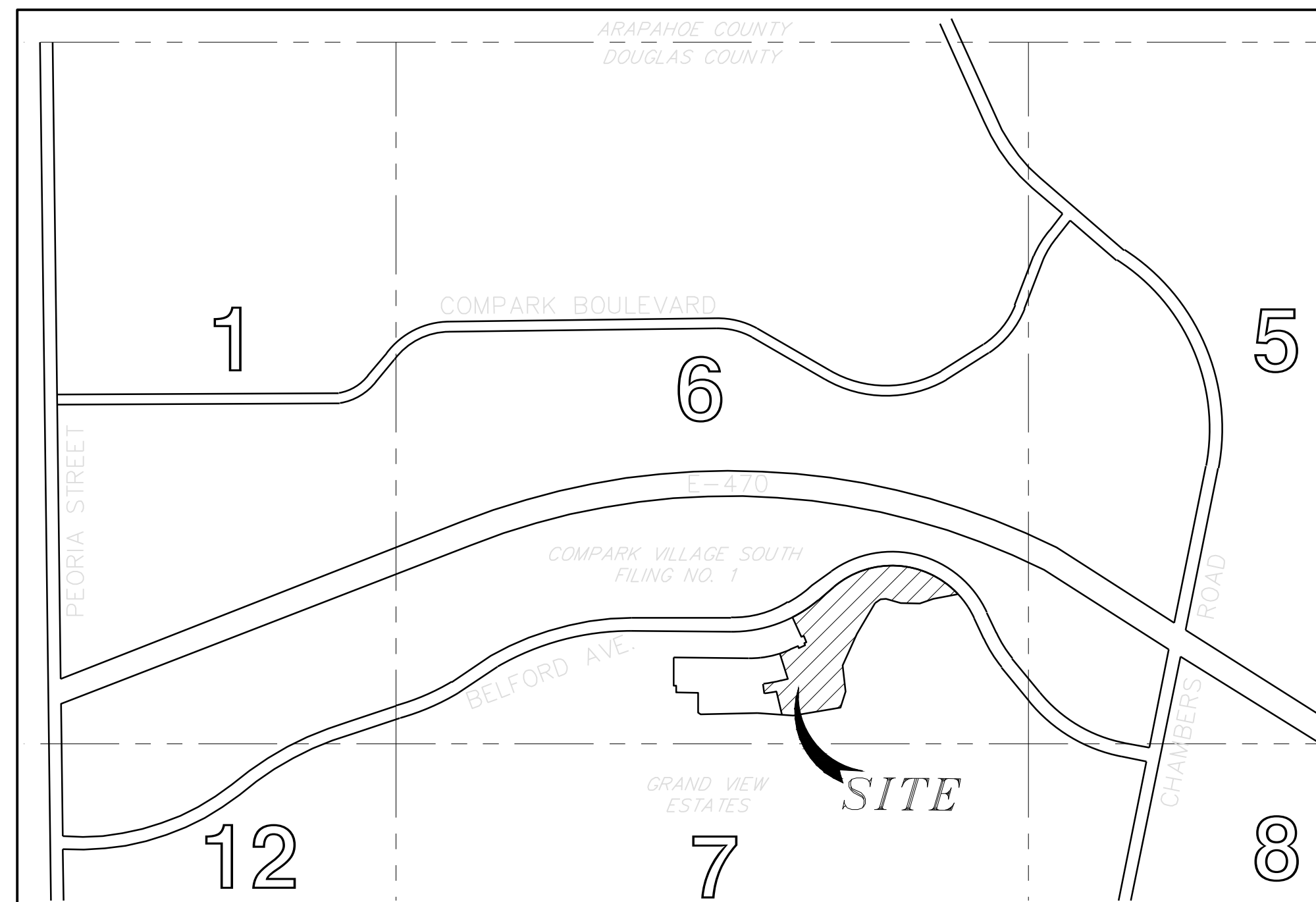


**COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN**

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



Vicinity Map

N.T.S.

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PROJECT DIRECTORY

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JORDAN AND SKALA ENGINEERS
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CONTACT: STEPHEN LINGEN

PARK LAND TABULATION

DWELLING UNITS: 300
REQUIRED PARK LAND = DWELLING UNITS * 0.0139 ACRES/UNIT
= 300 * 0.0139
= 4.17 ACRES

PARK LAND PROVIDED: 4.17 ACRES

LAND USE TABLE:

ITEM	
BUILDING COVERAGE	2.74 AC
BUILDING TYPE A AREA	0.42 AC
BUILDING TYPE B AREA	0.61AC
BUILDING TYPE C AREA	0.60 AC
BUILDING TYPE D AREA	0.92 AC
CLUB HOUSE AREA	0.18 AC
MAINTENANCE SHED AREA	0.01 AC
PARKING LOT AND DRIVING ISLE AREA:	3.70 AC
PARK COVERAGE:	4.17 AC
OPEN SPACE/LANDSCAPE COVERAGE	3.36 AC
POND TRACT:	1.03 AC
LOT 1 AREA	13.97 AC
TOTAL SITE AREA	14.998 AC
TOTAL UNITS:	300
LOT 1 DENSITY	21.47 UNITS/AC

PARKING CALCULATION TABLE

PARKING REQUIRED	NUMBER OF ROOMS	PARKING PER UNIT	SPACES REQUIRED
STUDIO UNITS	15	1	15
ONE BEDROOM UNITS	147	1	147
TWO BEDROOM UNITS	116	1.5	174
THREE BEDROOM UNITS	22	2	44
GUEST	300	0.2500	75
		SUB-TOTAL PARKING	455
		PARKING PER UNIT	SPACES REQUIRED
TOTAL PARKING REQUIRED			455
RESIDENT STANDARD PARKING SPACES			445
RESIDENT ACCESSIBLE PARKING SPACES*			10
TOTAL PARKING PROVIDED			455
BICYCLE PARKING			
TOTAL BICYCLE PARKING PROVIDED**			48

* INCLUDES 4 VAN ACCESSIBLE STALLS AND 6 STANDARD ACCESSIBLE STALLS
** 24 BIKE RACKS WITH 2 BIKES PER RACK

PROJECT NUMBER
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PREPARED FOR CENTURY COMMUNITIES



PROJECT

COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

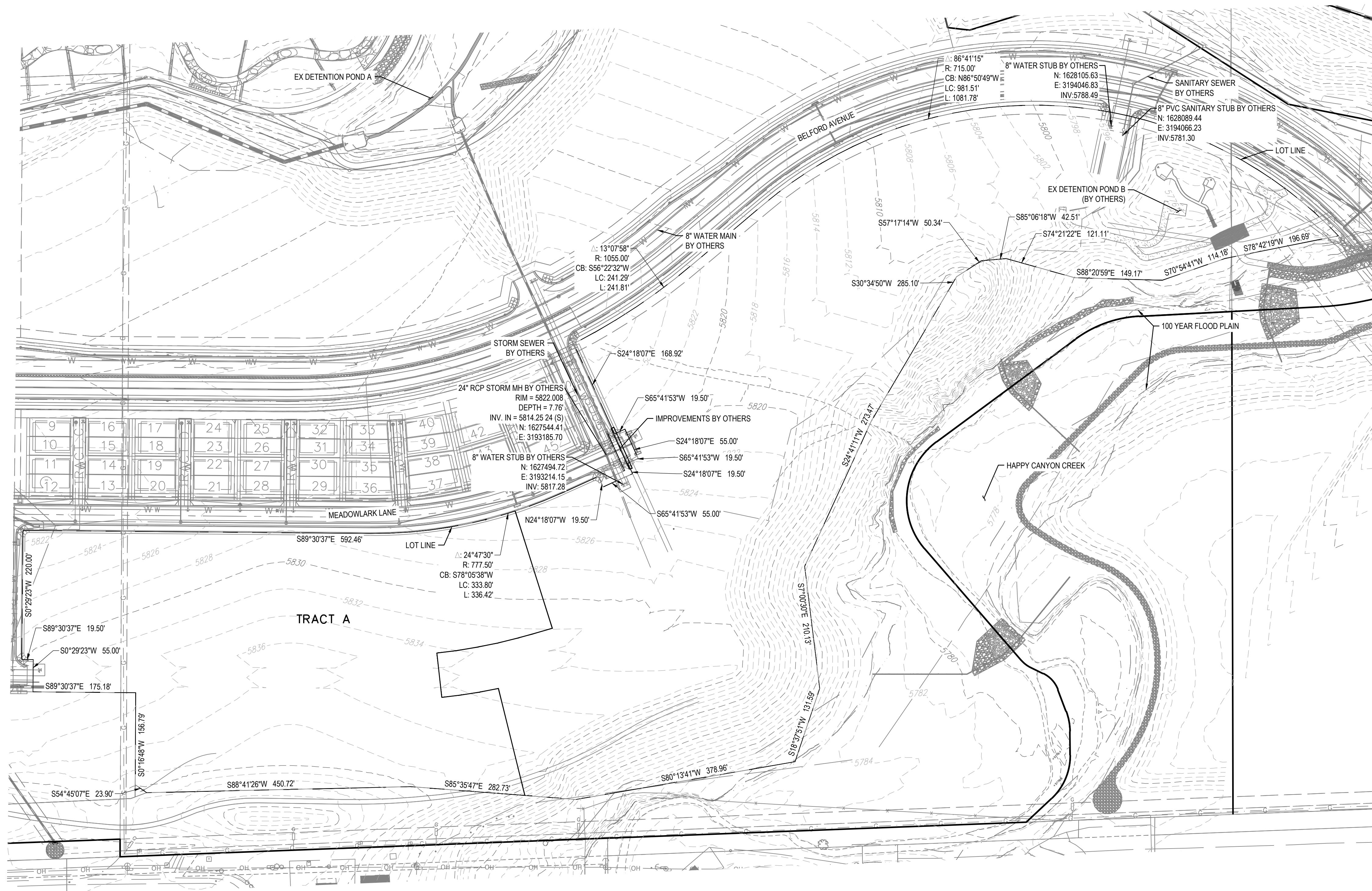
SHEET TITLE

COVER SHEET

SHEET NUMBER

COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

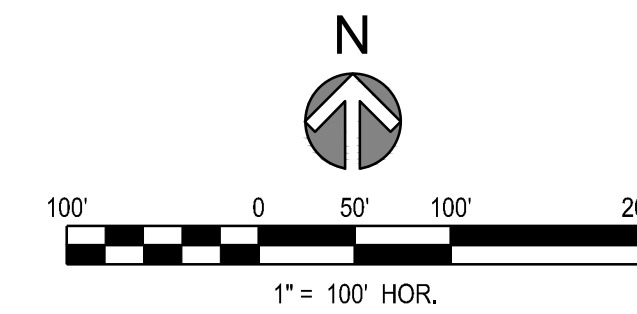
LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



BEARINGS ARE ASSUMED AND ARE BASED UPON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 6, AS BEARING N87°48'59"E A DISTANCE OF 2634.09 FEET BETWEEN THE SOUTH QUARTER CORNER OF SAID SECTION 6, BEING A FOUND 3-1/4" ALUMINUM CAP, FLUSH WITH THE SURFACE AND STAMPED: PLS 38026 AND THE SOUTHEAST CORNER OF SAID SECTION 6, BEING A FOUND 3-1/4" ALUMINUM CAP, FLUSH WITH THE SURFACE AND STAMPED PLS 12405.

NOTES

- EXISTING ITEMS AND CONTOURS SHOWN WERE PREPARED BY MANHARD CONSULTING, LLC. SITE IS ACTIVELY UNDER CONSTRUCTION DURING TIME OF DESIGN. CONTRACTOR TO FIELD VERIFY FEATURES DEPICTED BEFORE STARTING WORK.



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COMPARK VILLAGE SOUTH

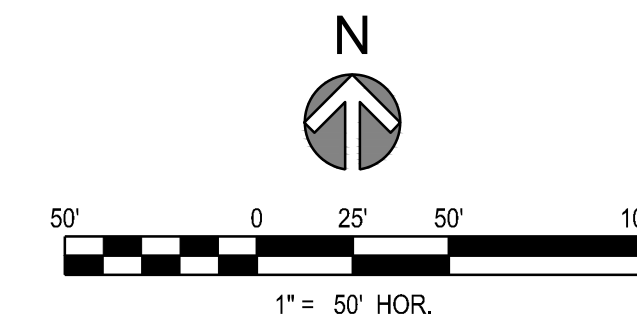
TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE
EXISTING CONDITIONS

SHEET NUMBER
02

COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



LEGEND / KEYNOTES

- # PARKING SPACE COUNT
 - PROPERTY LINE
 - SIGN
 - ① R1-1 (30' x 30')
 - ② R7-8 (12' x 18')
 - ③ R7-8 P (12' x 9')
 - ④ R7-1 (SP) (12' x 18')
 - ⑤ R2-1 (SP) (12' x 18')
- PAVEMENT MARKING OF INTERNATIONAL SYMBOL OF ACCESSIBILITY

NOTES
1. DIMENSIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.

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PROJECT
COMPARK VILLAGE SOUTH

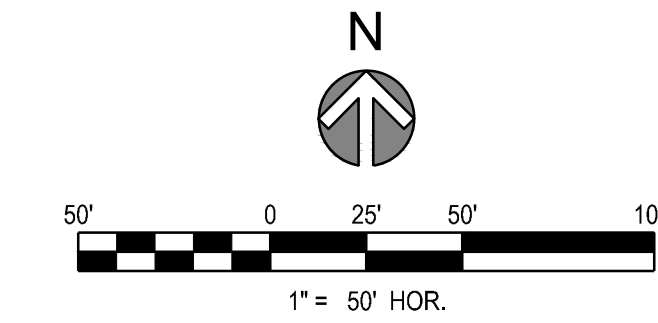
TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE
SITE PLAN

SHEET NUMBER
3

COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



MATCH LINE SEE SHEET 3



LEGEND / KEYNOTES

- PARKING SPACE COUNT
 - PROPERTY LINE
 - SIGN
 - ① R1-1 (30' x 30')
 - ② R7-8 (12' x 18')
 - ③ R7-8 P (12' x 9')
 - ④ R7-1 (SP) (12' x 18')
 - ⑤ R2-1 (SP) (12' x 18')
- PAVEMENT MARKING OF INTERNATIONAL SYMBOL OF ACCESSIBILITY

5970 GREENWOOD PLAZA BLVD.
GREENWOOD VILLAGE, CO. 80111
303-751-0741
www.merrick.com

PREPARED FOR CENTURY COMMUNITIES



PROJECT
COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

NOTES

1. DIMENSIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.

SHEET TITLE
SITE PLAN

SHEET NUMBER

4

PROJECT NUMBER
65120950
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DATE
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COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
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TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



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COMMUNITIES



PROJECT
**COMPARK
VILLAGE
SOUTH**

TOWN OF PARKER, COUNTY
OF DOUGLAS, COLORADO
80134

SHEET TITLE
**BLOCK
SCHEMATIC**

SHEET NUMBER
5

COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

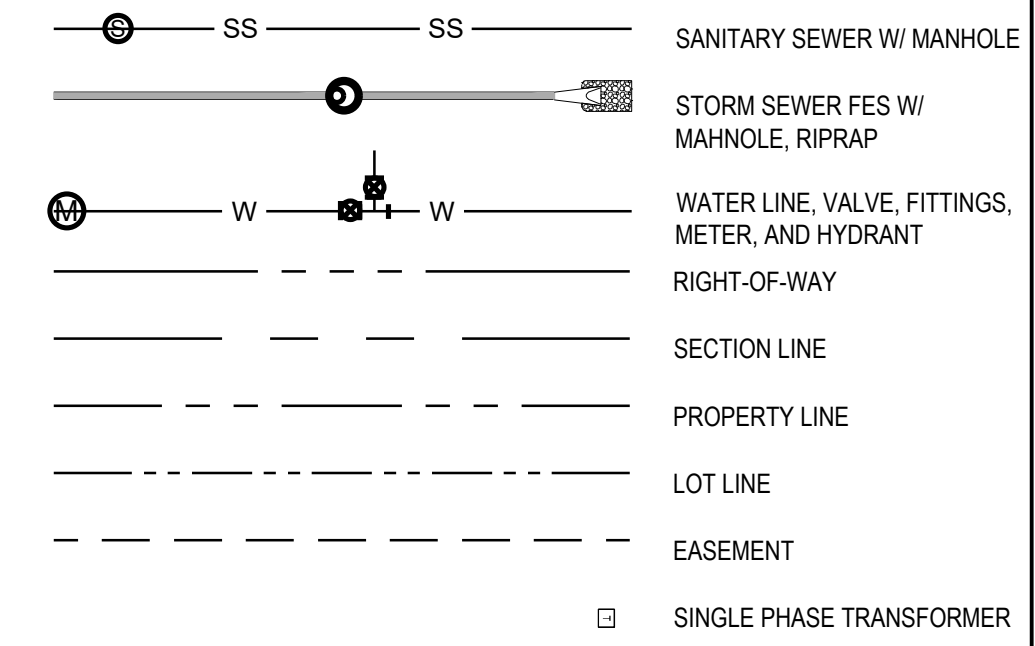
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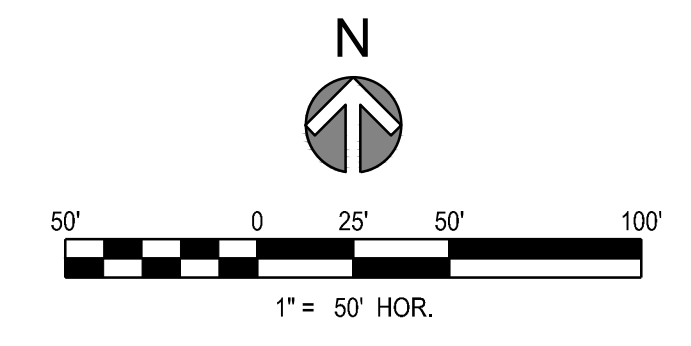
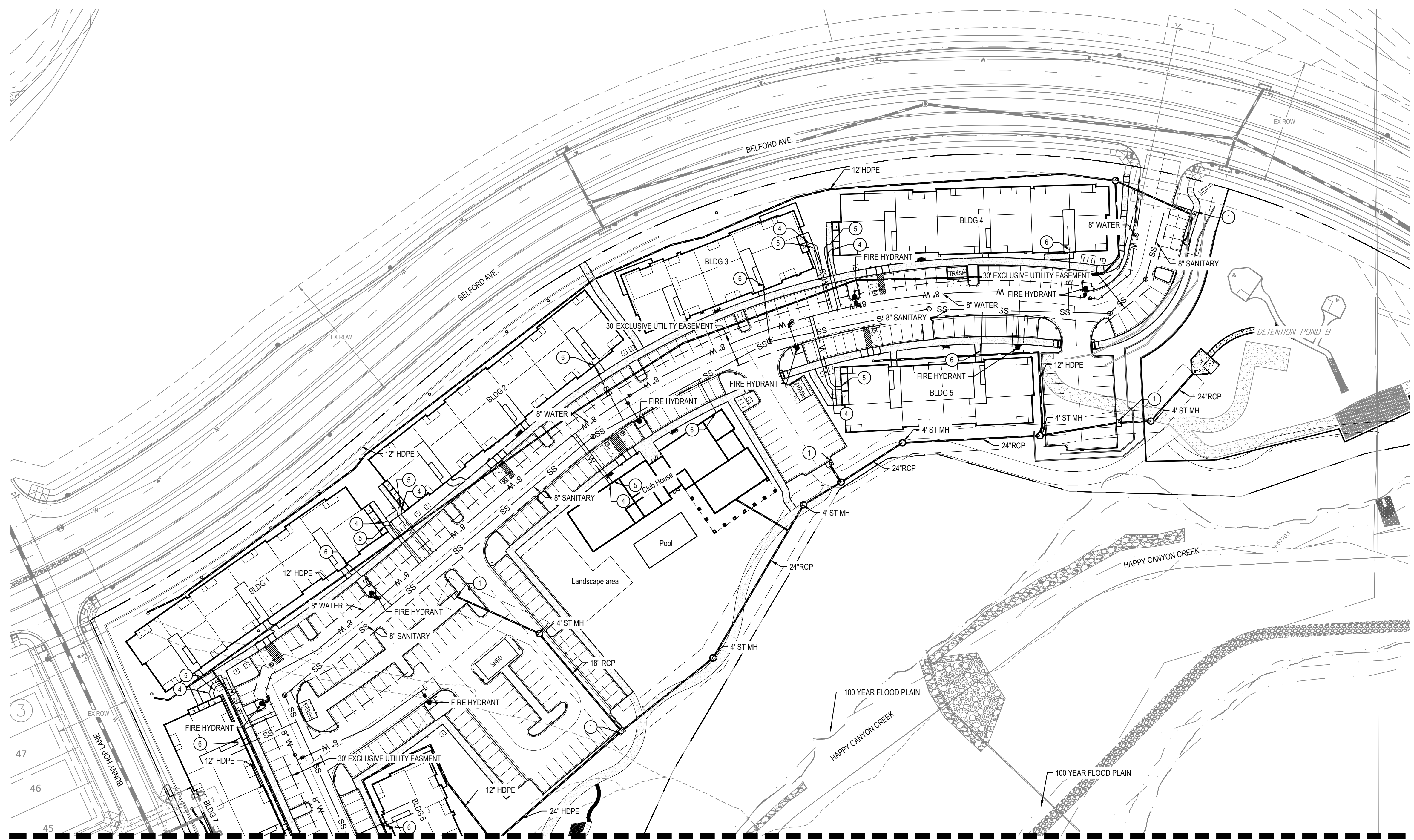
DATE
01/12/2022

LEGEND



KEYNOTES

- ① 5' TYPE R INLET
- ② 10' TYPE R INLET
- ③ DOUBLE COMBO INLET TYPE 13
- ④ 2" DOMESTIC WATER SERVICE
- ⑤ 6" FIRE WATER SERVICE
- ⑥ 6" SANITARY SERVICE



MATCH LINE SEE SHEET 7



PREPARED FOR CENTURY COMMUNITIES



PROJECT
COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE
UTILITY PLAN

SHEET NUMBER
6

COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

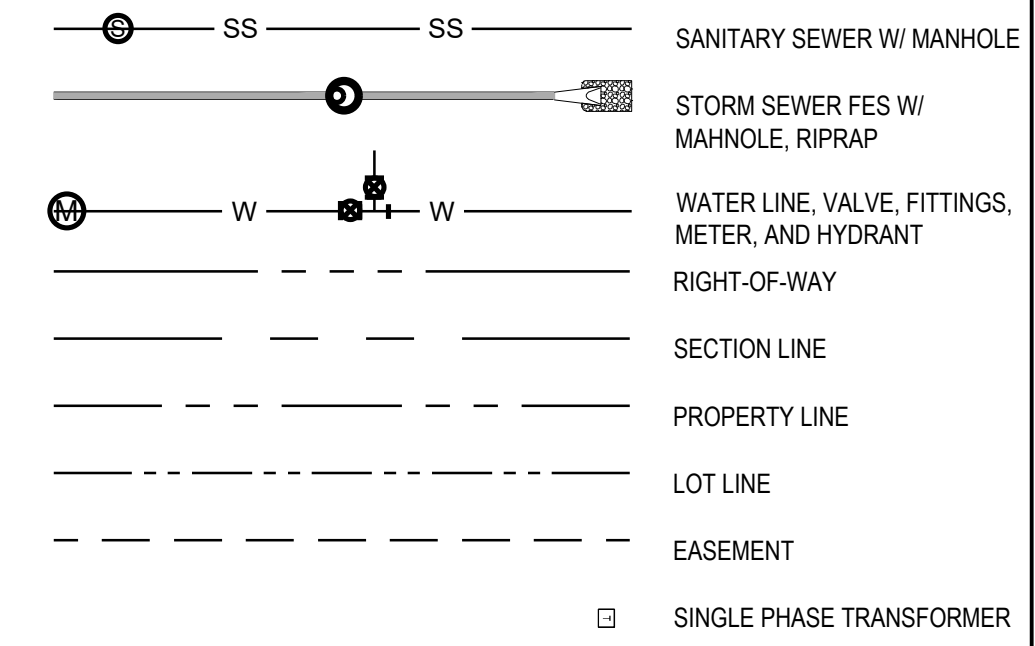
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TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

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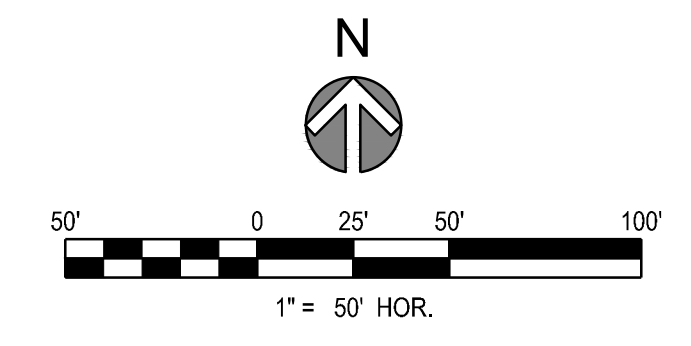
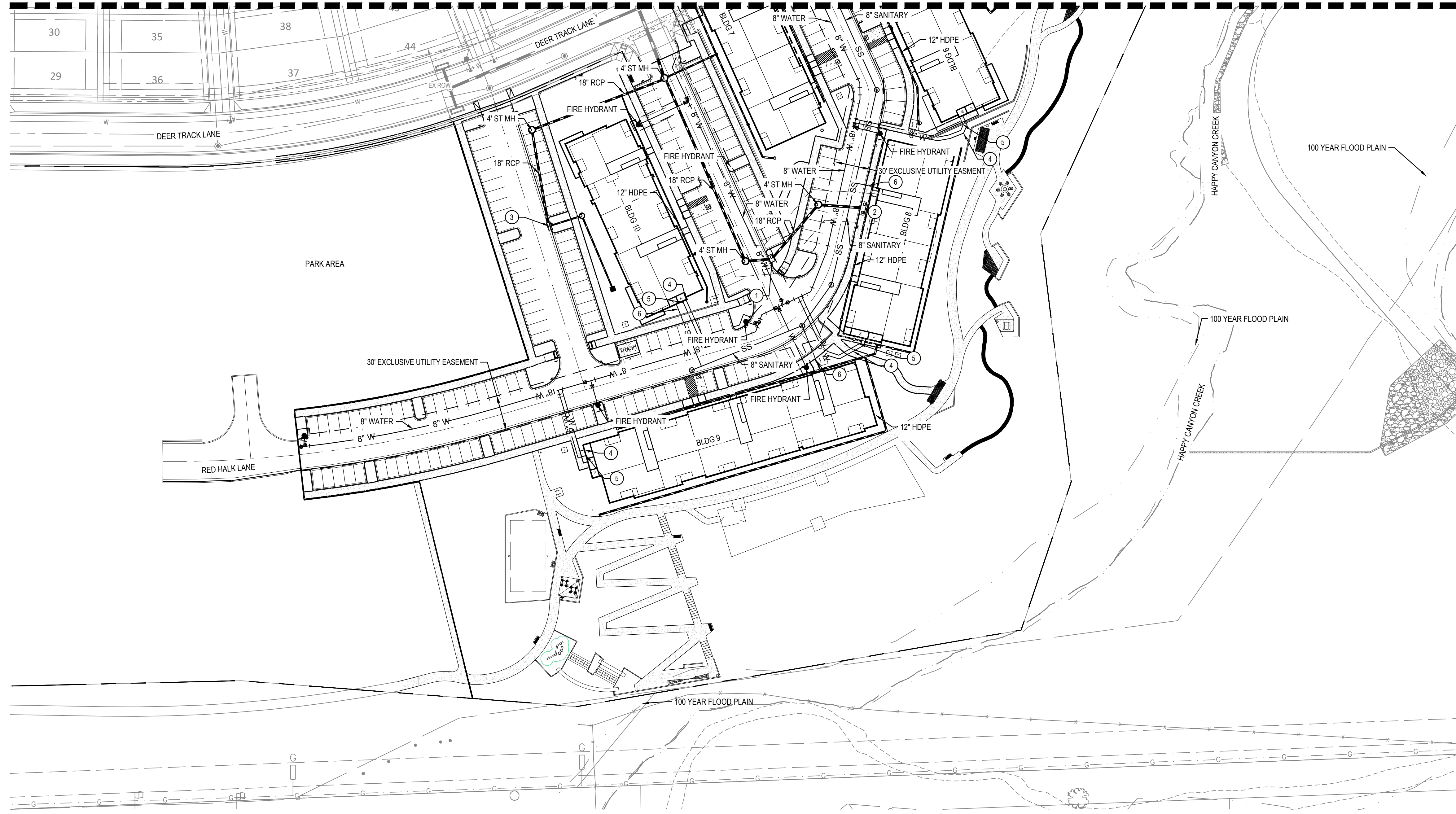
LEGEND



KEYNOTES

- ① 5' TYPE R INLET
- ② 10' TYPE R INLET
- ③ DOUBLE COMBO INLET TYPE 13
- ④ 2" DOMESTIC WATER SERVICE
- ⑤ 6" FIRE WATER SERVICE
- ⑥ 6" SANITARY SERVICE

MATCH LINE SEE SHEET 6



PREPARED FOR CENTURY COMMUNITIES



PROJECT
COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE
UTILITY PLAN

SHEET NUMBER
7

COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

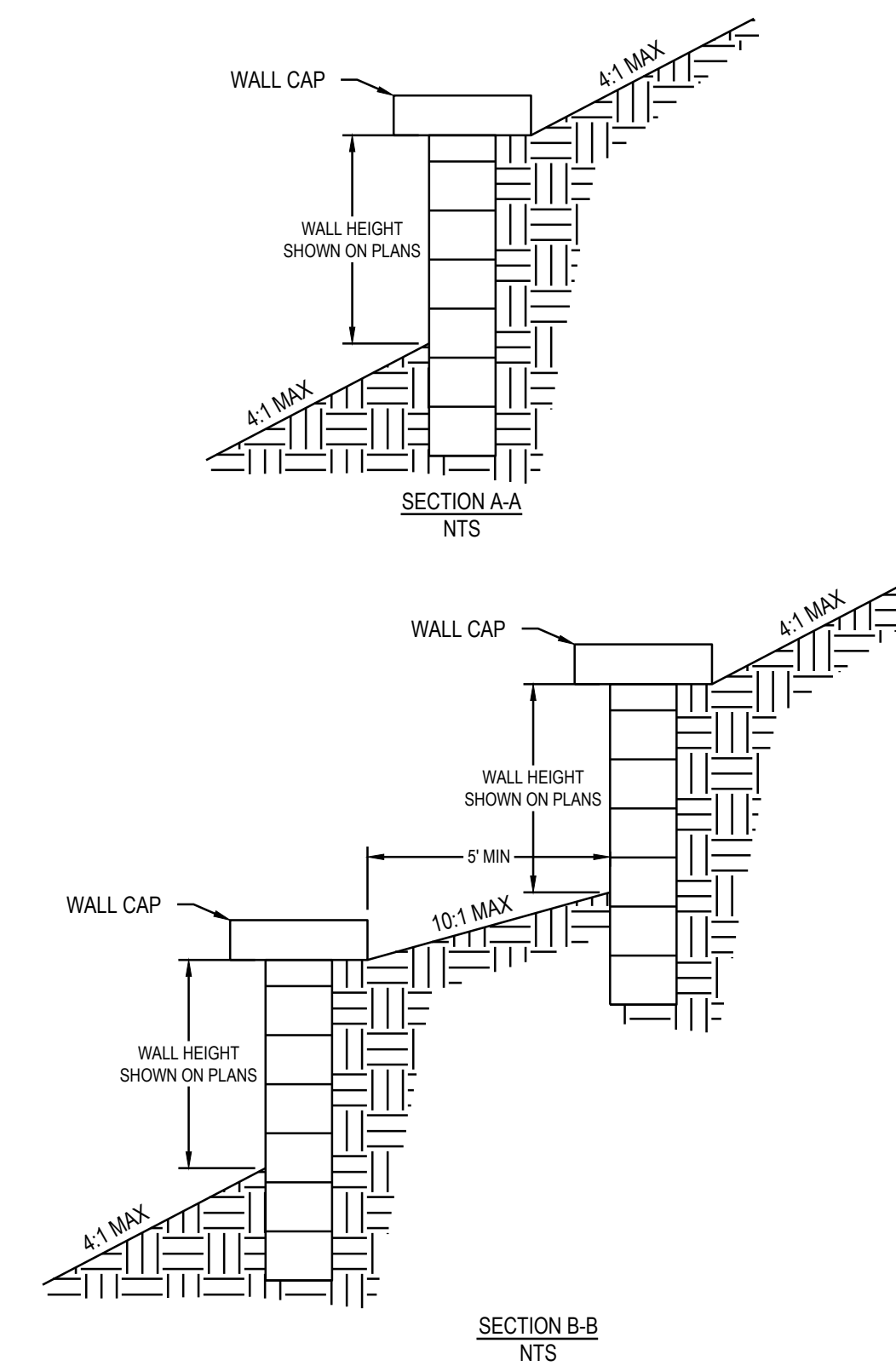
LEGEND	
	RIGHT-OF-WAY
	SECTION LINE
	PROPERTY LINE
	LOT LINE
	LIMITS OF DISTURBANCE

PROJECT NUMBER
65120950
DRAWN BY
TV
DATE
01/12/2022

NOTES:

- RETAINING WALL HEIGHTS SHOWN REPRESENT EXPOSED FACE OF WALL (EXCLUDING CAP). RETAINING WALLS GREATER THAN 4-FT IN HEIGHT FROM BOTTOM COURSE (OR BASE OF FOOTING) REQUIRE SEPARATE BUILDING PERMITS. WALL PLANS MUST BE STAMPED BY A QUALIFIED ENGINEER COLORADO REGISTERED PROFESSIONAL ENGINEER.
- RETAINING WALLS TO BE SPLIT FACE MASONRY MATERIAL, TAN OR EARTH TONE COLOR.

WALL SECTIONS



PREPARED FOR CENTURY COMMUNITIES



PROJECT

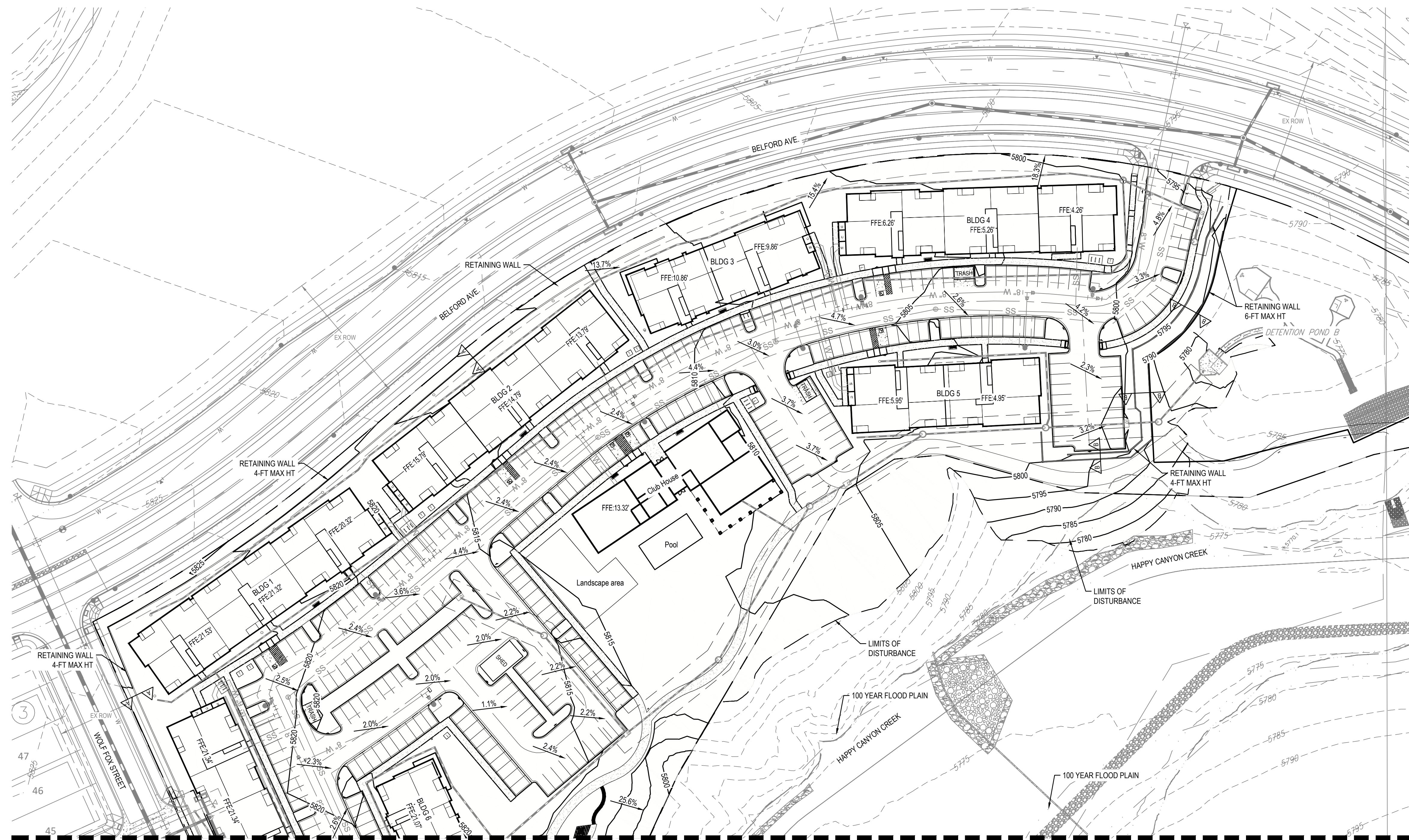
COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

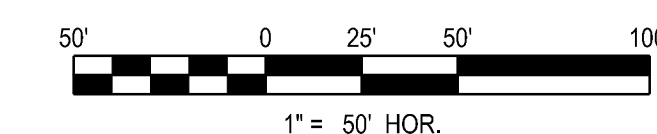
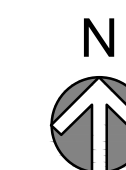
SHEET TITLE
GRADING PLAN

SHEET NUMBER

8



MATCH LINE SEE SHEET 8



COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

LEGEND	
---	RIGHT-OF-WAY
- - - - -	SECTION LINE
---	PROPERTY LINE
---	LOT LINE
---	LIMITS OF DISTURBANCE

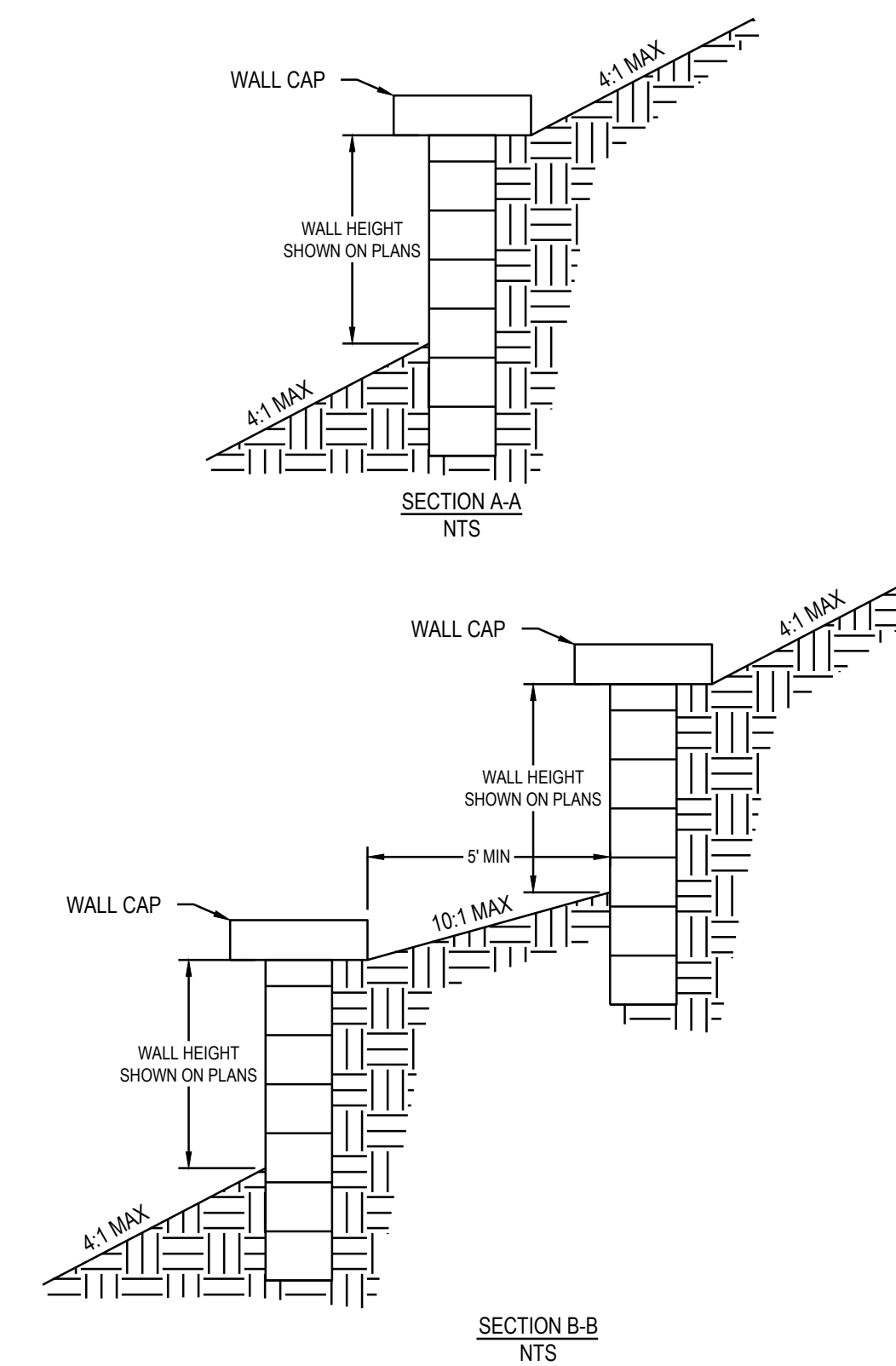
PROJECT NUMBER
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- NOTES:
- RETAINING WALL HEIGHTS SHOWN REPRESENT EXPOSED FACE OF WALL (EXCLUDING CAP). RETAINING WALLS GREATER THAN 4-FT IN HEIGHT FROM BOTTOM COURSE (OR BASE OF FOOTING) REQUIRE SEPARATE BUILDING PERMITS. WALL PLANS MUST BE STAMPED BY A QUALIFIED ENGINEER. COLORADO REGISTERED PROFESSIONAL ENGINEER.
 - RETAINING WALLS TO BE SPLIT FACE MASONRY MATERIAL, TAN OR EARTH TONE COLOR.

MATCH LINE SEE SHEET 8



WALL SECTIONS



PREPARED FOR CENTURY
COMMUNITIES



PROJECT
**COMPARK
VILLAGE
SOUTH**

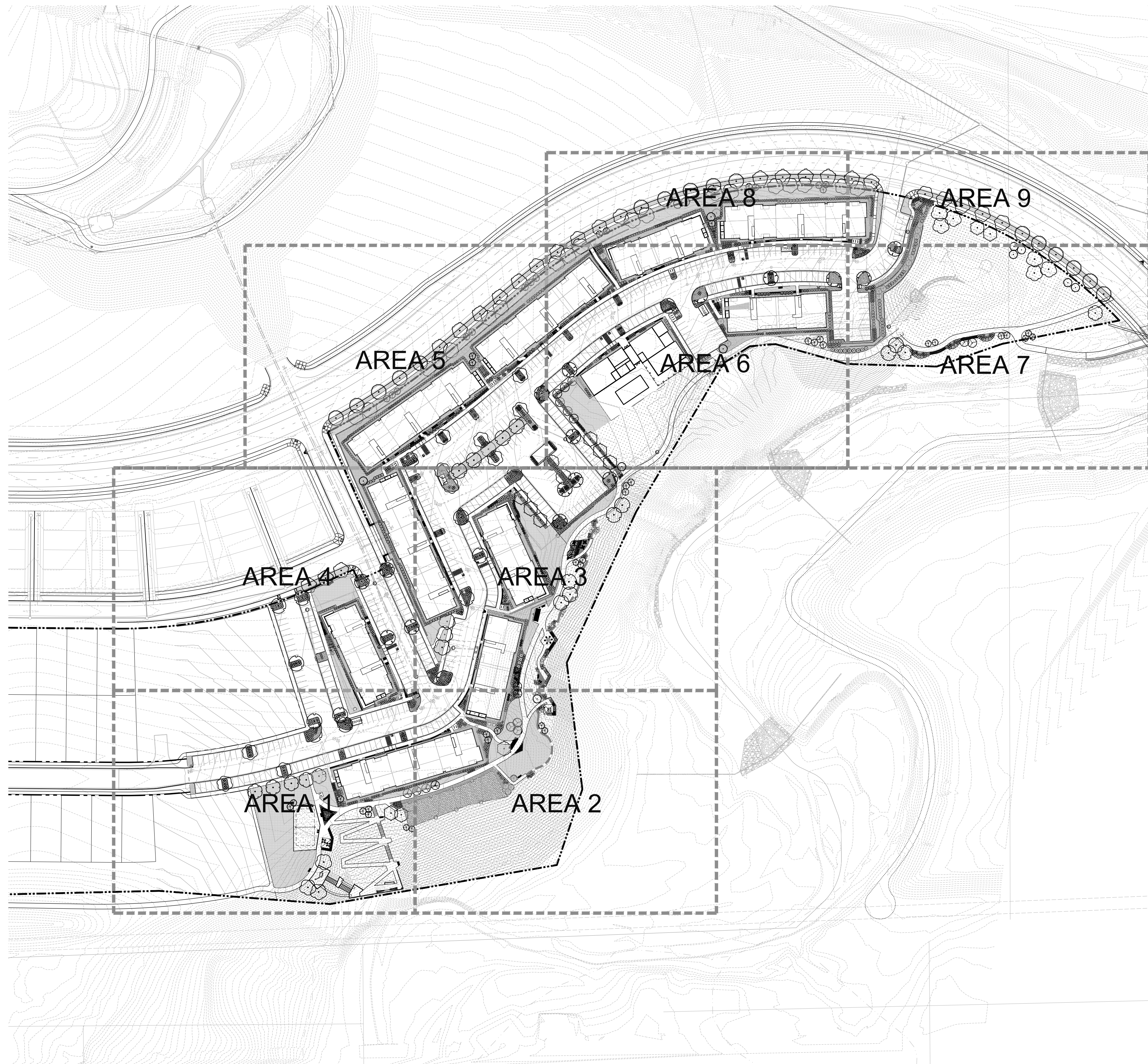
TOWN OF PARKER, COUNTY
OF DOUGLAS, COLORADO
80134

SHEET TITLE
GRADING PLAN

SHEET NUMBER

COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
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TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



OVERALL PLANT SCHEDULE

Canopy Tree	Quantity	Common Name	ROOT	CALIPER/HT.	MATURE HEIGHT WIDTH	YEARS TO MATURITY	IRR ZONE
CS	23	NORTHERN CATALPA	B & B	2" CAL	50' X 30'	20-30yr	LOW
GI	8	IMPERIAL HONEYLOCUST	B & B	2" CAL	35' X 25'	20-30yr	LOW-MOD
GS2	6	SHADEMASTER HONEYLOCUST	B & B	2" CAL	35' X 25'	20-30yr	LOW-MOD
GK	18	KENTUCKY COFFEE TREE	B & B	2" CAL	60' X 50'	20-30yr	LOW
PB3	14	LONDON PLANE TREE	B & B	2" CAL	60' X 35'	20-30yr	LOW-MOD
QB	18	SWAMP WHITE OAK	B & B	2" CAL	50' X 50'	20-30yr	LOW
BRO	19	BUR OAK	B & B	2" CAL	60' X 50'	20-30yr	LOW
QR	11	ENGLISH OAK	B & B	2" CAL	60' X 50'	20-30yr	LOW-MOD
QR3	10	RED OAK	B & B	2" CAL	50' X 40'	20-30yr	LOW
TG	16	GLENLEVEN LITTLELEAF LINDEN	B & B	2" CAL	45' X 30'	20-30yr	LOW-MOD
TOTAL	143						
Evergreen Tree	Quantity	Common Name	ROOT	CALIPER/HT.	MATURE HEIGHT WIDTH	YEARS TO MATURITY	IRR ZONE
PD3	28	BLACK HILLS SPRUCE	B & B	6" HT.	20' X 10'	20-30yr	LOW-MOD
PP	19	PINON PINE	B & B	6" HT.	25' X 15'	20-30yr	LOW
PH	18	BOSNIAN PINE	B & B	6" HT.	30' X 15'	20-30yr	LOW
AP	14	AUSTRIAN BLACK PINE	B & B	6" HT.	50' X 35'	20-30yr	LOW
TOTAL	79						
Ornamental Tree	Quantity	Common Name	ROOT	CALIPER/HT.	MATURE HEIGHT WIDTH	YEARS TO MATURITY	IRR ZONE
FAM	3	FLAME AMUR MAPLE	B & B	1.5" CAL	20' X 15'	10-15yr	LOW
AB2	8	AUTUMN BRILLIANCE SERVICEBERRY	B & B	1.5" CAL	20' X 15'	10-15yr	LOW
SS2	10	SPRING SNOW CRAB APPLE	B & B	1.5" CAL	20' X 15'	10-15yr	LOW
TOTAL	21						
Deciduous Shrubs	Quantity	Common Name	SIZE	MATURE HEIGHT WIDTH	YEARS TO MATURITY	IRR ZONE	
AA	12	SASKATOON SERVICEBERRY	5 GAL	12" X 6"	7-12yr	LOW	
BG	67	GOLDEN NUGGET BARBERRY	5 GAL	2' X 2'	7-12yr	LOW	
RGB	61	ROSY GLOW BARBERRY	5 GAL	5' X 4'	7-12yr	LOW	
BR	85	ROYAL BURGUNDY BARBERRY	5 GAL	3' X 3'	7-12yr	LOW	
DKS	172	BLUE MIST SPIREA	5 GAL	3' X 3'	7-12yr	LOW-MOD	
CF2	30	YELLOW TWIG DOGWOOD	5 GAL	6' X 6'	7-12yr	LOW	
CI	28	SANTI REDOSIER DOGWOOD	5 GAL	5' X 5'	7-12yr	LOW-MOD	
EC2	96	COMPACT BURNING BUSH	5 GAL	5' X 5'	7-12yr	LOW	
FN	9	NEW MEXICAN PRIVET	5 GAL	10' X 8'	7-12yr	LOW	
LL	57	LODENSE PRIVET	5 GAL	3' X 3'	7-12yr	LOW	
PA	92	RUSSIAN SAGE	5 GAL	4' X 4'	7-12yr	LOW	
PL	167	LITTLELEAF MOCKORANGE	5 GAL	4' X 4'	7-12yr	LOW	
PDG	72	DART'S GOLD NINEBARK	5 GAL	5' X 5'	7-12yr	LOW-MOD	
PL2	166	LITTLE DEVIL NINEBARK	5 GAL	4' X 4'	7-12yr	LOW	
PP2	103	CREeping WESTERN SAND CHERRY	5 GAL	1.5' X 4'	7-12yr	LOW	
RC	12	WESTERN SMOOTH SUMAC	5 GAL	3' X 5'	7-12yr	LOW	
RG	110	DWARF FRAGRANT SUMAC	5 GAL	3' X 5'	7-12yr	LOW	
RF	110	FIRE MEDILAND ROSE	5 GAL	4' X 4'	7-12yr	LOW	
RR2	55	WHITE KNOCK OUT ROSE	5 GAL	4' X 4'	7-12yr	LOW	
SW	62	ANTHONY WATERER SPIREA	5 GAL	3' X 4'	7-12yr	LOW-MOD	
SG	45	GOLDFLAME SPIREA	5 GAL	3' X 3'	7-12yr	LOW-MOD	
SN	123	SNOWMOUND SPIREA	5 GAL	4' X 4'	7-12yr	LOW-MOD	
SC3	55	HANCOCK CHENAULT CORALBERRY	5 GAL	3' X 6'	7-12yr	LOW	
VB	25	BURKWOOD VIBURNUM	5 GAL	6' X 6'	7-12yr	LOW-MOD	
TOTAL	1814						
Evergreen Shrubs	Quantity	Common Name	SIZE	MATURE HEIGHT WIDTH	YEARS TO MATURITY	IRR ZONE	
AP2	147	PANCHITO MANZANITA	5 GAL	1.5' X 4'	7-12yr	LOW	
EK2	53	MANHATTAN EUONYMUS	5 GAL	4' X 6'	7-12yr	LOW	
JC	120	ARMSTRONG JUNIPER	5 GAL	4' X 4'	7-12yr	LOW	
JUB	74	BLUE CHIP JUNIPER	5 GAL	8" X 7"	7-12yr	LOW	
JH	78	HUGHES JUNIPER	5 GAL	1.5' X 6"	7-12yr	LOW	
JUA	60	ARCADIA JUNIPER	5 GAL	2' X 6"	7-12yr	LOW	
JB	53	BUFFALO JUNIPER	5 GAL	1.5' X 6"	7-12yr	LOW	
JS3	82	SIERRA SPREADER JUNIPER	5 GAL	1.5' X 6"	7-12yr	LOW	
JS2	21	SKYROCKET JUNIPER	10 GAL	20' X 3'	7-12yr	LOW	
JO	186	OLD GOLD JUNIPER	5 GAL	4' X 4'	7-12yr	LOW	
JS	28	SEA GREEN JUNIPER	5 GAL	8' X 6"	7-12yr	LOW	
WBM	94	MUGO PINE	5 GAL	2' X 3'	7-12yr	LOW	
TOTAL	996						
Grasses	Quantity	Common Name	SIZE	MATURE HEIGHT WIDTH	YEARS TO MATURITY	IRR ZONE	
BB	294	BLONDE AMBITION BLUE GRAMA	1 GAL	3' X 2"	3yr	LOW	
FRG	302	FEATHER REED GRASS	1 GAL	5' X 30"	3yr	LOW-MOD	
CL	104	WOOD OATS	1 GAL	2' X 2"	3yr	LOW	
HS	87	BLUE OAT GRASS	1 GAL	2.5' X 2.5'	3yr	LOW	
NP	36	MEXICAN FEATHERGRASS	1 GAL	2' X 2"	3yr	LOW	
PC2	81	SWITCH GRASS	1 GAL	3' X 2"	3yr	LOW	
TOTAL	904						
Ground Cover	Area	Common Name					
SEED	154,743sf	NATIVE SEED MIX					
SOD	71,429sf	BLACK BEAUTY FESCUE					
WOOD MULCH	82,776sf	SHREDDED WESTERN RED CEDAR BARK					
SAND	9,234sf	SAND					

PROJECT NUMBER
65120950
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PREPARED FOR CENTURY COMMUNITIES

CENTURY COMMUNITIES

PROJECT
COMPARK VILLAGE SOUTH

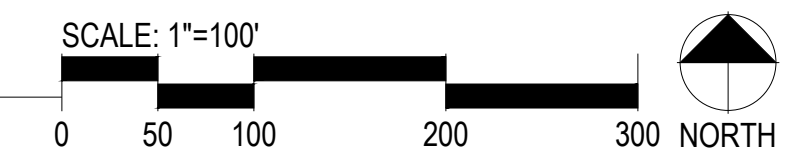
TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE

MASTER LANDSCAPE PLAN

SHEET NUMBER

10



COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER
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GENERAL NOTES

- NO SUBSTANTIAL CHANGE FROM THE APPROVED LANDSCAPE PLAN WITHOUT PRIOR REVIEW OF THE PARKER WATER AND SANITATION DISTRICT, WHICH MAY REQUIRE ADDITIONAL IRRIGATION TAPS FOR CHANGES DUE TO MORE WATER INTENSIVE LANDSCAPING.
- ALL LANDSCAPING (EDGE OF ROOT BALLS) SHALL BE SETBACK FROM BUILDINGS A MINIMUM OF 3'.
- ABSOLUTELY NO IRRIGATION EQUIPMENT OF ANY KIND IS TO BE INSTALLED OR PLACED CLOSER THEN 5'-0" TO THE STRUCTURAL FOUNDATION OF ANY BUILDING.

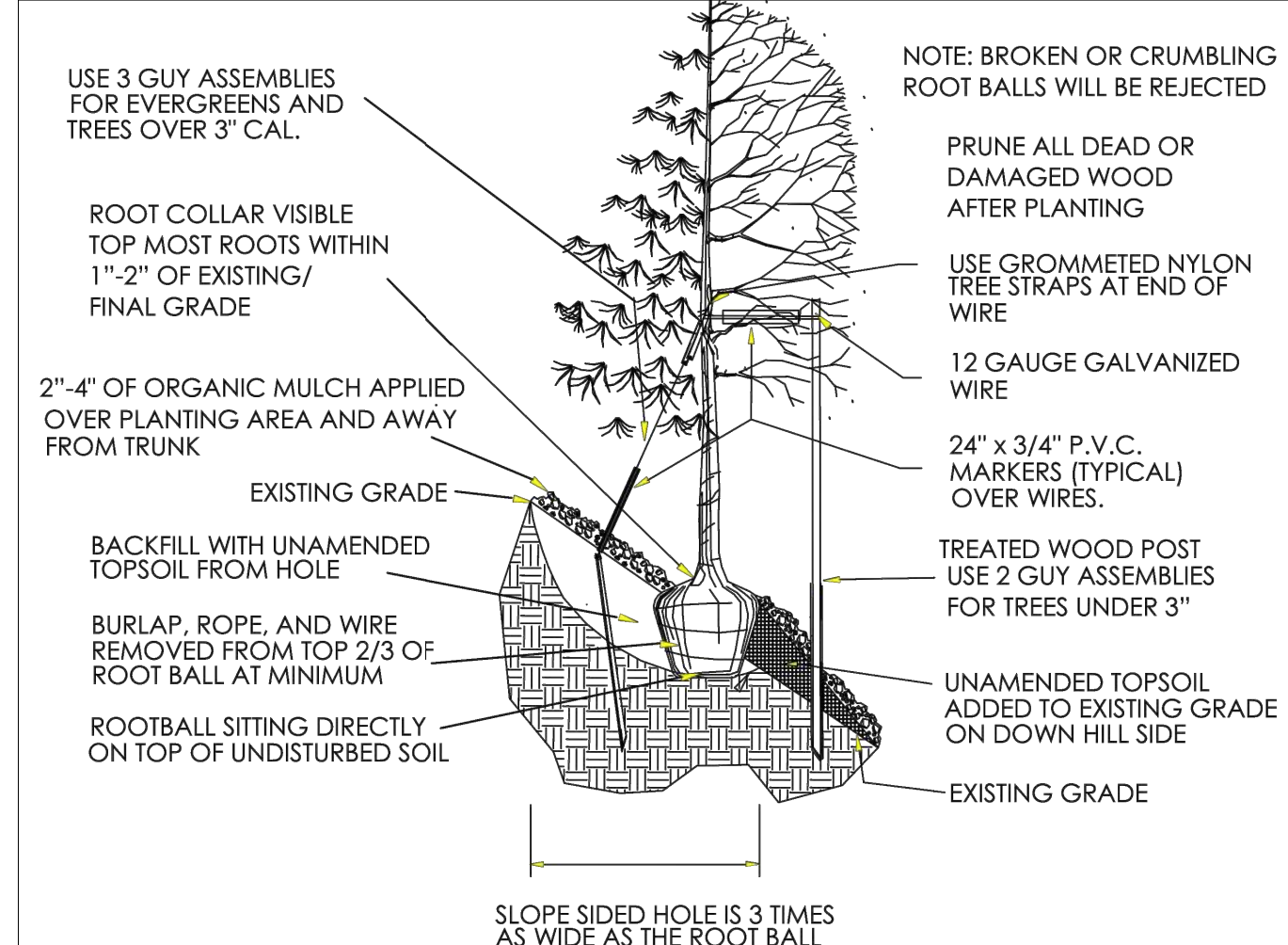
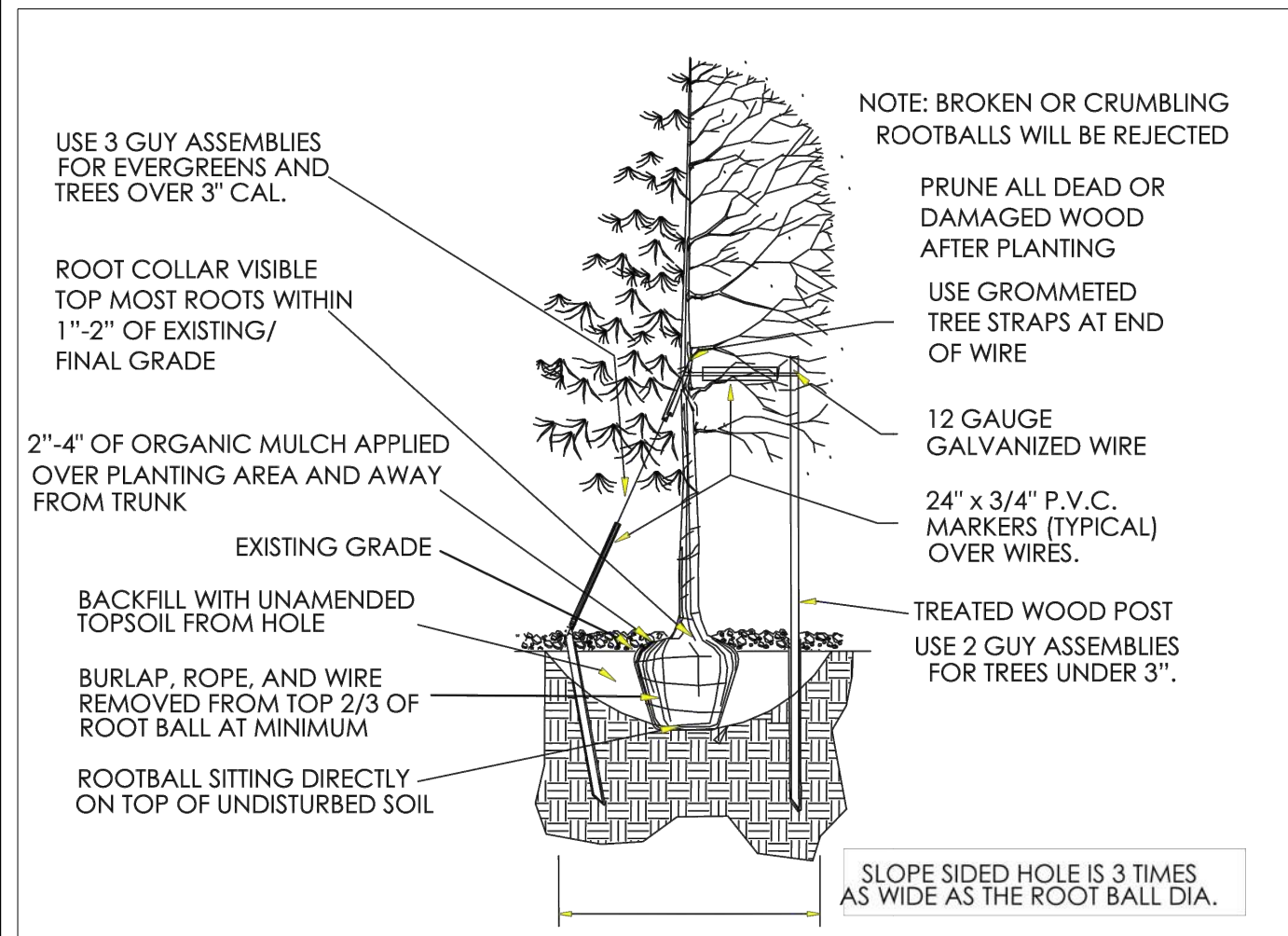
LANDSCAPE NOTES

- ALL WORK SHALL CONFORM TO LOCAL CITY AND COUNTY CODES. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES, LINES AND STRUCTURES PRIOR TO EXCAVATION OR TRENCHING. DAMAGE TO THESE UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER OR LANDSCAPE ARCHITECT.
- PLANT QUANTITIES TO BE BASED ON CONTRACTOR'S ESTIMATE ACCORDING TO PLANS, WHICH ARE SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT.
- GRAPHIC SYMBOLS PRESIDE OVER WRITTEN PLANT QUANTITIES. (IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN GRAPHIC AND LANDSCAPE LEGEND, THE PLANT MATERIAL QUANTITY AS DETERMINED BY THE PLAN GRAPHIC SHALL TAKE PRECEDENCE.)
- ALL TREE AND SHRUB LOCATIONS SHALL BE STAKED BY THE CONTRACTOR AND APPROVED BY THE OWNER, OR LANDSCAPE ARCHITECT.
- PLANT SUBSTITUTIONS WILL NOT BE PERMITTED WITHOUT APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT.
- ALL TURF AREAS TO BE SPRAY IRRIGATED. ALL SHRUB BEDS TO BE DRIP IRRIGATED. ALL PERENNIAL AREAS TO BE IRRIGATED WITH 12" POP-UP SPRAY HEADS UNLESS OTHERWISE NOTED. THIS SYSTEM IS AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.
- WINTER PROTECTION AND WATERING OF TREES SHALL BE PROVIDED WHEN NECESSARY TO MAINTAIN THE HEALTH AND SURVIVAL OF PLANT MATERIAL.
- WOOD MULCH TO BE SHREDDED WESTERN RED CEDAR BARK MULCH.
- SOD TO BE BLACK BEAUTY FESCUE.
- ALL TREE RINGS TO BE MULCHED WITH WOOD MULCH TO A DEPTH OF 3 INCHES MINIMUM WITH NO LANDSCAPE FABRIC.
- ALL SHRUB BEDS TO BE MULCHED WITH WOOD MULCH TO A DEPTH OF 3 INCHES MINIMUM WITH LANDSCAPE FABRIC.
- FOR TREES IN SOD OR NATIVE GRASS, ALLOW A 2' DIAMETER BED WITHOUT SOD AROUND ROOT COLLAR. APPLY 3" DEPTH OF WOOD MULCH OVER 2' DIAMETER BED FOLLOWING SOD INSTALLATION.
- ALL SHRUB AND SOD AREAS SHALL RECEIVE THE FOLLOWING SOIL AMENDMENTS PER 1000 S.F.: 4 CUBIC YARDS "SUPREME ORGANICS" COMPOST (50% COW MANURE, 50% WOOD FINES) OR APPROVED EQUAL, PLUS 15 LBS. OF 20-10-5 COMMERCIAL FERTILIZER. ROT-TILL TO A MINIMUM DEPTH OF 6".
- PLANTS SHALL BE INSTALLED IMMEDIATELY UPON DELIVERY TO SITE. IF THIS IS NOT POSSIBLE, PLANTS SHALL BE HELED IN AND WATERED TO PREVENT DEHYDRATION.
- PLANTING PITS SHALL BE EXCAVATED TO A MINIMUM OF TWICE THE WIDTH OF THE ROOTBALL. DO NOT DISTURB SOIL AT THE BOTTOM OF PIT BUT SCARIFY SIDES TO PREVENT GLAZING.
- PLANTS SHOULD BE THOROUGHLY WATERED IMMEDIATELY AFTER PLANTING, ALLOWING WATER TO SOAK DOWN AND FILL REMAINDER OF HOLE WITH LOOSE SOIL. WITHOUT FURTHER PACKING, A MOUND OF SOIL SHALL BE FORMED AROUND THE EDGE OF EACH TREE PIT TO FORM A SHALLOW SAUCER.

- AFTER PLANT INSTALLATION, ALL PLANT MATERIAL SHALL BE PLACED WITH THEIR ROOT COLLARS SLIGHTLY HIGHER THAN FINISH GRADE. (3" HIGHER FOR TREES.)
- LANDSCAPING SHALL BE PLANTED AND MAINTAINED BY THE OWNER, SUCCESSOR, AND/OR ASSIGNS. SHOULD ANY PLANT MATERIAL DIE, IT SHALL BE REPLACED WITH SIMILAR PLANT MATERIAL WITHIN ONE PLANTING SEASON.
- LANDSCAPING AND SCREENING MAINTENANCE AND REPLACEMENT: THE PROPERTY OWNER SHALL MAINTAIN THE LANDSCAPING PLAN AS ORIGINALLY APPROVED, AND PROVIDE FOR REPLACEMENT OF PLANT MATERIALS THAT HAVE DIED OR HAVE OTHERWISE BEEN DAMAGED OR REMOVED, AND MAINTENANCE OF ALL NON-LIVE LANDSCAPING MATERIALS. IN THIS CASE, LIVE MATERIAL IS TO BE MAINTAINED AND REPLACED BY THE CONTRACTOR WHICH SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL INSPECTION.
- ALL LANDSCAPE SHOWN ON THESE PLANS SHALL BE MAINTAINED IN A NEAT AND ADEQUATE MANNER. REQUIRED MAINTENANCE ACTIVITIES SHALL INCLUDE, BUT NOT BE LIMITED TO TRIMMING OF HEDGES, ADEQUATE IRRIGATION, REPLACEMENT OF DEAD, DISEASED OR UNSIGHTLY LANDSCAPING, REMOVAL OF WEEDS FROM PLANTING AREAS, AND APPROPRIATE PRUNING OF PLANT MATERIALS.
- THE CONTRACTOR SHALL STAKE OUT ALL KEY AREAS INCLUDING BUT NOT LIMITED TO SIDE WALKS, STEEL EDGING, PLANT BEDS, TREE AND SHRUB LOCATIONS AND OBTAIN APPROVAL BY THE LANDSCAPE ARCHITECT OR DEVELOPER (MAKING MODIFICATIONS AS MAY BE REQUIRED AT NO ADDITIONAL COST), PRIOR TO PROCEEDING WITH THE CONSTRUCTION.
- SOIL BACKFILL MIXTURE FOR ALL PERENNIAL BEDS SHALL BE 1/3 COW MANURE, 1/3 IMPORTED TOPSOIL, AND 1/3 ON-SITE SOIL.
- THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND BASE HIS BID ON ACTUAL ON-SITE CONDITIONS AND MEASUREMENTS. ANY DISCREPANCIES, ERRORS OR OMISSIONS ON THE CONSTRUCTION DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT MANAGER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL REVISIONS DUE TO FAILURE TO GIVE SUCH NOTICE.
- CONTRACTOR SHALL SEED ALL NON-SODDED AND NON-IRRIGATED SODDED AREAS WHICH ARE DISTURBED BY GRADING WITH THE DOUGLAS COUNTY PERMANENT DRILL SEED MIX.
- THE CONTRACTOR OR AN OWNER'S REPRESENTATIVE WILL MONITOR THE ESTABLISHMENT OF SEEDED AREAS ON A MONTHLY BASIS FROM APRIL 15TH TO OCTOBER 15TH FOR THE FIRST THREE YEARS AFTER INSTALLATION. AREAS OF POOR GERMINATION OR GROWTH AND AREAS OF EROSION OR WEED INFESTATION WILL BE CORRECTED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL RESTORE ANY AND ALL DAMAGE DUE TO HIS CONSTRUCTION OPERATIONS TO THEIR ORIGINAL STATE AT HIS EXPENSE.
- IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS AND SIMILAR FEATURES ARE NOT SHOWN ON THE LANDSCAPE PLANS, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DURING THE SITE INSPECTION PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, OR FINAL INSPECTION AS APPLICABLE.

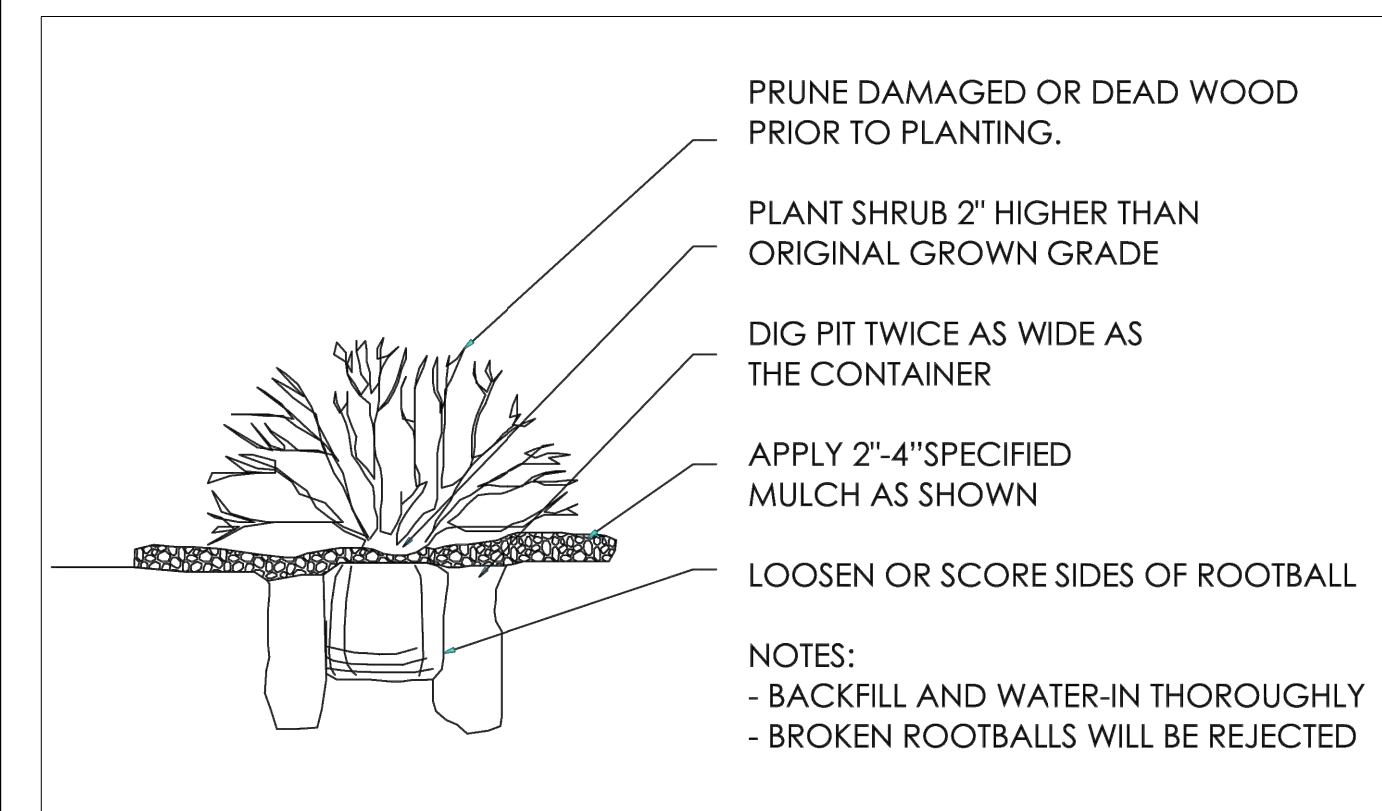
LANDSCAPE MAINTENANCE

- LANDSCAPING SHALL BE PLANTED AND MAINTAINED BY THE OWNER, SUCCESSOR, AND/OR ASSIGNS. SHOULD ANY PLANT MATERIAL DIE, IT SHALL BE REPLACED WITH SIMILAR PLANT MATERIAL WITHIN ONE PLANTING SEASON.



1 Town of Parker - Tree Planting Detail
Scale: NTS

2 Town of Parker - Tree Planting Detail - Slopes
Scale: NTS



3 Town of Parker - Shrub Planting Detail
Scale: NTS

A. INTERNAL LANDSCAPING										
NET SITE AREA	LANDSCAPE AREA			% LIVE COVER						
	REQUIRED (15%)	PROVIDED	SURPLUS / DEFICIT	REQUIRED (75%)	PROVIDED	SURPLUS / DEFICIT				
653303.1	97995.5	316461.1	218465.6	237345.8	296378.2	59032.4				
INTERNAL LANDSCAPE AREA (SF)	TREE REQUIREMENT 1/1500 SF			SHRUB REQUIREMENT 5/1500 SF			TREE EQUIVALENT CALCULATION			
	REQUIRED	PROVIDED	SURPLUS / DEFICIT	REQUIRED	PROVIDED	SURPLUS / DEFICIT	Shrubs available for Tree Equivalents	Total Equivalent Trees	Total Tree & Tree Equivalents Provided	
316461.1	211	220	9	1055	2810	1755	-	-	-	
B. STREETScape LANDSCAPE										
LOCATION	LENGTH	TREE REQUIREMENT 1/40 LF			SHRUB REQUIREMENT			TREE EQUIVALENT CALCULATION		
		REQUIRED	PROVIDED	SURPLUS / DEFICIT	REQUIRED	PROVIDED	SURPLUS / DEFICIT	Shrubs available for Tree Equivalents	Total Equivalent Trees	Total Tree & Tree Equivalents Provided
BELFORD AVE.	1492	37	37	0	N/A			-	-	-
C. LANDSCAPE PERIMETER (STANDARD)										
LOCATION	LENGTH / PERCENT	TREE REQUIREMENT 1/40 LF			SHRUB REQUIREMENT 5/40 LF			TREE EQUIVALENT CALCULATION		
		REQUIRED	PROVIDED	SURPLUS / DEFICIT	REQUIRED	PROVIDED	SURPLUS / DEFICIT	Shrubs available for Tree Equivalents	Total Equivalent Trees	Total Tree & Tree Equivalents Provided
SOUTH PROPERTY LINE	2040	51	51	0	255	261	6	-	-	-
MIN. EVERGREEN REQUIREMENT	40%	20	33	13	N/A			-	-	-
D. PARKING LOT LANDSCAPE										
PARKING LOT INTERIOR	AREA	TREE REQUIREMENT 1/162 SF OF LANDSCAPE ISLAND			SHRUB REQUIREMENT 5/162 SF OF LANDSCAPE ISLAND			TREE EQUIVALENT CALCULATION		
		REQUIRED	PROVIDED	SURPLUS / DEFICIT	REQUIRED	PROVIDED	SURPLUS / DEFICIT	Shrubs available for Tree Equivalents	Total Equivalent Trees	Total Tree & Tree Equivalents Provided
	15280	94	47	-47	472	963	491	491	49	96

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PREPARED FOR CENTURY COMMUNITIES

CENTURY COMMUNITIES

PROJECT
COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE

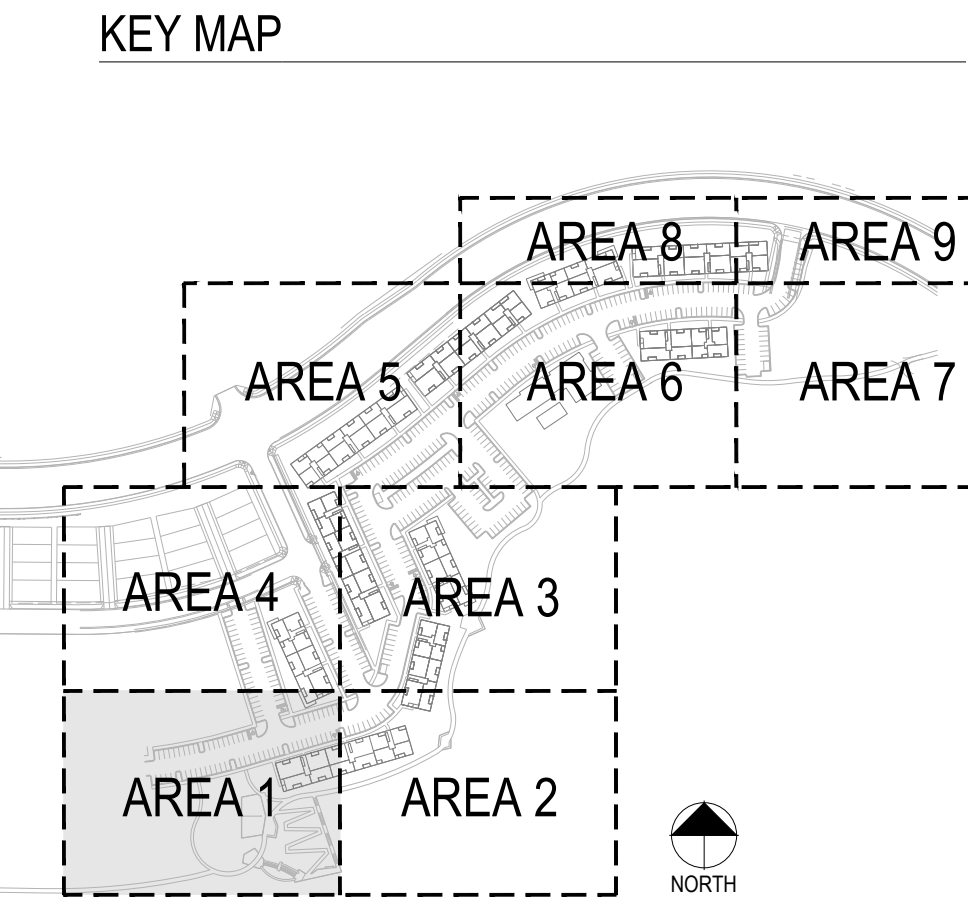
LANDSCAPE NOTES & DETAILS

SHEET NUMBER

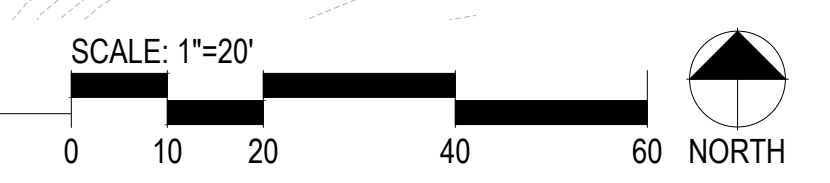
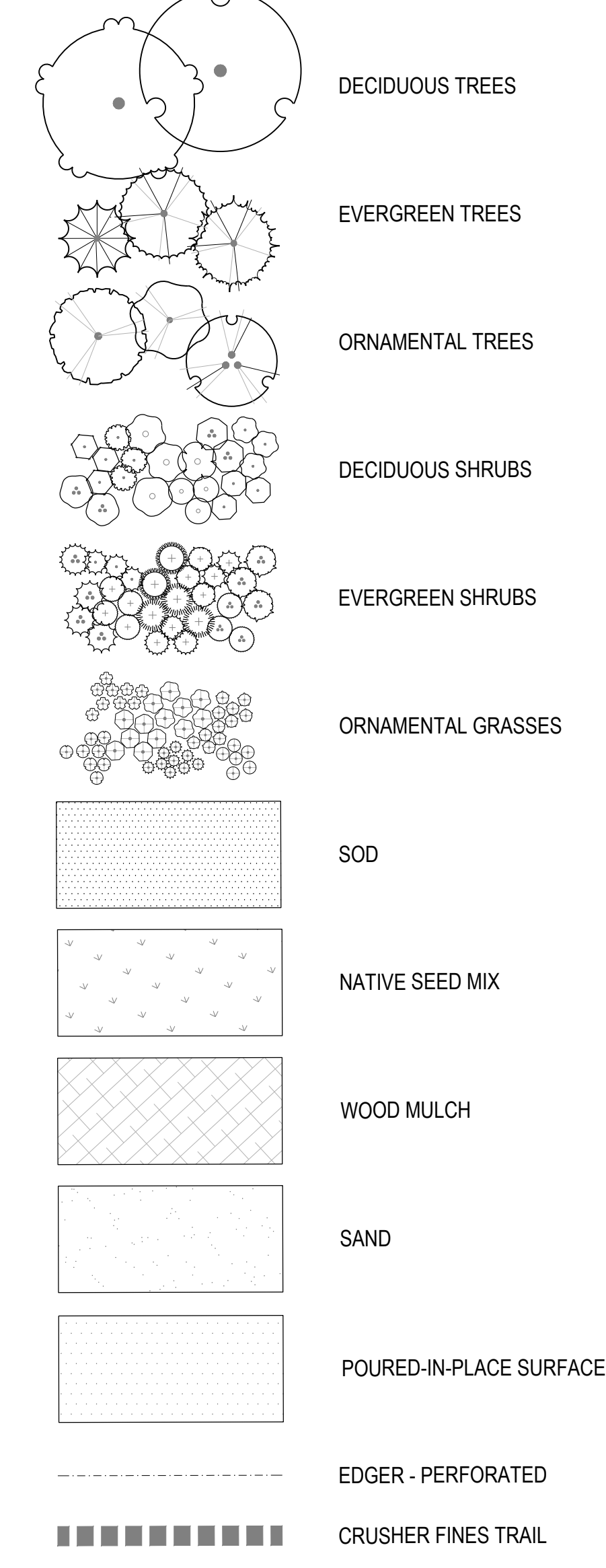
COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

Canopy Tree	Quantity	Common
BRO	3	BUR OAK
QR	2	ENGLISH OAK
GK	3	KENTUCKY COFFEE TREE
CS	4	NORTHERN CATALPA
GS2	5	SHADEMASTER HONEY LOCUST
Evergreen Tree	Quantity	Common
PD3	2	BLACK HILLS SPRUCE
PP	6	PINON PINE
Ornamental Tree	Quantity	Common
AB2	1	AUTUMN BRILLIANCE SERVICEBERRY
SS2	1	SPRING SNOW CRAB APPLE
Deciduous Shrubs	Quantity	Common
DKS	41	BLUE MIST SPIREA
PP2	28	CREeping WESTERN SAND CHERRY
RG	25	DWARF FRAGRANT SUMAC
RF	16	FIRE MEIDLAND ROSE
PL2	42	LITTLE DEVIL NINEBARK
LL	10	LODENSE PRIVET
RGB	5	ROSY GLOW BARBERRY
BR	6	ROYAL BURGUNDY BARBERRY
PA	9	RUSSIAN SAGE
SN	16	SNOWMOUND SPIREA
RR2	5	WHITE KNOCK OUT ROSE
Evergreen Shrubs	Quantity	Common
JUA	3	ARCADIA JUNIPER
JH	28	HUGHES JUNIPER
WBM	11	MUGO PINE
JO	15	OLD GOLD JUNIPER
AP2	1	PANCHITO MANZANITA
JS2	1	SKYROCKET JUNIPER
Grasses	Quantity	Common
BB	27	BLONDE AMBITION BLUE GRAMA
HS	21	BLUE OAT GRASS
FRG	54	FEATHER REED GRASS
CL	88	WOOD OATS



LANDSCAPE KEY



PROJECT NUMBER
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PROJECT
COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

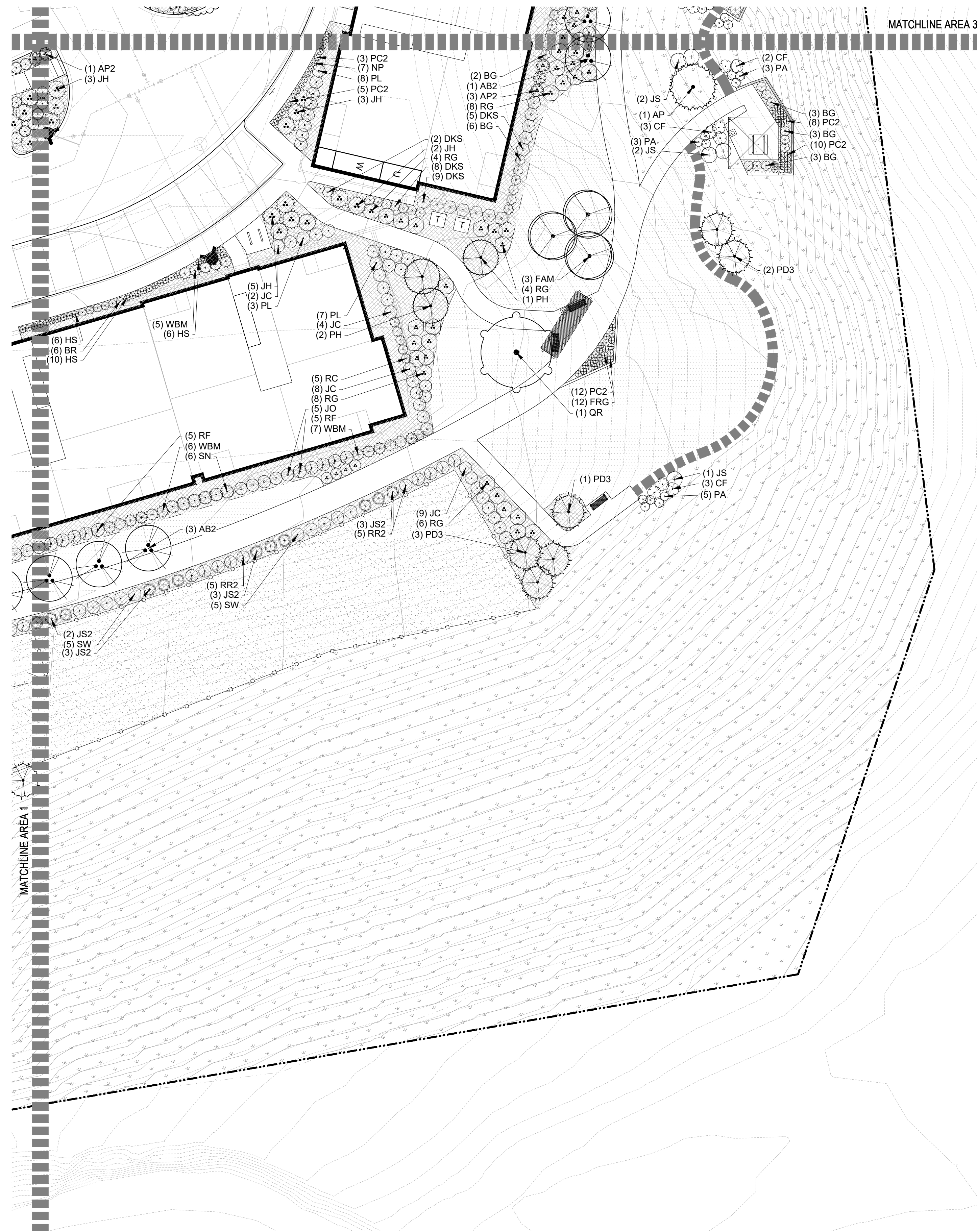
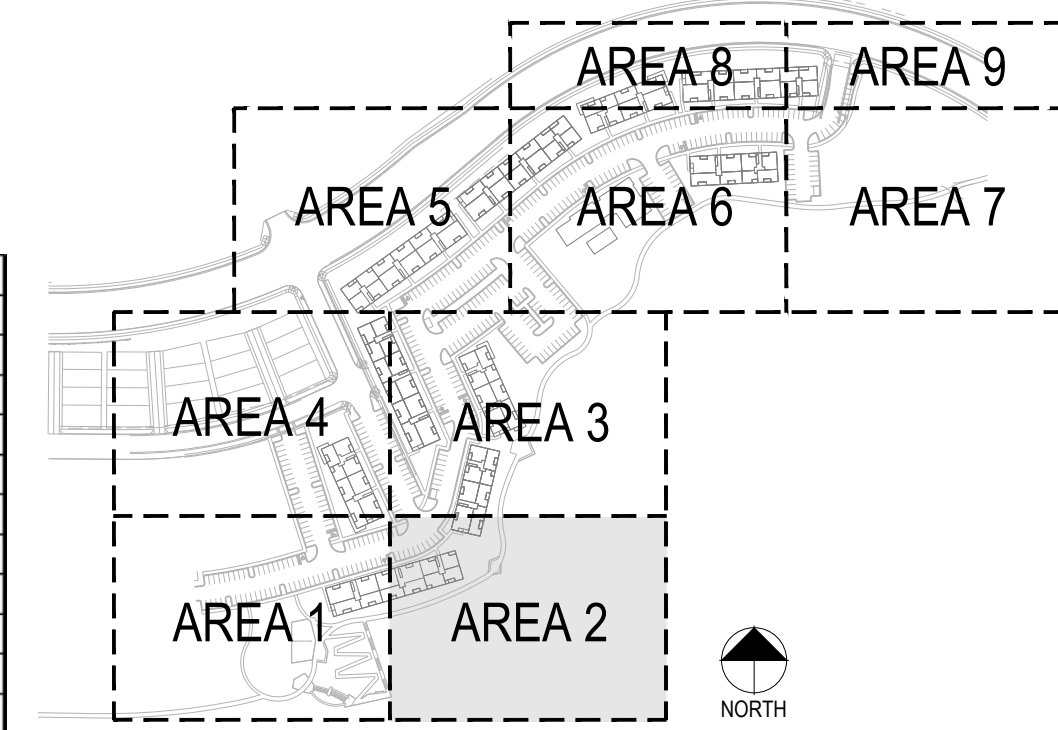
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LANDSCAPE PLAN AREA 1

SHEET NUMBER
12

COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

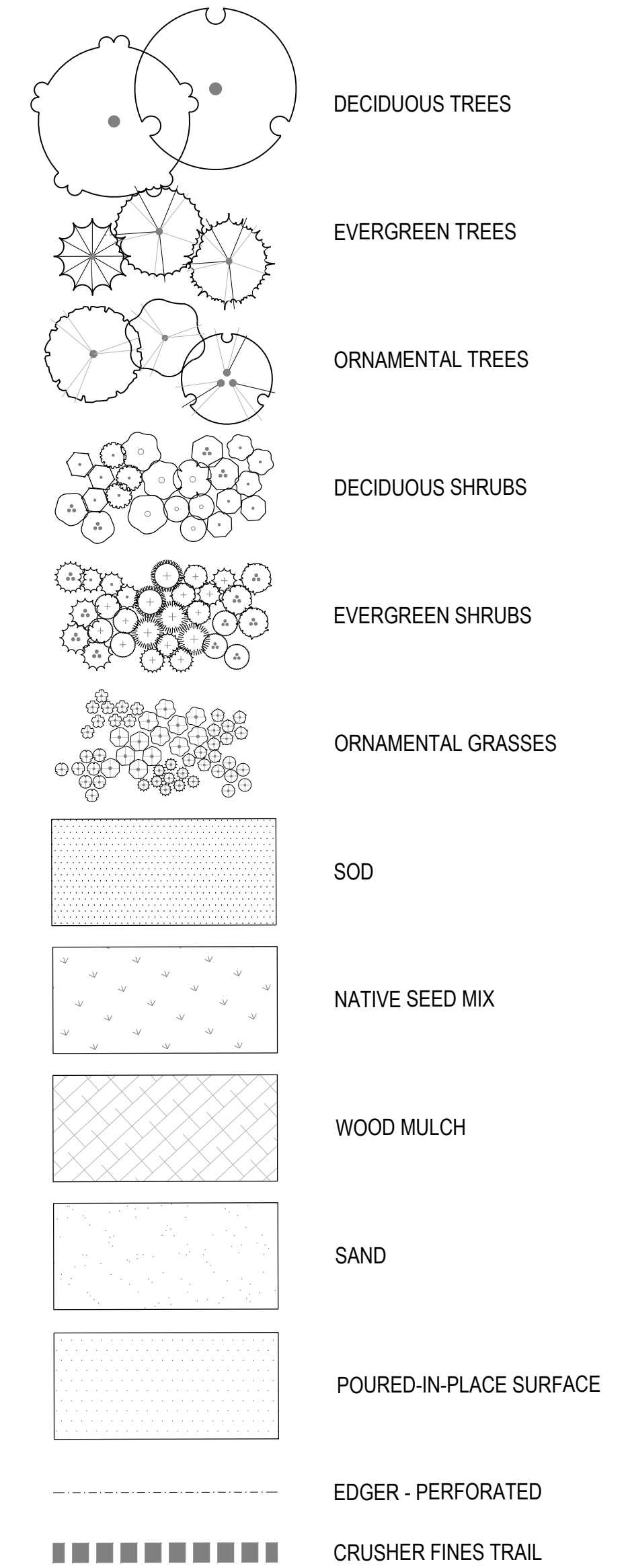
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SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP



Canopy Tree	Quantity	Common
QR	1	ENGLISH OAK
Evergreen Tree	Quantity	Common
AP	1	AUSTRIAN BLACK PINE
PD3	6	BLACK HILLS SPRUCE
PH	3	BOSNIAN PINE
Ornamental Tree	Quantity	Common
AB2	4	AUTUMN BRILLIANCE SERVICEBERRY
FAM	3	FLAME AMUR MAPLE
Deciduous Shrubs	Quantity	Common
SW	10	ANTHONY WATERER SPIREA
DKS	21	BLUE MIST SPIREA
PP2	4	CREeping WESTERN SAND CHERRY
RG	30	DWARF FRAGRANT SUMAC
CF	8	FERNBUSH
RF	10	FIRE MEIDILAND ROSE
BG	17	GOLDEN NUGGET BARBERRY
PL2	2	LITTLE DEVIL NINEBARK
PL	18	LITTLELEAF MOCKORANGE
BR	6	ROYAL BURGUNDY BARBERRY
PA	11	RUSSIAN SAGE
SN	6	SNOWMOUND SPIREA
RC	5	WESTERN SMOOTH SUMAC
RR2	11	WHITE KNOCK OUT ROSE
Evergreen Shrubs	Quantity	Common
JC	23	ARMSTRONG JUNIPER
JH	13	HUGHES JUNIPER
WBM	18	MUGO PINE
JO	5	OLD GOLD JUNIPER
AP2	4	PANCHITO MANZANITA
JS	5	SEA GREEN JUNIPER
JS2	11	SKYROCKET JUNIPER
Grasses	Quantity	Common
HS	23	BLUE OAT GRASS
FRG	12	FEATHER REED GRASS
NP	7	MEXICAN FEATHERGRASS
PC2	38	SWITCH GRASS

LANDSCAPE KEY



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COMMUNITIES
**CENTURY
COMMUNITIES**

PROJECT
**COMPARK
VILLAGE
SOUTH**
TOWN OF PARKER, COUNTY
OF DOUGLAS, COLORADO
80134

SHEET TITLE
**LANDSCAPE PLAN
AREA 2**

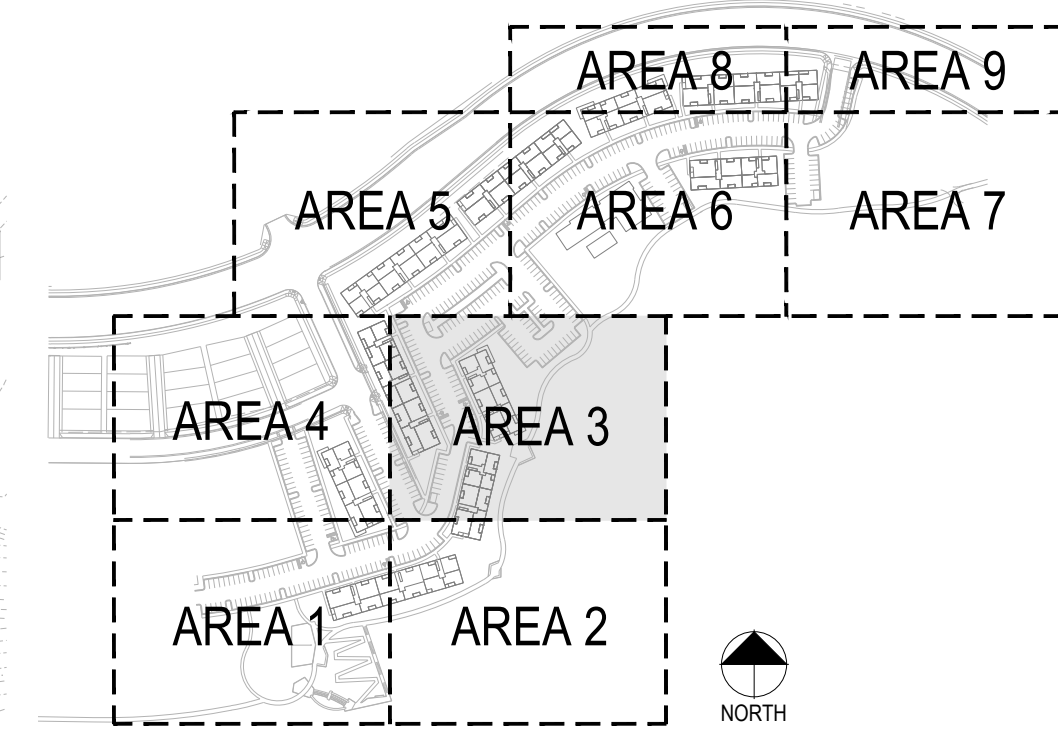
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1 LANDSCAPE AREA 2

COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP



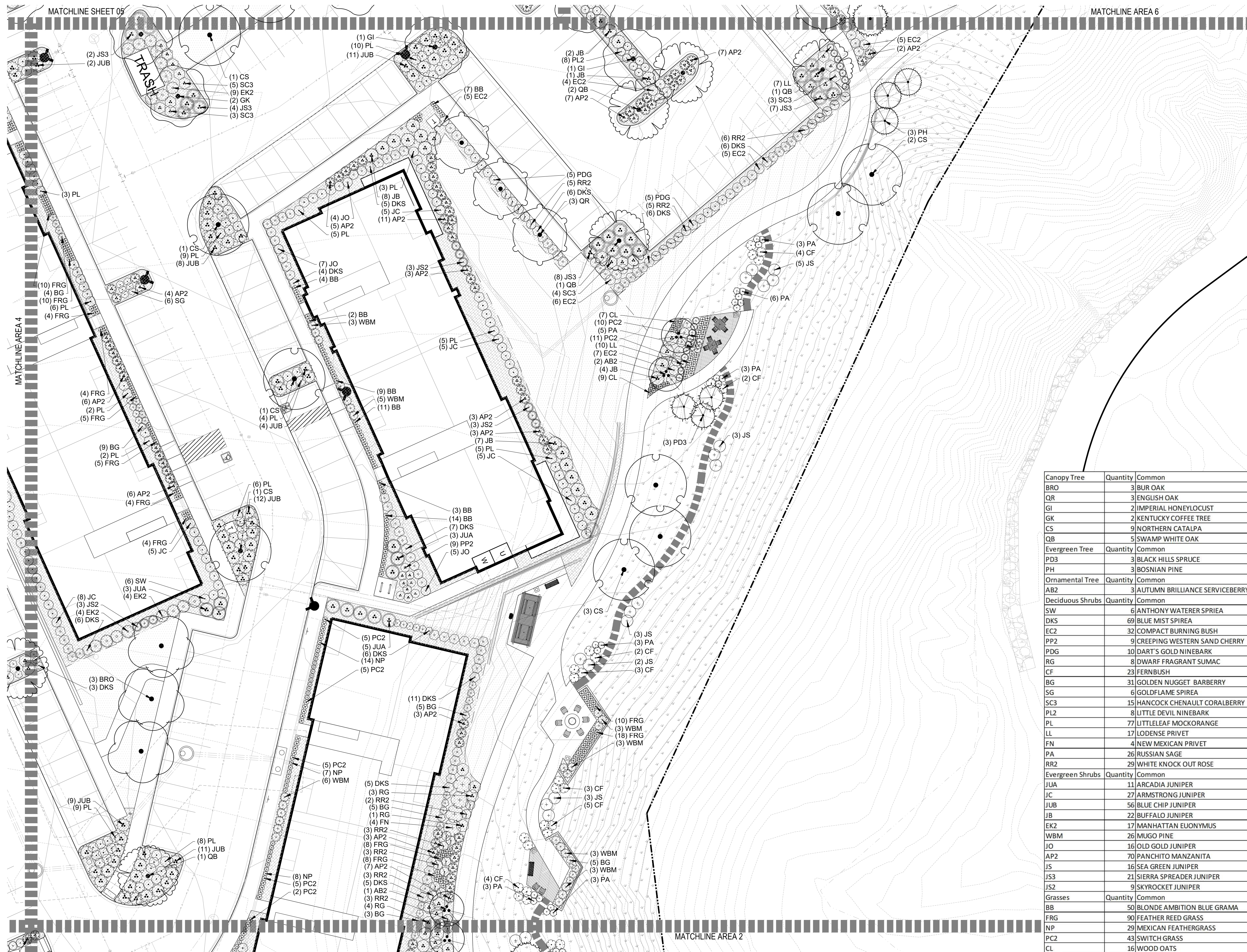
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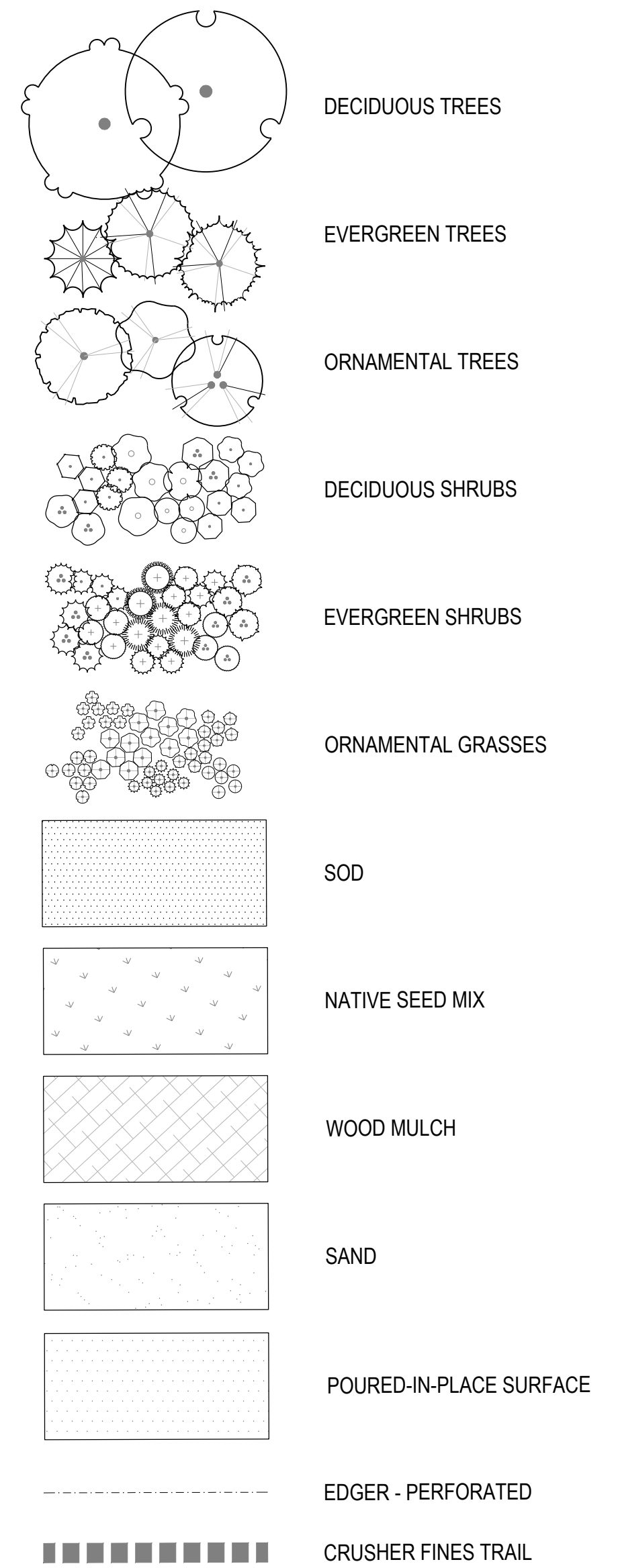
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LANDSCAPE KEY



Canopy Tree	Quantity	Common
BRO	3	BUR OAK
QR	3	ENGLISH OAK
GI	2	IMPERIAL HONEYLOCUST
GK	2	KENTUCKY COFFEE TREE
CS	9	NORTHERN CATALPA
QB	5	SWAMP WHITE OAK
Evergreen Tree	Quantity	Common
PD3	3	BLACK HILLS SPRUCE
PH	3	BOSNIAN PINE
Ornamental Tree	Quantity	Common
AB2	3	AUTUMN BRILLIANCE SERVICEBERRY
Deciduous Shrubs	Quantity	Common
SW	6	ANTHONY WATERER SPIREA
DKS	69	BLUE MIST SPIREA
EC2	32	COMPACT BURNING BUSH
PP2	9	CREeping WESTERN SAND CHERRY
PDG	10	DART'S GOLD NINEBARK
RG	8	DWARF FRAGRANT SUMAC
CF	23	FERNBUSH
BG	31	GOLDEN NUGGET BARBERRY
SG	6	GOLDFLAME SPIREA
SC3	15	HANCOCK CHENAULT CORALBERRY
PL2	8	LITTLE DEVIL NINEBARK
PL	77	LITTLELEAF MOCKORANGE
LL	17	LODENSE PRIVET
FN	4	NEW MEXICAN PRIVET
PA	26	RUSSIAN SAGE
RR2	29	WHITE KNOCK OUT ROSE
Evergreen Shrubs	Quantity	Common
JUA	11	ARCADIA JUNIPER
JC	27	ARMSTRONG JUNIPER
JUB	56	BLUE CHIP JUNIPER
JB	22	BUFFALO JUNIPER
EK2	17	MANHATTAN EUONYMUS
WBM	26	MUGO PINE
JO	16	OLD GOLD JUNIPER
AP2	70	PANCHITO MANZANITA
JS	16	SEA GREEN JUNIPER
JS3	21	SIERRA SPREADER JUNIPER
JS2	9	SKYROCKET JUNIPER
Grasses	Quantity	Common
BB	50	BLONDE AMBITION BLUE GRAMA
FRG	90	FEATHER REED GRASS
NP	29	MEXICAN FEATHERGRASS
PC2	43	SWITCH GRASS
CL	16	WOOD OATS



1 LANDSCAPE AREA 3

PREPARED FOR CENTURY COMMUNITIES



PROJECT
COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

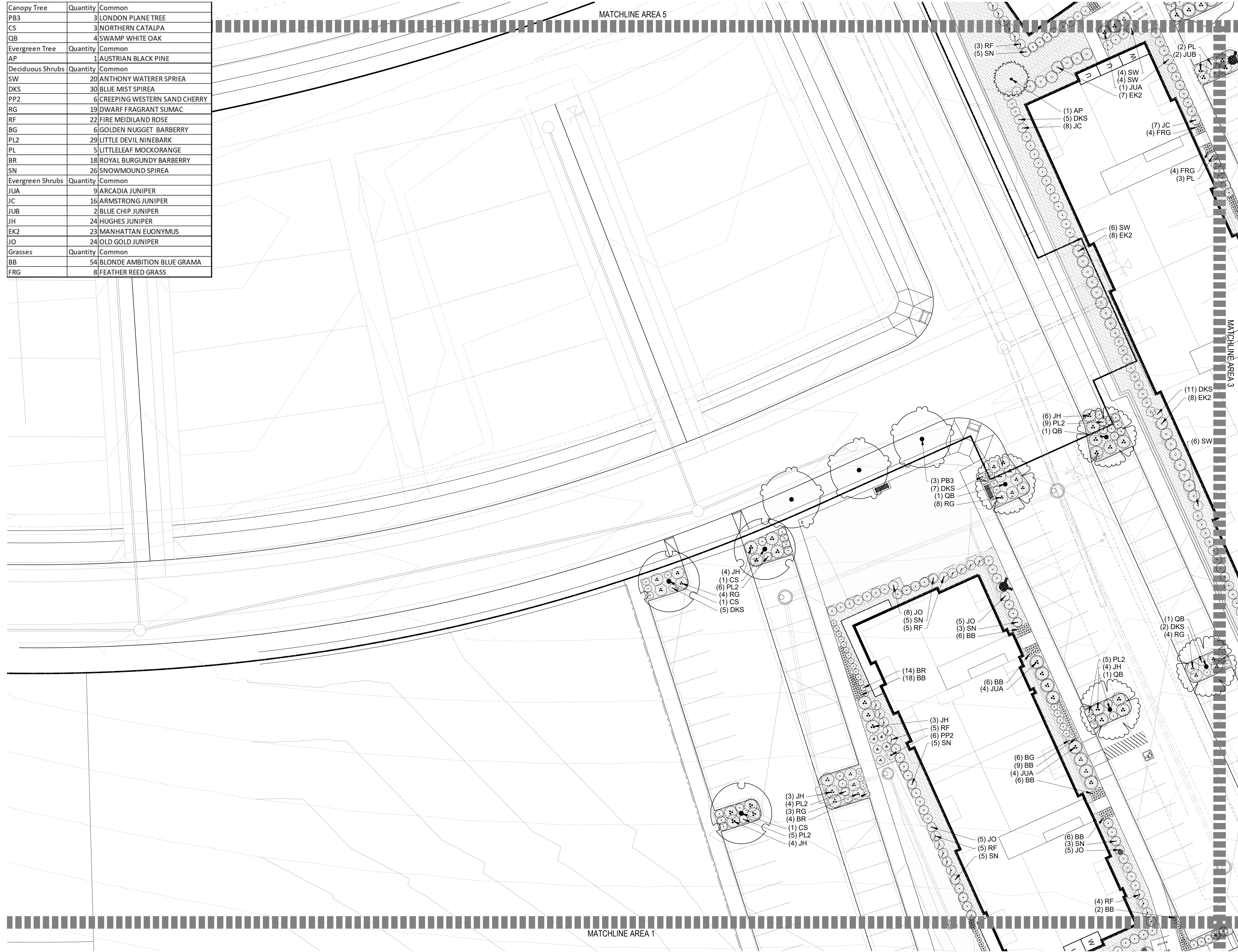
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LANDSCAPE PLAN AREA 3

SHEET NUMBER
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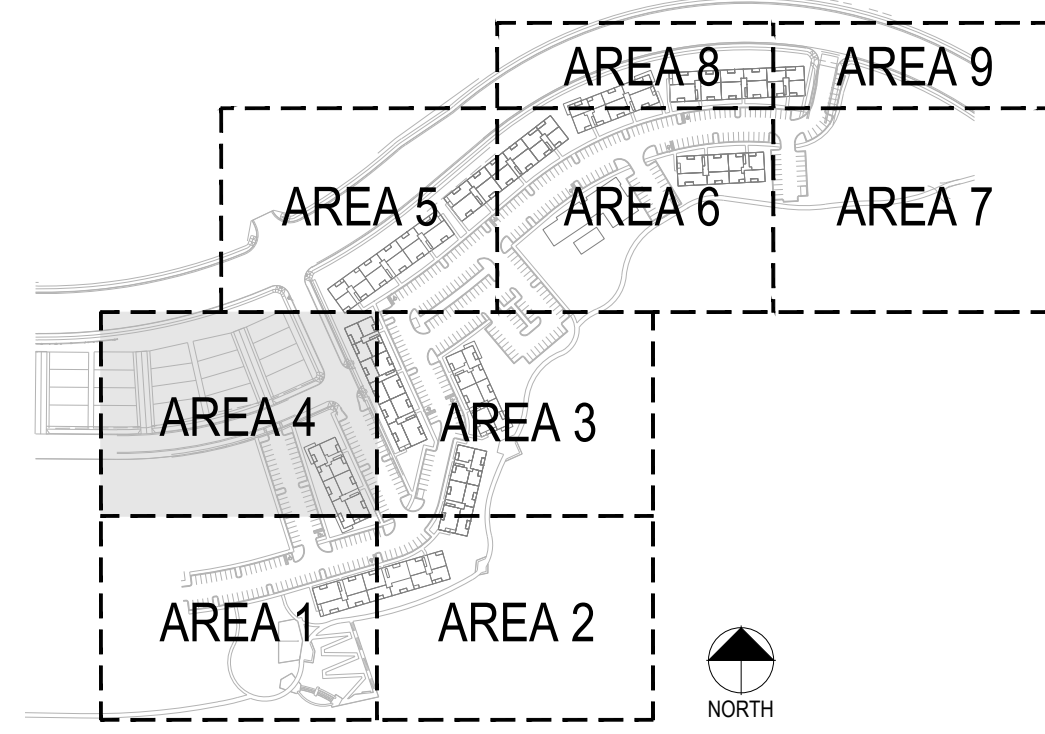
COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

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SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

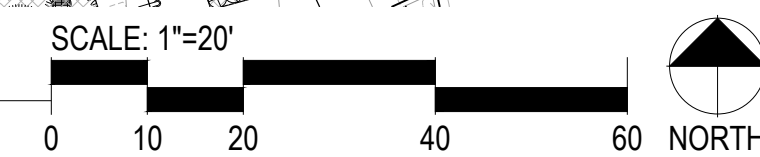
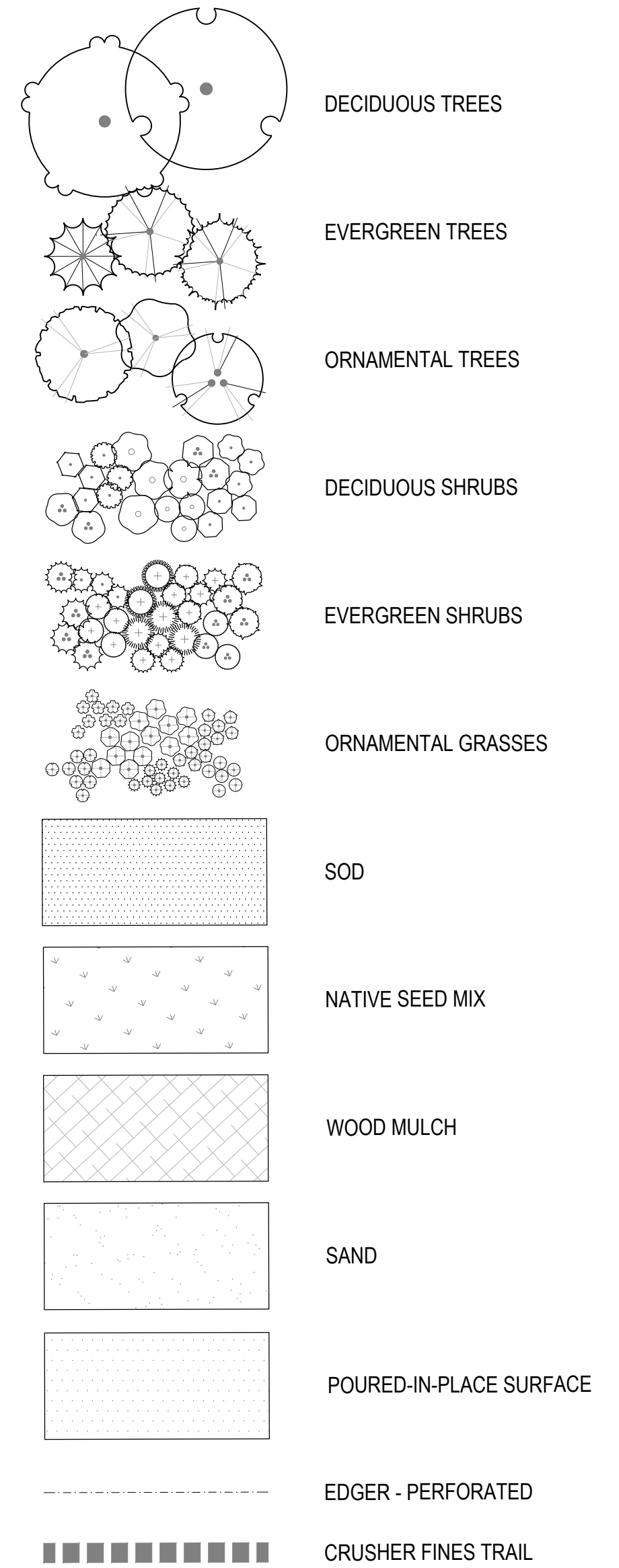
Canopy Tree	Quantity	Common
PB3	3	LONDON PLANE TREE
CS	3	NORTHERN CATALPA
QB	4	SWAMP WHITE OAK
Evergreen Tree	Quantity	Common
AP	1	AUSTRIAN BLACK PINE
Deciduous Shrubs	Quantity	Common
SW	20	ANTHONY WATERER SPIREA
DKS	30	BLUE MIST SPIREA
PP2	6	CREeping WESTERN SAND CHERRY
RG	19	DWARF FRAGRANT SUMAC
RF	22	FIRE MEIDLAND ROSE
BG	6	GOLDEN NUGGET BARBERRY
PL2	29	LITTLE DEVIL NINEBARK
PL	5	LITTLELEAF MOCKORANGE
BR	18	ROYAL BURGUNDY BARBERRY
SN	26	SNOWMOUND SPIREA
Evergreen Shrubs	Quantity	Common
JUA	9	ARCADIA JUNIPER
JC	16	ARMSTRONG JUNIPER
JUB	2	BLUE CHIP JUNIPER
JH	24	HUGHES JUNIPER
EK2	23	MANHATTAN EUONYMUS
JO	24	OLD GOLD JUNIPER
Grasses	Quantity	Common
BB	54	BLONDE AMBITION BLUE GRAMA
FRG	8	FEATHER REED GRASS



KEY MAP



LANDSCAPE KEY



PROJECT NUMBER
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PROJECT
COMPARK VILLAGE SOUTH
TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

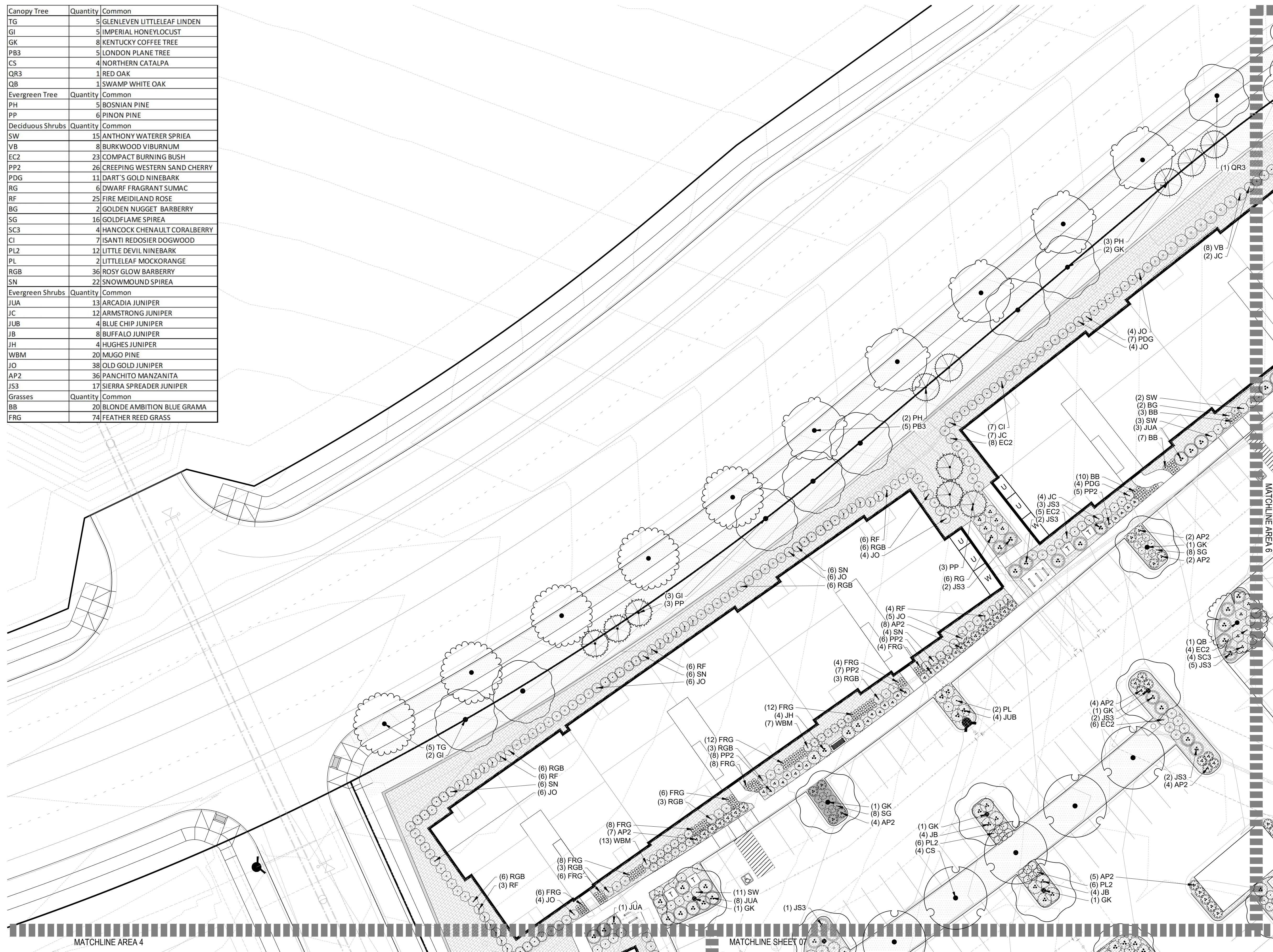
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LANDSCAPE PLAN AREA 4

SHEET NUMBER
15

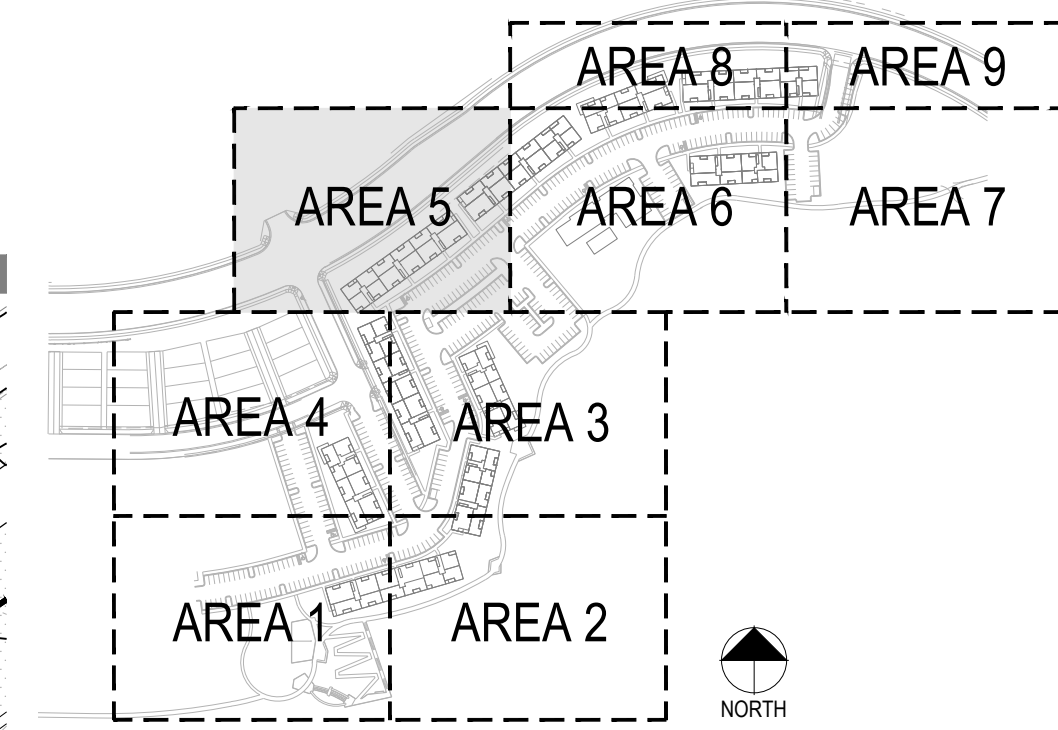
COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

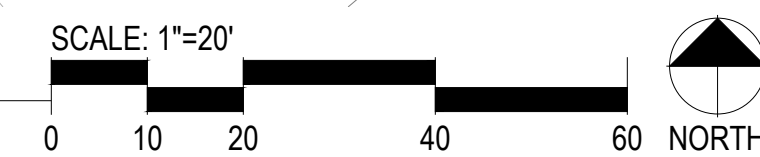
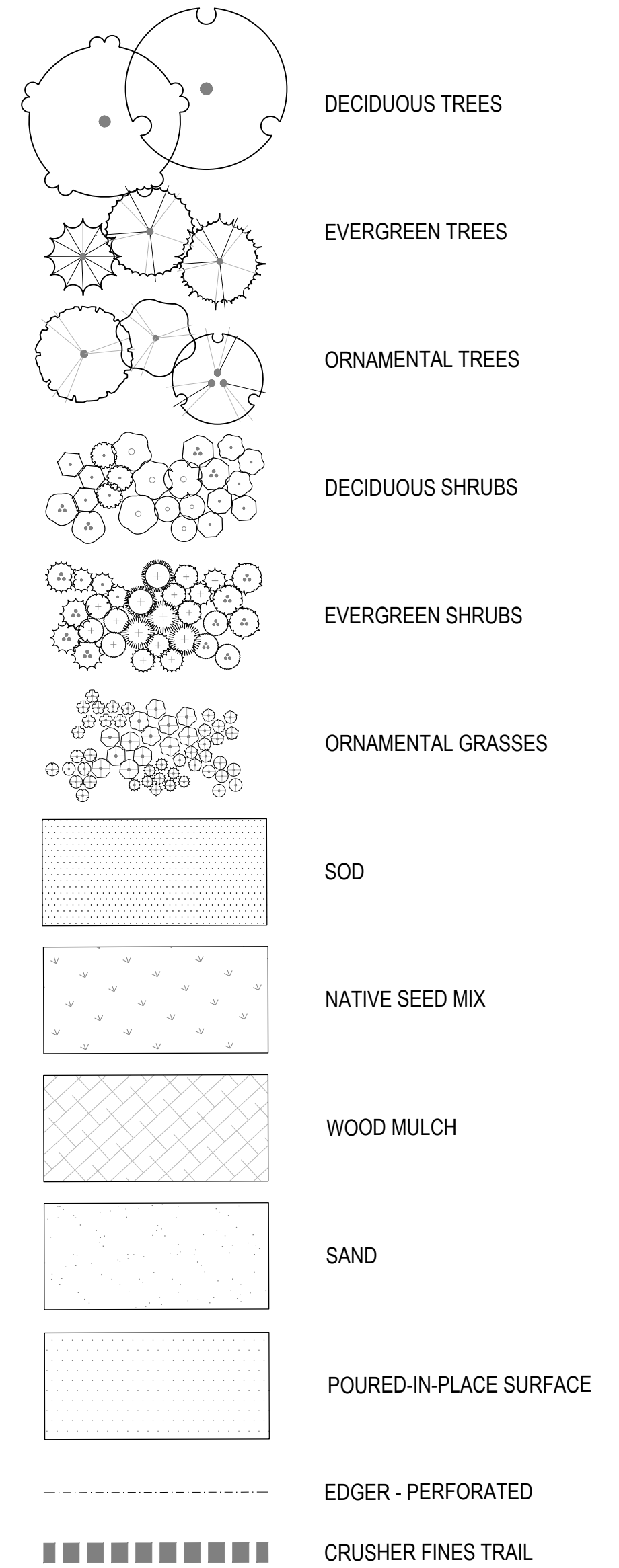
Canopy Tree	Quantity	Common
TG	5	GLENLEVEN LITTLELEAF LINDEN
GI	5	IMPERIAL HONEYLOCUST
GK	8	KENTUCKY COFFEE TREE
PB3	5	LONDON PLANE TREE
CS	4	NORTHERN CATALPA
QR3	1	RED OAK
QB	1	SWAMP WHITE OAK
Evergreen Tree	Quantity	Common
PH	5	BOSNIAN PINE
PP	6	PINON PINE
Deciduous Shrubs	Quantity	Common
SW	15	ANTHONY WATERER SPRIEA
VB	8	BURKWOOD VIBURNUM
EC2	23	COMPACT BURNING BUSH
PP2	26	CREeping WESTERN SAND CHERRY
PDG	11	DART'S GOLD NINEBARK
RG	6	DWARF FRAGRANT SUMAC
RF	25	FIRE MEIDLAND ROSE
BG	2	GOLDEN NUGGET BARBERRY
SG	16	GOLDFLAME SPIREA
SC3	4	HANCOCK CHENAULT CORALBERRY
CI	7	ISANTI REDOSIER DOGWOOD
PL2	12	LITTLE DEVIL NINEBARK
PL	2	LITTLELEAF MOCKORANGE
RGB	36	ROSY GLOW BARBERRY
SN	22	SNOWMOUND SPIREA
Evergreen Shrubs	Quantity	Common
JUA	13	ARCADIA JUNIPER
JC	12	ARMSTRONG JUNIPER
JUB	4	BLUE CHIP JUNIPER
JB	8	BUFFALO JUNIPER
JH	4	HUGHES JUNIPER
WBM	20	MUGO PINE
JO	38	OLD GOLD JUNIPER
AP2	36	PANCHITO MANZANITA
JS3	17	SIERRA SPREADER JUNIPER
Grasses	Quantity	Common
BB	20	BLONDE AMBITION BLUE GRAMA
FRG	74	FEATHER REED GRASS



KEY MAP



LANDSCAPE KEY



1 LANDSCAPE AREA 5

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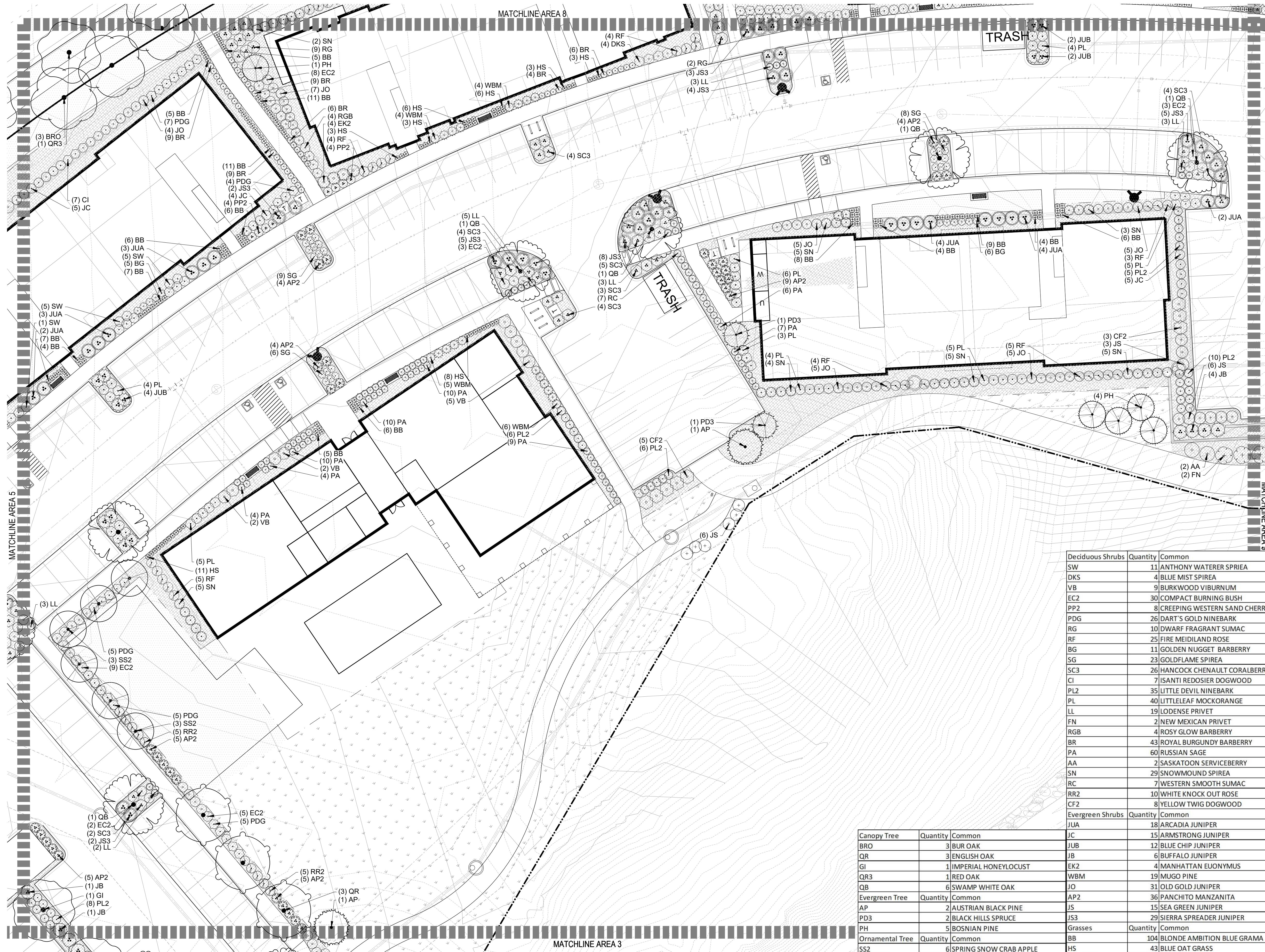
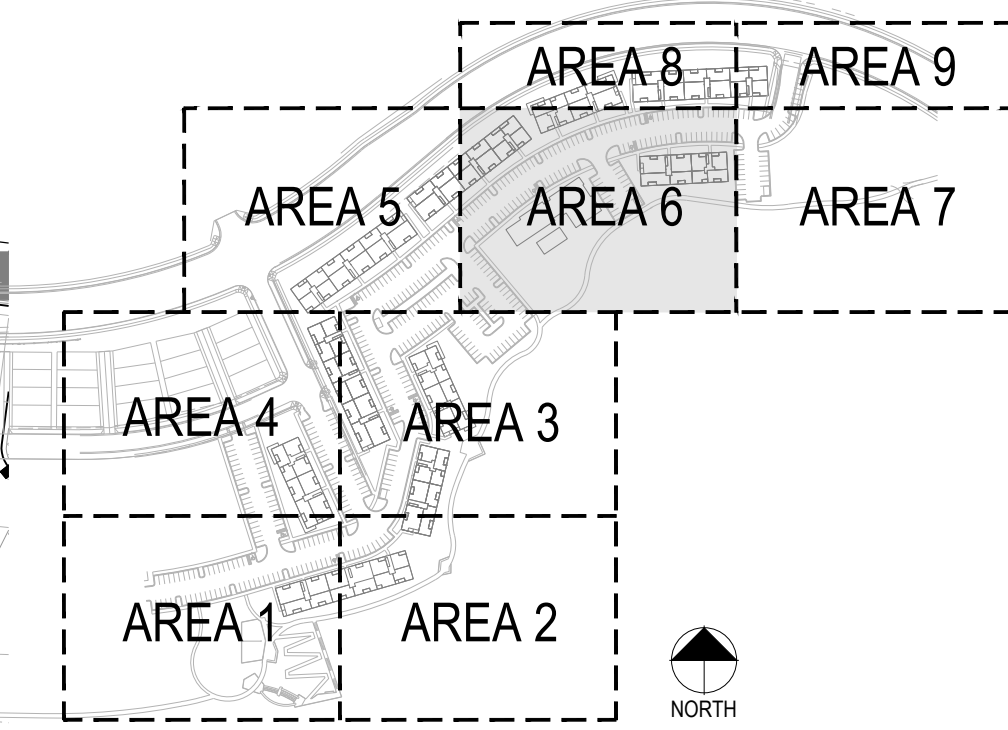
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LANDSCAPE PLAN AREA 5

SHEET NUMBER
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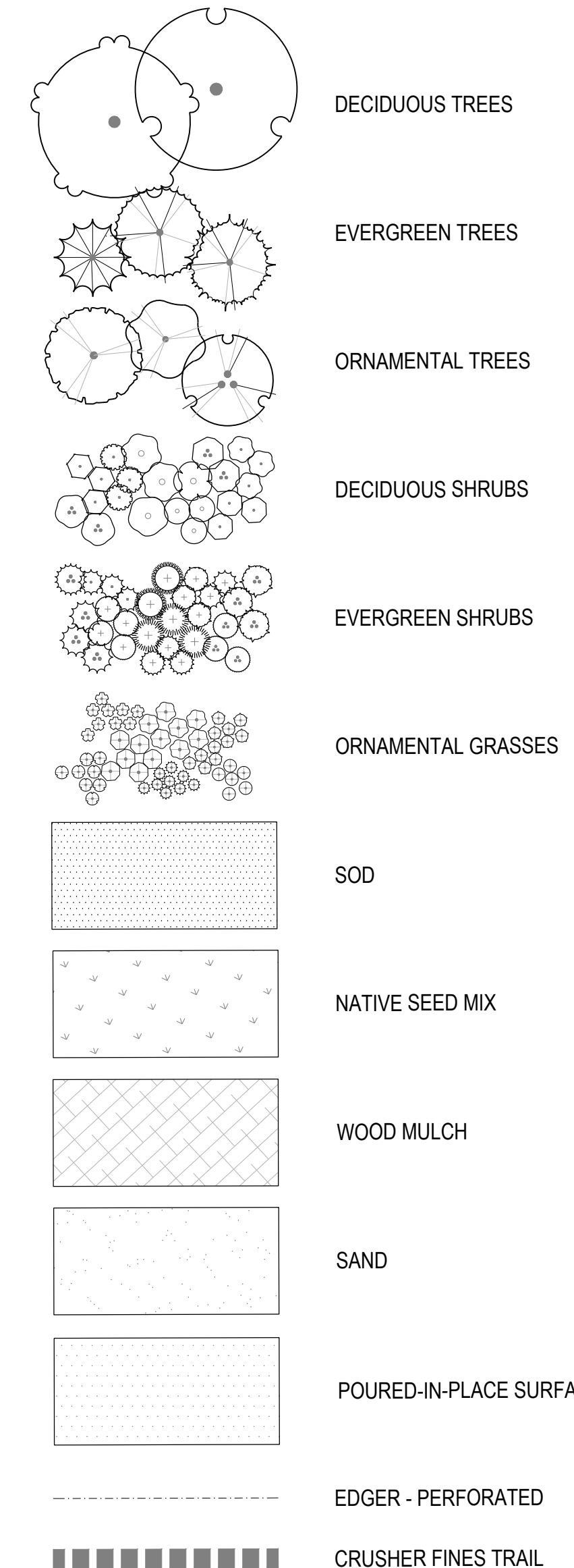
COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP



LANDSCAPE KEY

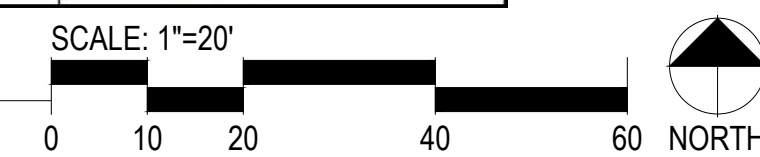


Deciduous Shrubs	Quantity	Common
SW	11	ANTHONY WATERER SPIREA
DKS	4	BLUE MIST SPIREA
VB	9	BURKWOOD VIBURNUM
EC2	30	COMPACT BURNING BUSH
PP2	8	CREeping WESTERN SAND CHERRY
PDG	26	DART'S GOLD NINEBARK
RG	10	DWARF FRAGRANT SUMAC
RF	25	FIRE MEIDLAND ROSE
BG	11	GOLDEN NUGGET BARBERRY
SG	23	GOLDFLAME SPIREA
SC3	26	HANCOCK CHENAUET CORALBERRY
CI	7	ISANTI REDOSIER DOGWOOD
PL2	35	LITTLE DEVIL NINEBARK
PL	40	LITTLELEAF MOCKORANGE
LL	19	LODENSE PRIVET
FN	2	NEW MEXICAN PRIVET
RGB	4	ROSY GLOW BARBERRY
BR	43	ROYAL BURGUNDY BARBERRY
PA	60	RUSSIAN SAGE
AA	2	SASKATOON SERVICEBERRY
SN	29	SNOWMOUND SPIREA
RC	7	WESTERN SMOOTH SUMAC
RR2	10	WHITE KNOCK OUT ROSE
CF2	8	YELLOW TWIG DOGWOOD

Evergreen Shrubs	Quantity	Common
JUA	18	ARCADIA JUNIPER
JC	15	ARMSTRONG JUNIPER
JUB	12	BLUE CHIP JUNIPER
JB	6	BUFFALO JUNIPER
EK2	4	MANHATTAN EUONYMUS
WBM	19	MUGO PINE
JO	31	OLD GOLD JUNIPER
AP2	36	PANCHITO MANZANITA
JS	15	SEA GREEN JUNIPER
JS3	29	SIERRA SPREADER JUNIPER

Canopy Tree	Quantity	Common
BRO	3	BUR OAK
QR	3	ENGLISH OAK
GI	1	IMPERIAL HONEYLOCUST
QR3	1	RED OAK
QB	6	SWAMP WHITE OAK

Ornamental Tree	Quantity	Common
AP	2	AUSTRIAN BLACK PINE
PD3	2	BLACK HILLS SPRUCE
PH	5	BOSNIAN PINE
BB	104	BLONDE AMBITION BLUE GRAMA
SS2	6	SPRING SNOW CRAB APPLE
HS	43	BLUE OAT GRASS



1 LANDSCAPE AREA 6

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PROJECT
COMPARK VILLAGE SOUTH
TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

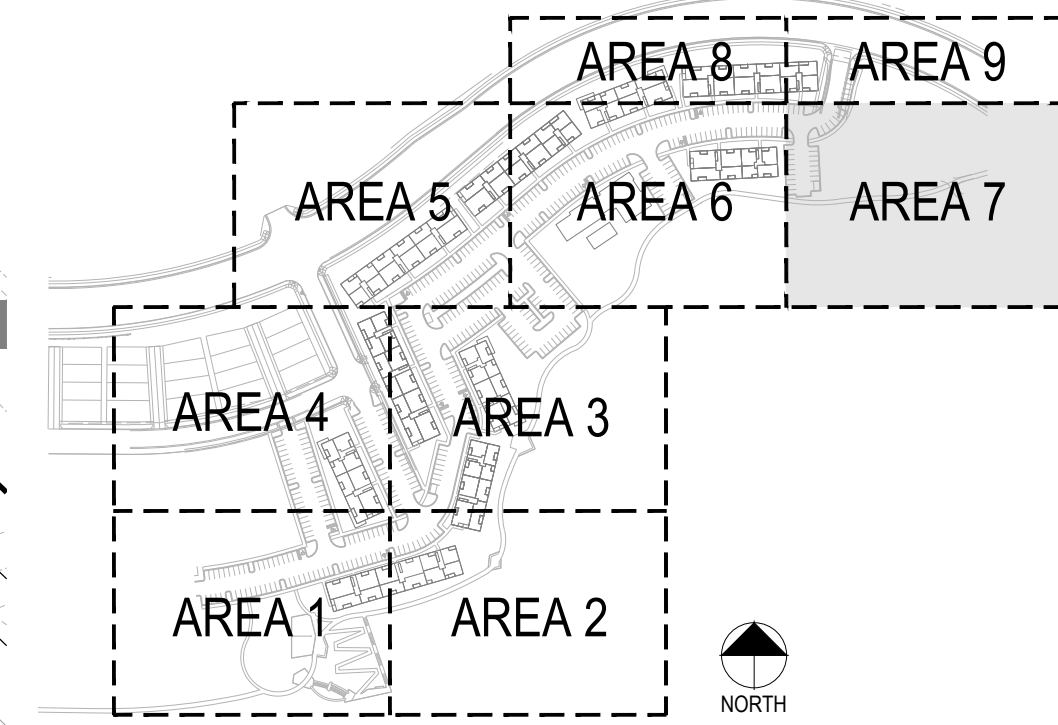
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LANDSCAPE PLAN AREA 6

SHEET NUMBER
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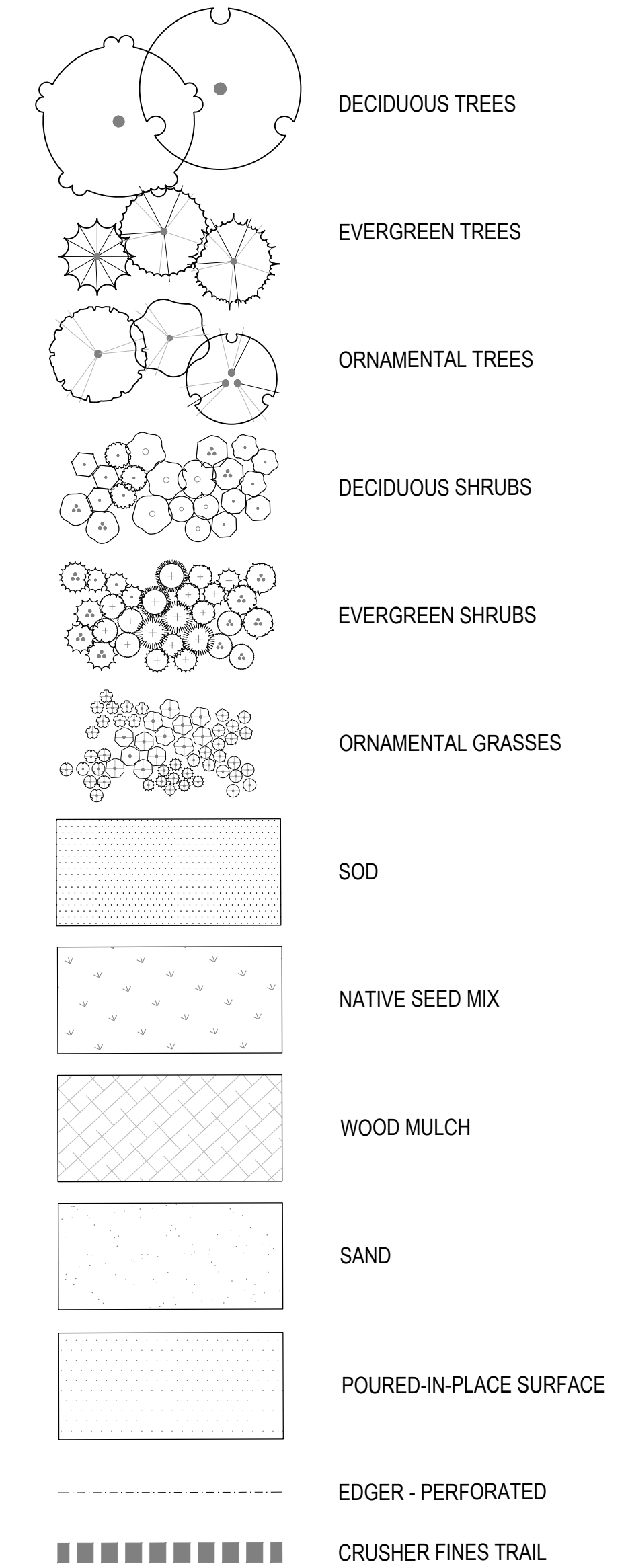
COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP

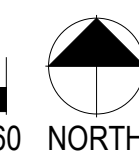


LANDSCAPE KEY



Canopy Tree	Quantity	Common
BRO	3	BUR OAK
TG	4	GLENLEVEN LITTLELEAF LINDEN
CS	3	NORTHERN CATALPA
GS2	1	SHADEMASTER HONEY LOCUST
QB	2	SWAMP WHITE OAK
Evergreen Tree	Quantity	Common
AP	5	AUSTRIAN BLACK PINE
PD3	11	BLACK HILLS SPRUCE
PH	2	BOSNIAN PINE
Ornamental Tree	Quantity	Common
SS2	2	SPRING SNOW CRAB APPLE
Deciduous Shrubs	Quantity	Common
DKS	3	BLUE MIST SPIREA
EC2	11	COMPACT BURNING BUSH
SC3	10	HANCOCK CHENAULT CORALBERRY
PL2	38	LITTLE DEVIL NINEBARK
PL	7	LITTLELEAF MOCKORANGE
LL	11	LODENSE PRIVET
FN	3	NEW MEXICAN PRIVET
AA	10	SASKATOON SERVICEBERRY
CF2	17	YELLOW TWIG DOGWOOD
Evergreen Shrubs	Quantity	Common
JUA	6	ARCADIA JUNIPER
JB	17	BUFFALO JUNIPER
EK2	6	MANHATTAN EUONYMUS
JO	6	OLD GOLD JUNIPER
JS	16	SEA GREEN JUNIPER
JS3	13	SIERRA SPREADER JUNIPER
Grasses	Quantity	Common
FRG	56	FEATHER REED GRASS

SCALE: 1"=20'



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PROJECT

COMPARK
VILLAGE
SOUTH

TOWN OF PARKER, COUNTY
OF DOUGLAS, COLORADO
80134

SHEET TITLE

LANDSCAPE PLAN
AREA 7

SHEET NUMBER

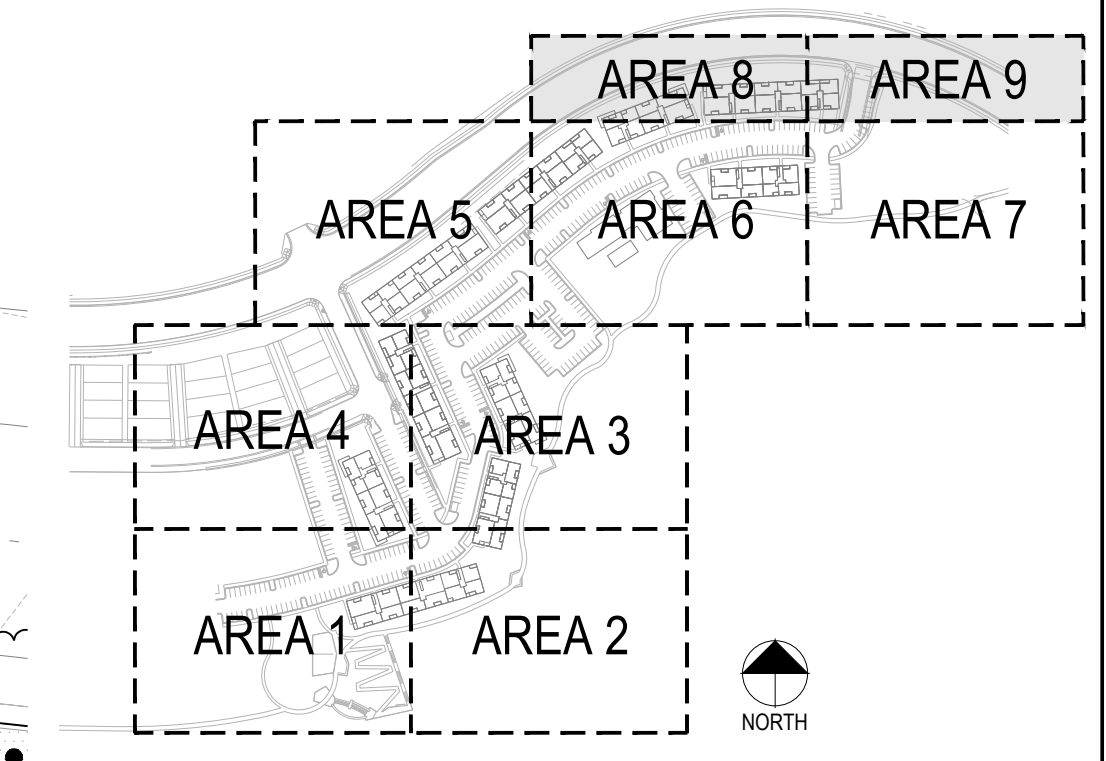
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1 LANDSCAPE AREA 7

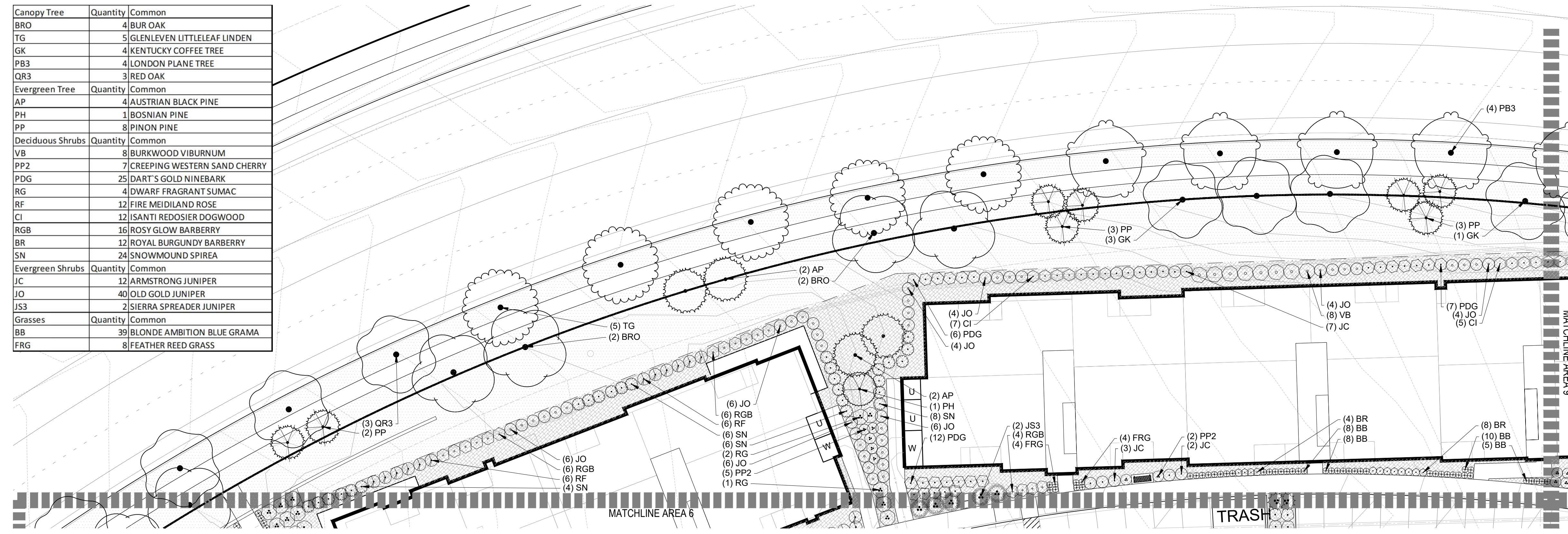
COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

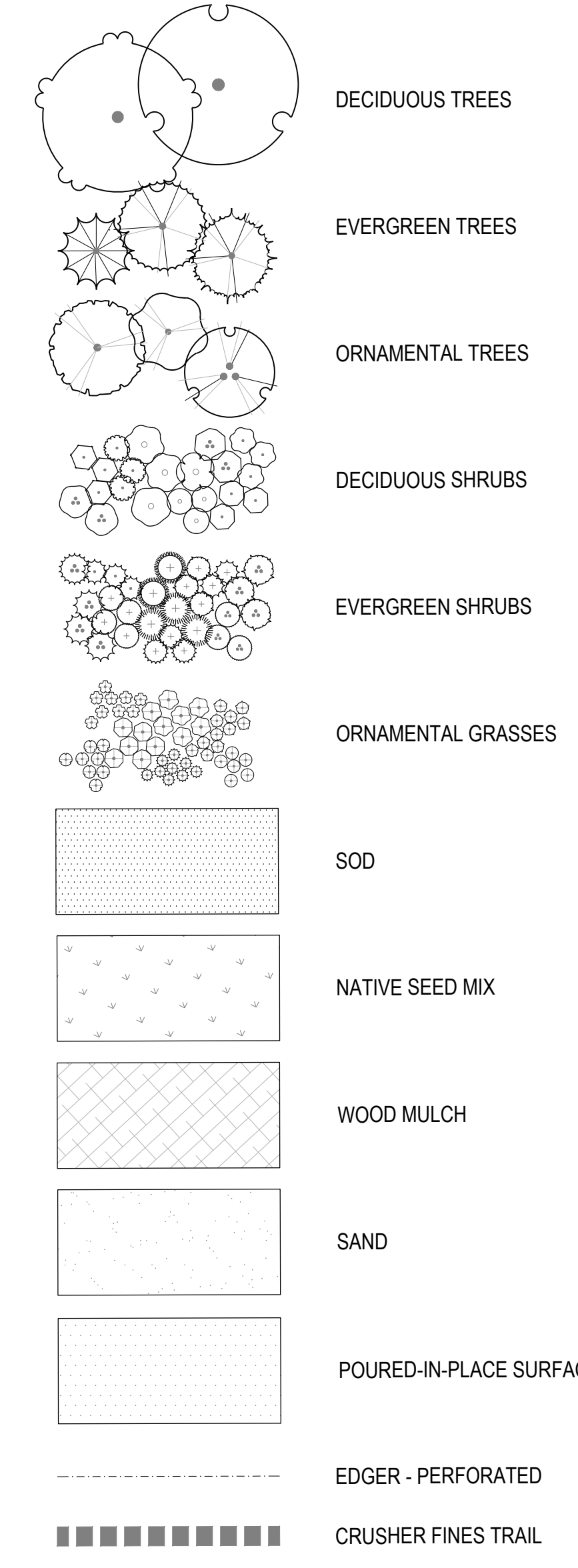
KEY MAP



Canopy Tree	Quantity	Common
BRO	4	BUR OAK
TG	5	GLENLEVEN LITTLELEAF LINDEN
GK	4	KENTUCKY COFFEE TREE
PB3	4	LONDON PLANE TREE
QR3	3	RED OAK
Evergreen Tree	Quantity	Common
AP	4	AUSTRIAN BLACK PINE
PH	1	BOSNIAN PINE
PP	8	PINON PINE
Deciduous Shrubs	Quantity	Common
VB	8	BURKWOOD VIBURNUM
PP2	7	CREeping WESTERN SAND CHERRY
PDG	25	DART'S GOLD NINEBARK
RG	4	DWARF FRAGRANT SUMAC
RF	12	FIRE MEIDLAND ROSE
CI	12	ISANTI REDOSIER DOGWOOD
RGB	16	ROSY GLOW BARBERRY
BR	12	ROYAL BURGUNDY BARBERRY
SN	24	SNOWMOUND SPIREA
Evergreen Shrubs	Quantity	Common
JC	12	ARMSTRONG JUNIPER
JO	40	OLD GOLD JUNIPER
JS3	2	SIERRA SPREADER JUNIPER
Grasses	Quantity	Common
BB	39	BLONDE AMBITION BLUE GRAMA
FRG	8	FEATHER REED GRASS

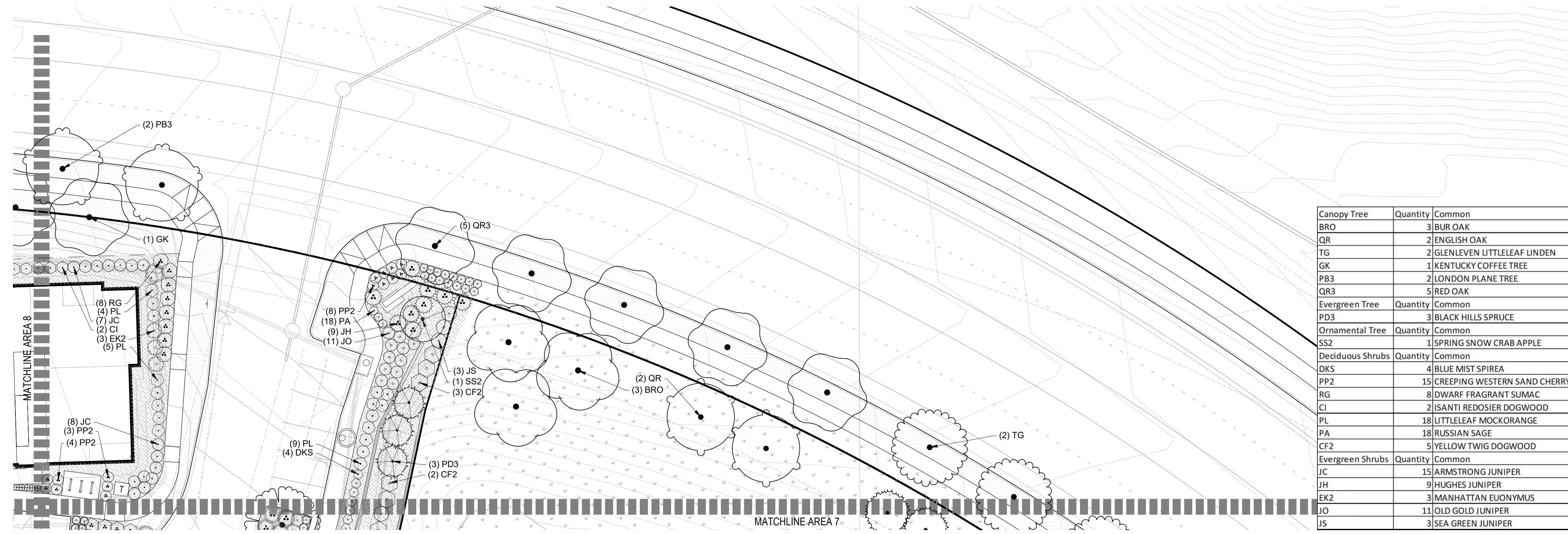
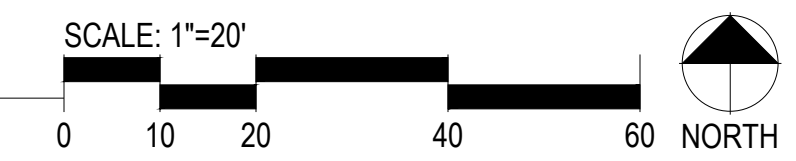


LANDSCAPE KEY

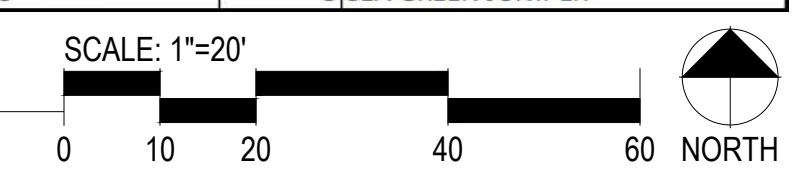


Canopy Tree	Quantity	Common
BRO	3	BUR OAK
QR	2	ENGLISH OAK
TG	2	GLENLEVEN LITTLELEAF LINDEN
GK	1	KENTUCKY COFFEE TREE
PB3	2	LONDON PLANE TREE
QR3	5	RED OAK
Evergreen Tree	Quantity	Common
PD3	3	BLACK HILLS SPRUCE
Ornamental Tree	Quantity	Common
SS2	1	SPRING SNOW CRAB APPLE
Deciduous Shrubs	Quantity	Common
DKS	4	BLUE MIST SPIREA
PP2	15	CREeping WESTERN SAND CHERRY
RG	8	DWARF FRAGRANT SUMAC
CI	2	ISANTI REDOSIER DOGWOOD
PL	18	LITTLELEAF MOCKORANGE
PA	18	RUSSIAN SAGE
CF2	5	YELLOW TWIG DOGWOOD
Evergreen Shrubs	Quantity	Common
JC	15	ARMSTRONG JUNIPER
JH	9	HUGHES JUNIPER
EK2	3	MANHATTAN EUONYMUS
JO	11	OLD GOLD JUNIPER
JS	3	SEA GREEN JUNIPER

1 LANDSCAPE AREA 8



2 LANDSCAPE AREA 9



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PROJECT
COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE
LANDSCAPE PLAN AREAS 8 & 9

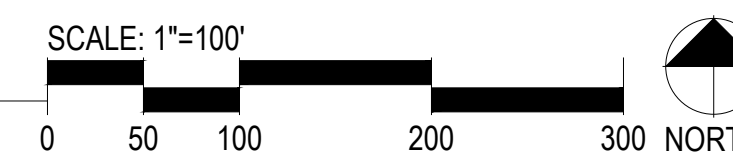
SHEET NUMBER
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COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN


LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



1 MASTER PARK PLAN



PROJECT NUMBER
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PROJECT
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SOUTH**

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OF DOUGLAS, COLORADO
80134

SHEET TITLE

**MASTER
PARK PLAN**

SHEET NUMBER

20

**COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN**

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

Schedule 13.07.140A Options for Parks and Open Space Amenities	
	Neighborhood-Serving Park
Category 1 – Gathering Spaces & Self-directed Group Activities	
	Pick 1
Gardens	
Arboreta/decorative garden, irrigated	MC
Community garden/raised garden, irrigated	MC
Gathering and Social Space	
Amphitheater	
Festival/event space	
Outdoor nature classroom	
Outdoor performance space/stage	MC
Programmable space (indoor or outdoor)	C
Seating and tables	See Subparagraph 13.07.140(c) (10)a.
Shelter, small (5–10 users)	See Subparagraph 13.07.140(c) (10)a.8.
Shelter, medium (11–30 users)	C
Shelter, large (31–100 users)	
Shelter, pavilion (more than 100 users)	
Interpretive and Placemaking	
Interactive, functional, or visual art	C
Interpretive signage or elements	C
Site design theme	C
Outdoor Specialized	
Activity hubs (ping-pong, foosball, chess table, cornhole, etc.)	C
Bike park, skills area, or pump track	MC
Climbing spine or wall	
Disc golf course	MC
Dog off-leash area (fenced)	C
Horseshoe pit	C
Skate park	
Category 2 – Active Uses	

Schedule 13.07.140A Options for Parks and Open Space Amenities	
	Neighborhood-Serving Park
	Pick 2, but only 1 may be from paths, trails
Paths, Trails, and Trailheads	
Greenway connection or trailhead	C
Hard-surfaced multi-use trail	C
Internal access pathway	See Subparagraph 13.07.140(c) (10)a.
Loop path (with mileage markers)	C
Soft surface jogging/hiking trail	MC
Soft surface equestrian or bike trail	
Play Space and Equipment	
Climbing structure or boulders	C
Nature play features	C
Open turf play area	See Subparagraph 13.07.140(c) (10)a.
Playground, small-scale	C
Play area, large destination-scale	
Thematic play features	C
Universal and inclusive play elements	See Subparagraph 13.07.140(c) (10)a.
Zip line	
Sports and Fitness	
Artificial turf field, multi-purpose	
Ball field (baseball, softball, or multi-use)	C
Field with lighting	
Outdoor fitness equipment	C
Specialty sport field or stadium	
Sport court (e.g., badminton, basketball, bocce, futsal, pickleball, shuffleboard, tennis, volleyball)	C

Schedule 13.07.140A Options for Parks and Open Space Amenities	
	Neighborhood-Serving Park
Tournament sports court or multi-court complex	
Category 3 – Support Amenities	
	Pick 1 per acre
Support Amenities	
Barbecues, single or dual with ash disposal	C
Bike rack and repair station	C
Dog waste station	See Subparagraph 13.07.140(c) (10)a.
Drinking fountain	C
Parking, off street	MC
Parking, on street	C
Restroom, portable (screened)	MC
Restroom, permanent (full or vault)	C
Signage (identification)	See Subparagraph 13.07.140(c) (10)a.
Trash receptacles	See Subparagraph 13.07.140(c) (10)a.
Category 4 – Specialized Facilities	
	Optional
Aquatics and Water Access	
Splash pad or water play feature	C
Swimming pool	C
Indoor Facilities	
Activity building (clubhouse)	C
Environmental education center	
Recreation center or fieldhouse	

GENERAL PARK CONSTRUCTION NOTES

- THESE PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION OR PERMITTING UNLESS STATED FOR SUCH USE IN THE TITLE BLOCK.
- DRAWINGS ARE INTENDED TO BE PRINTED ON 24" X 36" PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
- VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTION BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK.
- THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED. ALL LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR.
- IF A GEOTECHNICAL SOILS REPORT IS NOT AVAILABLE AT THE TIME OF CONSTRUCTION, PCS GROUP, INC. RECOMMENDS A REPORT BE AUTHORIZED BY THE OWNER AND THAT ALL RECOMMENDATIONS OF THE REPORT ARE FOLLOWED DURING CONSTRUCTION. THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID. IF THE OWNER ELECTS TO PROVIDE A GEOTECHNICAL REPORT, THE CONTRACTOR SHALL REVIEW THE REPORT AND SUBMIT AN APPROPRIATE CHANGE ORDER TO THE OWNER'S REPRESENTATIVE IF ADDITIONAL COSTS ARE REQUESTED.
- CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS, WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
- CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-COMFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES AND REGULATORY AGENCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
- ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED.
- THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT OF WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
- THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.
- THE CLEANING OF CONCRETE EQUIPMENT IS PROHIBITED AT THE JOB SITE EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE IN THE STORM SEWER IS PROHIBITED.
- LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL SUPERSEDE THESE PLANS, NOTES AND SPECIFICATIONS WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS OCCUR.
- SPECIFICATIONS ARE SHOWN TO INDICATE THE DESIGN INTENT. SUBSTITUTES FOR ALL MATERIALS AND FINISHES MAY BE CONSIDERED IF THEY MATCH THE APPEARANCE, QUALITY, AND GENERAL SPECIFICATIONS AS PRODUCTS SHOWN ON THIS SHEET AND SUBSEQUENT DETAILS. ALL MATERIALS AND FINISHES WILL REQUIRE A SAMPLE (OR DATA SHEET) TO BE SUBMITTED FOR FINAL REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE. PRIOR TO INSTALLATION, SUBSTITUTIONS WILL BE CONSIDERED.
- PROPOSED GRADING IS BASED ON EXISTING TOPOGRAPHY BASE FILES PROVIDED BY OTHERS. PCS GROUP ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE GRADING INFORMATION OR AS-BUILT CONDITIONS. THE CONTRACTOR SHALL ACCEPT FINAL GRADING PRIOR TO COMMENCING WORK AND SHALL NOTIFY THE OWNER AND LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE ACTUAL GRADING CONDITIONS AND PROPOSED DESIGN PRIOR TO BEGINNING WORK.
- ON LOT PICKET FENCING SHALL BE LOCATED ON LOT LINES AS SHOWN ON THIS SHEET TO ENCLOSE THE FRONT YARD AREA. EXACT LOCATIONS AND RETURNS SHALL VARY FOR EACH LOT DUE TO ADJUSTMENTS NEEDED FOR DRAINAGE, DRY UTILITY PEDESTALS, ETC. AND RELATIONSHIP TO ADJACENT HOME. FINAL FENCE LOCATIONS MAY ENCLOSE MORE SIDE YARD AREA AND WILL BE SHOWN ON THE PLOT PLANS.

Required Amenities for All Parks - Section 13.07.140 (10)		
Requirements	Provided	Details
Landscape for all impervious areas	X	All impervious areas have landscaping
Tables and seating, such as benches, chairs, picnic tables and ADA seating	X	Benches, Adirondack chairs, picnic tables, table and chairs, along with ADA seating
Internal access pathways between park amenities	X	sidewalks and trails connect all park amenities
Open turf play areas	X	Multiple turf lawns have been provided, along with sledding hill
Universal and inclusive play elements to accommodate all ages and abilities	X	A small play area has been provided with natural climbing elements and on-grade slides
Dog waste stations at all pedestrian access points into the park, minimum of three	X	6 dog waste stations at access points provided
Trash receptacles at all seating areas with a minimum of three	X	8 trash receptacles at all major seating areas
Small shelter serving a capacity of between five and ten users	X	2 square shelters and 2 trellis features with capacity between 4 and 8

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PROJECT

**COMPARK
VILLAGE
SOUTH**

TOWN OF PARKER, COUNTY
OF DOUGLAS, COLORADO
80134

SHEET TITLE

**PARK
NOTES**

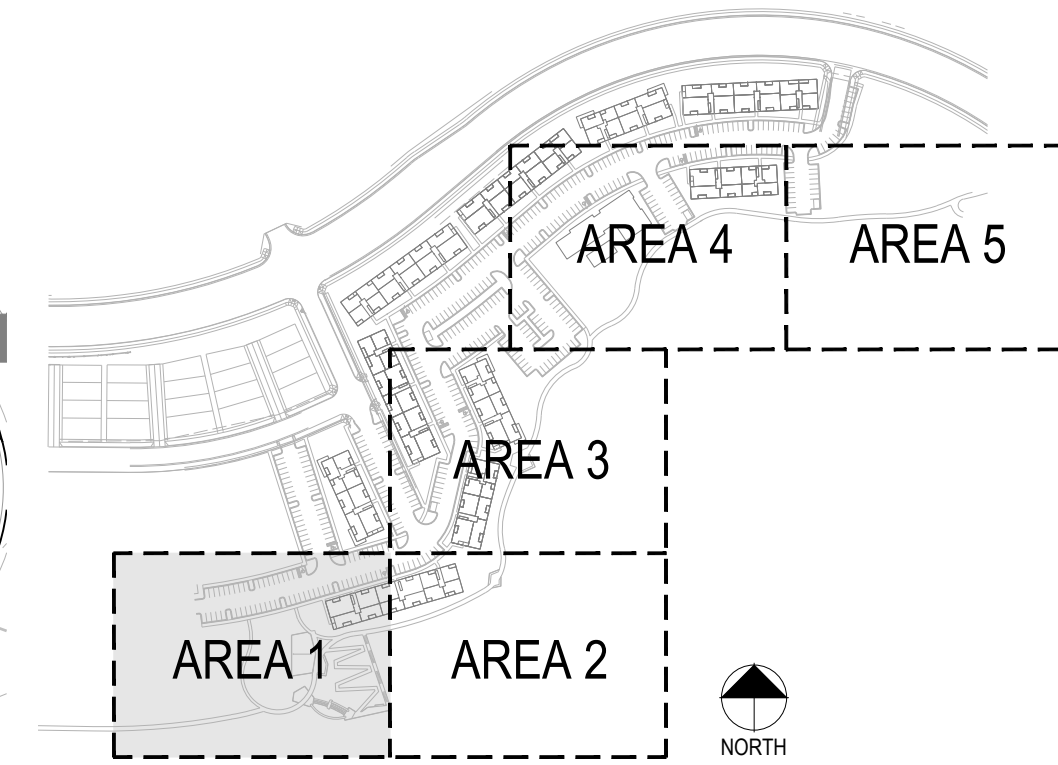
SHEET NUMBER

21

COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

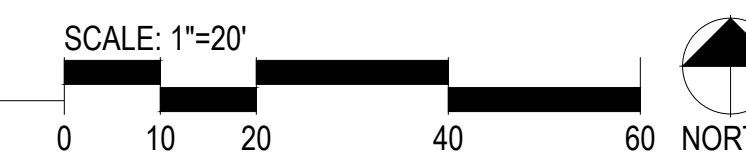
KEY MAP



LEGEND

- BENCH
- TRASH RECEPTACLE
- GRILL
- PET WASTE STATION
- BIKE RACK
- TABLE AND CHAIRS
- PICNIC TABLE
- ADIRONDACK CHAIR
- PING PONG TABLE
- 3-RAIL FENCE
- OUTDOOR FITNESS EQUIP.
- TRELLIS
- 16' SQUARE SHELTER
- LOG JUMPER
- DECK

1 PARK AREA 1



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SHEET TITLE

**PARK PLAN
AREA 1**

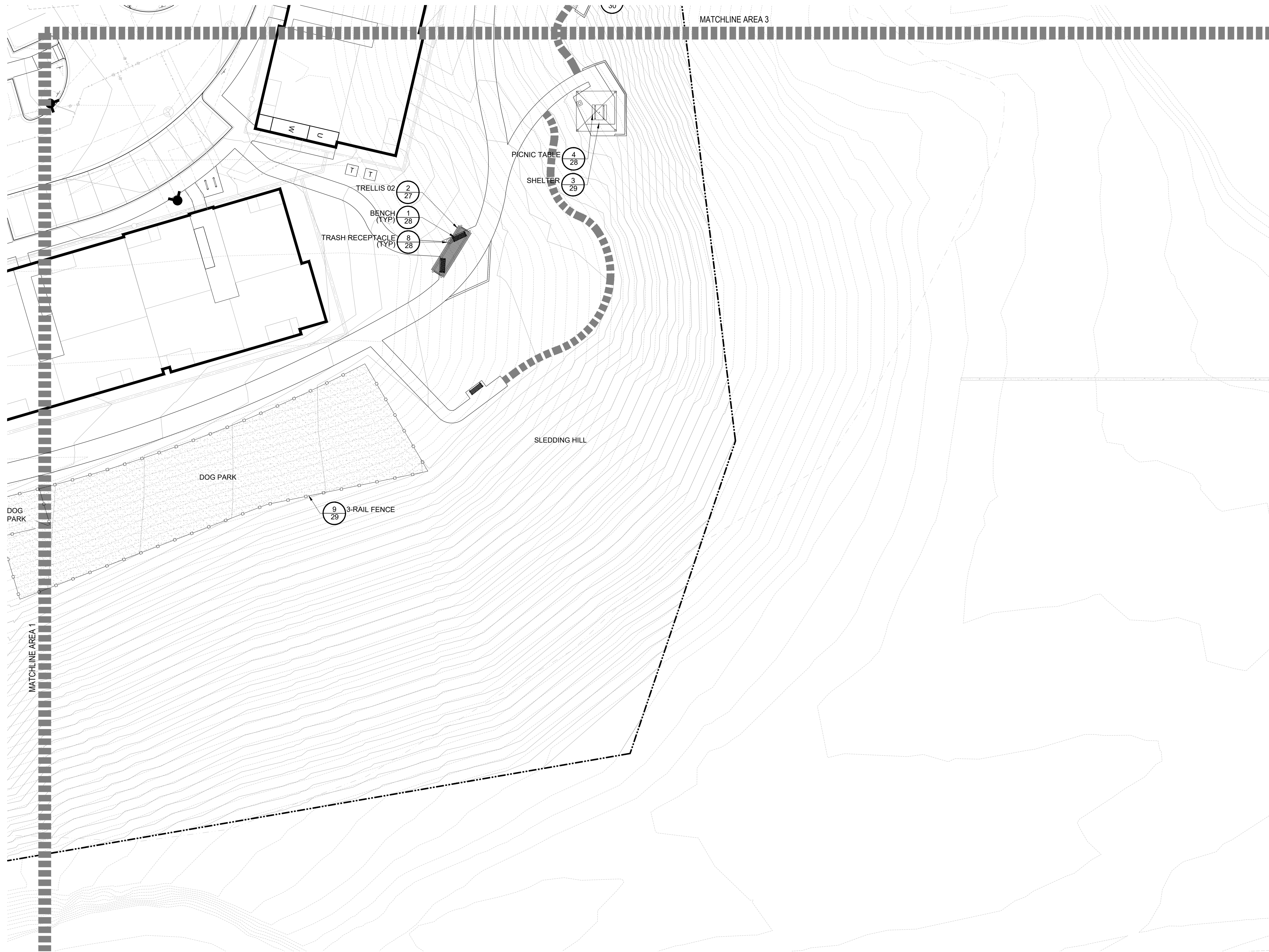
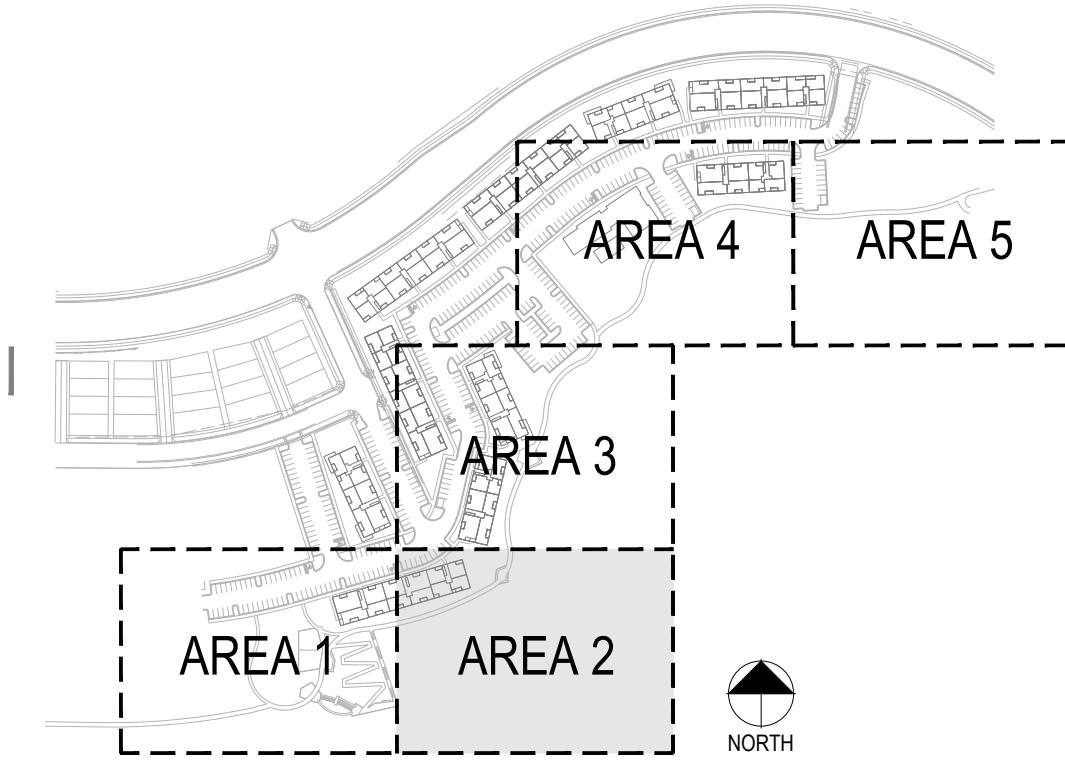
SHEET NUMBER

22

COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP



LEGEND

- BENCH
- TRASH RECEPTACLE
- GRILL
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- TABLE AND CHAIRS
- PICNIC TABLE
- ADIRONDACK CHAIR
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SCALE: 1"=20'



1 PARK AREA 2

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TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE

PARK PLAN AREA 2

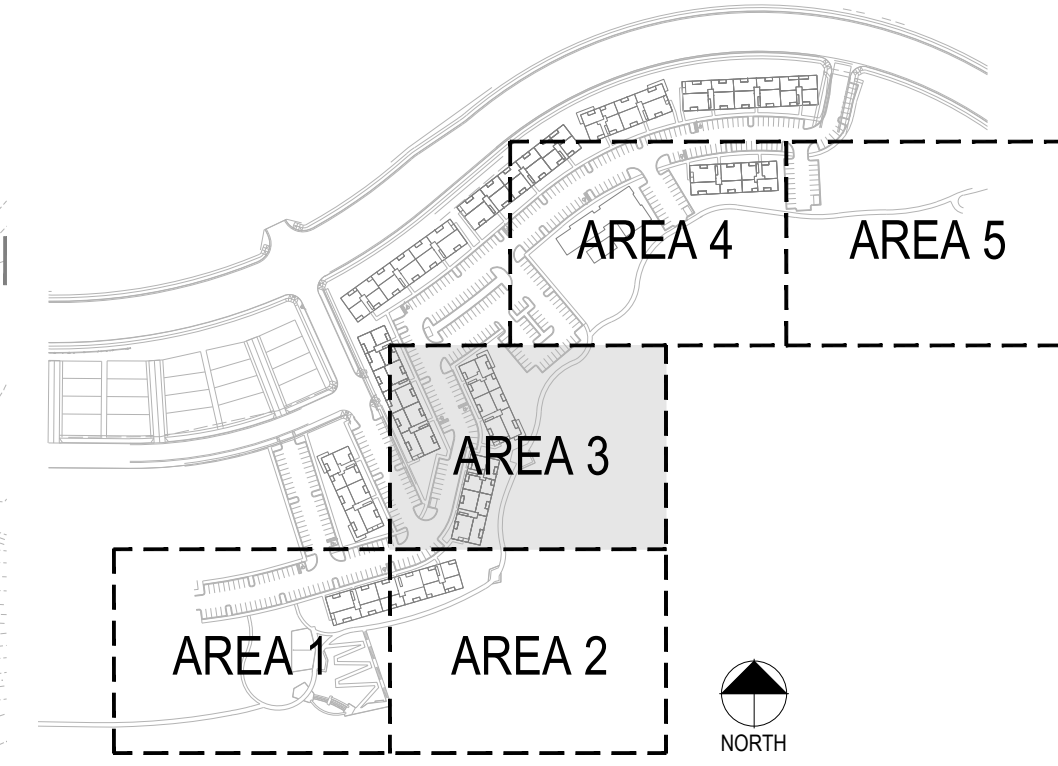
SHEET NUMBER

23

COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP



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80134

SHEET TITLE

**PARK PLAN
AREA 3**

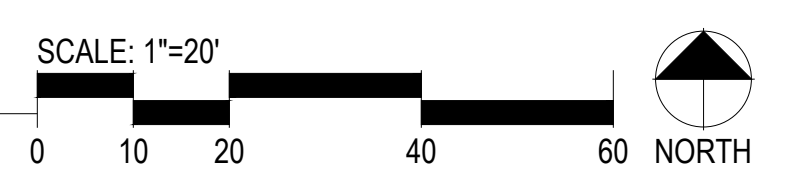
SHEET NUMBER

24



LEGEND

- BENCH
- TRASH RECEPTACLE
- GRILL
- PET WASTE STATION
- BIKE RACK
- TABLE AND CHAIRS
- PICNIC TABLE
- ADIRONDACK CHAIR
- PING PONG TABLE
- 3-RAIL FENCE
- OUTDOOR FITNESS EQUIP.
- TRELLIS
- 16' SQUARE SHELTER
- LOG JUMPER
- DECK

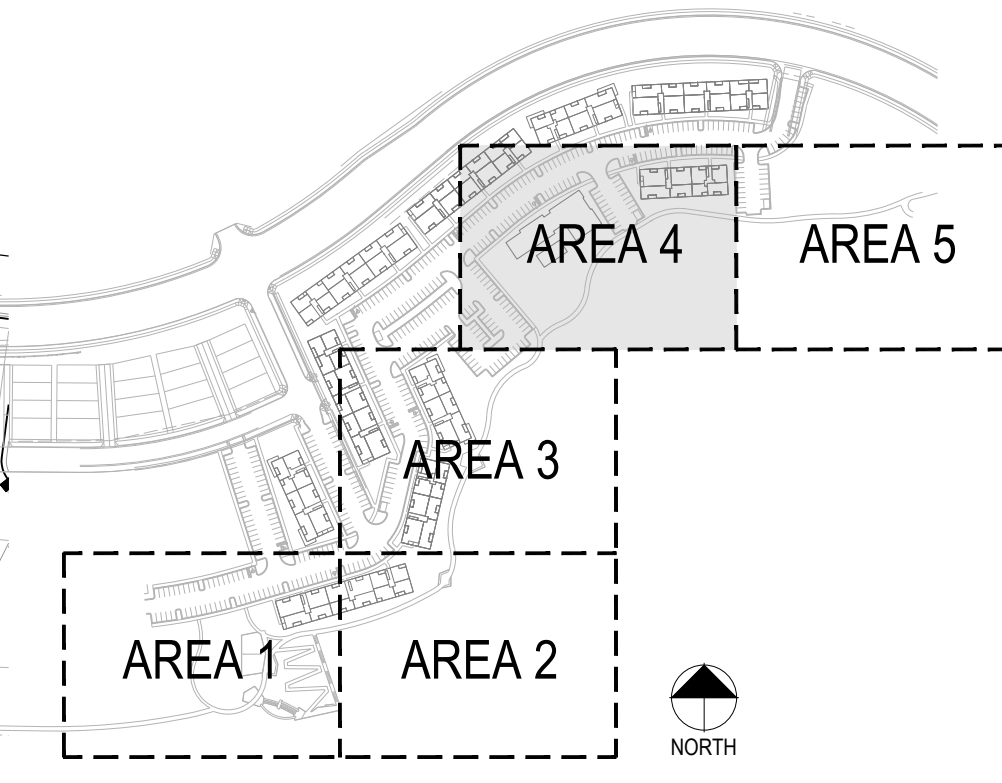


1 PARK AREA 3

COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

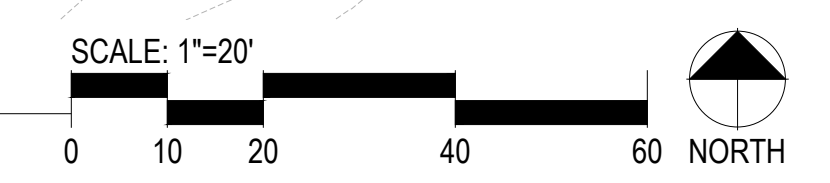
LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
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TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP



LEGEND

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1 PARK AREA 4

MATCHLINE AREA 3

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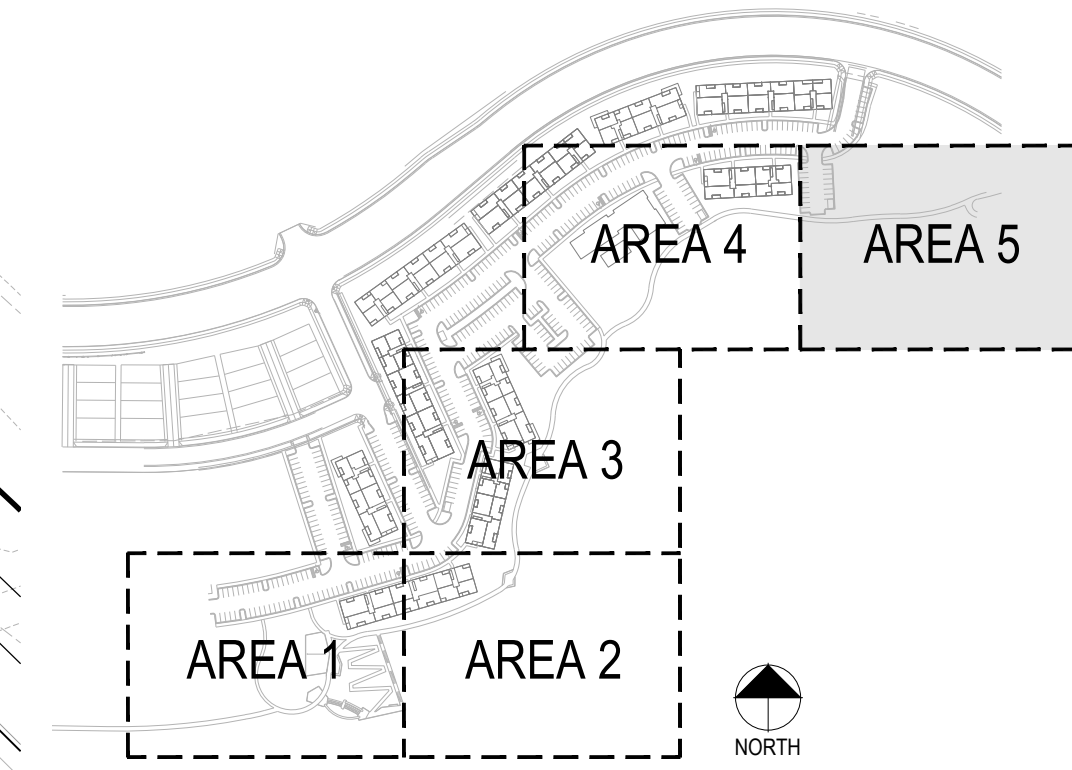
SHEET TITLE
**PARK PLAN
AREA 4**

SHEET NUMBER
25

COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
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KEY MAP



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LEGEND

- BENCH
- TRASH RECEPTACLE
- GRILL
- PET WASTE STATION
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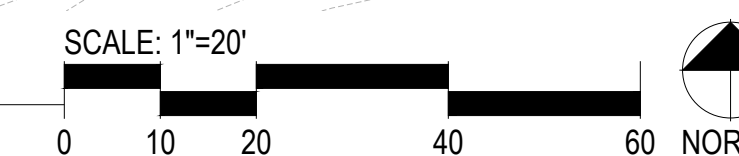
SHEET TITLE

**PARK PLAN
AREA 5**

SHEET NUMBER

26

1 PARK AREA 5



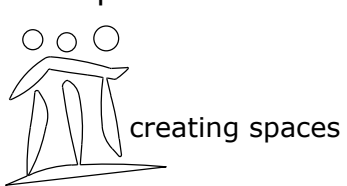
COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
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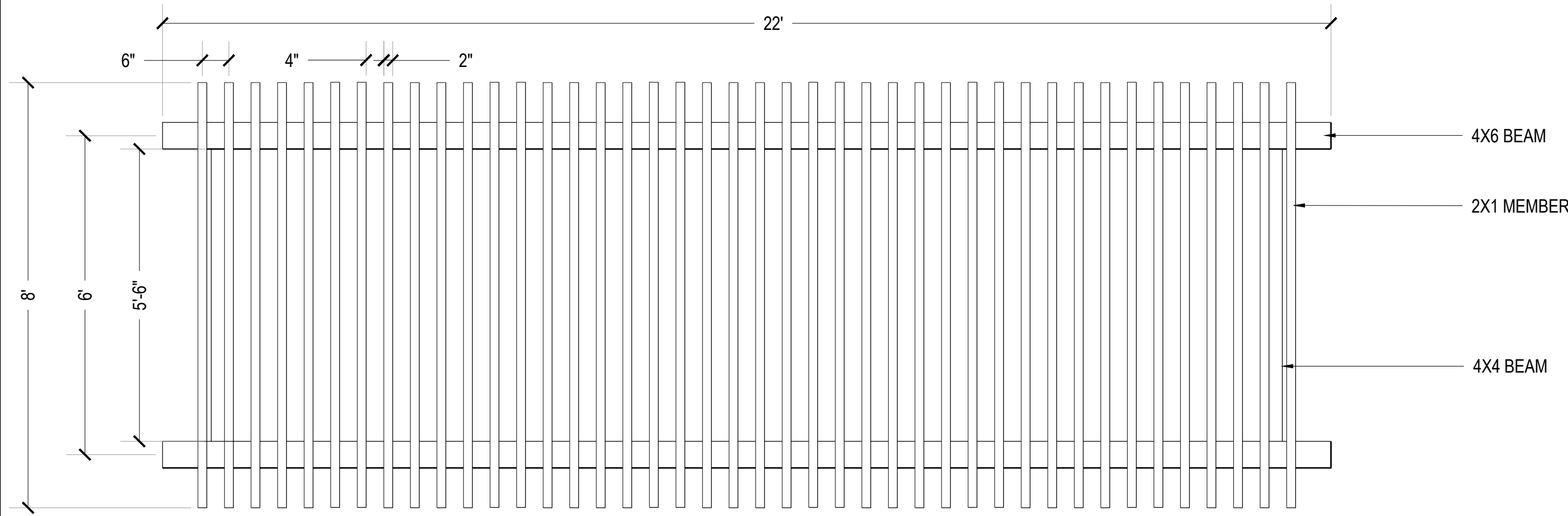


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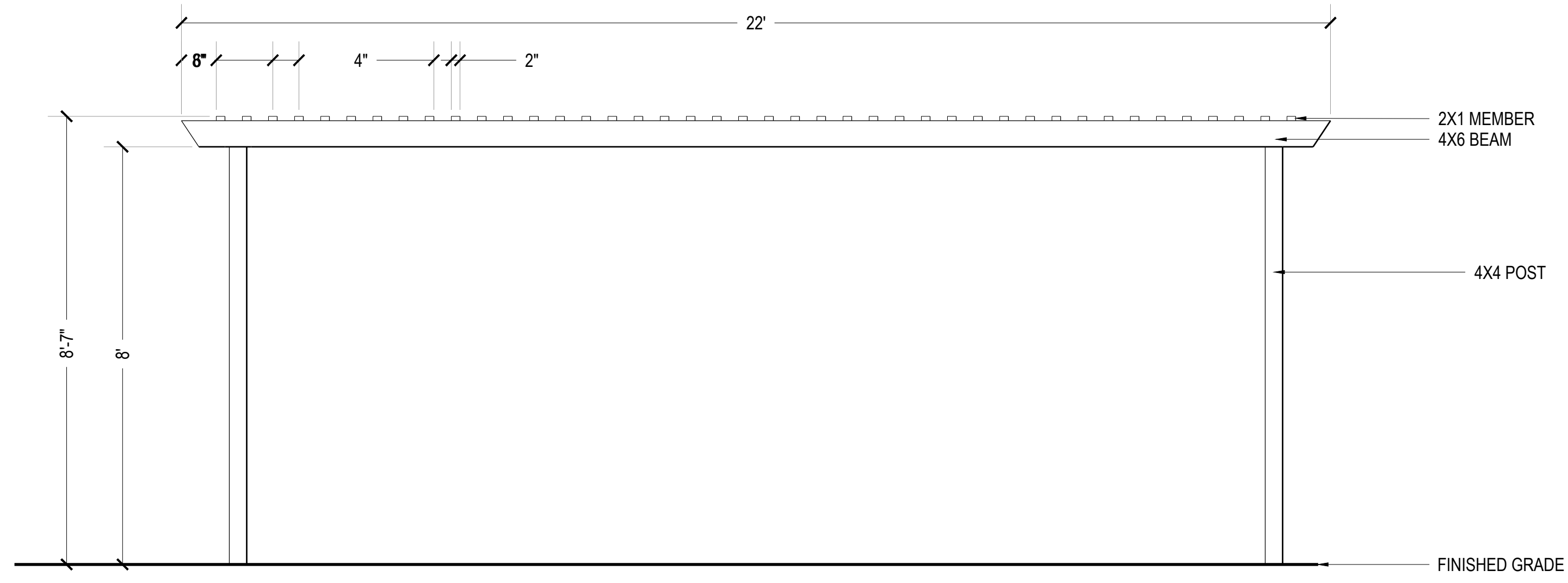
SHEET TITLE
SITE DETAILS

SHEET NUMBER
27

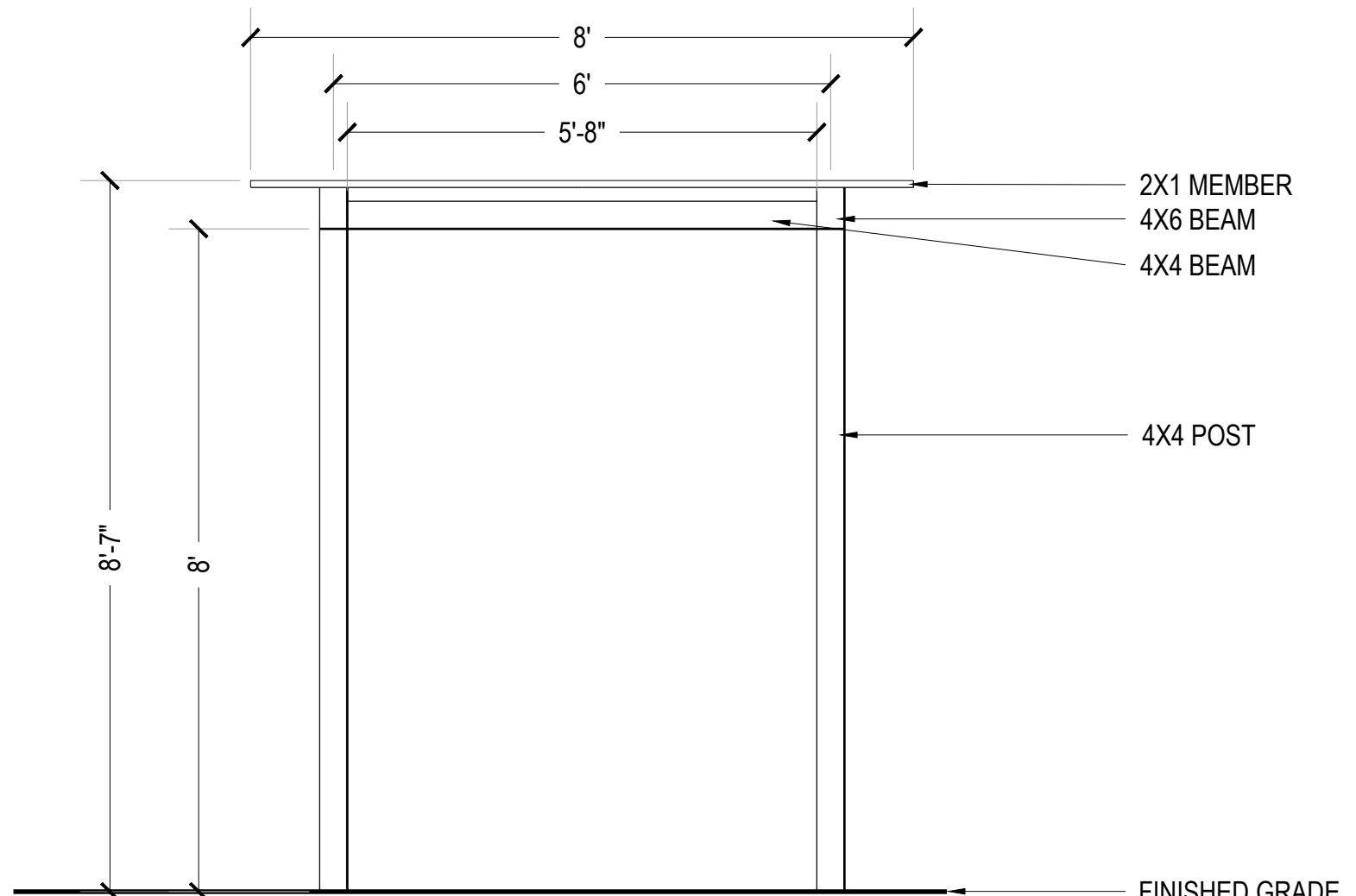


PLAN VIEW

1 TRELLIS_01
Scale: NTS



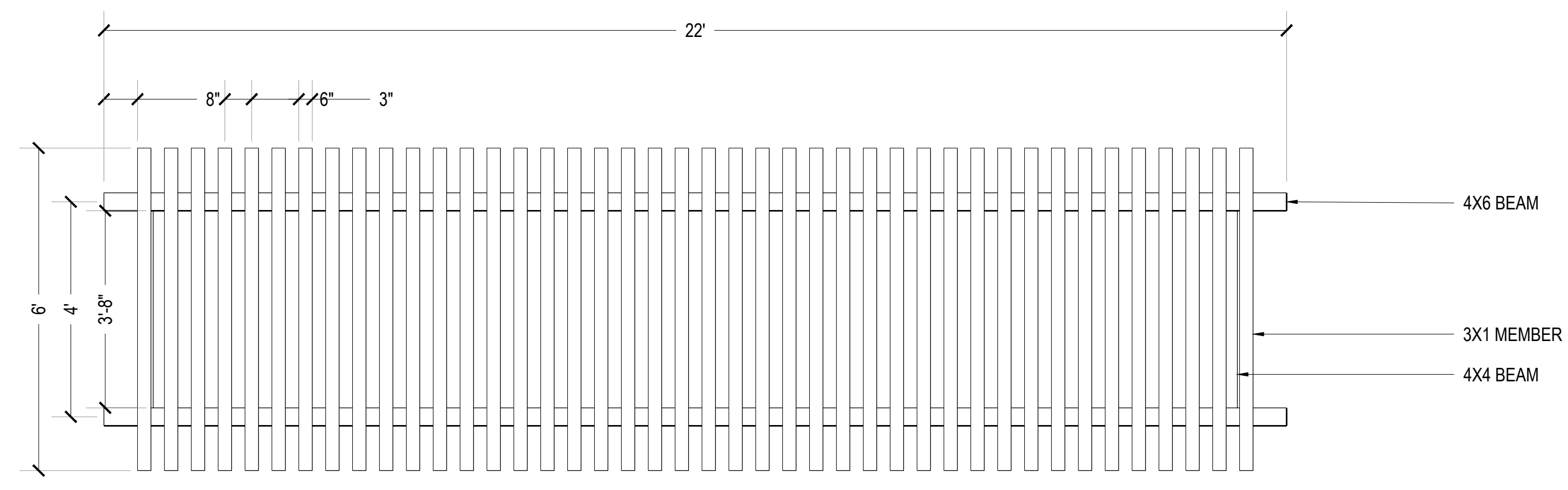
ELEVATION A



ELEVATION B

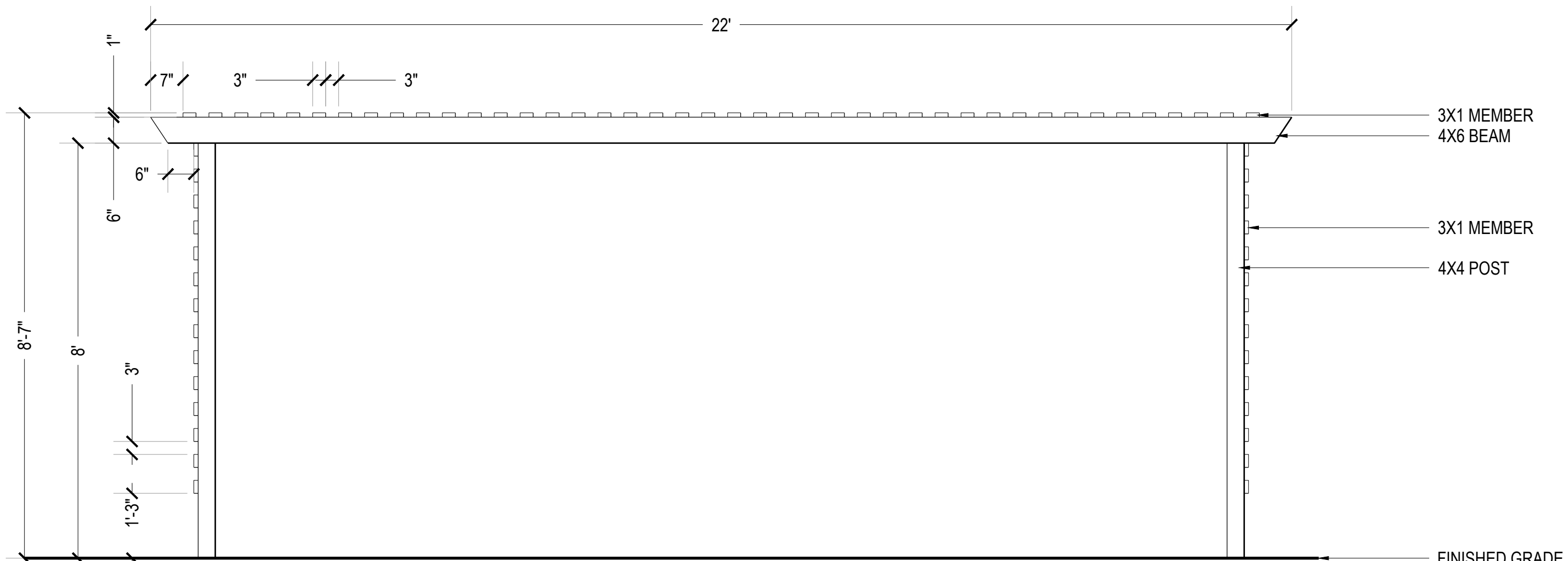
1 TRELLIS_01
Scale: NTS

- NOTES:
1. ALL MEMBERS TO BE REDWOOD OR APPROVED EQUAL.
 2. WOOD MEMBERS TO BE CLEAR COAT STAINED WITH WATER SEAL.
 3. STRUCTURAL ENGINEERING AND FOOTING BY OTHERS, VERIFY WITH GEOTECH REPORT.
 4. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO OWNER'S REP. FOR REVIEW.



PLAN VIEW

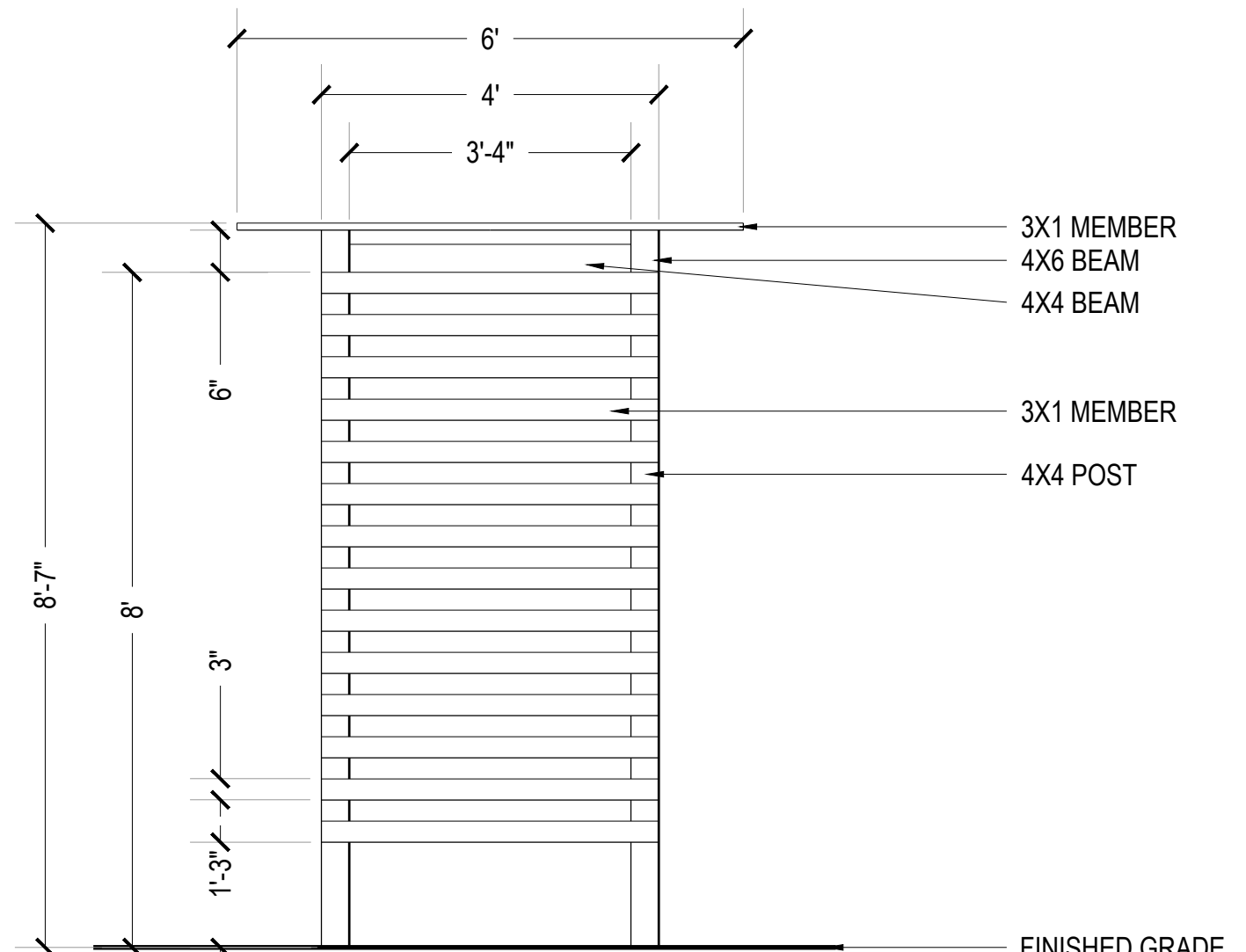
2 TRELLIS_02
Scale: NTS



ELEVATION A

2 TRELLIS_02
Scale: NTS

- NOTES:
1. ALL MEMBERS TO BE REDWOOD OR APPROVED EQUAL.
 2. WOOD MEMBERS TO BE CLEAR COAT STAINED FOR WATER SEAL.
 3. STRUCTURAL ENGINEERING AND FOOTING BY OTHERS, VERIFY WITH GEOTECH REPORT.
 4. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO OWNER'S REP. FOR REVIEW.



ELEVATION B

COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
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TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



CORONADO THERMORY 6' CONTOUR BENCH
ITEM #: CR2780T
SIZE: 35"H x 23"W x 76"L
COLOR: THERMORY
FRAME COLOR: TEXTURED BRONZE
INSTALL PER MANUFACTURER'S
SPECS. OR APPROVED EQUAL.

SUPPLIER: ANOVA
WEBSITE: ANOVA.COM

1 6'_BENCH
Scale: NTS



CONTEMPO ROUND FIRE TABLE, 12" STAR
BURNER
ITEM #: 782-BA-11-M2NC
MANUFACTURER: AMERICAN FIRE DESIGNS
SIZE: 47"DIA, 15.5"H
COLOR: BLACK LAVA
FUEL: NATURAL GAS, PROPANE
INSTALL PER MANUFACTURER'S
SPECS. OR APPROVED EQUAL.

SUPPLIER: STAR FIRE DIRECT
WEBSITE: STARFIREDIRECT.COM

2 FIRE_PIT
Scale: NTS



BEACON HILL THERMORY
ITEM #: BH1840T
SIZE: 36"H x 92"Sq.
FRAME COLOR: TEXTURED BRONZE
COLOR: THERMORY
INSTALL PER MANUFACTURER'S
SPECS. OR APPROVED EQUAL.

SUPPLIER: ANOVA
WEBSITE: ANOVA.COM

3 TABLE_&_CHAIRS
Scale: NTS



WAINWRIGHT 6' PICNIC TABLE AND
BENCHES SET
ITEM #: RCPWT63
SIZE: 29"H x 64"W x 72"L
FRAME COLOR: BLACK
COLOR: MAHOGANY, TEXTURED BLACK
FRAME
INSTALL PER MANUFACTURER'S
SPECS. OR APPROVED EQUAL.

SUPPLIER: ANOVA
WEBSITE: ANOVA.COM

4 PICNIC_TABLE
Scale: NTS



PLANK ADIRONDACK CHAIR
ITEM #: PLK60T
SIZE: 46"H x 28"W x 36"D
COLOR: MAHOGANY
INSTALL PER MANUFACTURER'S
SPECS. OR APPROVED EQUAL.

SUPPLIER: ANOVA
WEBSITE: ANOVA.COM

5 ADIRONDACK_CHAIR
Scale: NTS



STANDARD PARK GRILL
ITEM #: 100PRG
SIZE: 10"H x 20"W x 15"D
INSTALL PER MANUFACTURER'S
SPECS. OR APPROVED EQUAL.

SUPPLIER: ANOVA
WEBSITE: ANOVA.COM

6 PARK_GRILL



STREETSIDE 5-BIKE/3-LOOP RACK,
FUSION ADV FINISH, SURFACE MOUNT
ITEM #: LBR5PVC SURF
SIZE: 36"H x 42"W
COLOR: TEXTURED BRONZE
INSTALL PER MANUFACTURER'S
SPECS. OR APPROVED EQUAL.

SUPPLIER: ANOVA
WEBSITE: ANOVA.COM

7 BIKE_RACK
Scale: NTS



BEACON HILL 35 GAL THERMORY
RECEPTACLE, OPEN TOP
ITEM #: BH1835T
SIZE: 32"H x 23"Sq.
FRAME COLOR: TEXTURED BRONZE
COLOR: THERMORY - HORIZONTAL
INSTALL PER MANUFACTURER'S
SPECS. OR APPROVED EQUAL.

SUPPLIER: ANOVA
WEBSITE: ANOVA.COM

8 RECEPTACLE



COMMERCIAL GRADE SUSPENDED E26
MODEL: LS-MS-24-100-BK
WATTAGE: 25W PER SOCKET
INSTALL PER MANUFACTURER'S
SPECS. OR APPROVED EQUAL.

SUPPLIER: AMERICAN LIGHTING
WEBSITE: AMERICANLIGHTING.COM

9 FESTOON_LIGHTS
Scale: NTS

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OF DOUGLAS, COLORADO
80134

SHEET TITLE
SITE DETAILS

SHEET NUMBER
28

COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



PET STATION
MODEL: 7408-R, COMPLETE DOG WASTE STATION WITH ROLL DISPENSER,
COLOR: GREEN
INSTALL PER MANUFACTURER'S SPECS OR APPROVED EQUAL.

CONTACT: ATOZ RECREATION
PHONE: 303.670.3789
WWW.ATOZRECREATION.COM

1 PET_WASTE_STATION
Scale: NTS



SUSPENSION TRAINER, MAGNETIC BELLS,
CORE TWIST
ITEM #: FAZ20401-0900
SIZE: 34'5" L x 3'6" W x 10'11" H
COLOR: ORANGE
INSTALL PER MANUFACTURER'S SPECS. OR APPROVED EQUAL.

SUPPLIER: KOMPAN
WEBSITE: KOMPAN.US

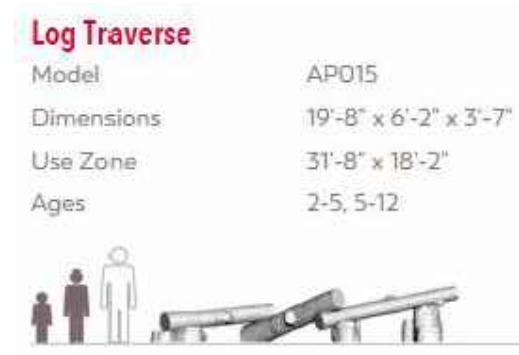
2 KOMPAN_OUTDOOR_FITNESS
Scale: NTS



SQUARE SHELTER
MODEL: SQR 16
MATERIAL: STEEL / MULTI-RIB ROOF
ROOF COLOR: BUCKSKIN
STRUCTURE COLOR: ALMOND
INSTALL PER MANUFACTURER'S SPECS. OR APPROVED EQUAL.

SUPPLIER: POLIGON
WEBSITE: POLIGON.COM

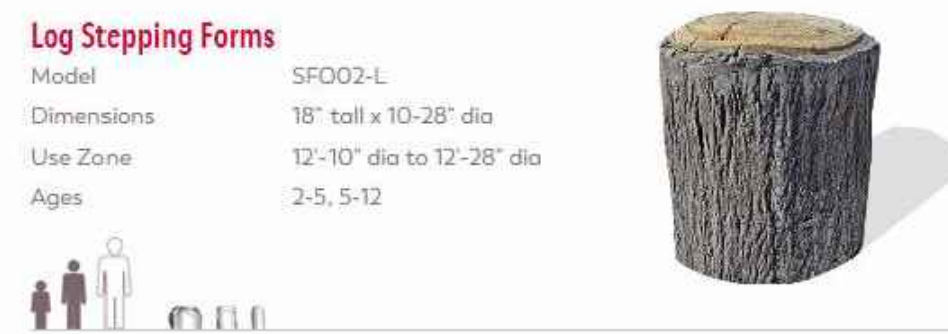
3 SHELTER
Scale: NTS



LOG TRAVERSE
ITEM #: AP015
SIZE: 198"L X 62"H X 37"W
INSTALL PER MANUFACTURER'S SPECS.

SUPPLIER: ID SCULPTURE
WEBSITE: IDSCULPTURE.COM

4 LOG_TRAVERSE
Scale: NTS



LOG STEP
ITEM #: SF002-L
SIZE: 18"H X 24"DIA
INSTALL PER MANUFACTURER'S SPECS.

SUPPLIER: ID SCULPTURE
WEBSITE: IDSCULPTURE.COM

5 LOG_STEPPER
Scale: NTS



CUSTOM ON GRADE ALUMINUM SLIDE
SIZE SLIDE 01: 72'L X 3'W
SIZE SLIDE 02: 35'L X 3'W
MATERIAL: ALUMINUM
INSTALL PER MANUFACTURER'S SPECS. OR APPROVED EQUAL.

SUPPLIER: RECREATION PLUS
WEBSITE: RECREATIONPLUS.COM

6 SLIDE_ON_GRADE
Scale: NTS



CUSTOM CLIMBING ROPE NET
SIZE: 55'L X 4'W
COLOR: STANDARD/NATURAL
INSTALL PER MANUFACTURER'S SPECS. OR APPROVED EQUAL.

SUPPLIER: RECREATION PLUS
WEBSITE: RECREATIONPLUS.COM

7 ROPE_CLIMBER
Scale: NTS



FIBAR PLAYGROUND SURFACE
MODEL: PIP
COLOR: TBD
INSTALL PER MANUFACTURER'S SPECS. OR APPROVED EQUAL.

SUPPLIER: RECREATION PLUS
WEBSITE: RECREATIONPLUS.COM

8 POURED-IN-PLACE_SURFACING
Scale: NTS



3-RAIL FENCE
MODEL: SPLIT RAIL WITH WIRE MESH
COLOR: CEDAR
INSTALL PER MANUFACTURER'S SPECS. OR APPROVED EQUAL.

CONTACT: SPLIT RAIL FENCE COMPANY
PHONE: 303-791-1997
WWW.SPLITRAILFENCECO.COM

9 3-RAIL_FENCE
Scale: NTS

PROJECT NUMBER
65120950

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01/12/2022

Landscape Architecture

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p.o. box 18287
denver, co 80218
1.303.531.4905 f.303.531.4908

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303-754-0741
www.merrick.com

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PROJECT
COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE

SITE DETAILS

SHEET NUMBER

COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



ML4: 4" PRO BEACH NET
SIZE: 39"H X 32"W
NET COLOR: WHITE
OPTIONS: STANDARD TOP & BOTTOM LINES,
STANDARD SIDE TENSION
INSTALL PER MANUFACTURER'S
SPECS. OR APPROVED EQUAL.

SUPPLIER: VOLLEYBALL USA
WEBSITE: VOLLEYBALLUSA.COM



UV-5000 OUTDOOR ALUMINUM POLES
SIZE: 10'6"H
INSTALL PER MANUFACTURER'S
SPECS. OR APPROVED EQUAL.

SUPPLIER: VOLLEYBALL USA
WEBSITE: VOLLEYBALLUSA.COM



RUBBER VOLLEYBALL CURB
SIZE: 6"W X 6"H X 72"L SECTIONS
TOTAL LF: 148'
MATERIAL: RUBBER
COLOR: BLACK
INSTALL PER MANUFACTURER'S
SPECS. OR APPROVED EQUAL.

SUPPLIER: VOLLEYBALL USA
WEBSITE: VOLLEYBALLUSA.COM

1 VOLLEYBALL_NET
Scale: NTS

2 VOLLEYBALL_POLES
Scale: NTS

3 VOLLEYBALL_RUBBER_CURB
Scale: NTS



2 INCH PRO ADJUSTABLE BOUNDARY LINES
COLOR: BLACK
INSTALL PER MANUFACTURER'S
SPECS. OR APPROVED EQUAL.

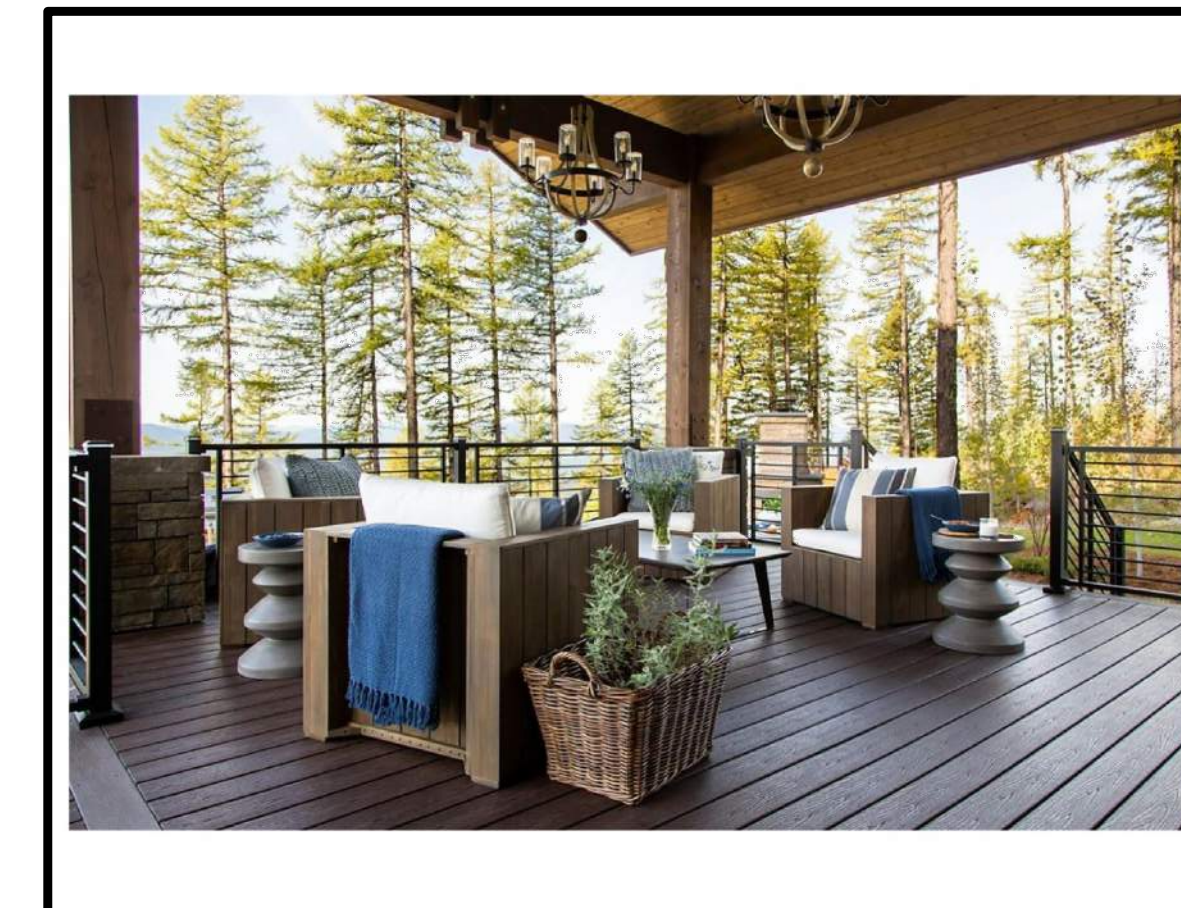
SUPPLIER: VOLLEYBALL USA
WEBSITE: VOLLEYBALLUSA.COM



CUSTOM SIGN PLAQUE
COLOR: ALUMINUM EDGE
STAND: 4X4 CEDAR POST
CUSTOM PIECE

4 VOLLEYBALL_BOUNDARIES
Scale: NTS

5 SIGN_PLAQUE
Scale: NTS



TREX DECKING
COLOR: VINTAGE LANTERN
INSTALL PER MANUFACTURER'S
INSTRUCTIONS

SUPPLIER: TREX
WEBSITE: TREX.COM

6 DECK
Scale: NTS

PROJECT NUMBER
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PROJECT
**COMPARK
VILLAGE
SOUTH**

TOWN OF PARKER, COUNTY
OF DOUGLAS, COLORADO
80134

SHEET TITLE
SITE DETAILS

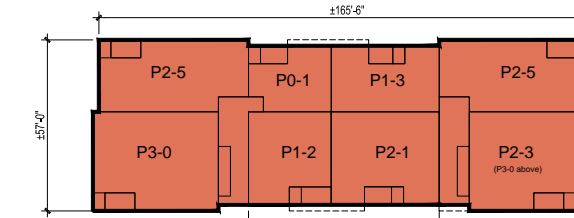
SHEET NUMBER

COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

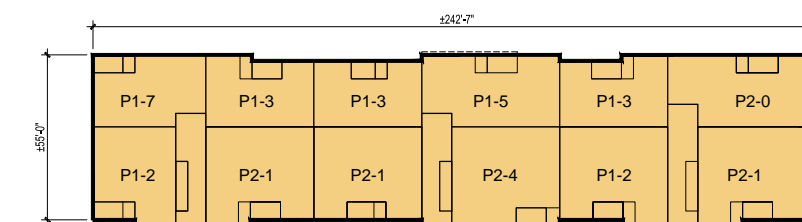
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TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



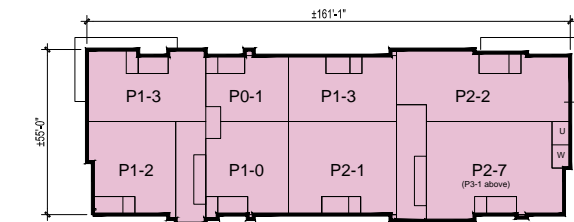
Building A - 24plex
(3-story)



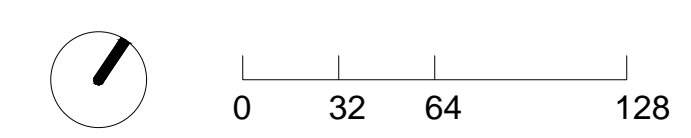
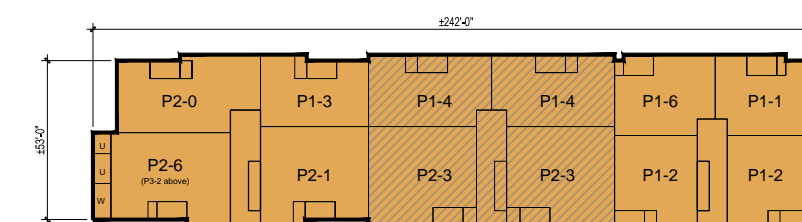
Building B - 36plex
(3-story)



Building C - 24plex w/ Wrap Porches
(3-story)



Building D - 36plex w/ Mezzanines
(3-Story Plus)



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PROJECT
COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE
BUILDING KEY PLAN - GROUND LEVEL

SHEET NUMBER
31

COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
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SOUTH

TOWN OF PARKER, COUNTY
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80134

SHEET TITLE
CONCEPTUAL
RENDERINGS

SHEET NUMBER

32

BUILDING # 8 PERSPECTIVE VIEW LOOKING NORTH
BUILDING TYPE A

COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
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SHEET TITLE
CONCEPTUAL
RENDERINGS

BUILDING # 2 PERSPECTIVE VIEW LOOKING WEST
BUILDING TYPE B

SHEET NUMBER
33

COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
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SHEET TITLE
CONCEPTUAL
RENDERINGS

BUILDING # 6 PERSPECTIVE VIEW LOOKING SOUTH
BUILDING TYPE C

SHEET NUMBER
34

COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
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SHEET TITLE
CONCEPTUAL
RENDERINGS

SHEET NUMBER
35

BUILDING # 4 PERSPECTIVE VIEW LOOKING NORTH
BUILDING TYPE D

COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
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SHEET TITLE
CONCEPTUAL
RENDERINGS

SHEET NUMBER
36

NORTHERN ENTRY LOOKING AT BUILDING # 4
BUILDING TYPE D

COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
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SHEET TITLE
CONCEPTUAL
RENDERINGS

SHEET NUMBER
37

BUILDING # 10 PERSPECTIVE VIEW LOOKING SOUTH
BUILDING TYPE C

COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
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80134

SHEET TITLE
CONCEPTUAL
RENDERINGS

CLUBHOUSE AMENITY BUILDING

SHEET NUMBER
38

COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
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SHEET TITLE
CONCEPTUAL
RENDERINGS

CLUBHOUSE AMENITY BUILDING

SHEET NUMBER
39

COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
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80134

SHEET TITLE
CONCEPTUAL
RENDERINGS

SHEET NUMBER
40

CLUBHOUSE AMENITY BUILDING

COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
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OF DOUGLAS, COLORADO
80134

SHEET TITLE
CONCEPTUAL
RENDERINGS

SHEET NUMBER

41

CLUBHOUSE AMENITY BUILDING

COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

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80134

SHEET TITLE
CONCEPTUAL
RENDERINGS

CLUBHOUSE AMENITY BUILDING

SHEET NUMBER
42

COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
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COMPARK
VILLAGE
SOUTH

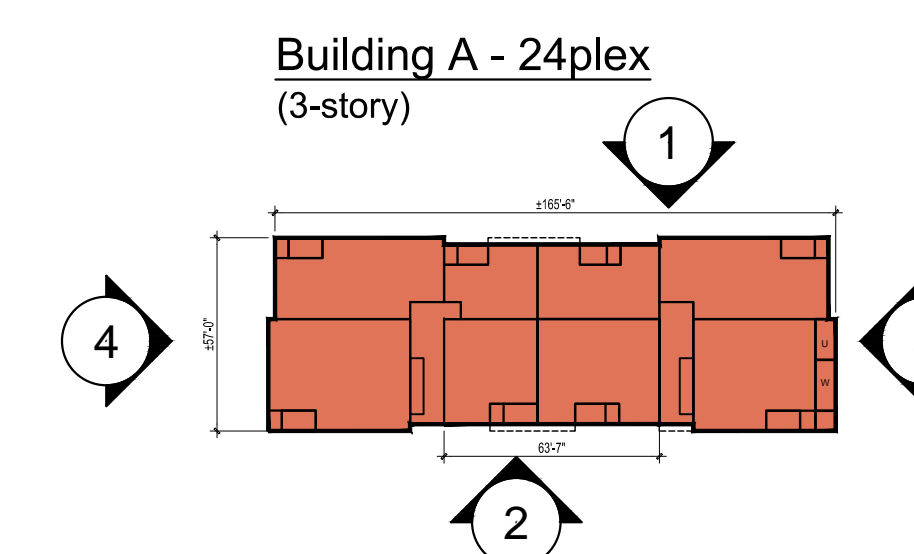
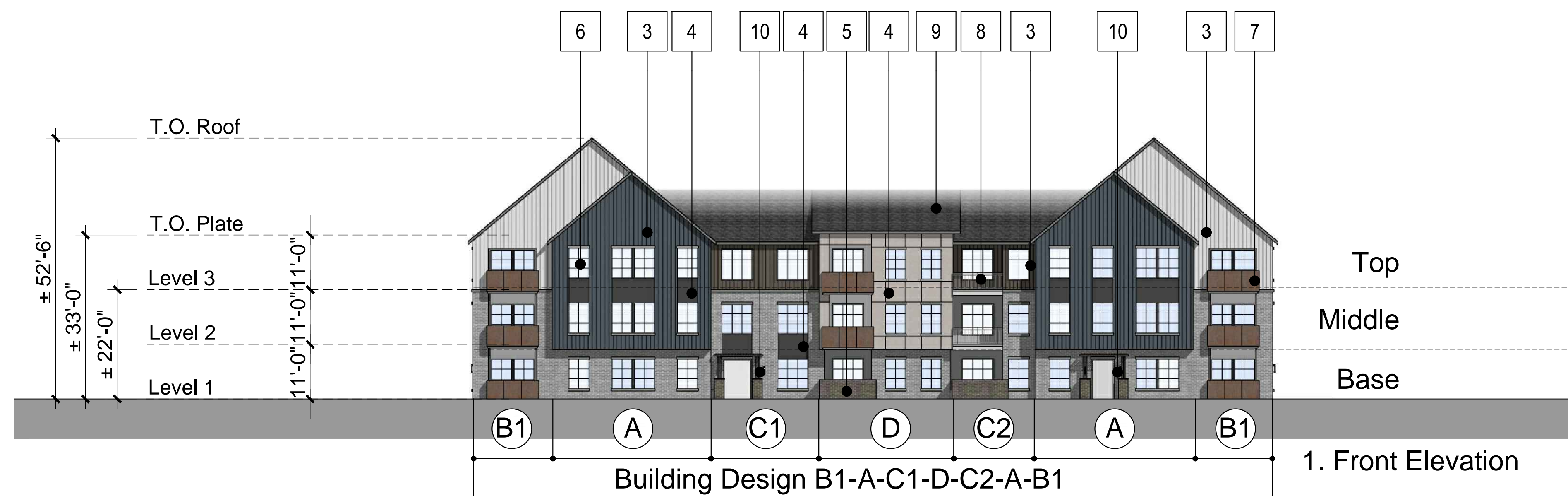
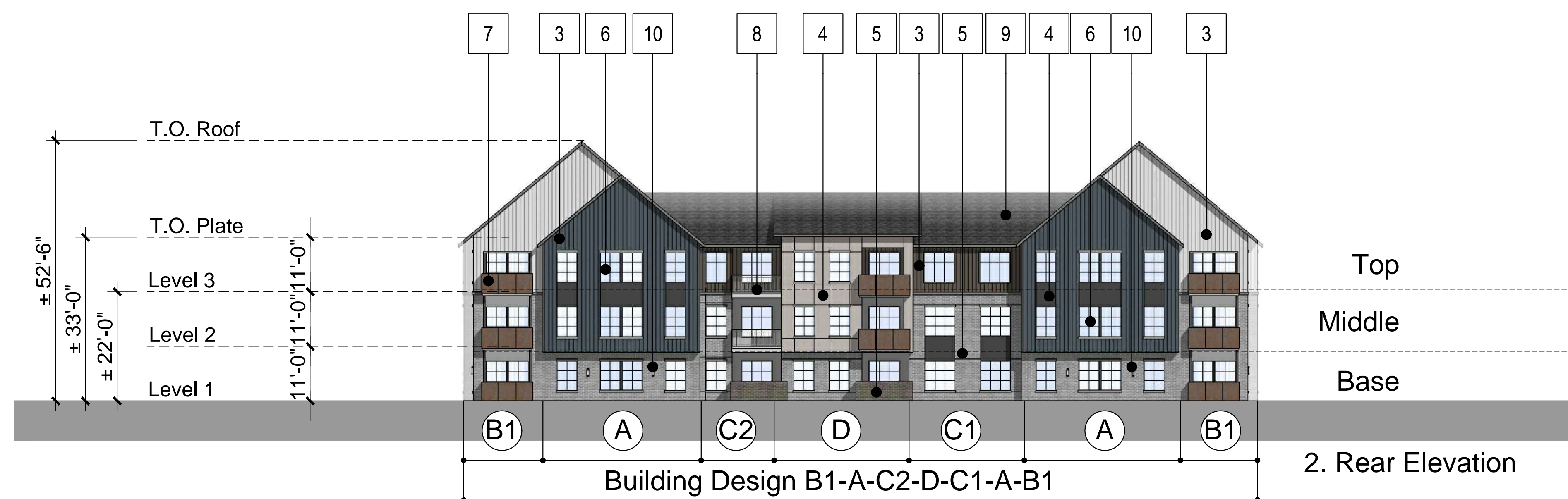
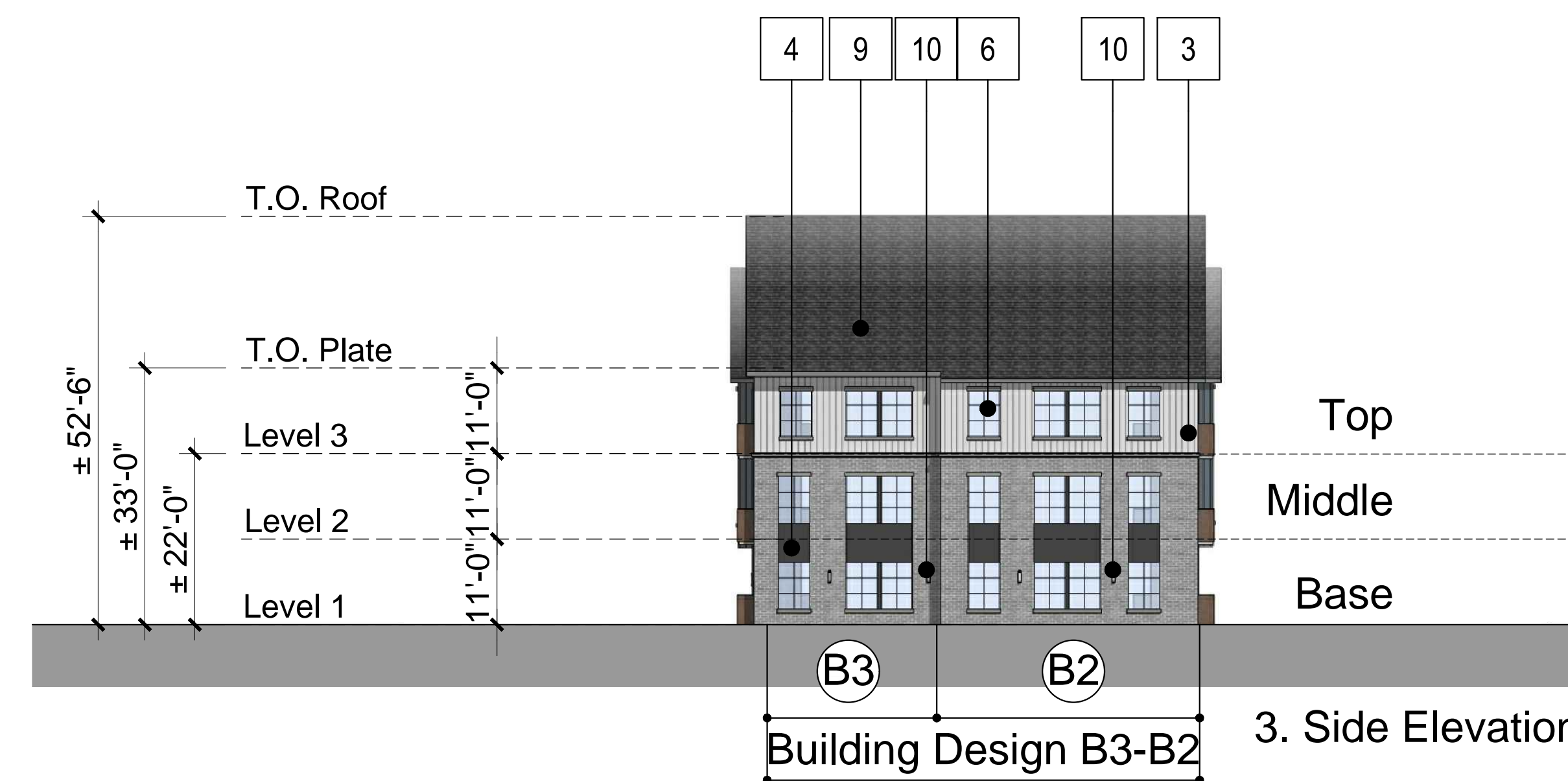
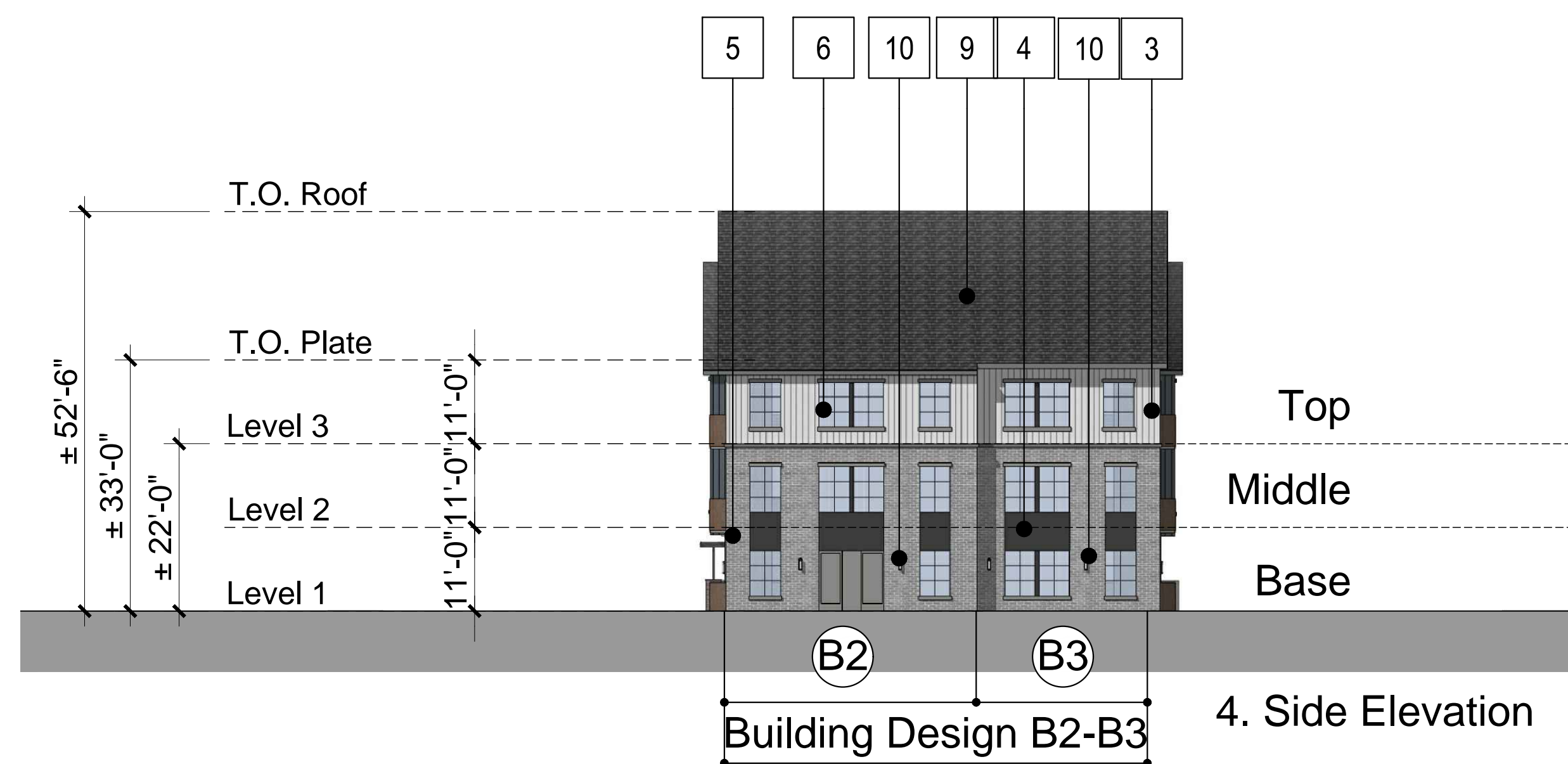
TOWN OF PARKER, COUNTY
OF DOUGLAS, COLORADO
80134

SHEET TITLE

BUILDING
A
ELEVATIONS

SHEET NUMBER

43

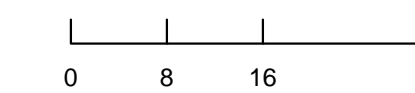


Material Legend:

1. Vertical Board and Batten
2. Cementitious Vertical Siding (Woodtone or similar)
3. Cementitious Vertical Siding (Painted)
4. Cementitious Panel
5. Brick
6. Vinyl Window
7. Metal Panel Railing
8. Metal Picket Railing
9. Shingle Roof
10. Light Fixture

Notes:

- See material boards for more information.
- See site plan for dimensions between entries.
- Ground floor transparency to be min. of 25% measured as a percentage of glazing at the base of the building.
- Upper floor transparency to be min. of 15% glazing, measured as a percentage of glazing on the middle of the building.
- Trim around windows shall be minimum of three and one-half (3 1/2) inches wide, and trim around doors shall be a minimum of (2) inches wide.



COMPARK VILLAGE SOUTH

F1 AMD 2 - MULTIFAMILY

SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



KEY MAP - n.t.s
BUILDING A

PROJECT NUMBER

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FRONT ELEVATION

Note: Trim around windows shall be a minimum of three and one-half (3-1/2) inches wide, and trim around doors shall be a minimum of two (2) inches wide.

1 BRICK LIGHT BRICK



3 VERTICAL SIDING (V-GROOVE)



4 VERTICAL SIDING (V-GROOVE)



5 VERTICAL SIDING (V-GROOVE)



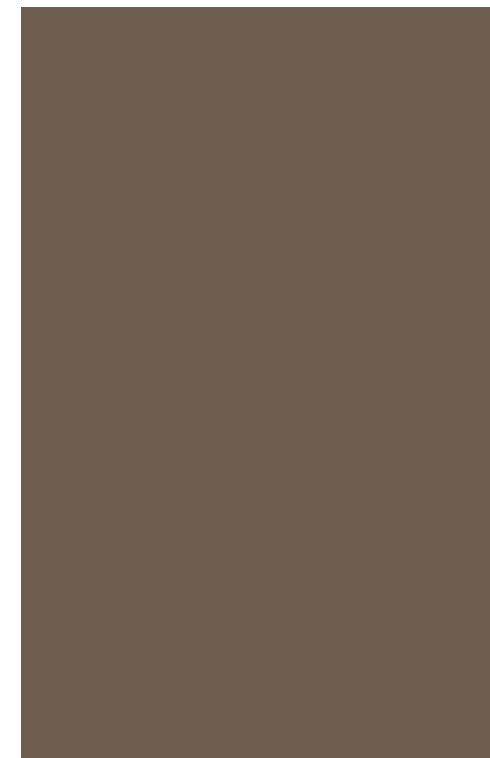
6 CEMENTITIOUS PANEL W/ REVEAL



2 BRICK DARK BRICK



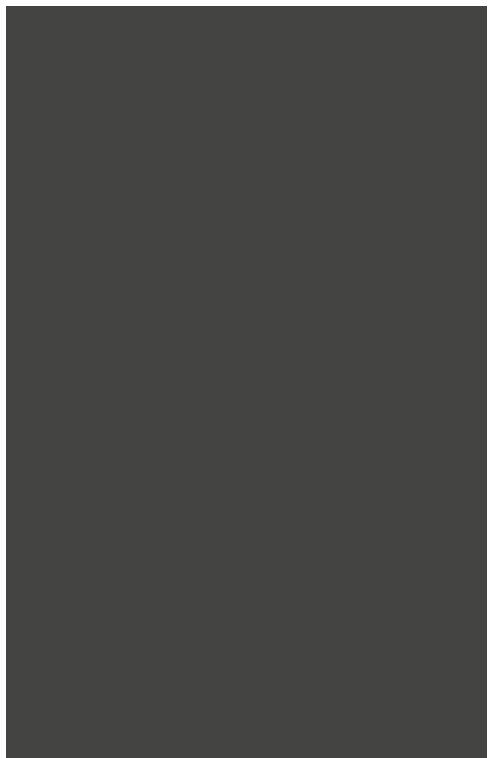
7 METAL PANEL



8 CEMENTITIOUS PANEL

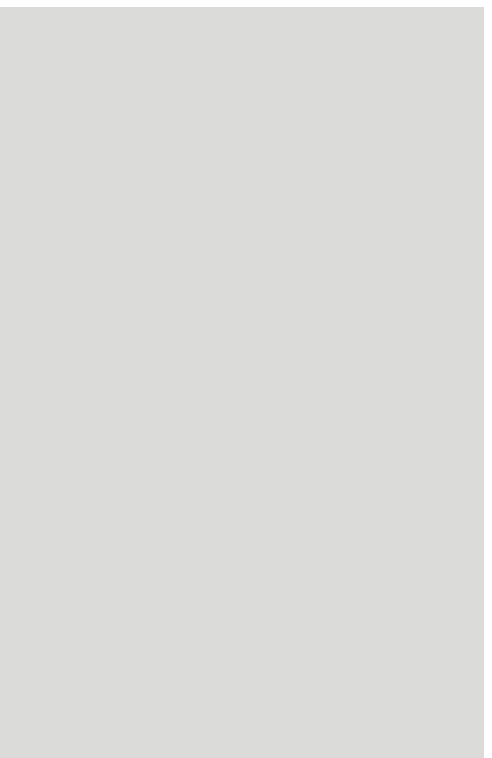


9 CEMENTITIOUS PANEL



ADOBE (NON-WHITE)

10 WINDOW FRAME



11 Roof



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COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE

BLDG A MATERIAL BOARD

SHEET NUMBER

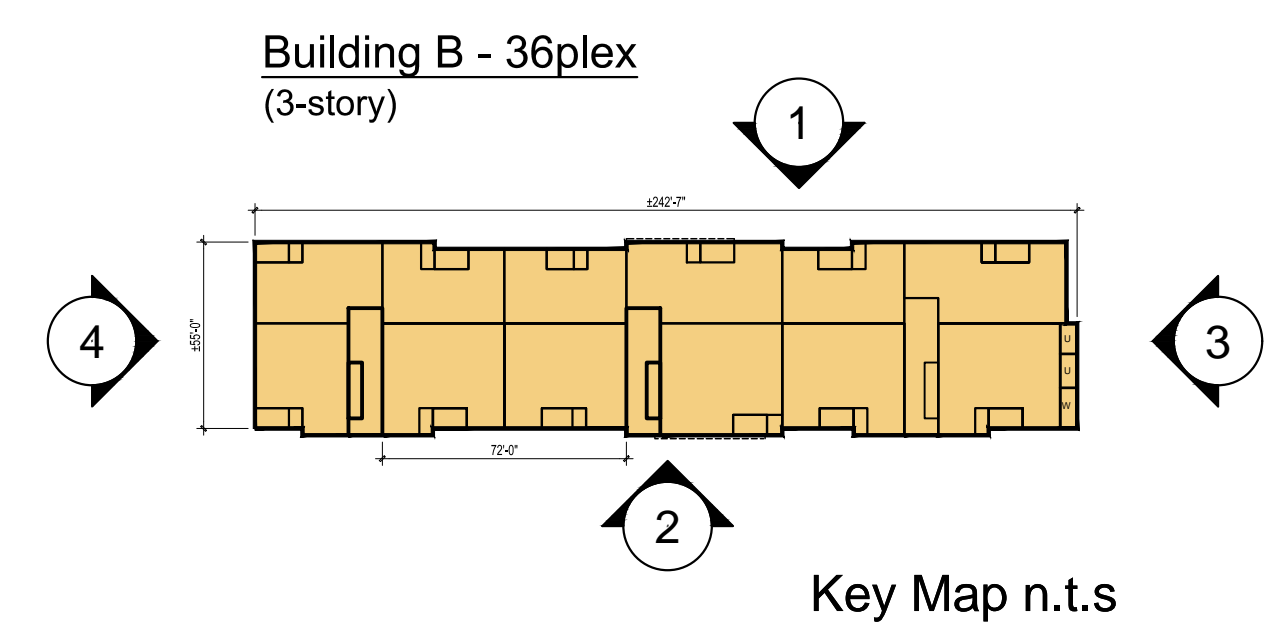
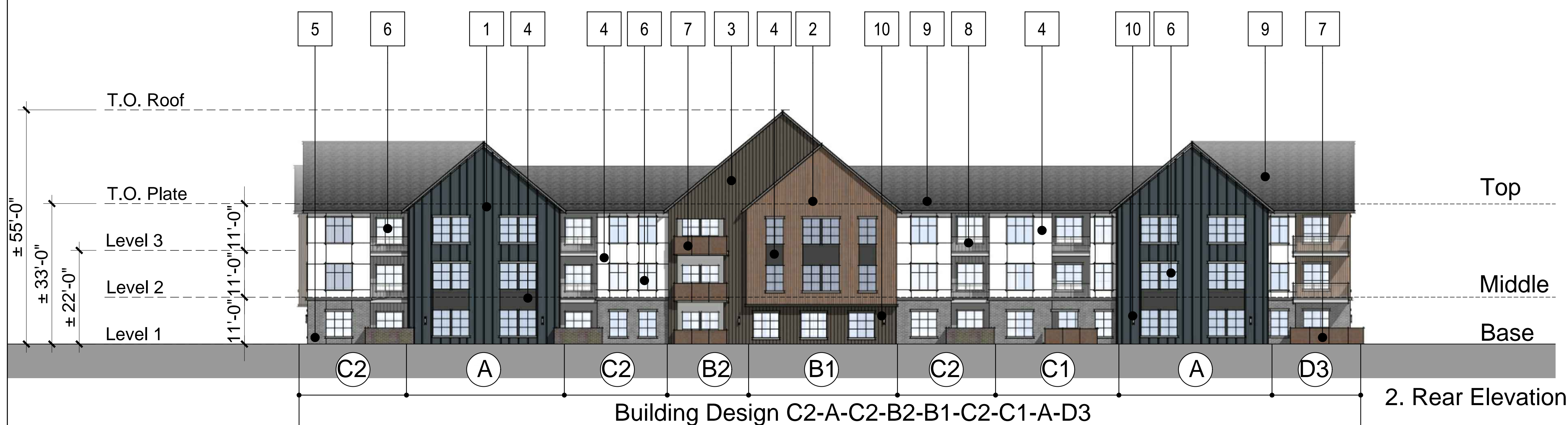
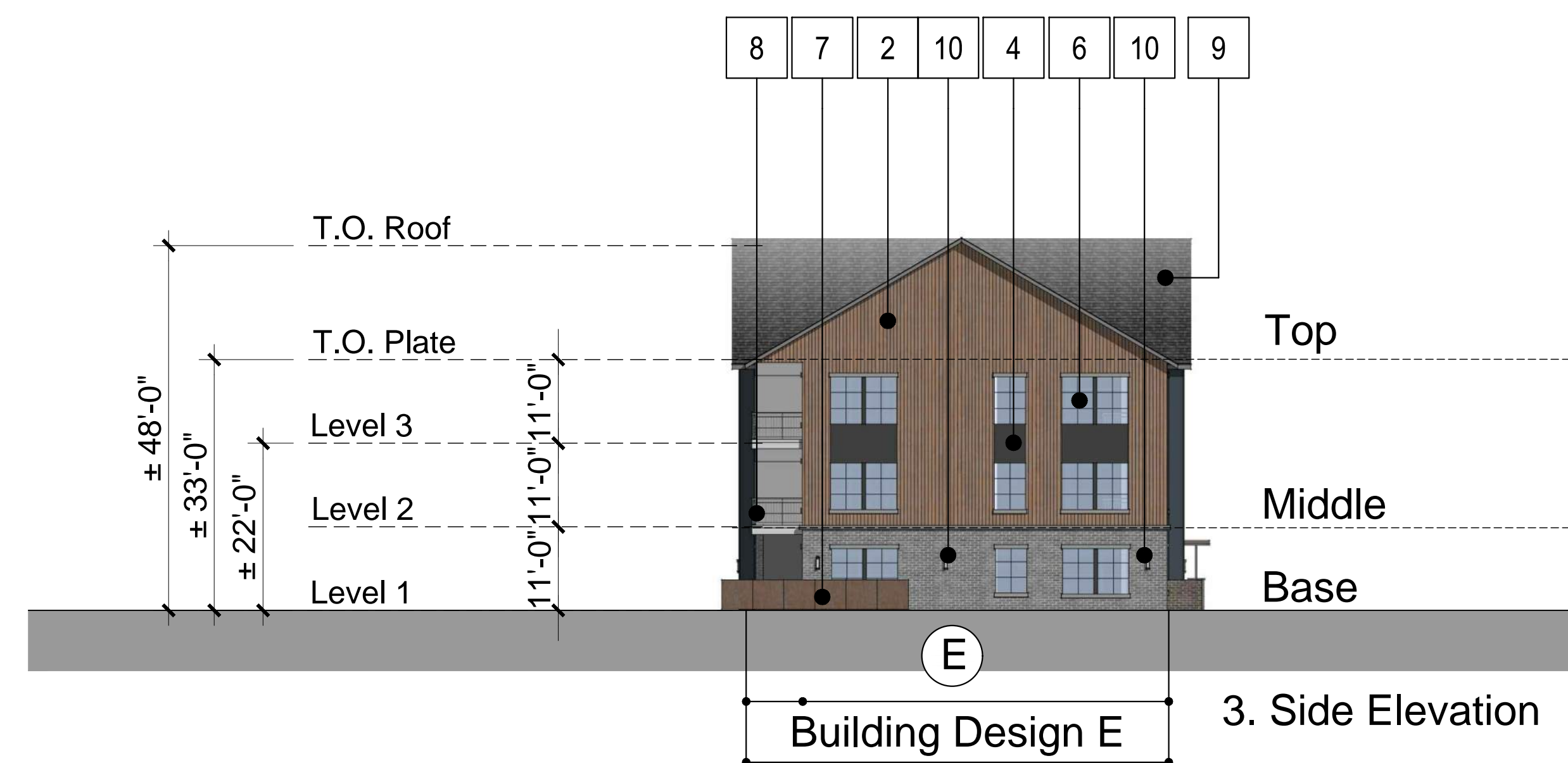
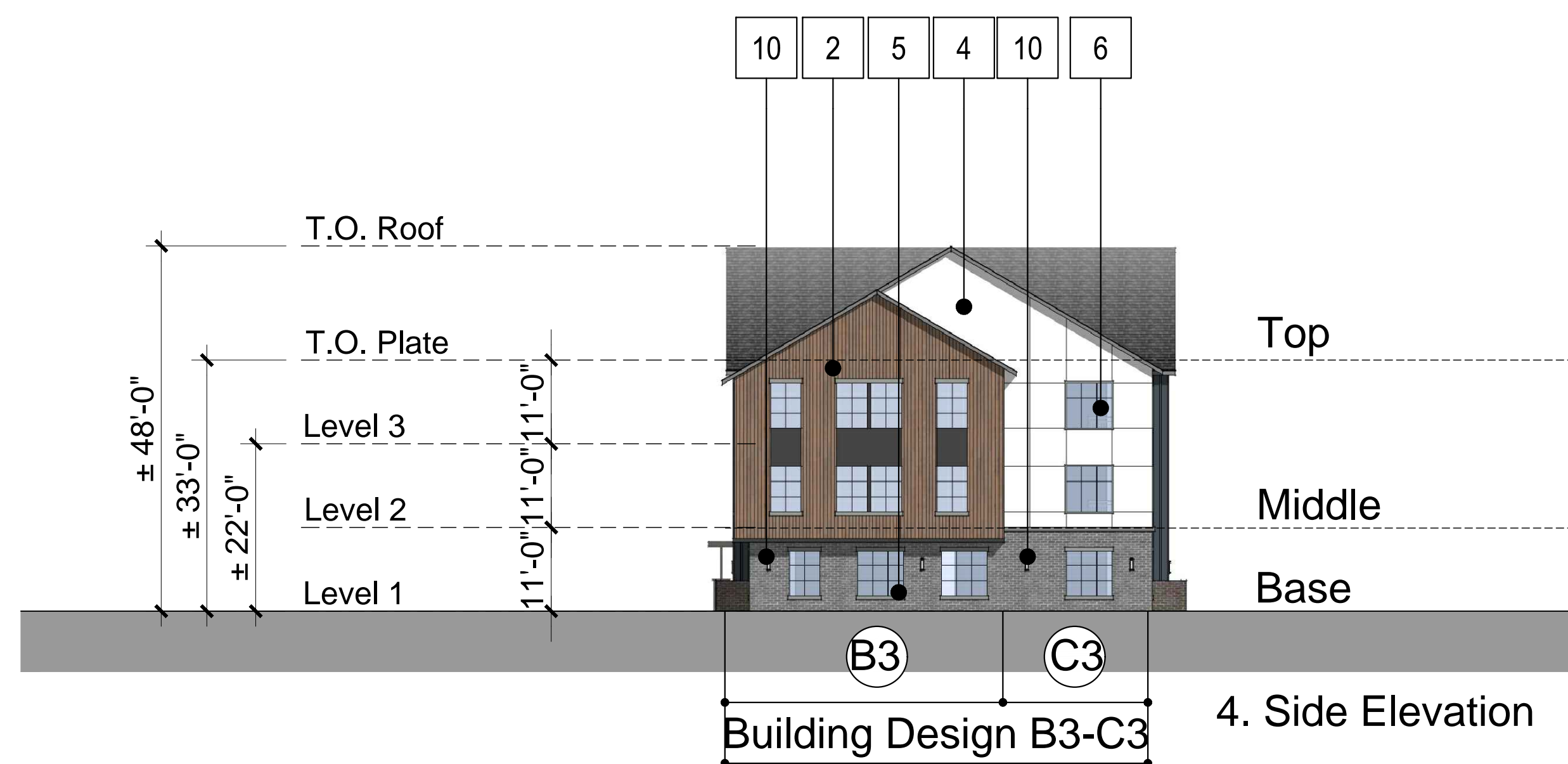
COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER
210512
DRAWN BY
DATE
01/14/2022



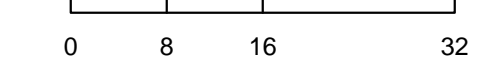
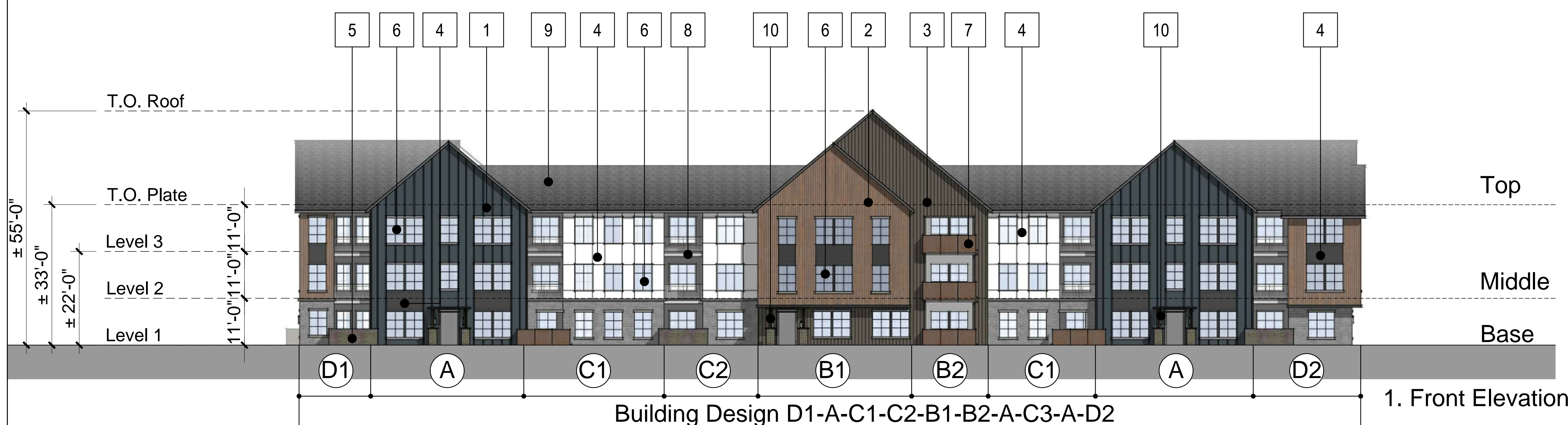
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Material Legend:

1. Vertical Board and Batten
2. Cementitious Vertical Siding (Woodtone or similar)
3. Cementitious Vertical Siding (Painted)
4. Cementitious Panel
5. Brick
6. Vinyl Window
7. Metal Panel Railing
8. Metal Picket Railing
9. Shingle Roof
10. Light Fixture

Notes:
-See material boards for more information.
-See site plan for dimensions between entries.
-Ground floor transparency to be min. of 25% measured as a percentage of glazing at the base of the building.
-Upper floor transparency to be min. of 15% glazing, measured as a percentage of glazing on the middle of the building.
-Trim around windows shall be minimum of three and one-half (3 1/2) inches wide, and trim around doors shall be a minimum of (2) inches wide.



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PROJECT
COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE
BUILDING B ELEVATIONS

SHEET NUMBER
45

COMPARK VILLAGE SOUTH
 F1 AMD 2 - MULTIFAMILY
 SITE PLAN
 LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
 SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER
 210512
 DRAWN BY
 DATE
 01/14/2022



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FRONT ELEVATION

Note: Trim around windows shall be a minimum of three and one-half (3-1/2) inches wide, and trim around doors shall be a minimum of two (2) inches wide.

1 BRICK LIGHT BRICK



3 VERTICAL SIDING (WOOD TONE)



4 VERTICAL SIDING (V-GROOVE)



5 BOARD AND BATTEN



6 CEMENTITIOUS PANEL W/ REVEAL



2 BRICK DARK BRICK



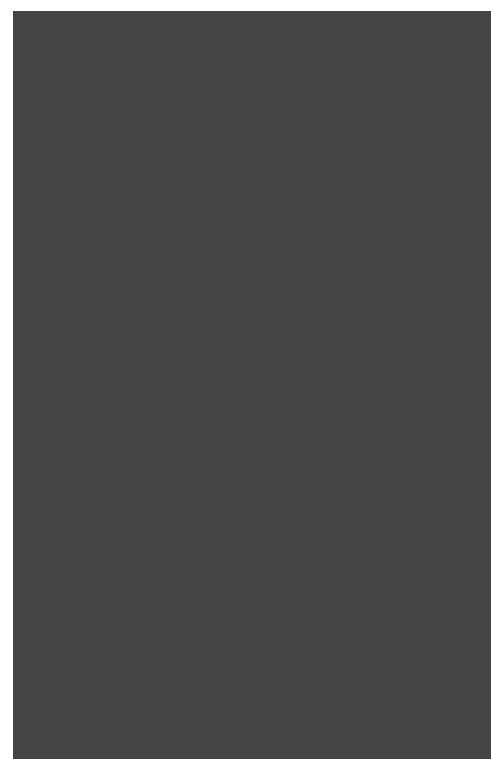
7 METAL PANEL



8 CEMENTITIOUS PANEL

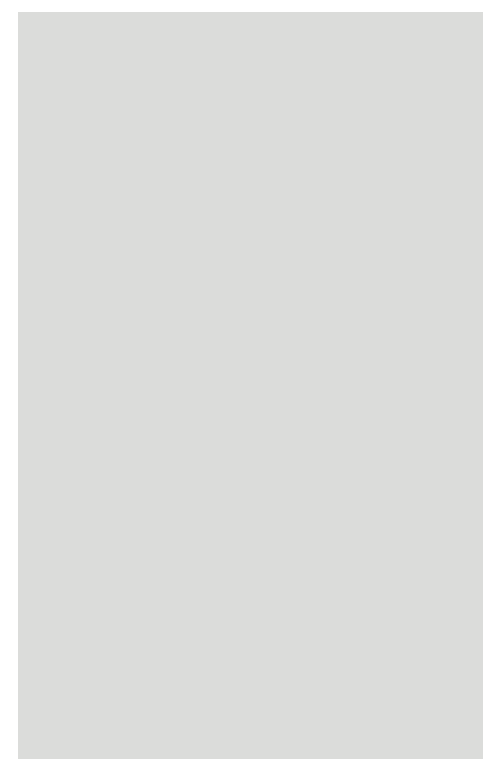


9 CEMENTITIOUS PANEL



ADOBE (NON-WHITE)

10 WINDOW FRAME



11 Roof



PREPARED FOR CENTURY COMMUNITIES



PROJECT

COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE

BLDG B MATERIAL BOARD

SHEET NUMBER

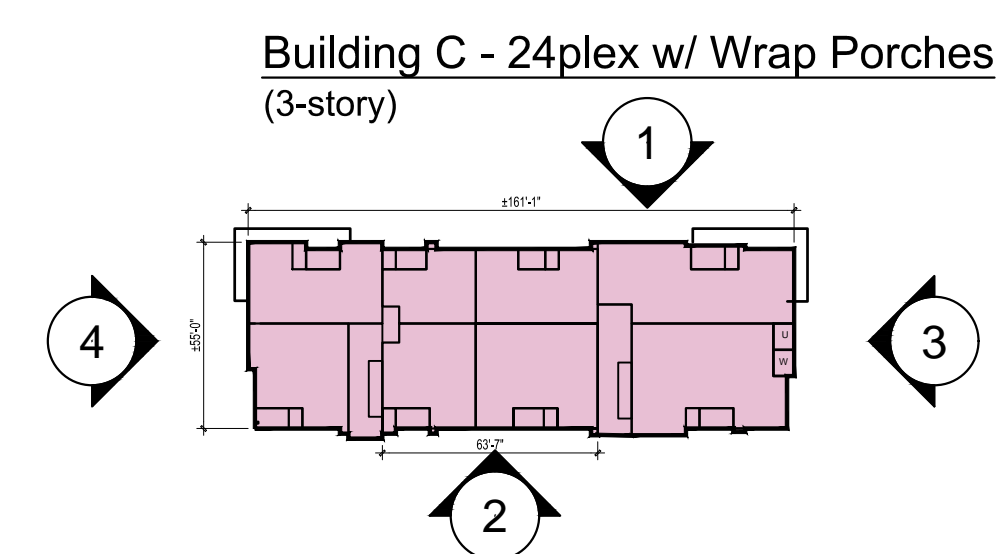
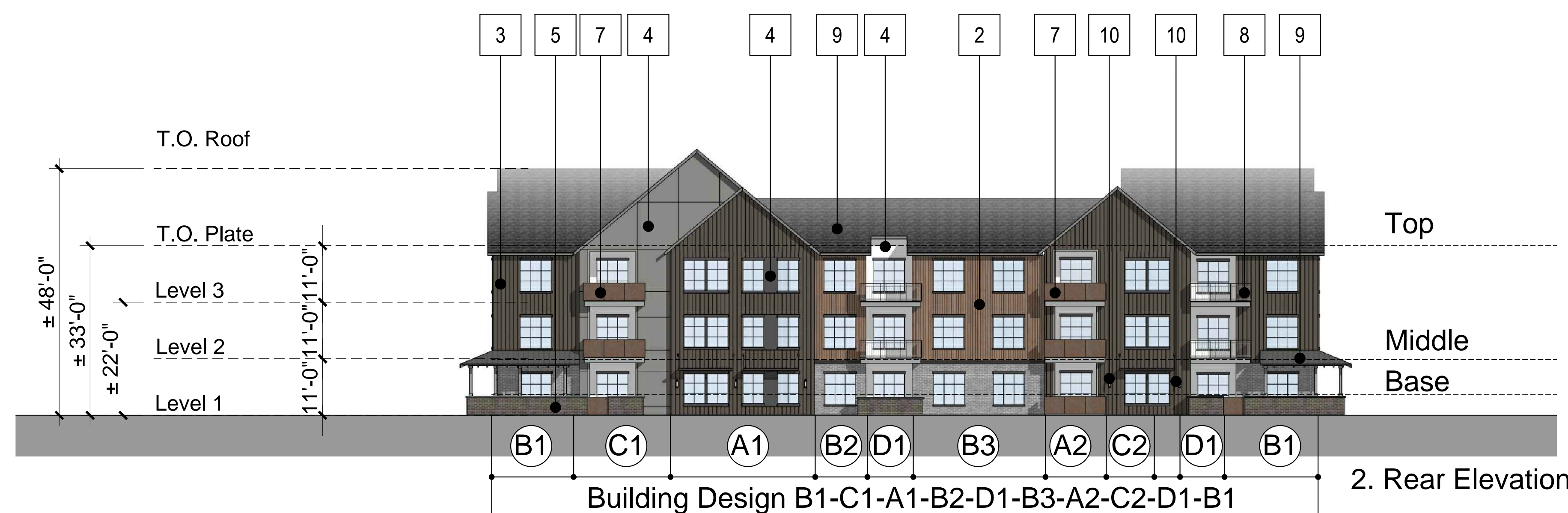
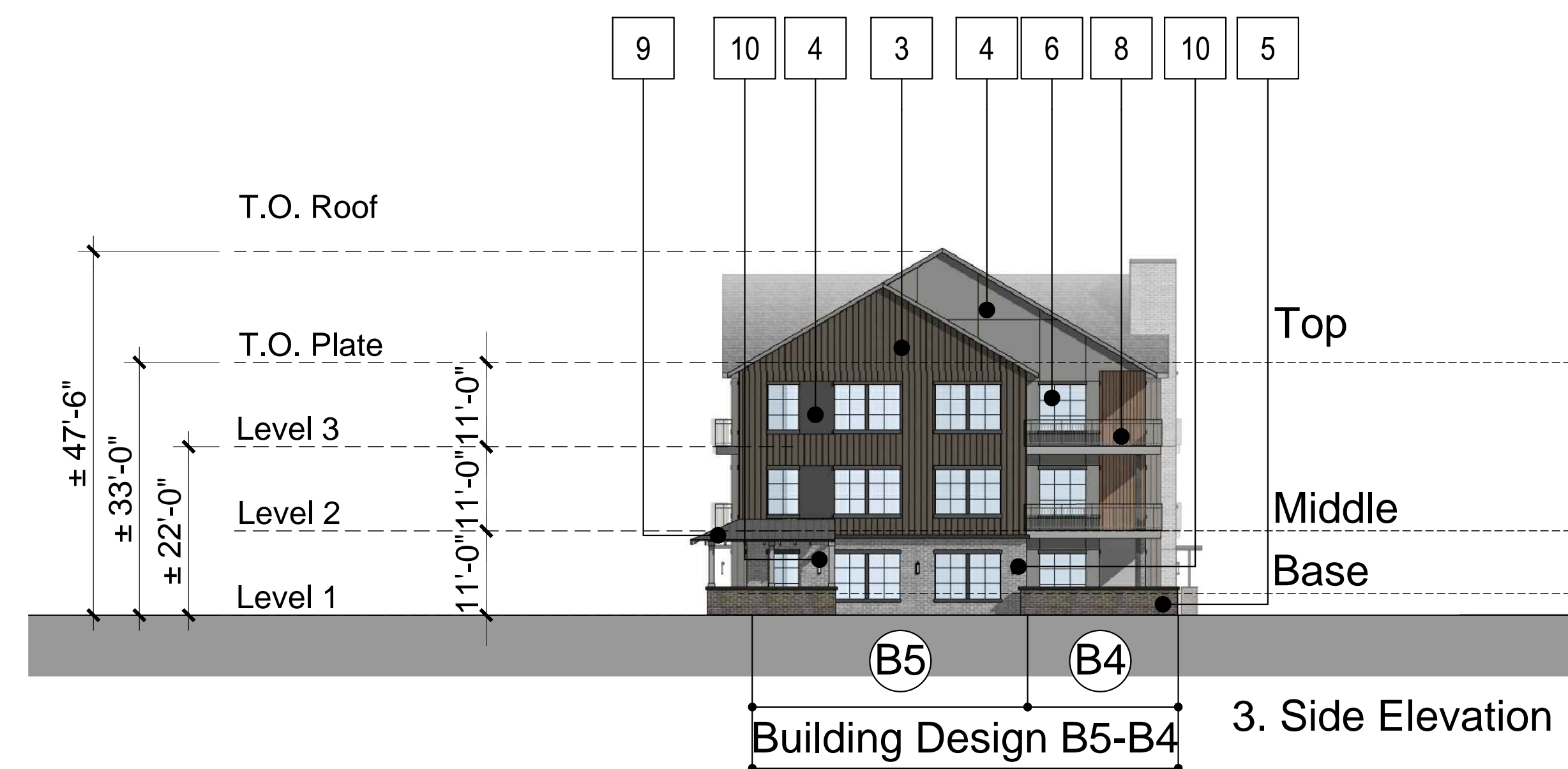
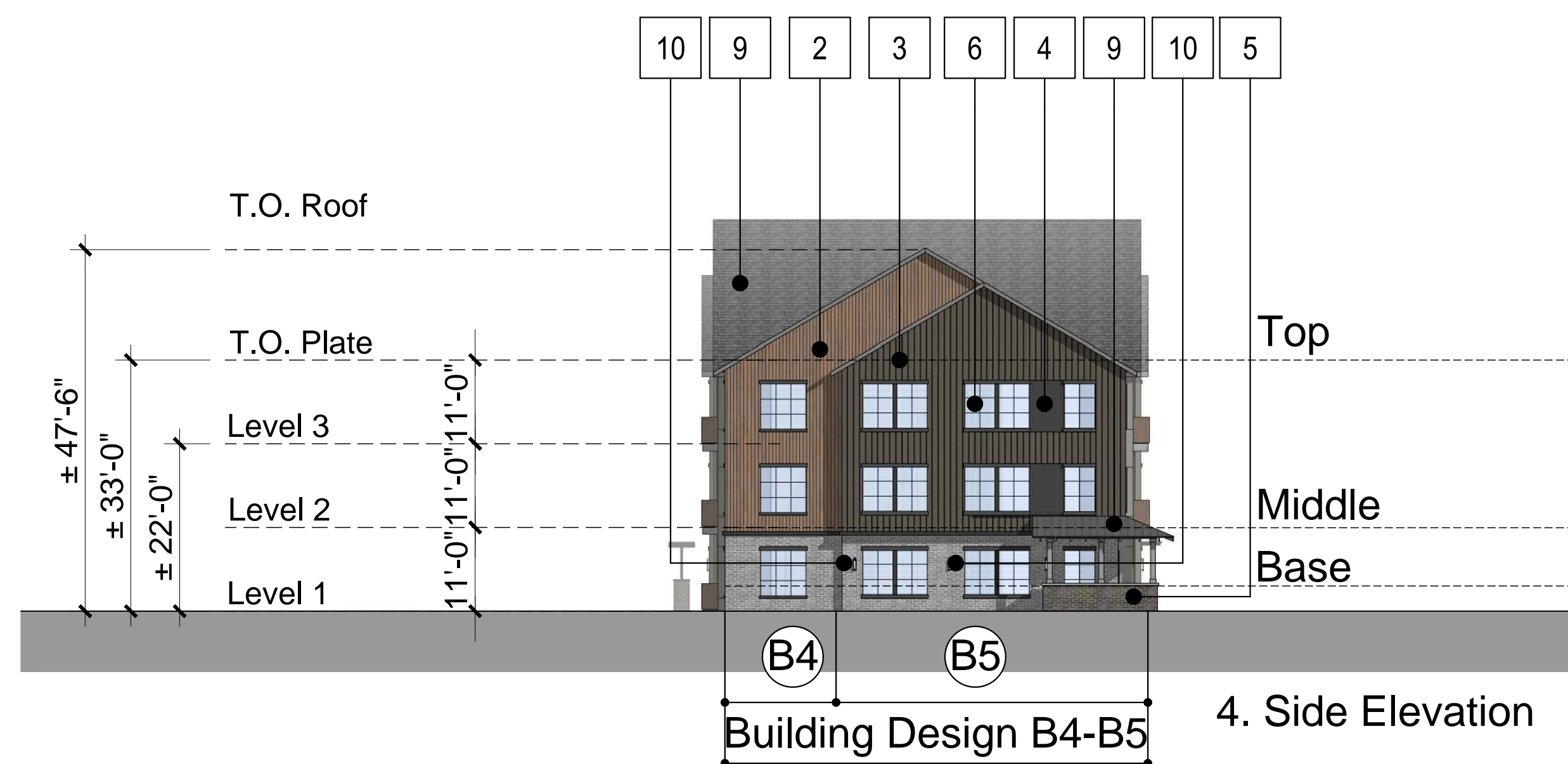
COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER
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DRAWN BY
DATE
01/14/2022

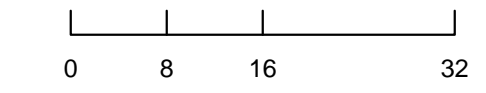
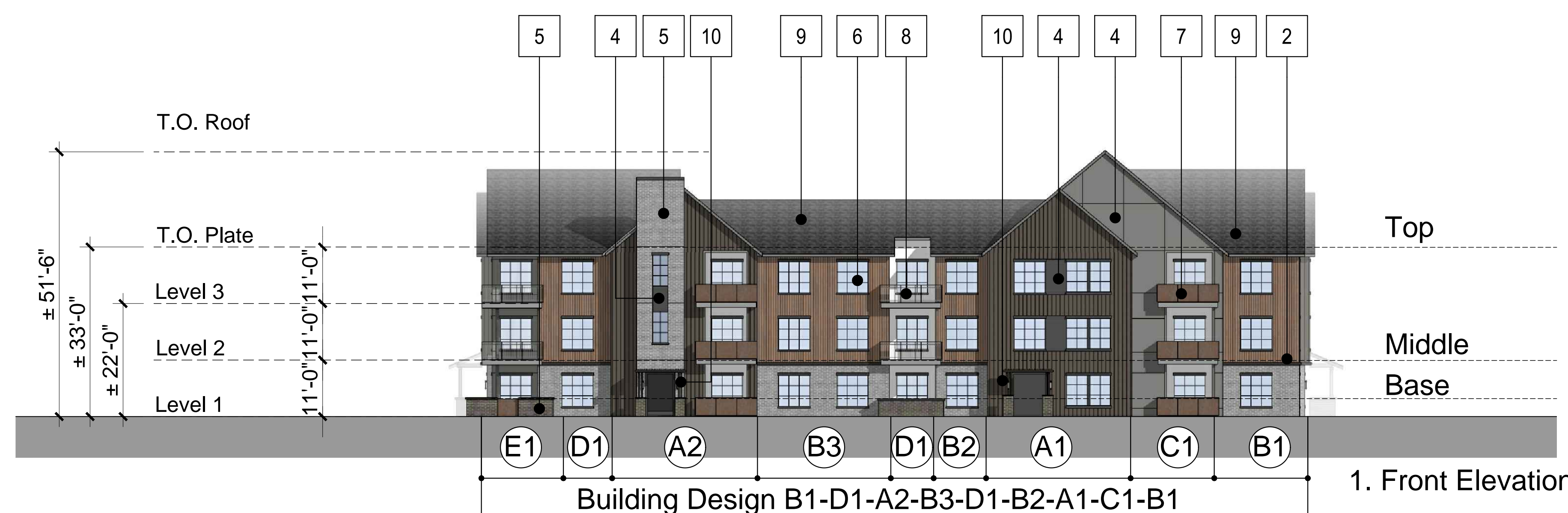


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- Material Legend:
1. Vertical Board and Batten
 2. Cementitious Vertical Siding (Woodtone or similar)
 3. Cementitious Vertical Siding (Painted)
 4. Cementitious Panel
 5. Brick
 6. Vinyl Window
 7. Metal Panel Railing
 8. Metal Picket Railing
 9. Shingle Roof
 10. Light Fixture

Notes:
-See material boards for more information.
-See site plan for dimensions between entries.
-Ground floor transparency to be min. of 25% measured as a percentage of glazing at the base of the building.
-Upper floor transparency to be min. of 15% glazing, measured as a percentage of glazing on the middle of the building.
-Trim around windows shall be minimum of three and one-half (3 1/2) inches wide, and trim around doors shall be a minimum of (2) inches wide.



PREPARED FOR CENTURY COMMUNITIES



PROJECT
COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE
BUILDING C ELEVATIONS

SHEET NUMBER
47

COMPARK VILLAGE SOUTH

F1 AMD 2 - MULTIFAMILY

SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



KEY MAP - n.t.s
BUILDING C

PROJECT NUMBER
210512

DRAWN BY

DATE
01/14/2022



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FRONT ELEVATION

Note: Trim around windows shall be a minimum of three and one-half (3-1/2) inches wide, and trim around doors shall be a minimum of two (2) inches wide.

1 BRICK LIGHT BRICK



3 VERTICAL SIDING (WOOD TONE)



4 VERTICAL SIDING (V-GROOVE)



5 CEMENTITIOUS PANEL W/ REVEAL



6 CEMENTITIOUS PANEL W/ REVEAL



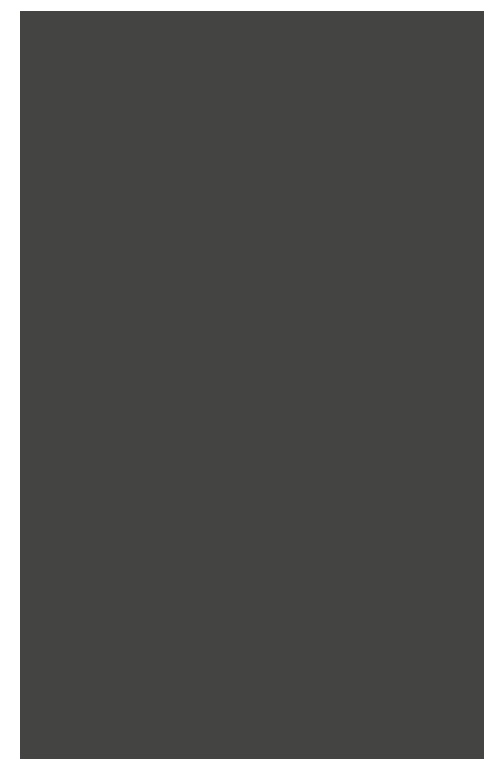
2 BRICK DARK BRICK



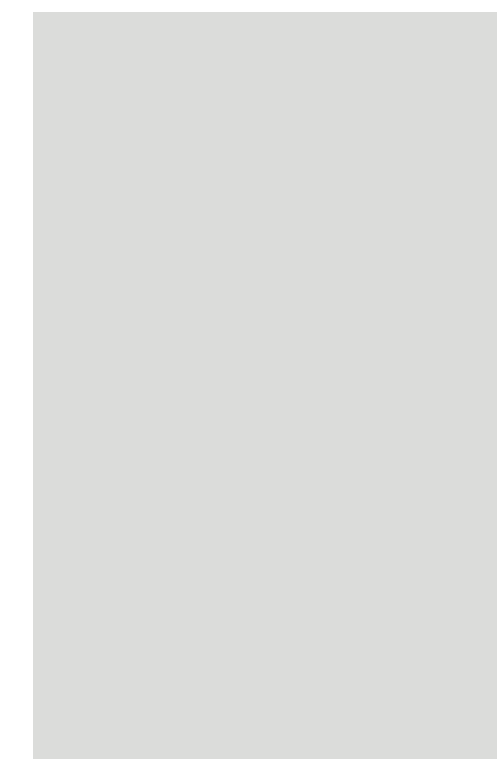
7 METAL PANEL



9 CEMENTITIOUS PANEL **ADOBE (NON-WHITE)**



10 WINDOW FRAME



11 Roof



PREPARED FOR CENTURY COMMUNITIES



PROJECT

COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE

BLDG C MATERIAL BOARD

SHEET NUMBER

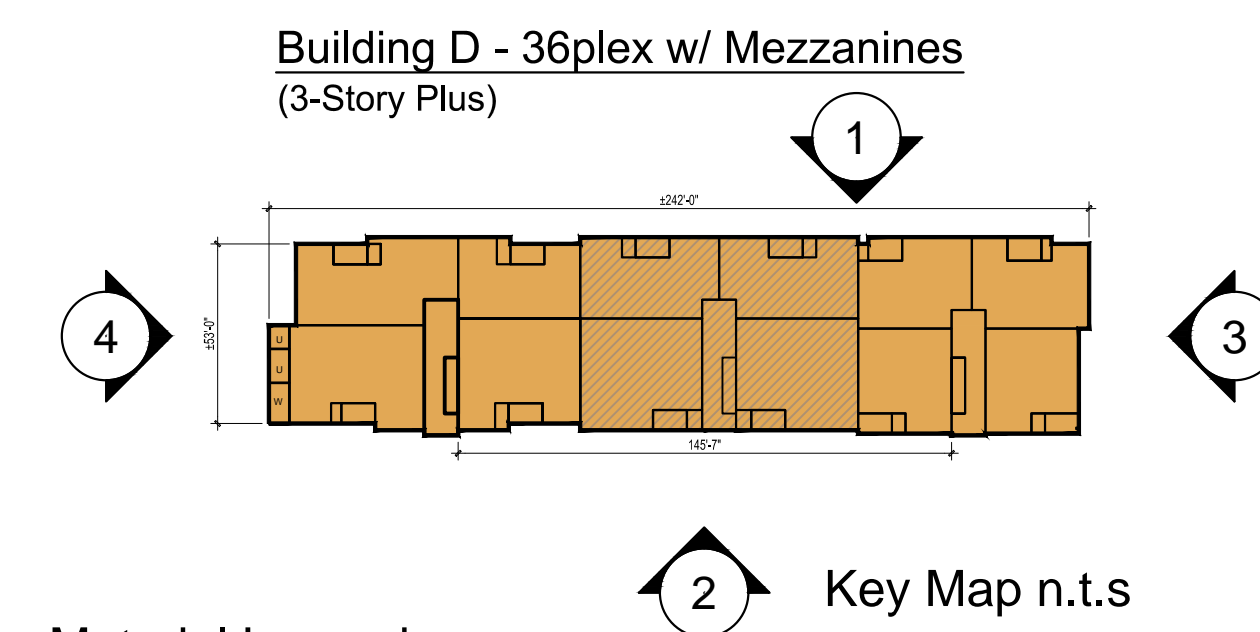
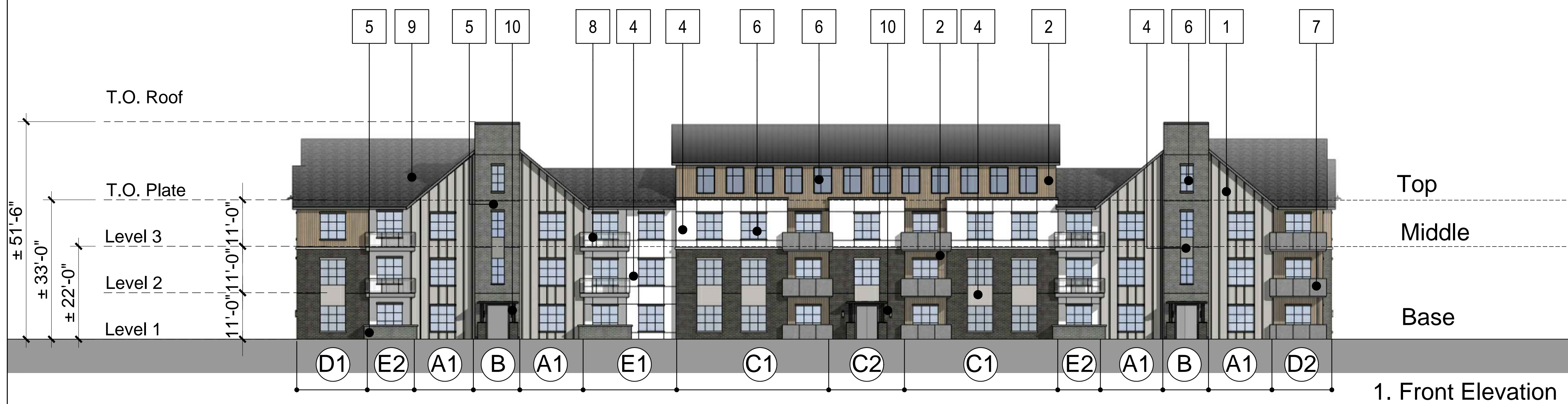
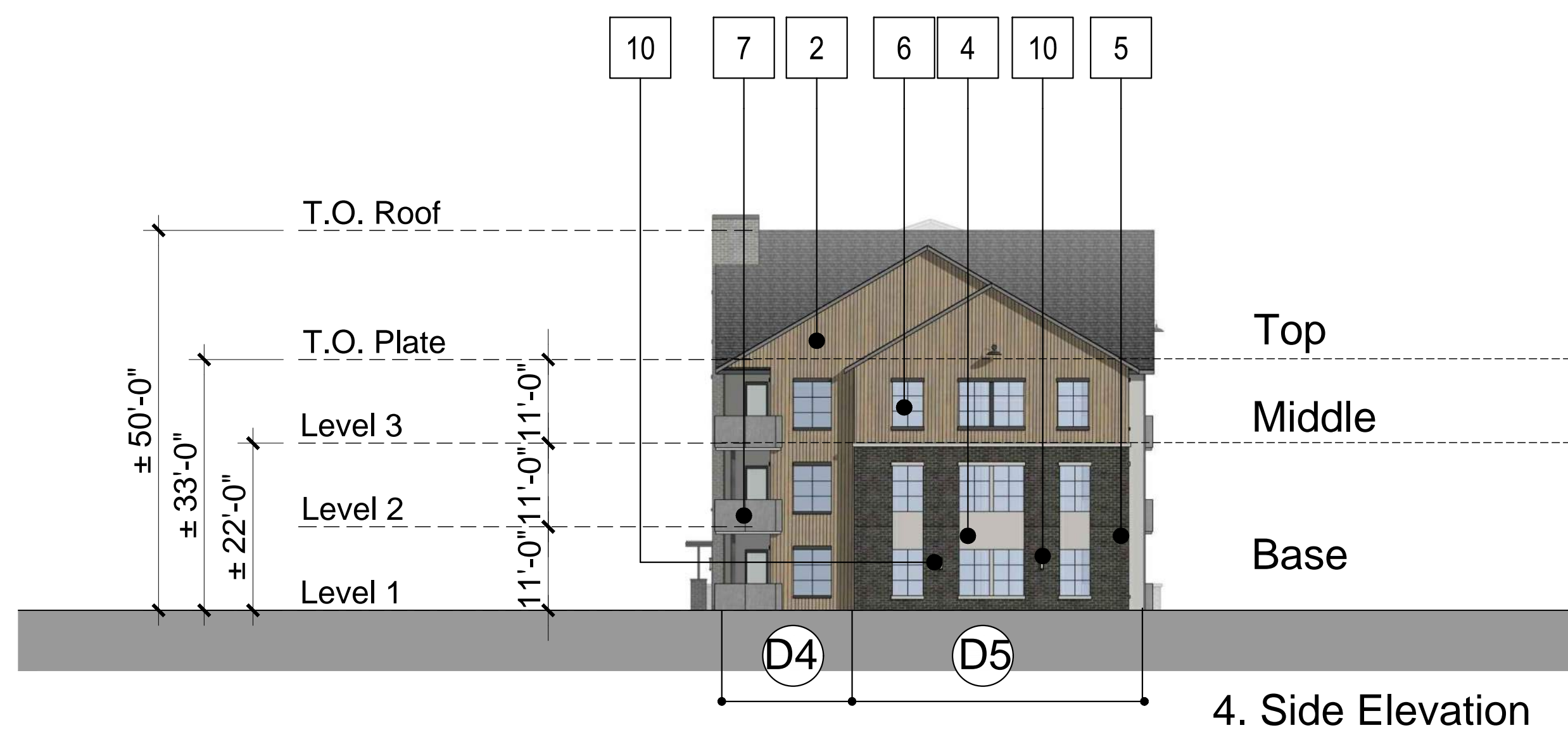
COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER
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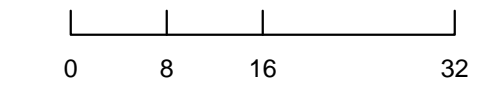


Material Legend:

1. Vertical Board and Batten
2. Cementitious Vertical Siding (Woodtone or similar)
3. Cementitious Vertical Siding (Painted)
4. Cementitious Panel
5. Brick
6. Vinyl Window
7. Metal Panel Railing
8. Metal Picket Railing
9. Shingle Roof
10. Light Fixture

Notes:

- See material boards for more information.
- See site plan for dimensions between entries.
- Ground floor transparency to be min. of 25% measured as a percentage of glazing at the base of the building.
- Upper floor transparency to be min. of 15% glazing, measured as a percentage of glazing on the middle of the building.
- Trim around windows shall be minimum of three and one-half (3 1/2) inches wide, and trim around doors shall be a minimum of (2) inches wide.



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PROJECT

COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE

BUILDING D ELEVATIONS

SHEET NUMBER

49

COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER
210512

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DATE
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KEY MAP - n.t.s
BUILDING D



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COMMUNITIES



PROJECT

**COMPARK
VILLAGE
SOUTH**

TOWN OF PARKER, COUNTY
OF DOUGLAS, COLORADO
80134

SHEET TITLE

**BLDG D
MATERIAL BOARD**

SHEET NUMBER

50



FRONT ELEVATION

Note: Trim around windows shall be a minimum of three and one-half (3-1/2) inches wide, and trim around doors shall be a minimum of two (2) inches wide.

1 BRICK LIGHT BRICK



3 VERTICAL SIDING (V-GROOVE)



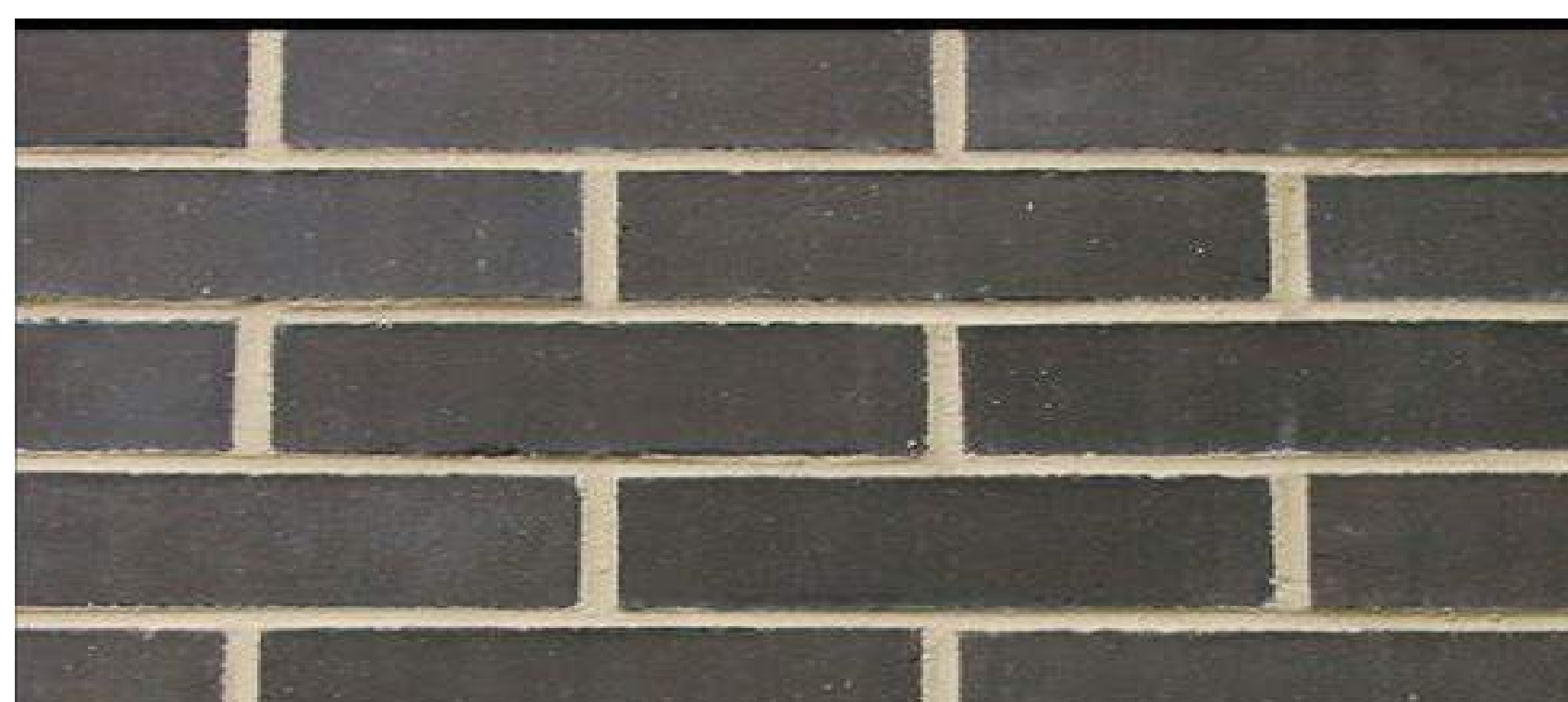
4 BOARD AND BATTEN



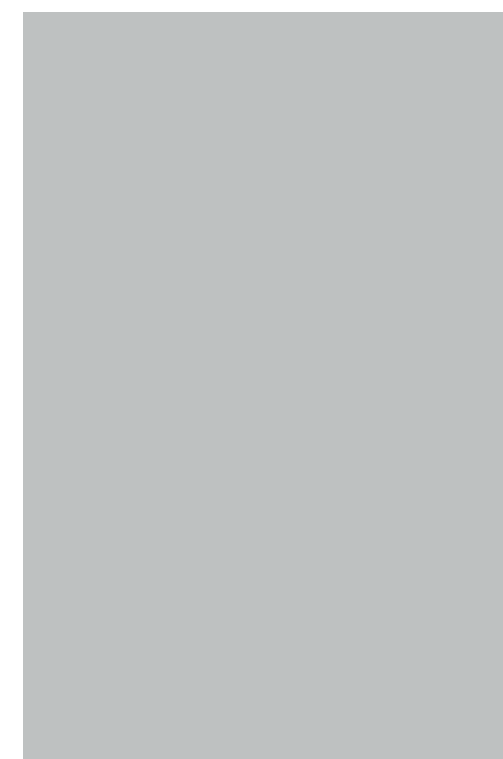
5 CEMENTITIOUS PANEL W/ REVEAL



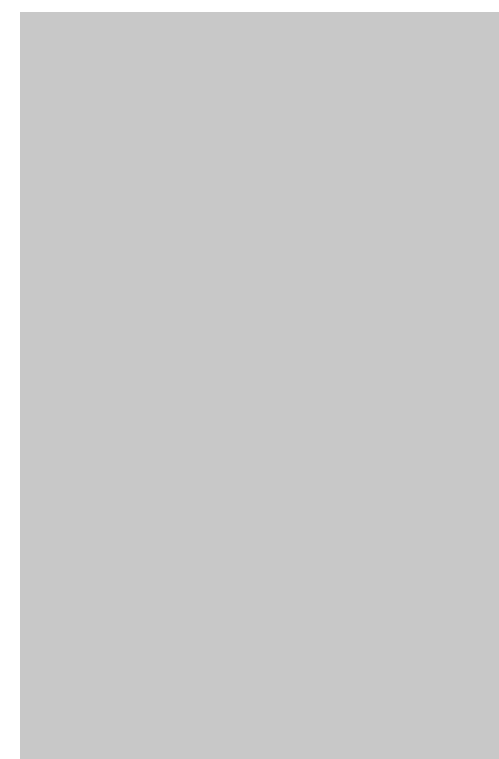
2 BRICK DARK BRICK



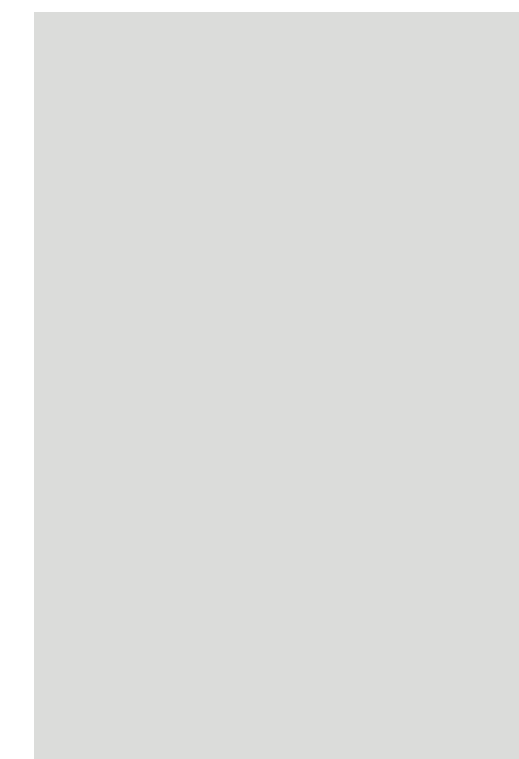
6 METAL PANEL



7 CEMENTITIOUS PANEL **8** WINDOW FRAME



ADOBE (NON-WHITE)



9 Roof



COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

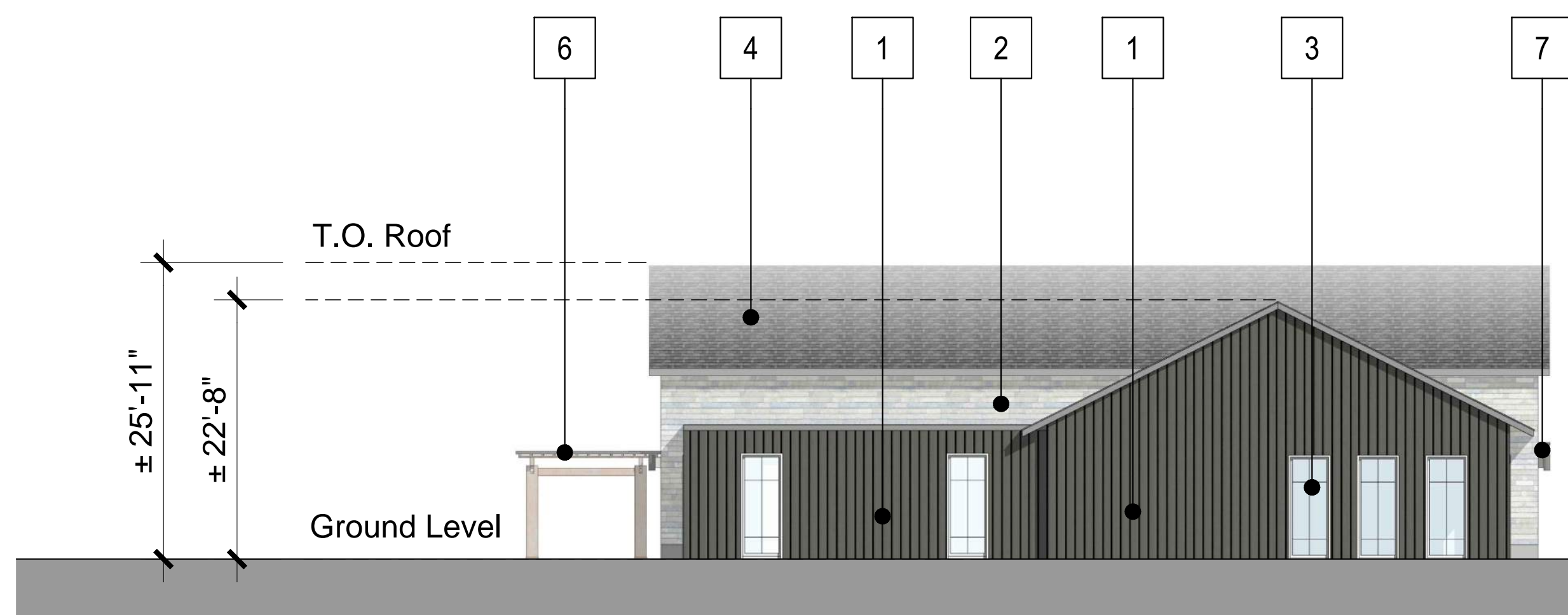
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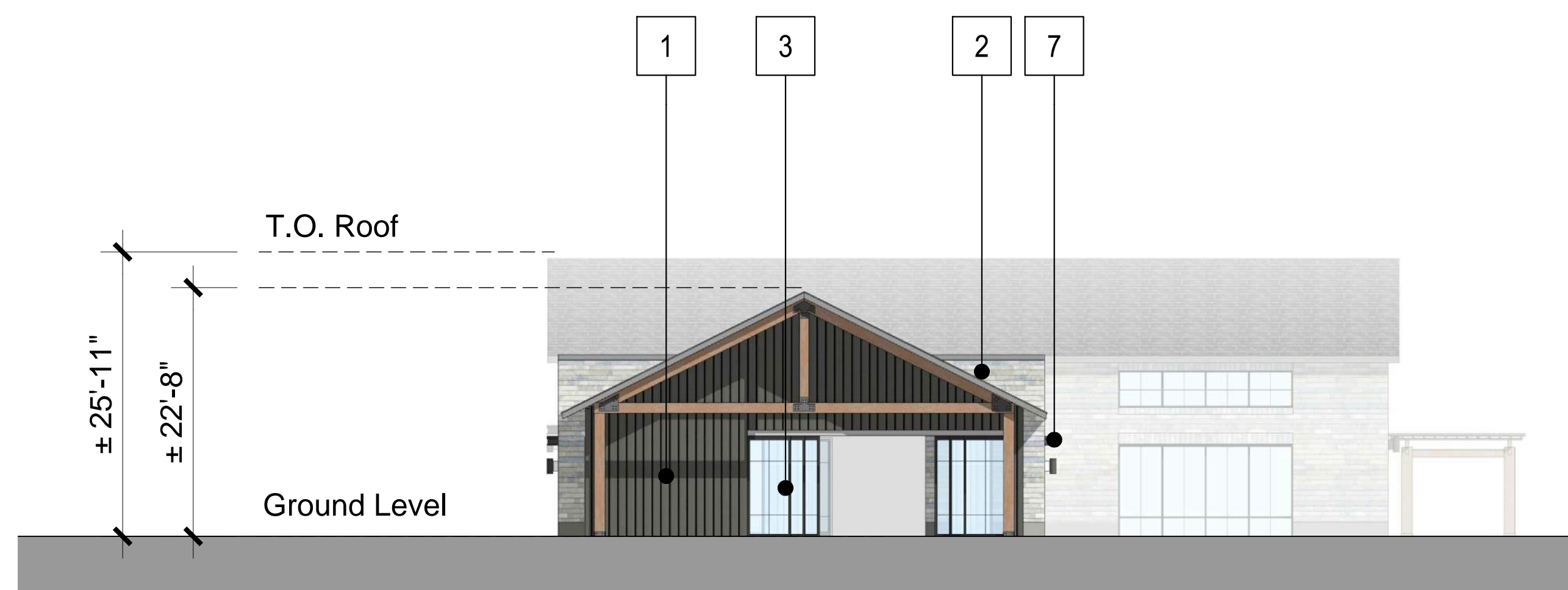
DATE
01/14/2022



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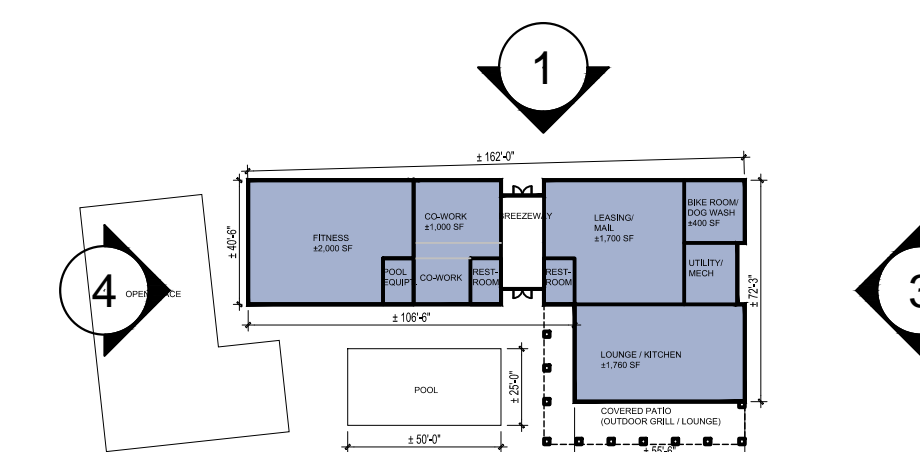
4. Side Elevation



3. Side Elevation



2. Rear Elevation



Key Map n.t.s

Clubhouse Material Legend:

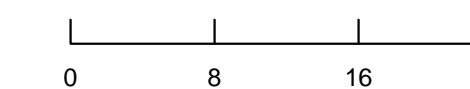
1. Vertical Board and Batten
2. Stone
3. Storefront Glazing
4. Shingle Roof
5. Metal Awning
6. Trellis
7. Light Fixture

Notes:

- See material boards for more information.
- See site plan for dimensions between entries.
- Ground floor transparency to be min. of 25% measured as a percentage of glazing at the base of the building.
- Trim around windows shall be minimum of three and one-half (3 1/2) inches wide, and trim around doors shall be a minimum of (2) inches wide.



1. Front Elevation



PREPARED FOR CENTURY COMMUNITIES



PROJECT

COMPARK
VILLAGE
SOUTH

TOWN OF PARKER, COUNTY
OF DOUGLAS, COLORADO
80134

SHEET TITLE

CLUBHOUSE
BUILDING
ELEVATIONS

SHEET NUMBER

51

COMPARK VILLAGE SOUTH
 F1 AMD 2 - MULTIFAMILY
 SITE PLAN
 LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
 SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



KEY MAP - n.t.s
CLUBHOUSE

PROJECT NUMBER
 210512

DRAWN BY

DATE
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 COMMUNITIES



PROJECT

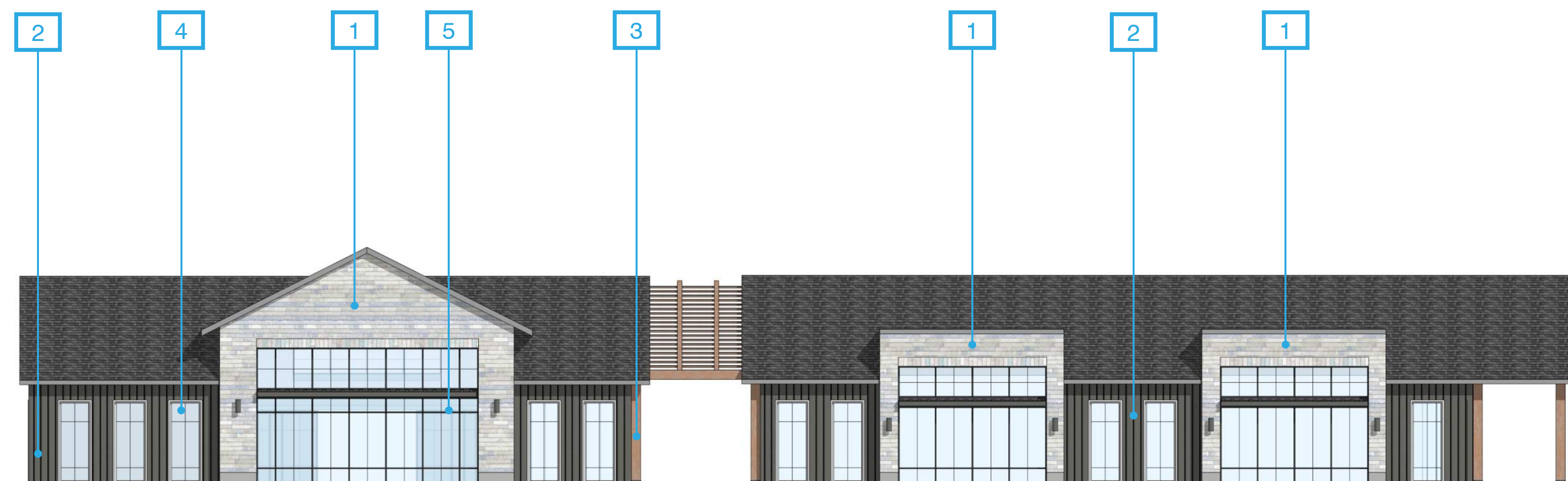
**COMPARK
 VILLAGE
 SOUTH**

TOWN OF PARKER, COUNTY
 OF DOUGLAS, COLORADO
 80134

SHEET TITLE

**CLUBHOUSE
 MATERIAL BOARD**

SHEET NUMBER



FRONT ELEVATION

1 **STONE** LIGHT STONE



2 **BOARD AND BATTEN**



3 **COMPOSITE WOOD**



ADOBE (NON-WHITE)

4 **WINDOW FRAME**



5 **WINDOW FRAME**



**COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN**

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



GENERAL NOTES:

1. ANY PROPOSED LIGHT FIXTURES INSTALLED ON PRIVATE PROPERTY, ADJACENT TO THE PUBLIC RIGHT-OF-WAY, SHALL BE ORIENTED IN SUCH A MANNER OR LIMITED IN LUMEN OUTPUT TO PREVENT GLARE PROBLEMS AND SHALL NOT EXCEED NATIONAL I.E.S. LIGHTING STANDARDS FOR DISABILITY GLARE.

SITE LIGHT FIXTURE SCHEDULE

TYPE	SERVES	DESCRIPTION	MANUFACTURER CATALOG NO.	LAMPS	MOUNTING HEIGHTS	NOTES
SA	SITE	POLE MOUNTED FIXTURE	GARDCO #ECF-S-32L-530-WW-G2-#HIS (T2 AND T3 OPTION ONLY)	56W LED	20'	LIGHT DISTRIBUTION VAIRES BETWEEN LCL, RCL, T2, AND T3 OPTION PER SPECIFIED MANUFACTURER
SB	SITE	POLE MOUNTED FIXTURE	GARDCO #P20-C-A01-830-T2S-EHS	22W LED	10'	-
SC	SITE	POLE MOUNTED FIXTURE	GARDCO #ECF-S-32L-700-WW-G2-4-HIS	73W LED	10'	-
SD	SITE	WALL SCONCE	GARDCO #111L-16L-360-NW-G2-4	18W LED	10'	-
SE	SITE	BOLLARD	#PBL-14L-100-NW-G2-3	6.1W LED	5'	-

REFER TO SITE PLAN SYMBOLS AND LIGHTING TAGS FOR LIGHT FIXTURE MOUNTING AND NUMBER OF FIXTURES PER POLE

CALCULATION SUMMARY

LABEL	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
LANDSCAPE PATH	FC	1.22	4	0.1	12.2	40
LANDSCAPE RAMP	FC	1.01	2.5	0.3	3.37	8.33
LANDSCAPE STEPS	FC	0.96	1.8	0.5	1.92	3.6
PARKING	FC	2.03	4.8	0.8	2.54	6
PATH 1	FC	2.58	3.9	1.1	2.36	3.55
PATH 2	FC	1.92	3.4	0.8	2.4	4.25
PATH 3	FC	1.99	3.8	0.9	2.21	4.22
PATH 4	FC	1.67	3.3	1.1	1.52	3
PATH 5	FC	1.95	3	0.9	2.17	3.33
PATH 6	FC	2.21	5.1	0.5	4.42	10.2
PATH 7	FC	2.08	3.7	0.7	2.97	5.29
PROP LINE TRACT 2	FC	0.27	0.9	0	N.A.	N.A.
PROP LINE TRACT G	FC	0.06	0.9	0	N.A.	N.A.
POOL DECK	FC	14.58	22	10.3	1.42	2.14

1 SITE PHOTOMETRIC PLAN
SCALE: 1" = 70'-0"

PROJECT NUMBER
65120950

DRAWN BY
TV

DATE
01/12/2022



PREPARED FOR CENTURY COMMUNITIES

PROJECT
COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE
SITE PHOTOMETRIC PLAN & SCHEDULES

SHEET NUMBER
53

COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN
LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



Gardco PureForm LED area small round comfort P20 features a sleek, low profile design. Comfort optics are designed to enhance visual comfort by reducing glare and are ideally suited for pedestrian scale applications. Multiple optical distributions and color temperatures are available to allow you to customize your selection.

Project: _____
Location: _____
Cat.No: _____
Type: _____
Lumens: _____ City: _____
Notes: _____

Ordering guide example: P20-C-A01-840-TS5-AR1-UNV-BL50-L2-EHS-BZ

Profile	Optic Technology	Configuration (nominal lumens)	Color Temperature	Distribution	Mounting	Voltage	
P20	C	Comfort	A01 2,000 lumens A02 4,000 lumens A03 6,000 lumens A04 8,000 lumens A05 10,000 lumens A06 12,000 lumens A07 14,000 lumens A08 16,000 lumens	830 80CRI 3000K 840 80CRI 4000K 780 70CRI 5000K	T15 Type 1 Short T25 Type 2 Short T45 Type 4 Short A00 Type 4 Concentrated Downlight T55 Type 5 Short	AR1 Arm mount (Standard) The following mounting kits must be ordered separately (See accessories) RAM Retrofit arm mount kit WAL Wall mount	120 120V 208 208V 240 240V 277 277V 347 347V 480 480V UNV 120-277V (50/60Hz) HWV 347-480V (50/60Hz)

Options

Dimming controls	Motion sensor lens	Electrical/Overloading	Emergency	Finish
(0-10V dimming driver standard) DLEA Dimming Leads Externally Accessible (Controlled by others) FAWS Field Adjustable Wattage Selector BLSD Bi-level set at 50% dimming BLSD+ Bi-level set at 30% dimming SRV SR driver connected to Zhaga socket DynaDimmer Automatic Profile Dimming CS50+ Security 50% Dimming, 7 hours CS50+ Security 30% Dimming, 7 hours CS50+ Median 50% Dimming, 8 hours CS50+ Security 30% Dimming, 7 hours CS50+ Median 30% Dimming, 8 hours	L2+ PR Sensor #2 lens L3+ PR Sensor #3 lens MW Microwave HF Sensor	PCB Photocontrol Button TR7 7-pin Twist Lock Receptacle w/ 3-pin Photocell SP2+ Increased 20A FS1 Single Fuse (120, 277, 347VAC) FS2 Double Fuse (208, 240, 480VAC) The following option must be ordered separately (See accessories) EHS External house side shield	EM Emergency battery pack	Textured BK Black WH White DG Dark Gray MG Medium Gray Customer specified RAL Specify optional color or RAL (ex: RAL7024) CC Custom color (Must supply color chip for required factory quote)

1. Only available with symmetrical optics (T15 and T55)
2. Extended lead times apply. Contact factory for details.
3. Mounts to a 4"-5" O.D. round pole with adaptor included for square poles.
4. Not available with other dimming control options (mutually exclusive).
5. Not available with motion sensor.
6. BLSD must be specified with a motion sensor lens (L2 or L3).
7. BLSD must be specified with Microwave HF Sensor (MW).
8. Not available with photocell controls.
9. Not available in 347 or 480V.
10. Available only in 120 or 277V.
11. Must specify input voltage.
12. All 7 pins in NEMA receptacle are connected to SR driver.
13. Not available in 480V. Order photocell separately with TR7.
14. Not available with DLEA and FAWS dimming control options.
15. Not available with DLEA, SRDR, FAWSS, CS50, CS50+, CS30, and CM30 dimming control options.
16. Product ships standard with 10A.
17. Only available with A01 and A03.
18. Only available in 120/277/347V.
19. When ordering SRDR with L2 or L3, controller to be used on socket must be SR compatible (See specifications for more details).



ECF-S EcoForm small Area luminaire

EcoForm AccessoriesTM (ordered separately, field installed)

Shielding Accessories

House Side shield
Standard optic orientation: HS-32-H Internal House Side Shield for 32 LEDs (2 modules) HS-48-H Internal House Side Shield for 48 LEDs (3 modules) HS-64-H Internal House Side Shield for 64 LEDs (4 modules)
Optic at 90 or 270 orientation: HS-32-V Internal House Side Shield for 32 LEDs (2 modules) HS-48-V Internal House Side Shield for 48 LEDs (3 modules) HS-64-V Internal House Side Shield for 64 LEDs (4 modules)

Footnotes
20. Not available with Type 5 or SW optics
21. Consult Signify to confirm whether specific accessories are BA-compliant.

Luminaire Accessories

ECF-80-G2	ECF-RAM-G2-PT	ECF-SF-G2-PT	ECF-SP-G2-PT	EcoForm PTF2	EcoForm PTF3	EcoForm PTF4
Bird deterrent	Retrofit Arm mount kit	Slip Filter Mount (fits to 2 3/8" O.D. tenon)	Wall mount with surface conduit near entry permitted	1 Luminaire at 90°	2 Luminares at 90°	3 Luminares at 90°
				2 Luminares at 90°	3 Luminares at 90°	4 Luminares at 90°
				3 Luminares at 90°	4 Luminares at 90°	5 Luminares at 90°
				4 Luminares at 90°	5 Luminares at 90°	6 Luminares at 90°
				5 Luminares at 90°	6 Luminares at 90°	7 Luminares at 90°
				6 Luminares at 90°	7 Luminares at 90°	8 Luminares at 90°
				7 Luminares at 90°	8 Luminares at 90°	9 Luminares at 90°
				8 Luminares at 90°	9 Luminares at 90°	10 Luminares at 90°
				9 Luminares at 90°	10 Luminares at 90°	11 Luminares at 90°
				10 Luminares at 90°	11 Luminares at 90°	12 Luminares at 90°

Ready to Go configurations (when ordered with the "RS-" catalog code, the following configurations will ship in 2 weeks):

Catalog Number	12NC	Catalog Number	12NC
RS-ECF-S-32L-1A-NW-G2-AR-3-UNV-BZ	912401466002	RS-ECF-S-64L-1A-NW-G2-AR-3-UNV-BK	912401534560
RS-ECF-S-32L-1A-NW-G2-AR-3-UNV-MGY	912401466003	RS-ECF-S-64L-1A-NW-G2-AR-4-UNV-BZ	912401466016
RS-ECF-S-32L-1A-NW-G2-AR-3-UNV-BK	912401534554	RS-ECF-S-64L-1A-NW-G2-AR-4-UNV-MGY	912401466017
RS-ECF-S-32L-1A-NW-G2-AR-4-UNV-BZ	912401466004	RS-ECF-S-64L-1A-NW-G2-AR-4-UNV-BK	912401534561
RS-ECF-S-32L-1A-NW-G2-AR-4-UNV-MGY	912401466005	RS-ECF-S-64L-1A-NW-G2-AR-5-UNV-BZ	912401466018
RS-ECF-S-32L-1A-NW-G2-AR-5-UNV-BK	912401534555	RS-ECF-S-64L-1A-NW-G2-AR-5-UNV-MGY	912401466019
RS-ECF-S-32L-1A-NW-G2-AR-5-UNV-BZ	912401466006	RS-ECF-S-64L-1A-NW-G2-AR-5-UNV-BK	912401534562
RS-ECF-S-32L-1A-NW-G2-AR-5-UNV-MGY	912401466007	RS-ECF-RAM-G2-DGY	912401466487
RS-ECF-S-32L-1A-NW-G2-AR-5-UNV-BK	912401534556	RS-ECF-RAM-G2-MGY	912401466488
RS-ECF-S-48L-1A-NW-G2-AR-3-UNV-BZ	912401466008	RS-ECF-RAM-G2-WH	912401466485
RS-ECF-S-48L-1A-NW-G2-AR-3-UNV-MGY	912401466009	RS-HS-32-H	912401466489
RS-ECF-S-48L-1A-NW-G2-AR-3-UNV-BK	912401534557	RS-HS-64-H	912401466491
RS-ECF-S-48L-1A-NW-G2-AR-4-UNV-BZ	912401466010		
RS-ECF-S-48L-1A-NW-G2-AR-4-UNV-MGY	912401534558		
RS-ECF-S-48L-1A-NW-G2-AR-4-UNV-BK	912401466012		
RS-ECF-S-48L-1A-NW-G2-AR-5-UNV-MGY	912401466013		
RS-ECF-S-48L-1A-NW-G2-AR-5-UNV-BK	912401534559		
RS-ECF-S-64L-1A-NW-G2-AR-3-UNV-BZ	912401466014		
RS-ECF-S-64L-1A-NW-G2-AR-3-UNV-MGY	912401466015		



Gardco EcoForm Gen-2 combines economy with performance in an LED area luminaire. Capable of delivering up to 27,800 lumens or more in a compact, low profile LED luminaire, EcoForm offers a new level of customer value. EcoForm features an innovative retrofit arm kit, simplifying site conversions to LED by eliminating the need to drill additional holes in most existing poles. Integral control systems available for further energy savings. Includes Service Tag, our innovative way to provide assistance throughout the life of the product.

Project: _____
Location: _____
Cat.No: _____
Type: _____
Lamps: _____ City: _____
Notes: _____

Ordering guide example: ECF-S-64L-900-NW-G2-AR-5-120-HIS-MGY

Profile	Number of LEDs	Area Current	LED Color - Generation	Mounting	Orientation	Voltage
ECF-S	32L 32 LEDs (2 modules)	365 365mA 520 520mA 700 700mA 1A 1000mA 1.2A 1200mA	WW-G2 Warm White 3000K, 70CRI NW-G2 Neutral White 4000K, 70CRI CW-G2 Cool White 5000K, 70CRI Generation 2	AR1 Arm Mount (Standard) The following mounting kits must be ordered separately (See accessories) RAM Retrofit arm mount kit with surface conduit near entry permitted	Type 2 Type 2 2-90 Rotated left 90° 2-270 Rotated right 270° Type 3 Type 3 3-90 Rotated left 90° 3-270 Rotated right 270° Type 4 Type 4 4-90 Rotated left 90° 4-270 Rotated right 270° Type 5 Type 5 5-90 Rotated left 90° 5-270 Rotated right 270°	120 120V 208 208V 240 240V 277 277V 347 347V 480 480V UNV 120-277V (50/60Hz) HWV 347-480V (50/60Hz)

Options

Dimming control	Accessories/Options	Photocell	Mount	Luminaire	Finish
DD+ 0-10V External dimming (For controls by others) DDC+ Dual Circuit Control FAWS+ Field Adjustable Wattage Selector LLC+ Integral wireless module BL+ Bi-level functionality SRV+ SR driver connected to Zhaga socket	MRB3+ Integral with #3 lens MRB7+ Integral with #7 lens	PCB+ Photocontrol Button TLR60+ Twist Lock Receptacle 5 Pin TLR67+ Twist Lock Receptacle 7 Pin TLR60+ Twist Lock Receptacle 5 Pin TLR67+ Twist Lock Receptacle 7 Pin	ES+ Single (120, 277, 347VAC) F2+ Double (208, 240, 480VAC) Pole Mount Easing FP1+ Single (120, 277, 347VAC) FP2+ Double (208, 240, 480VAC) FP3+ Canadian Double Full (208, 240, 480VAC) Surge Protection (NEMA standard) SP2 Increased 20KA	Square Pole Adapter (Included in standard product) TB+ Terminal Block (Fits to 3" x 3" O.D. pole) RPA+ Round Pole Adapter HIS+ Internal House Side Shield	Textured BK Black WH White DG Dark Gray MG Medium Gray RAL Customer specified color or RAL (See RAL7024) CC Custom color (Must supply color chip for required factory quote)

1. BL-MR3/7 equipped with out-boarded sensor housing when voltage is 90V (24-480V).
2. Mounts to a 4" round pole with adapter included for square poles.
3. Limited to a maximum of 45 degrees aiming above horizontal.
4. Not available with other dimming control options.
5. Not available with motion sensor.
6. Not available with photocell control.
7. Must specify a motion sensor lens.
8. Not available in 347 or 480V.
9. Must specify input voltage.
10. TLR60, TLR67 and TLR6C receptacle pins 4 & 5 are copped off when ordered with any of the dimming controls DD or FAWSS or LLC.
11. Not available in 480V. Order photocell separately with TLR60/7.
12. Not available with DCC.
13. Not available with SF and WS. RPA's provided with black finish standard.
14. HIS not available with Type 5, SW, BLC, BLC-90, BLC-270, LCL or RCL optics.
15. Not available with DD, DCC, and FAWSS dimming control options.
16. Not available with DD, DCC, FAWSS and LLO dimming control options.
17. When ordering SRDR, controller (by other) to be used on socket must be SR compatible (See specifications for more details). Consult factory for lead time. All pins in NEMA receptacle are connected to SR driver. SRDR not available with TLR60 or TLR6C.
18. 0-10V dimming driver standard.
19. LCL and RCL not available with 48L-1.2A or 64L-1A.



SITE LIGHT FIXTURE 'SB'

SITE LIGHT FIXTURE 'SA & SC'

PROJECT NUMBER
65120950

DRAWN BY
TV

DATE
01/12/2022



5970 GREENWOOD PLAZA BLVD.
GREENWOOD VILLAGE, CO. 80111
303-751-0741
www.merrick.com

PREPARED FOR CENTURY COMMUNITIES

PROJECT

COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE
LIGHT FIXTURE SPEC SHEETS

SHEET NUMBER

54

COMPARK VILLAGE SOUTH
F1 AMD 2 - MULTIFAMILY
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



Gardco PureForm LED bollard PBL integrates a sleek, low profile design, extraordinary light output, and energy savings into an innovative pedestrian scale luminaire. PureForm bollard features a high performance optical system designed to achieve wide spacings and full cutoff performance. Three heights available for a customized look. IP66 optics ensure dust or moisture will never interfere with performance.



Project: _____
Location: _____
Cat.No: _____
Type: _____
Lamps: _____ Qty: _____
Notes: _____

Ordering guide example: PBL-42-14L-450-NW-G2-5-UNV

Profile	Mount Height	Number of LEDs	Drive Current	LED Color - Generation	Optic Distribution	Emergency	Input
PBL PureForm bollard	36 Standard Shaft 36"	14L 14 LEDs (full ring)	100 100mA	WW-G2 Warm White 3000K 70CRI Generation 2	Type 3	Leave blank for no battery	120 120V
	42 Standard Shaft 42"	200 200mA	350 350mA	NW-G2 Neutral White 4000K 70CRI Generation 2	Type 3	ESP Emergency battery 11	208 208V
	60 Standard Shaft 60"	350 350mA	450 450mA	CW-G2 Cool White 5000K 70CRI Generation 2	Type 5		240 240V
		600 600mA	800 800mA				340 340V
		1050 1050mA					480 480V
							UNV 120-277V (50/60Hz)

Options	Options	Options	Options	Options
DD 0-10V External dimming (by others) 11	IMIR Integral infrared 12	PCB Photocell Button 13	F1 Single (100, 277, 347VAC) 14	Textured
FAWS Field Adjustable 15			F2 Double (208, 240, 480VAC) 15	BK Black
SW Interface module for SiteWise 16,17,18			F3 Canadian Double Full (208, 240, 480VAC) 16	WH White
LLC Wireless controls without PIR sensor 19,20				BZ Bronze
BL Bi-level functions with motion sensor 21				DRY Dark Gray
				MGY Medium Gray
Dim2Dimmer Automatic Profile Dimming 22				Customer specified
CS50 Security 50% Dimming, 7 hours				RAL Specify optional color or RAL (see RAL7034)
CM50 Median 50% Dimming, 8 hours				CC Custom color (must supply color chip for required factory quote)
CS20 Security 20% Dimming, 7 hours				
CM20 Median 20% Dimming, 8 hours				

- Extended lead times apply. Contact factory for details.
- Not available in 100, 200 or 350mA.
- Available in 120V or 277V only.
- Not available with other control options.
- Not available with motion sensor.
- Not available with photocell.
- Available only with BL dimming control.
- Not available with SW, LLC, and CS/CM.
- Must specify input voltage.
- Available in 120V only.
- Not available in 247 or 480V.
- Not available in 100, 200, and 1050mA.
- Not available with SW or LLC.

PBL_PureForm_bollard 05/20 page 1 of 5



Philips Gardco 111 LED mini sconce luminaires are compact in size, perfect for low mounting height wall mount applications. 111 LED luminaires are designed to integrate naturally to wall surfaces. 111 LED luminaires are available with three (3) different distribution patterns, providing full cutoff performance (in the normal downlight position) and featuring LED arrays. Luminaires provide performance excellence and advanced Philips Gardco LED thermal management technology. High performance Class 1 LED systems offer potential energy savings of 50 % or more compared to HID systems. 111 LED luminaires are also available with 0-10V Dimming.



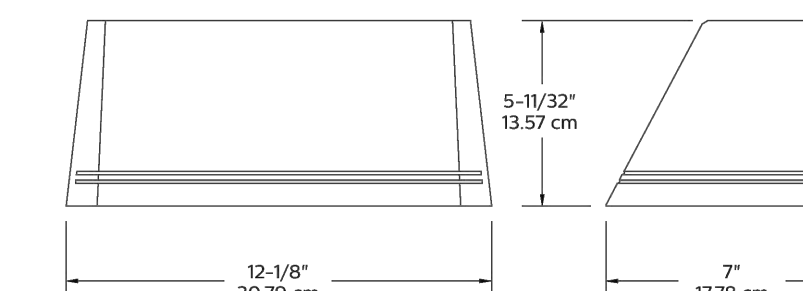
Project: _____
Location: _____
Cat.No: _____
Type: _____
Lamps: _____ Qty: _____
Notes: _____

Ordering guide example: 111L-16L-350-CW-G2-2-UNV-DD-BK

Profile	No. of LEDs	Drive Current	Color / Generation	Distribution	Voltage	Controls	Electrical/Luminaire	Finish
111L Triangular Wedge LED	16L 16 LED module	350 350mA 550 550mA 750 750mA	CW-G2 Cool White 5700K 70 CRI generation 2 NW-G2 Neutral White 4000K 70 CRI generation 2 WW-G2 Warm White 3000K 70 CRI generation 2	2 Type II Wide Throw Optic, with maximized lateral throw 3 Type II Preferred Wide Throw Optic with improved forward throw 4 Type IV Maximized forward throw optic	UNV 120-277V 50Hz/60Hz 120 120V 208 208V 240 240V 277 277V	PCB Photocell Button DD 0-10V Dimming	F1 Single fusing (100, 277VAC) F2 Double fusing (208, 240VAC) F3 Canadian double full fusing (208, 240VAC) DL Diffusing Lens WS Wall Mounted Box for Surface Conduit	Textured BK Black WH White BZ Bronze DRY Dark Gray MGY Medium Gray Customer specified RAL Specify optional color or RAL (see RAL7034 or CC-941,202) CC Custom color (must supply color chip for required factory quote)

1. Provide specific input voltage.

Dimensions



Note: Mounting plate center is located in the center of the luminaire width and 2.38" (6.03cm) above the luminaire bottom (lens down position). Splices must be made in the J-box (by others). Mounting plate must be secured by max. 1/4" (6.4cm) diameter bolts (by others) structurally to the wall.

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SITE LIGHT FIXTURE 'SE'

SITE LIGHT FIXTURE 'SD'

PROJECT NUMBER
65120950

DRAWN BY
TV

DATE
01/12/2022



Engineering | Architecture | Design-Build | Surveying | Planning | Geospatial Solutions

5970 GREENWOOD PLAZA BLVD.
GREENWOOD VILLAGE, CO. 80111
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PREPARED FOR CENTURY COMMUNITIES

PROJECT

COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE
LIGHT FIXTURE SPEC SHEETS

SHEET NUMBER

55