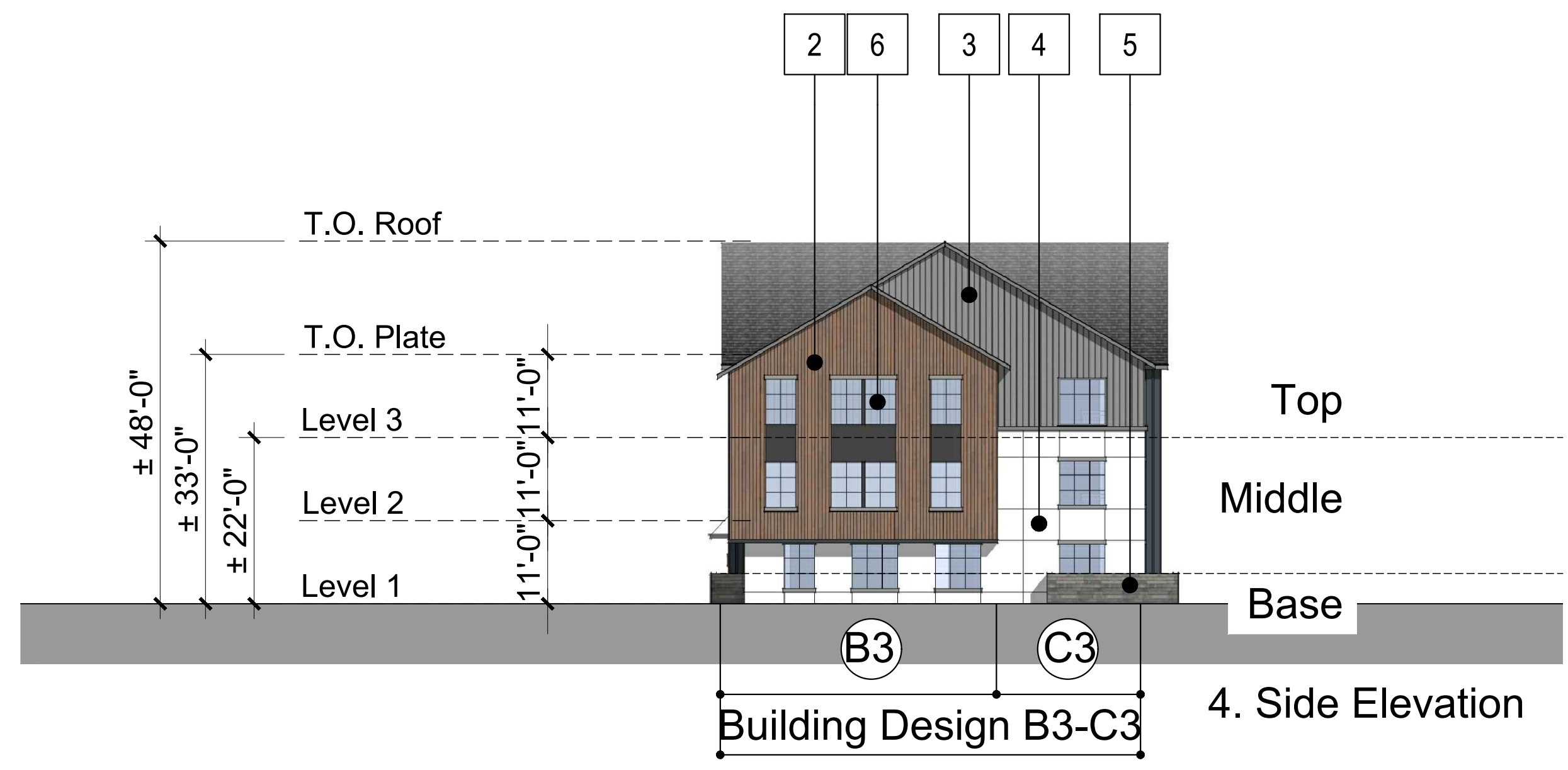


COMPARK VILLAGE SOUTH
ARCHITECTURAL EXHIBITS
 LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
 SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

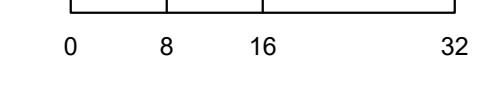
PROJECT NUMBER
65120950

 DRAWN BY
KTGY

 DATE
9/16/2021



- Material Legend:**
1. Vertical Board and Batten
 2. Cementitious Vertical Siding (Woodtone or similar)
 3. Cementitious Vertical Siding (Painted)
 4. Cementitious Panel
 5. Stone Veneer
 6. Vinyl Window
 7. Metal Panel Railing
 8. Metal Picket Railing
 9. Shingle Roof



PREPARED FOR CENTURY COMMUNITIES



PROJECT
COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE
BUILDING B ELEVATIONS

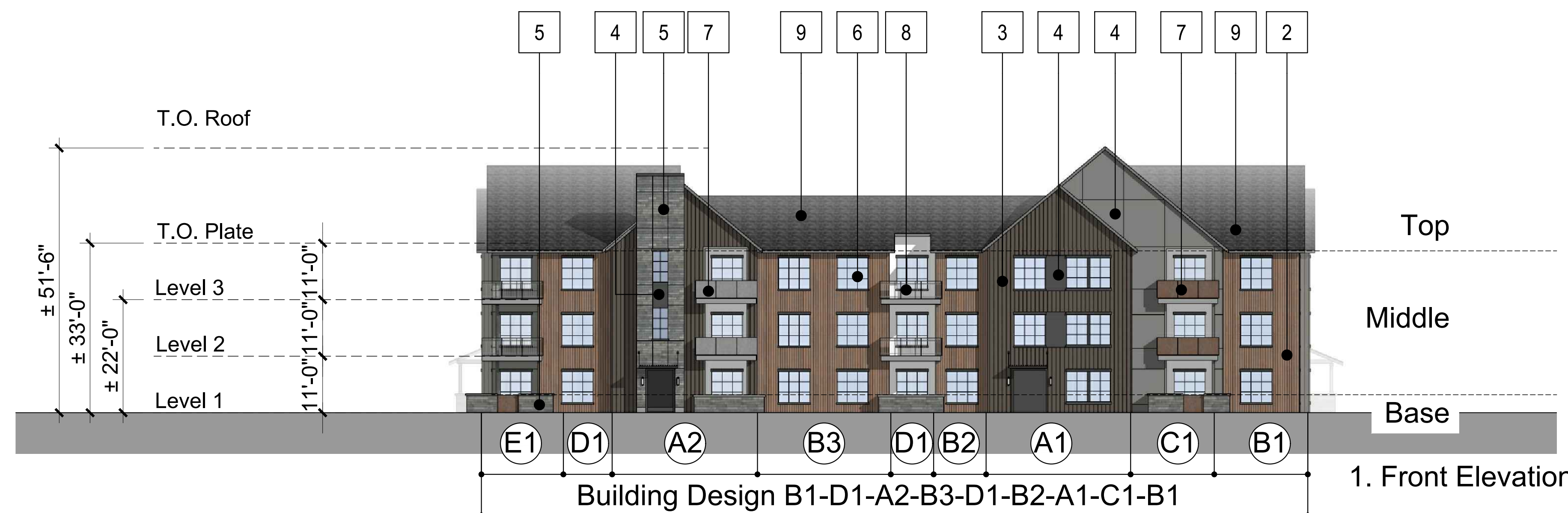
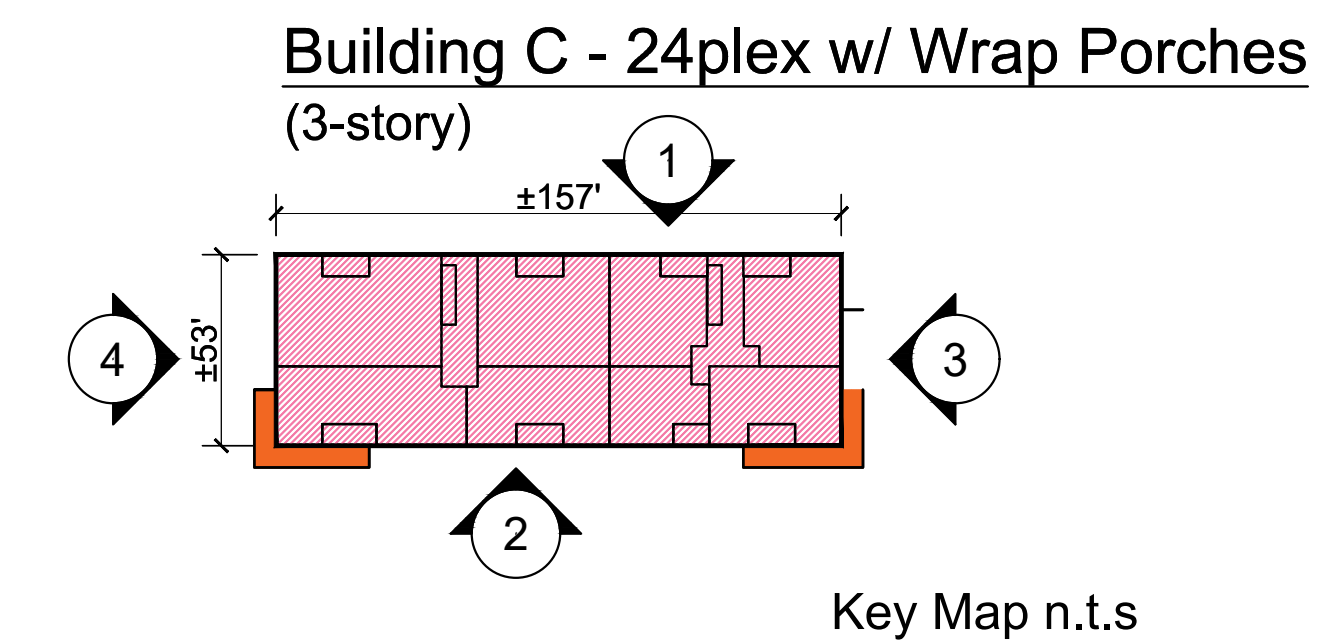
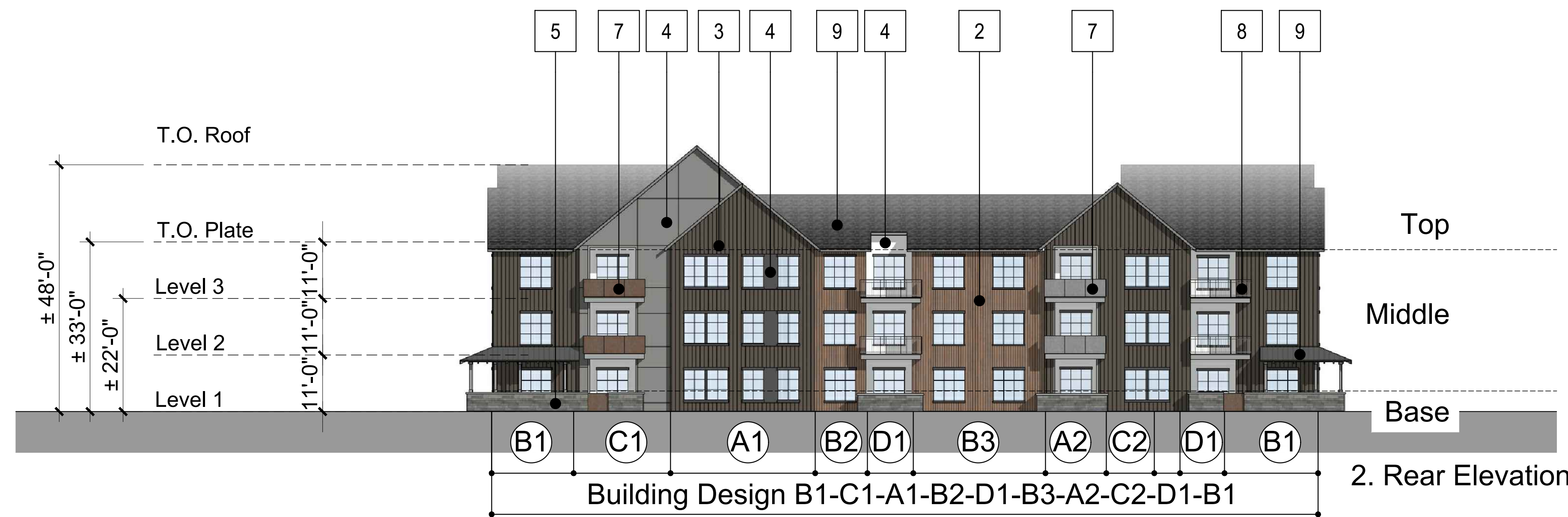
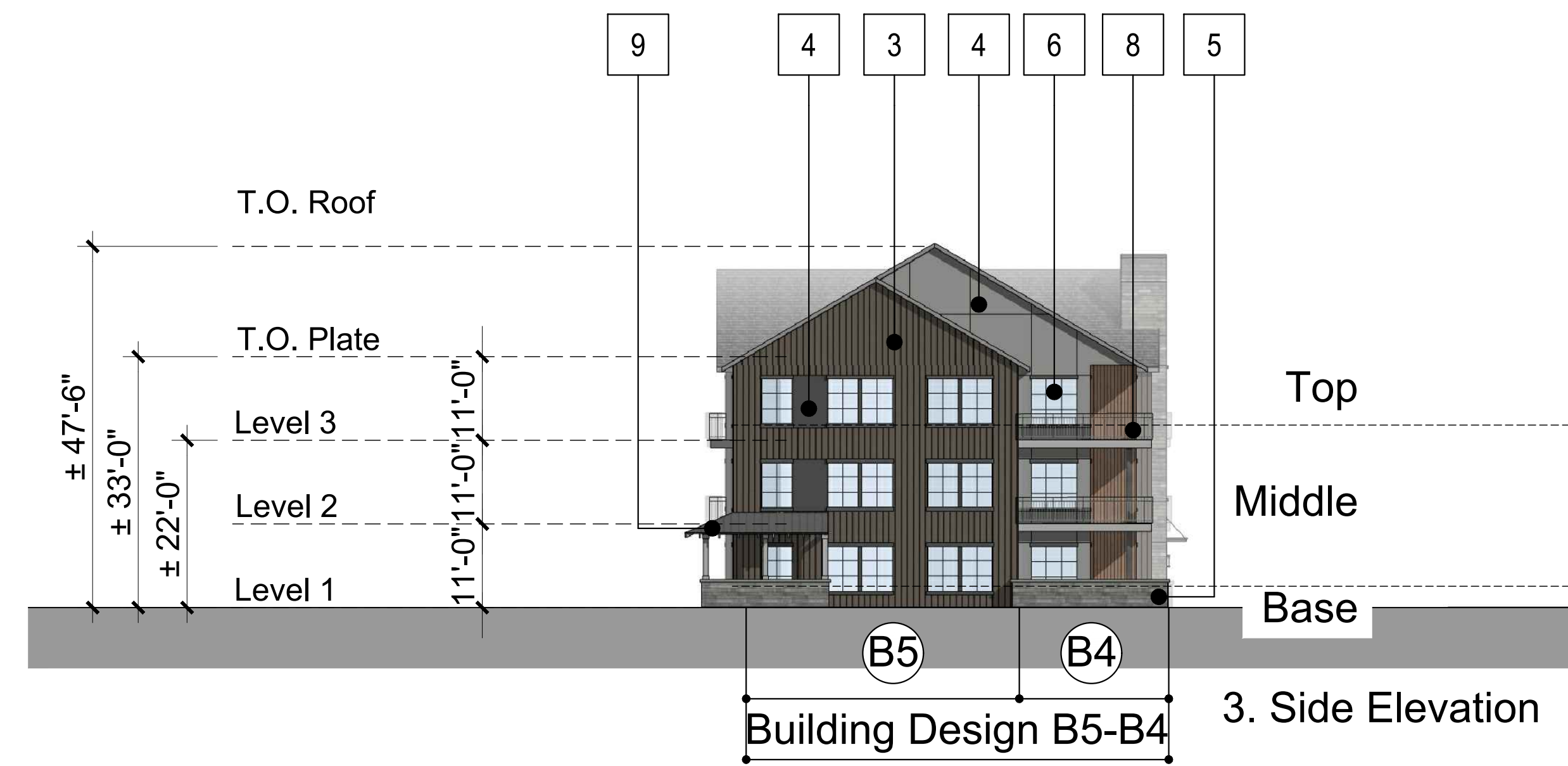
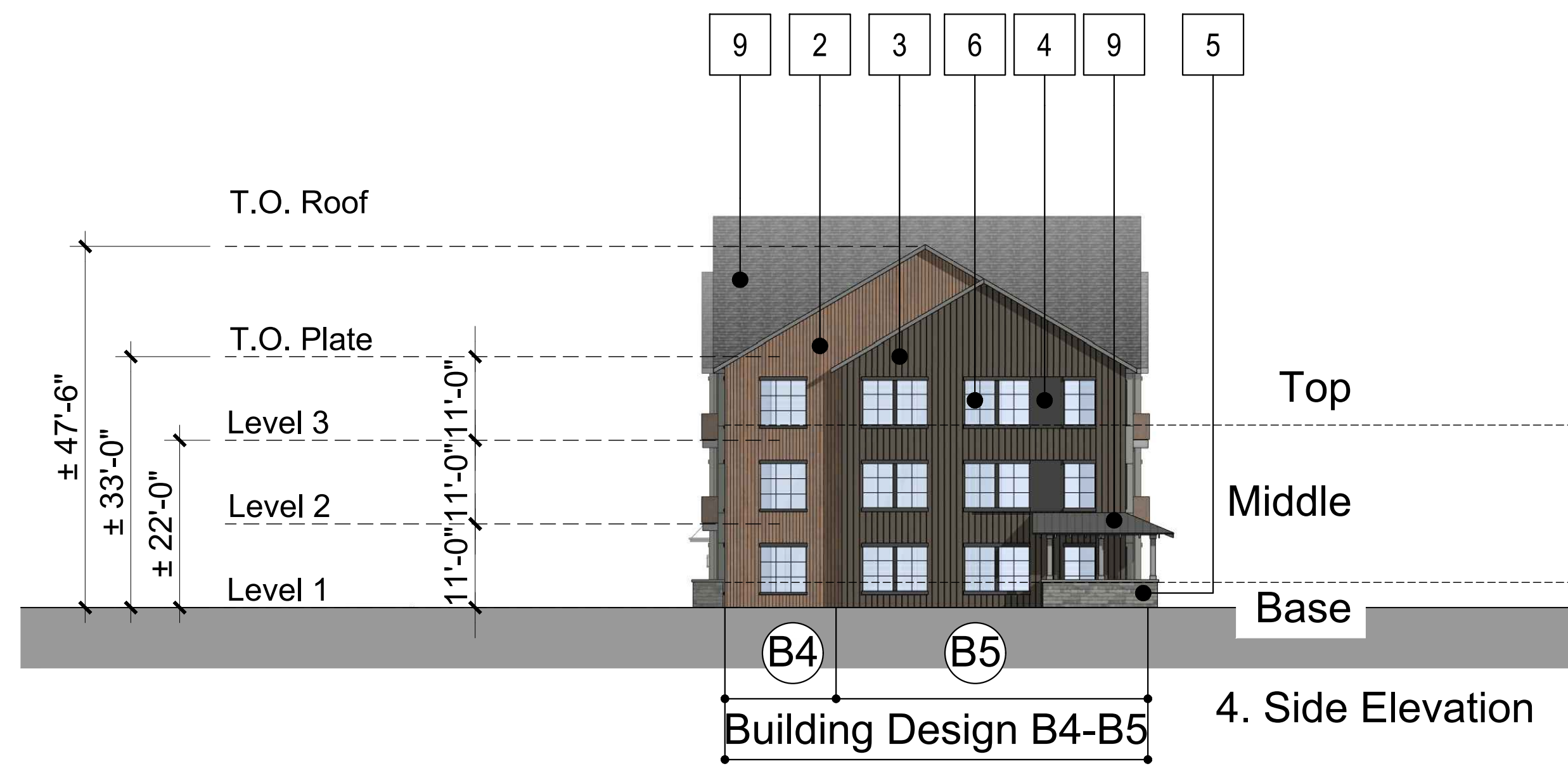
SHEET NUMBER
A4.1

COMPARK VILLAGE SOUTH
 ARCHITECTURAL EXHIBITS
 LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
 SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER
65120950
 DRAWN BY
KTGY
 DATE
9/16/2021

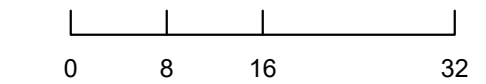


Architecture + Planning
 820 16th Street, Suite 500
 Denver, CO 80202
 303.825.6400
 ktgy.com



Material Legend:

1. Vertical Board and Batten
2. Cementitious Vertical Siding (Woodtone or similar)
3. Cementitious Vertical Siding (Painted)
4. Cementitious Panel
5. Stone Veneer
6. Vinyl Window
7. Metal Panel Railing
8. Metal Picket Railing
9. Shingle Roof



PREPARED FOR CENTURY COMMUNITIES



PROJECT

COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE

BUILDING C ELEVATIONS

SHEET NUMBER

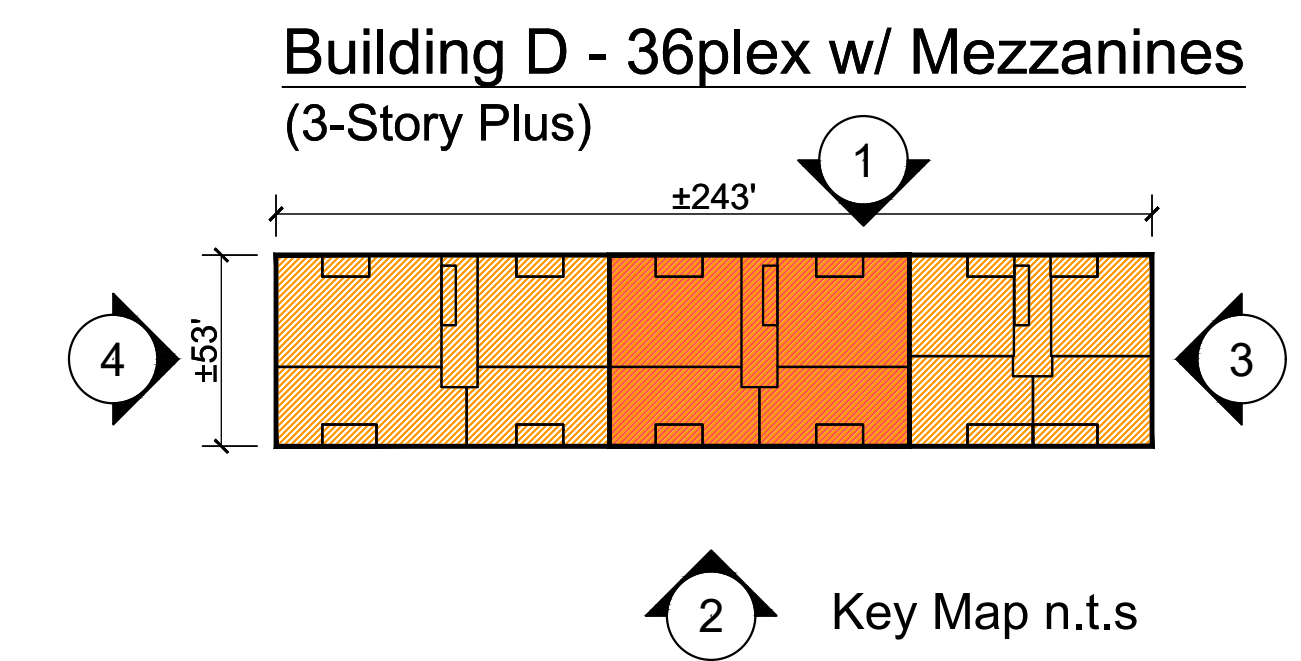
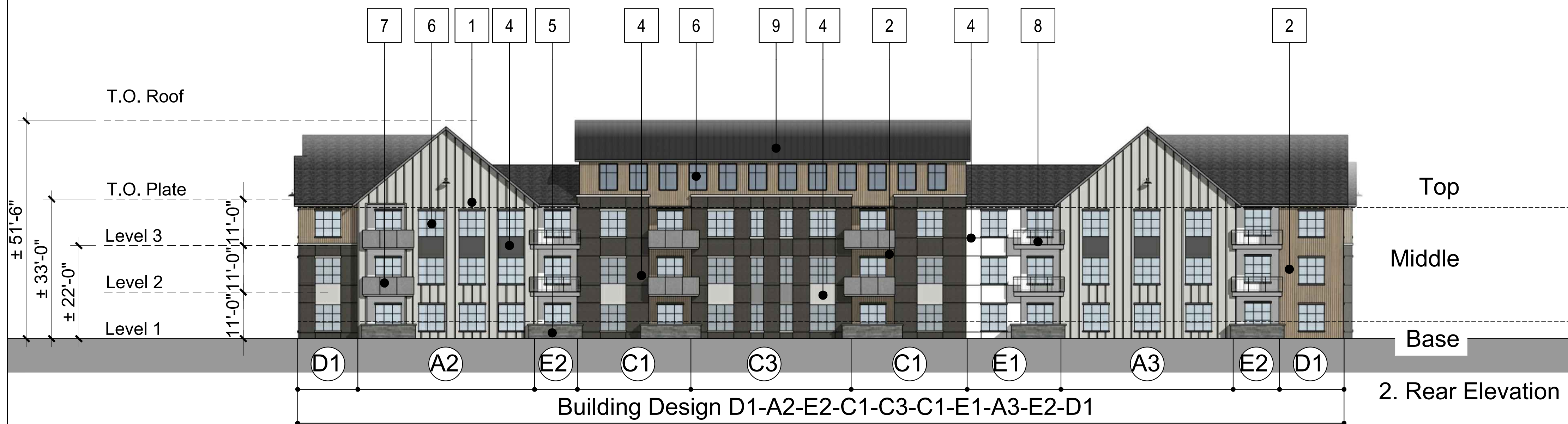
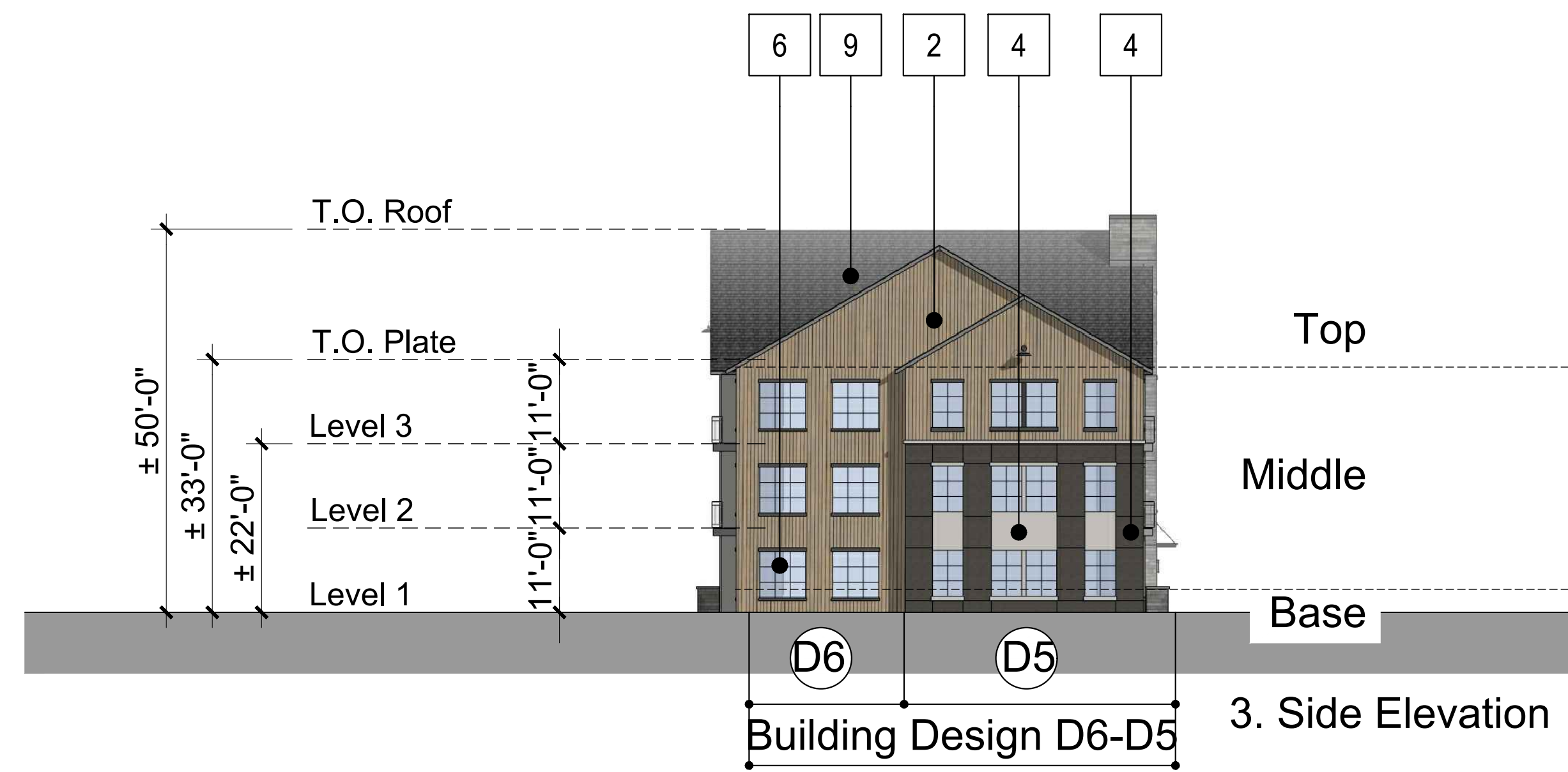
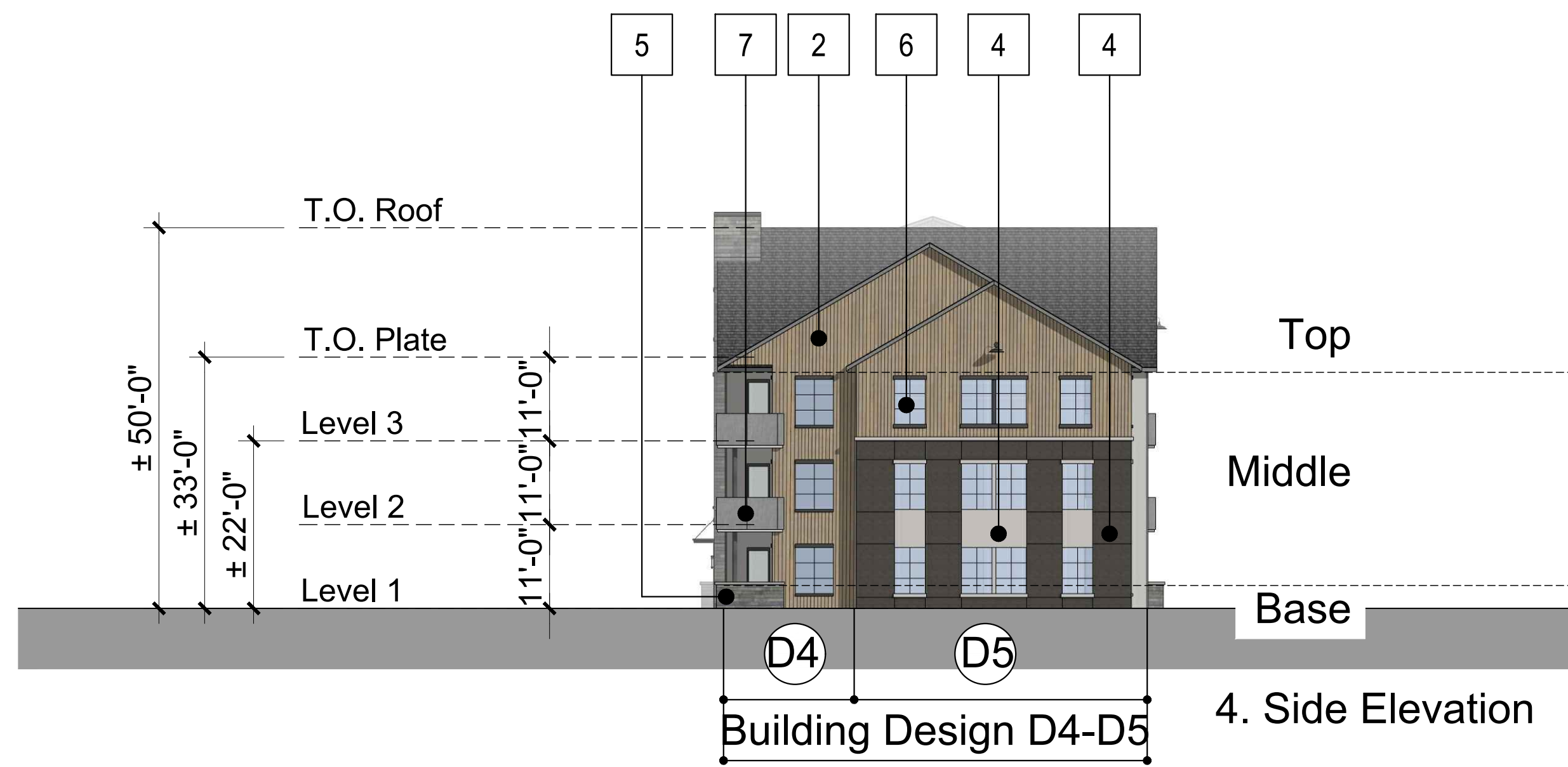
A4.2

COMPARK VILLAGE SOUTH
 ARCHITECTURAL EXHIBITS
 LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
 SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER
65120950
 DRAWN BY
KTGY
 DATE
9/16/2021

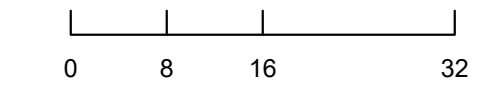


Architecture + Planning
 820 16th Street, Suite 500
 Denver, CO 80202
 303.825.6400
 ktgy.com



Material Legend:

1. Vertical Board and Batten
2. Cementitious Vertical Siding (Woodtone or similar)
3. Cementitious Vertical Siding (Painted)
4. Cementitious Panel
5. Stone Veneer
6. Vinyl Window
7. Metal Panel Railing
8. Metal Picket Railing
9. Shingle Roof



PREPARED FOR CENTURY COMMUNITIES



PROJECT

COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE

BUILDING D ELEVATIONS

SHEET NUMBER

A4.3

COMPARK VILLAGE SOUTH
ARCHITECTURAL EXHIBITS
 LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
 SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER
65120950

 DRAWN BY
KTGY

 DATE
9/16/2021



PREPARED FOR CENTURY COMMUNITIES

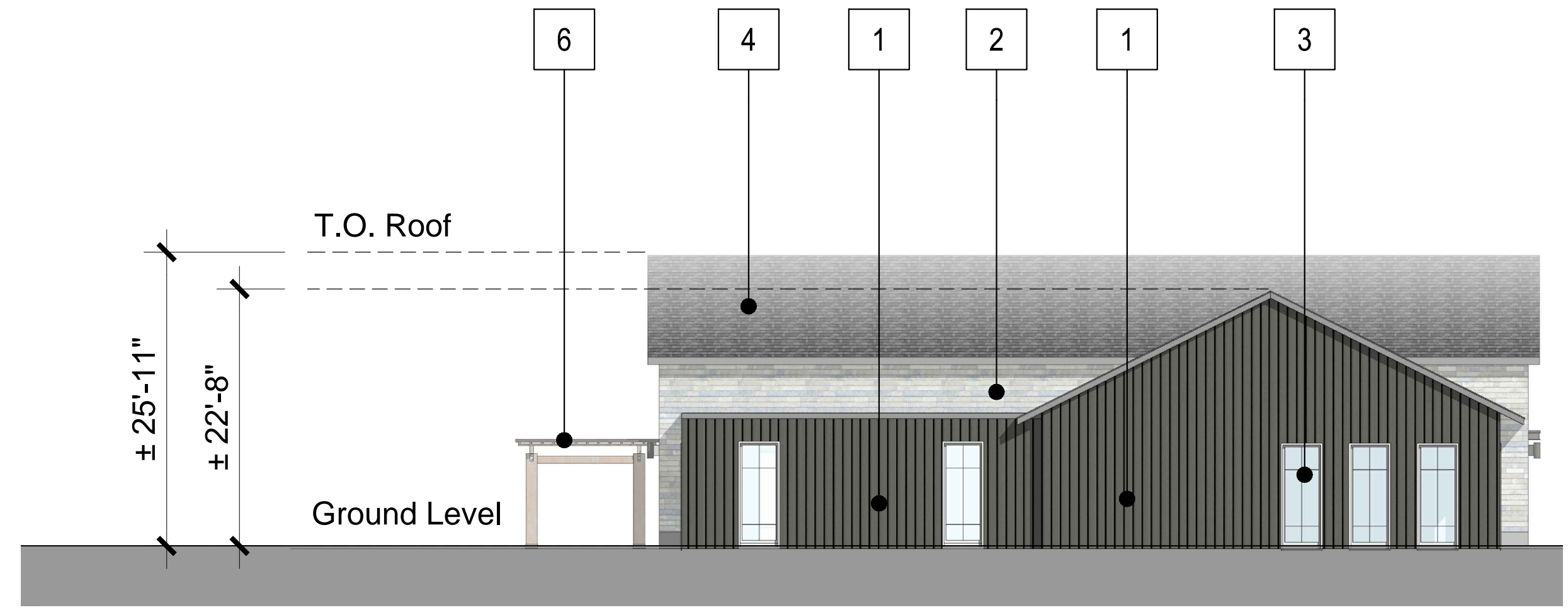


PROJECT
COMPARK VILLAGE SOUTH

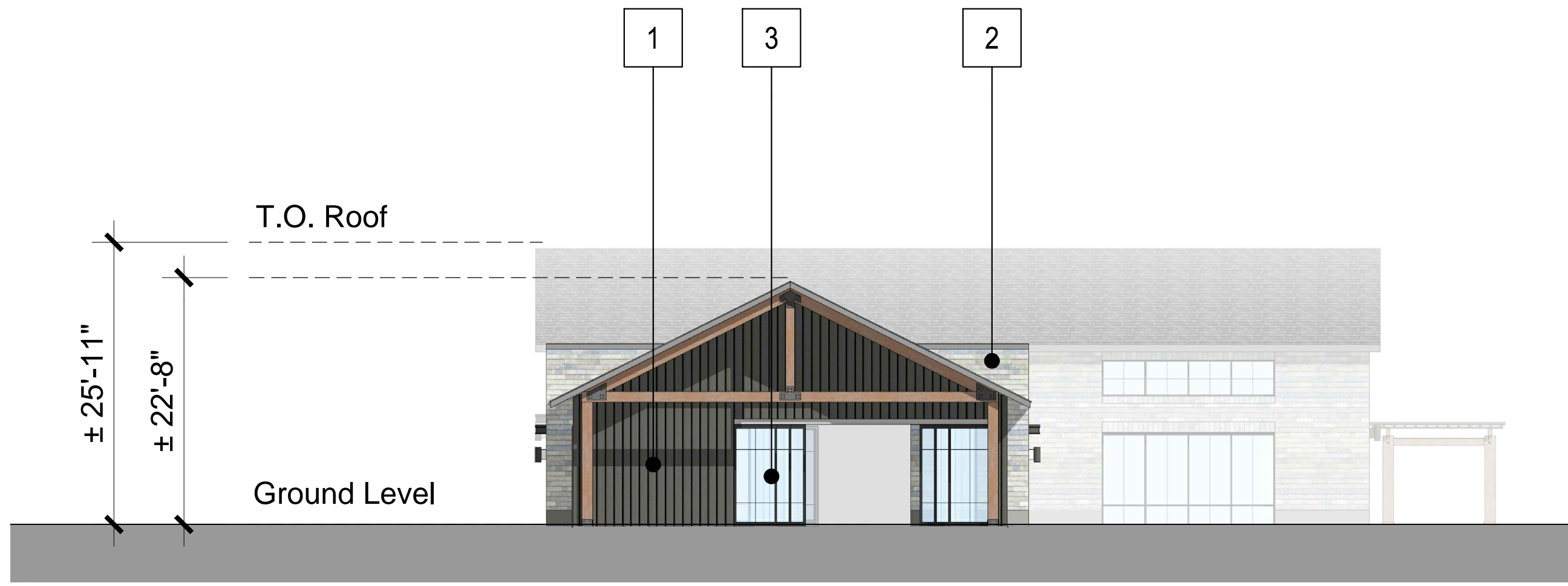
TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE
AMENITY BUILDING ELEVATIONS

SHEET NUMBER
A4.4



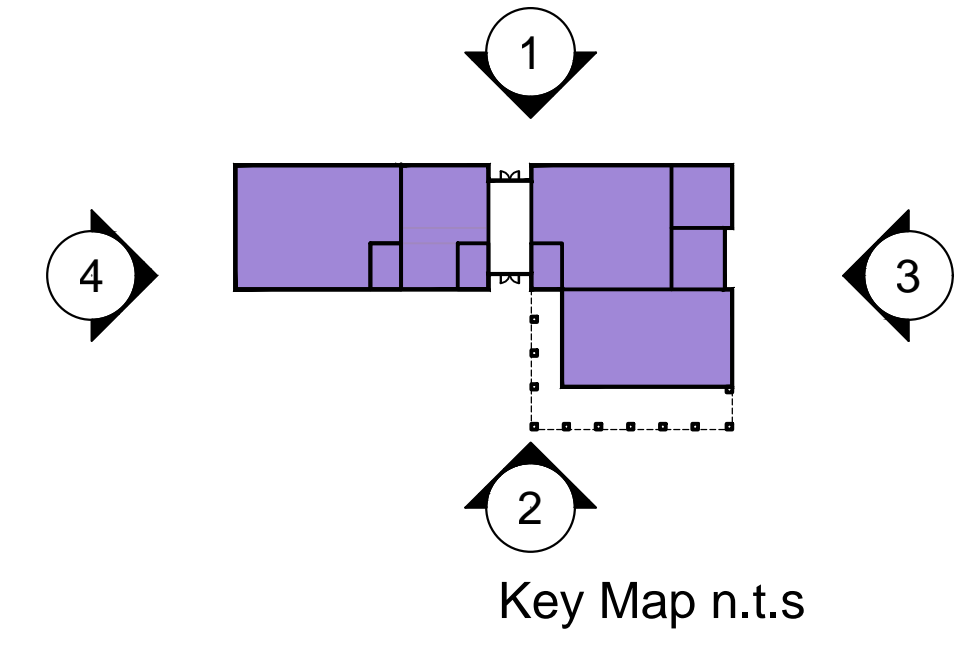
4. Side Elevation



3. Side Elevation



2. Rear Elevation



1. Front Elevation

Clubhouse Amenity Material Legend:

- 1. Vertical Board and Batten
- 2. Stone Veneer
- 3. Storefront Glazing
- 4. Shingle Roof
- 5. Metal Awning
- 6. Trellis

