

COMPARK VILLAGE SOUTH

SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

BASIS OF BEARINGS:

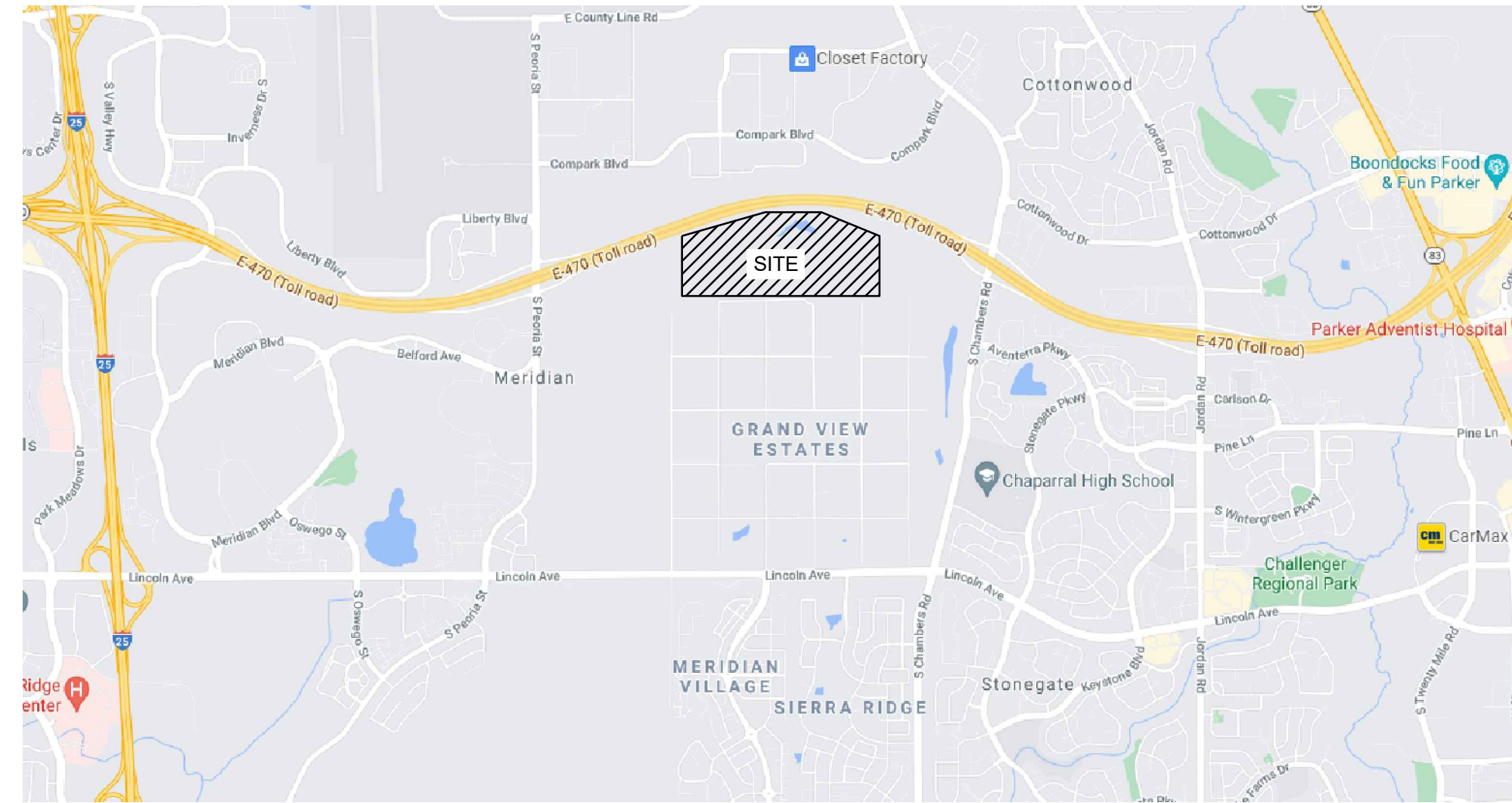
BEARINGS ARE ASSUMED AND ARE BASED UPON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 6, AS BEARING N87°48'59"E A DISTANCE OF 2634.09 FEET BETWEEN THE SOUTH QUARTER CORNER OF SAID SECTION 6, BEING A FOUND 3-1/4" ALUMINUM CAP, FLUSH WITH THE SURFACE AND STAMPED: PLS 38026 AND THE SOUTHEAST CORNER OF SAID SECTION 6, BEING A FOUND 3-1/4" ALUMINUM CAP, FLUSH WITH THE SURFACE AND STAMPED PLS 12405.

BASIS OF ELEVATION:

SOURCE BENCHMARK
DOUGLAS COUNTY BM 1.115010
A DOUGLAS COUNTY GIS MONUMENT SET IN CONCRETE LOCATED APPROXIMATELY 130 FEET SOUTHWESTERLY OF THE CENTERLINE OF CHAMBERS ROAD AND 95 FEET NORTHWESTERLY OF THE CENTERLINE OF COMPARK BOULEVARD.

SITE BENCHMARKS

1. A NO. 5 REVAR WITH 2" ALUMINUM CAP STAMPED "LS 28286, 2001" FOUND A TEH SOUTHWEST CORNER OF SECTION 6, T6S, R66W LOCATED ON THE WEST LINE OF FIRST STREET APPROXIMATELY 1000 FEET NORTH OF ELM AVENUE.
2. A 2.5" IRON PIPE WITH 3.25" ALUMINUM CAP STAMPED "PLS 12405, 19997" FOUND AT THE SOUTHEAST CORNER OF SECTION 6, T6S, R66W LOCATED APPROXIMATELY 960 FEET NORTH OF THE CENTERLINE OF AVENTERRA PARKWAY AND APPROXIMATELY 1050 FEET WEST OF THE CENTERLINE OF CHAMBERS ROAD.



Vicinity Map

N.T.S.

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LAND USE TABLE:	
ITEM	
BUILDING TYPE A AREA	0.61ACRE
BUILDING TYPE B AREA	0.89ACRE
BUILDING TYPE C AREA	0.57ACRE
BUILDING TYPE D AREA	0.89ACRE
PARKING LOT AND DRIVING ISLE AREA:	1.83ACRE
BUILDING COVERAGE:	2.68ACRE
LANDSCAPE COVERAGE:	9.63ACRE
TOTAL UNITS:	300

PARKING CALCULATION TABLE			
PARKING REQUIRED	NUMBER OF ROOMS	PARKING PER UNIT	SPACES REQUIRED
STUDIO UNITS	15	1	15
ONE BEDROOM UNITS	147	1	147
TWO BEDROOM UNITS	108	1.5	162
THREE BEDROOM UNITS	30	2	60
GUEST	300	0.2500	75
		SUB-TOTAL PARKING	459
		PARKING PER UNIT	SPACES REQUIRED
TOTAL PARKING REQUIRED			459
RESIDENT STANDARD PARKING SPACES			454
RESIDENT ACCESSIBLE PARKING SPACES			10
TOTAL PARKING PROVIDED			464

PROJECT DIRECTORY

DEVELOPER / OWNER
CENTURY COMMUNITIES
8390 E. CRESCENT PARKWAY, SUITE 650,
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LANDSCAPE ARCHITECT / PLANNER
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CONTACT: DERRICK PAUS

PHOTOMETRICS
JORDAN AND SKALA ENGINEERS
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DENVER, CO 80202
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CONTACT: STEPHEN LINGEN

PROJECT NUMBER
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COMMUNITIES



PROJECT

**COMPARK
VILLAGE
SOUTH**

TOWN OF PARKER, COUNTY
OF DOUGLAS, COLORADO
80134

SHEET TITLE

COVER SHEET

SHEET NUMBER

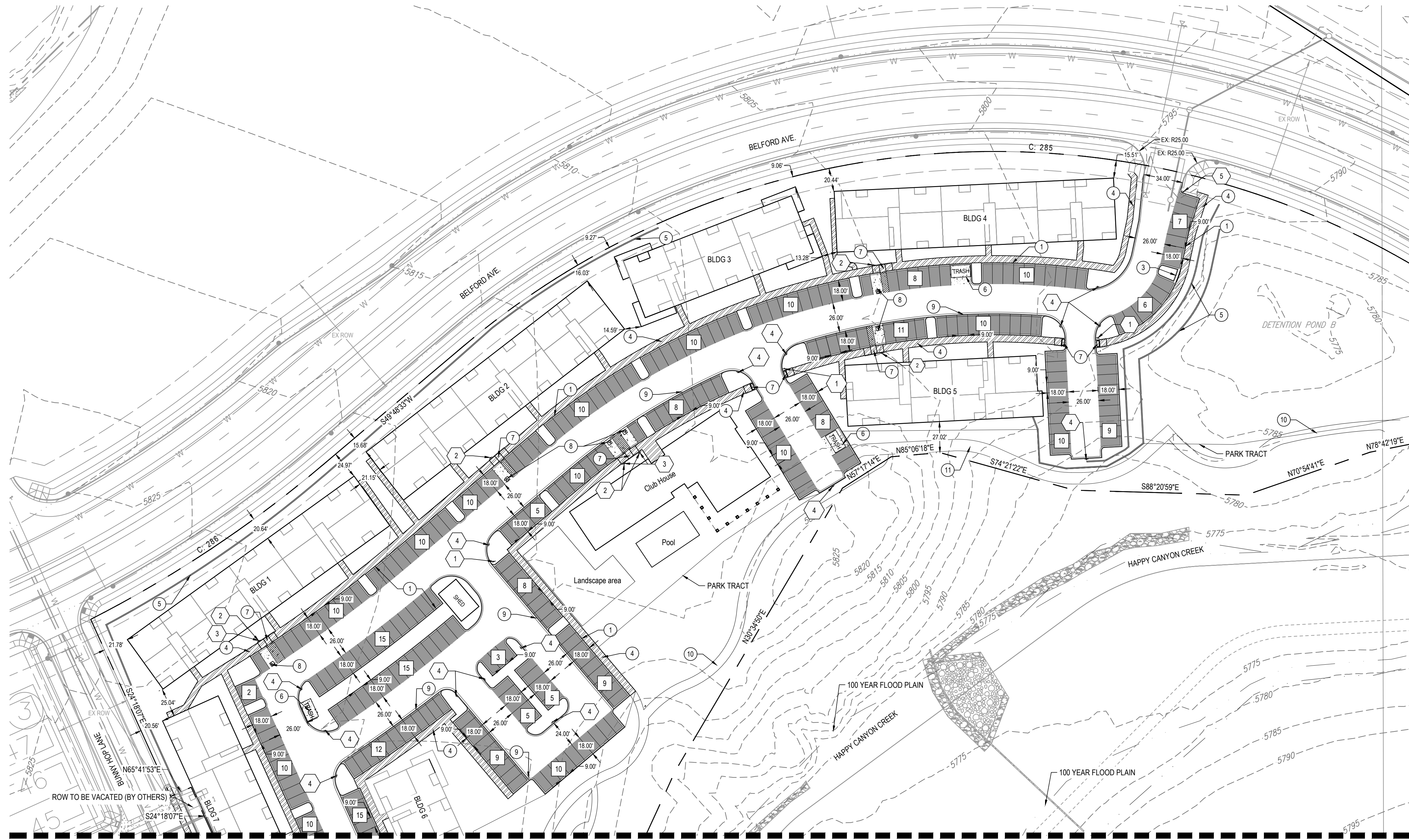
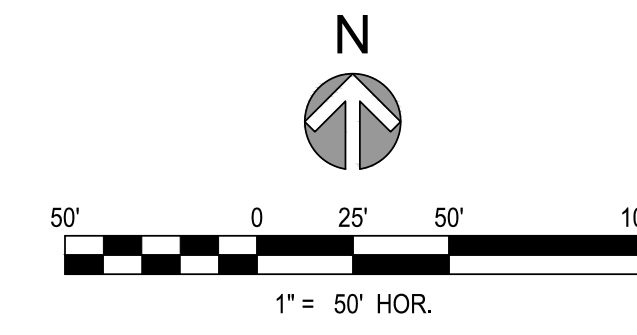
01

COMPARK VILLAGE SOUTH
SITE PLAN
 LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
 SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
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LEGEND

	SIDEWALK
	6" ASPHALT PAVEMENT
	6" PORTLAND CONCRETE CEMENT
	PROPERTY LINE
	SIGN

- KEYNOTES**
- 1 6" VERTICAL CURB AND GUTTER
 - 2 CURB CUT
 - 3 2' CURB CUT
 - 4 6' ATTACHED SIDEWALK
 - 5 RETAINING WALL
 - 6 TRASH ENCLOSURE
 - 7 ACCESSIBLE RAMP
 - 8 ACCESSIBLE PARKING
 - 9 3' CROSS PAN
 - 10 8' TRAIL
 - 11 10' TRAIL
 - # PARKING SPACE COUNT

	R1-1 (30" x 30")	
	R7-8 (12' x 18')	
	R7-8 P (12' x 9')	
	R7-1 (SP) (12' x 18')	
	R2-1 (SP) (12' x 18')	

PAVEMENT MARKING OF INTERNATIONAL SYMBOL OF ACCESSIBILITY

- NOTES**
- DIMENSIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
 - ALL PAVEMENT IS 6.5" ASPHALT UNLESS OTHERWISE NOTED



PROJECT
COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE
SITE PLAN

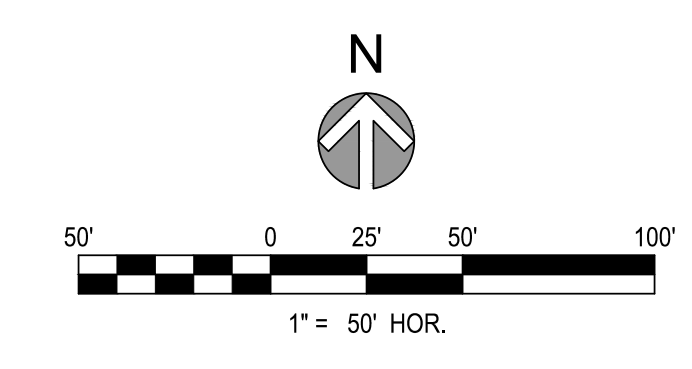
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COMPARK VILLAGE SOUTH
SITE PLAN
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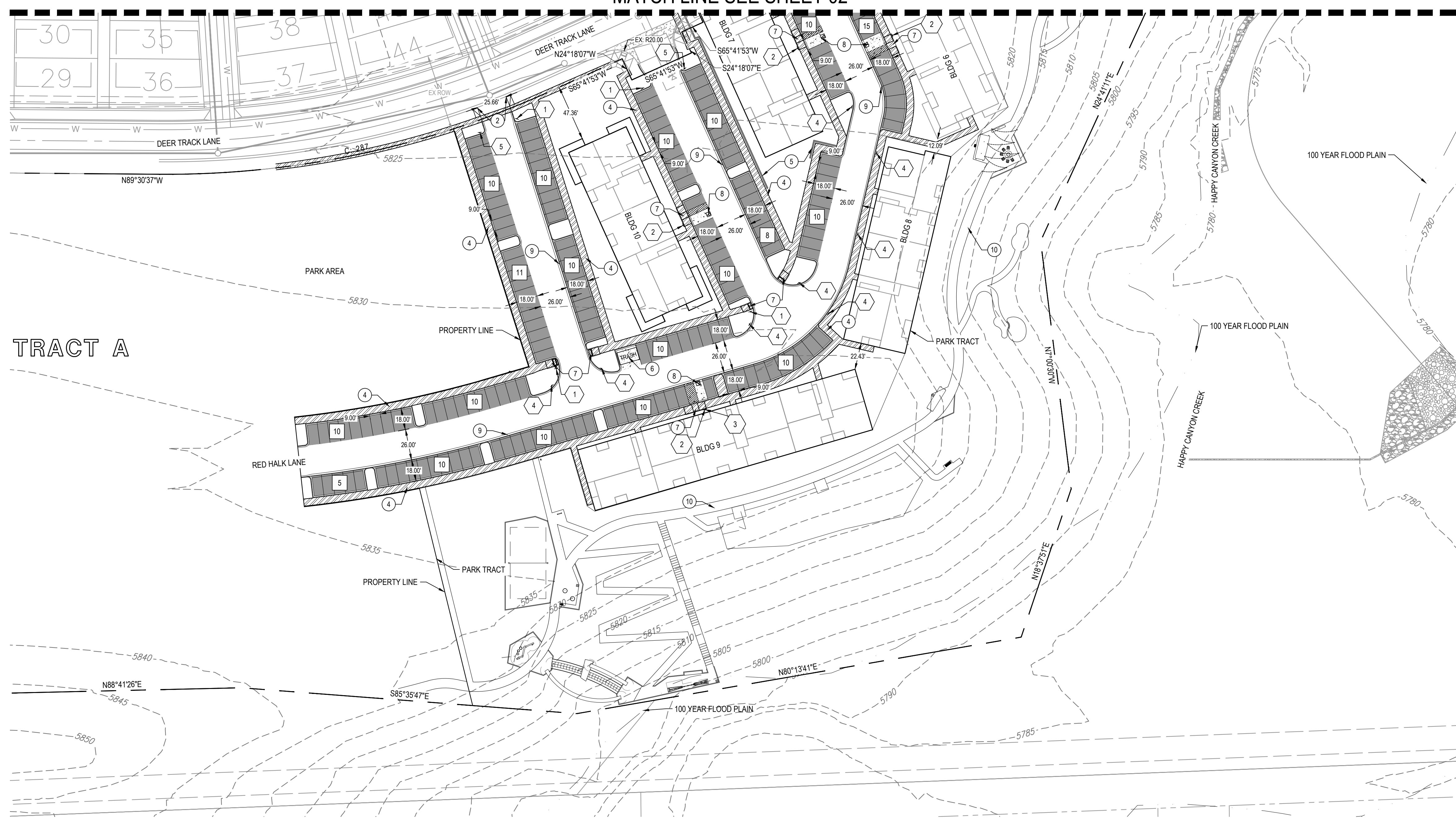
PROJECT NUMBER
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MATCH LINE SEE SHEET 02



LEGEND

	SIDEWALK
	6" ASPHALT PAVEMENT
	6" PORTLAND CONCRETE CEMENT
	PROPERTY LINE
	SIGN

KEYNOTES

①	6" VERTICAL CURB AND GUTTER
②	CURB CUT
③	2" CURB CUT
④	6" ATTACHED SIDEWALK
⑤	RETAINING WALL
⑥	TRASH ENCLOSURE
⑦	ACCESSIBLE RAMP
⑧	ACCESSIBLE PARKING
⑨	3' CROSS PAN
⑩	8' TRAIL
⑪	10' TRAIL
#	PARKING SPACE COUNT

①	R1-1 (30" x 30")	
②	R7-8 (12" x 18")	
③	R7-8 P (12" x 9")	
④	R7-1 (SP) (12" x 18")	
⑤	R2-1 (SP) (12" x 18")	

PAVEMENT MARKING OF INTERNATIONAL SYMBOL OF ACCESSIBILITY

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SHEET TITLE
SITE PLAN

SHEET NUMBER
03

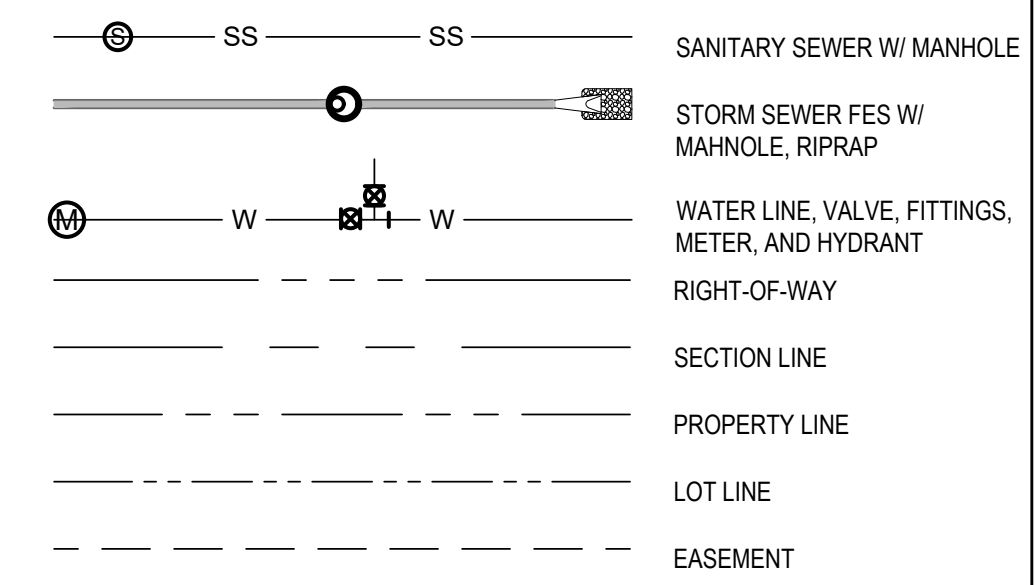
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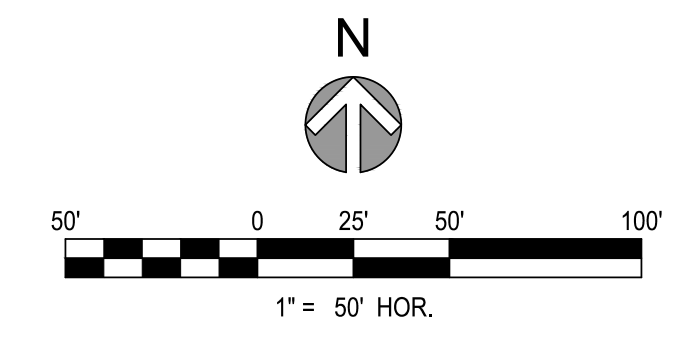
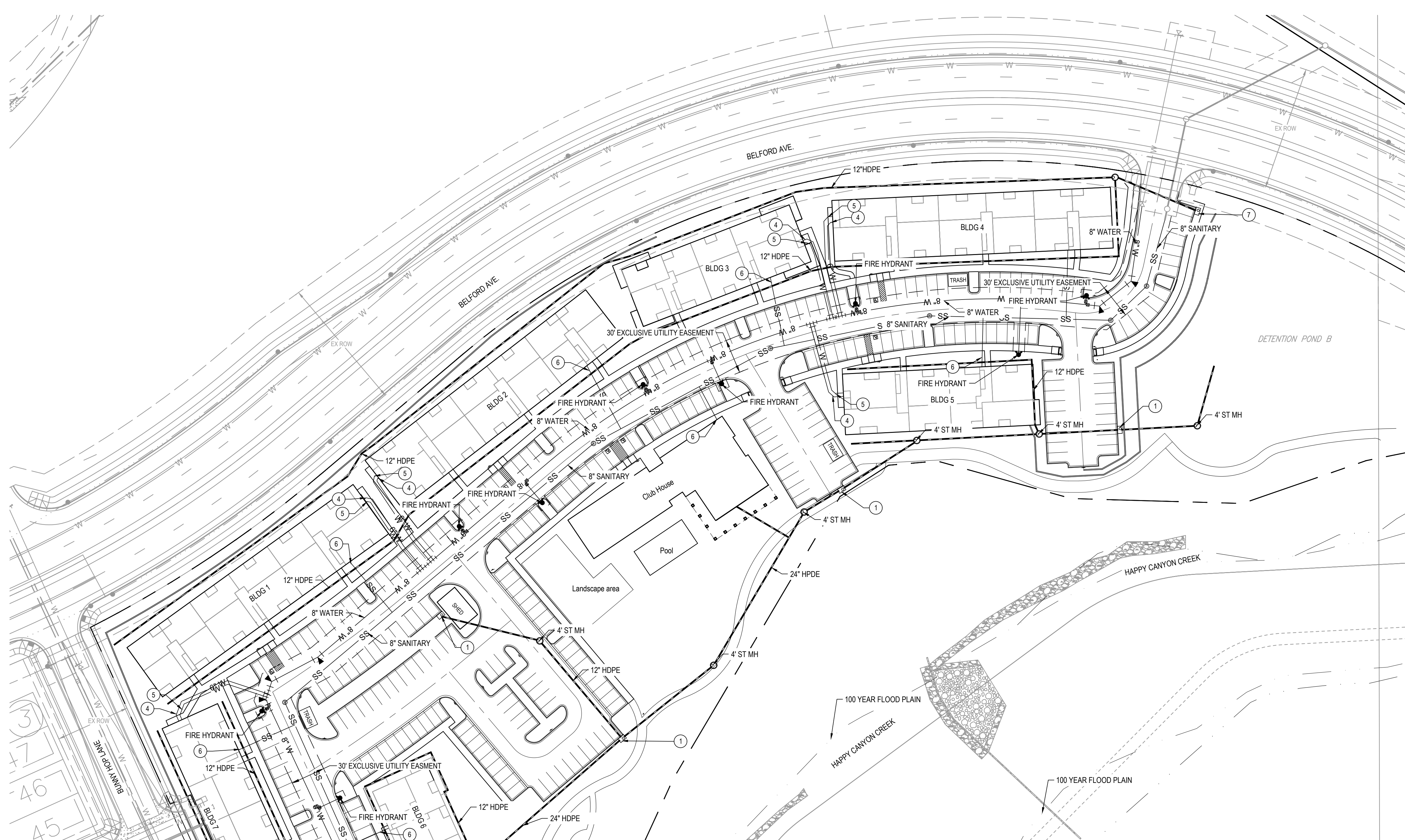
DATE
9/10/2021

LEGEND



KEYNOTES

- ① 5' TYPE R INLET
- ② 10' TYPE R INLET
- ③ DOUBLE COMBO INLET TYPE 13
- ④ 2" DOMESTIC WATER SERVICE
- ⑤ 6" FIRE WATER SERVICE
- ⑥ 6" SANITARY SERVICE
- ⑦ TYPE B COMBO INLET SINGLE



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PROJECT
COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE
UTILITY PLAN

SHEET NUMBER
04

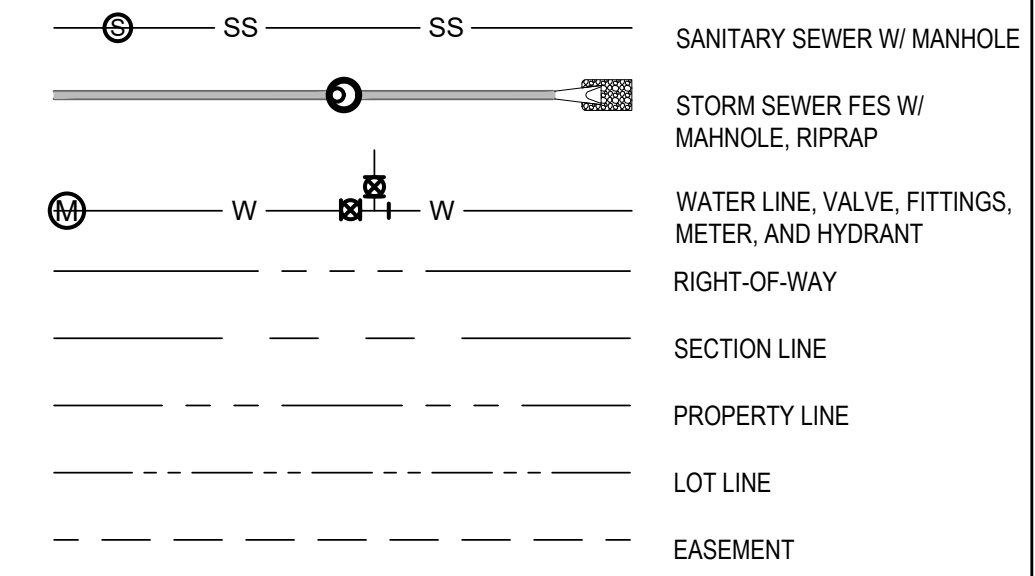
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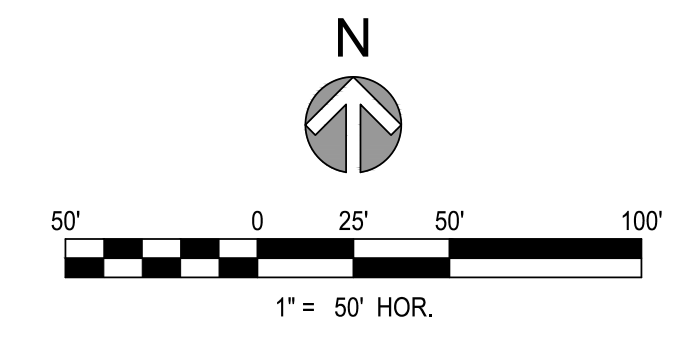
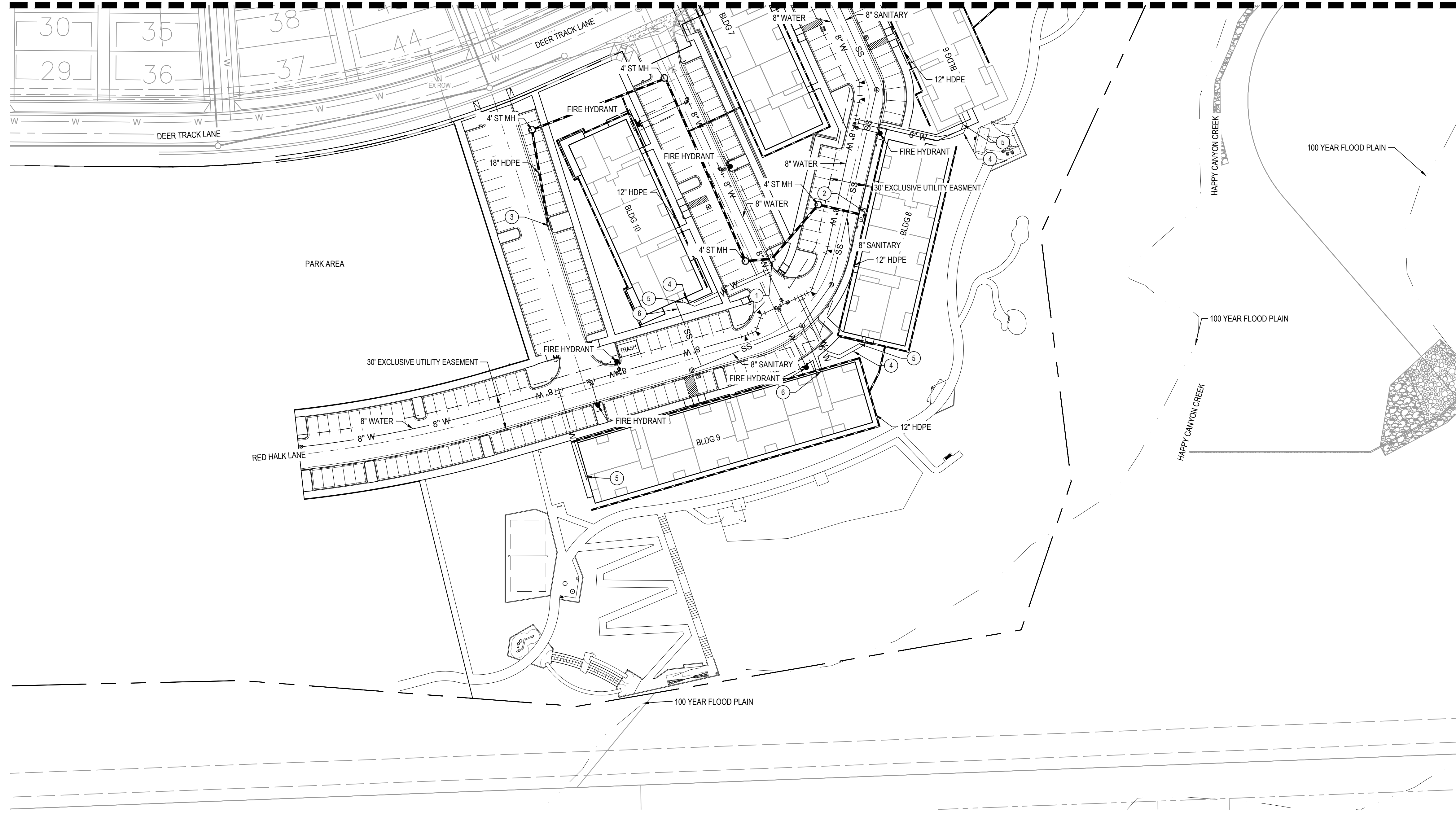
LEGEND



KEYNOTES

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- ⑥ 6" SANITARY SERVICE
- ⑦ TYPE B COMBO INLET SINGLE

MATCH LINE SEE SHEET 04



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UTILITY PLAN

SHEET NUMBER
05

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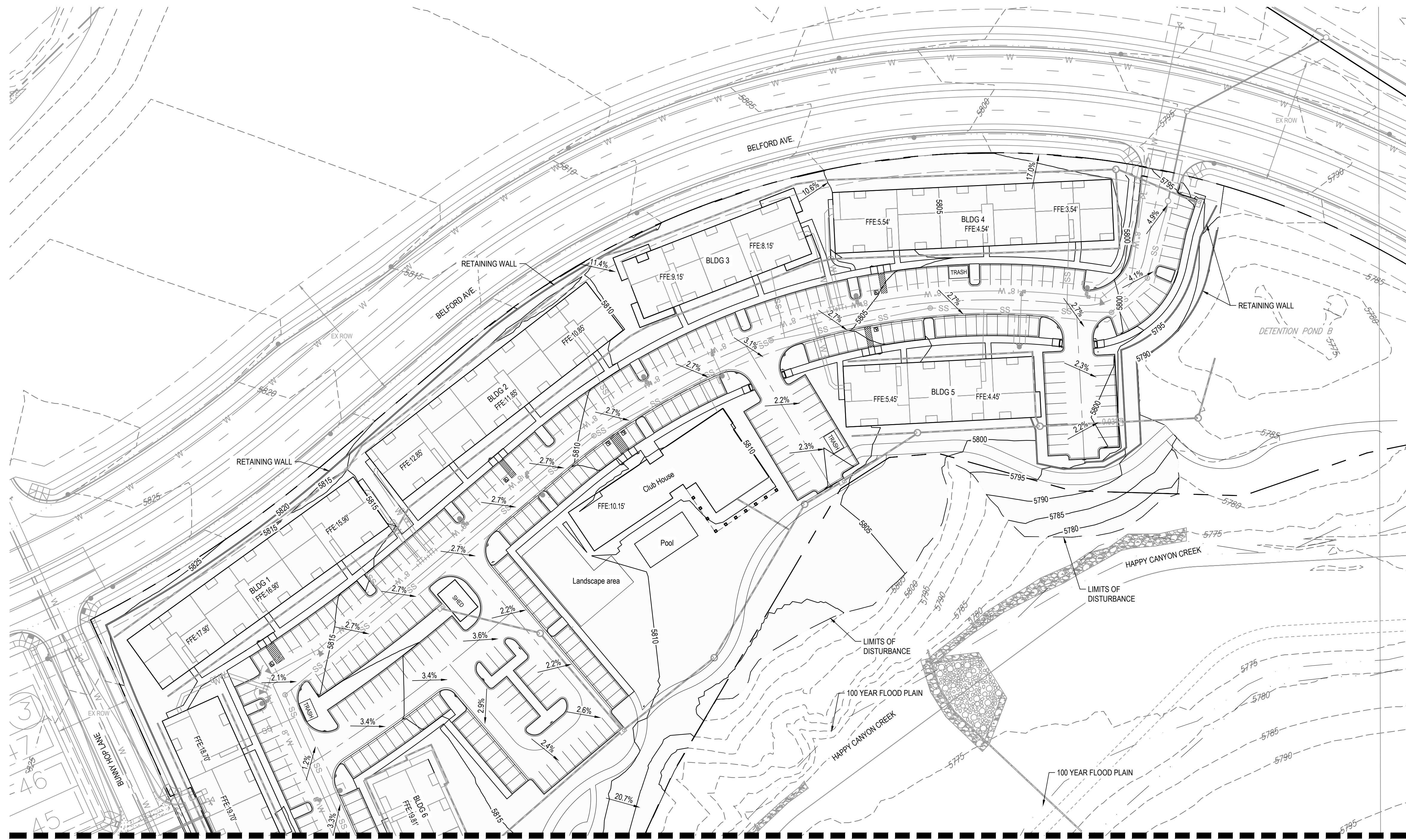
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LEGEND

- RIGHT-OF-WAY
- SECTION LINE
- PROPERTY LINE
- LOT LINE
- LIMITS OF DISTURBANCE



MATCH LINE SEE SHEET 07



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COMMUNITIES



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 SOUTH**

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 OF DOUGLAS, COLORADO
 80134

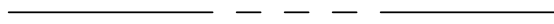
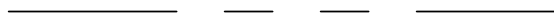
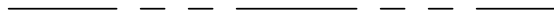
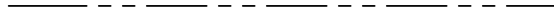
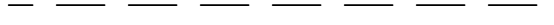

SHEET TITLE
GRADING PLAN

SHEET NUMBER
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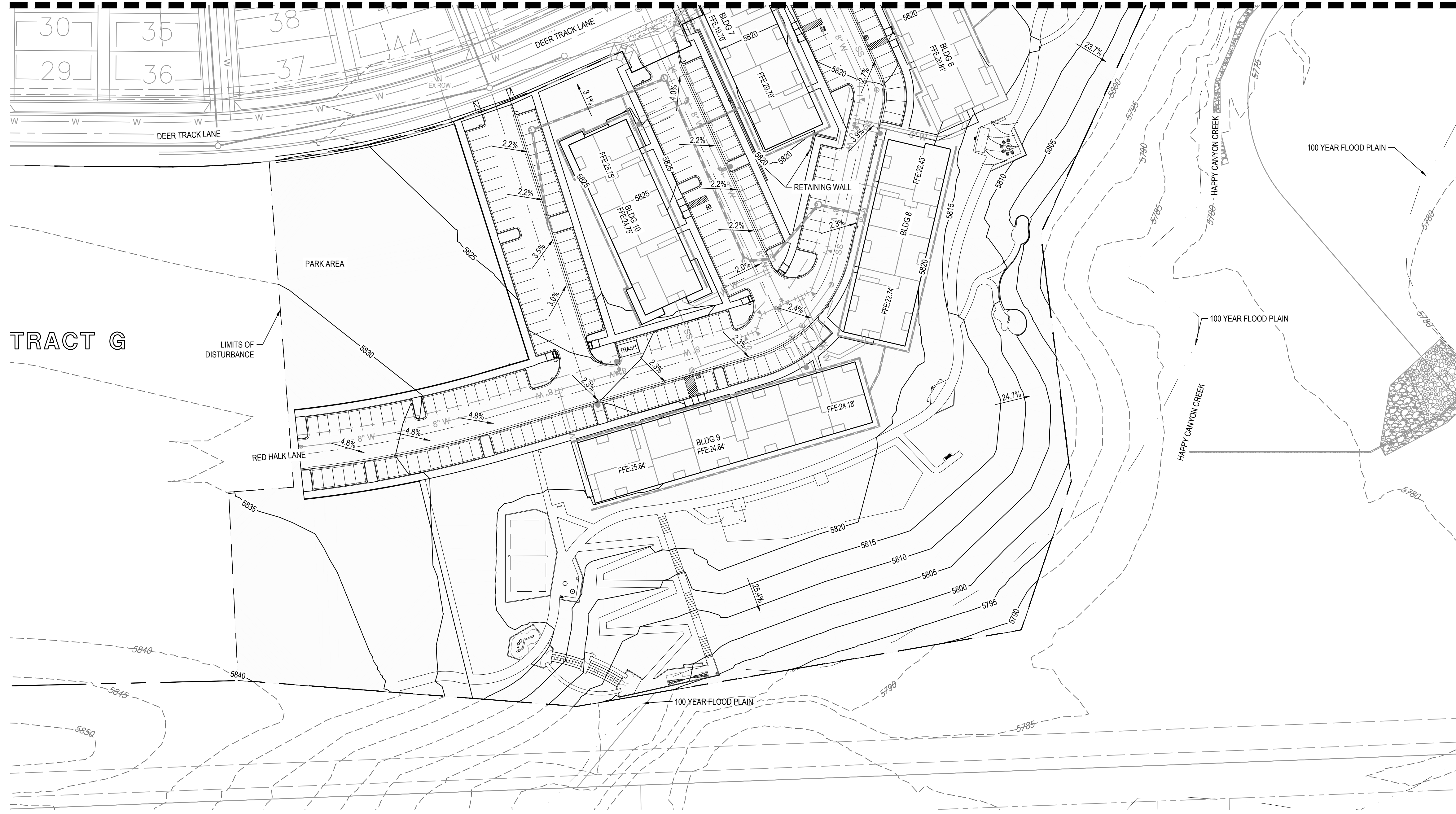
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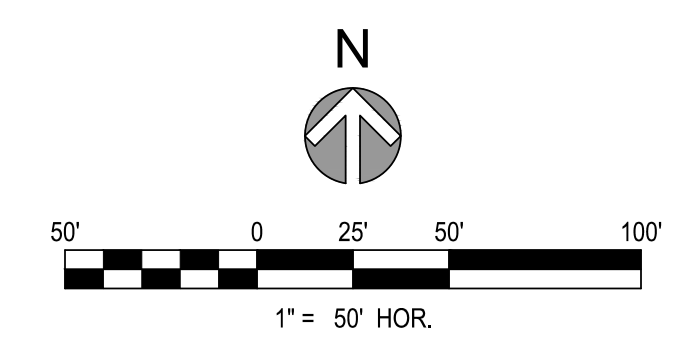
LEGEND

	RIGHT-OF-WAY
	SECTION LINE
	PROPERTY LINE
	LOT LINE
	EASEMENT
	SIDEWALK

MATCH LINE SEE SHEET 06



TRACT G



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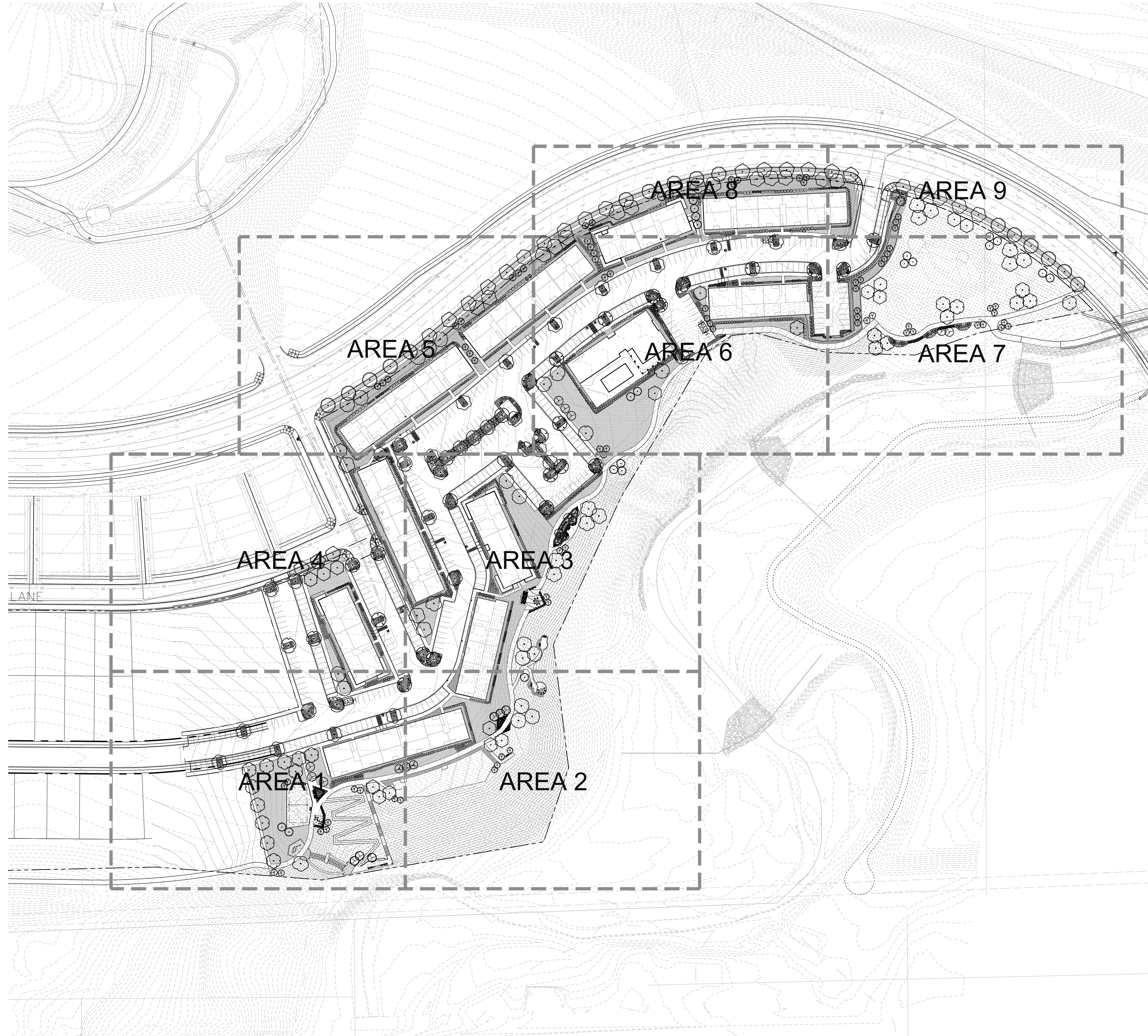
PROJECT
COMPARK VILLAGE SOUTH

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SHEET TITLE
GRADING PLAN

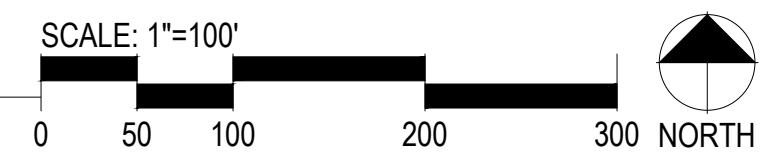
SHEET NUMBER
07

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TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



OVERALL PLANT SCHEDULE

Canopy Tree	Quantity	Common Name	ROOT	CALIPER/HT.	MATURE HEIGHT WIDTH	YEARS TO MATURITY	IRR ZONE
CS	23	NORTHERN CATALPA	B & B	2" CAL	50' X 30'	20-30yr	LOW
GI	18	IMPERIAL HONEYLOCUST	B & B	2" CAL	35' X 25'	20-30yr	LOW
GS2	22	SHADEMASTER HONEY LOCUST	B & B	2" CAL	60' X 40'	20-30yr	LOW
GK	21	KENTUCKY COFFEE TREE	B & B	2" CAL	60' X 50'	20-30yr	LOW
PB3	14	LONDON PLANE TREE	B & B	2" CAL	60' X 35'	20-30yr	LOW
QB	24	SWAMP WHITE OAK	B & B	2" CAL	50' X 50'	20-30yr	LOW-MOD
BRO	23	BUR OAK	B & B	2" CAL	60' X 50'	20-30yr	LOW-MOD
QR	18	ENGLISH OAK	B & B	2" CAL	60' X 50'	20-30yr	LOW-MOD
QR3	10	RED OAK	B & B	2" CAL	50' X 40'	20-30yr	LOW-MOD
TG	16	GLENLEVEN LITTLELEAF LINDEN	B & B	2" CAL	45' X 30'	20-30yr	LOW
Evergreen Tree	Quantity	Common Name	ROOT	CALIPER/HT.	MATURE HEIGHT WIDTH	YEARS TO MATURITY	IRR ZONE
PD3	36	BLACK HILLS SPRUCE	B & B	6" HT.	20' X 10'	20-30yr	LOW
PP	21	PINON PINE	B & B	6" HT.	25' X 15'	20-30yr	LOW
PH	20	BOSNIAN PINE	B & B	6" HT.	30' X 15'	20-30yr	LOW
AP	22	AUSTRIAN BLACK PINE	B & B	6" HT.	50' X 35'	20-30yr	LOW
Ornamental Tree	Quantity	Common Name	ROOT	CALIPER/HT.	MATURE HEIGHT WIDTH	YEARS TO MATURITY	IRR ZONE
FAM	6	FLAME AMUR MAPLE	B & B	1.5" CAL	20' X 15'	10-15yr	LOW
AB2	9	AUTUMN BRILLIANCE SERVICEBERRY	B & B	1.5" CAL	20' X 15'	10-15yr	LOW
SS2	10	SPRING SNOW CRAB APPLE	B & B	1.5" CAL	20' X 15'	10-15yr	LOW
Deciduous Shrubs	Quantity	Common Name	SIZE	MATURE HEIGHT WIDTH	YEARS TO MATURITY	IRR ZONE	
AA	8	SASKATOON SERVICEBERRY	5 GAL	12' X 6'	7-12yr	LOW	
BG	106	GOLDEN NUGGET BARBERRY	5 GAL	2' X 2'	7-12yr	LOW	
BR	69	ROYAL BURGUNDY BARBERRY	5 GAL	3' X 3'	7-12yr	LOW	
DKS	103	BLUE MIST SPIREA	5 GAL	3' X 3'	7-12yr	LOW	
EC2	66	COMPACT BURNING BUSH	5 GAL	5' X 5'	7-12yr	LOW-MOD	
LL	98	LODENSE PRIVET	5 GAL	3' X 3'	7-12yr	LOW	
PA	112	RUSSIAN SAGE	5 GAL	4' X 4'	7-12yr	LOW	
PL	125	LITTLELEAF MOCKORANGE	5 GAL	4' X 4'	7-12yr	LOW	
PL2	84	LITTLE DEVIL NINEBARK	5 GAL	4' X 4'	7-12yr	LOW	
PP2	117	CREeping WESTERN SAND CHERRY	5 GAL	5' X 5'	7-12yr	LOW	
RC	93	WESTERN SMOOTH SUMAC	5 GAL	3' X 5'	7-12yr	LOW	
RG	70	DWARF FRAGRANT SUMAC	5 GAL	3' X 5'	7-12yr	LOW	
RF	116	FIRE MEIDLAND ROSE	5 GAL	4' X 4'	7-12yr	LOW	
RR2	15	WHITE KNOCK OUT ROSE	5 GAL	4' X 4'	7-12yr	LOW	
SC3	152	HANCOCK CHENAULT CORALBERRY	5 GAL	3' X 6'	7-12yr	LOW	
SW	10	ANTHONY WATERER SPRIEA	5 GAL	3' X 4'	7-12yr	LOW	
SN	94	SNOWMOUND SPIREA	5 GAL	4' X 4'	7-12yr	LOW-MOD	
VB	57	BURKWOOD VIBURNUM	5 GAL	6' X 6'	7-12yr	LOW-MOD	
Evergreen Shrubs	Quantity	Common Name	SIZE	MATURE HEIGHT WIDTH	YEARS TO MATURITY	IRR ZONE	
AP2	100	PANCHITO MANZANITA	5 GAL	1.5' X 4'	7-12yr	LOW	
EK2	113	MANHATTAN EUONYMUS	5 GAL	4' X 6'	7-12yr	LOW	
JC	95	ARMSTRONG JUNIPER	5 GAL	4' X 4'	7-12yr	LOW	
JH	71	HUGHES JUNIPER	5 GAL	1.5' X 6'	7-12yr	LOW	
JUA	107	ARCADIA JUNIPER	5 GAL	2' X 6'	7-12yr	LOW	
JB	122	BUFFALO JUNIPER	5 GAL	1.5' X 6'	7-12yr	LOW	
JS3	103	SIERRA SPREADER JUNIPER	5 GAL	1.5' X 6'	7-12yr	LOW	
JS2	12	SKYROCKET JUNIPER	10 GAL	20' X 3'	7-12yr	LOW	
JO	96	OLD GOLD JUNIPER	5 GAL	4' X 4'	7-12yr	LOW	
WBM	112	MUGO PINE	5 GAL	2' X 3'	7-12yr	LOW	
Grasses	Quantity	Common Name	SIZE	MATURE HEIGHT WIDTH	YEARS TO MATURITY	IRR ZONE	
FRG	162	FEATHER REED GRASS	1 GAL	5' X 30"	3yr	LOW-MOD	
CL	99	WOOD OATS	1 GAL	2' X 2'	3yr	LOW	
PC2	81	SWITCH GRASS	1 GAL	3' X 2'	3yr	LOW	
Ground Cover	Area	Common Name					
SEED	147,637sf	NATIVE SEED MIX					
SOD	92,555sf	BLACK BEAUTY FESCUE					
WOOD MULCH	100,122sf	SHREDDED WESTERN RED CEDAR BARK					
ROCK MULCH	2,441sf	2"-4" GREY ROSE COBBLE STONE					
SAND		FINE GRADE PLASTER SAND					



PROJECT NUMBER
65120950

DRAWN BY
AL

DATE
9/10/2021

Landscape Architecture

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COMMUNITIES

PROJECT
**COMPARK
VILLAGE
SOUTH**

TOWN OF PARKER, COUNTY
OF DOUGLAS, COLORADO
80134

SHEET TITLE
**MASTER
LANDSCAPE PLAN**


SHEET NUMBER
8 of 29

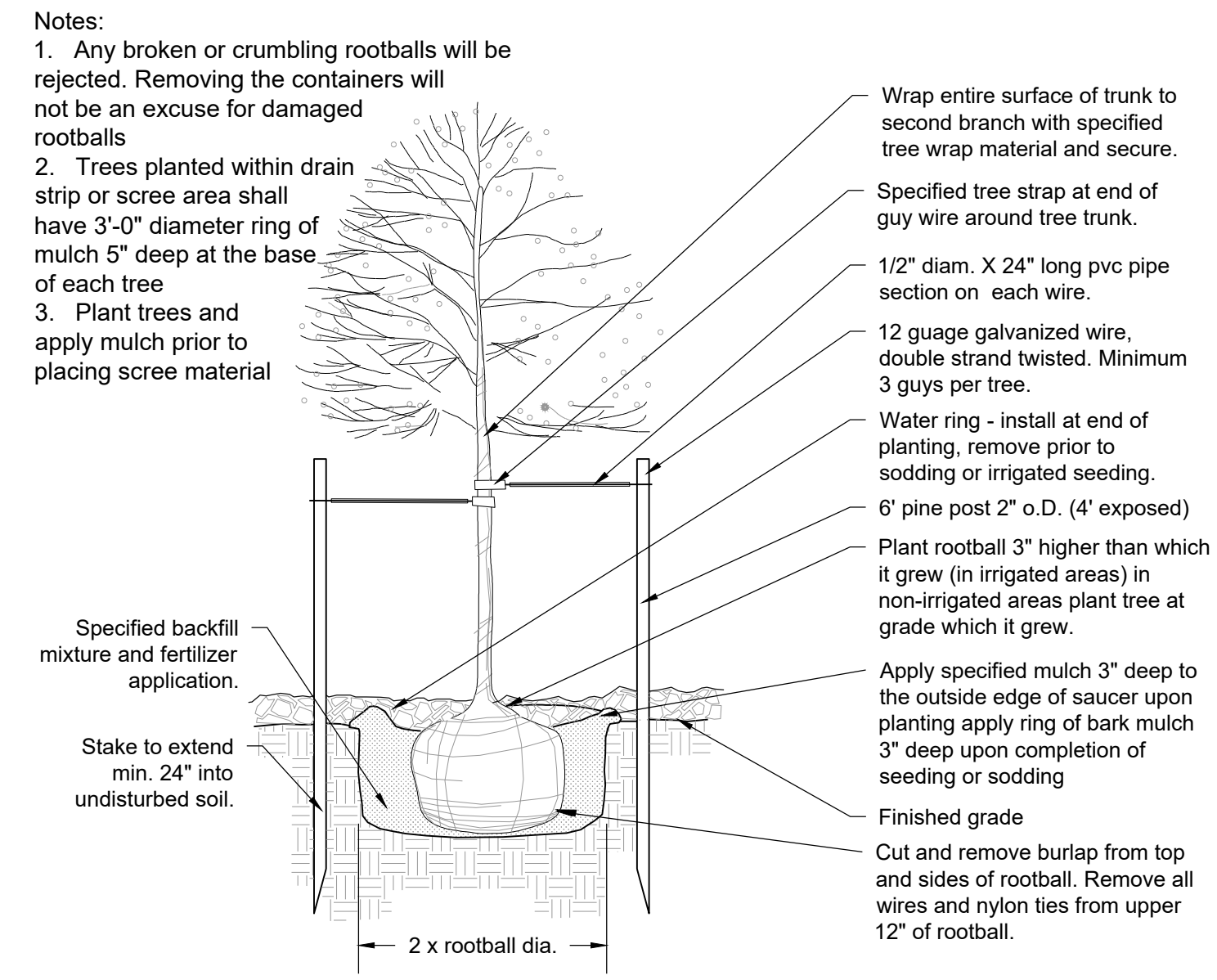
**COMPARK VILLAGE SOUTH
SITE PLAN**
LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER
65120950

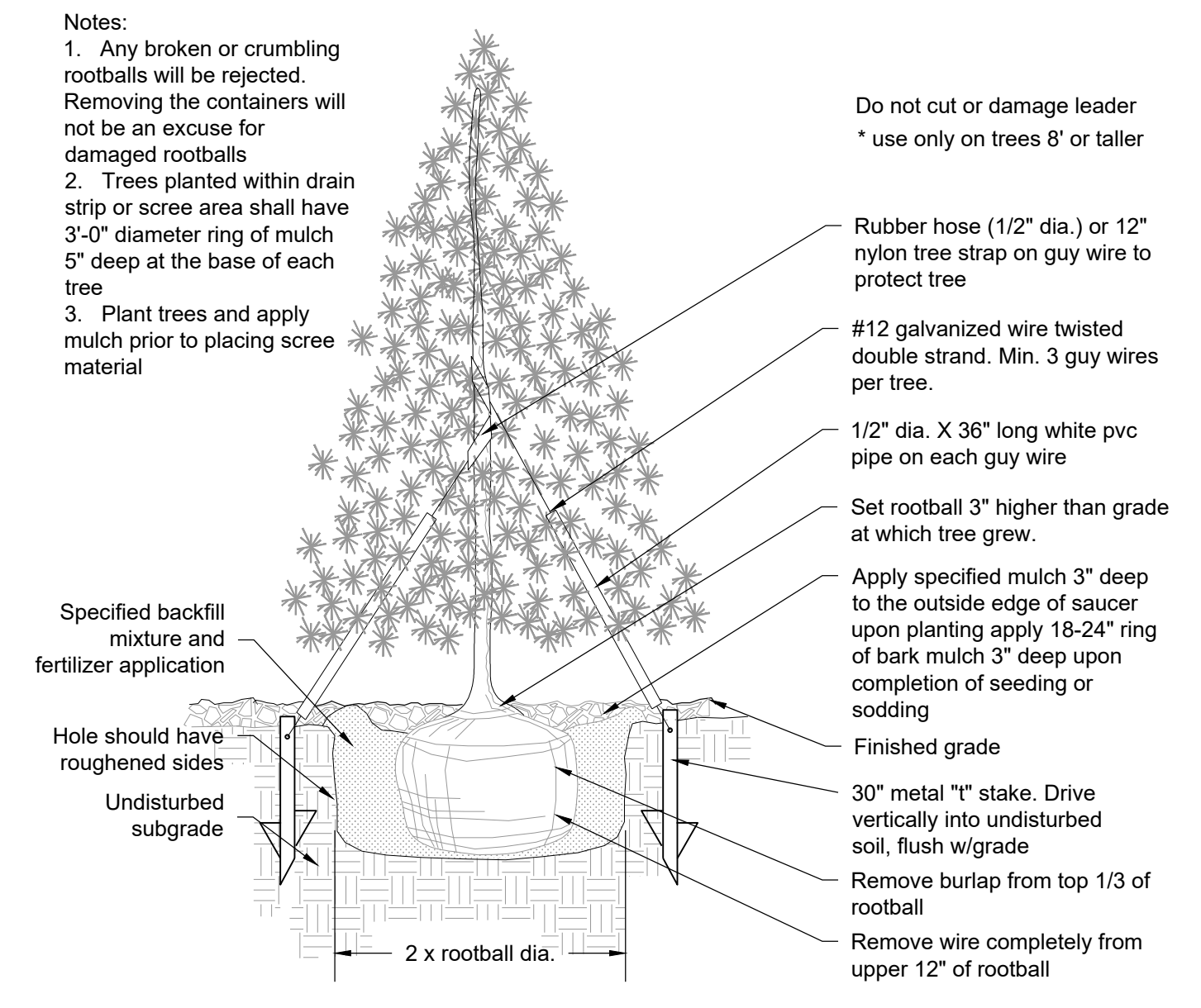
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1 Deciduous Tree Planting Detail
Scale: NTS



2 Evergreen Tree Planting Detail
Scale: NTS

GENERAL NOTES

- NO SUBSTANTIAL CHANGE FROM THE APPROVED LANDSCAPE PLAN WITHOUT PRIOR REVIEW OF THE PARKER WATER AND SANITATION DISTRICT, WHICH MAY REQUIRE ADDITIONAL IRRIGATION TAPS FOR CHANGES DUE TO MORE WATER INTENSIVE LANDSCAPING.
- ALL LANDSCAPING (EDGE OF ROOT BALLS) SHALL BE SETBACK FROM BUILDINGS A MINIMUM OF 3'.
- ABSOLUTELY NO IRRIGATION EQUIPMENT OF ANY KIND IS TO BE INSTALLED OR PLACED CLOSER THEN 5'-0" TO THE STRUCTURAL FOUNDATION OF ANY BUILDING.

LANDSCAPE NOTES

- ALL WORK SHALL CONFORM TO LOCAL CITY AND COUNTY CODES. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES, LINES AND STRUCTURES PRIOR TO EXCAVATION OR TRENCHING. DAMAGE TO THESE UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER OR LANDSCAPE ARCHITECT.
- PLANT QUANTITIES TO BE BASED ON CONTRACTOR'S ESTIMATE ACCORDING TO PLANS, WHICH ARE SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT.
- GRAPHIC SYMBOLS PRESIDE OVER WRITTEN PLANT QUANTITIES. (IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN GRAPHIC AND LANDSCAPE LEGEND, THE PLANT MATERIAL QUANTITY AS DETERMINED BY THE PLAN GRAPHIC SHALL TAKE PRECEDENCE.)
- ALL TREE AND SHRUB LOCATIONS SHALL BE STAKED BY THE CONTRACTOR AND APPROVED BY THE OWNER, OR LANDSCAPE ARCHITECT.
- PLANT SUBSTITUTIONS WILL NOT BE PERMITTED WITHOUT APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT.
- ALL TURF AREAS TO BE SPRAY IRRIGATED. ALL SHRUB BEDS TO BE DRIP IRRIGATED. ALL PERENNIAL AREAS TO BE IRRIGATED WITH 1/2" POP-UP SPRAY HEADS UNLESS OTHERWISE NOTED. THIS SYSTEM IS AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.
- WINTER PROTECTION AND WATERING OF TREES SHALL BE PROVIDED WHEN NECESSARY TO MAINTAIN THE HEALTH AND SURVIVAL OF PLANT MATERIAL.
- WOOD MULCH TO BE SHREDDED WESTERN RED CEDAR BARK MULCH.
- SOD TO BE BLACK BEAUTY FESCUE.
- ALL TREE RINGS TO BE MULCHED WITH WOOD MULCH TO A DEPTH OF 3 INCHES MINIMUM WITH NO LANDSCAPE FABRIC.
- ALL SHRUB BEDS TO BE MULCHED WITH WOOD MULCH TO A DEPTH OF 3 INCHES MINIMUM WITH LANDSCAPE FABRIC.
- FOR TREES IN SOD OR NATIVE GRASS, ALLOW A 2' DIAMETER BED WITHOUT SOD AROUND ROOT COLLAR. APPLY 3" DEPTH OF WOOD MULCH OVER 2' DIAMETER BED FOLLOWING SOD INSTALLATION.
- ALL SHRUB AND SOD AREAS SHALL RECEIVE THE FOLLOWING SOIL AMENDMENTS PER 1000 S.F.: 4 CUBIC YARDS 'SUPREME ORGANICS' COMPOST (50% COW MANURE, 50% WOOD FINES) OR APPROVED EQUAL, PLUS 15 LBS. OF 20-10-5 COMMERCIAL FERTILIZER. ROT-TILL TO A MINIMUM DEPTH OF 6".
- PLANTS SHALL BE INSTALLED IMMEDIATELY UPON DELIVERY TO SITE. IF THIS IS NOT POSSIBLE, PLANTS SHALL BE HELED IN AND WATERED TO PREVENT DEHYDRATION.
- PLANTING PITS SHALL BE EXCAVATED TO A MINIMUM OF TWICE THE WIDTH OF THE ROOTBALL. DO NOT DISTURB SOIL AT THE BOTTOM OF PIT BUT SCARIFY SIDES TO PREVENT GLAZING.
- PLANTS SHOULD BE THOROUGHLY WATERED IMMEDIATELY AFTER PLANTING, ALLOWING WATER TO SOAK DOWN AND FILL REMAINDER OF HOLE WITH LOOSE SOIL. WITHOUT FURTHER PACKING, A MOUND OF SOIL SHALL BE FORMED AROUND THE EDGE OF EACH TREE PIT TO FORM A SHALLOW SAUCER.
- AFTER PLANT INSTALLATION, ALL PLANT MATERIAL SHALL BE PLACED WITH THEIR ROOT COLLARS SLIGHTLY HIGHER THAN FINISH GRADE. (3" HIGHER FOR TREES.)
- LANDSCAPING SHALL BE PLANTED AND MAINTAINED BY THE OWNER, SUCCESSOR, AND/OR ASSIGNS. SHOULD ANY PLANT MATERIAL DIE, IT SHALL BE REPLACED WITH SIMILAR PLANT MATERIAL WITHIN ONE PLANTING SEASON.
- LANDSCAPE AND SCREENING MAINTENANCE AND REPLACEMENT: THE PROPERTY OWNER SHALL MAINTAIN THE LANDSCAPING PLAN AS ORIGINALLY APPROVED, AND PROVIDE FOR REPLACEMENT OF PLANT MATERIALS THAT HAVE DIED OR HAVE OTHERWISE BEEN DAMAGED OR REMOVED, AND MAINTENANCE OF ALL NON-LIVE LANDSCAPING MATERIALS. IN THIS CASE, LIVE MATERIAL IS TO BE MAINTAINED AND REPLACED BY THE CONTRACTOR WHICH SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL INSPECTION.
- ALL LANDSCAPE SHOWN ON THESE PLANS SHALL BE MAINTAINED IN A NEAT AND ADEQUATE MANNER. REQUIRED MAINTENANCE ACTIVITIES SHALL INCLUDE, BUT NOT BE LIMITED TO TRIMMING OF HEDGES, ADEQUATE IRRIGATION, REPLACEMENT OF DEAD, DISEASED OR UNSIGHTLY LANDSCAPING, REMOVAL OF WEEDS FROM PLANTING AREAS, AND APPROPRIATE PRUNING OF PLANT MATERIALS.
- THE CONTRACTOR SHALL STAKE OUT ALL KEY AREAS INCLUDING BUT NOT LIMITED TO SIDE WALKS, STEEL EDGING, PLANT BEDS, TREE AND SHRUB LOCATIONS AND OBTAIN APPROVAL BY THE LANDSCAPE ARCHITECT OR DEVELOPER (MAKING MODIFICATIONS AS MAY BE REQUIRED AT NO ADDITIONAL COST), PRIOR TO PROCEEDING WITH THE CONSTRUCTION.
- SOIL BACKFILL MIXTURE FOR ALL PERENNIAL BEDS SHALL BE 1/3 COW MANURE, 1/3 IMPORTED TOPSOIL, AND 1/3 ON-SITE SOIL.
- THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND BASE HIS BID ON ACTUAL ON-SITE CONDITIONS AND MEASUREMENTS. ANY DISCREPANCIES, ERRORS OR OMISSIONS ON THE CONSTRUCTION DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT MANAGER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL REVISIONS DUE TO FAILURE TO GIVE SUCH NOTICE.
- CONTRACTOR SHALL SEED ALL NON-SODDED AND NON-IRRIGATED SODDED AREAS WHICH ARE DISTURBED BY GRADING WITH THE DOUGLAS COUNTY PERMANENT DRILL SEED MIX.
- THE CONTRACTOR OR AN OWNER'S REPRESENTATIVE WILL MONITOR THE ESTABLISHMENT OF SEEDDED AREAS ON A MONTHLY BASIS FROM APRIL 15TH TO OCTOBER 15TH FOR THE FIRST THREE YEARS AFTER INSTALLATION. AREAS OF POOR GERMINATION OR GROWTH AND AREAS OF EROSION OR WEED INFESTATION WILL BE CORRECTED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL RESTORE ANY AND ALL DAMAGE DUE TO HIS CONSTRUCTION OPERATIONS TO THEIR ORIGINAL STATE AT HIS EXPENSE.
- IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS AND SIMILAR FEATURES ARE NOT SHOWN ON THE LANDSCAPE PLANS, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DURING THE SITE INSPECTION PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, OR FINAL INSPECTION AS APPLICABLE.

LANDSCAPE REQUIREMENTS

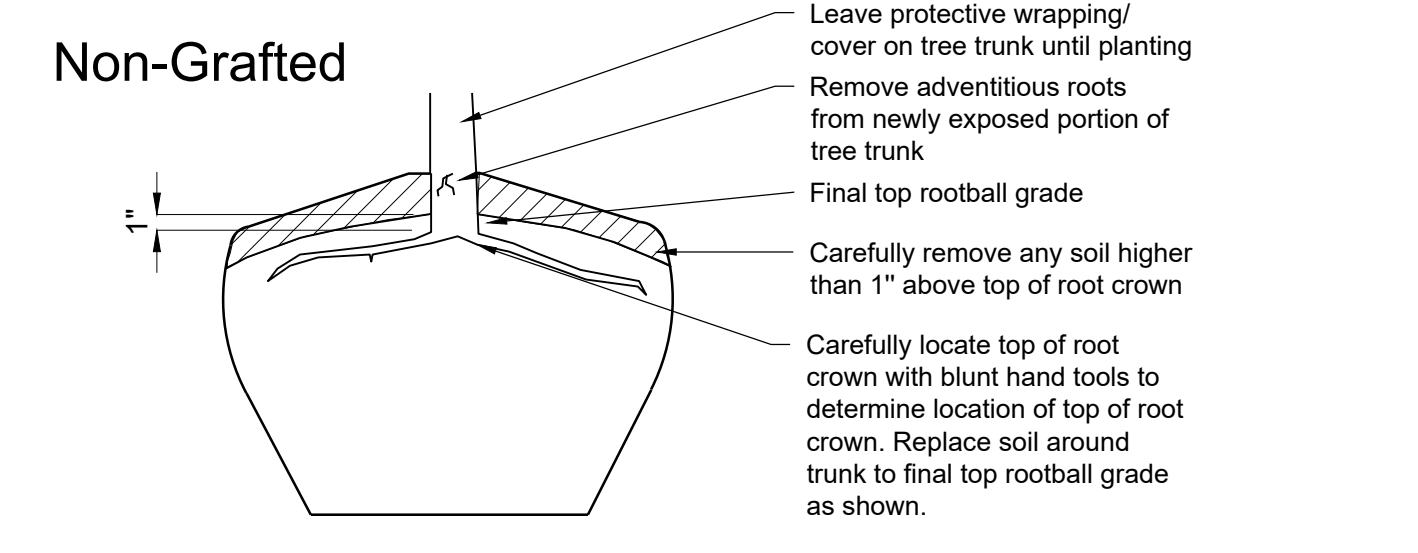
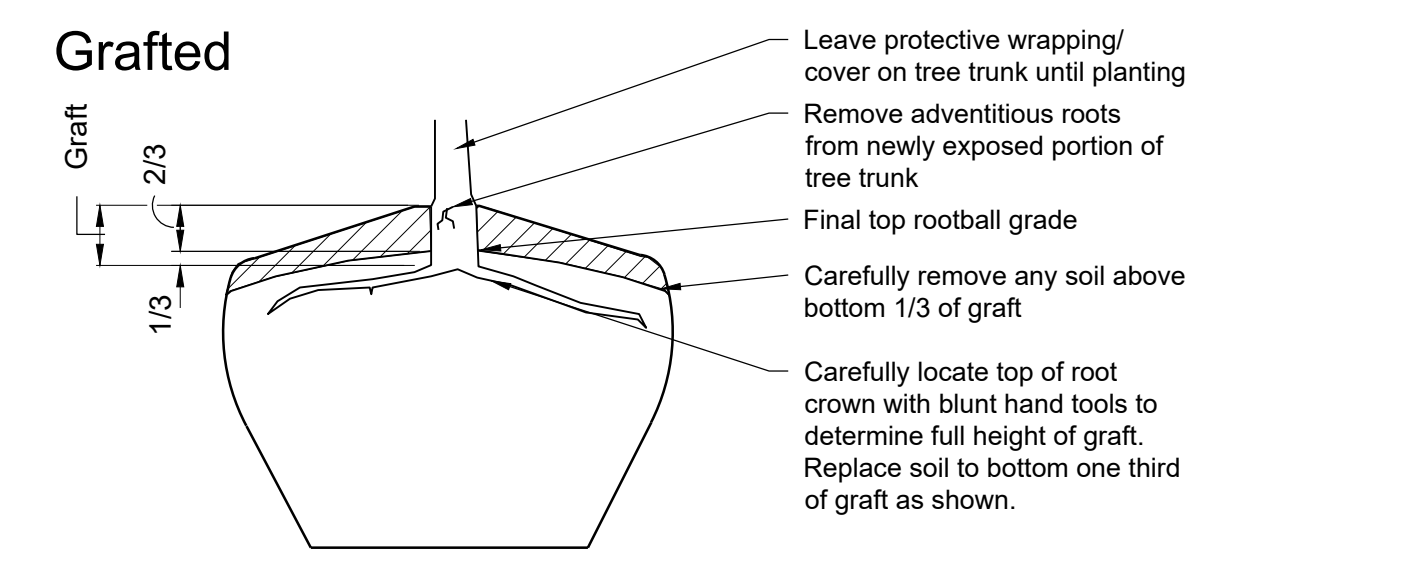
ONSITE		
TOTAL SITE AREA (SF)	599,386	
LANDSCAPE AREA REQUIRED (MIN 45%)	269723.7	45%
TOTAL LANDSCAPE AREA PROPOSED	343,414	57%

VEGETATION		
TOTAL LANDSCAPED AREA	REQUIRED	PROVIDED
TREES (1 TREE/ 1500 SF)	229	273
343,414 SF / 1500		
SHRUBS (5 SHRUBS/ 1500 SF)	1148	2316
343,414 SF * 5/1500		
ORNAMENTAL GRASSES	0	266

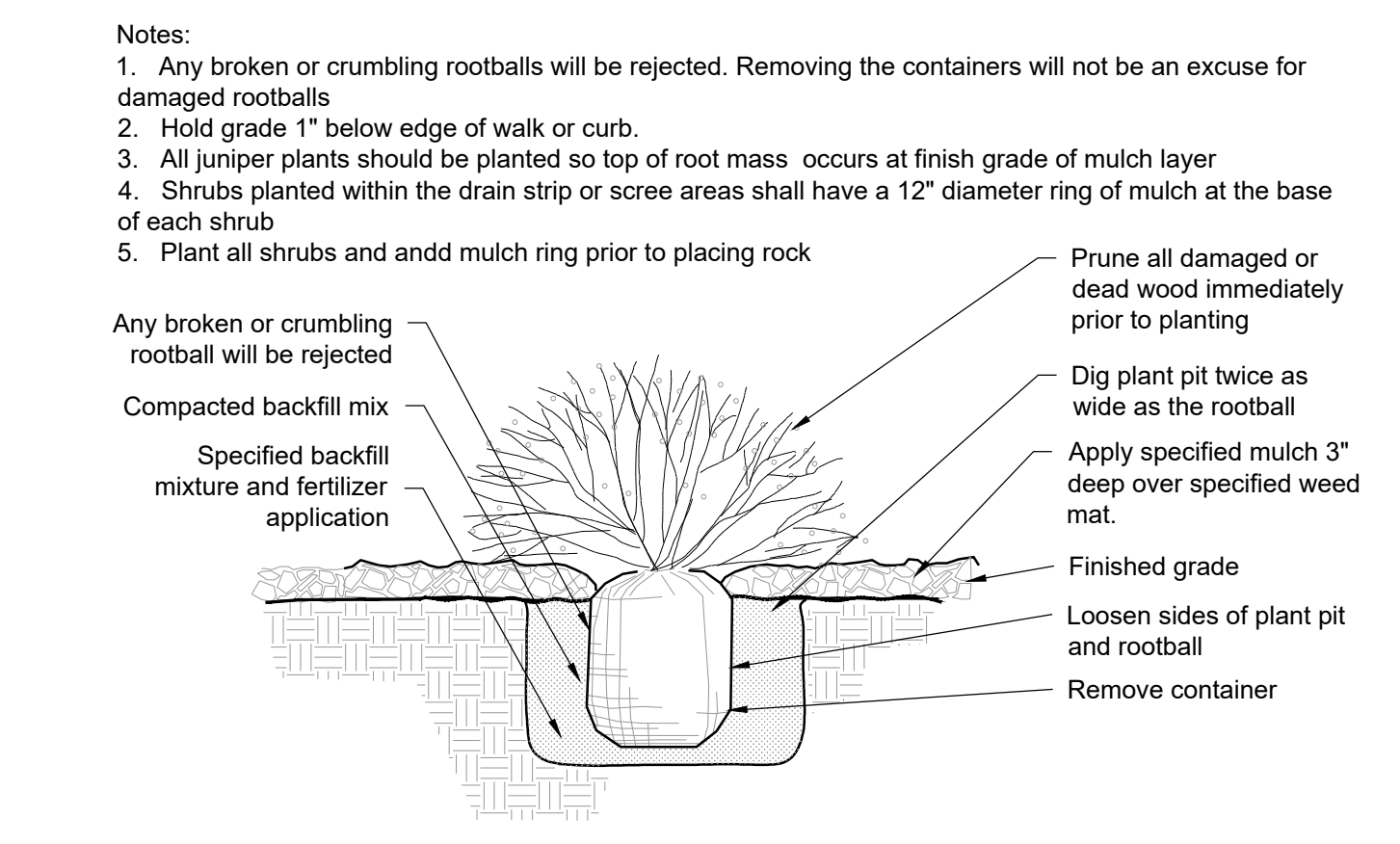
PARKING LOT		
TREES (1 TREE/ 1500 SF)	REQUIRED	PROVIDED
465 SPACES* 162 SF / 1500	51	58
SHRUBS (5 SHRUBS/ 1500 SF)	252	671
465 SPACES* 162 SF* 5/1500		

STREET TREES (1 TREE/ 40 LF)		
ROAD A	37	37
1,449 LF / 40		
ROAD B	3	3
103 LF / 40		

- Notes:
- All work to be done at time of planting
 - Peel back only top of burlap required to perform work. Replace burlap before moving tree into planting pit. Do not remove wire basket until inside planting pit.
 - Measure new height of rootball and dig planting pit so final top rootball grade is 3" above final grade surrounding ball.



3 Grafted & Non-Grafted Root Ball
Scale: NTS



4 Shrub Planting Detail
Scale: NTS

LANDSCAPE MAINTENANCE

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PROJECT
COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

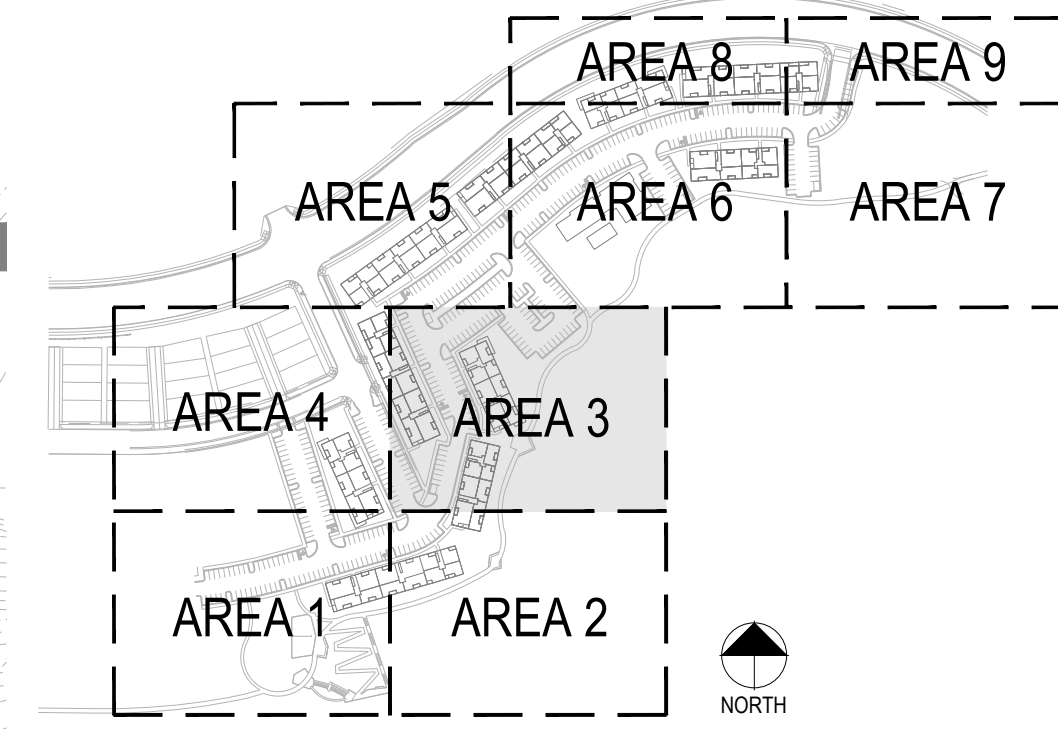
SHEET TITLE
LANDSCAPE NOTES

SHEET NUMBER
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KEY MAP

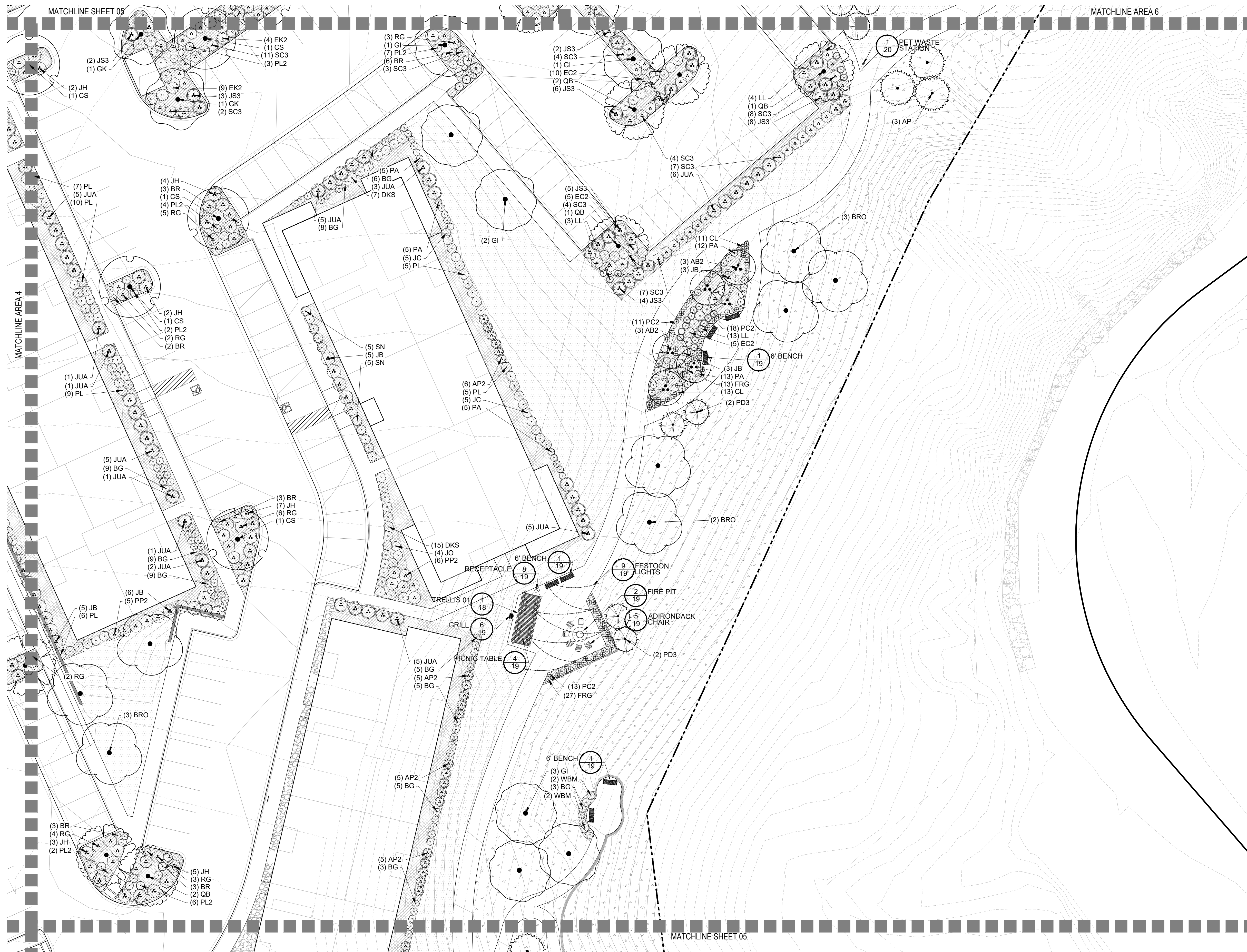


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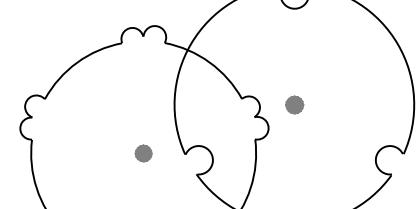
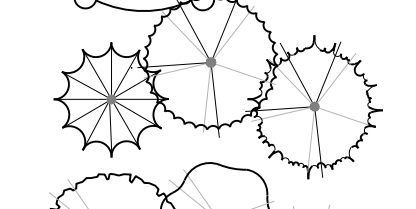

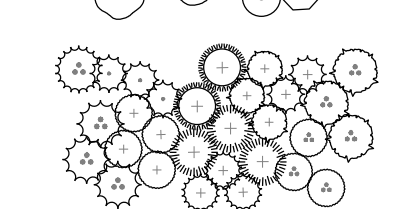
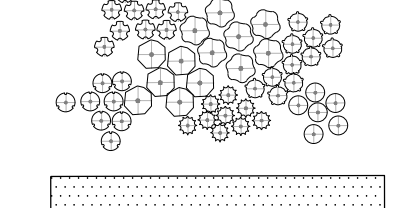
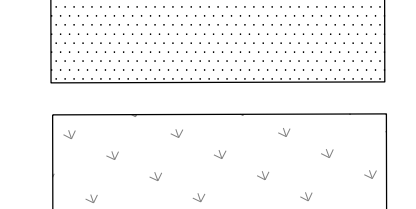
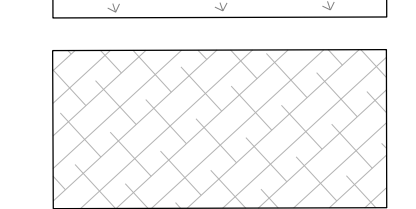
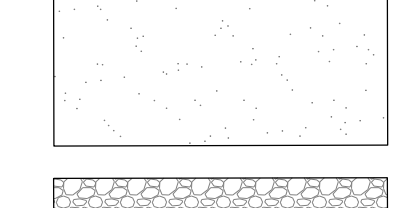
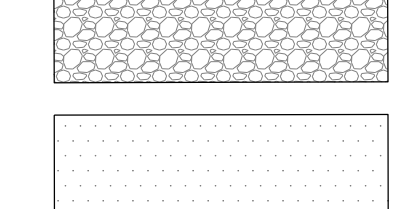
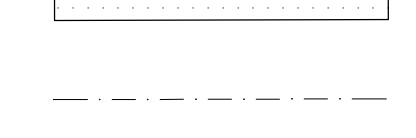
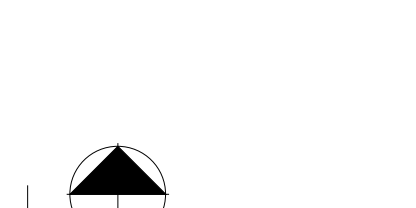
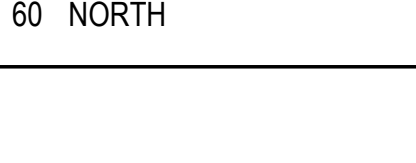
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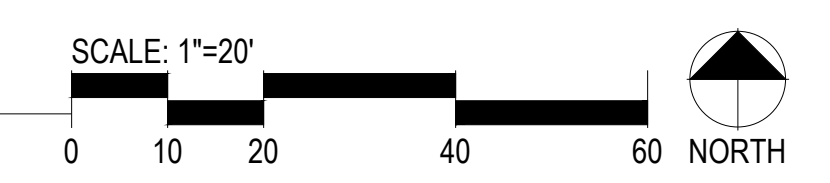
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PROJECT
COMPARK VILLAGE SOUTH
TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE
LANDSCAPE PLAN AREA 3

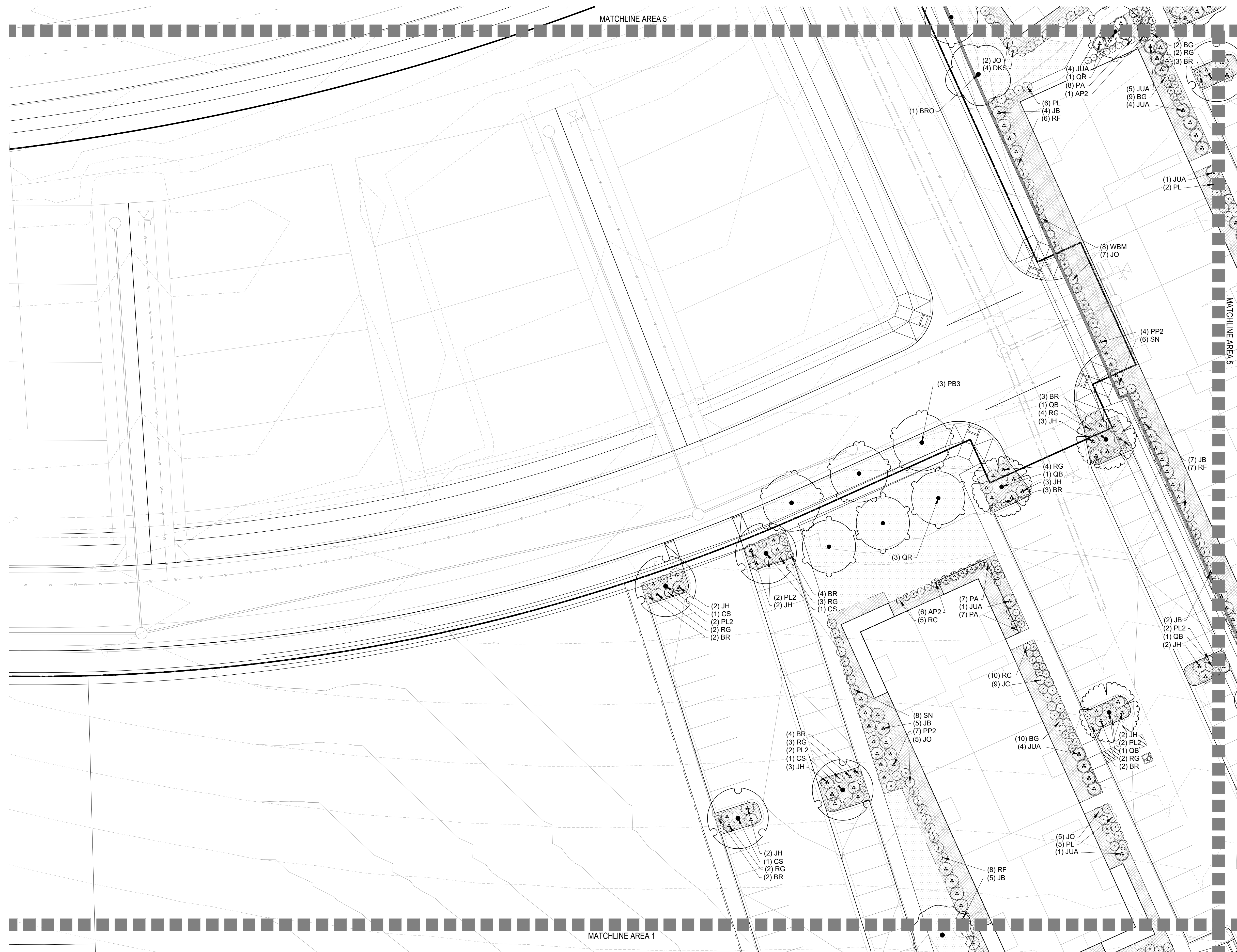
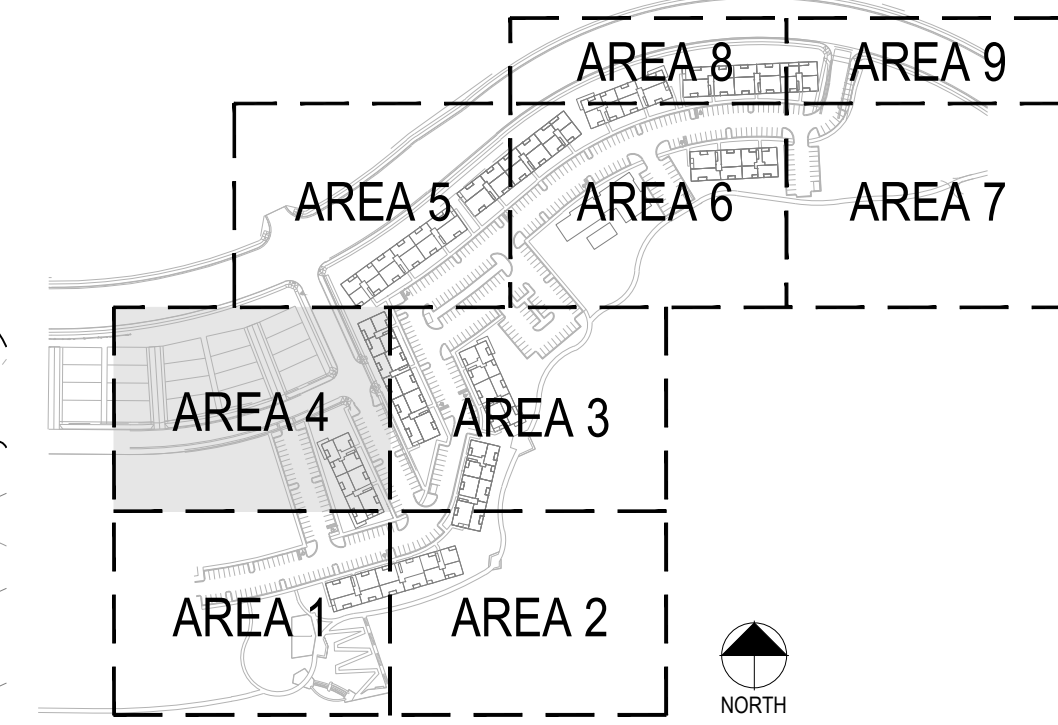
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1 LANDSCAPE AREA 3



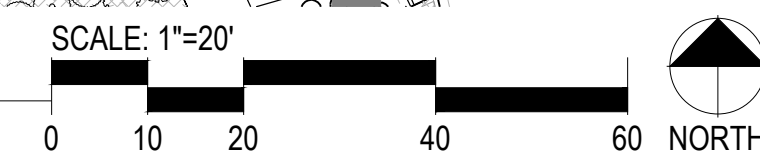
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KEY MAP



LANDSCAPE KEY

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- EVERGREEN TREES
- ORNAMENTAL TREES
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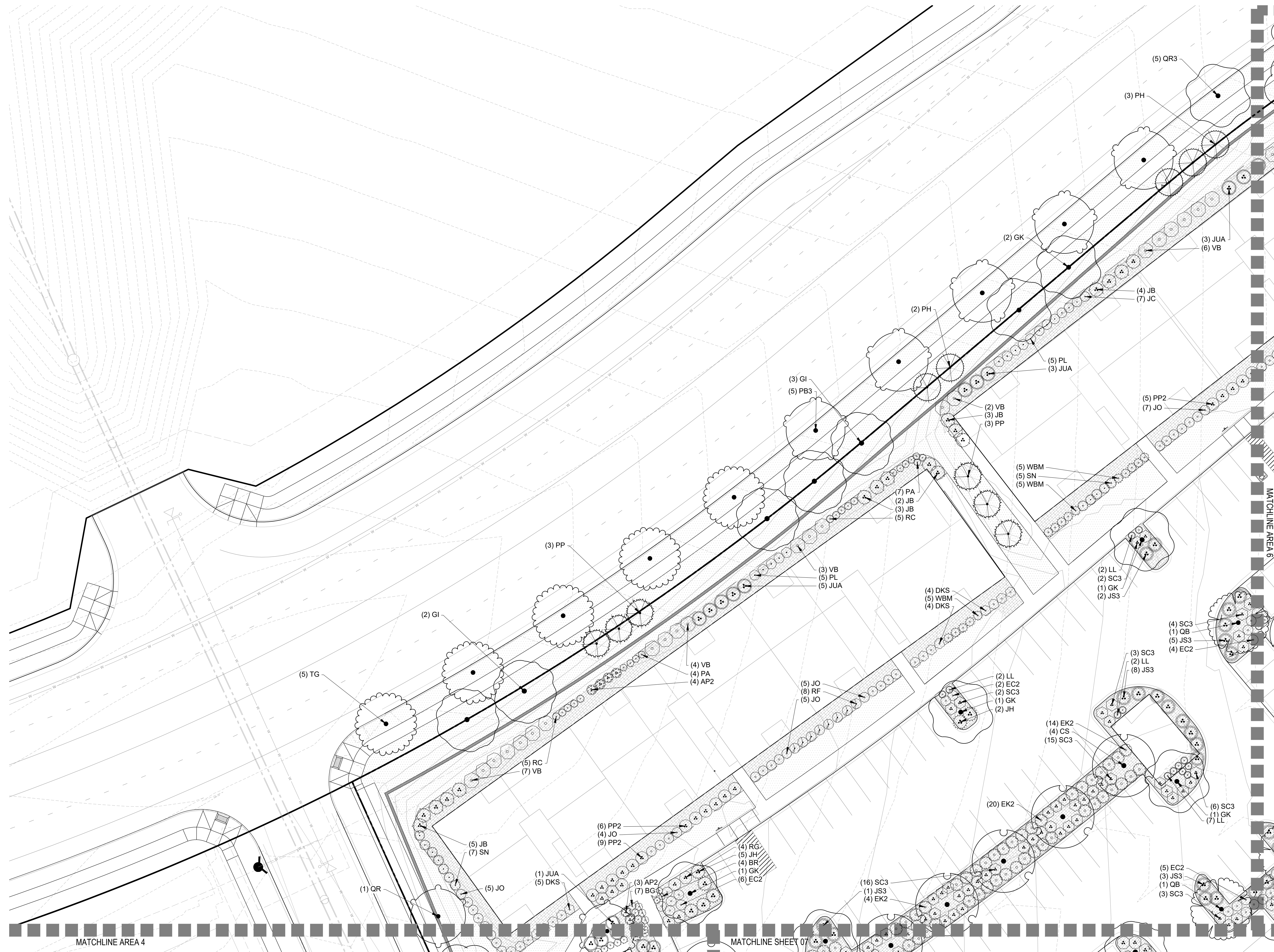
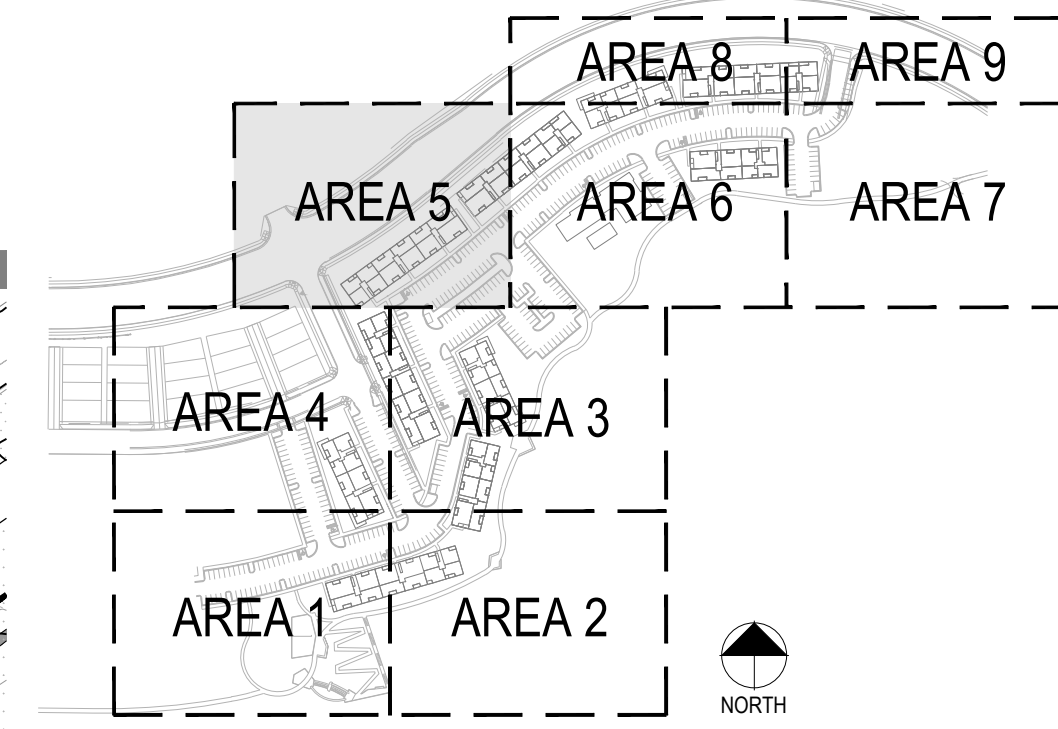
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SHEET TITLE
**LANDSCAPE PLAN
AREA 4**

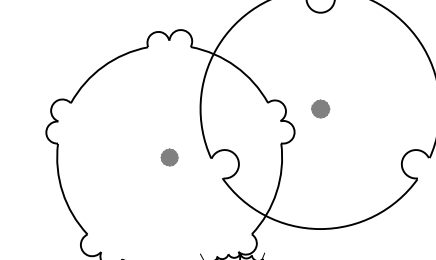
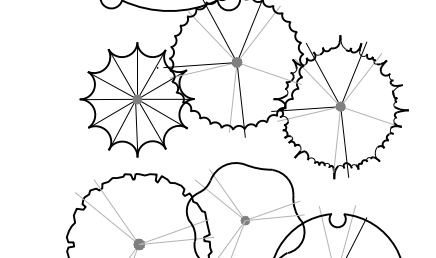
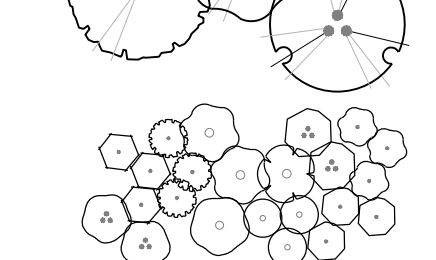
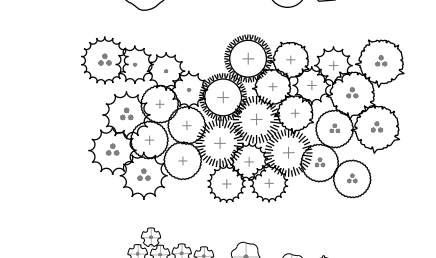
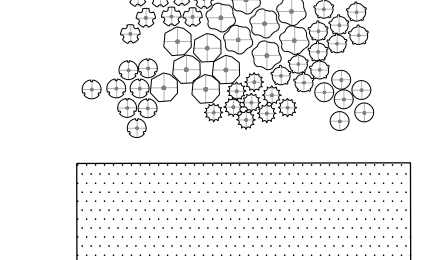
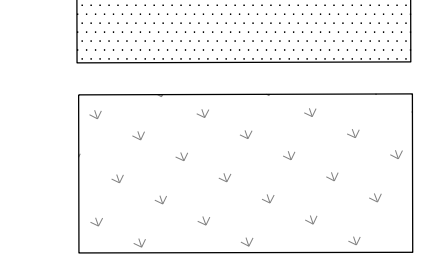
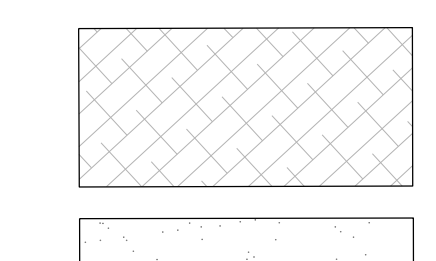
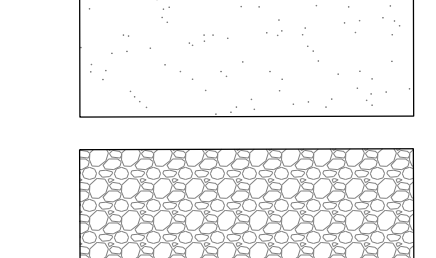
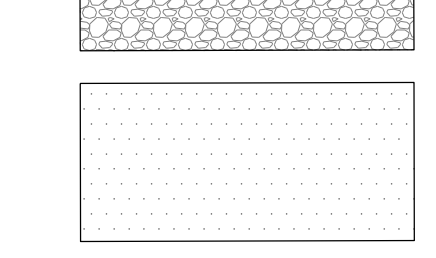
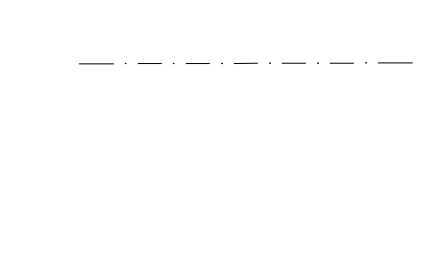
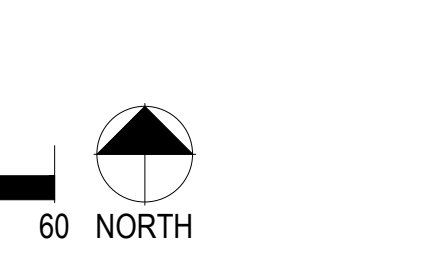
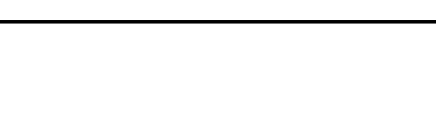
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KEY MAP



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-  SAND
-  ROCK MULCH
-  FIBER SURFACE
- EDGER - PERFORATED

MATCHLINE AREA 4

MATCHLINE SHEET 07

MATCHLINE AREA 6

1 LANDSCAPE AREA 5

SCALE: 1"=20'



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**LANDSCAPE PLAN
AREA 5**

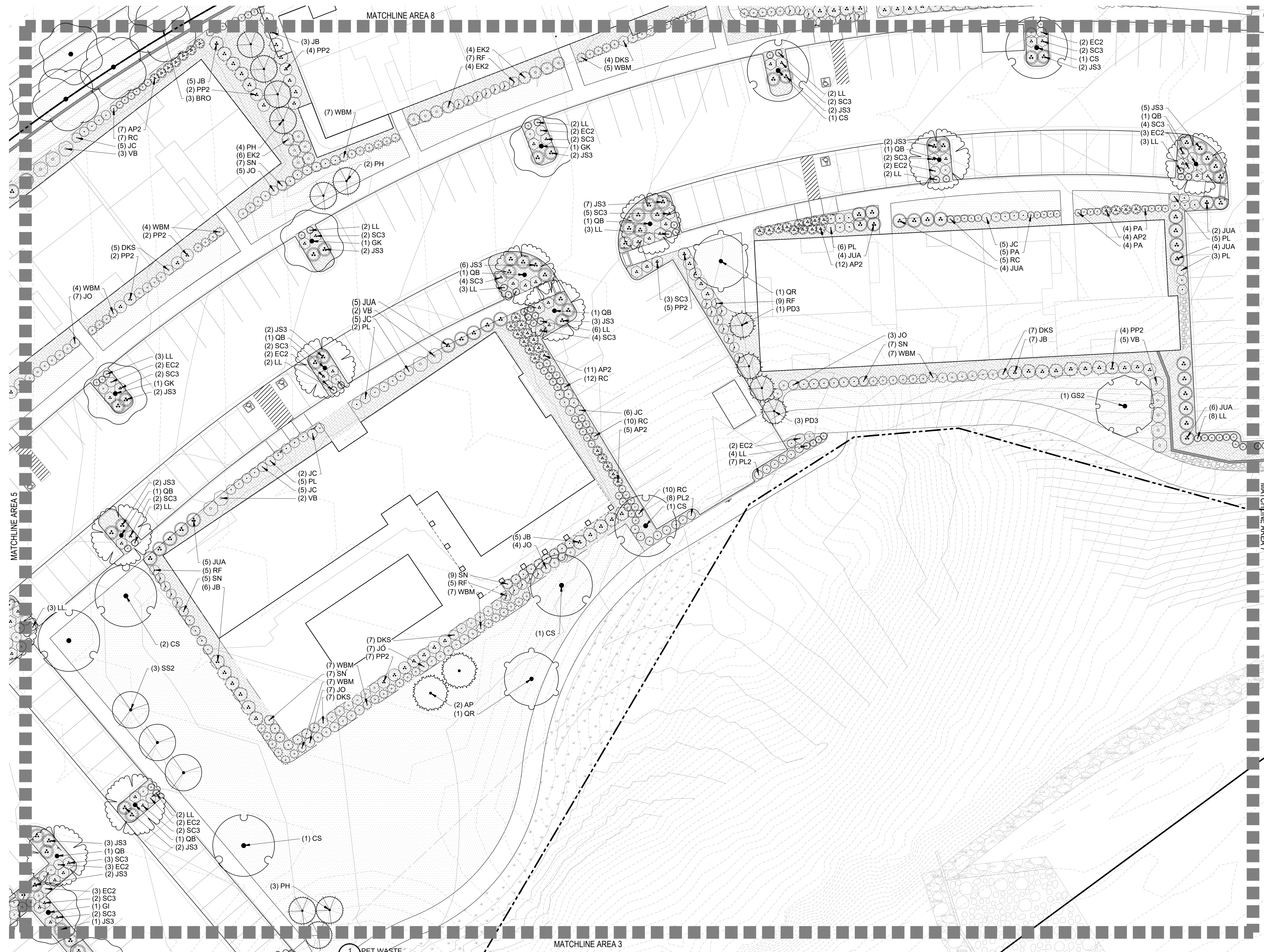
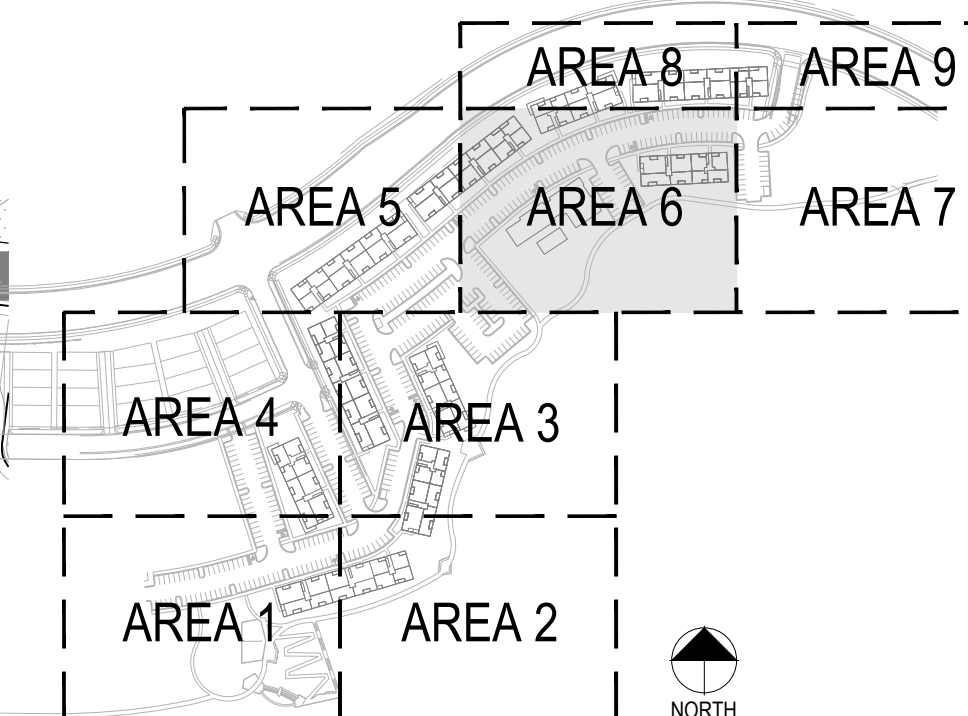
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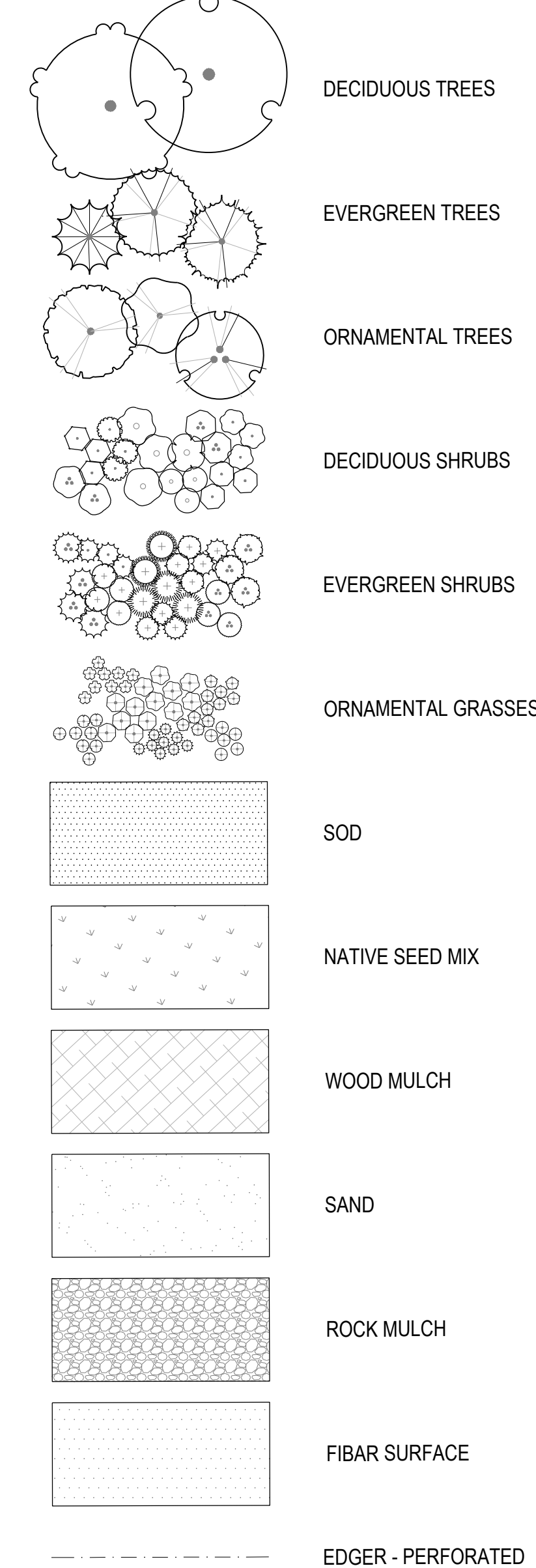
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COMMUNITIES



PROJECT

**COMPARK
VILLAGE
SOUTH**

TOWN OF PARKER, COUNTY
OF DOUGLAS, COLORADO
80134

SHEET TITLE

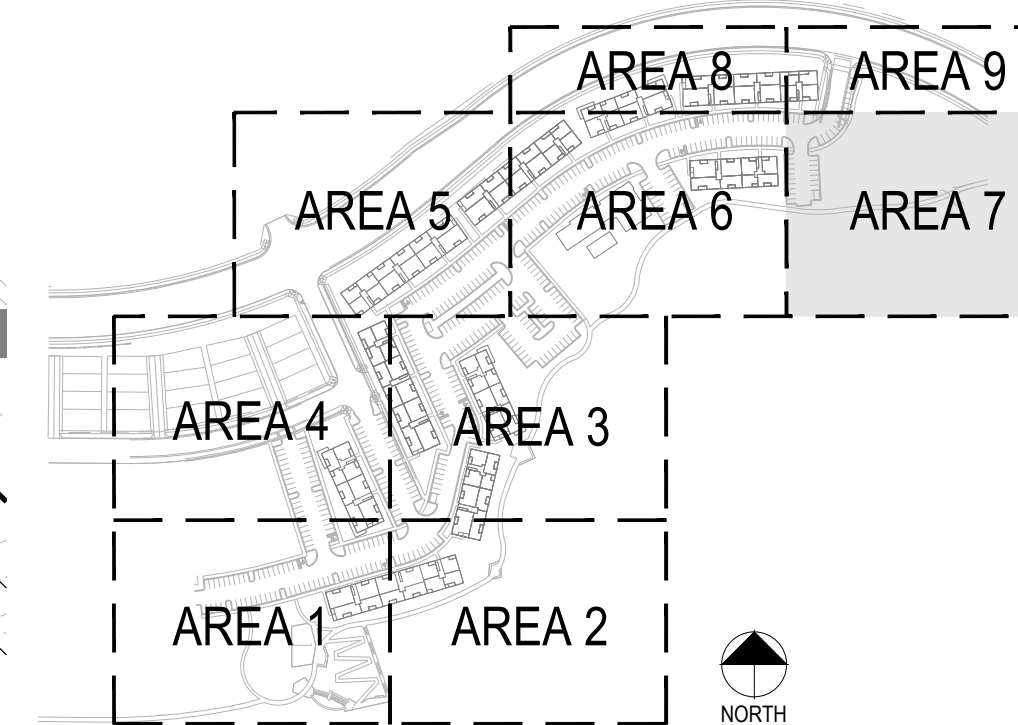
**LANDSCAPE PLAN
AREA 6**

SHEET NUMBER

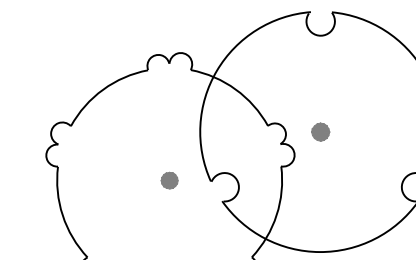
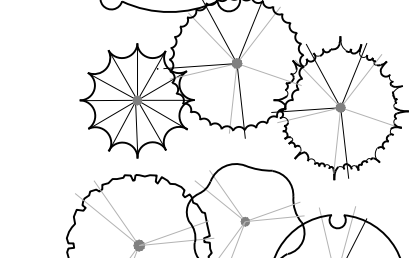
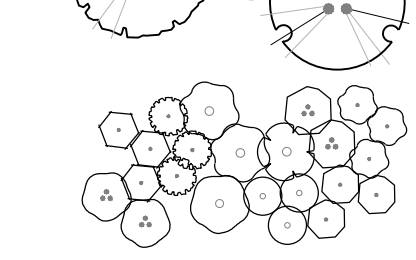
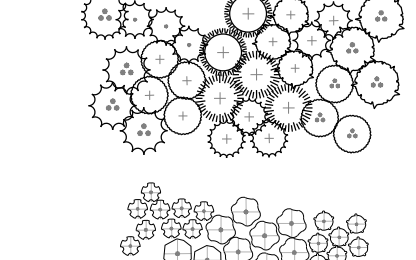
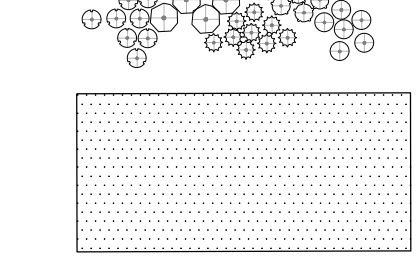
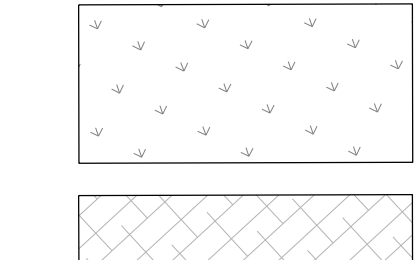
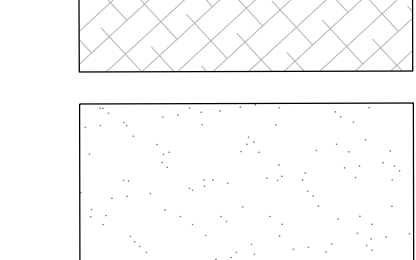
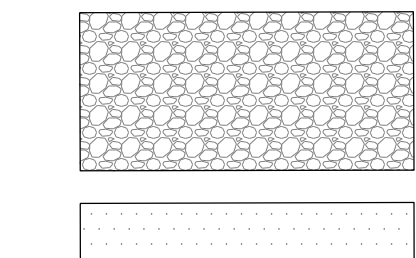
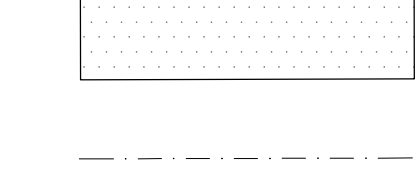
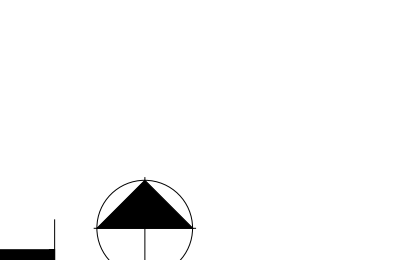
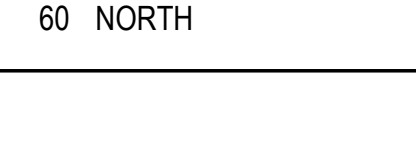
15 of 29

**COMPARK VILLAGE SOUTH
SITE PLAN**
LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP



LANDSCAPE KEY

-  DECIDUOUS TREES
-  EVERGREEN TREES
-  ORNAMENTAL TREES
-  DECIDUOUS SHRUBS
-  EVERGREEN SHRUBS
-  ORNAMENTAL GRASSES
-  SOD
-  NATIVE SEED MIX
-  WOOD MULCH
-  SAND
-  ROCK MULCH
- FIBER SURFACE
- EDGER - PERFORATED

PROJECT NUMBER
65120950

DRAWN BY
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DATE
9/10/2021

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PROJECT

COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE

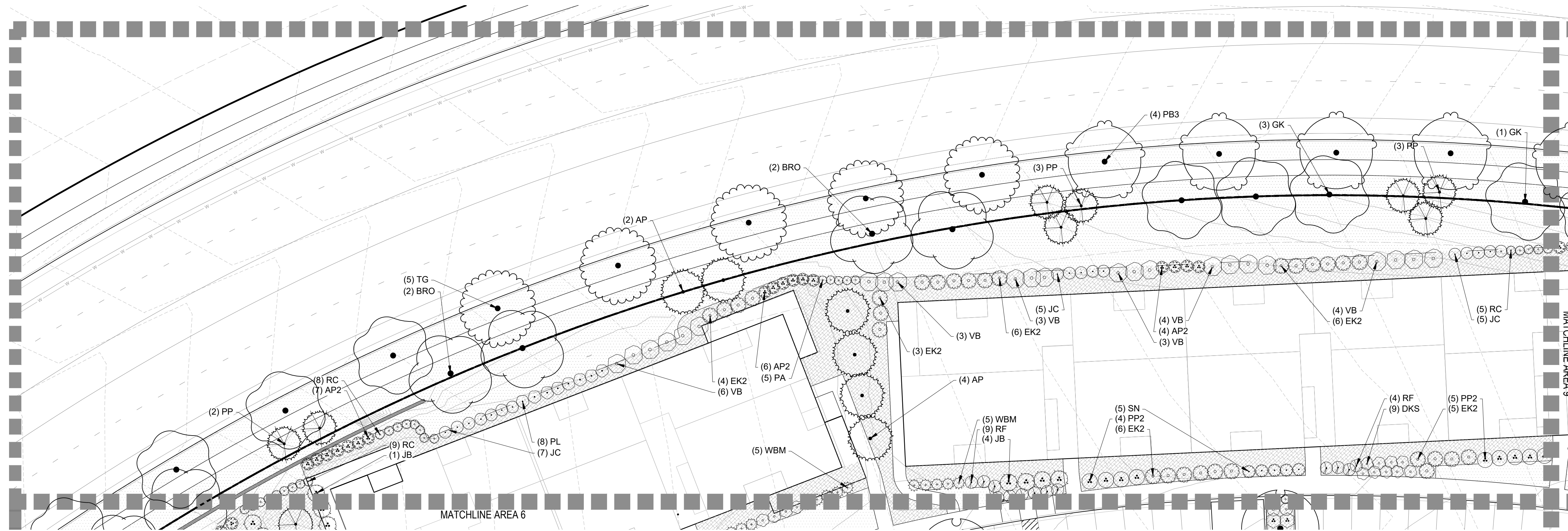
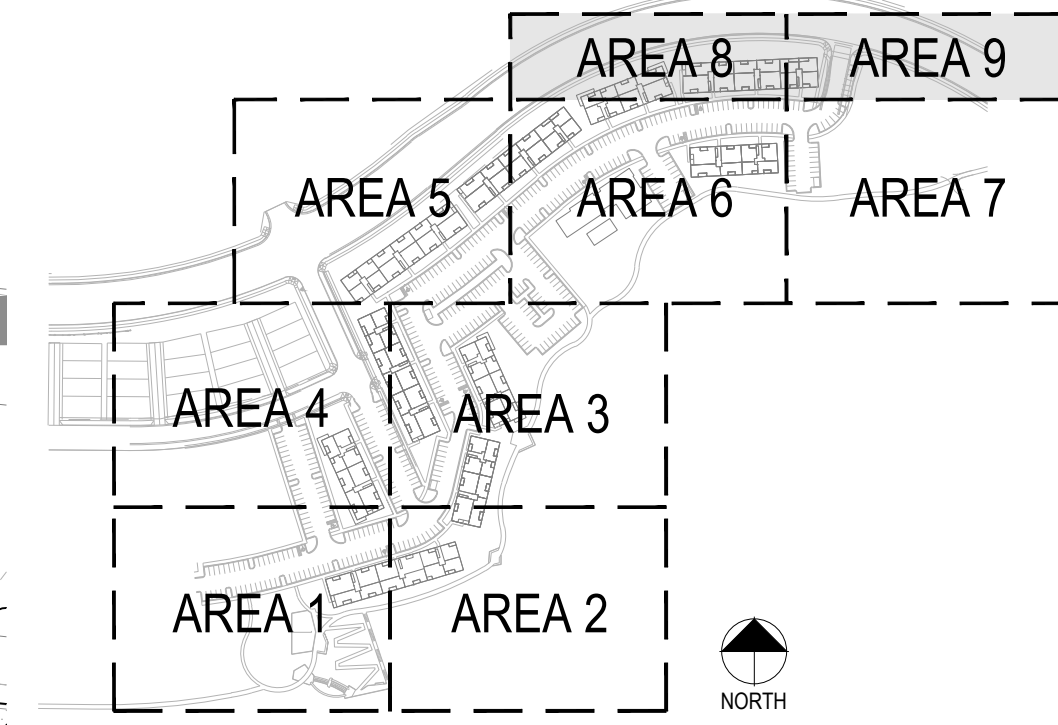
LANDSCAPE PLAN AREA 7

SHEET NUMBER

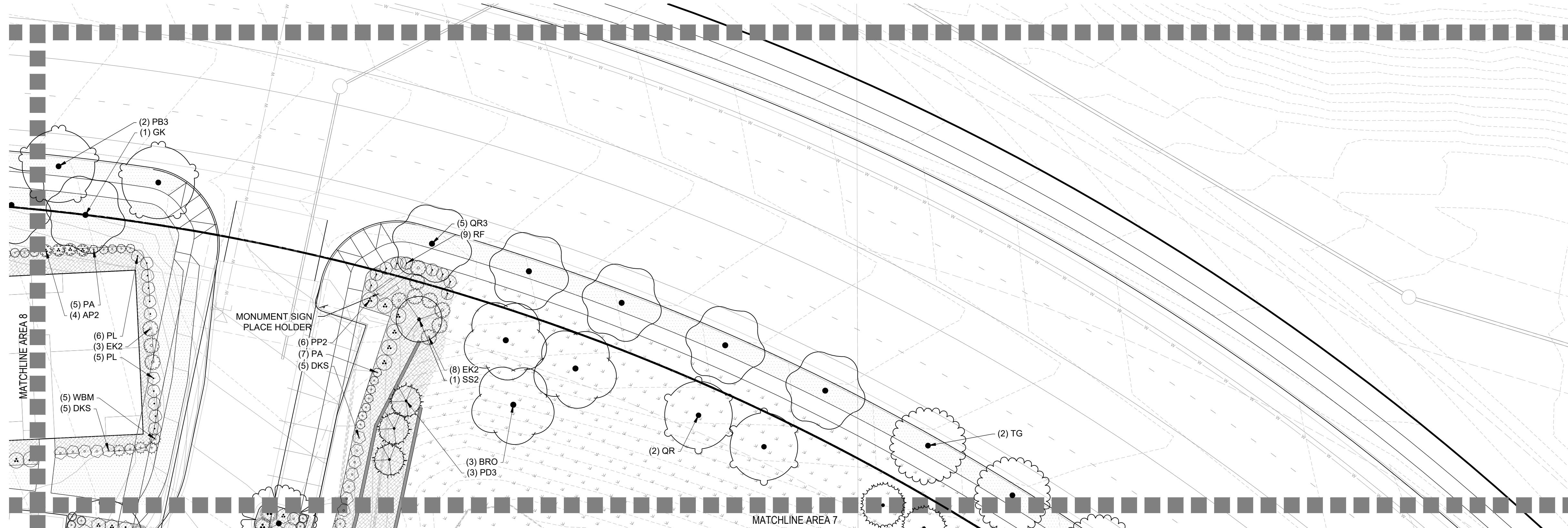
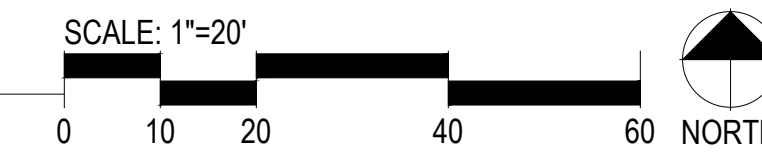


**COMPARK VILLAGE SOUTH
SITE PLAN**
LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP



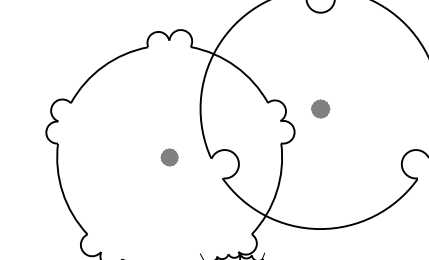
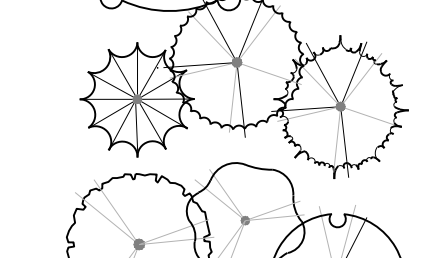
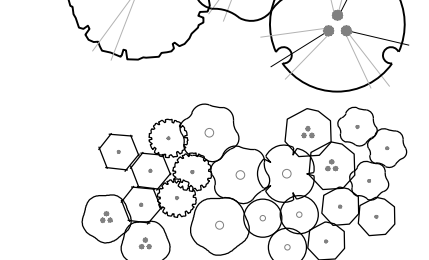
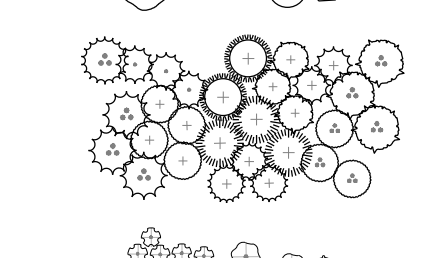
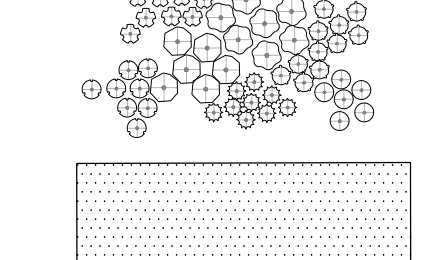
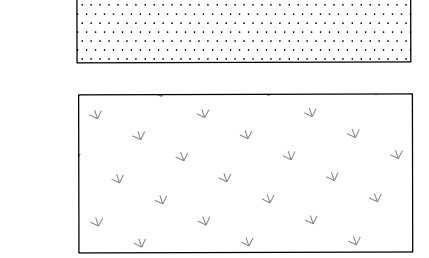
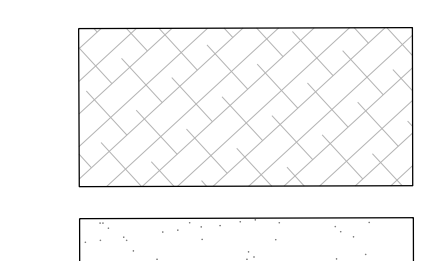
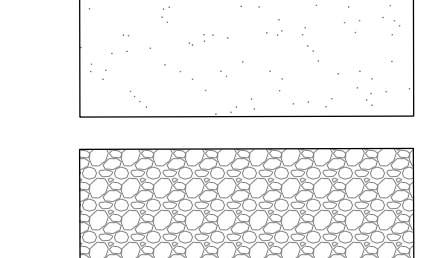
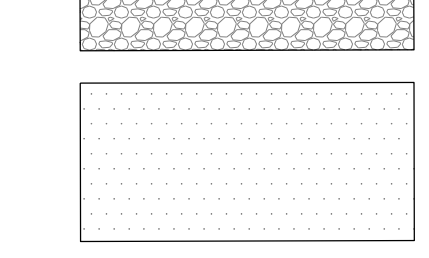
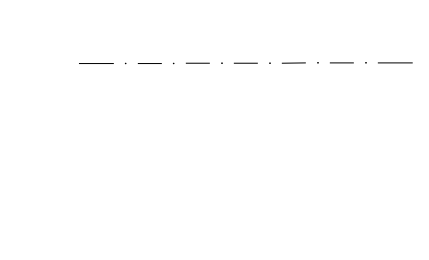

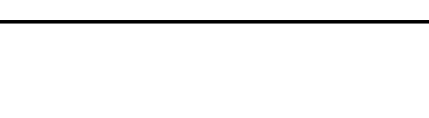
1 LANDSCAPE AREA 8



2 LANDSCAPE AREA 9




LANDSCAPE KEY

-  DECIDUOUS TREES
-  EVERGREEN TREES
-  ORNAMENTAL TREES
-  DECIDUOUS SHRUBS
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-  SAND
-  ROCK MULCH
-  FIBER SURFACE
- EDGER - PERFORATED

PROJECT NUMBER
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DRAWN BY
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PROJECT
COMPARK VILLAGE SOUTH
TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

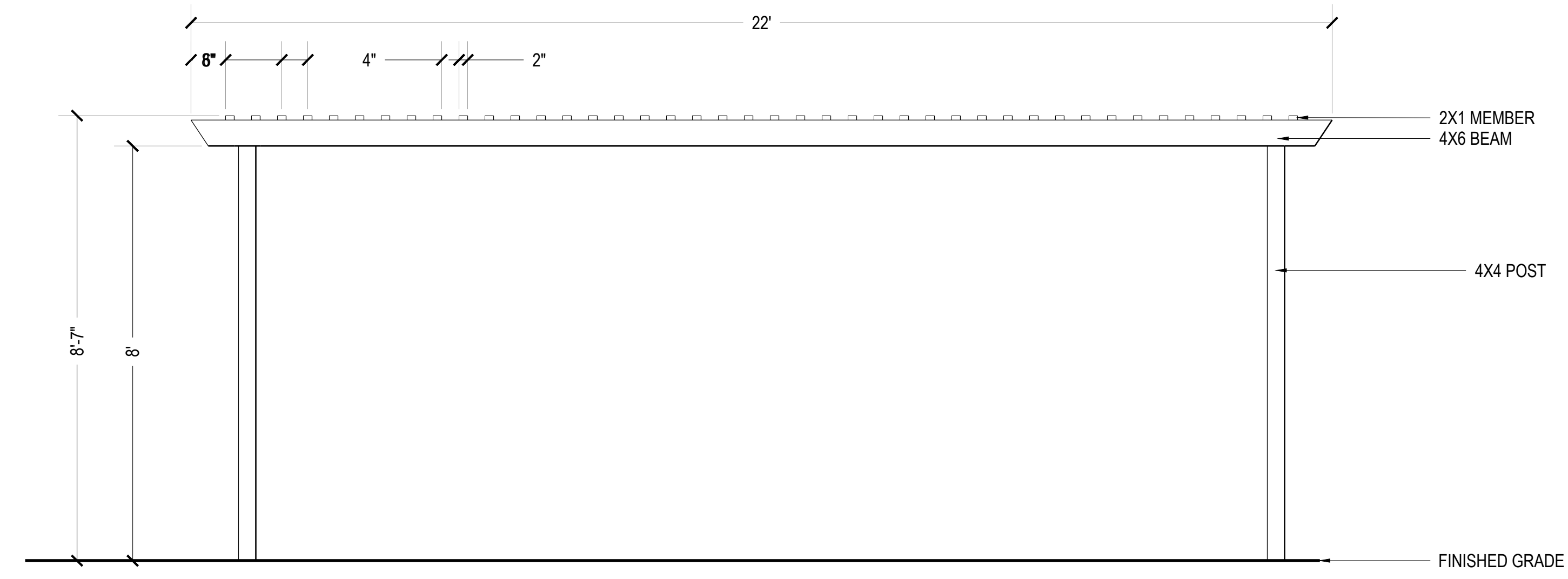
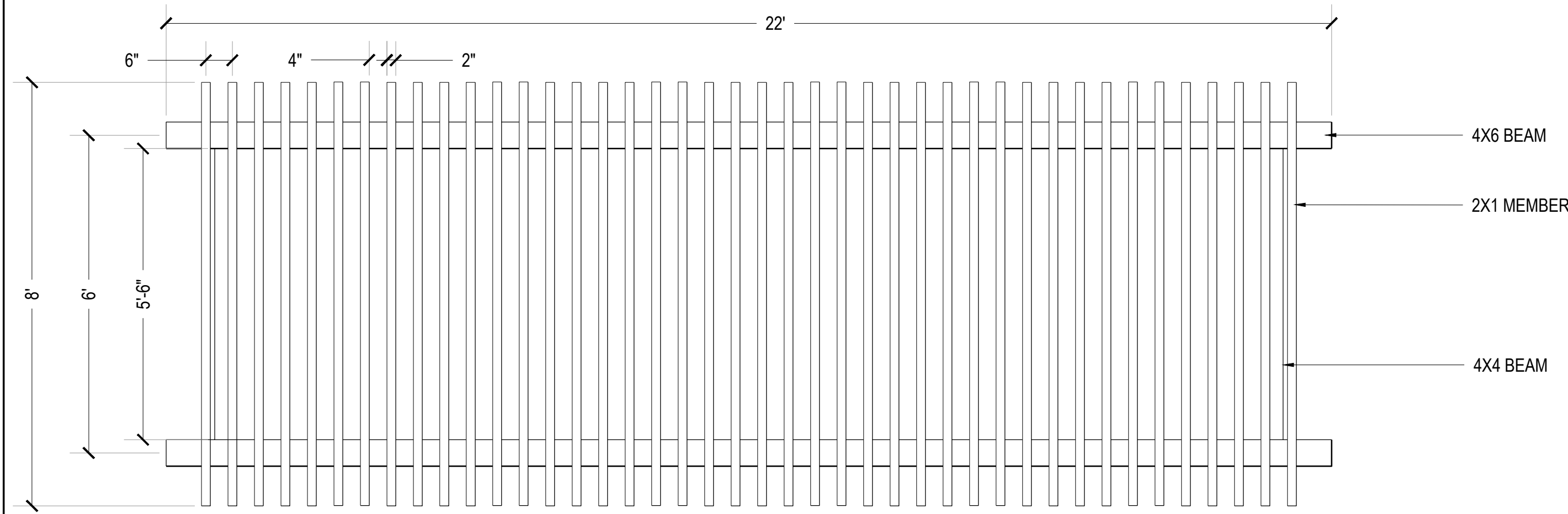
SHEET TITLE
LANDSCAPE PLAN AREAS 8 & 9

SHEET NUMBER
17 of 29

COMPARK VILLAGE SOUTH
SITE PLAN
 LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
 SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER
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 DRAWN BY
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 DATE
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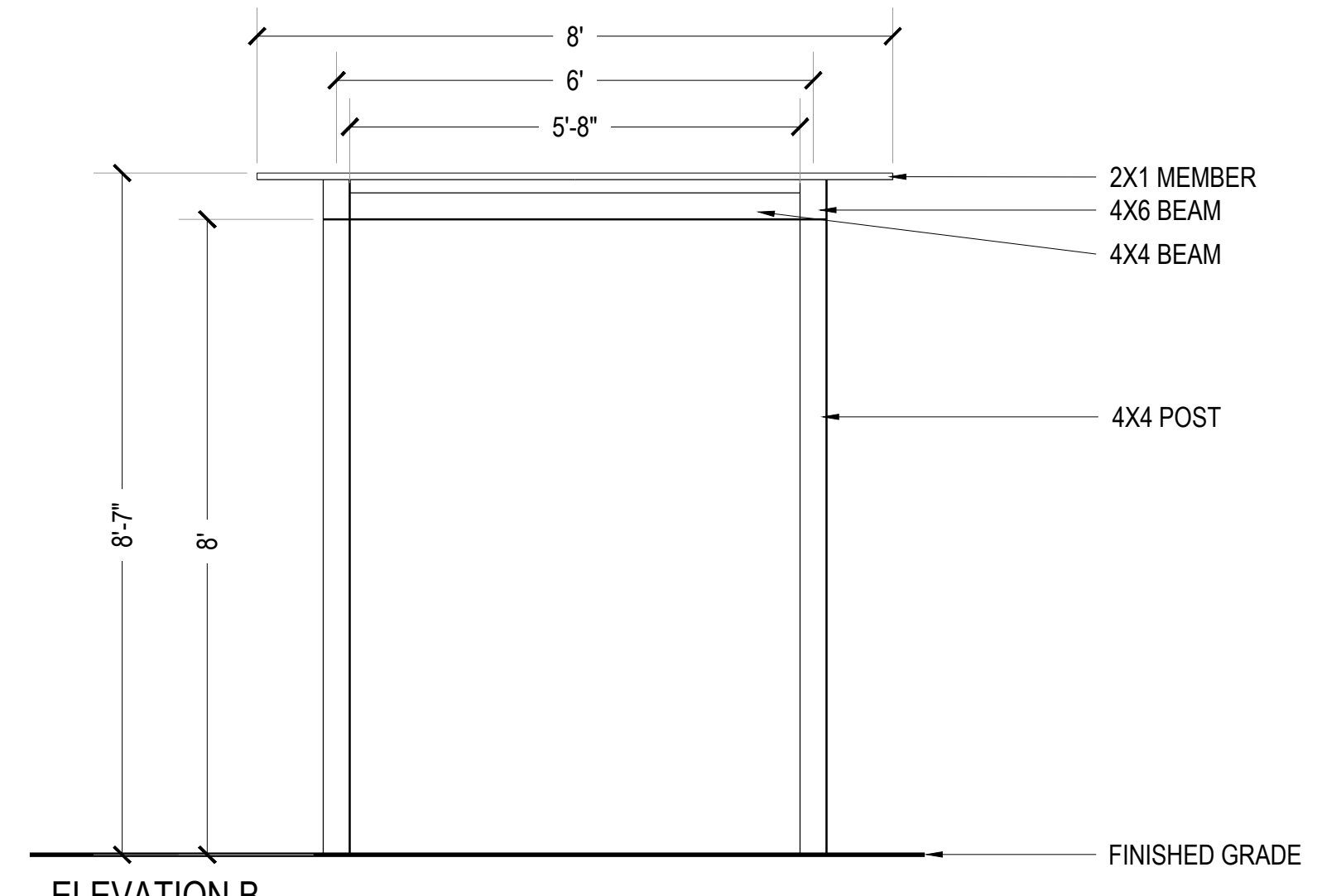
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PLAN VIEW

ELEVATION A

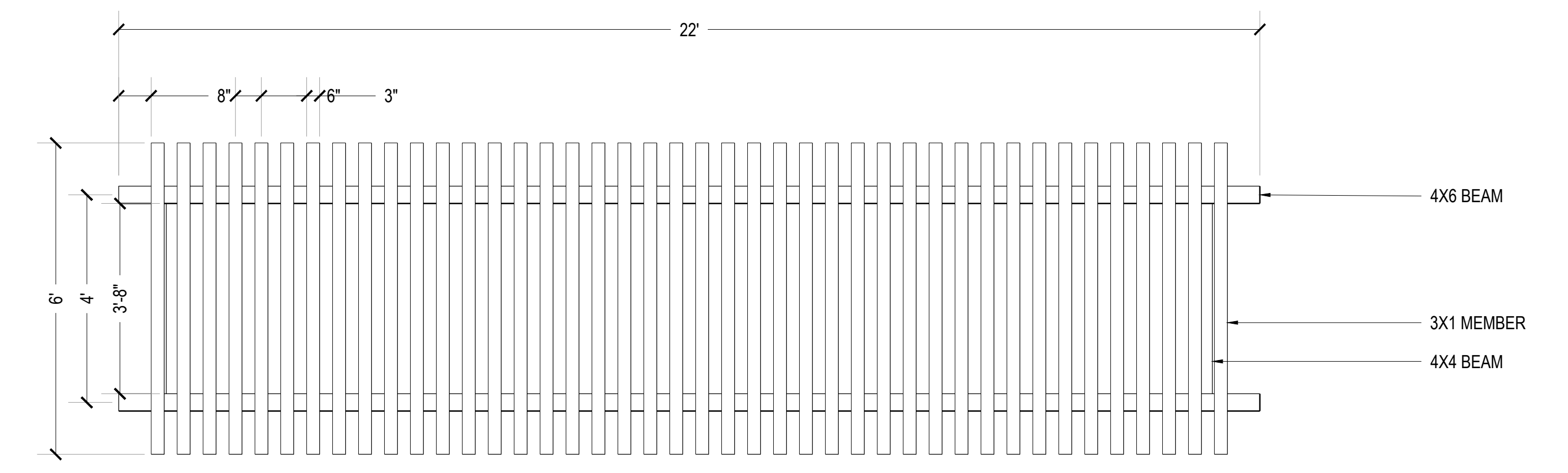
1 TRELLIS_01
Scale: NTS



- NOTES:
 1. ALL MEMBERS TO BE REDWOOD OR APPROVED EQUAL.
 2. WOOD MEMBERS TO BE CLEAR COAT STAINED WITH WATER SEAL.
 3. STRUCTURAL ENGINEERING AND FOOTING BY OTHERS, VERIFY WITH GEOTECH REPORT.
 4. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO OWNER'S REP. FOR REVIEW.

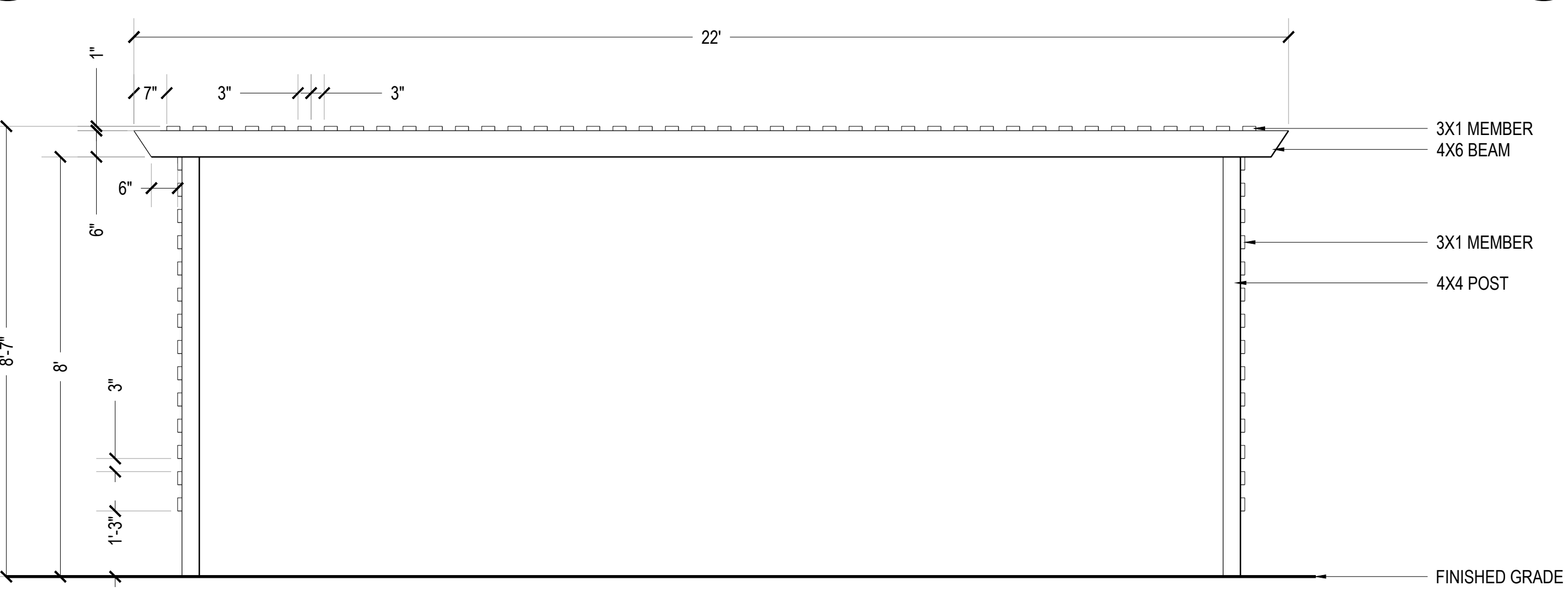
ELEVATION B

1 TRELLIS_01
Scale: NTS



PLAN VIEW

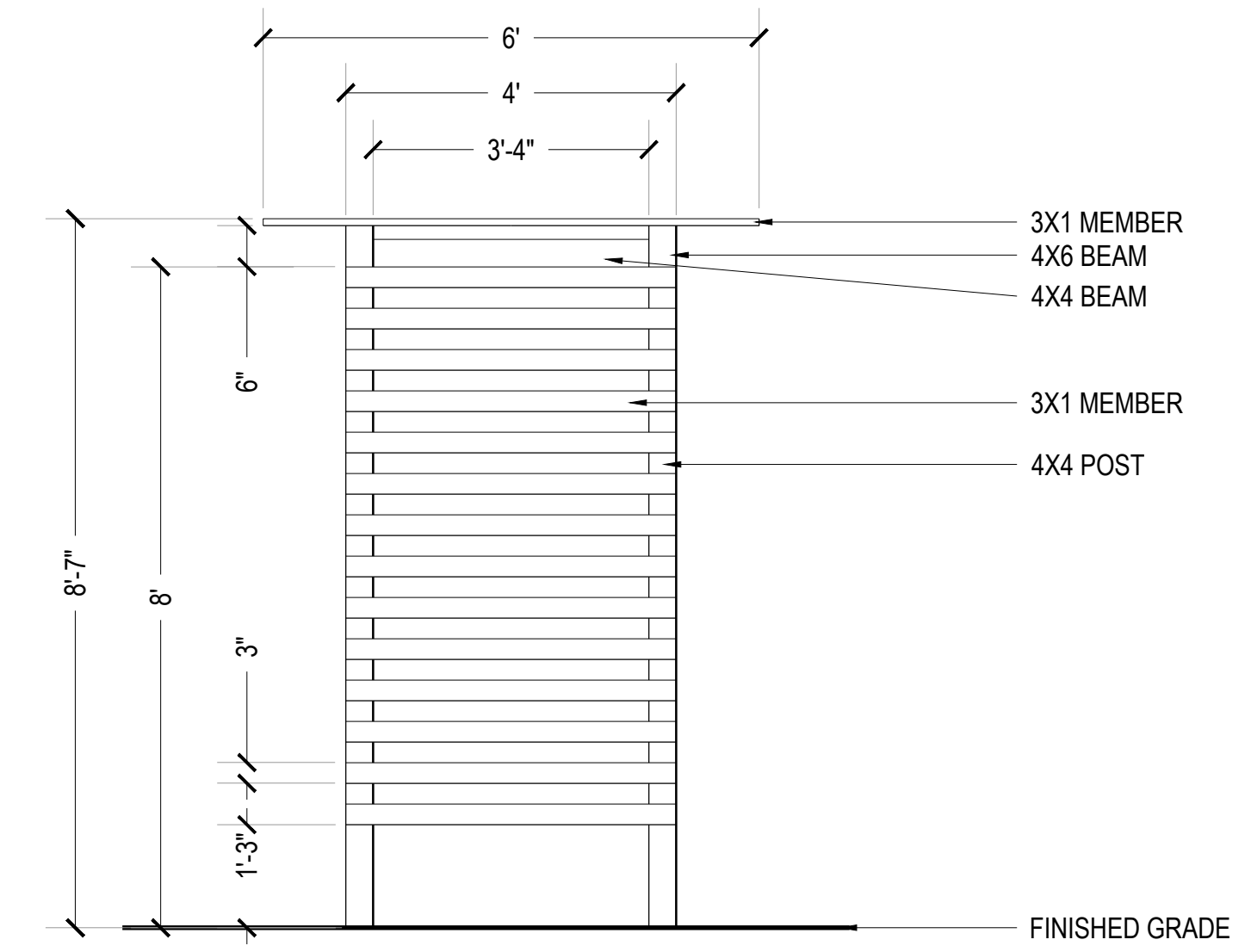
2 TRELLIS_02
Scale: NTS



ELEVATION A

2 TRELLIS_02
Scale: NTS

- NOTES:
 1. ALL MEMBERS TO BE REDWOOD OR APPROVED EQUAL.
 2. WOOD MEMBERS TO BE CLEAR COAT STAINED FOR WATER SEAL.
 3. STRUCTURAL ENGINEERING AND FOOTING BY OTHERS, VERIFY WITH GEOTECH REPORT.
 4. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO OWNER'S REP. FOR REVIEW.



ELEVATION B


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PROJECT
COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE
SITE DETAILS

SHEET NUMBER

**COMPARK VILLAGE SOUTH
SITE PLAN**
LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



CORONADO THERMORY 6' CONTOUR BENCH
ITEM #: CR2780T
SIZE: 35"H x 23"W x 76"L
COLOR: THERMORY
FRAME COLOR: TEXTURED BRONZE
INSTALL PER MANUFACTURER'S
SPECS. OR APPROVED EQUAL.

SUPPLIER: ANOVA
WEBSITE: ANOVA.COM

1 6'_BENCH
Scale: NTS



CONTEMPO ROUND FIRE TABLE, 12" STAR
BURNER
ITEM #: 782-BA-11-M2NC
MANUFACTURER: AMERICAN FIRE DESIGNS
SIZE: 47"DIA, 15.5"H
COLOR: BLACK LAVA
FUEL: NATURAL GAS, PROPANE
INSTALL PER MANUFACTURER'S
SPECS. OR APPROVED EQUAL.

SUPPLIER: STAR FIRE DIRECT
WEBSITE: STARFIREDIRECT.COM

2 FIRE_PIT
Scale: NTS



BEACON HILL THERMORY
ITEM #: BH1840T
SIZE: 36"H x 92"Sq.
FRAME COLOR: TEXTURED BRONZE
COLOR: THERMORY
INSTALL PER MANUFACTURER'S
SPECS. OR APPROVED EQUAL.

SUPPLIER: ANOVA
WEBSITE: ANOVA.COM

3 TABLE_&_CHAIRS
Scale: NTS



WAINWRIGHT 6' PICNIC TABLE AND
BENCHES SET
ITEM #: RCPWT63
SIZE: 29"H x 64"W x 72"L
FRAME COLOR: BLACK
COLOR: MAHOGANY, TEXTURED BLACK
FRAME
INSTALL PER MANUFACTURER'S
SPECS. OR APPROVED EQUAL.

SUPPLIER: ANOVA
WEBSITE: ANOVA.COM

4 PICNIC_TABLE
Scale: NTS



PLANK ADIRONDACK CHAIR
ITEM #: PLK60T
SIZE: 46"H x 28"W x 36"D
COLOR: MAHOGANY
INSTALL PER MANUFACTURER'S
SPECS. OR APPROVED EQUAL.

SUPPLIER: ANOVA
WEBSITE: ANOVA.COM

5 ADIRONDACK_CHAIR
Scale: NTS



STANDARD PARK GRILL
ITEM #: 100PRG
SIZE: 10"H x 20"W x 15"D
INSTALL PER MANUFACTURER'S
SPECS. OR APPROVED EQUAL.

SUPPLIER: ANOVA
WEBSITE: ANOVA.COM

6 PARK_GRILL
Scale: NTS



STREETSIDE 5-BIKE/3-LOOP RACK,
FUSION ADV FINISH, SURFACE MOUNT
ITEM #: LBR5PVC5URF
SIZE: 36"H x 42"W
COLOR: TEXTURED BRONZE
INSTALL PER MANUFACTURER'S
SPECS. OR APPROVED EQUAL.

SUPPLIER: ANOVA
WEBSITE: ANOVA.COM

7 BIKE_RACK
Scale: NTS



BEACON HILL 35 GAL THERMORY
RECEPTACLE, OPEN TOP
ITEM #: BH1835T
SIZE: 32"H x 23"Sq.
FRAME COLOR: TEXTURED BRONZE
COLOR: THERMORY - HORIZONTAL
INSTALL PER MANUFACTURER'S
SPECS. OR APPROVED EQUAL.

SUPPLIER: ANOVA
WEBSITE: ANOVA.COM

8 RECEPTACLE
Scale: NTS



COMMERCIAL GRADE SUSPENDED E26
MODEL: LS-MS-24-100-BK
WATTAGE: 25W PER SOCKET
INSTALL PER MANUFACTURER'S
SPECS. OR APPROVED EQUAL.

SUPPLIER: AMERICAN LIGHTING
WEBSITE: AMERICANLIGHTING.COM

9 FESTOON_LIGHTS
Scale: NTS

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**CENTURY
COMMUNITIES**

PROJECT
**COMPARK
VILLAGE
SOUTH**

TOWN OF PARKER, COUNTY
OF DOUGLAS, COLORADO
80134

SHEET TITLE
SITE DETAILS

SHEET NUMBER
19 of 29

**COMPARK VILLAGE SOUTH
SITE PLAN**
LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



PET STATION
MODEL: 7408-R, COMPLETE DOG WASTE STATION WITH ROLL DISPENSER,
COLOR: GREEN
INSTALL PER MANUFACTURER'S SPECS OR APPROVED EQUAL.

CONTACT: ATOZ RECREATION
PHONE: 303.670.3789
WWW.ATOZRECREATION.COM

1 PET_WASTE_STATION
Scale: NTS



SUSPENSION TRAINER, MAGNETIC BELLS,
CORE TWIST
ITEM #: FAZ20401-0900
SIZE: 34'5"L x 3'6"W x 10'11"H
COLOR: ORANGE
INSTALL PER MANUFACTURER'S SPECS. OR APPROVED EQUAL.

SUPPLIER: KOMPAN
WEBSITE: KOMPAN.US

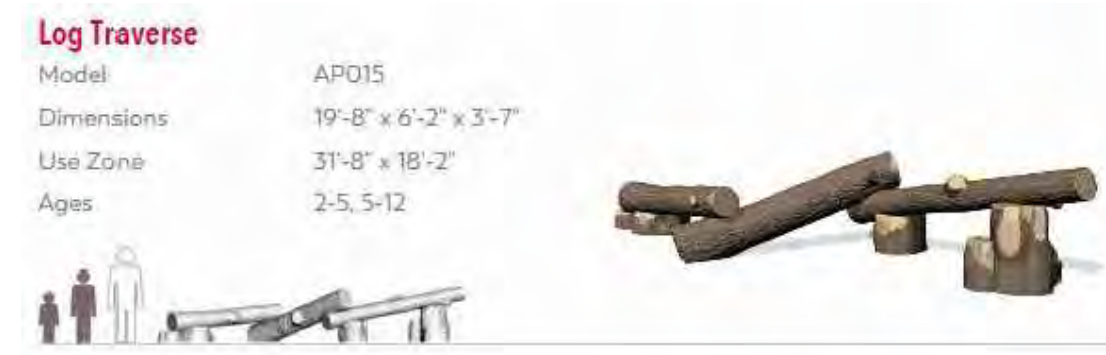
2 KOMPAN_OUTDOOR_FITNESS
Scale: NTS



SQUARE SHELTER
MODEL: SQR 16
MATERIAL: STEEL / MULTI-RIB ROOF
ROOF COLOR: BUCKSKIN
STRUCTURE COLOR: ALMOND
INSTALL PER MANUFACTURER'S SPECS. OR APPROVED EQUAL.

SUPPLIER: POLIGON
WEBSITE: POLIGON.COM

3 SHELTER
Scale: NTS



Log Traverse
Model: AP015
Dimensions: 19'-8" x 6'-2" x 3'-7"
Use Zone: 31'-8" x 18'-2"
Ages: 2-5, 5-12

LOG TRAVERSE
ITEM #: AP015
SIZE: 19'8" L X 6'2" H X 3'7" W
INSTALL PER MANUFACTURER'S SPECS.

SUPPLIER: ID SCULPTURE
WEBSITE: IDSCULPTURE.COM

4 LOG_TRAVERSE
Scale: NTS



Log Stepping Forms
Model: SF002-L
Dimensions: 18" tall x 10-28" dia
Use Zone: 12-10" dia to 12-28" dia
Ages: 2-5, 5-12

LOG STEP
ITEM #: SF002-L
SIZE: 18" H X 24" DIA
INSTALL PER MANUFACTURER'S SPECS.

SUPPLIER: ID SCULPTURE
WEBSITE: IDSCULPTURE.COM

5 LOG_STEPPER
Scale: NTS



CUSTOM ON GRADE ALUMINUM SLIDE
SIZE SLIDE 01: 72'L X 3'W
SIZE SLIDE 02: 35'L X 3'W
MATERIAL: ALUMINUM
INSTALL PER MANUFACTURER'S SPECS. OR APPROVED EQUAL.

SUPPLIER: RECREATION PLUS
WEBSITE: RECREATIONPLUS.COM

6 SLIDE_ON_GRADE
Scale: NTS



CUSTOM CLIMBING ROPE NET
SIZE: 55'L X 4'W
COLOR: STANDARD/NATURAL
INSTALL PER MANUFACTURER'S SPECS. OR APPROVED EQUAL.

SUPPLIER: RECREATION PLUS
WEBSITE: RECREATIONPLUS.COM

7 ROPE_CLIMBER
Scale: NTS



FIBAR PLAYGROUND SURFACE
MODEL: FIBAR PIP
COLOR: TBD
INSTALL PER MANUFACTURER'S SPECS. OR APPROVED EQUAL.

SUPPLIER: RECREATION PLUS
WEBSITE: RECREATIONPLUS.COM

8 FIBAR_SURFACING
Scale: NTS



3-RAIL FENCE
MODEL: SPLIT RAIL WITH WIRE MESH
COLOR: CEDAR
INSTALL PER MANUFACTURER'S SPECS. OR APPROVED EQUAL.

CONTACT: SPLIT RAIL FENCE COMPANY
PHONE: 303-791-1997
WWW.SPLITRAILFENCECO.COM

9 3-RAIL_FENCE
Scale: NTS

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PROJECT
COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE
SITE DETAILS

SHEET NUMBER
20 of 29

**COMPARK VILLAGE SOUTH
SITE PLAN**
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SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
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ML4: 4" PRO BEACH NET
SIZE: 39"H X 32"W
NET COLOR: WHITE
OPTIONS: STANDARD TOP & BOTTOM LINES,
STANDARD SIDE TENSION
INSTALL PER MANUFACTURER'S
SPECS. OR APPROVED EQUAL.

SUPPLIER: VOLLEYBALL USA
WEBSITE: VOLLEYBALLUSA.COM



UV-5000 OUTDOOR ALUMINUM POLES
SIZE: 10'6"H
INSTALL PER MANUFACTURER'S
SPECS. OR APPROVED EQUAL.

SUPPLIER: VOLLEYBALL USA
WEBSITE: VOLLEYBALLUSA.COM



RUBBER VOLLEYBALL CURB
SIZE: 6"W X 6"H X 72"L SECTIONS
TOTAL LF: 148'
MATERIAL: RUBBER
COLOR: BLACK
INSTALL PER MANUFACTURER'S
SPECS. OR APPROVED EQUAL.

SUPPLIER: VOLLEYBALL USA
WEBSITE: VOLLEYBALLUSA.COM

1 VOLLEYBALL_NET
Scale: NTS

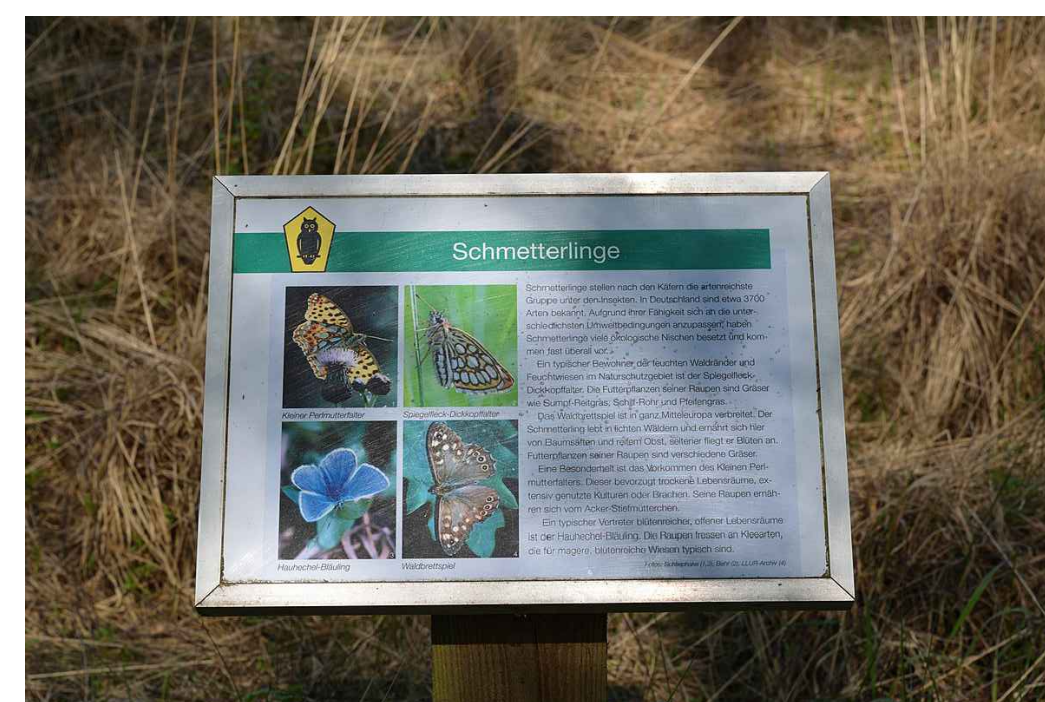
2 VOLLEYBALL_POLES
Scale: NTS

3 VOLLEYBALL_RUBBER_CURB
Scale: NTS



2 INCH PRO ADJUSTABLE BOUNDARY LINES
COLOR: BLACK
INSTALL PER MANUFACTURER'S
SPECS. OR APPROVED EQUAL.

SUPPLIER: VOLLEYBALL USA
WEBSITE: VOLLEYBALLUSA.COM



CUSTOM SIGN PLAQUE
COLOR: ALUMINUM EDGE
STAND: 4X4 CEDAR POST
CUSTOM PIECE

4 VOLLEYBALL_BOUNDARIES
Scale: NTS

5 SIGN_PLAQUE
Scale: NTS

PROJECT NUMBER
65120950

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AL

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9/10/2021

Landscape Architecture

people creating spaces
pcs group inc. www.pcsgruopco.com
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denver, co 80218
1.303.531.4905, 1.303.531.4908

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PROJECT
**COMPARK
VILLAGE
SOUTH**

TOWN OF PARKER, COUNTY
OF DOUGLAS, COLORADO
80134

SHEET TITLE
SITE DETAILS

SHEET NUMBER
21 of 29

COMPARK VILLAGE SOUTH
SITE PLAN
 LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
 SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER
65120950
 DRAWN BY
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 DATE
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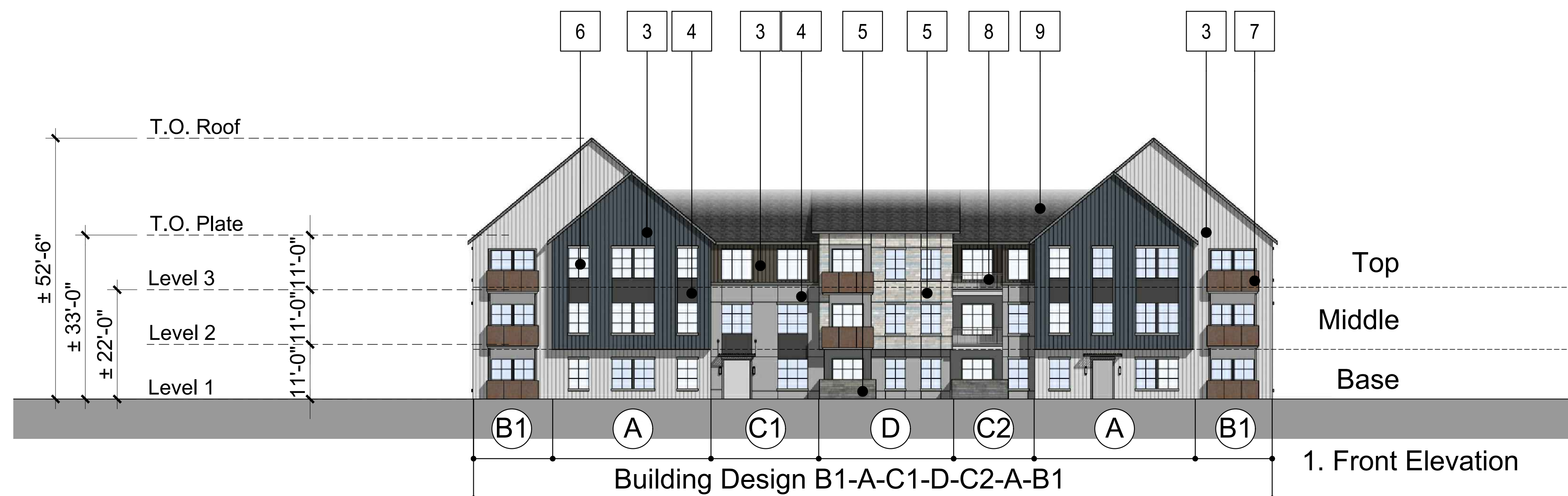
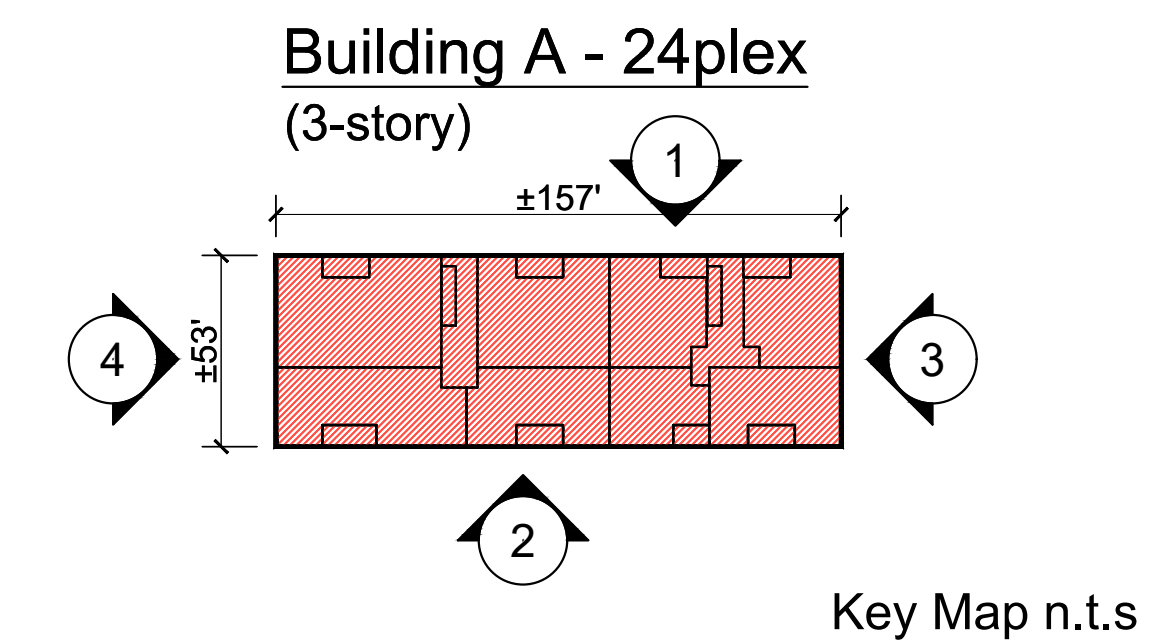
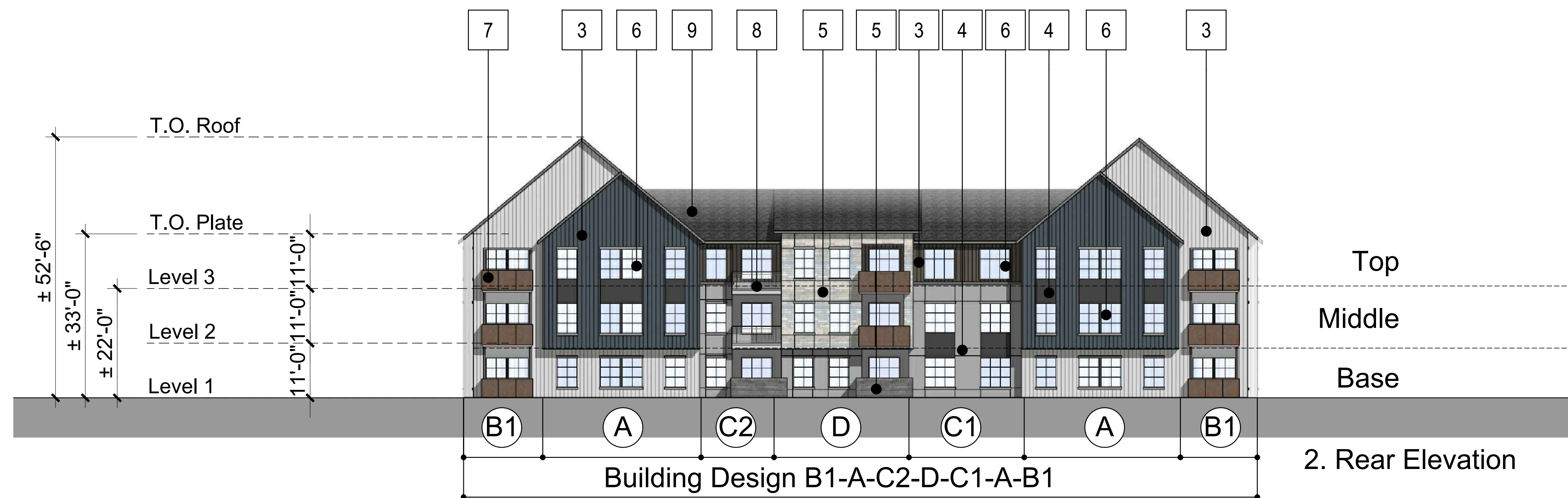
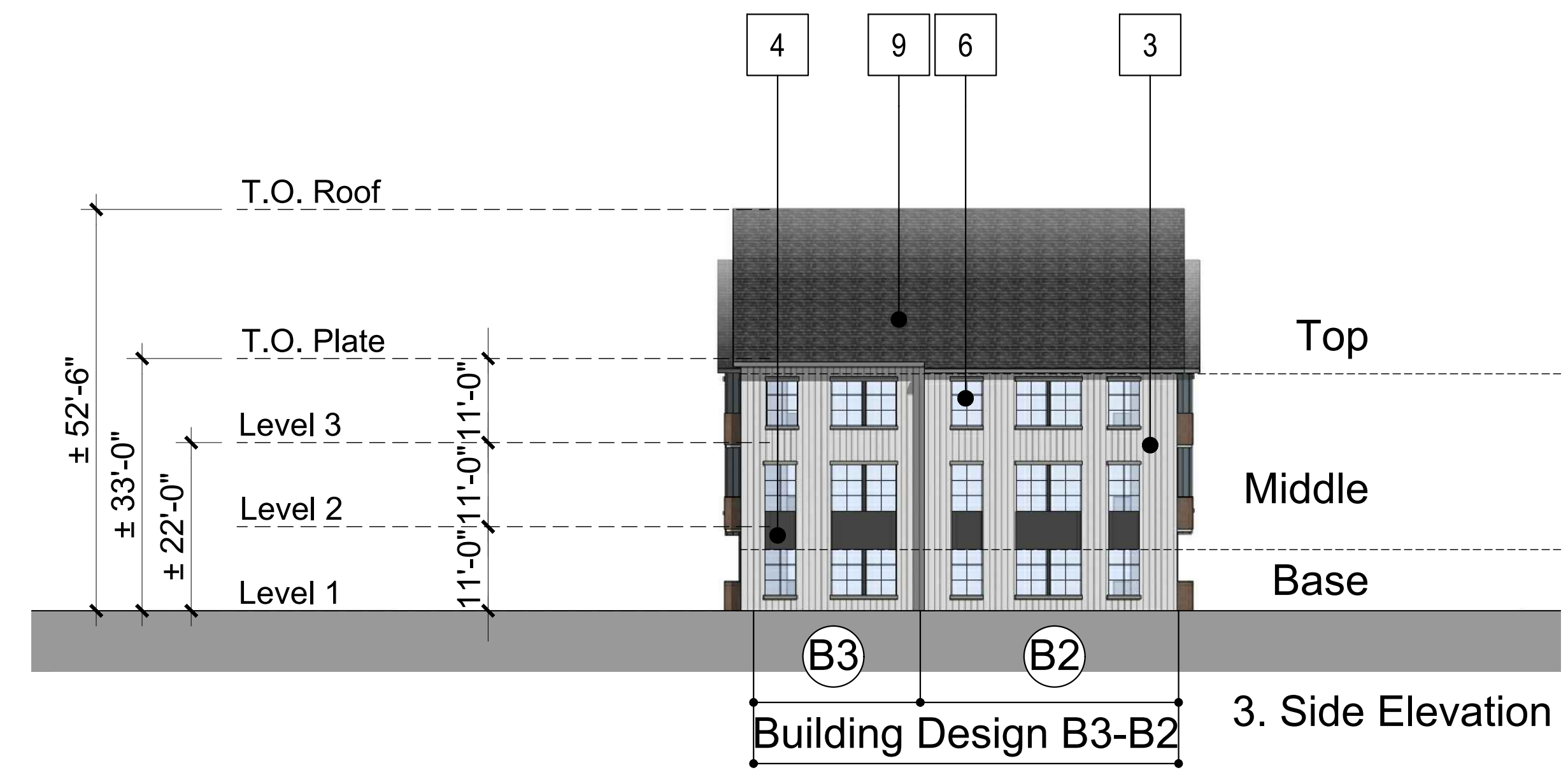
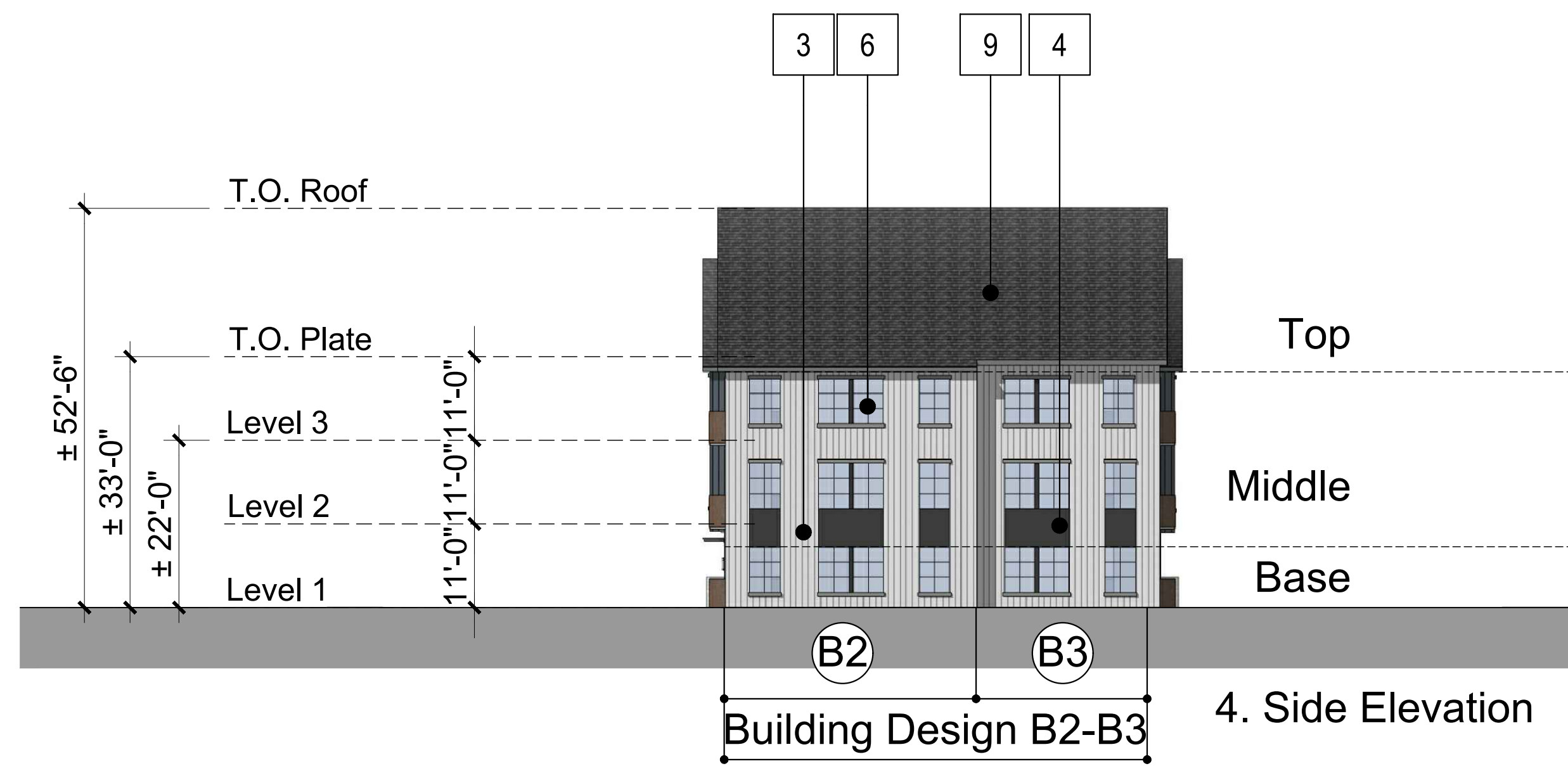
PROJECT

**COMPARK
VILLAGE
SOUTH**

TOWN OF PARKER, COUNTY
OF DOUGLAS, COLORADO
80134

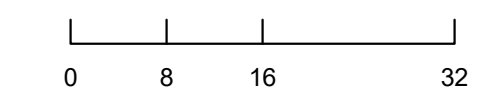
SHEET TITLE
**BUILDING
A
ELEVATIONS**

SHEET NUMBER
22



Material Legend:

1. Vertical Board and Batten
2. Cementitious Vertical Siding (Woodtone or similar)
3. Cementitious Vertical Siding (Painted)
4. Cementitious Panel
5. Stone Veneer
6. Vinyl Window
7. Metal Panel Railing
8. Metal Picket Railing
9. Shingle Roof



COMPARK VILLAGE SOUTH
SITE PLAN
 LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
 SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
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**COMPARK
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 SOUTH**

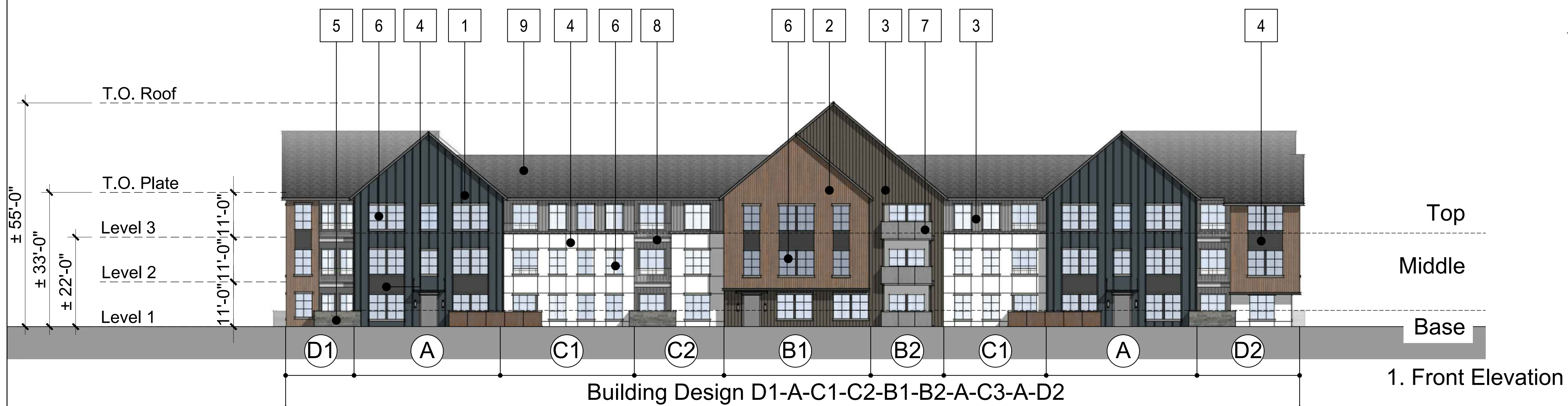
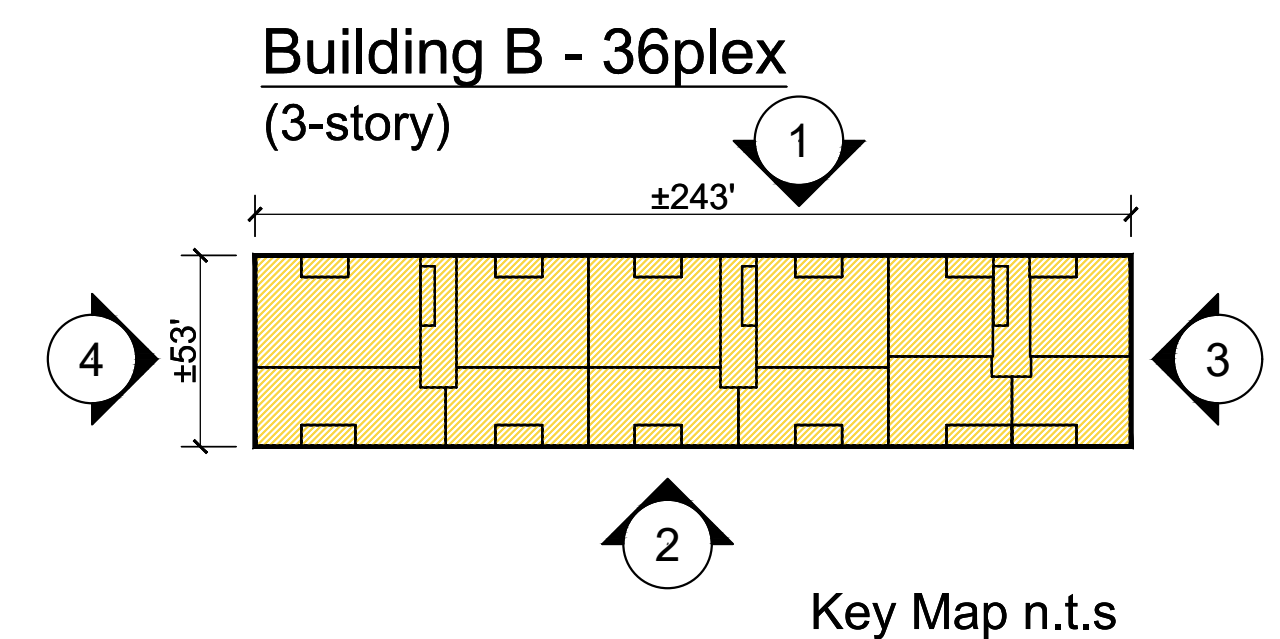
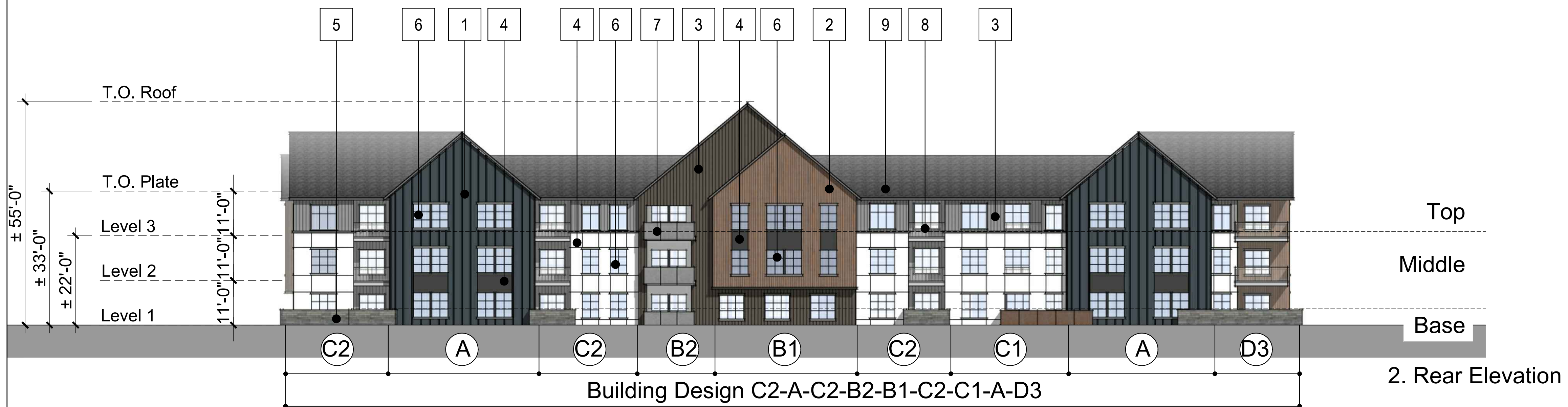
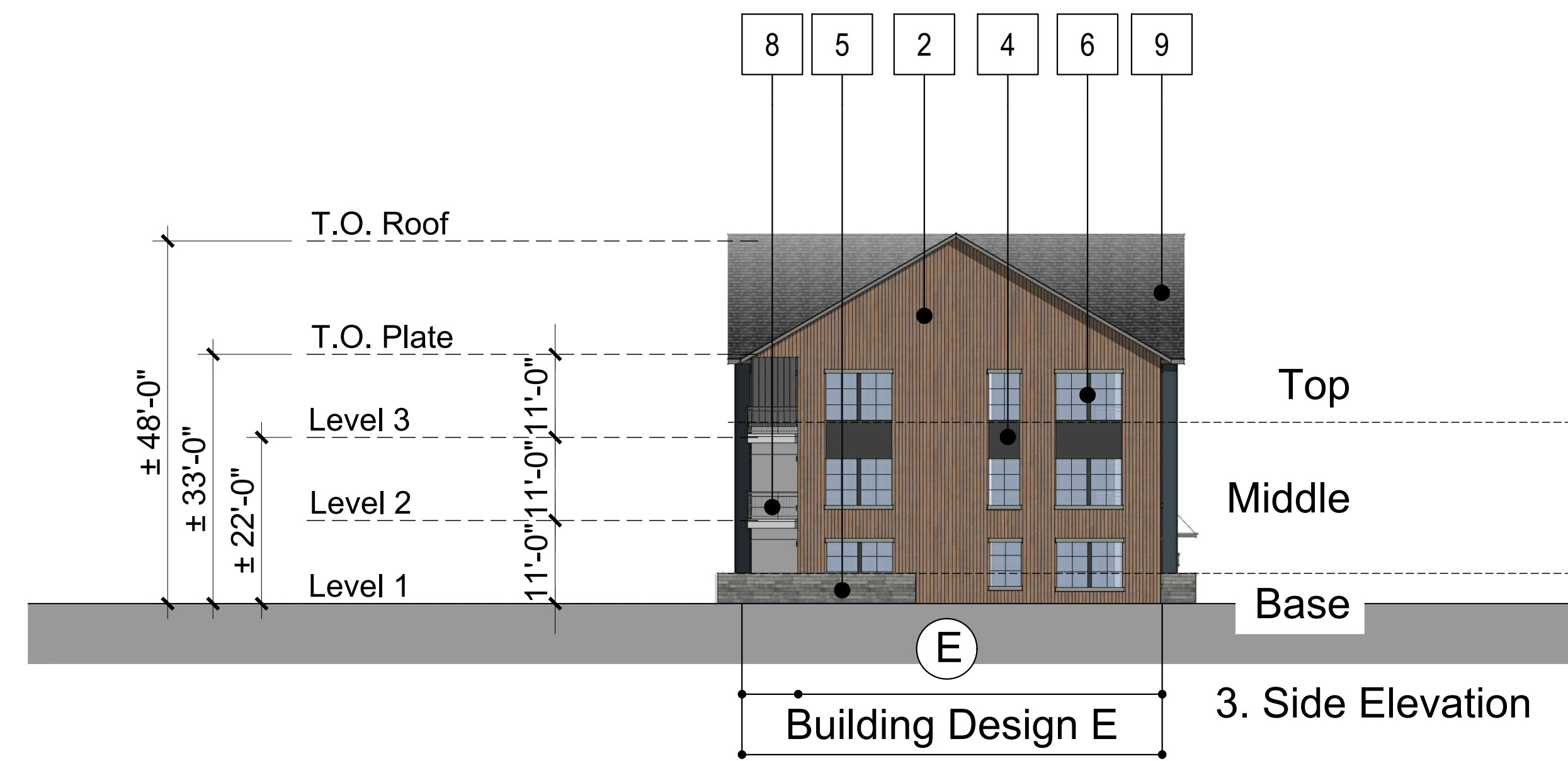
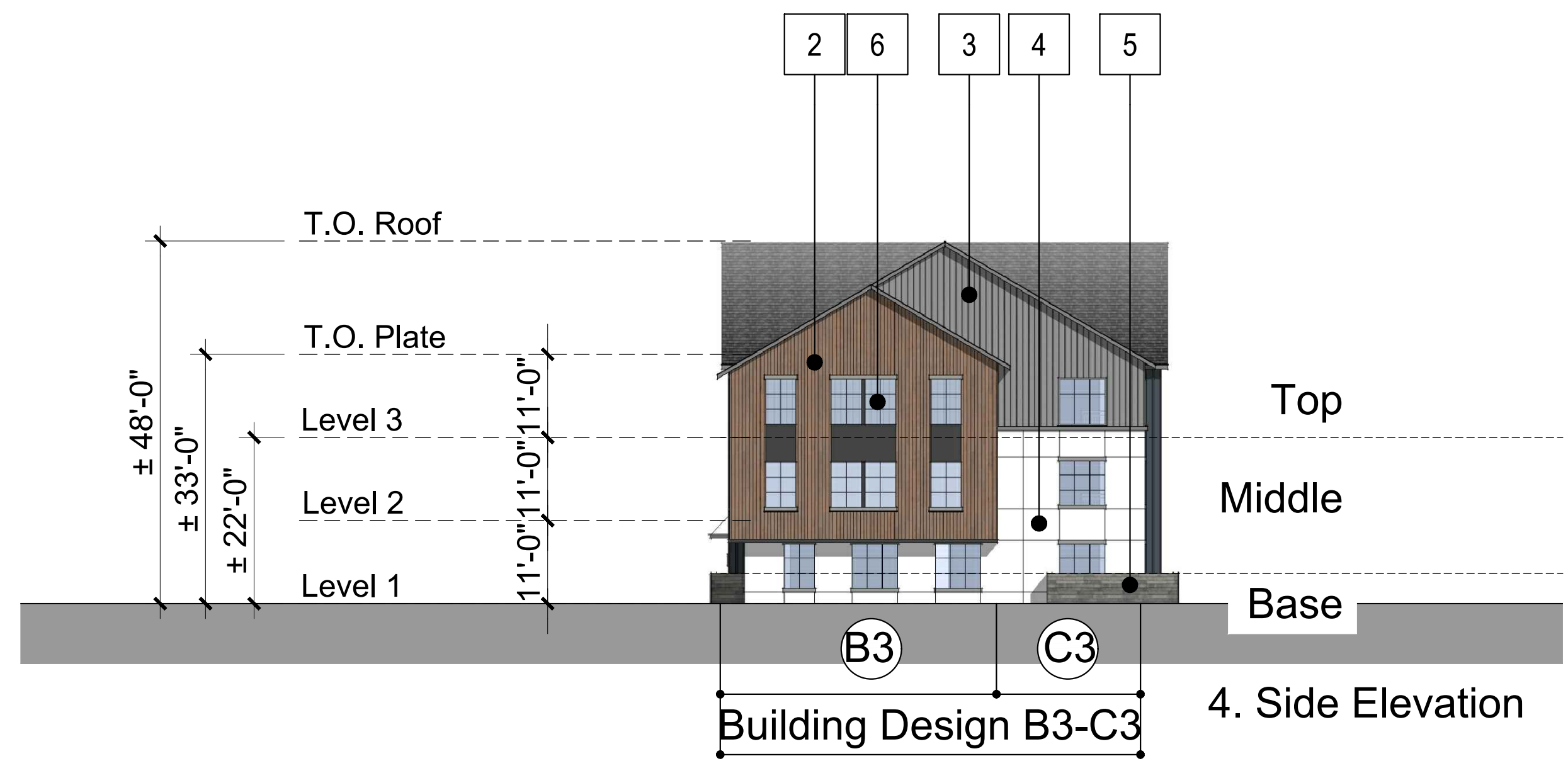
TOWN OF PARKER, COUNTY
 OF DOUGLAS, COLORADO
 80134

SHEET TITLE

**BUILDING
 B
 ELEVATIONS**

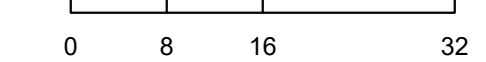
SHEET NUMBER

23



Material Legend:

1. Vertical Board and Batten
2. Cementitious Vertical Siding (Woodtone or similar)
3. Cementitious Vertical Siding (Painted)
4. Cementitious Panel
5. Stone Veneer
6. Vinyl Window
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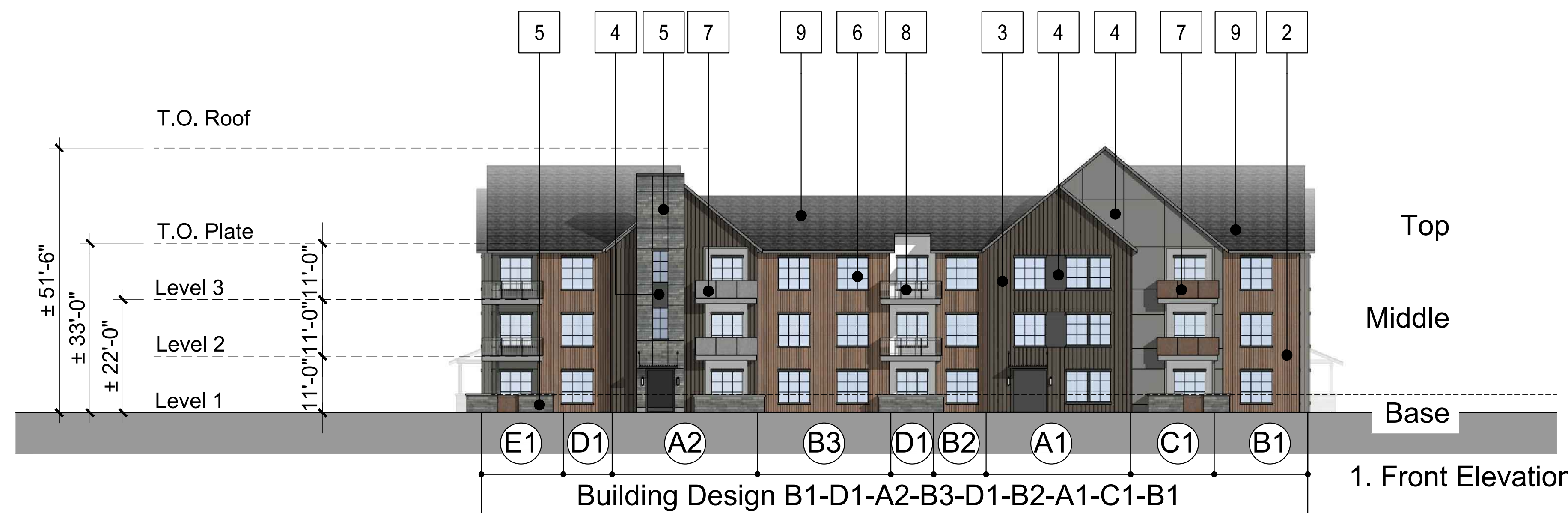
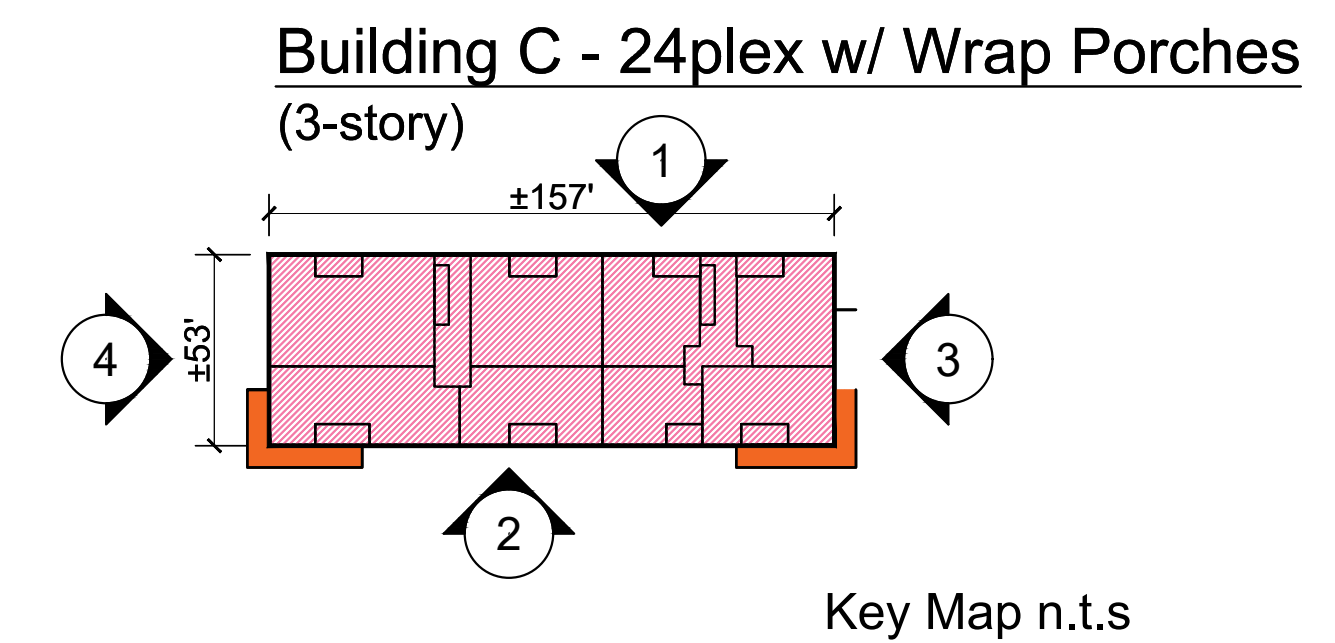
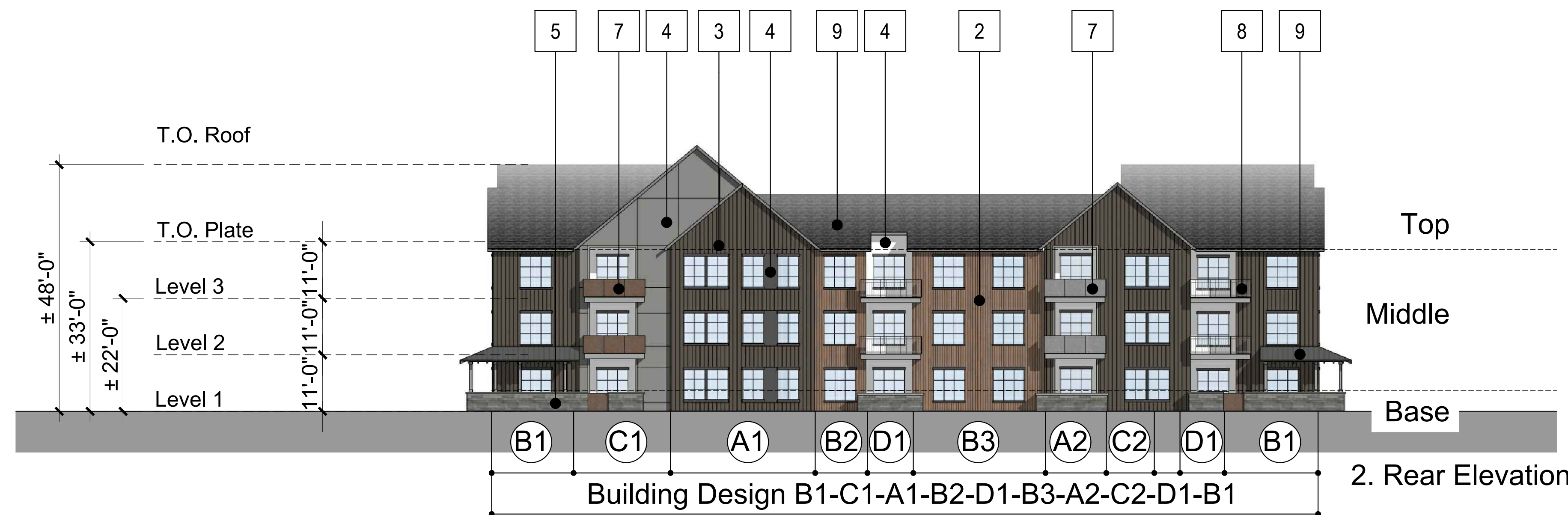
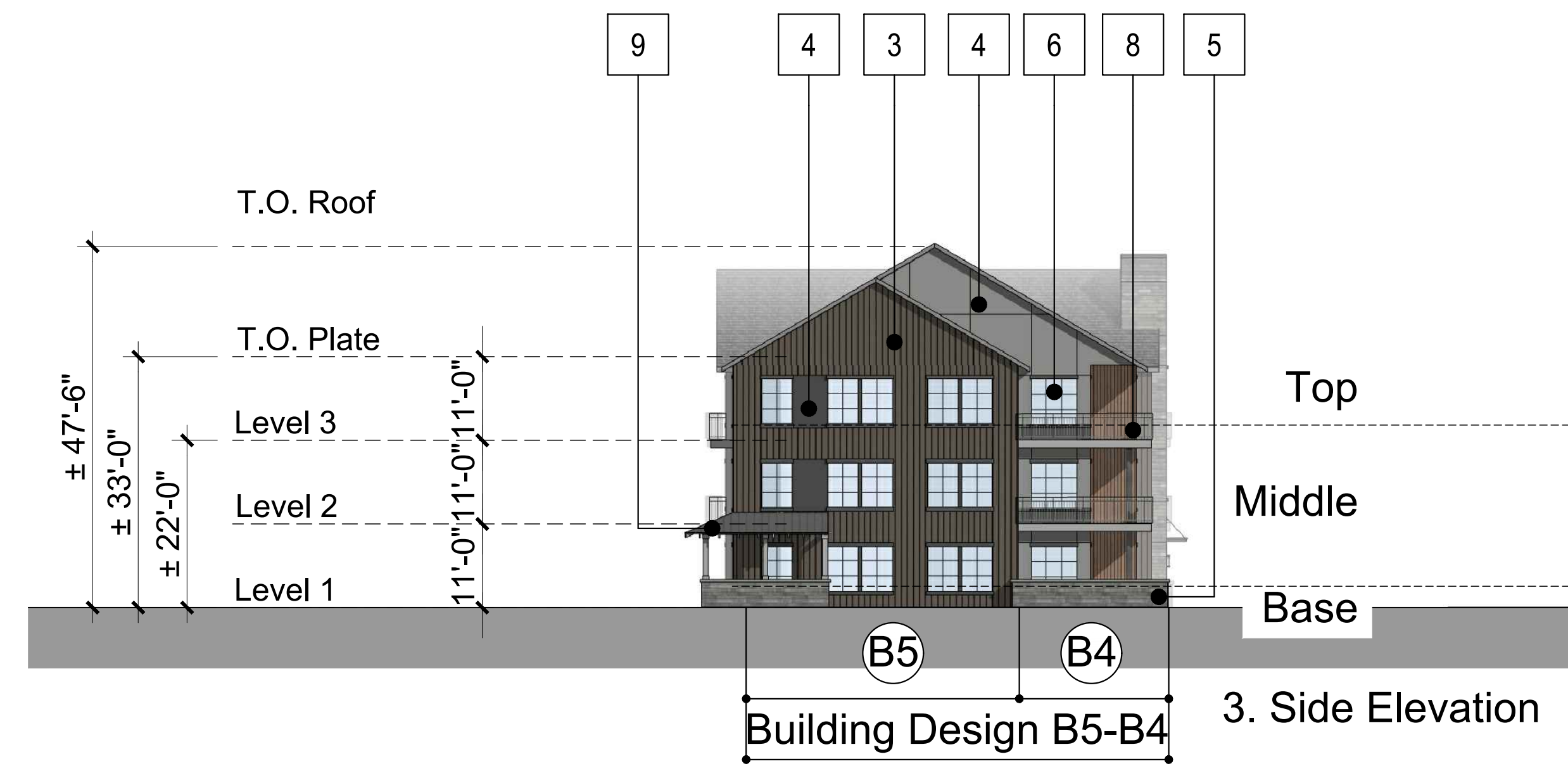
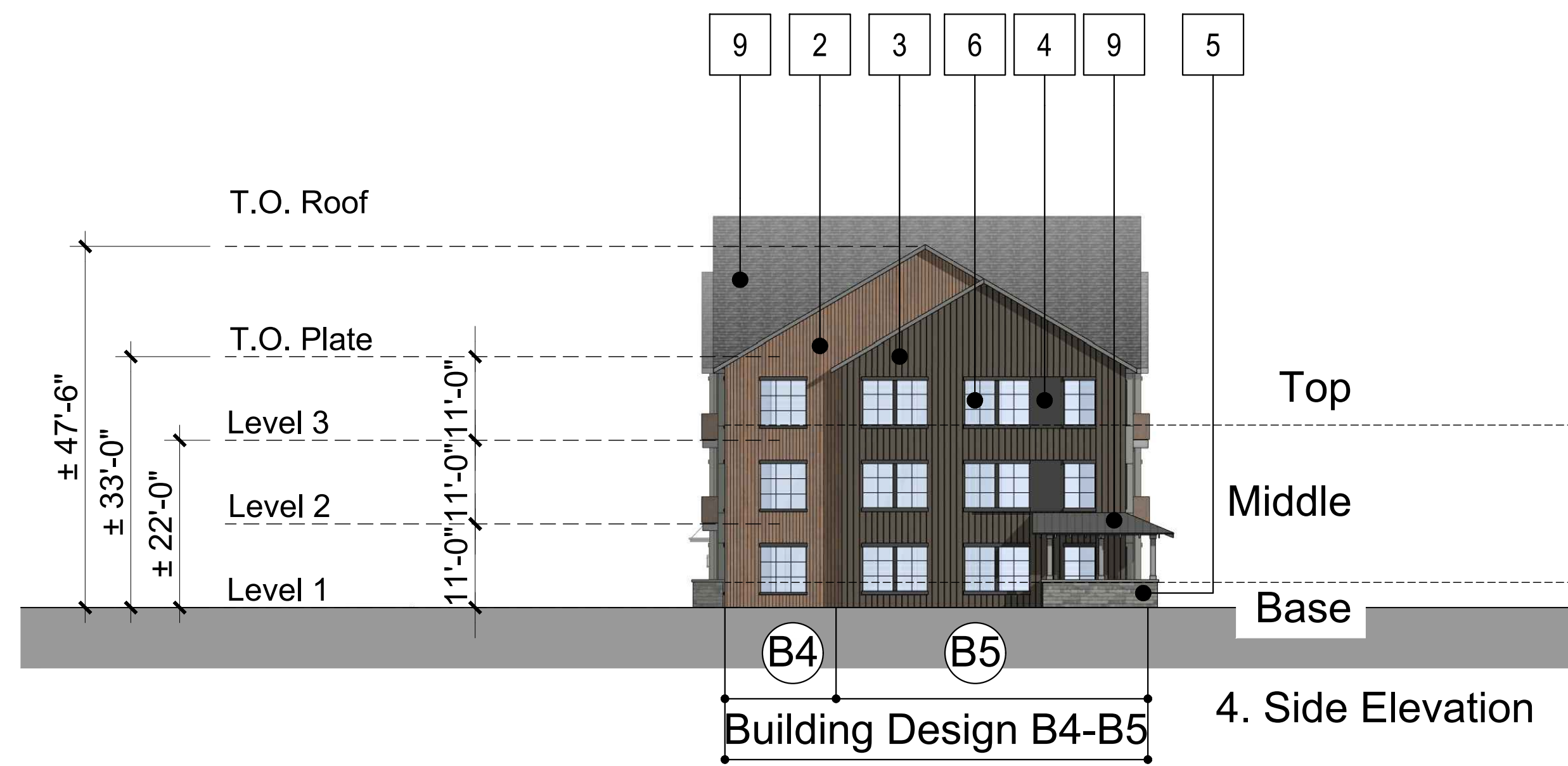


COMPARK VILLAGE SOUTH
SITE PLAN
 LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
 SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER
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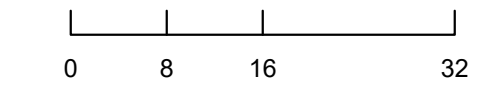


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PROJECT

COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

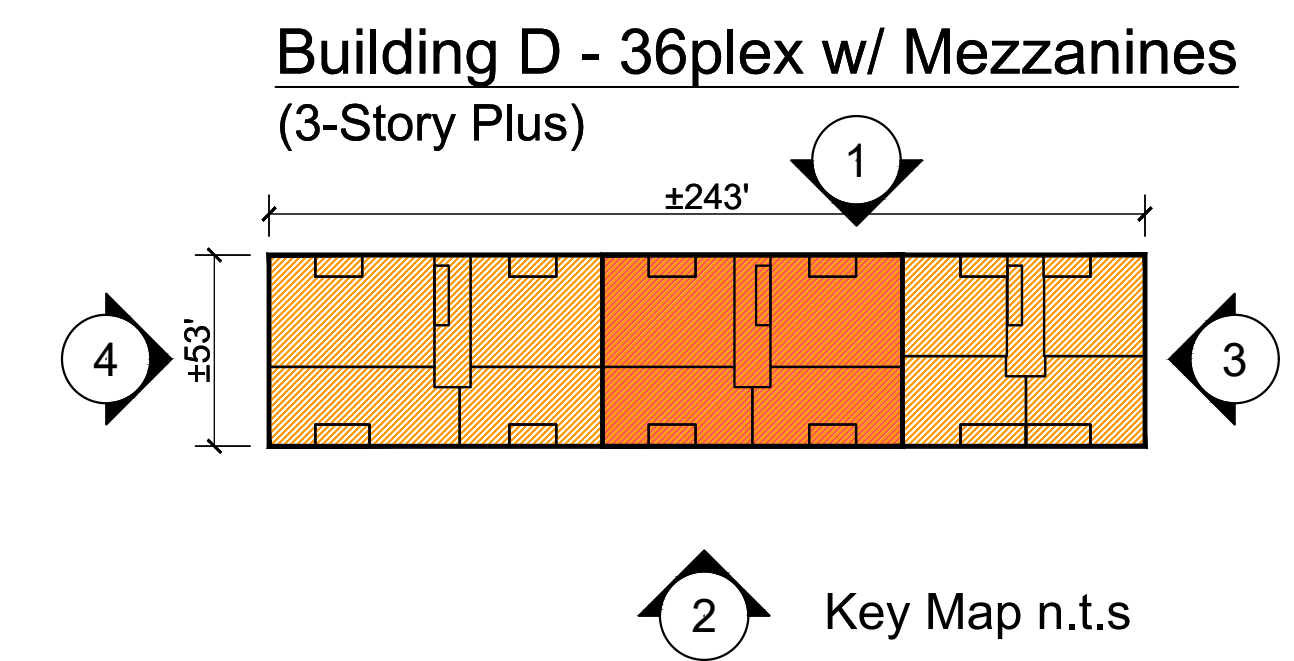
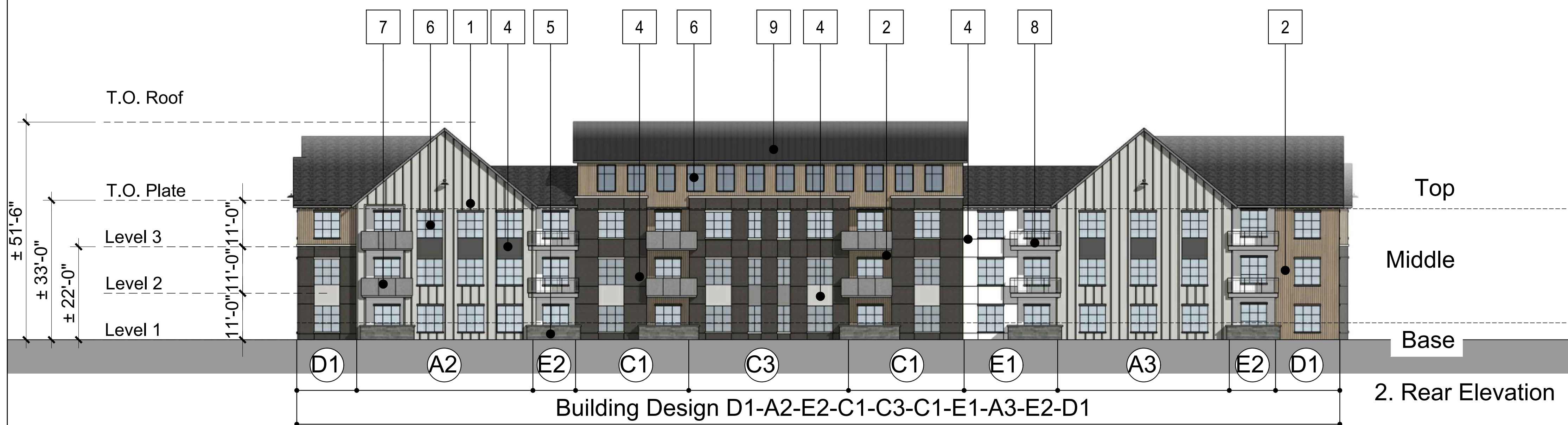
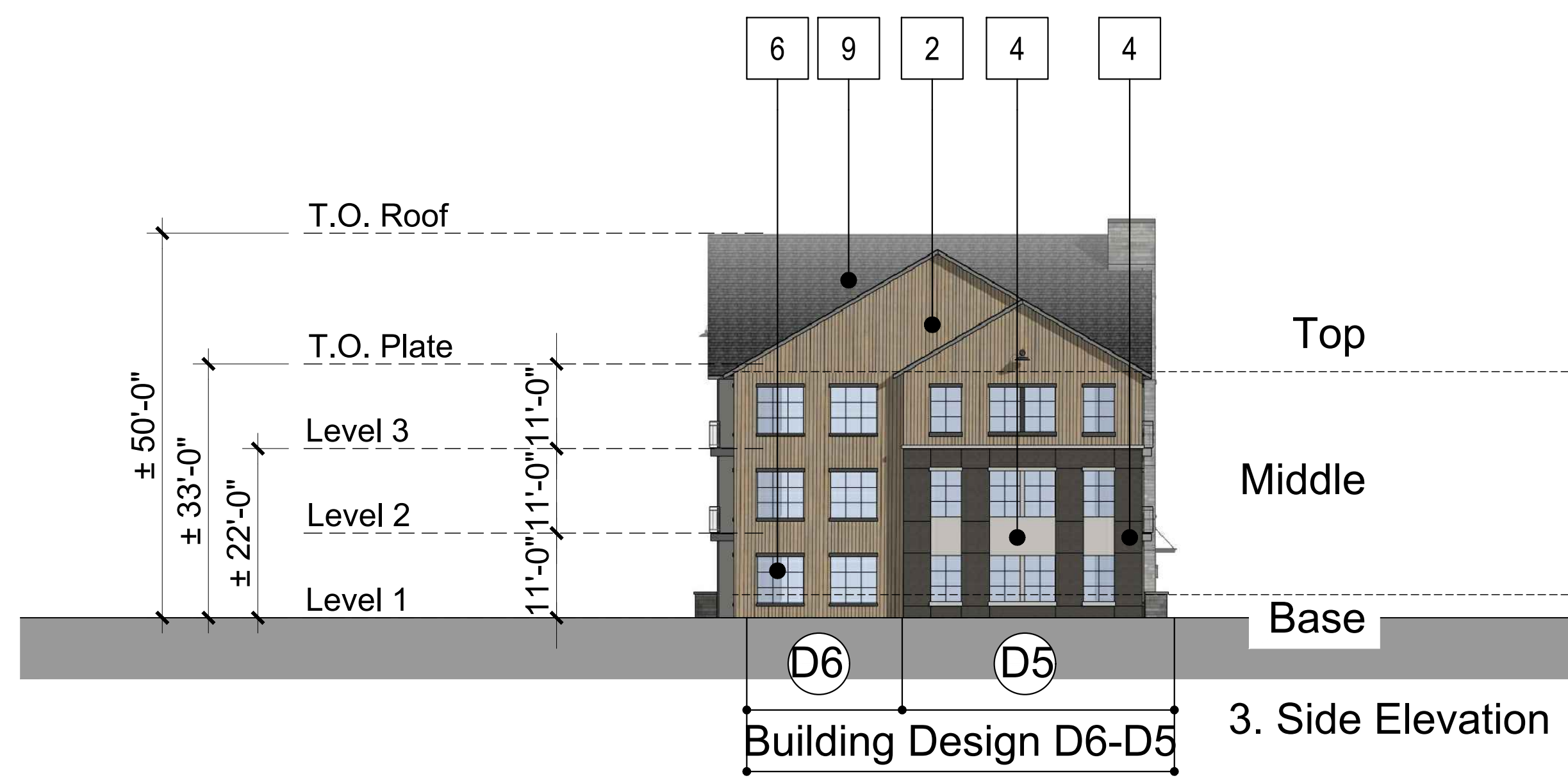
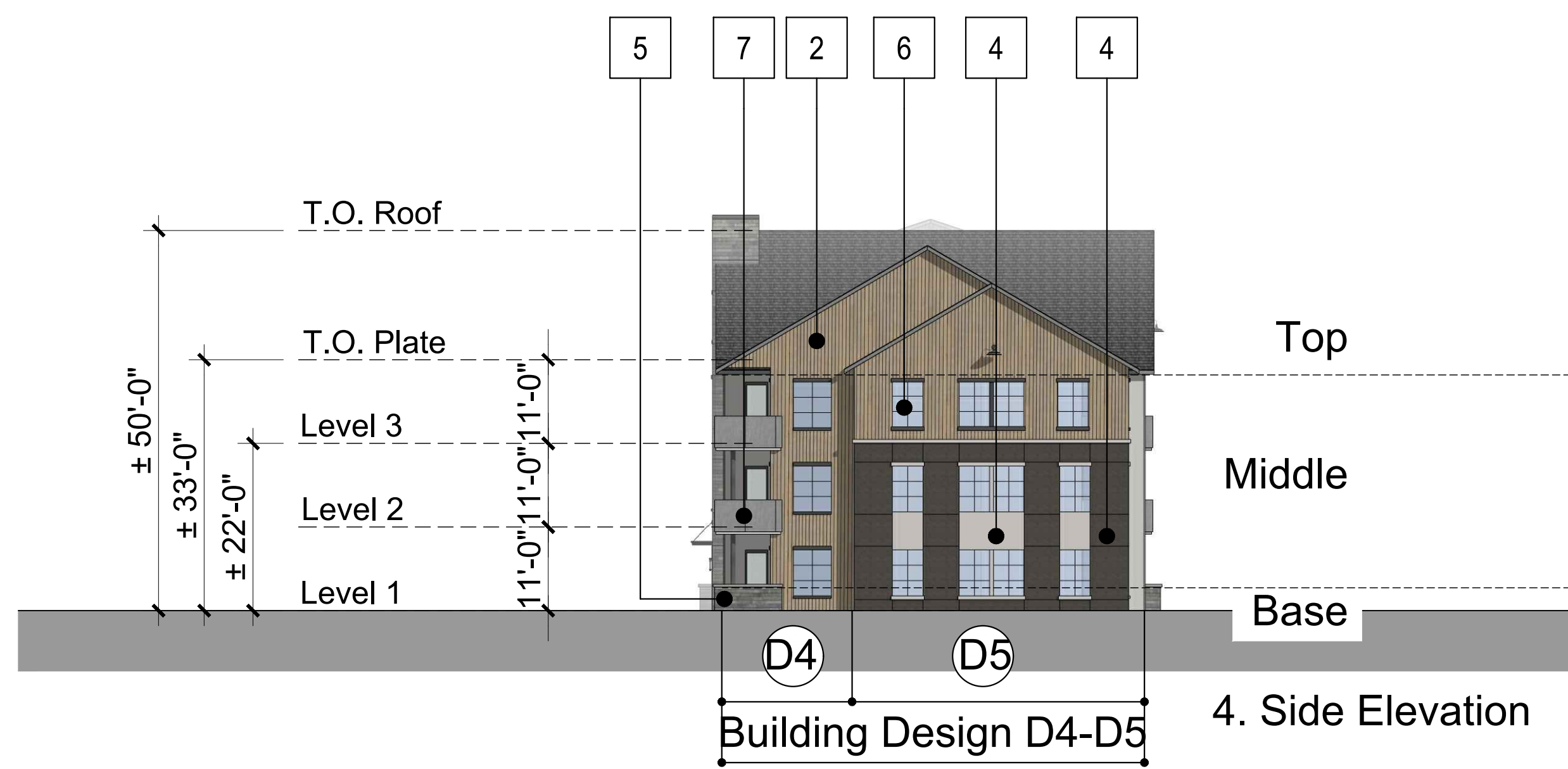
SHEET TITLE

BUILDING C ELEVATIONS

SHEET NUMBER

COMPARK VILLAGE SOUTH
SITE PLAN
 LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
 SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

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PROJECT

COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE

BUILDING D ELEVATIONS

SHEET NUMBER

COMPARK VILLAGE SOUTH
SITE PLAN
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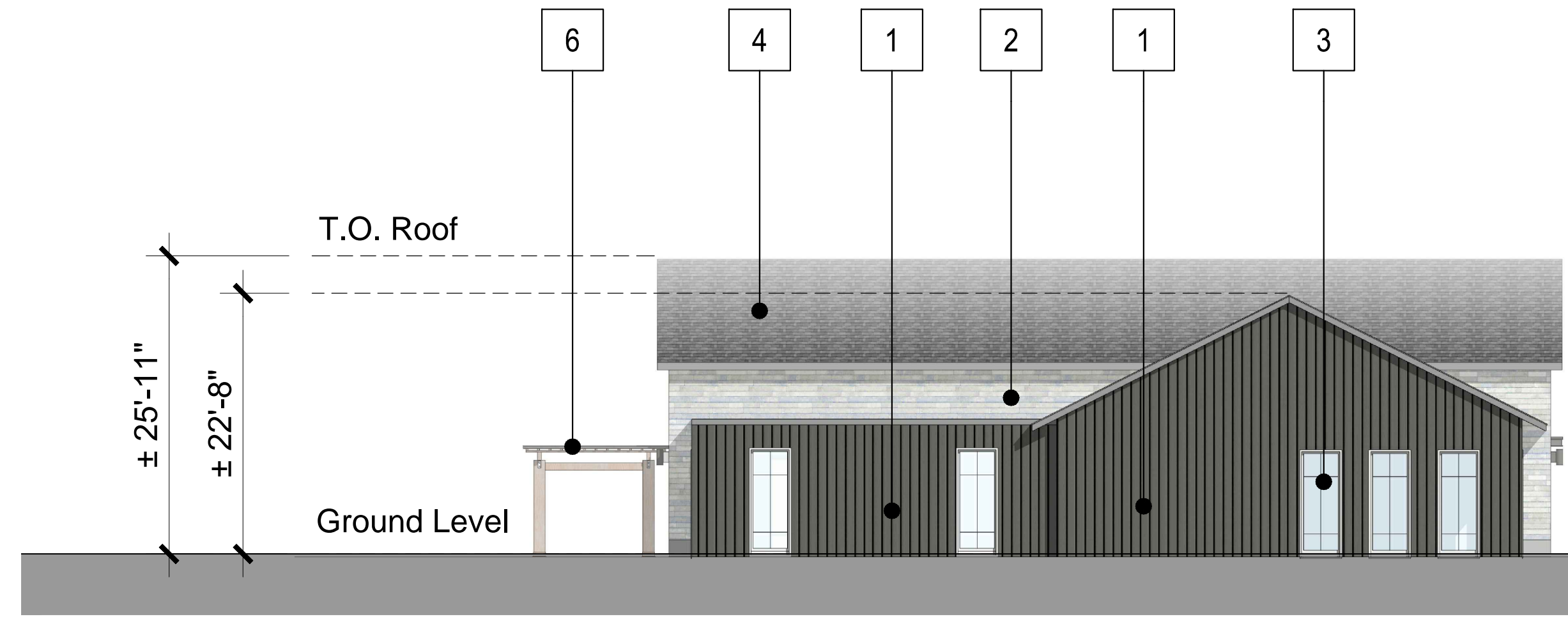
PROJECT

**COMPARK
VILLAGE
SOUTH**

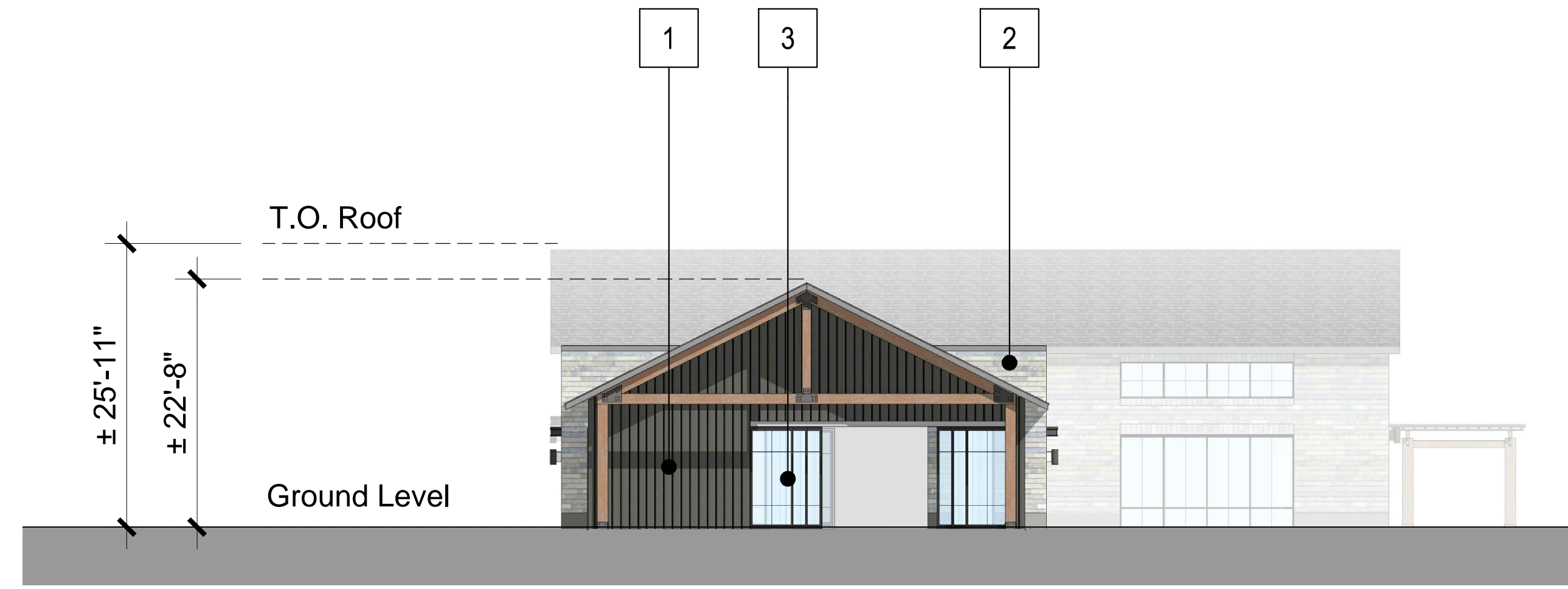
TOWN OF PARKER, COUNTY
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SHEET TITLE
**AMENITY
BUILDING
ELEVATIONS**

SHEET NUMBER
26



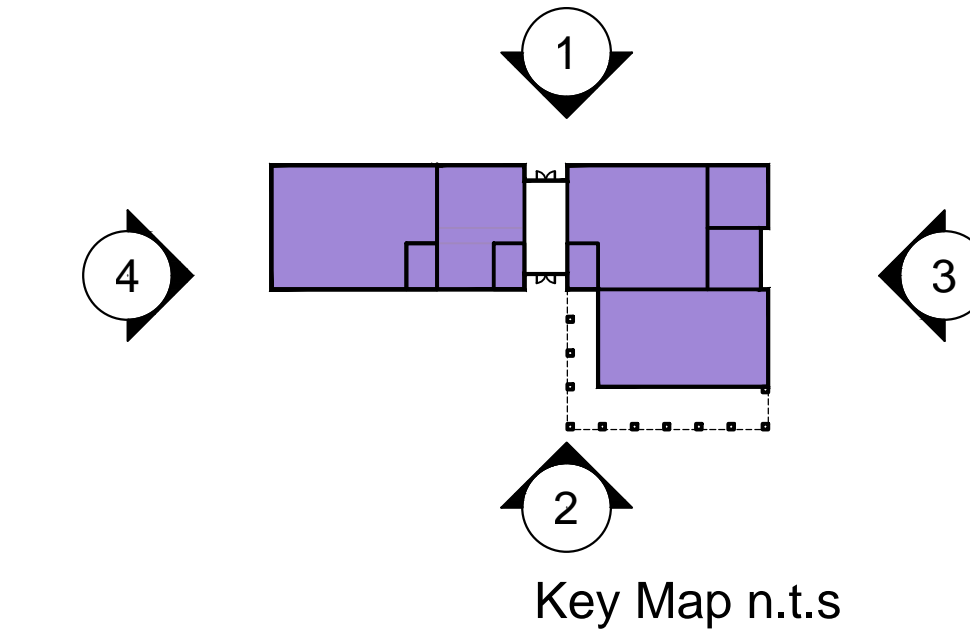
4. Side Elevation



3. Side Elevation



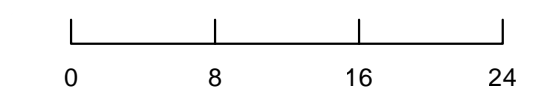
2. Rear Elevation



1. Front Elevation

Clubhouse Amenity Material Legend:

1. Vertical Board and Batten
2. Stone Veneer
3. Storefront Glazing
4. Shingle Roof
5. Metal Awning
6. Trellis



COMPARK VILLAGE SOUTH

SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

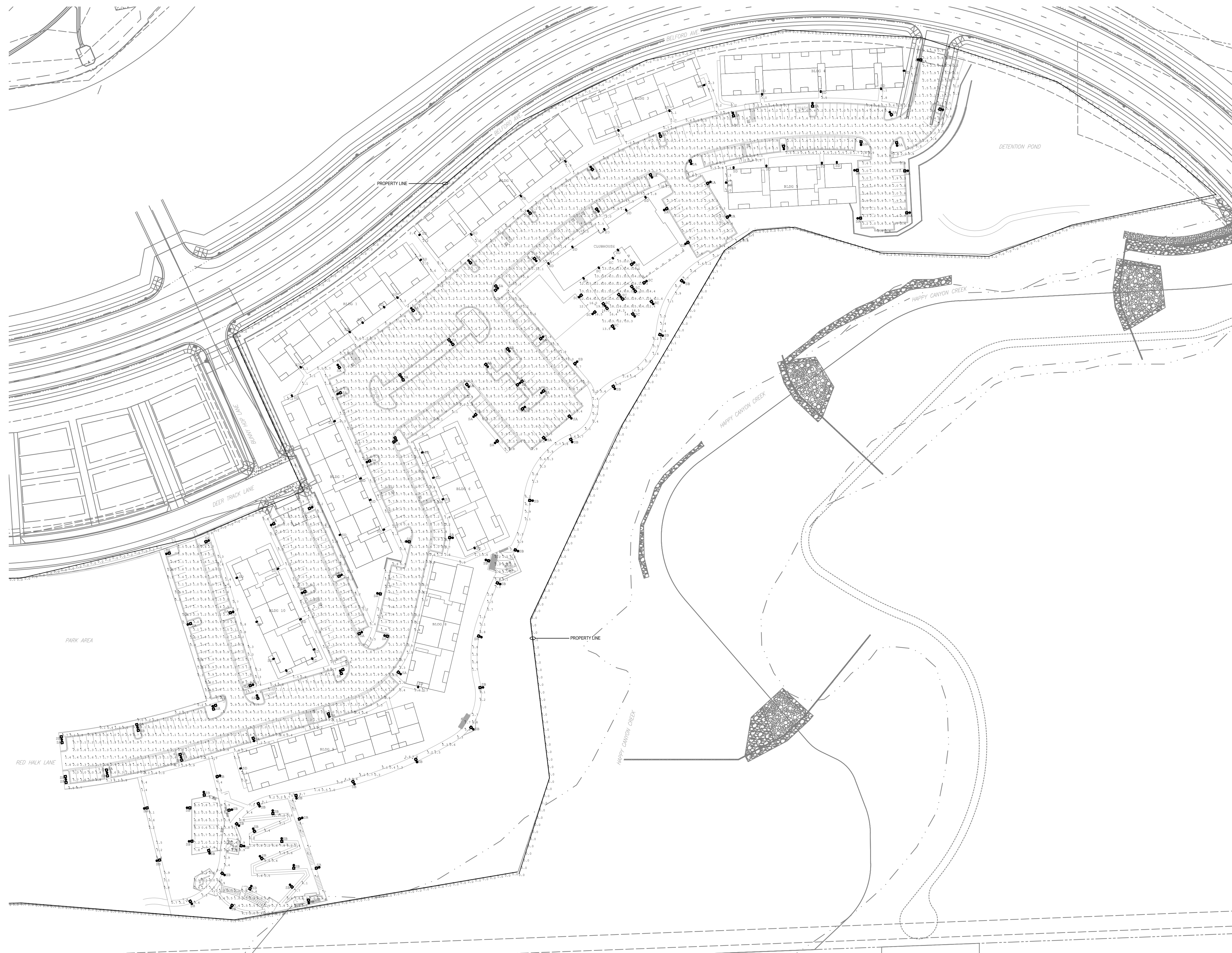
SITE LIGHT FIXTURE SCHEDULE					
TYPE	SERVES	DESCRIPTION	MANUFACTURER CATALOG NO.	LAMPS	NOTES
SA	SITE	POLE MOUNTED FIXTURE	GARDCO ECF-S-32L-530-WW-G2-2-HIS	56 W	20'
SB	SITE	POLE MOUNTED FIXTURE	GARDCO ECF-S-32L-365-WW-G2-2-HIS	40 W	10'
SC	SITE	POLE MOUNTED FIXTURE	GARDCO ECF-S-32L-700-WW-G2-4-HIS	73 W	10'
SD	SITE	WALL SCONCE	GARDCO 111L-16L-350-NW-G2-4	18 W	10'

REFER TO SITE PLAN SYMBOLS AND LIGHTING TAGS FOR LIGHT FIXTURE MOUNTING AND NUMBER OF FIXTURES PER POLE

CALCULATION SUMMARY						
LABEL	UNITS	AVG	MAX	MIN	AVGMIN	MAXMIN
LANDSCAPE PATH	Fc	3.27	9.4	0.1	32.7	94
LANDSCAPE RAMP	Fc	3.37	10.7	0.1	33.7	107
LANDSCAPE STEPS	Fc	4.69	11.2	1.5	3.13	7.47
PARKING	Fc	1.79	9.7	0.2	8.95	48.5
PATH 1	Fc	0.97	2	0.1	9.7	20
PATH 2	Fc	1.37	6.7	0.1	13.7	67
PATH 3	Fc	1.09	3.3	0.1	10.9	33
PATH 4	Fc	1.29	2.9	0.3	4.3	9.67
PATH 5	Fc	1.63	9.7	0.2	8.15	48.5
PATH 6	Fc	1	3.3	0.3	3.33	11
PATH 6.1	Fc	1.66	6.5	0.1	16.6	65
PERIMETER	Fc	0.03	1	0	N/A	N/A
POOL DECK	Fc	14.58	22	10.3	1.42	2.14

GENERAL NOTES:

- ANY PROPOSED LIGHT FIXTURES INSTALLED ON PRIVATE PROPERTY ADJACENT TO THE PUBLIC RIGHT-OF-WAY, SHALL BE ORIENTED IN SUCH A MANNER OR LIMITED IN LUMEN OUTPUT TO PREVENT GLARE PROBLEMS AND SHALL NOT EXCEED NATIONAL I.E.S. LIGHTING STANDARDS FOR DISABILITY GLARE.



1 SITE PHOTOMETRIC PLAN
SCALE: 1" = 70'-0"

PROJECT NUMBER
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SHEET TITLE
SITE PHOTOMETRIC
PLAN & SCHEDULES


SHEET NUMBER
27 OF 29

**COMPARK VILLAGE SOUTH
SITE PLAN**
LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

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Wall Mount

LED Mini sconce

111L





Philips Gardco 111 LED mini sconce luminaires are compact in size, perfect for low mounting height wall mount applications. 111 LED luminaires are designed to integrate naturally to wall surfaces. 111 LED luminaires are available with three (3) different distribution patterns, providing full cutoff performance (in the normal downlight position) and featuring LED arrays. Luminaires provide performance excellence and advanced Philips Gardco LED thermal management technology. High performance Class 1 LED systems offer potential energy savings of 50 % or more compared to HID systems. 111 LED luminaires are also available with 0-10V Dimming.

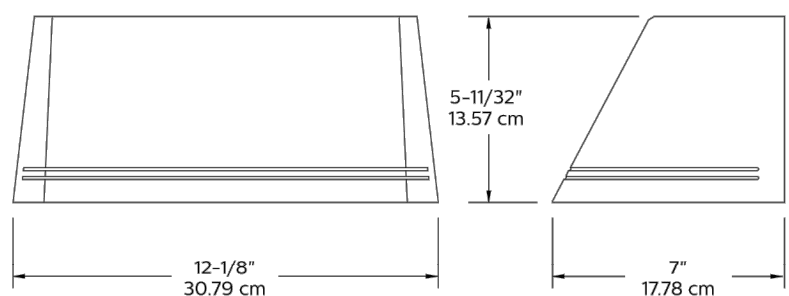
Project: _____
Location: _____
Cat.No: _____
Type: _____
Luminaire: _____ Qty: _____
Notes: _____

Ordering guide example: 111L-16L-350-CW-G2-2-UNV-00-BK

Prefix	No. of LEDs	Drive Current	Color/Generation	Distribution	Voltage	Controls	Electrical/Luminaire	Finish
111L	16	350mA	CW-G2	Type II	UNV 120-277V	PCB Photocell/Control Button	F1 Single fusing (D0, 277VAC)	Textured
111L	16	350mA	CW-G2	Type III	120 120V	DD 0-10V Dimming	F2 Double fusing (D0K, 240VAC)	BK Black
111L	16	350mA	CW-G2	Type III	208 208V		F3 Canadian double pull fusing (D0K, 240VAC)	WH White
111L	16	350mA	CW-G2	Type IV	240 240V		DL Diffusing Lens	BZ Bronze
111L	16	350mA	CW-G2	Type IV	277 277V		WS Wall Mounted Box for Surface Conduit	DGY Dark Grey
111L	16	350mA	CW-G2	Type IV	277 277V			MGV Medium Grey

1. Provide specific input voltage.

Dimensions



Note: Mounting plate center is located in the center of the luminaire width and 2.38\" (6.03cm) above the luminaire bottom (lens down position). Splices must be made in the J-Box (by others). Mounting plate must be secured by max. 1/4\" (6.4cm) diameter bolts (by others) structurally to the wall.

10-111_LED_Spec_Sheet_05/19 page 1 of 2

SITE LIGHT FIXTURE 'SD'

111 Mini Sconce LED
110 Line LED, Wall Mount

LED Wattage and Lumen Values

Color	Total LEDs	LED Current (mA)	LED Voltage (V)	Lumen Output (lm)	Type 2		Type 3		Type 4	
					Reg. Output (lm)	Eff. (lm/W)	Reg. Output (lm)	Eff. (lm/W)	Reg. Output (lm)	Eff. (lm/W)
111L-16L-350-WW-G2	16	350	30	1908	1810	106	1759	100	1908	100
111L-16L-350-NW-G2	16	350	29	2900	2810	103	2715	95	2688	93
111L-16L-350-CW-G2	16	350	40	3807	3710	93	3591	90	3529	88

1. Wattage and lumen output may vary by +/- 8% due to LED manufacturer forward volt specification and ambient temperature. Wattage shown is average for 120V through 277V input. Actual wattage may vary by an additional +/- 10% due to actual input voltage.
2. Not available for luminaires with the DL option and other color temperatures. Contact us at lighting.applications@signify.com if any approximate estimates are required for design purposes.
3. Absolute lumens for Cool White (CW) matches the Neutral White (NW) lumen outputs. Warm White (WW) performance is reduced by 12% compared to Neutral White (NW) values shown.

Specifications

Housing
Housings are die cast aluminum. A memory retentive gasket seals the housing to the door frame to exclude moisture, dust, insects and pollutants from the optical system. A black, die cast ribbed backplate dissipates heat and a superior system life. Main body cast housing and back plate made of a low copper die cast. Hinged door allows access to driver and LED compartment.

Optical systems
The advanced LED optical systems provide IES Types 2, 3, 4. Composed of high performance UV stabilized optical grade polymer refractor lenses to achieve desired distribution optimized to get maximum spacing, target lumens and a superior lighting uniformity. Performance shall be tested per LM-63, LM-79 and TM-15 (IESNA) certifying its photometric performance. Dark sky compliant with 0% uplight and U0 per IESNA TM-15.

Finish
Five standard colors offered in textured black, white, bronze, dark gray and medium gray. Color in accordance with the AAMA 2604 standard. Application of polyester powder coat paint 2.5 mils minimum. The thermosetting resin provides a discoloration resistant finish in accordance with the ASTM D2244 standard, as well as luster retention in keeping with the ASTM D523 standard and humidity proof in accordance with the ASTM D2247 standard. RAL and custom color matching available.

Light Engine
Composed of 4 main components: Heat Sink / LED Module/Optical System/Driver. Electrical components are RoHS compliant. Metal core board ensures greater heat transfer and longer lifespan.

Thermal Management
Philips Gardco 111 LED luminaires utilize extruded aluminum integral thermal radiation fins to provide excellent thermal management critical to long LED system life.


IP Rating
Luminaires are rated IP66.

Predicted Lumen Depreciation Data

Ambient Temperature °C	System Current (mA)	LED Current (mA)	Calculated Lp/h*	Lp per TM-15†	Lumen Maintenance @ 60,000hrs
25 °C	750 mA	750 mA	>100,000	>60,000	97%

1. Predicted performance derived from LED manufacturer's data and engineering design estimates, based on IESNA LM-80 methodology. Actual experience may vary due to field application conditions.
2. Lp is the predicted time when LED performance deprecates to 70% of initial lumen output.
3. Calculated per IESNA TM-21. Published L70 hours limited to 6 times actual LED test hours.

Limited Warranty
5-year limited warranty. See philips.com/ warranties for details and restrictions. Visit our eCatalog or contact your local sales representative for more information.



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Markham, ON L3R 9V7
Canada L3R 9V7
Tel: 800-866-9008

10-111_LED_Spec_Sheet_05/19 page 2 of 2

SITE LIGHT FIXTURE 'SD'


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SHEET TITLE
LIGHT FIXTURE
SPEC SHEETS

SHEET NUMBER
29 OF 29