

March 25, 2022
Merrick Project No. 65120950

Julia Duncan
Town of Parker
Development Review Division
Town Hall - 20120 East Mainstreet
Parker, Colorado 80138

**Re: Compark Village South – 2nd Review
F1 AMD 2 – Multifamily – SP21-118**

Dear Ms. Duncan:

Merrick & Company has reviewed the comments dated February 8, 2022, regarding the Compark Village South development. The following summarizes Merrick's responses to the comments provided by the Town of Park Development Review Division.

GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO), and the Development Design Standards. Copies of these documents are available at:
Parker 2035 Master Plan
Land Development Ordinance
Development Design Standards
[Response: Understood. Thank you for your review and comments.](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
[Response: Understood.](#)
3. Please contact the referral agencies if you have questions regarding their review comment(s).
[Response: Understood.](#)
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
[Response: Understood. Thank you for providing the redline comments.](#)
5. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**
[Response: Understood and acknowledged.](#)
6. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKiT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not refer the application out with this naming convention.

Employee Owned



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Example: "02" or "Second Submittal"
Response: Understood. Submittal documents have been renamed in accordingly.

7. **Prairie Dog Management:** The Town's current land development ordinance section 13.10.250 - Prairie Dog Management requires applicants/developers to make a good faith effort to have any prairie dogs on site relocated. Documentation of this effort will be a condition of the land use application approval/site development and a certificate of compliance will be required prior to issuance of the grading permit. If relocation of the prairie dogs is not available, humane extermination may be considered. Prairie Dog management should begin as early as possible during the review process. Please coordinate with staff.
Response: Understood and acknowledged.

Site Plan and Project Details

1. Please reference the redlines for all comments/clarification.
Response: Redlines referenced for comments/clarification and responses have been added below.
2. Please submit materials board
Comments Addressed: Yes No

Response:

Response: Materials board(s) are included within the various building elevation sheets.

Outside Referral Agency Comments

Please address all outside referral agency comments with a written response. The following agencies have provided comments for review

- Stonegate Village Metro District
- Town of Parker – Fire/Life Safety Division

Please keep an eye out in eTRAKiT for the comment to the following reviews:

- Town of Parker – Building
- Town of Parker – Environmental (Construction Plans)
- Town of Parker – Stormwater (Construction Plans)
- Town of Parker – Civil (Construction Plans)
- Town of Parker – Drainage Report (Stormwater)
- Intermountain Rural Electric Association – Utility
- Town of Parker – Plat (Civil)
- Town of Parker – Civil (Site Plan)
- Town of Parker – Stormwater (Site Plan)

These comments are available on eTRAKiT. Please address accordingly.

Comment(s) Addressed: Yes No

Response:

Property Owner

Date

Project Representative

Date



Response: We will respond to all comments provided accordingly. We will also watch for outstanding reviews on eTRAKiT.

Compark Village South – F1 AMD 2 – Multifamily – Site Plan - Comments from Plan Sheets

F1 AMD – Multifamily – Site Plan – Utility Plan – Sheet 6

- Wrong sheet number
Response: Sheet number has been revised.

F1 AMD – Multifamily – Site Plan – Master Landscape Plan – Sheet 10

- What makes up this mix?
Response: Buffalo Grass Seed Mix is proposed for the “Dog Area”. Common name has been revised.
- Dimensions along entries.
Response: An access aisles exhibit has been provided for clarification.

F1 AMD – Multifamily – Site Plan – Landscape Notes & Details – Sheet 11

- Please see previous sheet – my numbers of measurement for the access aisles do not match your numbers-how are you getting this?
Response: An access aisle exhibit has been included with this submittal to show how the length is being measured. Total length is now a total of 558’ requiring 14 street trees.
- In your last submittal you provided 220 trees – you can not arbitrarily replace trees with shrubs. Because you’ve shown you can provide the required trees you cannot do substitutions and need to provide the trees.
Response: This is completely my fault. For some reason I thought the equivalent calcs could run the other way (i.e. ten shrubs could replace one tree). We have added trees to meet the requirement.

F1 AMD – Multifamily – Site Plan – Landscape Plan Area 8 & 9 – Sheet 19

- Add one more bump out – perhaps in area 5 – could differentiate and add an art piece or something.
Response: As discussed with Julia and project team during call, a trellis feature has been added to this bump out in place of an additional respite area.
- This is a strange configuration – the sidewalk dead ends into shrubs – please revert back to the previous seamless transition around the corner – you can always move the landscaping to the left of the sidewalk but people shouldn’t have to back track if they want to go right-they will just stomp on the bushes to get across.
Response: Perpendicular sidewalk was moved to account for grade changes and in order to meet maximum slope for acceptable route. Existing linework and shrub beds have been slightly revised for a more seamless transition. Please refer to civil sheets for grading and sidewalk layout.

F1 AMD – Multifamily – Site Plan – Park Notes – Sheet 21

- Include chart showing required parks to provided: based off calc: Multiple-Family Total Amount = Dwelling units x 0.0139 acres/unit.
Response: Parks chart has been added to cover sheet.
- Include quantity column like you do in the below charts.



Response: Quantities have been added.

- The description below is more thorough and should be in the required section. This should be done for all required amenities.

Response: Acknowledged. Details/descriptions have been added/revised for required amenities.

- Remove all required items from the below chart and only include them above-these items do not count toward your additional required amenities.

Response: Acknowledged. Required amenities have been removed from the Categories 1-4.

F1 AMD – Multifamily – Site Plan – Park Plan Area 2 – Sheet 23

- Need to show dog waste receptacles.

Response: Dog waste station is located at the entrance of the dog park.

F1 AMD – Multifamily – Site Plan – Site Details – Sheet 30

- Include colored renderings on material sheet call out.

Response: Rendering of trellis feature has been included.

F1 AMD – Multifamily – Site Plan – Site Details – Sheet 32

- Please provide more architectural interesting shelters-example above.

Response: Square shelter has been replaced.

F1 AMD – Multifamily – Site Plan – Conceptual Renderings – Sheet 43

- This is missing windows from last submittal.

Response: Narrative of changes has been provided

F1 AMD – Multifamily – Site Plan – Conceptual Renderings – Sheet 44

- Windows have changed again from last submittal.

Response: Narrative of changes has been provided

F1 AMD – Multifamily – Site Plan – Conceptual Renderings – Sheet 45

- Previous submittal with longer windows was a better version.

Response: Narrative of changes has been provided

F1 AMD – Multifamily – Site Plan – Conceptual Renderings – Sheet 46

- The building needs to have some material differentiation.

Response: Material differentiation has been provided

F1 AMD – Multifamily – Site Plan – Building A Elevations – Sheet 47

- It is not acceptable to change the fenestration at this level of review after so many referrals – why have all these facades changed? This note applies to all elevations where this has occurred.

Response: Narrative of changes has been provided

F1 AMD – Multifamily – Site Plan – Building B Elevations – Sheet 49

- Last submittal – not sure why so much has changed – specifically ground floor windows.

Response: Narrative of changes has been provided

- No more patio railing?



Response: Narrative of changes has been provided

F1 AMD – Multifamily – Site Plan – Maintenance Building Elevations– Sheet 57

- This whole building needs improved material differentiation.

Response: Material differentiation has been provided

Compark Village South – Subdivision Plan Replat – Fire/Life Safety Comments (Randall Capra)

Code Reference: 2018 International Fire Code, 2018 International Building Code, 2017 NEC

Note – Effective January 1, 2022, the Town of Parker will have adopted the 2020 NEC and the 2021 International Code Council family of codes i.e., IBC, IFC, IMC, IPC, etc. All submittal documents are required to meet these codes moving forward.

UNRESOLVED ISSUES/COMMENTS

1. The applicant shall be aware that ***no vertical construction on this site will be allowed until such time that curb gutter and first lift of asphalt are installed***; a site inspection will be required to ensure that this requirement is made prior to allowing vertical construction to commence. ***Applicant has noted/ acknowledged/addressed with current submittal***
Thank you. No response necessary.
2. The Town of Parker requires that fire apparatus access roads meet the clear-width and weight-bearing standards of the jurisdiction in which the project is located. Roadways shall be designed to support the imposed weight of fire apparatus, 30-ton two axle and 40-ton three axle vehicles. An unimpeded clear width of 20-feet shall be maintained at all times. As such, any location where parked vehicles would obstruct this clear width requirement will require “NO PARKING – FIRE LANE” signage. This signage shall be red on white. ***Applicant has noted/ acknowledged/addressed with current submittal***
Thank you. No response necessary.
3. The applicant shall ensure that all dead-end access roads do not exceed 150 feet (as measured from the center point of the street perpendicular to the dead end) without providing an approved turn-around. Address as applicable. ***Not satisfied; applicant has only noted “Response”. Address this issue when resubmitting. Satisfied; applicant has acknowledged with current submittal***

Note – The access road on the west end of the site is shown to have a dead end that exceeds 150 feet (as measured from the center-line perpendicular to the dead end; this dead end will be required to have an approved turn-around (i.e. cul-de-sac, hammer head, etc.) that is constructed of curb and gutter and asphalt (until such time that a future connection can be made at this point. Address this issue when resubmitting.

Response: Thank you. No response necessary.

4. The applicant shall provide an auto turn analysis (***for the entire site***) indicating that apparatus can navigate all portions of this site. NO PARKING – FIRE LANE signage is required for any portion of the access where the 20- foot clear width requirement cannot be met for buildings less than 30 feet in height and 26-feet clear width requirement for buildings that exceed 30 feet. This would require that any access road less than 28 feet would require fire lane signage on both sides of the drive and any access road that is 28-feet to 34-feet would require the signage on one side of the drive. Note – all end cap islands would require fire lane signage



and the store front portion of the drive as well. *Applicant has noted/ acknowledged/addressed with current submittal*

Thank you. No response necessary.

5. The builder shall be made aware that vertical construction (either down or up) will not be allowed until the following can be met (inspections by Fire Life Safety for the site will be required prior to going vertical): *Not satisfied; applicant has only noted "Response". Address this issue when resubmitting. Satisfied; applicant has acknowledged with current submittal.*
 - Permanent access is required for all structures; curb, gutter, and first lift of asphalt must be installed
 - All fire hydrants are installed, accepted, and are fully operable
 - All streets signs are installed
 - Addresses are provided/permanently posted for each structure that is to be constructed
 - Dead-end access roads cannot exceed 150 feet without an approved turn-aroundResponse: Thank you. No response necessary
6. The builder shall be made aware that no more than 30 units can be under construction without having two points of access provided/completed/accepted. Address this issue when responding. *Not satisfied; applicant has only noted "Response". Address this issue when resubmitting. Satisfied; applicant has acknowledged with current submittal.*Response: Thank you. No response necessary.
7. The applicant shall be aware that this filing will require that adjacent filings be completed such that a minimum of two points of access are provided when the combination of buildings exceeds 30 residences i.e., two – fifteen-unit buildings or one twenty-four-unit building (a second building would not be allowed as the number of units would exceed 30 units). *Not satisfied; applicant has only noted "Response". Address this issue when resubmitting. Satisfied; applicant has acknowledged with current submittal.*Response: Thank you. No response necessary.
8. The riser rooms shall be relocated to the front of the buildings (the riser rooms can be located on the side of the buildings though they will need to be located more curbside as similarly shown for Bldg 3, Bldg 5, Bldg 6, etc.). Address this issue when resubmitting. *Applicant has noted/ acknowledged/addressed with current submittal.*Thank you. No response necessary.
9. The applicant shall ensure that the fire sprinkler control valve room is sized to accommodate both the fire sprinkler riser and the fire alarm control panel (FACP); the sprinkler riser is allowed to enter no further than 24-inches into the building and a three-foot clearance shall be provided in front (and to the sides) of the riser. The FACP is required to be located on an interior wall and a three-foot clearance is required in front of the FACP. Address this comment when resubmitting ensuring that all buildings meet these criteria. Note – The riser room location identified (and shown with a red box below noted in item #13, Eastern Portion below) shall have exterior access with immediate access into the building... either through the riser room or adjacent to the riser room (this information was also provided at time of the pre-application meeting). *Not satisfied; applicant has only noted "Response". Address this issue when resubmitting; approval will not be provided without the required room layout. Not Satisfied; applicant has indicated that the riser rooms will be sized to accommodate the FACP and riser as noted without providing the required documentation. A room layout*



shall be provided before this submittal can be signed off. This issue must be addressed prior to sign/stamp of this document by this office.

Response: Understood. Fire riser room will be sized to accommodate the FACP and riser in the same room. Riser rooms have been located to allow for exterior access and be towards the front (parking lot) side of all building. A room layout has been provided.

10. The Clubhouse is not shown to be sprinklered; this building is required to be sprinklered (per discussions in the preapplication meetings held for this project). ***Applicant has noted/acknowledged/addressed with current submittal***
Thank you. No response necessary.
11. The overall utility plan shall identify each underground fire line (UFL) by name length and size (as measured from the “T” in the access road to the flange within the building); see below for an example and address when resubmitting. ***Not satisfied; the applicant has indicated that the Water and Sanitary Plans are to be provided with the resubmittal of the SUB21-065; to ensure that the site meets the requirements and that all applications are consistent and correct, the utility drawings will be provided with all applications specific to this project. Address this issue when resubmitting. Not Satisfied; applicant has indicated that the notations have been provided without providing a plan set to verify. This issue must be addressed prior to sign/stamp of this document by this office.***
Response: The Water plan and profile, as well as the service line plans from the Water and Sanitary Sewer Construction Plan Set have been included for reference.
12. The utility plans shall have the Fire Life Safety signature block provided on the cover page and the overall utility page. Address this issue when resubmitting. ***Not satisfied; the applicant has indicated that the Water and Sanitary Plans are to be provided with the resubmittal of the Minor Dev Plat (Sub21-065); to ensure that the site meets the requirements and that all applications are consistent and correct, the utility drawings will be provided with all applications specific to this project. Address this issue when resubmitting. Not satisfied; applicant has indicated that this block was provided on the required pages though the pages provided do not contain this block. This issue must be addressed prior to sign/stamp of this document by this office.***
Response: Fire Life Safety signature block has been added.
13. The hydrant distribution has been redlined to accommodate response more effectively; the overall utility drawing shall include the hydrant distribution for all filings and the following criteria. See below for information on hydrant location criteria and on revisions to the hydrant layout (hydrants have been deleted, added, and relocated while shown at entry ways if not currently addressed): ***Partially satisfied; applicant has noted/ acknowledged/addressed with current submittal though a fire hydrant is still required at the eastern intersection of Belford Ave and Deer Track Drive and a hydrant is required at the “T” of Deer Track Lane and Wolf Fox Street (also shown as Bunny Hop Lane... this issue should be addressed with the next submittal, as well) and relocate the fire hydrant in front of building 1. This hydrant is located in the island west of the east end of the building. The island shall be moved over 5 parking spots to align this hydrant between both building 1 and building 2 (as fire hydrants should be within 40 feet of the building to be served). Address these issues when resubmitting: Satisfied; applicant has acknowledged with current submittal***





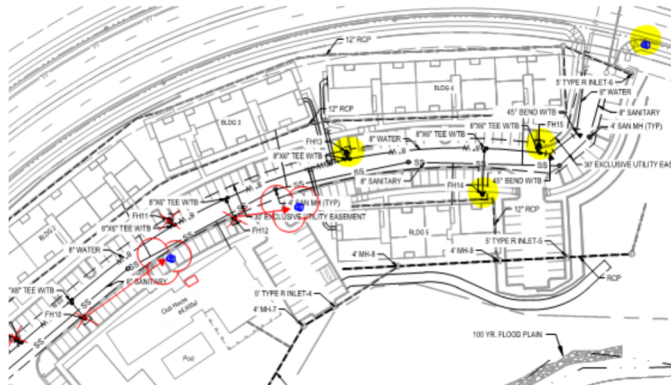
- Hydrants shall be located no further than 40 feet of the building to be served.
- Hydrants serving buildings with fire suppression systems shall be located in the general area of the riser room.
- Divided roadways require that hydrants be spaced at 250-foot intervals on a stagger (on each side of the road); these hydrants shall be located 500 feet apart on each respective side of the road.
- Hydrants shall be located at the entry into each sub area.
- Hydrants shall be located at the end of most cul-de-sacs.
- Hydrants shall be located at the corners of all streets where possible
- Hydrant spacing shall meet the requirements of the 2018 IFC Chapter 5 and appendix B and C

Response: Thank you. No response necessary.

Western Portion:



Eastern Portion:



14. The applicant shall be aware that storage tanks used for fuel (either for site development or temp heat, etc.) are required to be “permitted” through the building department before being



brought out to any construction site. This information shall be disseminated to all construction teams as applicable. **Satisfied; applicant has acknowledged with current submittal.**

Response: Thank you. No response necessary.

15. The applicant shall provide an overall site plan that shows the proposed street names; these names shall be approved prior to approval of this application. **Satisfied; applicant has acknowledged with current submittal**

Response: Thank you. No response necessary.

16. The applicant shall provide an address plate with addressing assigned for all lots prior to approval of this application. Note – Red Hawk Lane, noted at the west end of the complex should be continued through the complex where it exits out to Belford. Do not mix up street names mid street. **Satisfied; applicant has acknowledged with current submittal.**

Response: Thank you. No response necessary.

GENERAL COMMENTS

All engineering documents submitted to the Town of Parker shall bear the wet signature and seal of the engineer or architect in responsible charge of the design.

Response: Understood.

Water distribution and site access components shall be installed and in service prior to the construction of any portion of the structure, except by special permit issued by the Fire District.

Response: Understood and acknowledged.

Underground Fire Lines

When thrust blocks are used as part of the pipe restraint system, submitted plans for permit shall provide detailed documentation that the thrust blocks satisfy all requirements of 16 NFPA 24: 10.8.2, including specific thrust block dimensions and mathematical calculations for block dimensions per guidelines provided in Annex A.10.8.2.

Response: Understood and acknowledged. Thrust block calculations will be provided for each building when the fire line permit is applied for.

Respectfully submitted,
MERRICK & COMPANY

Kristopher K. Wiest, PE
Project Manager

