



## Development Review Division

Community Development Department: Town Hall / 20120 East Mainstreet Parker, CO 80138 Phone: 303.841.2332 Fax: 303.841.3223

### MEMORANDUM

**TO:** Merrick and Company, *Applicant*  
**FROM:** Julia Duncan, Associate Planner  
**DATE:** February 8, 2022  
**SUBJECT:** SP21-118; Compark Village South F1 AMD 2 - Multifamily Review Comments 02

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

**TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER:** Julia Duncan  
**EMAIL:** jduncan@parkeronline.org  
**PHONE:** 303.805.3334

#### GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at:  
[Parker 2035 Master Plan](#)  
[Development Design Standards](#)  
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**
6. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKIT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not refer the application out with this naming convention.  
Example: "02" or "Second Submittal"

7. **Prairie Dog Management:** The Town’s current land development ordinance section 13.10.250 - Prairie Dog Management requires applicants/developers to make a good faith effort to have any prairie dogs on site relocated. Documentation of this effort will be a condition of the land use application approval/site development and a certificate of compliance will be required prior to issuance of the grading permit. If relocation of the prairie dogs is not available, humane extermination may be considered. Prairie Dog management should begin as early as possible during the review process. Please coordinate with staff.

### Site Plan and Project Details

1. Please reference the redlines for all comments/clarification.
2. Please submit materials board

Comment Addressed:       Yes       No  
Response:

### OUTSIDE REFERRAL AGENCY COMMENTS

Please address all outside referral agency comments with a written response. The following agencies have provided comments for review

- Stonegate Village Metro District
- Town of Parker – Fire/Life Safety Division

*Please keep an eye out in eTRAKiT for the comment to the following reviews:*

- Town of Parker – Building
- Town of Parker – Environmental (Construction Plans)
- Town of Parker – Stormwater (Construction Plans)
- Town of Parker – Civil (Construction Plans)
- Town of Parker – Drainage Report (Stormwater)
- Intermountain Rural Electric Association – Utility
- Town of Parker – Plat (Civil)
- Town of Parker – Civil (Site Plan)
- Town of Parker – Stormwater (Site Plan)

These comments are available on eTRAKiT. Please address accordingly.

Comment(s) Addressed:       Yes       No

Response:

\_\_\_\_\_  
Property Owner

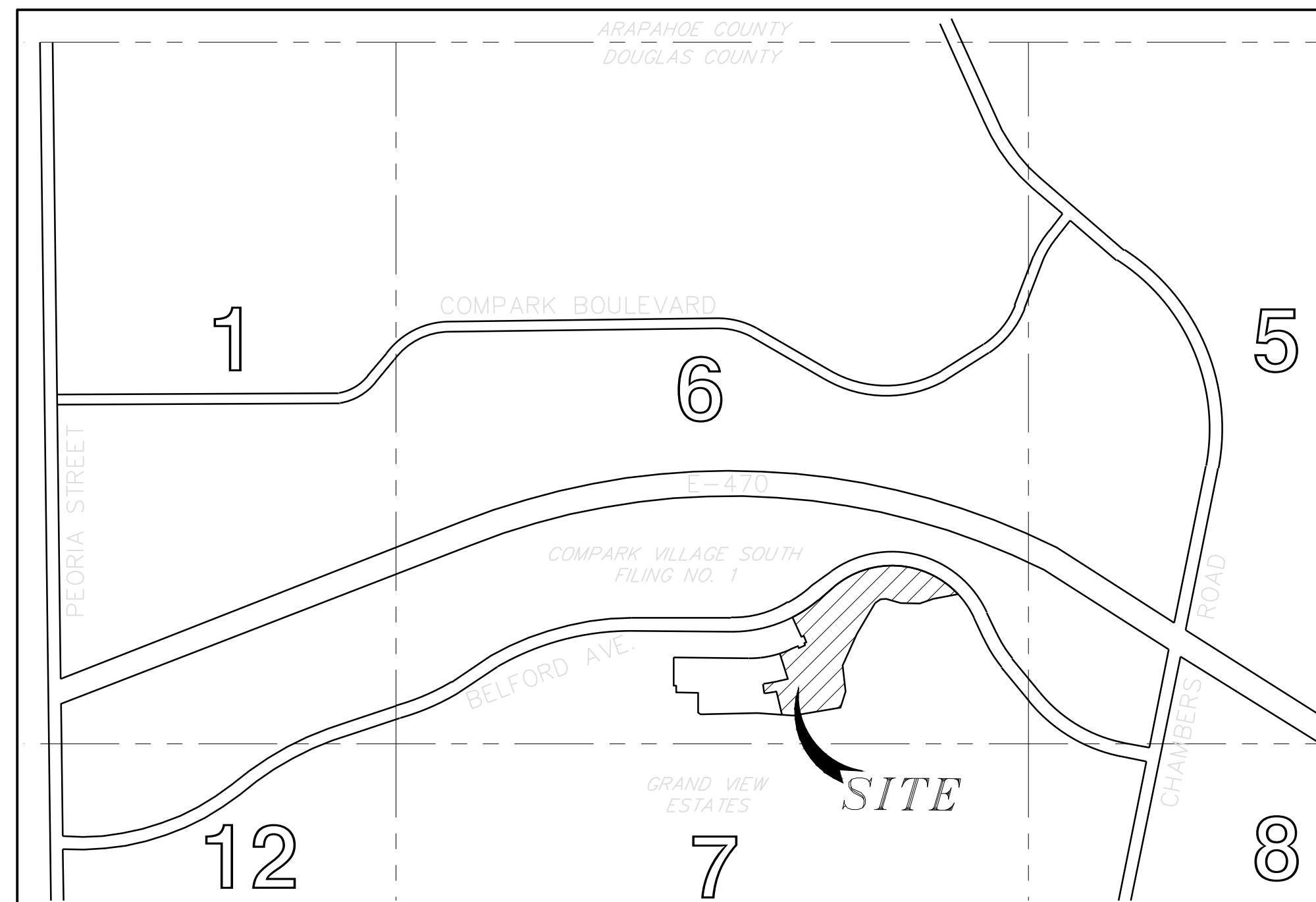
\_\_\_\_\_  
Date

\_\_\_\_\_  
Project Representative

\_\_\_\_\_  
Date

**COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN**

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



**Vicinity Map**

N.T.S.

**SHEET INDEX**

01	COVER SHEET
02	EXISTING CONDITIONS
03	SITE PLAN
04	SITE PLAN
05	BLOCK SCHEMATIC
06	UTILITY PLAN
07	UTILITY PLAN
08	GRADING PLAN
09	GRADING PLAN
10	MASTER LANDSCAPE PLAN
11	LANDSCAPE NOTES & DETAILS
12	LANDSCAPE PLAN - AREA 1
13	LANDSCAPE PLAN - AREA 2
14	LANDSCAPE PLAN - AREA 3
15	LANDSCAPE PLAN - AREA 4
16	LANDSCAPE PLAN - AREA 5
17	LANDSCAPE PLAN - AREA 6
18	LANDSCAPE PLAN - AREA 7
19	LANDSCAPE PLAN - AREAS 8 & 9
20	MASTER PARK PLAN
21	PARK NOTES
22	PARK PLAN AREA 1
23	PARK PLAN AREA 2
24	PARK PLAN AREA 3
25	PARK PLAN AREA 4
26	PARK PLAN AREA 5
27	SITE DETAILS
28	SITE DETAILS
29	SITE DETAILS
30	SITE DETAILS
31	BUILDING KEY PLAN
32	CONCEPTUAL RENDERINGS - BUILDING 8
33	CONCEPTUAL RENDERINGS - BUILDING 2
34	CONCEPTUAL RENDERINGS - BUILDING 6
35	CONCEPTUAL RENDERINGS - BUILDING 4
36	CONCEPTUAL RENDERINGS - BUILDING 4
37	CONCEPTUAL RENDERINGS - BUILDING 10
38	CONCEPTUAL RENDERINGS - CLUBHOUSE
39	CONCEPTUAL RENDERINGS - CLUBHOUSE
40	CONCEPTUAL RENDERINGS - CLUBHOUSE
41	CONCEPTUAL RENDERINGS - CLUBHOUSE
42	CONCEPTUAL RENDERINGS - CLUBHOUSE
43	BUILDING A ELEVATIONS
44	BUILDING B MATERIAL BOARD
45	BUILDING B ELEVATIONS
46	BUILDING B MATERIAL BOARD
47	BUILDING C ELEVATIONS
48	BUILDING C MATERIAL BOARD
49	BUILDING D ELEVATIONS
50	BUILDING D MATERIAL BOARD
51	AMENITY BUILDING ELEVATIONS
52	CLUBHOUSE MATERIAL BOARD
53	SITE PHOTOMETRIC PLAN & SCHEDULES
54	LIGHT FIXTURE SPEC SHEETS
55	LIGHT FIXTURE SPEC SHEETS

**BASIS OF BEARINGS:**

BEARINGS ARE ASSUMED AND ARE BASED UPON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 6, AS BEARING N87°48'59"E A DISTANCE OF 2634.09 FEET BETWEEN THE SOUTH QUARTER CORNER OF SAID SECTION 6, BEING A FOUND 3-1/4" ALUMINUM CAP, FLUSH WITH THE SURFACE AND STAMPED: PLS 38026 AND THE SOUTHEAST CORNER OF SAID SECTION 6, BEING A FOUND 3-1/4" ALUMINUM CAP, FLUSH WITH THE SURFACE AND STAMPED PLS 12405.

**BASIS OF ELEVATION:**

SOURCE BENCHMARK  
DOUGLAS COUNTY BM 1.115010  
A DOUGLAS COUNTY GIS MONUMENT SET IN CONCRETE LOCATED APPROXIMATELY 130 FEET SOUTHWESTERLY OF THE CENTERLINE OF CHAMBERS ROAD AND 95 FEET NORTHWESTERLY OF THE CENTERLINE OF COMPARK BOULEVARD.

**SITE BENCHMARKS**

- A NO. 5 REVAR WITH 2" ALUMINUM CAP STAMPED "LS 28286, 2001" FOUND A TEH SOUTHWEST CORNER OF SECTION 6, T6S, R66W LOCATED ON THE WEST LINE OF FIRST STREET APPROXIMATELY 1000 FEET NORTH OF ELM AVENUE.
- A 2.5" IRON PIPE WITH 3.25" ALUMINUM CAP STAMPED "PLS 12405, 19997" FOUND AT THE SOUTHEAST CORNER OF SECTION 6, T6S, R66W LOCATED APPROXIMATELY 960 FEET NORTH OF THE CENTERLINE OF AVENTERRA PARKWAY AND APPROXIMATELY 1050 FEET WEST OF THE CENTERLINE OF CHAMBERS ROAD.

**PROJECT DIRECTORY**

**DEVELOPER / OWNER**  
CENTURY COMMUNITIES  
8390 E. CRESCENT PARKWAY, SUITE 650,  
GREENWOOD VILLAGE, CO 80111  
PHONE: 303-287-5921  
CONTACT: NATALIE DUSTMAN

**LANDSCAPE ARCHITECT / PLANNER**  
PCS GROUP  
200 KLAMATH ST, DENVER, CO 80223  
PHONE: 720-259-8248  
CONTACT: PAUL SHOUKAS

**SURVEYOR**  
MERRICK & COMPANY  
5970 GREENWOOD PLAZA BLVD.  
GREENWOOD VILLAGE, CO 80111  
PHONE: 303-751-0741  
CONTACT: KENNETH G. OUELLETTE, PLS

**ENGINEER**  
MERRICK & COMPANY  
5970 GREENWOOD PLAZA BLVD.  
GREENWOOD VILLAGE, CO 80111  
PHONE: 303-751-0741  
CONTACT: KRISTOFER K. WEST, PE

**ARCHITECT**  
KTGY  
820 16TH ST. MALL #500  
DENVER, CO 80202  
PHONE: 303-825-6400  
CONTACT: DERRICK PAUS

**PHOTOMETRICS**  
JORDAN AND SKALA ENGINEERS  
555 17TH ST., STE 700  
DENVER, CO 80202  
PHONE: 303-586-2375 x18104  
CONTACT: STEPHEN LINGEN

**PARK LAND TABULATION**

DWELLING UNITS: 300  
REQUIRED PARK LAND = DWELLING UNITS \* 0.0139 ACRES/UNIT  
= 300 \* 0.0139  
= 4.17 ACRES

PARK LAND PROVIDED: 4.17 ACRES

**LAND USE TABLE:**

ITEM	
BUILDING COVERAGE	2.74 AC
BUILDING TYPE A AREA	0.42 AC
BUILDING TYPE B AREA	0.61AC
BUILDING TYPE C AREA	0.60 AC
BUILDING TYPE D AREA	0.92 AC
CLUB HOUSE AREA	0.18 AC
MAINTENANCE SHED AREA	0.01 AC
PARKING LOT AND DRIVING ISLE AREA:	3.70 AC
PARK COVERAGE:	4.17 AC
OPEN SPACE/LANDSCAPE COVERAGE	3.36 AC
POND TRACT:	1.03 AC
LOT 1 AREA	19.97 AC
TOTAL SITE AREA	14.998 AC
TOTAL UNITS:	300
LOT 1 DENSITY	21.47 UNITS/AC

Where is this number coming from? I believe it is from the pond tract plus Lot 1 but please make that clear

Add Square footage column

**PARKING CALCULATION TABLE**

PARKING REQUIRED	NUMBER OF ROOMS	PARKING PER UNIT	SPACES REQUIRED
STUDIO UNITS	15	1	15
ONE BEDROOM UNITS	147	1	147
TWO BEDROOM UNITS	116	1.5	174
THREE BEDROOM UNITS	22	2	44
GUEST	300	0.2500	75
		SUB-TOTAL PARKING	455
		PARKING PER UNIT	SPACES REQUIRED
<b>TOTAL PARKING REQUIRED</b>			455
RESIDENT STANDARD PARKING SPACES			445
RESIDENT ACCESSIBLE PARKING SPACES*			10
<b>TOTAL PARKING PROVIDED</b>			455
BICYCLE PARKING			
<b>TOTAL BICYCLE PARKING PROVIDED**</b>			48

\* INCLUDES 4 VAN ACCESSIBLE STALLS AND 6 STANDARD ACCESSIBLE STALLS  
\*\* 24 BIKE RACKS WITH 2 BIKES PER RACK

PROJECT NUMBER  
65120950  
  
DRAWN BY  
TV  
  
DATE  
01/12/2022



Engineering | Architecture | Design-Build | Surveying |  
Planning | Geospatial Solutions  
5970 GREENWOOD PLAZA BLVD.  
GREENWOOD VILLAGE, CO. 80111  
303-751-0741  
www.merrick.com

PREPARED FOR CENTURY  
COMMUNITIES



PROJECT

**COMPARK  
VILLAGE  
SOUTH**

TOWN OF PARKER, COUNTY  
OF DOUGLAS, COLORADO  
80134

SHEET TITLE

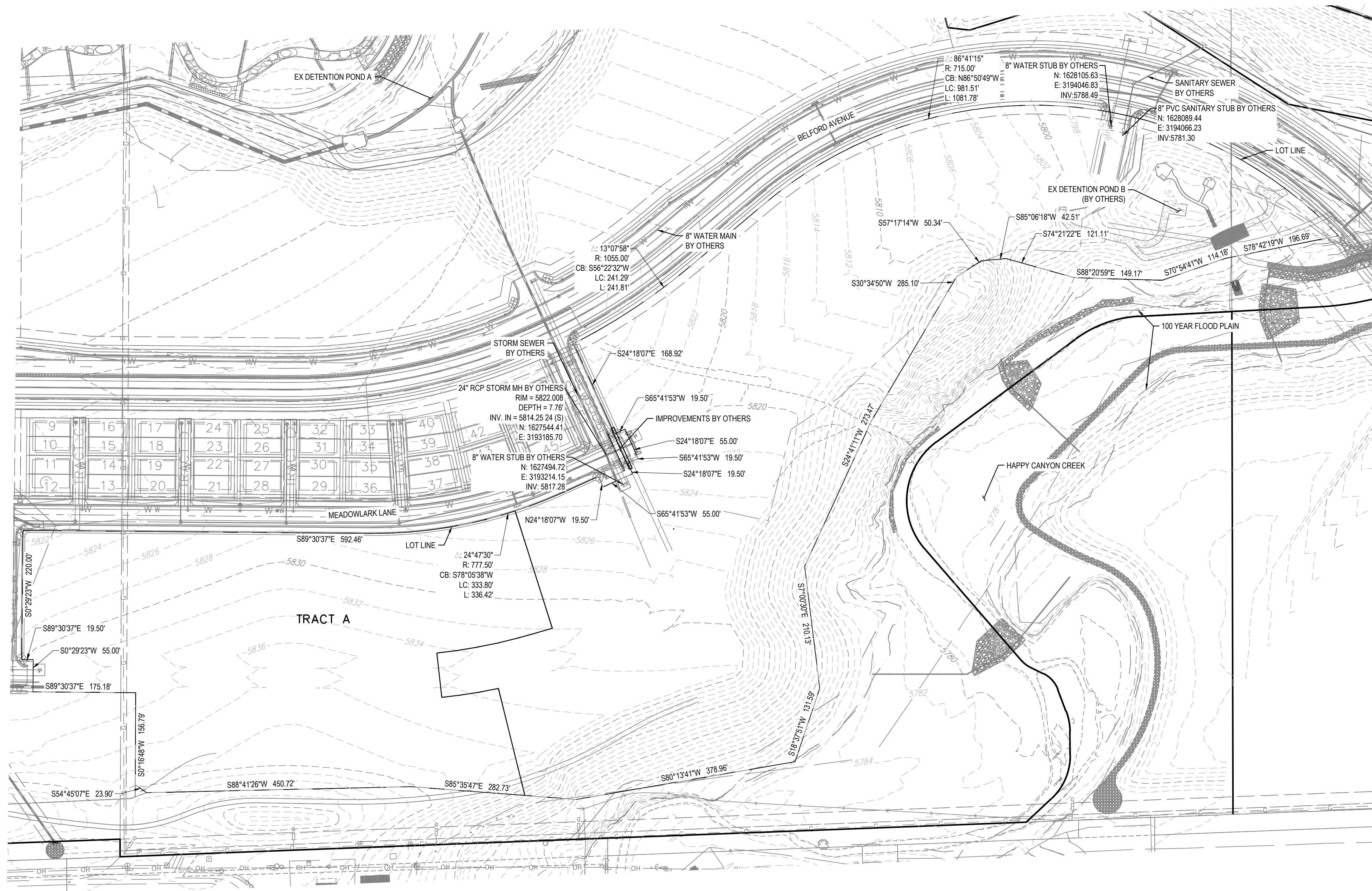
**COVER SHEET**

SHEET NUMBER

1

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

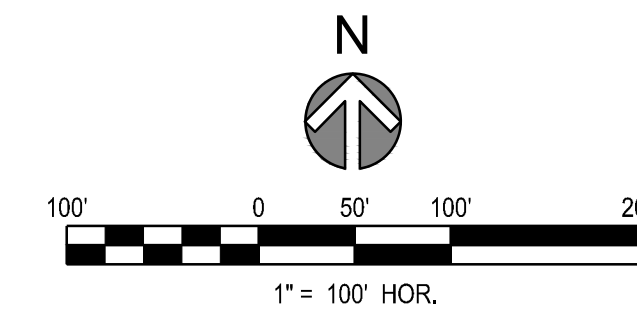
LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



BEARINGS ARE ASSUMED AND ARE BASED UPON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 6, AS BEARING N87°48'59"E A DISTANCE OF 2634.09 FEET BETWEEN THE SOUTH QUARTER CORNER OF SAID SECTION 6, BEING A FOUND 3-1/4" ALUMINUM CAP, FLUSH WITH THE SURFACE AND STAMPED: PLS 38026 AND THE SOUTHEAST CORNER OF SAID SECTION 6, BEING A FOUND 3-1/4" ALUMINUM CAP, FLUSH WITH THE SURFACE AND STAMPED PLS 12405.

NOTES

- EXISTING ITEMS AND CONTOURS SHOWN WERE PREPARED BY MANHARD CONSULTING, LLC. SITE IS ACTIVELY UNDER CONSTRUCTION DURING TIME OF DESIGN. CONTRACTOR TO FIELD VERIFY FEATURES DEPICTED BEFORE STARTING WORK.



PROJECT NUMBER  
65120950  
DRAWN BY  
TV  
DATE  
01/12/2022



PREPARED FOR CENTURY COMMUNITIES



PROJECT

**COMPARK VILLAGE SOUTH**

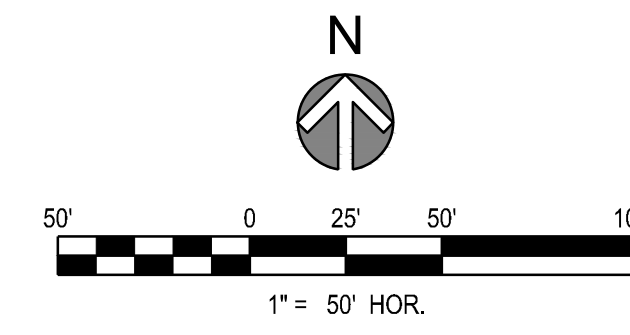
TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE  
**EXISTING CONDITIONS**

SHEET NUMBER  
**02**

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



LEGEND / KEYNOTES

- # PARKING SPACE COUNT
  - - - - - PROPERTY LINE
  - SIGN
  - ① R1-1 (30' x 30') STOP
  - ② R7-8 (12' x 18') [Symbol]
  - ③ R7-8 P (12' x 9') [Symbol]
  - ④ R7-1 (SP) (12' x 18') [Symbol]
  - ⑤ R2-1 (SP) (12' x 18') [Symbol]
- PAVEMENT MARKING OF INTERNATIONAL SYMBOL OF ACCESSIBILITY [Symbol]

NOTES  
1. DIMENSIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.

Design standards require minimum of 10 to 15 feet between front of building and sidewalk

Should connect to exterior sidewalk

Has this been discussed with Engineering and has anything been submitted to vacate?

For both corners on the development entry aisles, please provide and elevation and rendering clearly showing how this entry corner will be viewed from the street

MATCH LINE SEE SHEET 4

PROJECT NUMBER  
65120950  
  
DRAWN BY  
TV  
  
DATE  
01/12/2022



PREPARED FOR CENTURY COMMUNITIES



PROJECT  
**COMPARK VILLAGE SOUTH**

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

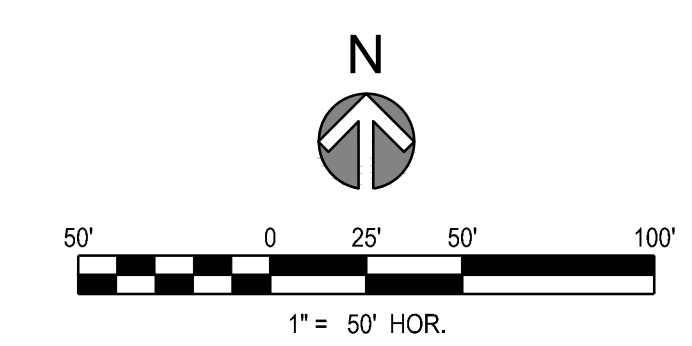
SHEET TITLE  
SITE PLAN

SHEET NUMBER  
3

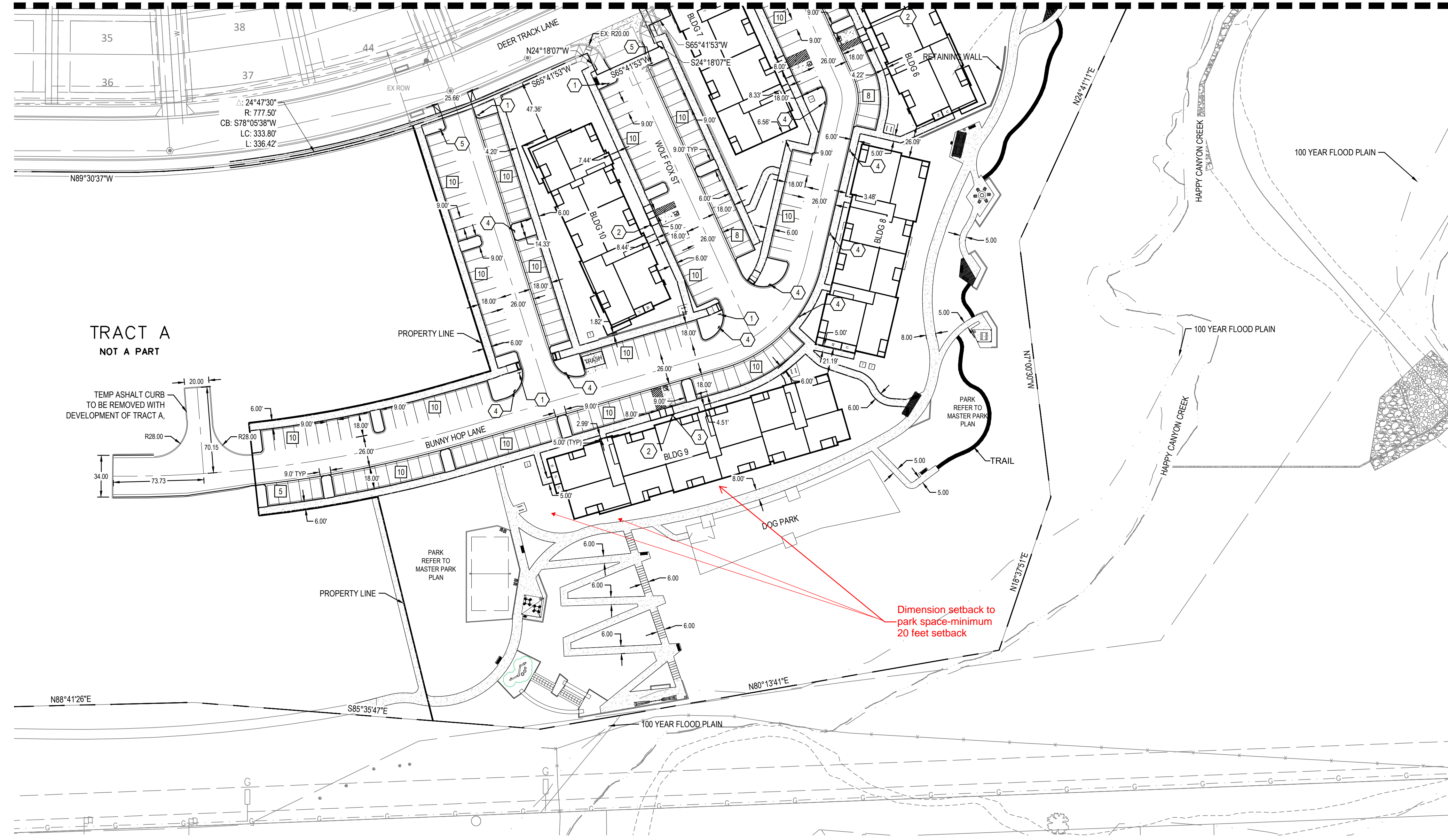
COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER  
65120950  
  
DRAWN BY  
TV  
  
DATE  
01/12/2022



MATCH LINE SEE SHEET 3



LEGEND / KEYNOTES

- PARKING SPACE COUNT
  - PROPERTY LINE
  - SIGN
  - ① R1-1 (30' x 30')
  - ② R7-8 (12' x 18')
  - ③ R7-8 P (12' x 9')
  - ④ R7-1 (SP) (12' x 18')
  - ⑤ R2-1 (SP) (12' x 18')
- PAVEMENT MARKING OF INTERNATIONAL SYMBOL OF ACCESSIBILITY



PREPARED FOR CENTURY COMMUNITIES



PROJECT  
**COMPARK VILLAGE SOUTH**

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

NOTES

1. DIMENSIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.

SHEET TITLE  
SITE PLAN

SHEET NUMBER  
4

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



PROJECT NUMBER  
65120950  
DRAWN BY  
TV  
DATE  
01/12/2022



PREPARED FOR CENTURY  
COMMUNITIES



PROJECT  
**COMPARK  
VILLAGE  
SOUTH**

TOWN OF PARKER, COUNTY  
OF DOUGLAS, COLORADO  
80134

SHEET TITLE  
**BLOCK  
SCHEMATIC**

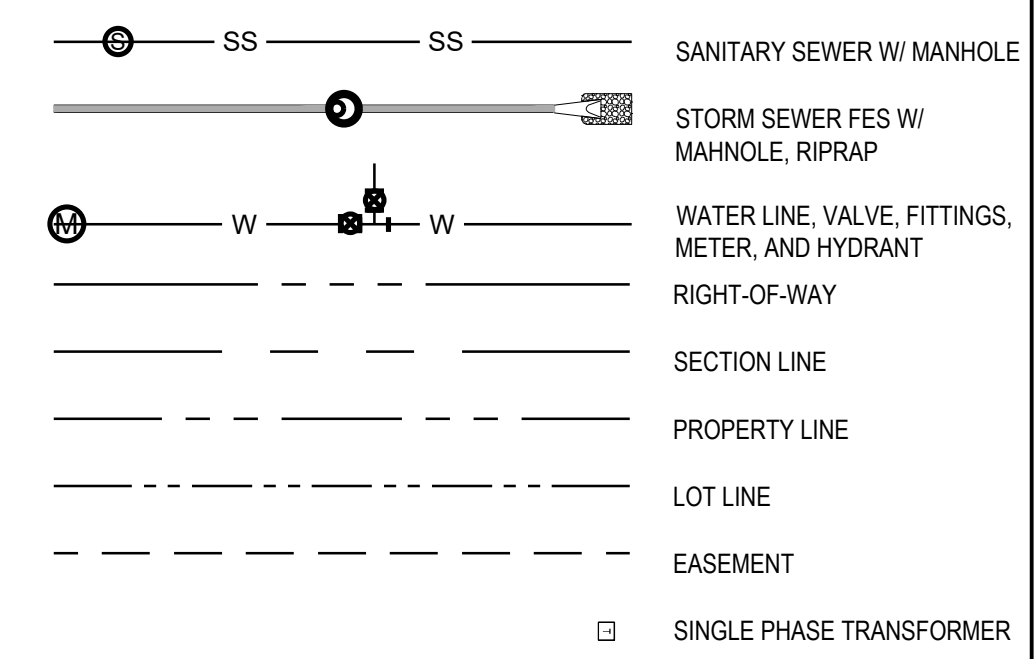
SHEET NUMBER  
**5**

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

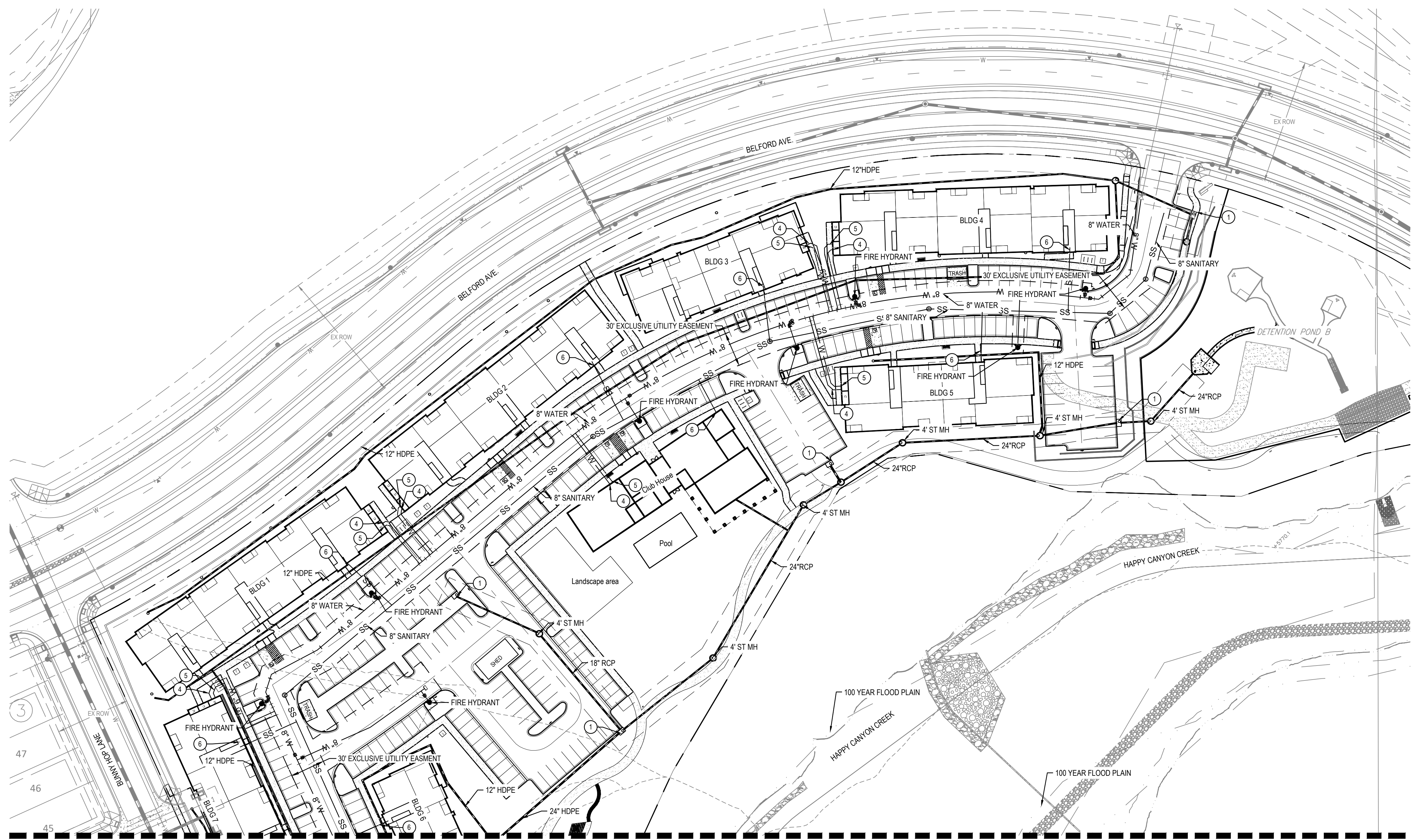
PROJECT NUMBER  
65120950  
DRAWN BY  
TV  
DATE  
01/12/2022

LEGEND

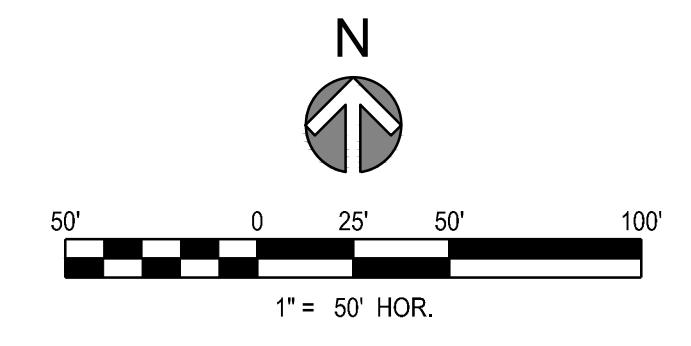


KEYNOTES

- ① 5' TYPE R INLET
- ② 10' TYPE R INLET
- ③ DOUBLE COMBO INLET TYPE 13
- ④ 2" DOMESTIC WATER SERVICE
- ⑤ 6" FIRE WATER SERVICE
- ⑥ 6" SANITARY SERVICE



MATCH LINE SEE SHEET 7



Engineering | Architecture | Design-Build | Surveying | Planning | Geospatial Solutions  
5970 GREENWOOD PLAZA BLVD.  
GREENWOOD VILLAGE, CO. 80111  
303-751-0741  
www.merrick.com

PREPARED FOR CENTURY COMMUNITIES



PROJECT  
**COMPARK VILLAGE SOUTH**

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE  
UTILITY PLAN

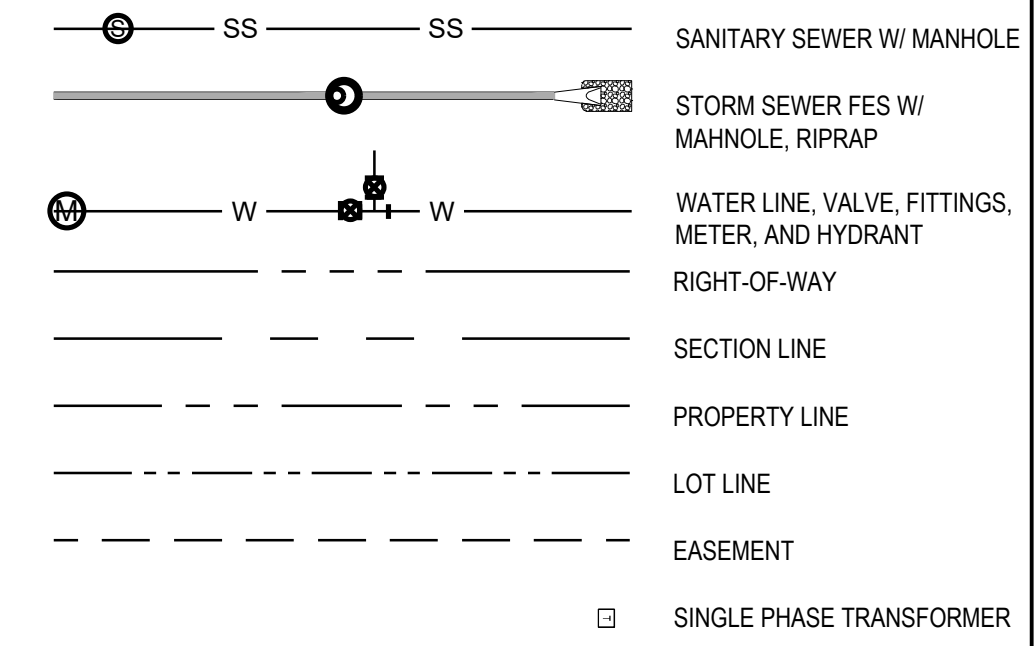
SHEET NUMBER  
**6**

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER  
65120950  
DRAWN BY  
TV  
DATE  
01/12/2022

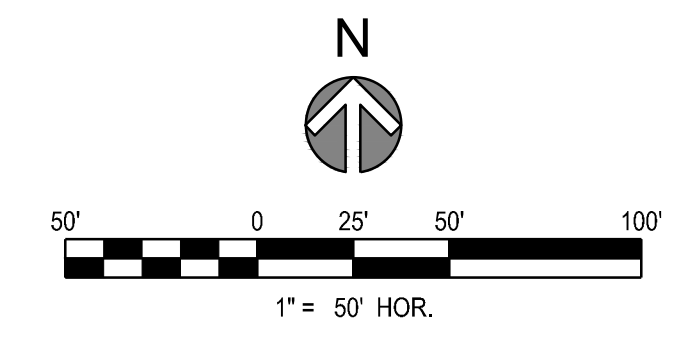
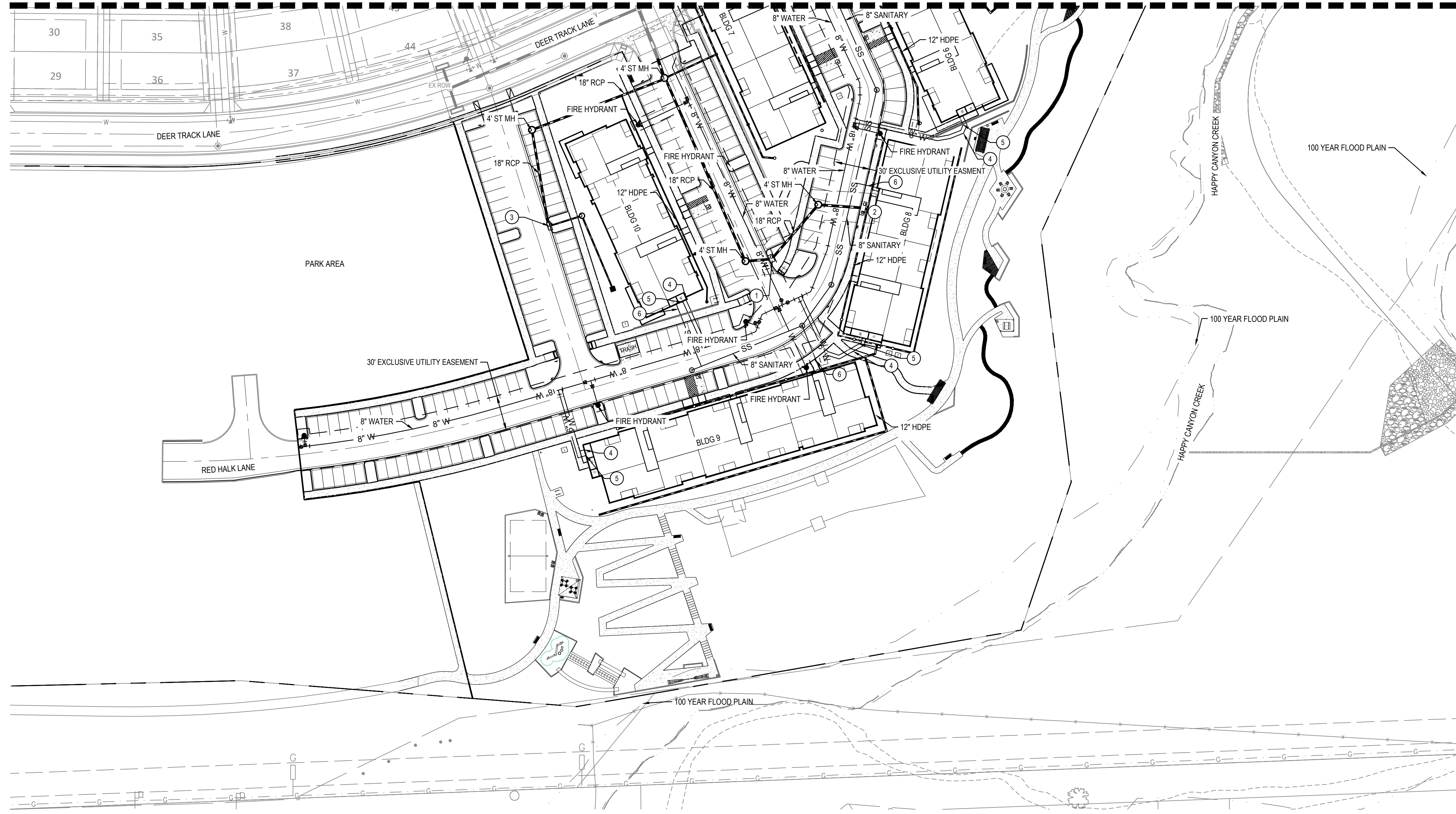
LEGEND



KEYNOTES

- ① 5' TYPE R INLET
- ② 10' TYPE R INLET
- ③ DOUBLE COMBO INLET TYPE 13
- ④ 2" DOMESTIC WATER SERVICE
- ⑤ 6" FIRE WATER SERVICE
- ⑥ 6" SANITARY SERVICE

MATCH LINE SEE SHEET 6



PREPARED FOR CENTURY COMMUNITIES



PROJECT  
**COMPARK VILLAGE SOUTH**

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE  
UTILITY PLAN

SHEET NUMBER  
7

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

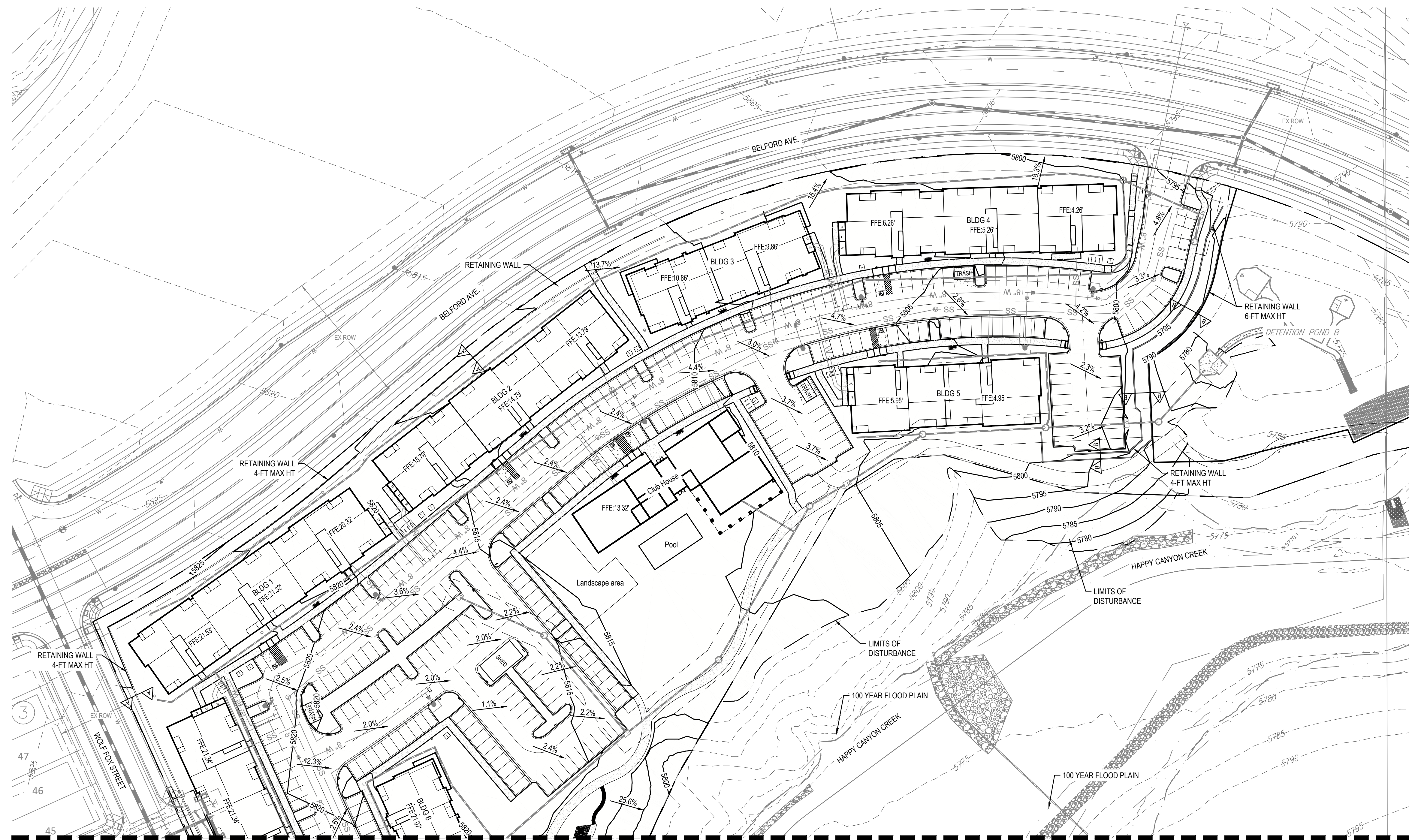
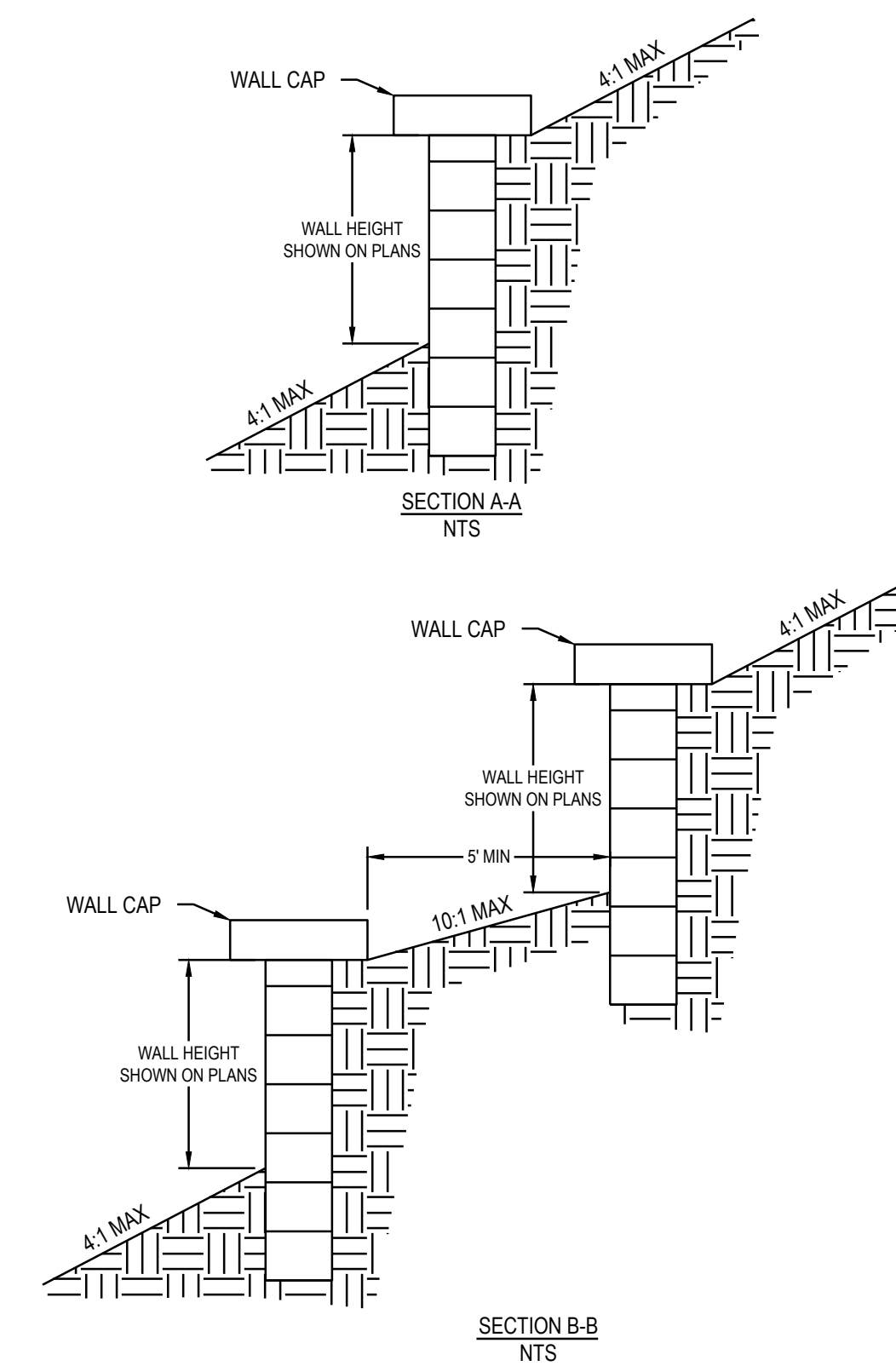
LEGEND	
	RIGHT-OF-WAY
	SECTION LINE
	PROPERTY LINE
	LOT LINE
	LIMITS OF DISTURBANCE

PROJECT NUMBER  
65120950  
DRAWN BY  
TV  
DATE  
01/12/2022

NOTES:

- RETAINING WALL HEIGHTS SHOWN REPRESENT EXPOSED FACE OF WALL (EXCLUDING CAP). RETAINING WALLS GREATER THAN 4-FT IN HEIGHT FROM BOTTOM COURSE (OR BASE OF FOOTING) REQUIRE SEPARATE BUILDING PERMITS. WALL PLANS MUST BE STAMPED BY A QUALIFIED ENGINEER COLORADO REGISTERED PROFESSIONAL ENGINEER.
- RETAINING WALLS TO BE SPLIT FACE MASONRY MATERIAL, TAN OR EARTH TONE COLOR.

WALL SECTIONS



MATCH LINE SEE SHEET 8



PREPARED FOR CENTURY COMMUNITIES



PROJECT

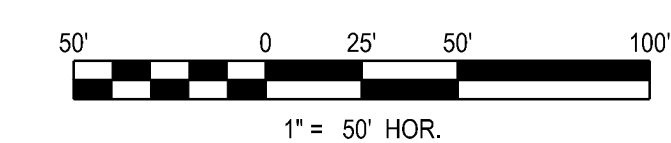
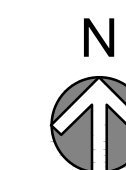
**COMPARK VILLAGE SOUTH**

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE  
GRADING PLAN

SHEET NUMBER

8



COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

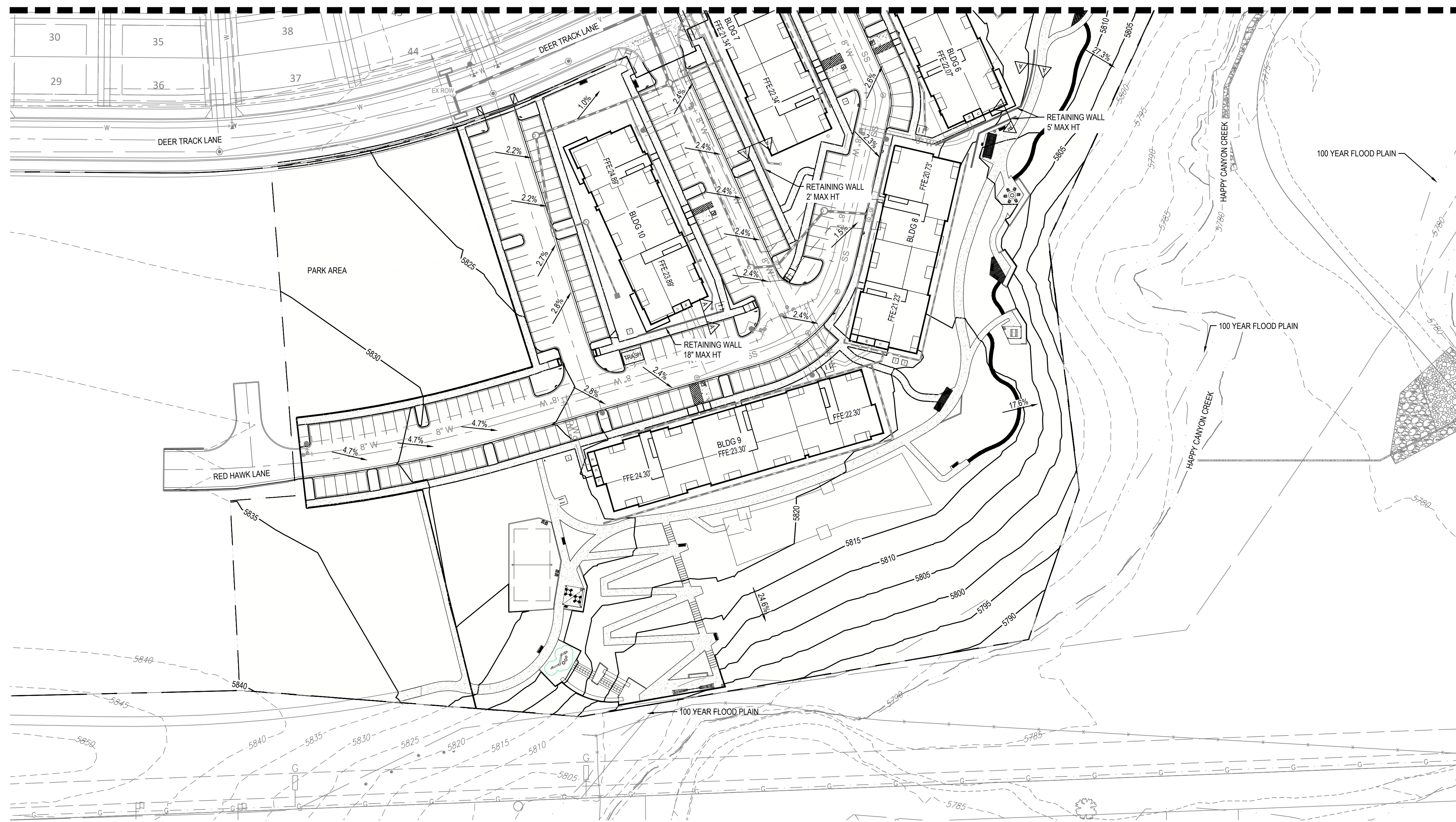
LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

LEGEND	
	RIGHT-OF-WAY
	SECTION LINE
	PROPERTY LINE
	LOT LINE
	LIMITS OF DISTURBANCE

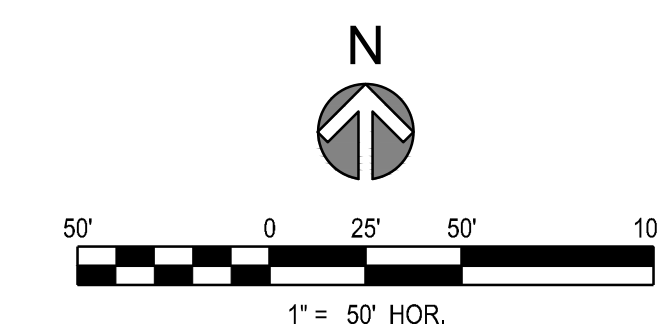
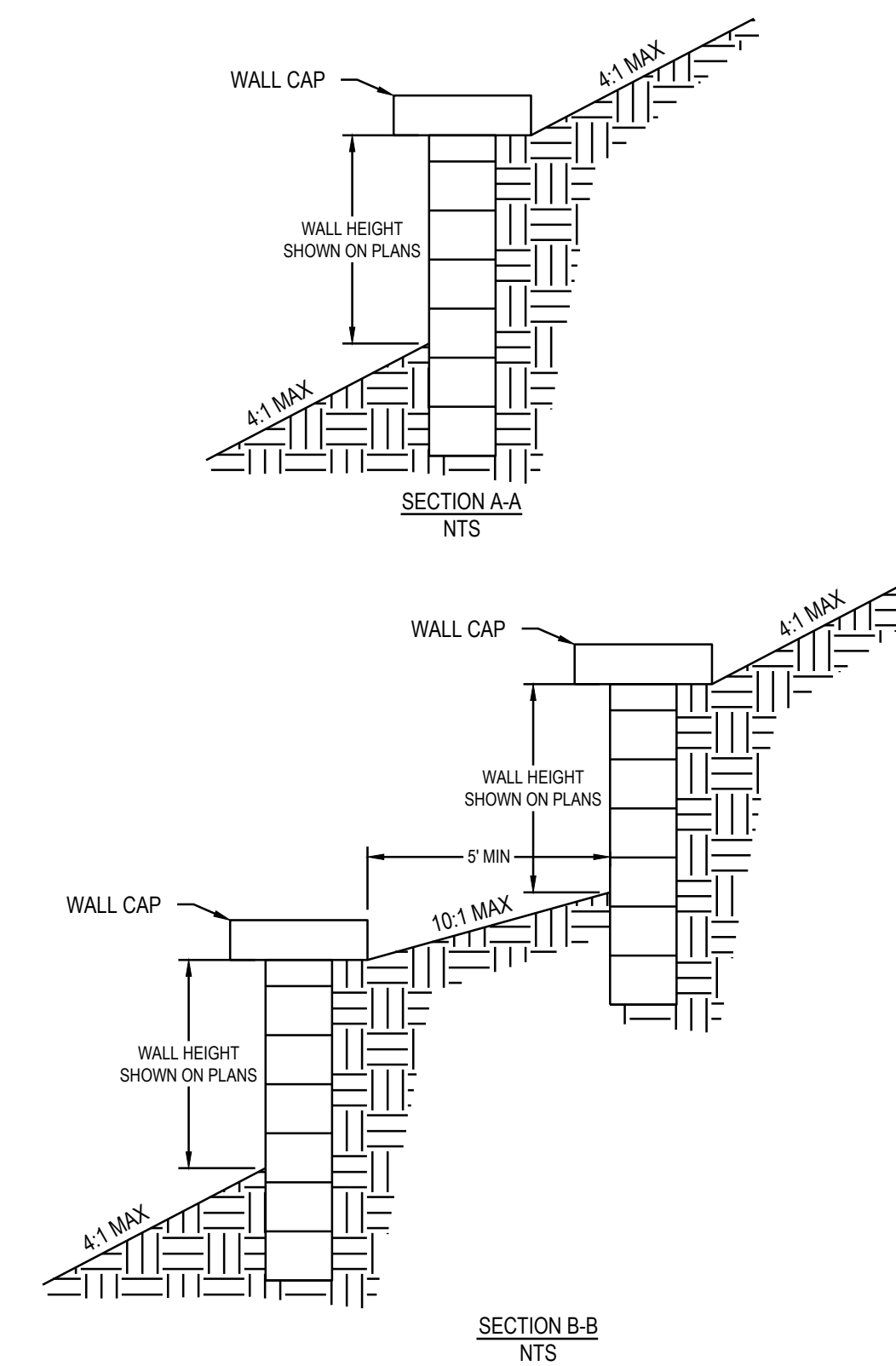
PROJECT NUMBER  
65120950  
DRAWN BY  
TV  
DATE  
01/12/2022

- NOTES:
- RETAINING WALL HEIGHTS SHOWN REPRESENT EXPOSED FACE OF WALL (EXCLUDING CAP). RETAINING WALLS GREATER THAN 4-FT IN HEIGHT FROM BOTTOM COURSE (OR BASE OF FOOTING) REQUIRE SEPARATE BUILDING PERMITS. WALL PLANS MUST BE STAMPED BY A QUALIFIED ENGINEER. COLORADO REGISTERED PROFESSIONAL ENGINEER.
  - RETAINING WALLS TO BE SPLIT FACE MASONRY MATERIAL, TAN OR EARTH TONE COLOR.

MATCH LINE SEE SHEET 8



WALL SECTIONS



PREPARED FOR CENTURY COMMUNITIES



PROJECT  
**COMPARK VILLAGE SOUTH**

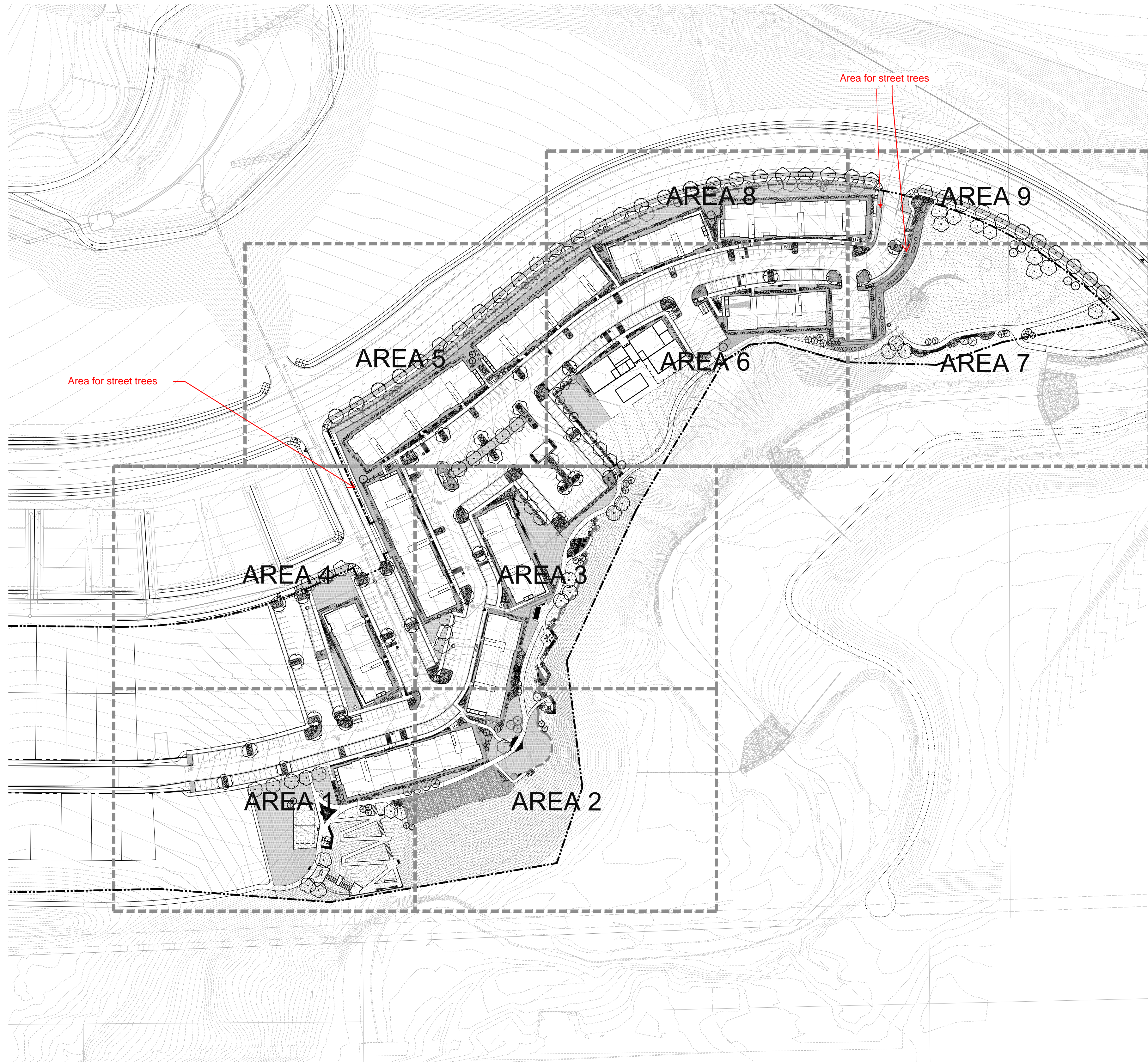
TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE  
GRADING PLAN

SHEET NUMBER  
**9**

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



OVERALL PLANT SCHEDULE

Canopy Tree	Quantity	Common Name	ROOT	CALIPER/HT.	MATURE HEIGHT WIDTH	YEARS TO MATURITY	IRR ZONE
CS	23	NORTHERN CATALPA	B & B	2" CAL	50' X 30'	20-30yr	LOW
GI	8	IMPERIAL HONEYLOCUST	B & B	2" CAL	35' X 25'	20-30yr	LOW-MOD
GS2	6	SHADEMASTER HONEYLOCUST	B & B	2" CAL	35' X 25'	20-30yr	LOW-MOD
GK	18	KENTUCKY COFFEE TREE	B & B	2" CAL	60' X 50'	20-30yr	LOW
PB3	14	LONDON PLANE TREE	B & B	2" CAL	60' X 35'	20-30yr	LOW-MOD
QB	18	SWAMP WHITE OAK	B & B	2" CAL	50' X 50'	20-30yr	LOW
BRO	19	BUR OAK	B & B	2" CAL	60' X 50'	20-30yr	LOW
QR	11	ENGLISH OAK	B & B	2" CAL	60' X 50'	20-30yr	LOW-MOD
QR3	10	RED OAK	B & B	2" CAL	50' X 40'	20-30yr	LOW
TG	16	GLENLEVEN LITTLELEAF LINDEN	B & B	2" CAL	45' X 30'	20-30yr	LOW-MOD
TOTAL	143						
Evergreen Tree	Quantity	Common Name	ROOT	CALIPER/HT.	MATURE HEIGHT WIDTH	YEARS TO MATURITY	IRR ZONE
PD3	28	BLACK HILLS SPRUCE	B & B	6" HT.	20' X 10'	20-30yr	LOW-MOD
PP	19	PINON PINE	B & B	6" HT.	25' X 15'	20-30yr	LOW
PH	18	BOSNIAN PINE	B & B	6" HT.	30' X 15'	20-30yr	LOW
AP	14	AUSTRIAN BLACK PINE	B & B	6" HT.	50' X 35'	20-30yr	LOW
TOTAL	79						
Ornamental Tree	Quantity	Common Name	ROOT	CALIPER/HT.	MATURE HEIGHT WIDTH	YEARS TO MATURITY	IRR ZONE
FAM	3	FLAME AMUR MAPLE	B & B	1.5" CAL	20' X 15'	10-15yr	LOW
AB2	8	AUTUMN BRILLIANCE SERVICEBERRY	B & B	1.5" CAL	20' X 15'	10-15yr	LOW
SS2	10	SPRING SNOW CRAB APPLE	B & B	1.5" CAL	20' X 15'	10-15yr	LOW
TOTAL	21						
Deciduous Shrubs	Quantity	Common Name	SIZE	MATURE HEIGHT WIDTH	YEARS TO MATURITY	IRR ZONE	
AA	12	SASKATOON SERVICEBERRY	5 GAL	12" X 6"	7-12yr	LOW	
BG	67	GOLDEN NUGGET BARBERRY	5 GAL	2' X 2'	7-12yr	LOW	
RGB	61	ROSY GLOW BARBERRY	5 GAL	5' X 4'	7-12yr	LOW	
BR	85	ROYAL BURGUNDY BARBERRY	5 GAL	3' X 3'	7-12yr	LOW	
DKS	172	BLUE MIST SPIREA	5 GAL	3' X 3'	7-12yr	LOW-MOD	
CF2	30	YELLOW TWIG DOGWOOD	5 GAL	6' X 6'	7-12yr	LOW	
CI	28	SANTI REDOSIER DOGWOOD	5 GAL	5' X 5'	7-12yr	LOW-MOD	
EC2	96	COMPACT BURNING BUSH	5 GAL	5' X 5'	7-12yr	LOW	
FN	9	NEW MEXICAN PRIVET	5 GAL	10' X 8'	7-12yr	LOW	
LL	57	LODENSE PRIVET	5 GAL	3' X 3'	7-12yr	LOW	
PA	92	RUSSIAN SAGE	5 GAL	4' X 4'	7-12yr	LOW	
PL	167	LITTLELEAF MOCKORANGE	5 GAL	4' X 4'	7-12yr	LOW	
PDG	72	DART'S GOLD NINEBARK	5 GAL	5' X 5'	7-12yr	LOW-MOD	
PL2	166	LITTLE DEVIL NINEBARK	5 GAL	4' X 4'	7-12yr	LOW	
PP2	103	CREeping WESTERN SAND CHERRY	5 GAL	1.5' X 4'	7-12yr	LOW	
RC	12	WESTERN SMOOTH SUMAC	5 GAL	3' X 5'	7-12yr	LOW	
RG	110	DWARF FRAGRANT SUMAC	5 GAL	3' X 5'	7-12yr	LOW	
RF	110	FIRE MEIDLAND ROSE	5 GAL	4' X 4'	7-12yr	LOW	
RR2	55	WHITE KNOCK OUT ROSE	5 GAL	4' X 4'	7-12yr	LOW	
SW	62	ANTHONY WATERER SPIREA	5 GAL	3' X 4'	7-12yr	LOW-MOD	
SG	45	GOLDFLAME SPIREA	5 GAL	3' X 3'	7-12yr	LOW-MOD	
SN	123	SNOWMOUND SPIREA	5 GAL	4' X 4'	7-12yr	LOW-MOD	
SC3	55	HANCOCK CHENAUULT CORALBERRY	5 GAL	3' X 6'	7-12yr	LOW	
VB	25	BURKWOOD VIBURNUM	5 GAL	6' X 6'	7-12yr	LOW-MOD	
TOTAL	1814						
Evergreen Shrubs	Quantity	Common Name	SIZE	MATURE HEIGHT WIDTH	YEARS TO MATURITY	IRR ZONE	
AP2	147	PANCHITO MANZANITA	5 GAL	1.5' X 4'	7-12yr	LOW	
EK2	53	MANHATTAN EUONYMUS	5 GAL	4' X 6"	7-12yr	LOW	
JC	120	ARMSTRONG JUNIPER	5 GAL	4' X 4"	7-12yr	LOW	
JUB	74	BLUE CHIP JUNIPER	5 GAL	8" X 7"	7-12yr	LOW	
JH	78	HUGHES JUNIPER	5 GAL	1.5' X 6"	7-12yr	LOW	
JUA	60	ARCADIA JUNIPER	5 GAL	2' X 6"	7-12yr	LOW	
JB	53	BUFFALO JUNIPER	5 GAL	1.5' X 6"	7-12yr	LOW	
JS3	82	SIERRA SPREADER JUNIPER	5 GAL	1.5' X 6"	7-12yr	LOW	
JS2	21	SKYROCKET JUNIPER	10 GAL	20' X 3'	7-12yr	LOW	
JO	186	OLD GOLD JUNIPER	5 GAL	4' X 4"	7-12yr	LOW	
JS	28	SEA GREEN JUNIPER	5 GAL	8' X 6"	7-12yr	LOW	
WBM	94	MUGO PINE	5 GAL	2' X 3"	7-12yr	LOW	
TOTAL	996						
Grasses	Quantity	Common Name	SIZE	MATURE HEIGHT WIDTH	YEARS TO MATURITY	IRR ZONE	
BB	294	BLONDE AMBITION BLUE GRAMA	1 GAL	3' X 2"	3yr	LOW	
FRG	302	FEATHER REED GRASS	1 GAL	5' X 30"	3yr	LOW-MOD	
CL	104	WOOD OATS	1 GAL	2' X 2"	3yr	LOW	
HS	87	BLUE OAT GRASS	1 GAL	2.5' X 2.5'	3yr	LOW	
NP	36	MEXICAN FEATHERGRASS	1 GAL	2' X 2"	3yr	LOW	
PC2	81	SWITCH GRASS	1 GAL	3' X 2"	3yr	LOW	
TOTAL	904						
Ground Cover	Area	Common Name					
SEED	154,743sf	NATIVE SEED MIX					
SOD	71,429sf	BLACK BEAUTY FESCUE					
WOOD MULCH	82,776sf	SHREDDED WESTERN RED CEDAR BARK					
SAND	9,234sf	SAND					

% to overall landscaping



PROJECT NUMBER  
65120950  
DRAWN BY  
AML  
DATE  
01/12/2022

Landscape Architecture  
creating spaces  
pcs group inc. www.pcsgruopco.com  
p.o. box 18287  
denver, co 80218  
1.303.531.4905 f.1.303.531.4908

MERRICK  
Engineering | Architecture | Design-Build | Surveying |  
Planning | Geospatial Solutions  
5970 GREENWOOD PLAZA BLVD.  
GREENWOOD VILLAGE, CO. 80111  
303-751-0741  
www.merrick.com

PREPARED FOR CENTURY COMMUNITIES

CENTURY COMMUNITIES

PROJECT  
COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE

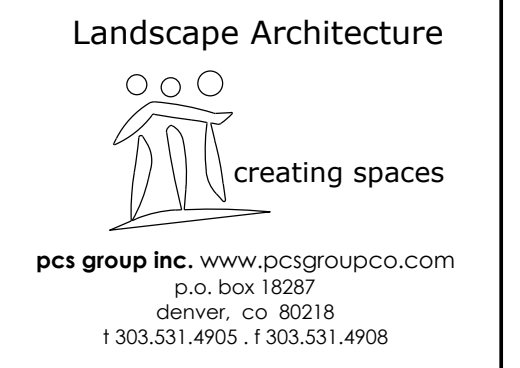
MASTER LANDSCAPE PLAN

SHEET NUMBER

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER  
65120950  
DRAWN BY  
AML  
DATE  
01/12/2022



PREPARED FOR CENTURY COMMUNITIES



PROJECT

COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE

LANDSCAPE NOTES & DETAILS

SHEET NUMBER

GENERAL NOTES

- NO SUBSTANTIAL CHANGE FROM THE APPROVED LANDSCAPE PLAN WITHOUT PRIOR REVIEW OF THE PARKER WATER AND SANITATION DISTRICT, WHICH MAY REQUIRE ADDITIONAL IRRIGATION TAPS FOR CHANGES DUE TO MORE WATER INTENSIVE LANDSCAPING.
- ALL LANDSCAPING (EDGE OF ROOT BALLS) SHALL BE SETBACK FROM BUILDINGS A MINIMUM OF 3'.
- ABSOLUTELY NO IRRIGATION EQUIPMENT OF ANY KIND IS TO BE INSTALLED OR PLACED CLOSER THAN 5'-0" TO THE STRUCTURAL FOUNDATION OF ANY BUILDING.

LANDSCAPE NOTES

- ALL WORK SHALL CONFORM TO LOCAL CITY AND COUNTY CODES. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES, LINES AND STRUCTURES PRIOR TO EXCAVATION OR TRENCHING. DAMAGE TO THESE UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER OR LANDSCAPE ARCHITECT.
- PLANT QUANTITIES TO BE BASED ON CONTRACTOR'S ESTIMATE ACCORDING TO PLANS, WHICH ARE SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT.
- GRAPHIC SYMBOLS PRESIDE OVER WRITTEN PLANT QUANTITIES. (IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN GRAPHIC AND LANDSCAPE LEGEND, THE PLANT MATERIAL QUANTITY AS DETERMINED BY THE PLAN GRAPHIC SHALL TAKE PRECEDENCE.)
- ALL TREE AND SHRUB LOCATIONS SHALL BE STAKED BY THE CONTRACTOR AND APPROVED BY THE OWNER, OR LANDSCAPE ARCHITECT.
- PLANT SUBSTITUTIONS WILL NOT BE PERMITTED WITHOUT APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT.
- ALL TURF AREAS TO BE SPRAY IRRIGATED. ALL SHRUB BEDS TO BE DRIP IRRIGATED. ALL PERENNIAL AREAS TO BE IRRIGATED WITH 12" POP-UP SPRAY HEADS UNLESS OTHERWISE NOTED. THIS SYSTEM IS AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.
- WINTER PROTECTION AND WATERING OF TREES SHALL BE PROVIDED WHEN NECESSARY TO MAINTAIN THE HEALTH AND SURVIVAL OF PLANT MATERIAL.
- WOOD MULCH TO BE SHREDDED WESTERN RED CEDAR BARK MULCH.
- SOD TO BE BLACK BEAUTY FESCUE.
- ALL TREE RINGS TO BE MULCHED WITH WOOD MULCH TO A DEPTH OF 3 INCHES MINIMUM WITH NO LANDSCAPE FABRIC.
- ALL SHRUB BEDS TO BE MULCHED WITH WOOD MULCH TO A DEPTH OF 3 INCHES MINIMUM WITH LANDSCAPE FABRIC.
- FOR TREES IN SOD OR NATIVE GRASS, ALLOW A 2' DIAMETER BED WITHOUT SOD AROUND ROOT COLLAR. APPLY 3" DEPTH OF WOOD MULCH OVER 2' DIAMETER BED FOLLOWING SOD INSTALLATION.
- ALL SHRUB AND SOD AREAS SHALL RECEIVE THE FOLLOWING SOIL AMENDMENTS PER 1000 S.F.: 4 CUBIC YARDS "SUPREME ORGANICS" COMPOST (50% COW MANURE, 50% WOOD FINES) OR APPROVED EQUAL, PLUS 15 LBS. OF 20-10-5 COMMERCIAL FERTILIZER. ROT-TILL TO A MINIMUM DEPTH OF 6".
- PLANTS SHALL BE INSTALLED IMMEDIATELY UPON DELIVERY TO SITE. IF THIS IS NOT POSSIBLE, PLANTS SHALL BE HELED IN AND WATERED TO PREVENT DEHYDRATION.
- PLANTING PITS SHALL BE EXCAVATED TO A MINIMUM OF TWICE THE WIDTH OF THE ROOTBALL. DO NOT DISTURB SOIL AT THE BOTTOM OF PIT BUT SCARIFY SIDES TO PREVENT GLAZING.
- PLANTS SHOULD BE THOROUGHLY WATERED IMMEDIATELY AFTER PLANTING, ALLOWING WATER TO SOAK DOWN AND FILL REMAINDER OF HOLE WITH LOOSE SOIL. WITHOUT FURTHER PACKING, A MOUND OF SOIL SHALL BE FORMED AROUND THE EDGE OF EACH TREE PIT TO FORM A SHALLOW SAUCER.

- AFTER PLANT INSTALLATION, ALL PLANT MATERIAL SHALL BE PLACED WITH THEIR ROOT COLLARS SLIGHTLY HIGHER THAN FINISH GRADE. (3" HIGHER FOR TREES.)
- LANDSCAPING SHALL BE PLANTED AND MAINTAINED BY THE OWNER, SUCCESSOR, AND/OR ASSIGNS. SHOULD ANY PLANT MATERIAL DIE, IT SHALL BE REPLACED WITH SIMILAR PLANT MATERIAL WITHIN ONE PLANTING SEASON.
- LANDSCAPE AND SCREENING MAINTENANCE AND REPLACEMENT: THE PROPERTY OWNER SHALL MAINTAIN THE LANDSCAPING PLAN AS ORIGINALLY APPROVED, AND PROVIDE FOR REPLACEMENT OF PLANT MATERIALS THAT HAVE DIED OR HAVE OTHERWISE BEEN DAMAGED OR REMOVED, AND MAINTENANCE OF ALL NON-LIVE LANDSCAPING MATERIALS. IN THIS CASE, LIVE MATERIAL IS TO BE MAINTAINED AND REPLACED BY THE CONTRACTOR WHICH SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL INSPECTION.
- ALL LANDSCAPE SHOWN ON THESE PLANS SHALL BE MAINTAINED IN A NEAT AND ADEQUATE MANNER. REQUIRED MAINTENANCE ACTIVITIES SHALL INCLUDE, BUT NOT BE LIMITED TO TRIMMING OF HEDGES, ADEQUATE IRRIGATION, REPLACEMENT OF DEAD, DISEASED OR UNSIGHTLY LANDSCAPING, REMOVAL OF WEEDS FROM PLANTING AREAS, AND APPROPRIATE PRUNING OF PLANT MATERIALS.
- THE CONTRACTOR SHALL STAKE OUT ALL KEY AREAS INCLUDING BUT NOT LIMITED TO SIDE WALKS, STEEL EDGING, PLANT BEDS, TREE AND SHRUB LOCATIONS AND OBTAIN APPROVAL BY THE LANDSCAPE ARCHITECT OR DEVELOPER (MAKING MODIFICATIONS AS MAY BE REQUIRED AT NO ADDITIONAL COST), PRIOR TO PROCEEDING WITH THE CONSTRUCTION.
- SOIL BACKFILL MIXTURE FOR ALL PERENNIAL BEDS SHALL BE 1/3 COW MANURE, 1/3 IMPORTED TOPSOIL, AND 1/3 ON-SITE SOIL.
- THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND BASE HIS BID ON ACTUAL ON-SITE CONDITIONS AND MEASUREMENTS. ANY DISCREPANCIES, ERRORS OR OMISSIONS ON THE CONSTRUCTION DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT MANAGER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL REVISIONS DUE TO FAILURE TO GIVE SUCH NOTICE.
- CONTRACTOR SHALL SEED ALL NON-SODDED AND NON-IRRIGATED SODDED AREAS WHICH ARE DISTURBED BY GRADING WITH THE DOUGLAS COUNTY PERMANENT DRILL SEED MIX.
- THE CONTRACTOR OR AN OWNER'S REPRESENTATIVE WILL MONITOR THE ESTABLISHMENT OF SEEDED AREAS ON A MONTHLY BASIS FROM APRIL 15TH TO OCTOBER 15TH FOR THE FIRST THREE YEARS AFTER INSTALLATION. AREAS OF POOR GERMINATION OR GROWTH AND AREAS OF EROSION OR WEED INFESTATION WILL BE CORRECTED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL RESTORE ANY AND ALL DAMAGE DUE TO HIS CONSTRUCTION OPERATIONS TO THEIR ORIGINAL STATE AT HIS EXPENSE.
- IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS AND SIMILAR FEATURES ARE NOT SHOWN ON THE LANDSCAPE PLANS, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DURING THE SITE INSPECTION PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, OR FINAL INSPECTION AS APPLICABLE.

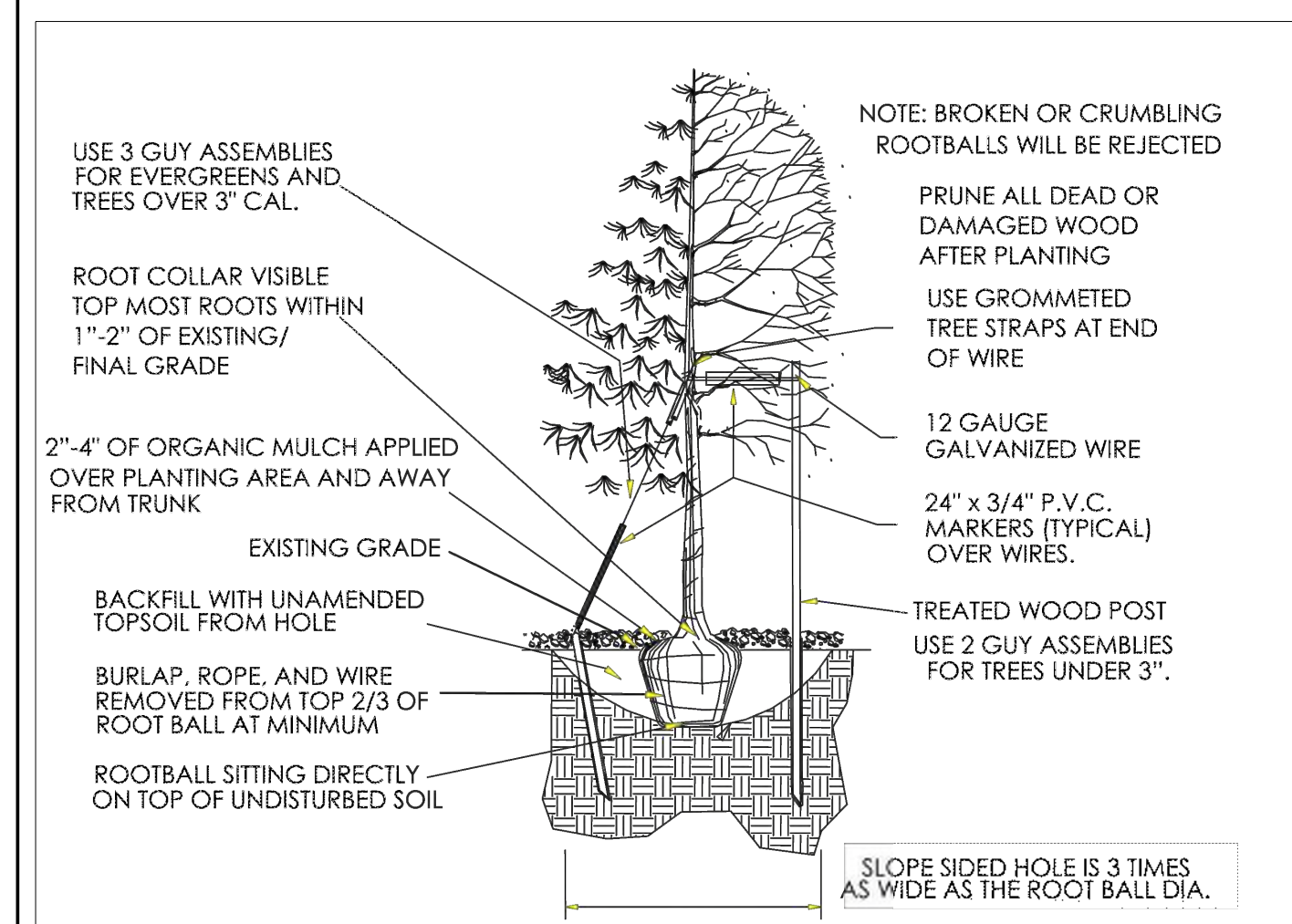
LANDSCAPE MAINTENANCE

- LANDSCAPING SHALL BE PLANTED AND MAINTAINED BY THE OWNER, SUCCESSOR, AND/OR ASSIGNS. SHOULD ANY PLANT MATERIAL DIE, IT SHALL BE REPLACED WITH SIMILAR PLANT MATERIAL WITHIN ONE PLANTING SEASON.

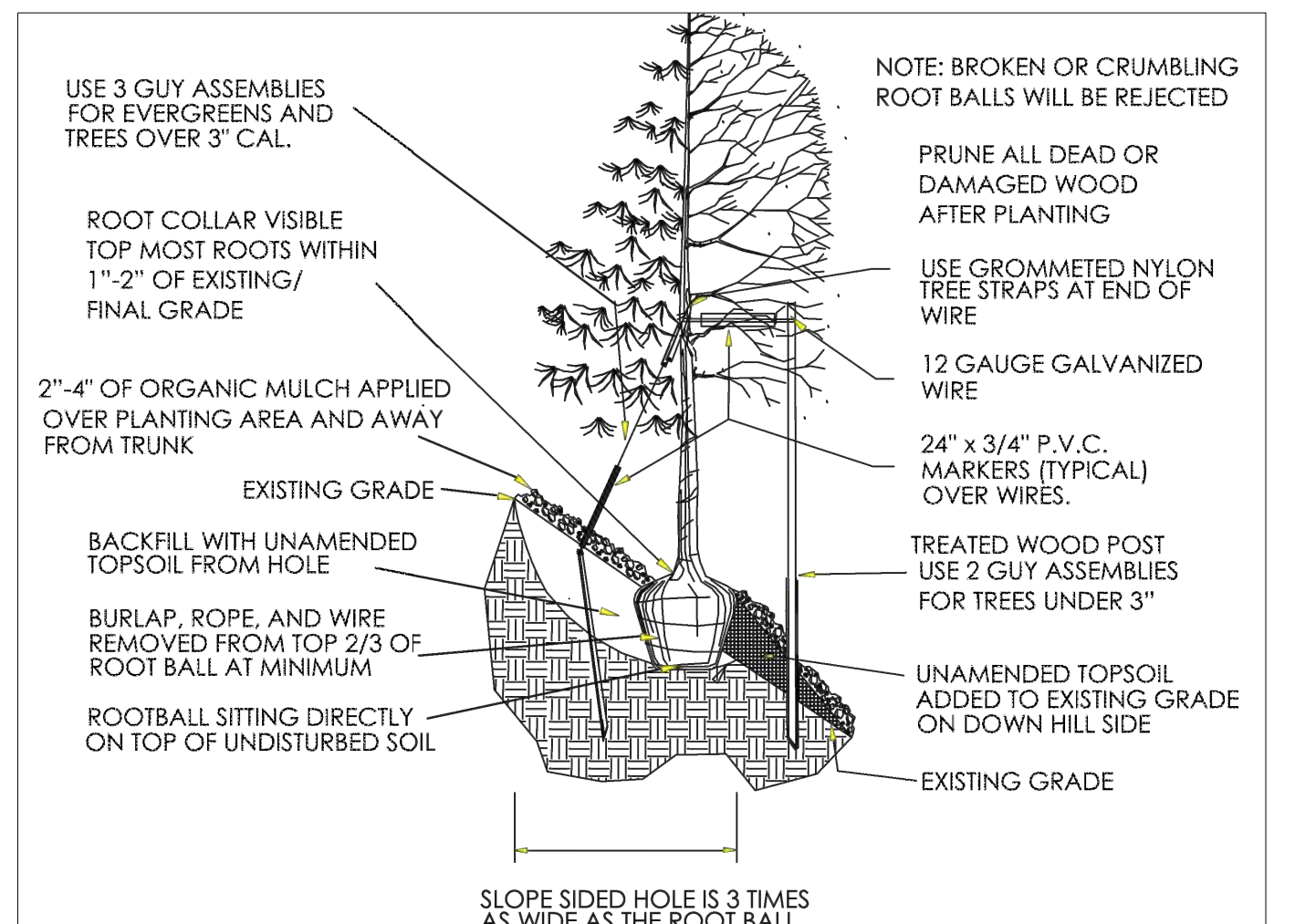
Please see our landscape regulations. While the chart was an example you used the wrong requirements. Multi-Family requires 45% landscaping, the 15% only applies to commercial:  
[https://library.municode.com/co/parker/codes/municipal\\_code?node=TIT13LAD\\_EOR\\_CH13.06SIPLSTPR\\_13.06.07OLR&E](https://library.municode.com/co/parker/codes/municipal_code?node=TIT13LAD_EOR_CH13.06SIPLSTPR_13.06.07OLR&E)

All numbers will need to be re-worked

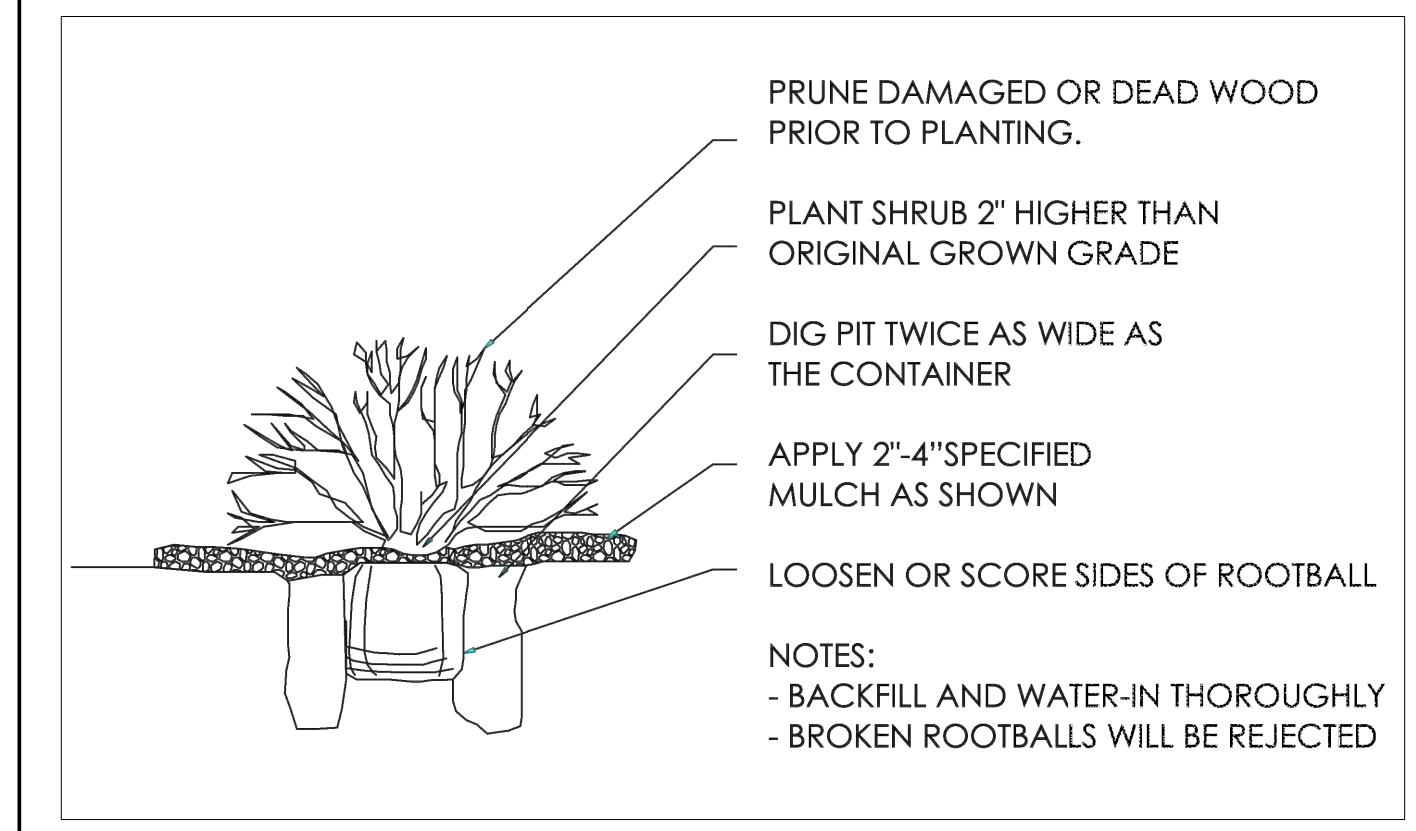
No multiple-family development shall allocate less than forty-five percent (45%) of the developed area for landscaping, except for development in the Historic Center and Pikes Peak Center, which are subject to the provisions contained within the Greater Downtown District standards and guidelines. Development within the Town Center and Twenty Mile Center may count public plazas in the calculation.  
a. Sixty percent (60%) of the landscaped area must be used for passive and/or active recreation. The remaining, up to forty percent (40%), of the landscaped area will be used to fulfill other landscaping requirements as described in this Section.  
b. At maturity, at least seventy-five percent (75%) of the landscaped area shall have a ground cover of living plant material, including, but not limited to, trees, shrubs, ground cover, turf or seed and other recognized perennial ground covering plant materials. Deciduous tree canopies shall not be included in the calculation.  
c. The remaining percentage of the area required to be landscaped may be covered with bark, wood chips, wood shavings, rock, stones or other materials (not including exposed gravel) approved during the site plan process.



1 Town of Parker - Tree Planting Detail  
Scale: NTS



2 Town of Parker - Tree Planting Detail - Slopes  
Scale: NTS



3 Town of Parker - Shrub Planting Detail  
Scale: NTS

Add percentage for traditional turf grasses

Add rows for street tree calcs for access aisles.

Add this calc: A minimum area equal to ten percent (10%) of the total area covered by the parking lot shall be allocated to landscaped islands. The area covered by the parking lot shall include parking stalls and circulation aisles with parking stall access, but exclude access drives, loading areas and similar access features.

Site perimeter applies to entire site perimeter-not just southern property line

Include Overall Totals for Trees and Shrubs and then also a calculation for trees and shrubs not including streetscape and interior parking which cannot count to 45% minimum

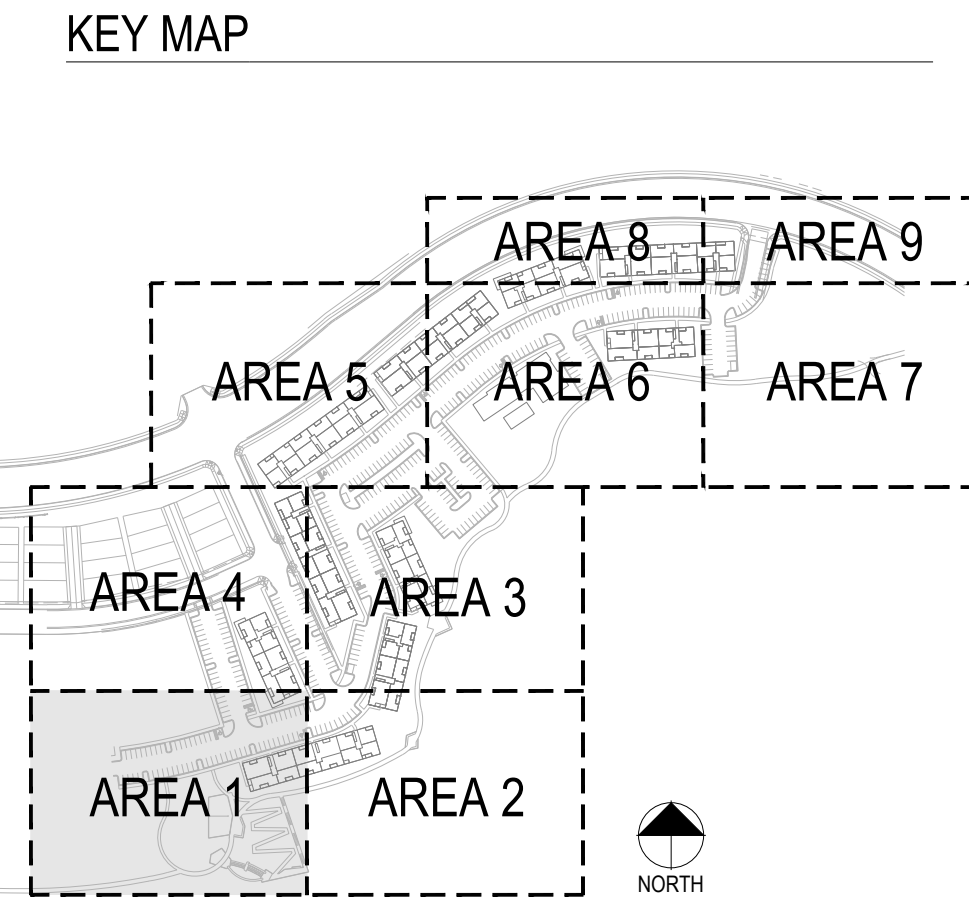
A. INTERNAL LANDSCAPING		LANDSCAPE AREA			% LIVE COVER					
NET SITE AREA		REQUIRED (15%)	PROVIDED	SURPLUS / DEFICIT	REQUIRED (75%)	PROVIDED	SURPLUS / DEFICIT			
653303.1		97995.5	316461.1	218465.6	237345.8	296378.2	59032.4			
INTERNAL LANDSCAPE AREA (SF)		TREE REQUIREMENT 1/1500 SF			SHRUB REQUIREMENT 5/1500 SF			TREE EQUIVALENT CALCULATION		
316461.1		REQUIRED	PROVIDED	SURPLUS / DEFICIT	REQUIRED	PROVIDED	SURPLUS / DEFICIT	Shrubs available for Tree Equivalents	Total Equivalent Trees	Total Tree & Tree Equivalents Provided
		211	220	9	1055	2810	1755	-	-	-
B. STREETScape LANDSCAPE		TREE REQUIREMENT 1/40 LF			SHRUB REQUIREMENT			TREE EQUIVALENT CALCULATION		
LOCATION	LENGTH	REQUIRED	PROVIDED	SURPLUS / DEFICIT	REQUIRED	PROVIDED		Shrubs available for Tree Equivalents	Total Equivalent Trees	Total Tree & Tree Equivalents Provided
BELFORD AVE.	1492	37	37	0	N/A			-	-	-
C. LANDSCAPE PERIMETER (STANDARD)		TREE REQUIREMENT 1/40 LF			SHRUB REQUIREMENT 5/40 LF			TREE EQUIVALENT CALCULATION		
LOCATION	LENGTH / PERCENT	REQUIRED	PROVIDED	SURPLUS / DEFICIT	REQUIRED	PROVIDED		Shrubs available for Tree Equivalents	Total Equivalent Trees	Total Tree & Tree Equivalents Provided
SOUTH PROPERTY LINE	2040	51	51	0	255	261	6	-	-	-
MIN. EVERGREEN REQUIREMENT	40%	20	33	13	N/A		-	-	-	-
D. PARKING LOT LANDSCAPE		TREE REQUIREMENT 1/162 SF OF LANDSCAPE ISLAND			SHRUB REQUIREMENT 5/162 SF OF LANDSCAPE ISLAND			TREE EQUIVALENT CALCULATION		
PARKING LOT INTERIOR	AREA	REQUIRED	PROVIDED	SURPLUS / DEFICIT	REQUIRED	PROVIDED		Shrubs available for Tree Equivalents	Total Equivalent Trees	Total Tree & Tree Equivalents Provided
	15280	94	47	-47	472	963	491	491	49	96

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

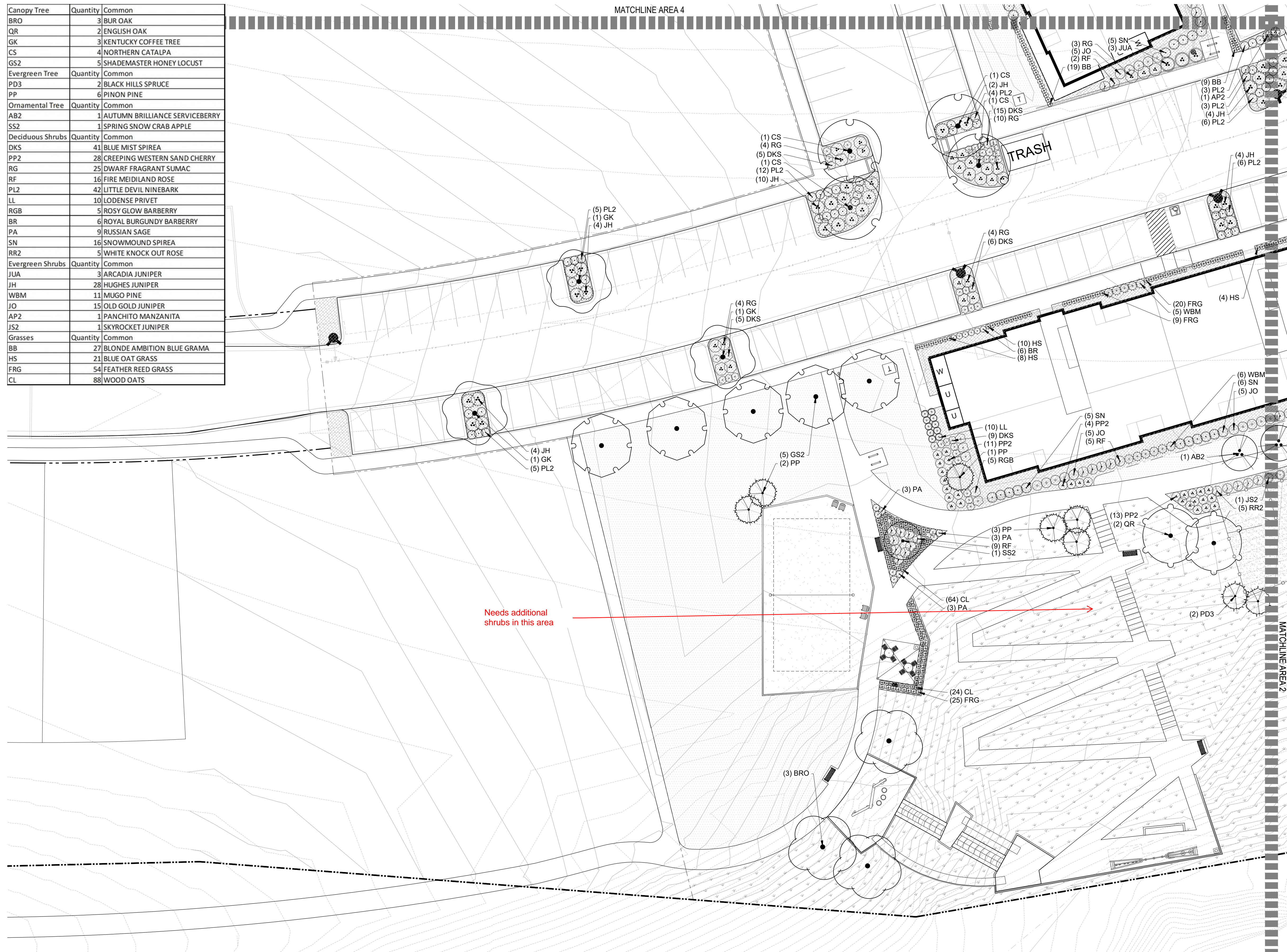
LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER  
65120950  
DRAWN BY  
AML  
DATE  
01/12/2022

Landscape Architecture  
creating spaces  
pcs group inc. www.pcsgruppco.com  
p.o. box 18287  
denver, co 80218  
1.303.531.4905 f. 303.531.4908



Canopy Tree	Quantity	Common
BRO	3	BUR OAK
QR	2	ENGLISH OAK
GK	3	KENTUCKY COFFEE TREE
CS	4	NORTHERN CATALPA
GS2	5	SHADEMASTER HONEY LOCUST
Evergreen Tree	Quantity	Common
PD3	2	BLACK HILLS SPRUCE
PP	6	PINON PINE
Ornamental Tree	Quantity	Common
AB2	1	AUTUMN BRILLIANCE SERVICEBERRY
SS2	1	SPRING SNOW CRAB APPLE
Deciduous Shrubs	Quantity	Common
DKS	41	BLUE MIST SPIREA
PP2	28	CREeping WESTERN SAND CHERRY
RG	25	DWARF FRAGRANT SUMAC
RF	16	FIRE MEIDLAND ROSE
PL2	42	LITTLE DEVIL NINEBARK
LL	10	LODENSE PRIVET
RGB	5	ROSY GLOW BARBERRY
BR	6	ROYAL BURGUNDY BARBERRY
PA	9	RUSSIAN SAGE
SN	16	SNOWMOUND SPIREA
RR2	5	WHITE KNOCK OUT ROSE
Evergreen Shrubs	Quantity	Common
JUA	3	ARCADIA JUNIPER
JH	28	HUGHES JUNIPER
WBM	11	MUGO PINE
JO	15	OLD GOLD JUNIPER
AP2	1	PANCHITO MANZANITA
JS2	1	SKYROCKET JUNIPER
Grasses	Quantity	Common
BB	27	BLONDE AMBITION BLUE GRAMA
HS	21	BLUE OAT GRASS
FRG	54	FEATHER REED GRASS
CL	88	WOOD OATS



Needs additional shrubs in this area →

LANDSCAPE KEY

- DECIDUOUS TREES
- EVERGREEN TREES
- ORNAMENTAL TREES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- SOD
- NATIVE SEED MIX
- WOOD MULCH
- SAND
- POURED-IN-PLACE SURFACE
- EDGER - PERFORATED
- CRUSHER FINES TRAIL



PREPARED FOR CENTURY COMMUNITIES



PROJECT  
**COMPARK VILLAGE SOUTH**

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

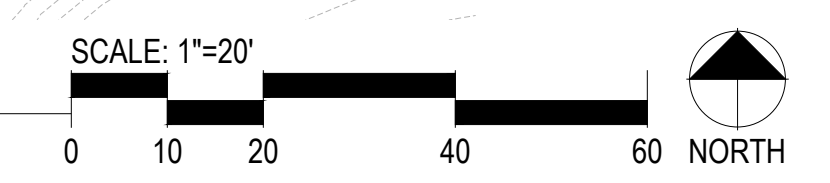
SHEET TITLE

**LANDSCAPE PLAN AREA 1**

SHEET NUMBER

12

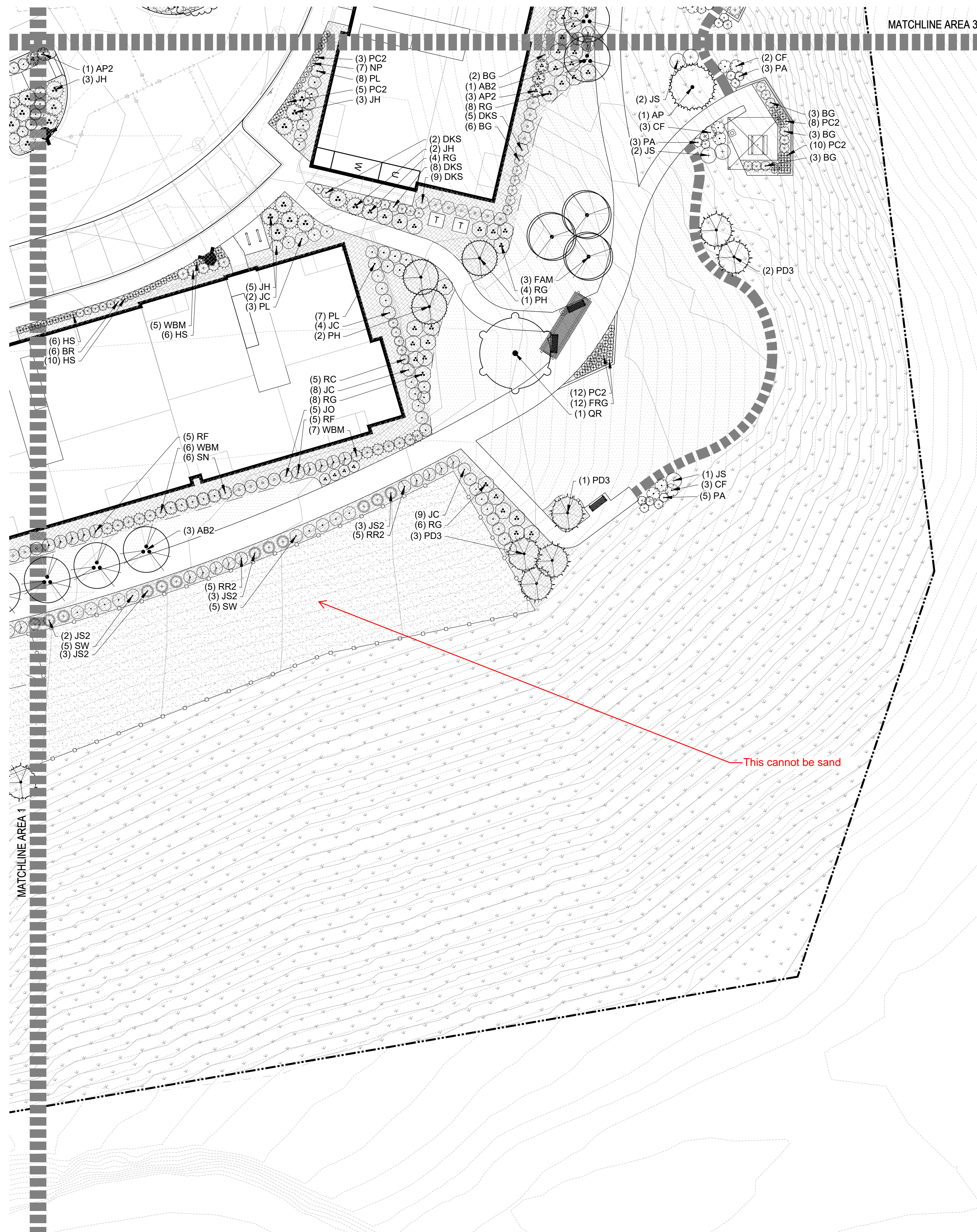
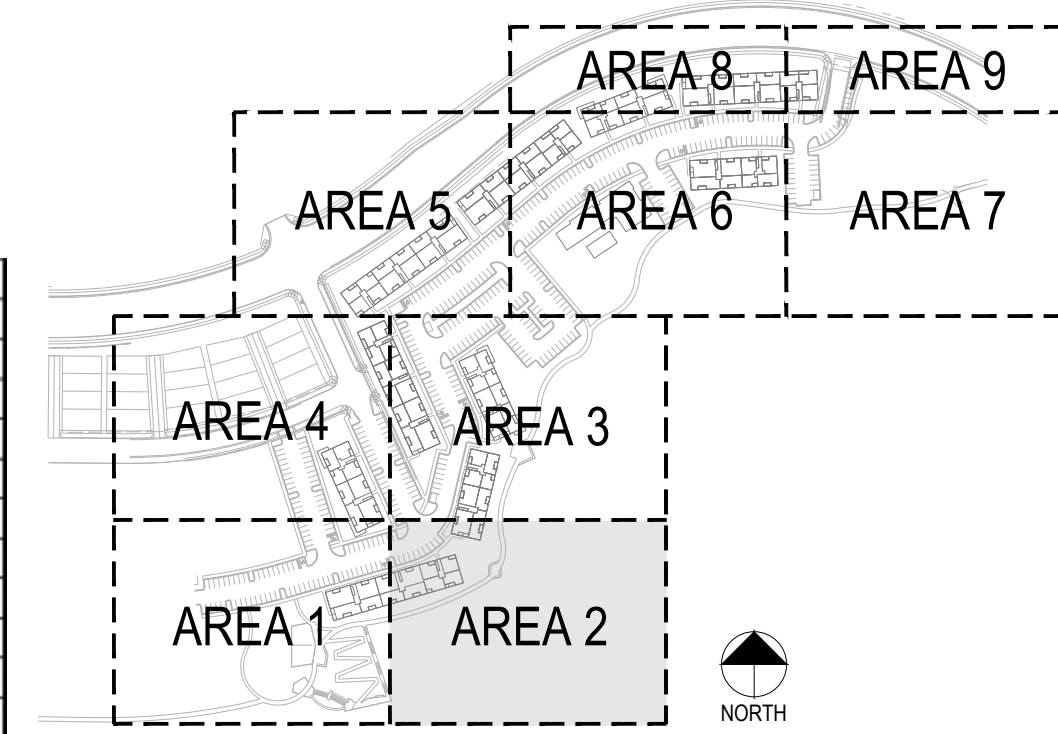
1 LANDSCAPE AREA 1



COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

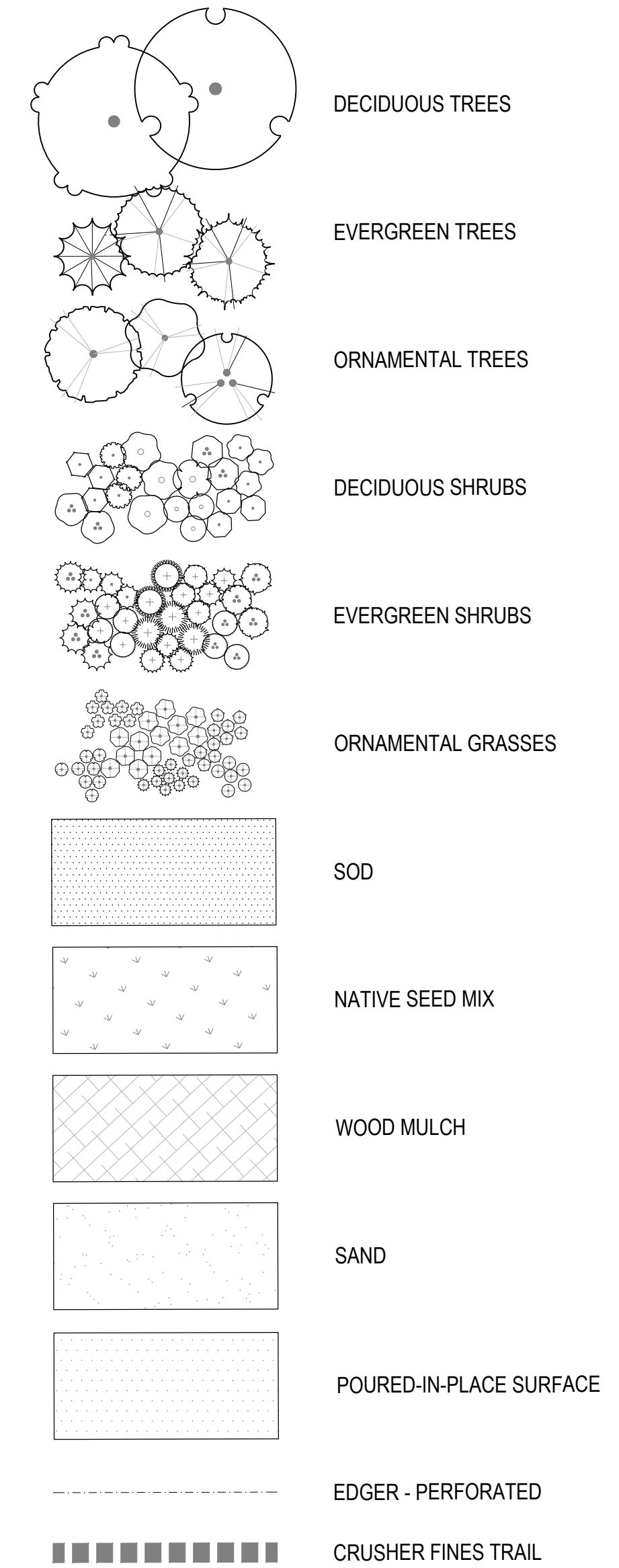
LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP



Canopy Tree	Quantity	Common
QR	1	ENGLISH OAK
Evergreen Tree	Quantity	Common
AP	1	AUSTRIAN BLACK PINE
PD3	6	BLACK HILLS SPRUCE
PH	3	BOSNIAN PINE
Ornamental Tree	Quantity	Common
AB2	4	AUTUMN BRILLIANCE SERVICEBERRY
FAM	3	FLAME AMUR MAPLE
Deciduous Shrubs	Quantity	Common
SW	10	ANTHONY WATERER SPIREA
DKS	21	BLUE MIST SPIREA
PP2	4	CREeping WESTERN SAND CHERRY
RG	30	DWARF FRAGRANT SUMAC
CF	8	FERNBUSH
RF	10	FIRE MEIDILAND ROSE
BG	17	GOLDEN NUGGET BARBERRY
PL2	2	LITTLE DEVIL NINEBARK
PL	18	LITTLELEAF MOCKORANGE
BR	6	ROYAL BURGUNDY BARBERRY
PA	11	RUSSIAN SAGE
SN	6	SNOWMOUND SPIREA
RC	5	WESTERN SMOOTH SUMAC
RR2	11	WHITE KNOCK OUT ROSE
Evergreen Shrubs	Quantity	Common
JC	23	ARMSTRONG JUNIPER
JH	13	HUGHES JUNIPER
WBM	18	MUGO PINE
JO	5	OLD GOLD JUNIPER
AP2	4	PANCHITO MANZANITA
JS	5	SEA GREEN JUNIPER
JS2	11	SKYROCKET JUNIPER
Grasses	Quantity	Common
HS	23	BLUE OAT GRASS
FRG	12	FEATHER REED GRASS
NP	7	MEXICAN FEATHERGRASS
PC2	38	SWITCH GRASS

LANDSCAPE KEY

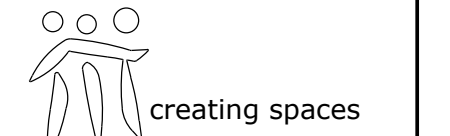


PROJECT NUMBER  
65120950

DRAWN BY  
AML

DATE  
01/12/2022

Landscape Architecture



pcs group inc. www.pcsgruppco.com  
p.o. box 18287  
denver, co 80218  
1.303.531.4905 - 1.303.531.4908



Engineering | Architecture | Design-Build | Surveying |  
Planning | Geospatial Solutions  
5970 GREENWOOD PLAZA BLVD.  
GREENWOOD VILLAGE, CO. 80111  
303-751-0741  
www.merrick.com

PREPARED FOR CENTURY  
COMMUNITIES



PROJECT

**COMPARK  
VILLAGE  
SOUTH**

TOWN OF PARKER, COUNTY  
OF DOUGLAS, COLORADO  
80134

SHEET TITLE

**LANDSCAPE PLAN  
AREA 2**

SHEET NUMBER

13

1 LANDSCAPE AREA 2

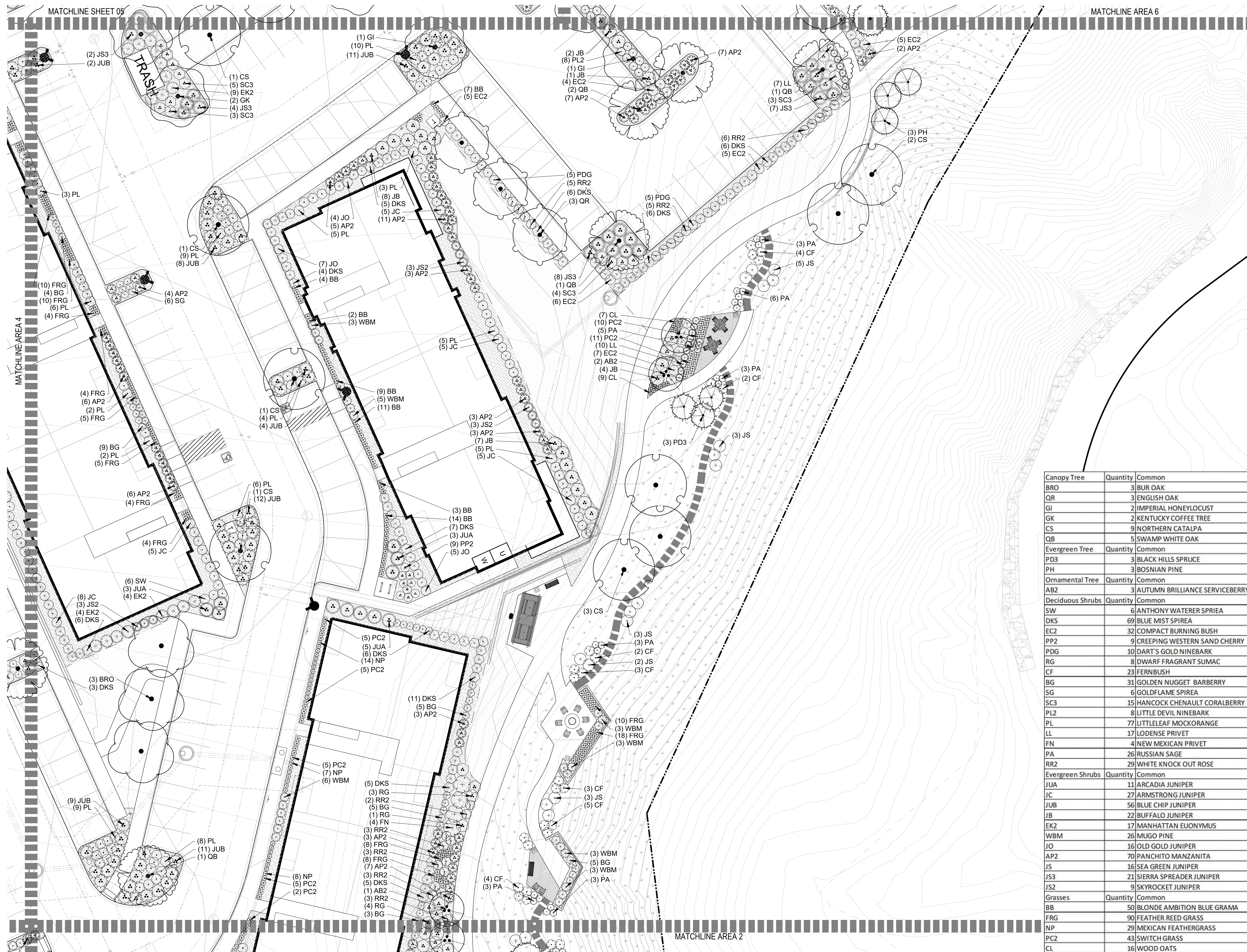
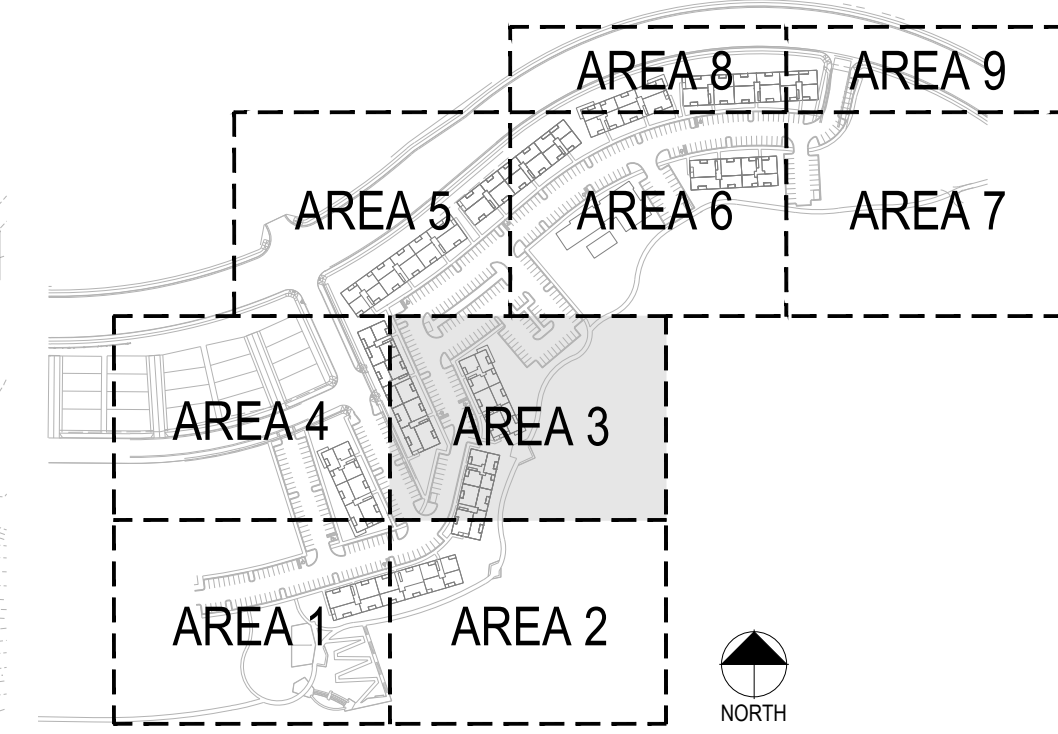
SCALE: 1"=20'



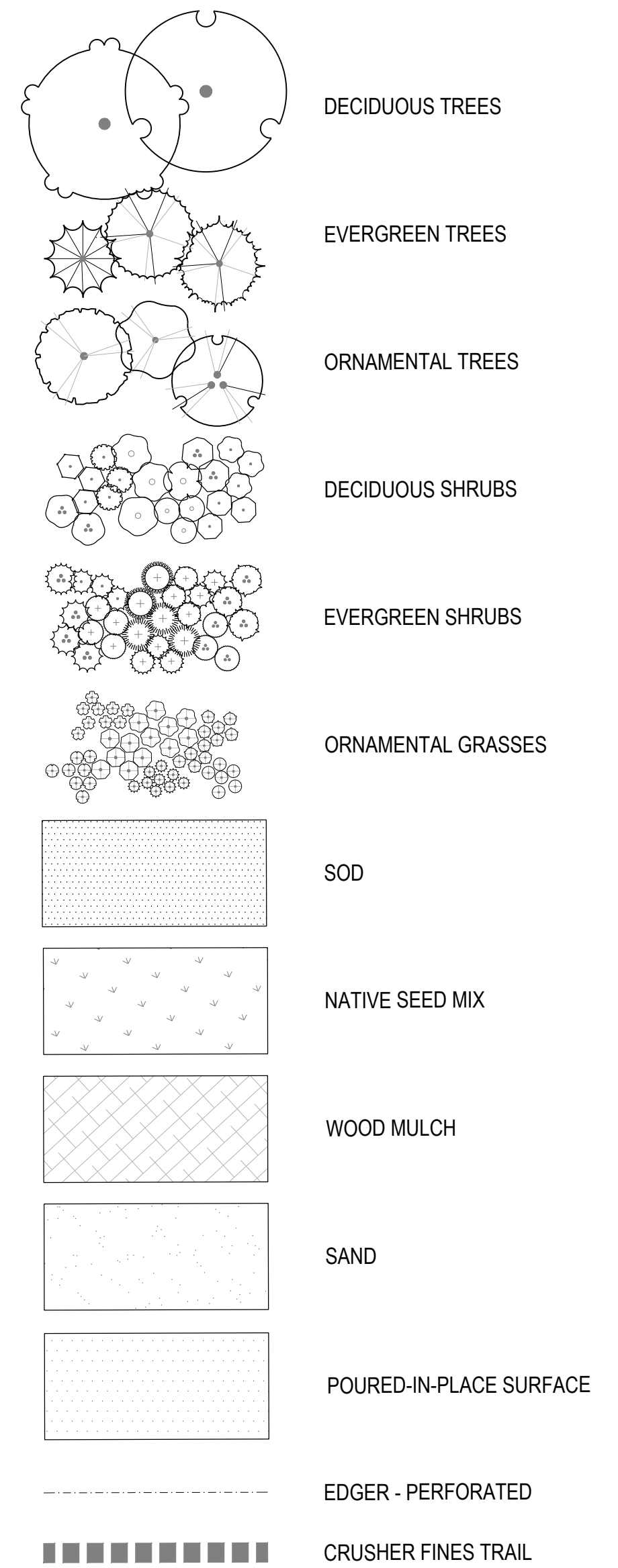
COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP



LANDSCAPE KEY



Canopy Tree	Quantity	Common
BRO	3	BUR OAK
QR	3	ENGLISH OAK
GI	2	IMPERIAL HONEYLOCUST
GK	2	KENTUCKY COFFEE TREE
CS	9	NORTHERN CATALPA
QB	5	SWAMP WHITE OAK
Evergreen Tree	Quantity	Common
PD3	3	BLACK HILLS SPRUCE
PH	3	BOSNIAN PINE
Ornamental Tree	Quantity	Common
AB2	3	AUTUMN BRILLIANCE SERVICEBERRY
Deciduous Shrubs	Quantity	Common
SW	6	ANTHONY WATERER SPIREA
DKS	69	BLUE MIST SPIREA
EC2	32	COMPACT BURNING BUSH
PP2	9	CREeping WESTERN SAND CHERRY
PDG	10	DART'S GOLD NINEBARK
RG	8	DWARF FRAGRANT SUMAC
CF	23	FERNBUSH
BG	31	GOLDEN NUGGET BARBERRY
SG	6	GOLDFLAME SPIREA
SC3	15	HANCOCK CHENAULT CORALBERRY
PL2	8	LITTLE DEVIL NINEBARK
PL	77	LITTLELEAF MOCKORANGE
LL	17	LODENSE PRIVET
FN	4	NEW MEXICAN PRIVET
PA	26	RUSSIAN SAGE
RR2	29	WHITE KNOCK OUT ROSE
Evergreen Shrubs	Quantity	Common
JUA	11	ARCADIA JUNIPER
JC	27	ARMSTRONG JUNIPER
JUB	56	BLUE CHIP JUNIPER
JB	22	BUFFALO JUNIPER
EK2	17	MANHATTAN EUONYMUS
WBM	26	MUGO PINE
JO	16	OLD GOLD JUNIPER
AP2	70	PANCHITO MANZANITA
JS	16	SEA GREEN JUNIPER
JS3	21	SIERRA SPREADER JUNIPER
JS2	9	SKYROCKET JUNIPER
Grasses	Quantity	Common
BB	50	BLONDE AMBITION BLUE GRAMA
FRG	90	FEATHER REED GRASS
NP	29	MEXICAN FEATHERGRASS
PC2	43	SWITCH GRASS
CL	16	WOOD OATS



1 LANDSCAPE AREA 3

PROJECT NUMBER  
65120950

DRAWN BY  
AML

DATE  
01/12/2022

Landscape Architecture  
creating spaces

pcs group inc. www.pcsgroupco.com  
p.o. box 18287  
denver, co 80218  
1.303.531.4905 • 1.303.531.4908

**MERRICK**  
Engineering | Architecture | Design-Build | Surveying |  
Planning | Geospatial Solutions  
5970 GREENWOOD PLAZA BLVD.  
GREENWOOD VILLAGE, CO. 80111  
303.751.0741  
www.merrick.com

PREPARED FOR CENTURY COMMUNITIES

**CENTURY COMMUNITIES**

PROJECT  
**COMPARK VILLAGE SOUTH**  
TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

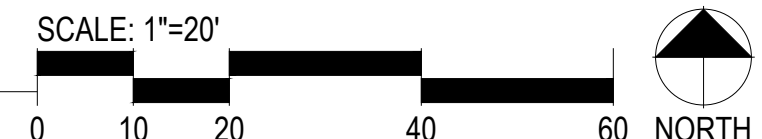
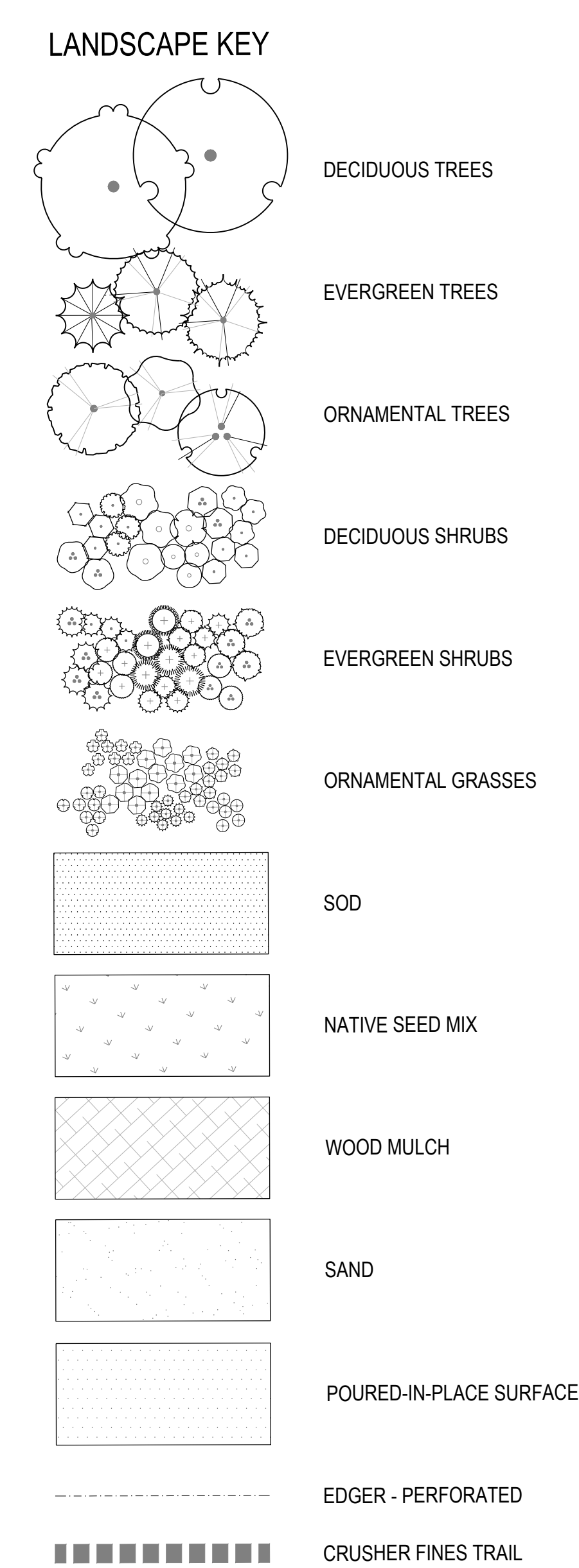
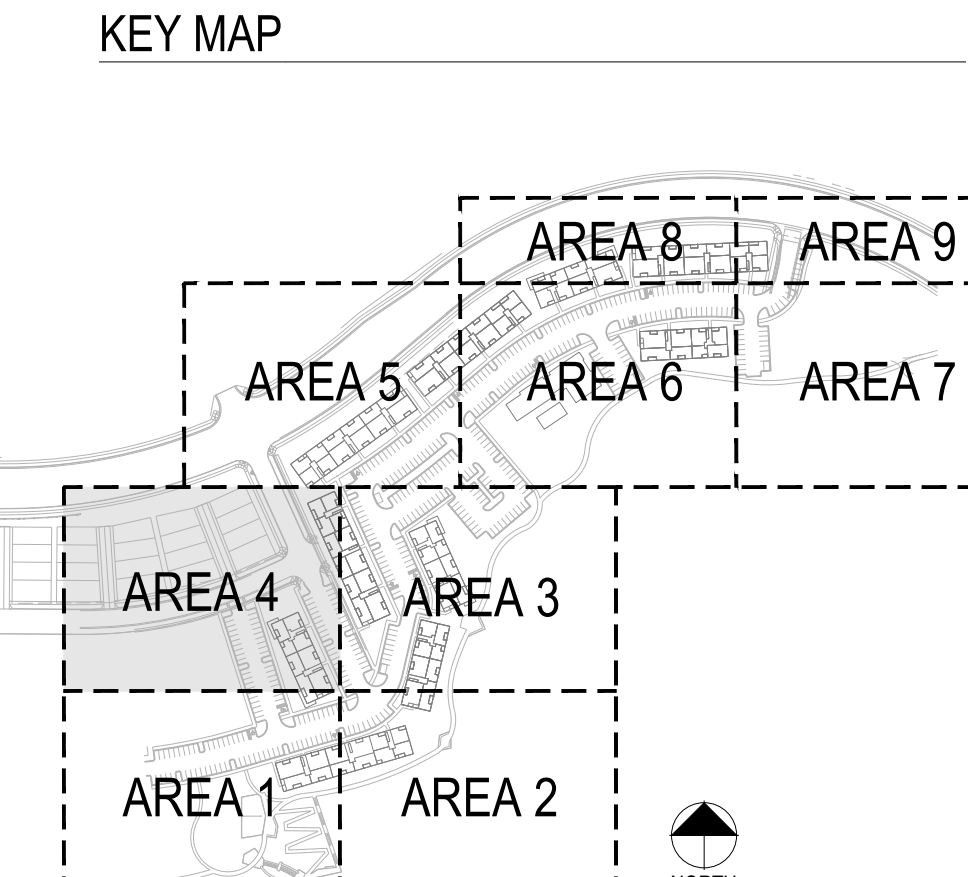
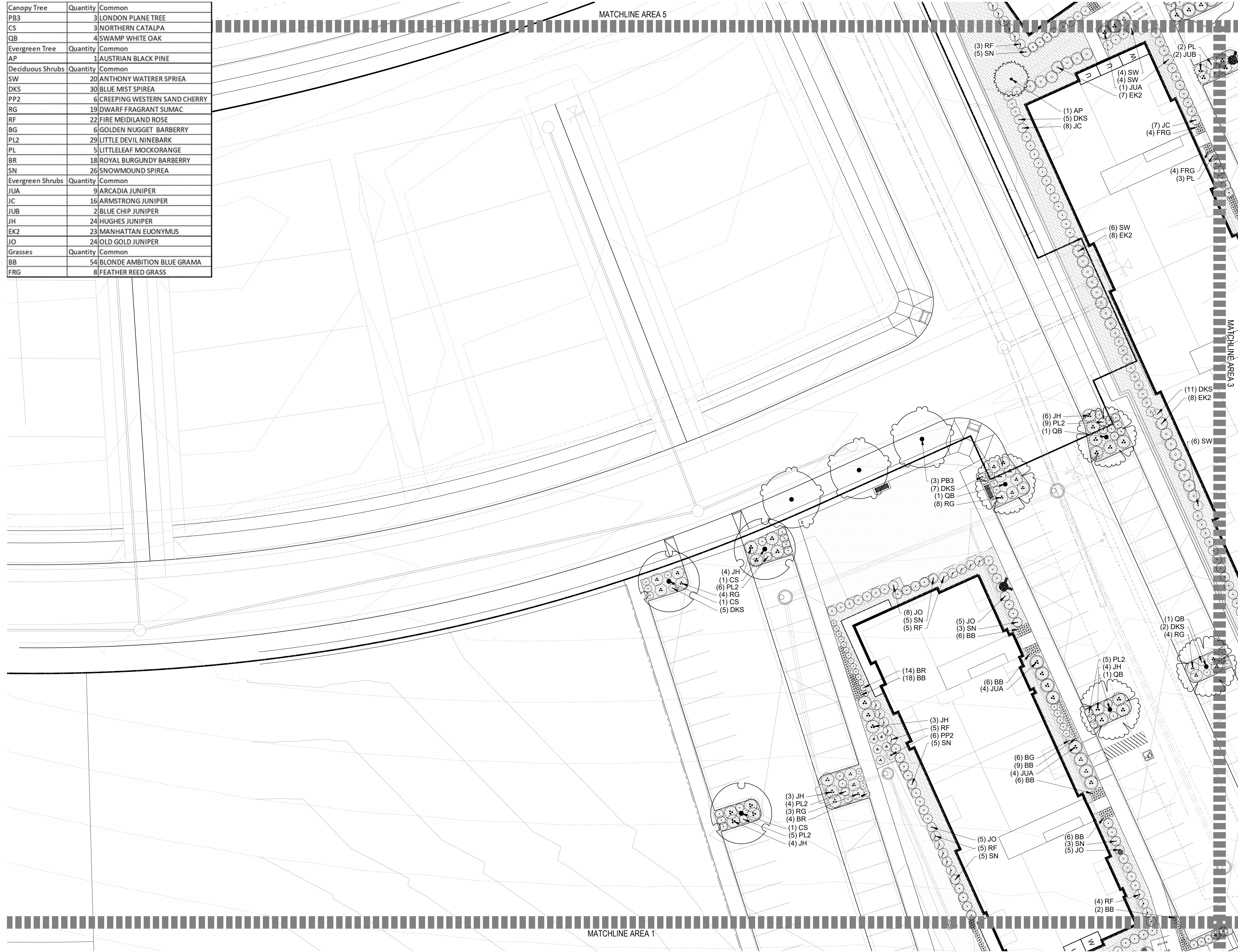
SHEET TITLE  
**LANDSCAPE PLAN AREA 3**

SHEET NUMBER  
**14**

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

Canopy Tree	Quantity	Common
PB3	3	LONDON PLANE TREE
CS	3	NORTHERN CATALPA
QB	4	SWAMP WHITE OAK
Evergreen Tree	Quantity	Common
AP	1	AUSTRIAN BLACK PINE
Deciduous Shrubs	Quantity	Common
SW	20	ANTHONY WATERER SPIREA
DKS	30	BLUE MIST SPIREA
PP2	6	CREeping WESTERN SAND CHERRY
RG	19	DWARF FRAGRANT SUMAC
RF	22	FIRE MEIDLAND ROSE
BG	6	GOLDEN NUGGET BARBERRY
PL2	29	LITTLE DEVIL NINEBARK
PL	5	LITTLELEAF MOCKORANGE
BR	18	ROYAL BURGUNDY BARBERRY
SN	26	SNOWMOUND SPIREA
Evergreen Shrubs	Quantity	Common
JUA	9	ARCADIA JUNIPER
JC	16	ARMSTRONG JUNIPER
JUB	2	BLUE CHIP JUNIPER
JH	24	HUGHES JUNIPER
EK2	23	MANHATTAN EUONYMUS
JO	24	OLD GOLD JUNIPER
Grasses	Quantity	Common
BB	54	BLONDE AMBITION BLUE GRAMA
FRG	8	FEATHER REED GRASS



PROJECT NUMBER  
65120950

DRAWN BY  
AML

DATE  
01/12/2022

Landscape Architecture  
creating spaces

pcs group inc. www.pcsgruppco.com  
p.o. box 18287  
denver, co 80218  
1 303.531.4905 • 1 303.531.4908



PREPARED FOR CENTURY COMMUNITIES



PROJECT  
**COMPARK VILLAGE SOUTH**  
TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE  
**LANDSCAPE PLAN AREA 4**

SHEET NUMBER  
**15**

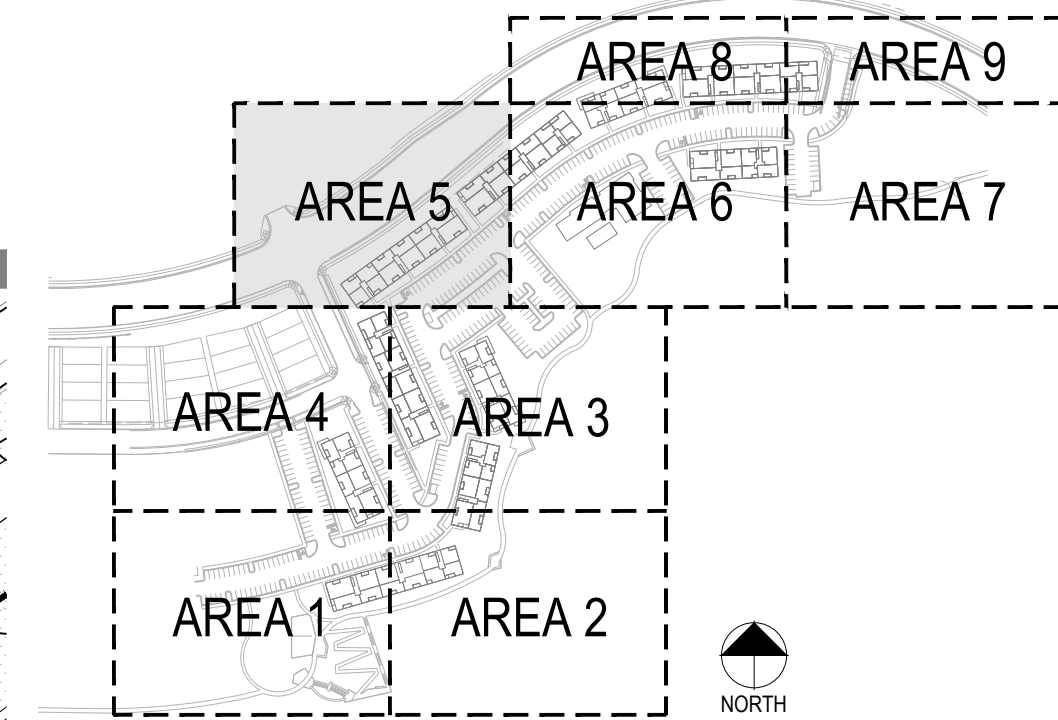
COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

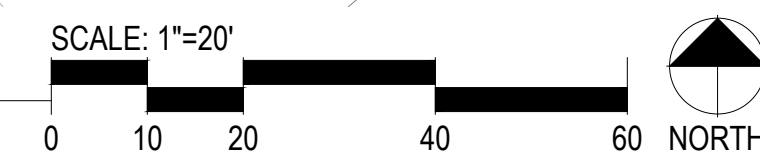
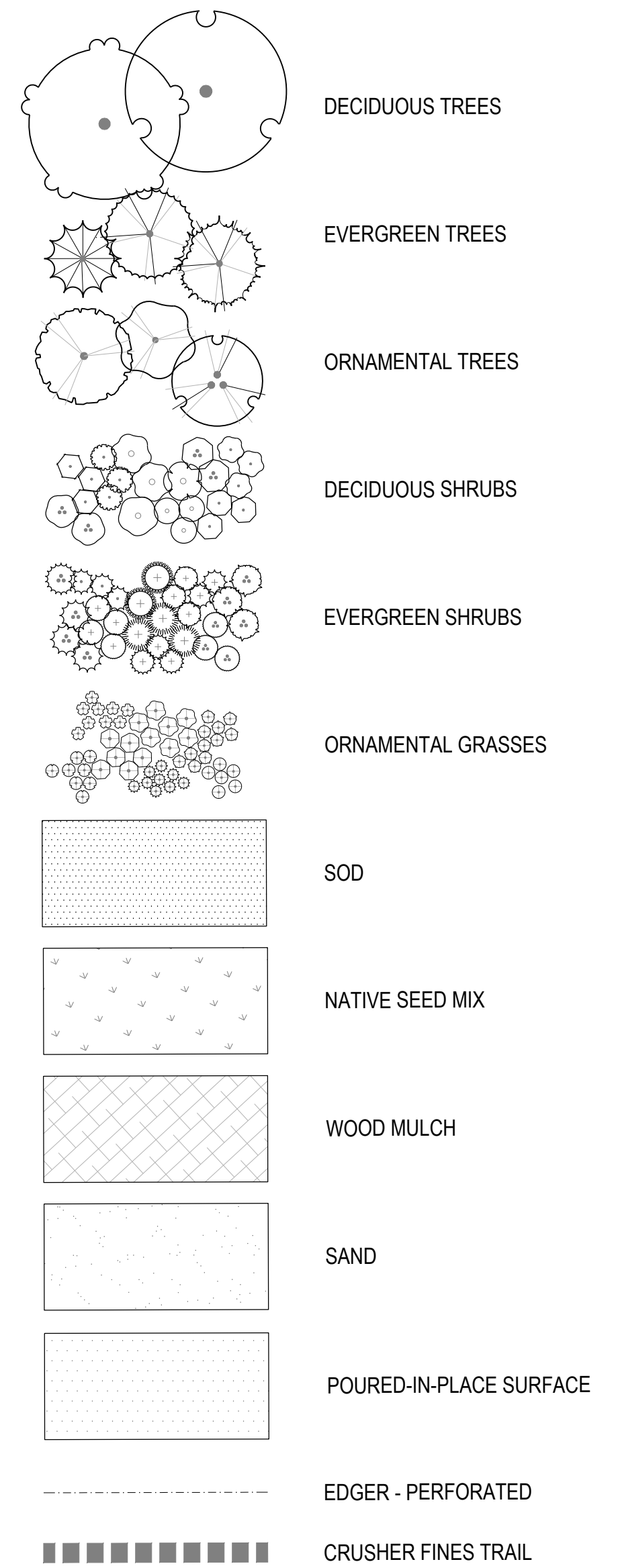
Canopy Tree	Quantity	Common
TG	5	GLENLEVEN LITTLELEAF LINDEN
GI	5	IMPERIAL HONEYLOCUST
GK	8	KENTUCKY COFFEE TREE
PB3	5	LONDON PLANE TREE
CS	4	NORTHERN CATALPA
QR3	1	RED OAK
QB	1	SWAMP WHITE OAK
Evergreen Tree	Quantity	Common
PH	5	BOSNIAN PINE
PP	6	PINON PINE
Deciduous Shrubs	Quantity	Common
SW	15	ANTHONY WATERER SPRIEA
VB	8	BURKWOOD VIBURNUM
EC2	23	COMPACT BURNING BUSH
PP2	26	CREeping WESTERN SAND CHERRY
PDG	11	DART'S GOLD NINEBARK
RG	6	DWARF FRAGRANT SUMAC
RF	25	FIRE MEIDLAND ROSE
BG	2	GOLDEN NUGGET BARBERRY
SG	16	GOLDFLAME SPIREA
SC3	4	HANCOCK CHENAULT CORALBERRY
CI	7	ISANTI REDOSIER DOGWOOD
PL2	12	LITTLE DEVIL NINEBARK
PL	2	LITTLELEAF MOCKORANGE
RGB	36	ROSY GLOW BARBERRY
SN	22	SNOWMOUND SPIREA
Evergreen Shrubs	Quantity	Common
JUA	13	ARCADIA JUNIPER
JC	12	ARMSTRONG JUNIPER
JUB	4	BLUE CHIP JUNIPER
JB	8	BUFFALO JUNIPER
JH	4	HUGHES JUNIPER
WBM	20	MUGO PINE
JO	38	OLD GOLD JUNIPER
AP2	36	PANCHITO MANZANITA
JS3	17	SIERRA SPREADER JUNIPER
Grasses	Quantity	Common
BB	20	BLONDE AMBITION BLUE GRAMA
FRG	74	FEATHER REED GRASS



KEY MAP



LANDSCAPE KEY



1 LANDSCAPE AREA 5

PROJECT NUMBER  
65120950  
DRAWN BY  
AML  
DATE  
01/12/2022  
Landscape Architecture  
creating spaces  
pcs group inc. www.pcsgruopco.com  
p.o. box 18287  
denver, co 80218  
1.303.531.4905 - 1.303.531.4908



PREPARED FOR CENTURY COMMUNITIES



PROJECT  
**COMPARK VILLAGE SOUTH**  
TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE  
**LANDSCAPE PLAN AREA 5**

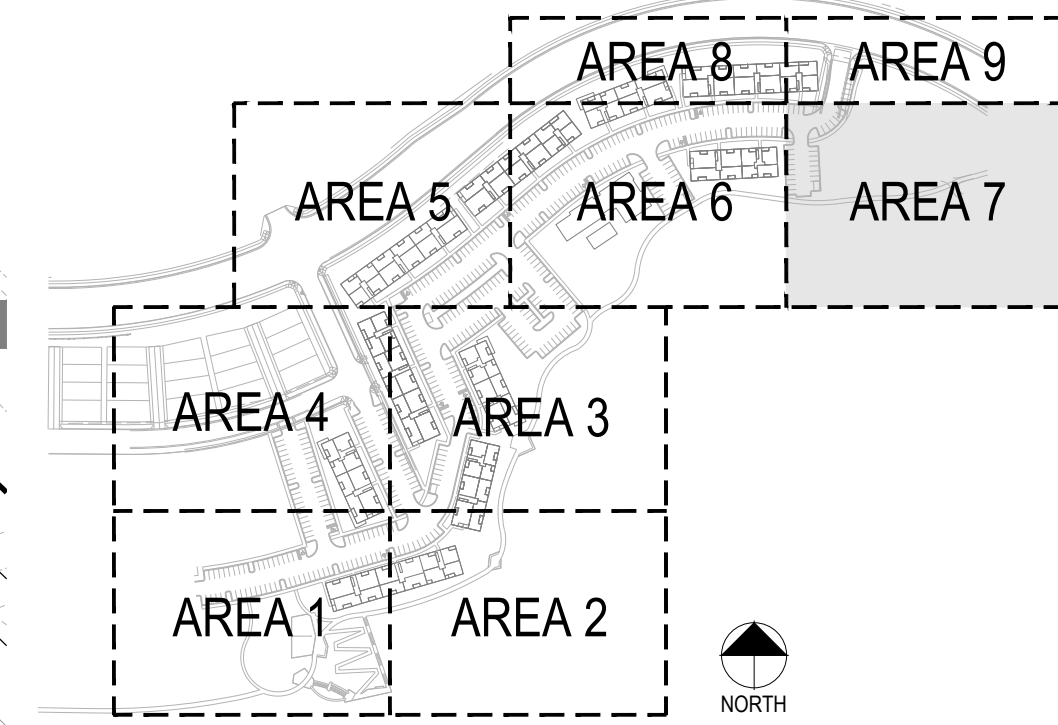
SHEET NUMBER  
16



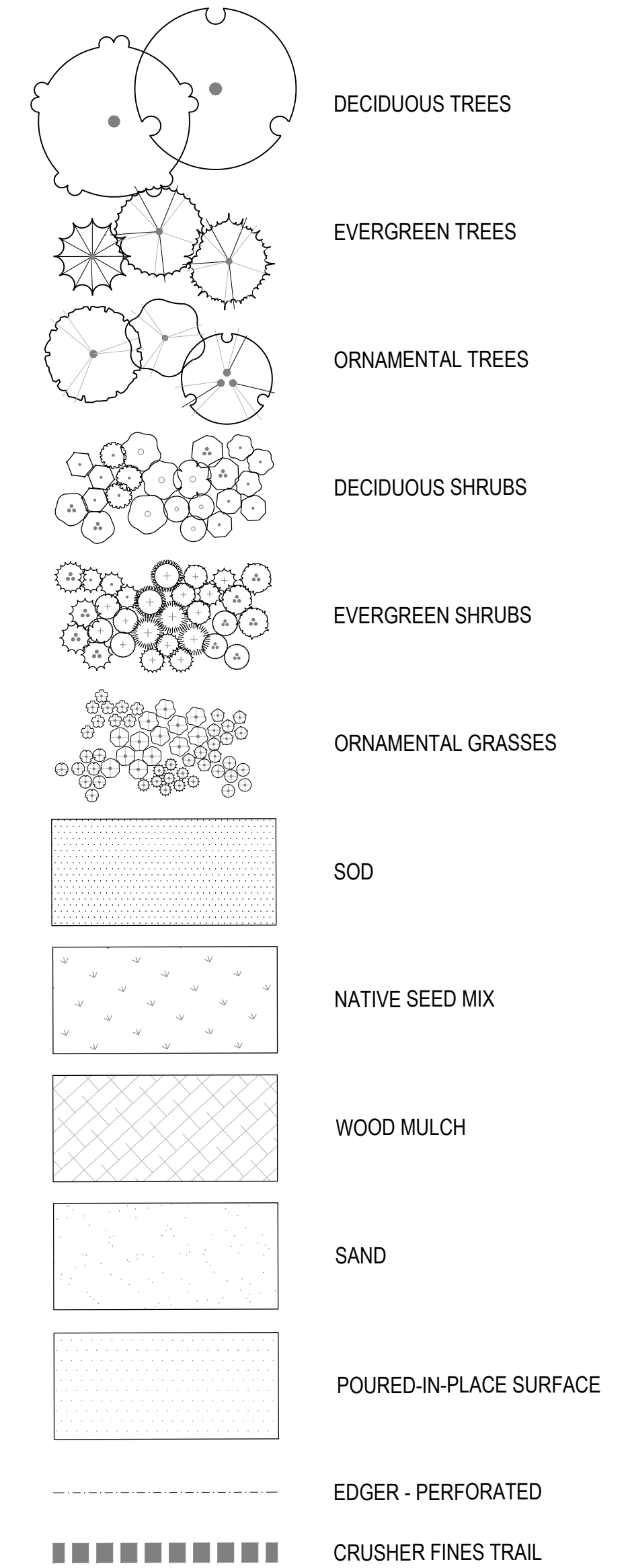
COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

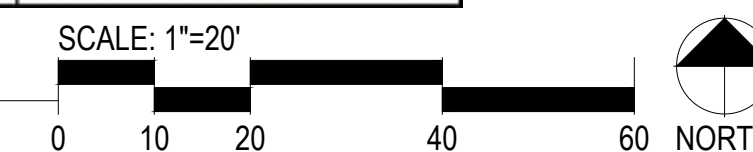
KEY MAP



LANDSCAPE KEY



Canopy Tree	Quantity	Common
BRO	3	BUR OAK
TG	4	GLENLEVEN LITTLELEAF LINDEN
CS	3	NORTHERN CATALPA
GS2	1	SHADEMASTER HONEY LOCUST
QB	2	SWAMP WHITE OAK
Evergreen Tree	Quantity	Common
AP	5	AUSTRIAN BLACK PINE
PD3	11	BLACK HILLS SPRUCE
PH	2	BOSNIAN PINE
Ornamental Tree	Quantity	Common
SS2	2	SPRING SNOW CRAB APPLE
Deciduous Shrubs	Quantity	Common
DKS	3	BLUE MIST SPIREA
EC2	11	COMPACT BURNING BUSH
SC3	10	HANCOCK CHENAULT CORALBERRY
PL2	38	LITTLE DEVIL NINEBARK
PL	7	LITTLELEAF MOCKORANGE
LL	11	LODENSE PRIVET
FN	3	NEW MEXICAN PRIVET
AA	10	SASKATOON SERVICEBERRY
CF2	17	YELLOW TWIG DOGWOOD
Evergreen Shrubs	Quantity	Common
JUA	6	ARCADIA JUNIPER
JB	17	BUFFALO JUNIPER
EK2	6	MANHATTAN EUONYMUS
JO	6	OLD GOLD JUNIPER
JS	16	SEA GREEN JUNIPER
JS3	13	SIERRA SPREADER JUNIPER
Grasses	Quantity	Common
FRG	56	FEATHER REED GRASS



1 LANDSCAPE AREA 7

PROJECT NUMBER  
65120950

DRAWN BY  
AML

DATE  
01/12/2022

Landscape Architecture  
creating spaces  
pcs group inc. www.pcsgruppco.com  
p.o. box 18287  
denver, co 80218  
1.303.531.4905 f.303.531.4908

**MERRICK**  
Engineering / Architecture / Design-Build / Surveying /  
Planning / Geospatial Solutions  
5970 GREENWOOD PLAZA BLVD.  
GREENWOOD VILLAGE, CO. 80111  
303-751-0741  
www.merrick.com

PREPARED FOR CENTURY  
COMMUNITIES

**CENTURY  
COMMUNITIES**

PROJECT  
**COMPARK  
VILLAGE  
SOUTH**  
TOWN OF PARKER, COUNTY  
OF DOUGLAS, COLORADO  
80134

SHEET TITLE  
**LANDSCAPE PLAN  
AREA 7**

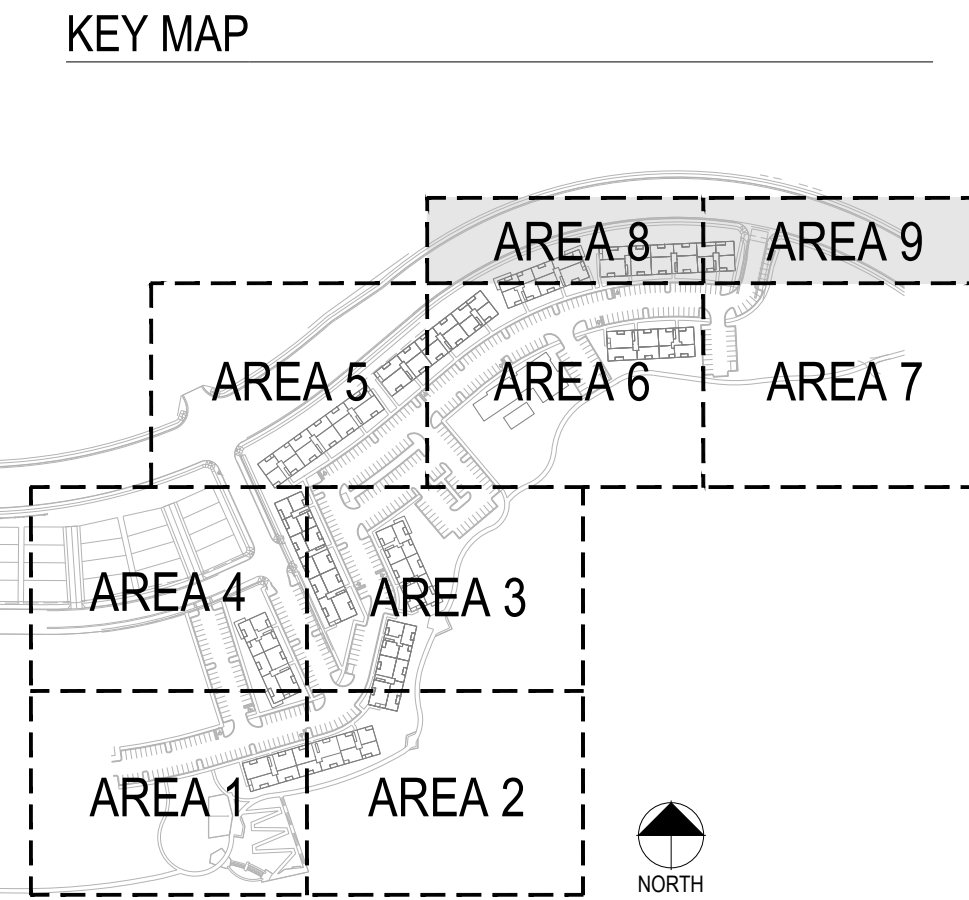
SHEET NUMBER  
18

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

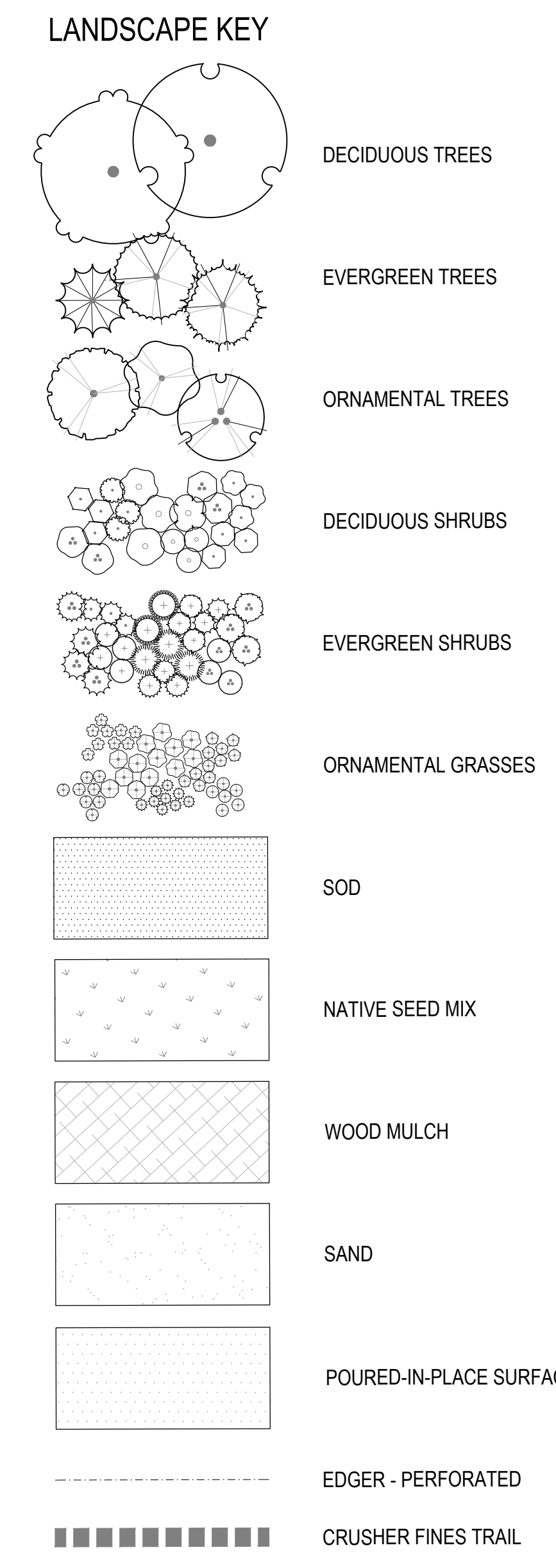
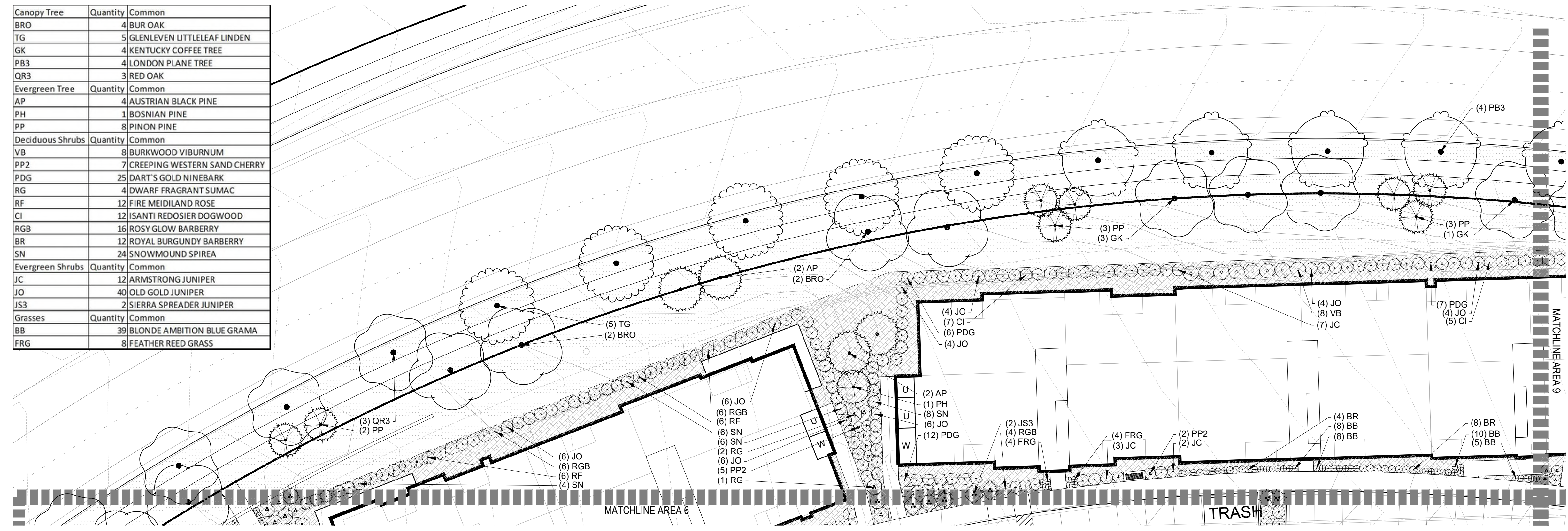
LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER  
65120950  
DRAWN BY  
AML  
DATE  
01/12/2022

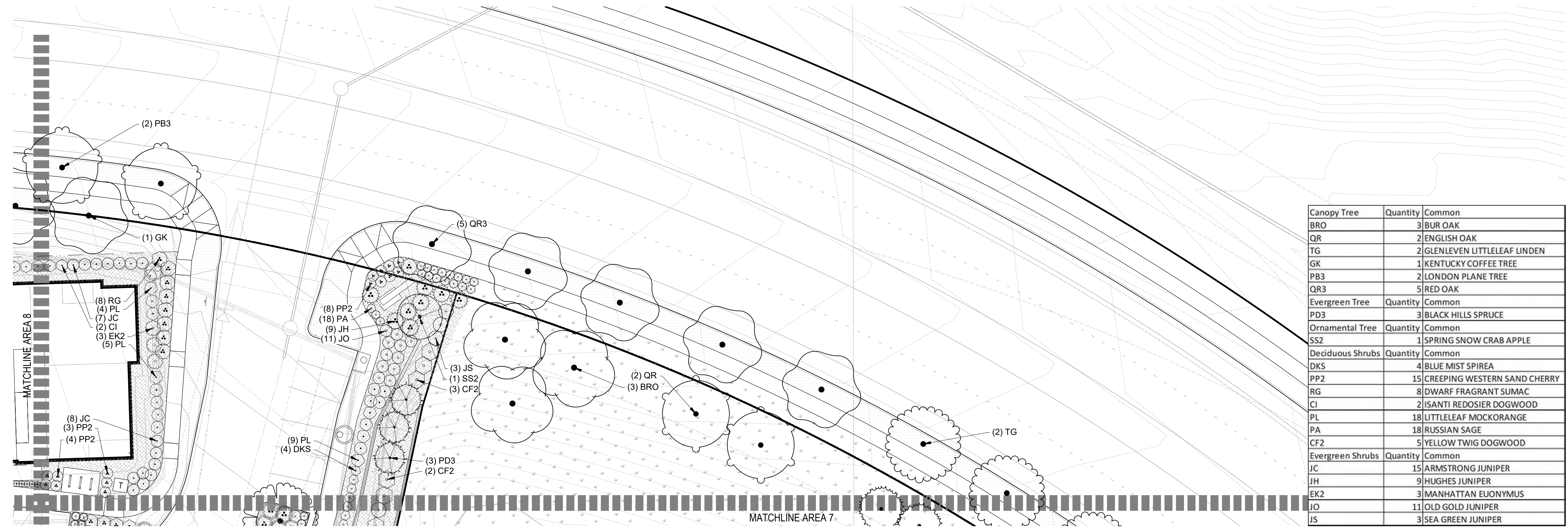
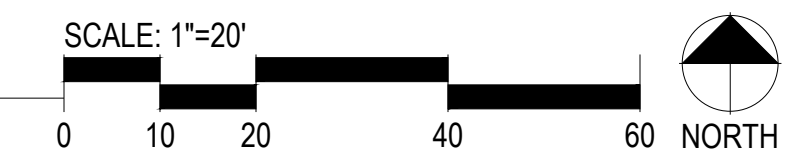
Landscape Architecture  
 creating spaces  
pcs group inc. www.pcsgruppco.com  
p.o. box 18287  
denver, co 80218  
1.303.531.4905 - 1.303.531.4908



Canopy Tree	Quantity	Common
BRO	4	BUR OAK
TG	5	GLENLEVEN LITTLELEAF LINDEN
GK	4	KENTUCKY COFFEE TREE
PB3	4	LONDON PLANE TREE
QR3	3	RED OAK
Evergreen Tree	Quantity	Common
AP	4	AUSTRIAN BLACK PINE
PH	1	BOSNIAN PINE
PP	8	PINON PINE
Deciduous Shrubs	Quantity	Common
VB	8	BURKWOOD VIBURNUM
PP2	7	CREeping WESTERN SAND CHERRY
PDG	25	DART'S GOLD NINEBARK
RG	4	DWARF FRAGRANT SUMAC
RF	12	FIRE MEIDLAND ROSE
CI	12	ISANTI REDOSIER DOGWOOD
RGB	16	ROSY GLOW BARBERRY
BR	12	ROYAL BURGUNDY BARBERRY
SN	24	SNOWMOUND SPIREA
Evergreen Shrubs	Quantity	Common
JC	12	ARMSTRONG JUNIPER
JO	40	OLD GOLD JUNIPER
JS3	2	SIERRA SPREADER JUNIPER
Grasses	Quantity	Common
BB	39	BLONDE AMBITION BLUE GRAMA
FRG	8	FEATHER REED GRASS

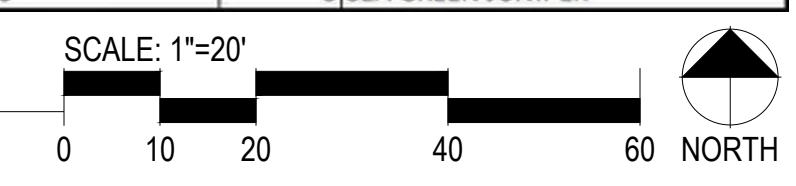


1 LANDSCAPE AREA 8



Canopy Tree	Quantity	Common
BRO	3	BUR OAK
QR	2	ENGLISH OAK
TG	2	GLENLEVEN LITTLELEAF LINDEN
GK	1	KENTUCKY COFFEE TREE
PB3	2	LONDON PLANE TREE
QR3	5	RED OAK
Evergreen Tree	Quantity	Common
PD3	3	BLACK HILLS SPRUCE
Ornamental Tree	Quantity	Common
SS2	1	SPRING SNOW CRAB APPLE
Deciduous Shrubs	Quantity	Common
DKS	4	BLUE MIST SPIREA
PP2	15	CREeping WESTERN SAND CHERRY
RG	8	DWARF FRAGRANT SUMAC
CI	2	ISANTI REDOSIER DOGWOOD
PL	18	LITTLELEAF MOCKORANGE
PA	18	RUSSIAN SAGE
CF2	5	YELLOW TWIG DOGWOOD
Evergreen Shrubs	Quantity	Common
JC	15	ARMSTRONG JUNIPER
JH	9	HUGHES JUNIPER
EK2	3	MANHATTAN EUONYMUS
JO	11	OLD GOLD JUNIPER
JS	3	SEA GREEN JUNIPER

2 LANDSCAPE AREA 9



PREPARED FOR CENTURY COMMUNITIES



PROJECT  
**COMPARK VILLAGE SOUTH**

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE  
**LANDSCAPE PLAN AREAS 8 & 9**

SHEET NUMBER

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



1 MASTER PARK PLAN



PROJECT NUMBER  
65120950  
DRAWN BY  
AML  
DATE  
01/12/2022

Landscape Architecture  
  
creating spaces  
pcs group inc. www.pcsgruppco.com  
p.o. box 18287  
denver, co 80218  
1.303.531.4905 f.303.531.4908

  
Engineering / Architecture / Design-Build / Surveying /  
Planning / Geospatial Solutions  
5970 GREENWOOD PLAZA BLVD.  
GREENWOOD VILLAGE, CO. 80111  
303-751-0741  
www.merrick.com

PREPARED FOR CENTURY  
COMMUNITIES

  
CENTURY  
COMMUNITIES

PROJECT  
**COMPARK  
VILLAGE  
SOUTH**

TOWN OF PARKER, COUNTY  
OF DOUGLAS, COLORADO  
80134

SHEET TITLE

**MASTER  
PARK PLAN**

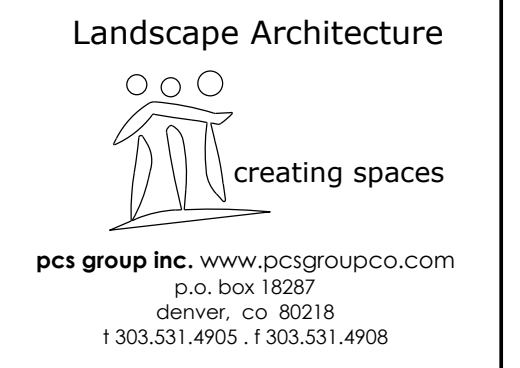
SHEET NUMBER

20

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER  
65120950  
  
DRAWN BY  
AML  
  
DATE  
01/12/2022



Please clean up the quality of the chart-it is coming through as very pixelated on my end.

Include calculation of units to required park acreage and how much is being provided.

Category 1 - Gathering Spaces & Self-Directed Group Activities	Neighborhood Serving Park
Gardens	Min. 1
Arboreal/decorative garden, irrigated	MC
Community garden/raised garden, irrigated	MC
Gathering and Social Space	
Wet/dry stream	
Recreation space	
Outdoor nature classroom	
Outdoor performance space/stage	MC
Programmable space (indoor or outdoor)	C
Seating and tables	See Subparagraph 13.07.140(c) (2)(a).
Shelter, small (5-10 users)	See Subparagraph 13.07.140(c) (2)(a)(i).
Shelter, medium (11-30 users)	E
Shelter, large (31-100 users)	
Shelter, greater (more than 100 users)	
Interpretive and Placemaking	
Interactive, functional, or visual art	C
Interpretive signage/elements	E
Site design theme	E
Outdoor Specialized	
Activity hubs (e.g. ping pong, basketball, chess table, volleyball, etc.)	E
Water park, obstacle course, or pump track	MC
Climbing rope or wall	
Five golf course	MC
Dog off-leash area (fenced)	C
Horsechapel	C
Ski/snow park	
Category 2 - Active Uses	

Category 3 - Support Amenities	Neighborhood Serving Park
Path, trails, and walkways	Min. 2, but only 1 may be less than paths, trails
Greenway connector or trailhead	C
Non-surfaced multi-use trail	E
Internal access pathway	See Subparagraph 13.07.140(c) (2)(a).
Loop path (with signage markers)	E
Soft surface jogging/biking trail	MC
Soft surface equestrian or e-bike trail	
Play Space and Equipment	
Climbing structure or boulders	C
Nature play features	C
Open turf play area	See Subparagraph 13.07.140(c) (2)(a).
Playground, small-scale	C
Play area, large destination-scale	
Themed play features	C
Inclusive and inclusive play elements	See Subparagraph 13.07.140(c) (2)(a).
Zip line	
Sports and Fitness	
Artificial turf field, multi-purpose	
Ballfield (baseball, softball, or multi-use)	C
Field with lighting	
Outdoor fitness equipment	E
Specialty sport field or stadium	
Sport court (e.g. basketball, basketball, tennis, tennis, pickleball, shuffleboard, tennis, volleyball)	C

Category 4 - Specialized Facilities	Neighborhood Serving Park
Tournament sports court or multi-court complex	
Support Amenities	Min. 1 per acre
Support Amenities	
Restrooms, single or dual with ash disposal	C
Bike rack and repair station	E
Dog waste station	See Subparagraph 13.07.140(c) (2)(a).
Drinking fountain	C
Parking, off-street	MC
Parking, on-street	C
Restroom, portable (portable)	MC
Restroom, permanent (full or vault)	C
Signage (orientation)	See Subparagraph 13.07.140(c) (2)(a).
Trash receptacles	See Subparagraph 13.07.140(c) (2)(a).
Category 4 - Specialized Facilities	
Aquatics and Water Access	Optional
Spill pad or water play feature	E
Swimming pool	C
Indoor Facilities	
Activity building/clubhouse	C
Environmental education center	
Recreation center or ballhouse	

GENERAL PARK CONSTRUCTION NOTES

- THESE PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION OR PERMITTING UNLESS STATED FOR SUCH USE IN THE TITLE BLOCK.
- DRAWINGS ARE INTENDED TO BE PRINTED ON 24" X 36" PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
- VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTION BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK.
- THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED. ALL LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR.
- IF A GEOTECHNICAL SOILS REPORT IS NOT AVAILABLE AT THE TIME OF CONSTRUCTION, PCS GROUP, INC. RECOMMENDS A REPORT BE AUTHORIZED BY THE OWNER AND THAT ALL RECOMMENDATIONS OF THE REPORT ARE FOLLOWED DURING CONSTRUCTION. THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID. IF THE OWNER ELECTS TO PROVIDE A GEOTECHNICAL REPORT, THE CONTRACTOR SHALL REVIEW THE REPORT AND SUBMIT AN APPROPRIATE CHANGE ORDER TO THE OWNER'S REPRESENTATIVE IF ADDITIONAL COSTS ARE REQUESTED.
- CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS, WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
- CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-COMFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES AND REGULATORY AGENCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
- ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED.
- THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
- THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.
- THE CLEANING OF CONCRETE EQUIPMENT IS PROHIBITED AT THE JOB SITE EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE IN THE STORM SEWER IS PROHIBITED.
- LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL SUPERSEDE THESE PLANS, NOTES AND SPECIFICATIONS WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS OCCUR.
- SPECIFICATIONS ARE SHOWN TO INDICATE THE DESIGN INTENT. SUBSTITUTES FOR ALL MATERIALS AND FINISHES MAY BE CONSIDERED IF THEY MATCH THE APPEARANCE, QUALITY, AND GENERAL SPECIFICATIONS AS PRODUCTS SHOWN ON THIS SHEET AND SUBSEQUENT DETAILS. ALL MATERIALS AND FINISHES WILL REQUIRE A SAMPLE (OR DATA SHEET) TO BE SUBMITTED FOR FINAL REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE. PRIOR TO INSTALLATION, SUBSTITUTIONS WILL BE CONSIDERED.
- PROPOSED GRADING IS BASED ON EXISTING TOPOGRAPHY BASE FILES PROVIDED BY OTHERS. PCS GROUP ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE GRADING INFORMATION OR AS-BUILT CONDITIONS. THE CONTRACTOR SHALL ACCEPT FINAL GRADING PRIOR TO COMMENCING WORK AND SHALL NOTIFY THE OWNER AND LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE ACTUAL GRADING CONDITIONS AND PROPOSED DESIGN PRIOR TO BEGINNING WORK.
- ON LOT PICKET FENCING SHALL BE LOCATED ON LOT LINES AS SHOWN ON THIS SHEET TO ENCLOSE THE FRONT YARD AREA. EXACT LOCATIONS AND RETURNS SHALL VARY FOR EACH LOT DUE TO ADJUSTMENTS NEEDED FOR DRAINAGE, DRY UTILITY PEDESTALS, ETC. AND RELATIONSHIP TO ADJACENT HOME. FINAL FENCE LOCATIONS MAY ENCLOSE MORE SIDE YARD AREA AND WILL BE SHOWN ON THE PLOT PLANS.

Make clear what these highlighted sections mean-are you counting them/are these the ones you are using? If so add a column that shows the quantity of each or create a new additional chart that says, x trash receptacles, x Adirondack chairs, x dog bag stations...etc..

Should include a details sheet on the trail-width, materials...etc.

Required Amenities for All Parks - Section 13.07.140 (10)	Provided	Details
Landscape for all impervious areas	X	All impervious areas have landscaping
Tables and seating, such as benches, chairs, picnic tables and ADA seating	X	Benches, Adirondack chairs, picnic tables, table and chairs, along with ADA seating
Internal access pathways between park amenities	X	sidewalks and trails connect all park amenities
Open turf play areas	X	Multiple turf lawns have been provided, along with sledding hill
Universal and inclusive play elements to accommodate all ages and abilities	X	A small play area has been provided with natural climbing elements and on-grade slides
Dog waste stations at all pedestrian access points into the park, minimum of three	X	6 dog waste stations at access points provided
Trash receptacles at all seating areas with a minimum of three	X	8 trash receptacles at all major seating areas
Small shelter serving a capacity of between five and ten users	X	2 square shelters and 2 trellis features with capacity between 4 and 8

PREPARED FOR CENTURY COMMUNITIES



PROJECT

COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE

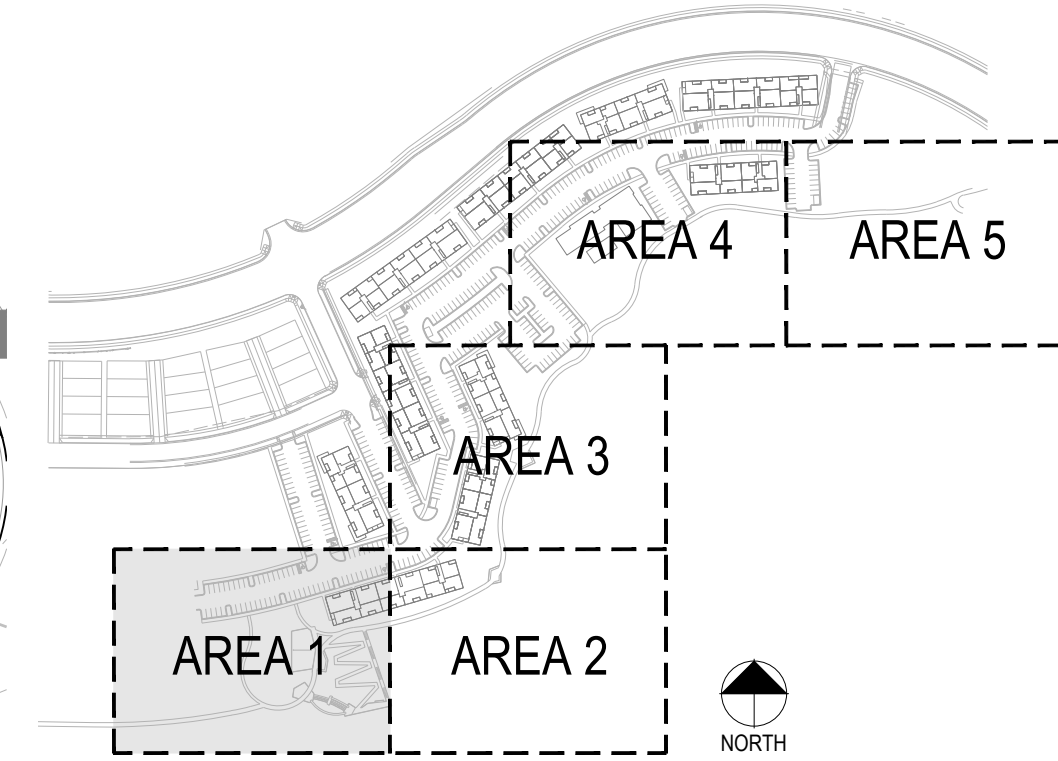
PARK NOTES

SHEET NUMBER

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP



PROJECT NUMBER  
65120950  
DRAWN BY  
AML  
DATE  
01/12/2022

Landscape Architecture  
creating spaces  
pcs group inc. www.pcsgruppco.com  
p.o. box 18287  
denver, co 80218  
1.303.531.4905 f. 303.531.4908

**MERRICK**  
Engineering | Architecture | Design-Build | Surveying |  
Planning | Geospatial Solutions  
5970 GREENWOOD PLAZA BLVD.  
GREENWOOD VILLAGE, CO. 80111  
303-751-0741  
www.merrick.com

PREPARED FOR CENTURY  
COMMUNITIES

**CENTURY  
COMMUNITIES**

PROJECT

**COMPARK  
VILLAGE  
SOUTH**

TOWN OF PARKER, COUNTY  
OF DOUGLAS, COLORADO  
80134

SHEET TITLE

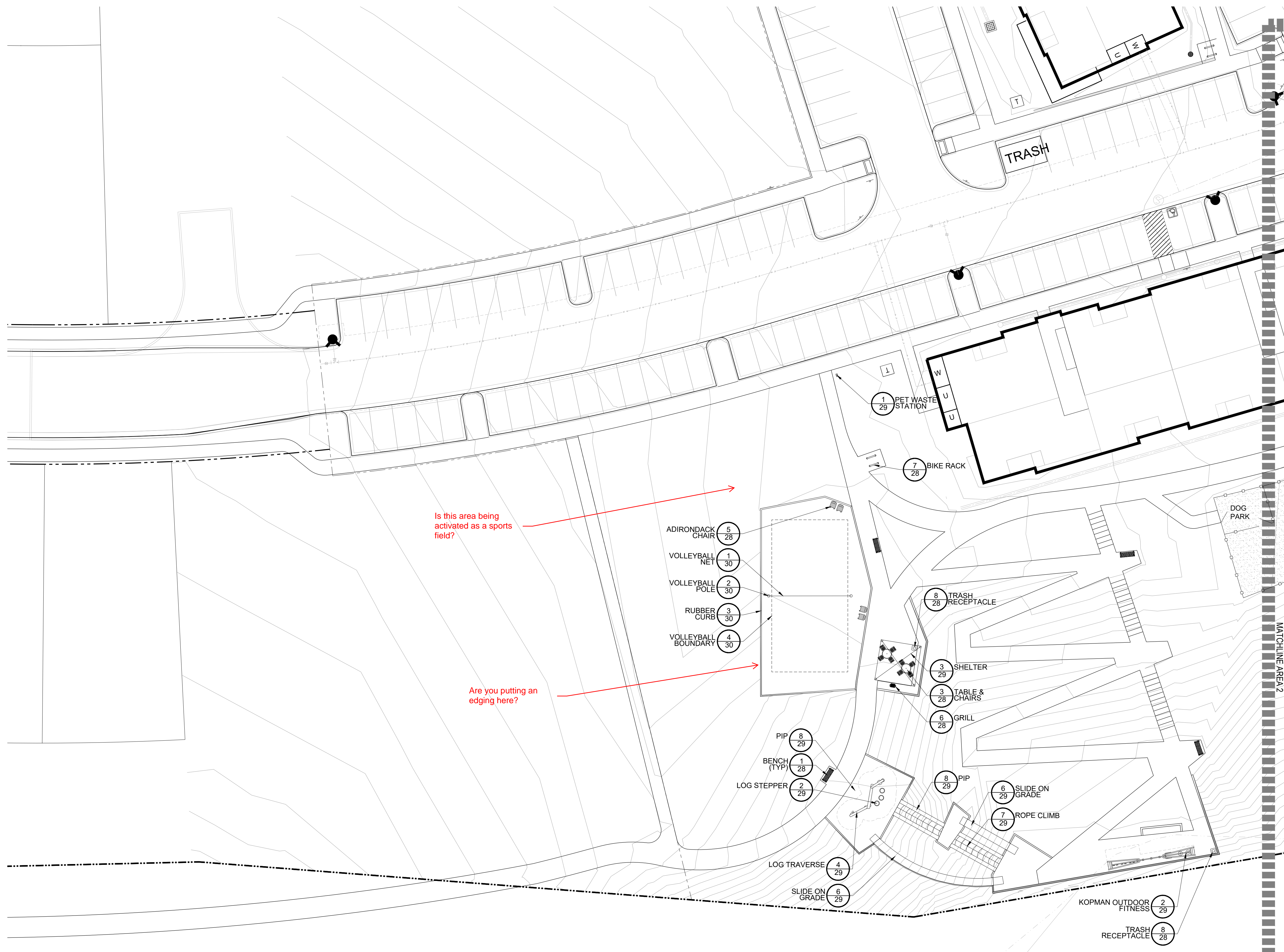
**PARK PLAN  
AREA 1**

SHEET NUMBER

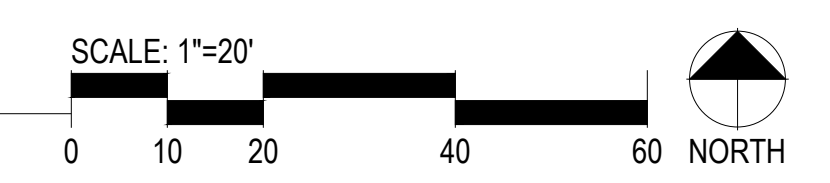
22

LEGEND

- BENCH
- TRASH RECEPTACLE
- GRILL
- PET WASTE STATION
- BIKE RACK
- TABLE AND CHAIRS
- PICNIC TABLE
- ADIRONDACK CHAIR
- PING PONG TABLE
- 3-RAIL FENCE
- OUTDOOR FITNESS EQUIP.
- TRELLIS
- 16' SQUARE SHELTER
- LOG JUMPER
- DECK



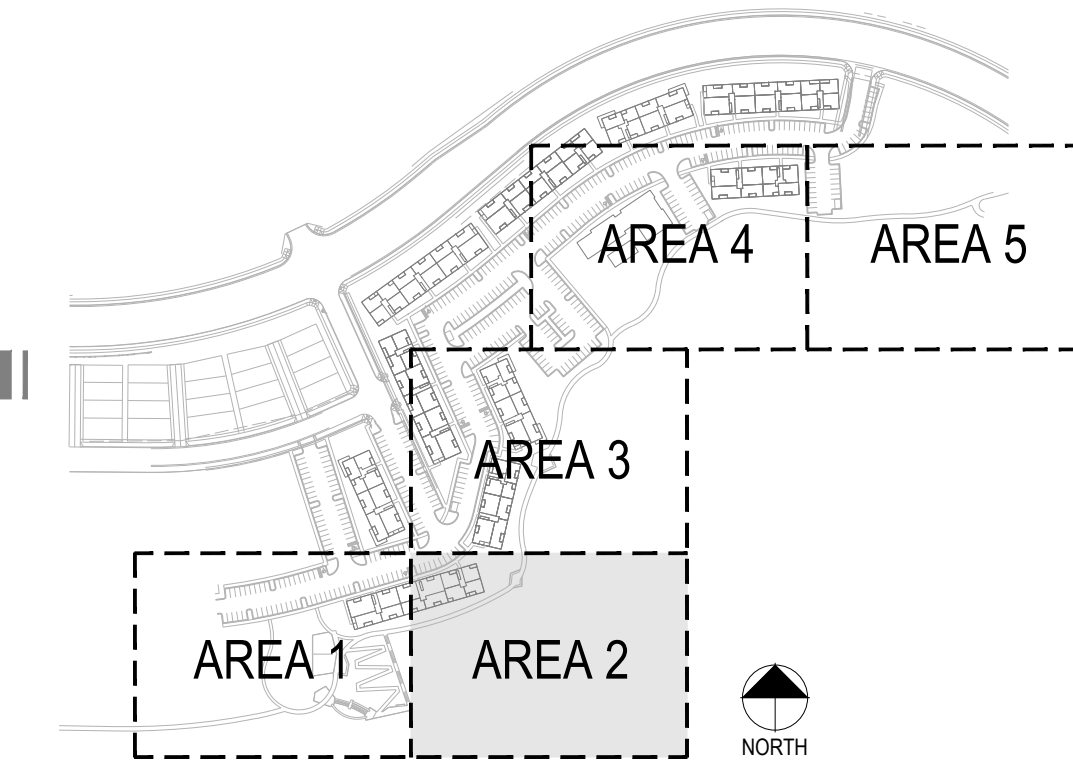
1 PARK AREA 1



COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

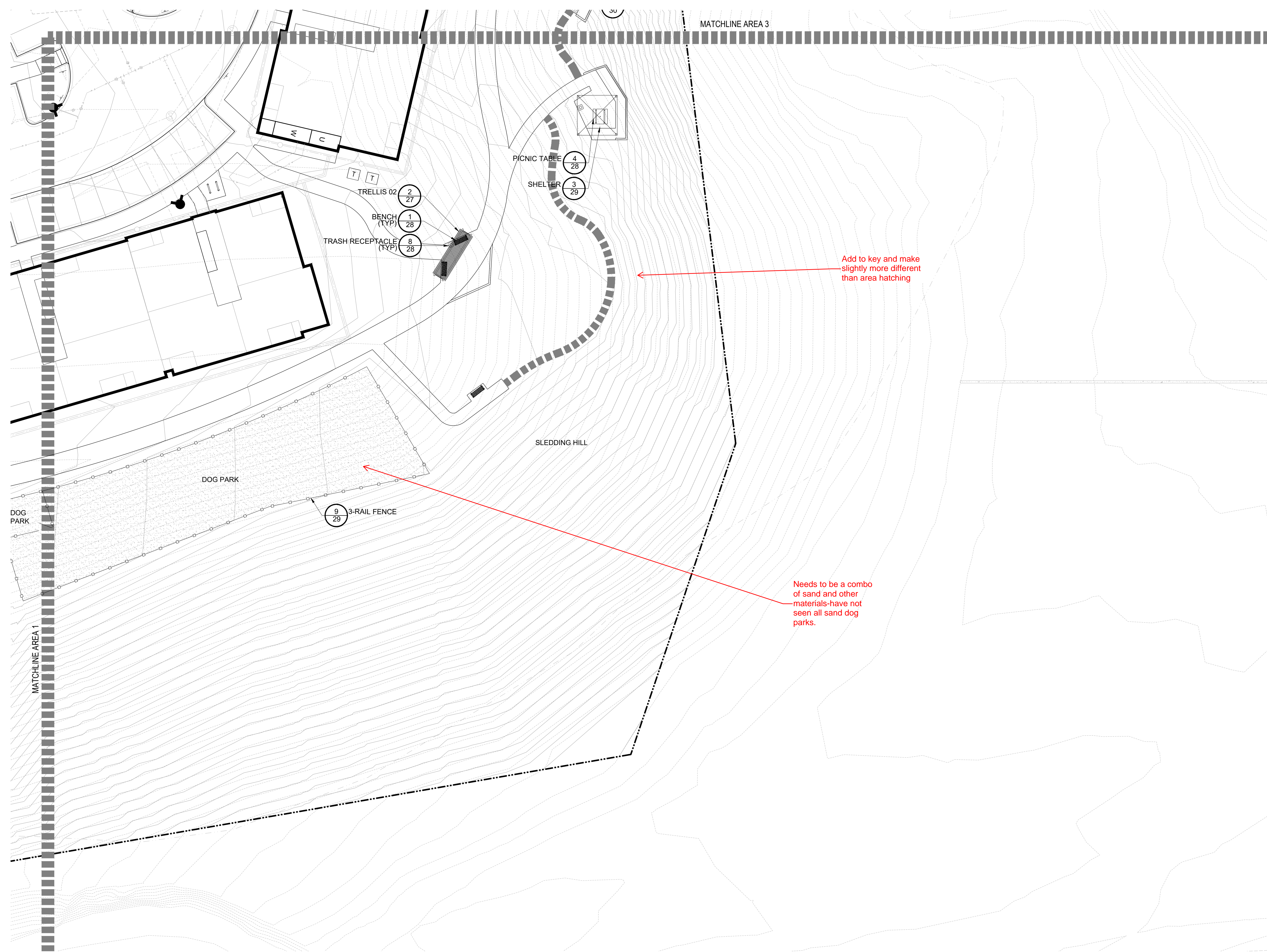
LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP



PROJECT NUMBER  
65120950  
DRAWN BY  
AML  
DATE  
01/12/2022

Landscape Architecture  
creating spaces  
pcs group inc. www.pcsgruopco.com  
p.o. box 18287  
denver, co 80218  
1.303.531.4905 f.303.531.4908



Add to key and make slightly more different than area hatching

Needs to be a combo of sand and other materials-have not seen all sand dog parks.

LEGEND

- BENCH
- TRASH RECEPTACLE
- GRILL
- PET WASTE STATION
- BIKE RACK
- TABLE AND CHAIRS
- PICNIC TABLE
- ADIRONDACK CHAIR
- PING PONG TABLE
- 3-RAIL FENCE
- OUTDOOR FITNESS EQUIP.
- TRELLIS
- 16' SQUARE SHELTER
- LOG JUMPER
- DECK



PREPARED FOR CENTURY COMMUNITIES



PROJECT  
**COMPARK VILLAGE SOUTH**

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

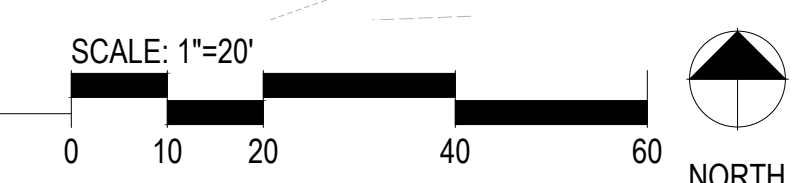
SHEET TITLE

**PARK PLAN AREA 2**

SHEET NUMBER

23

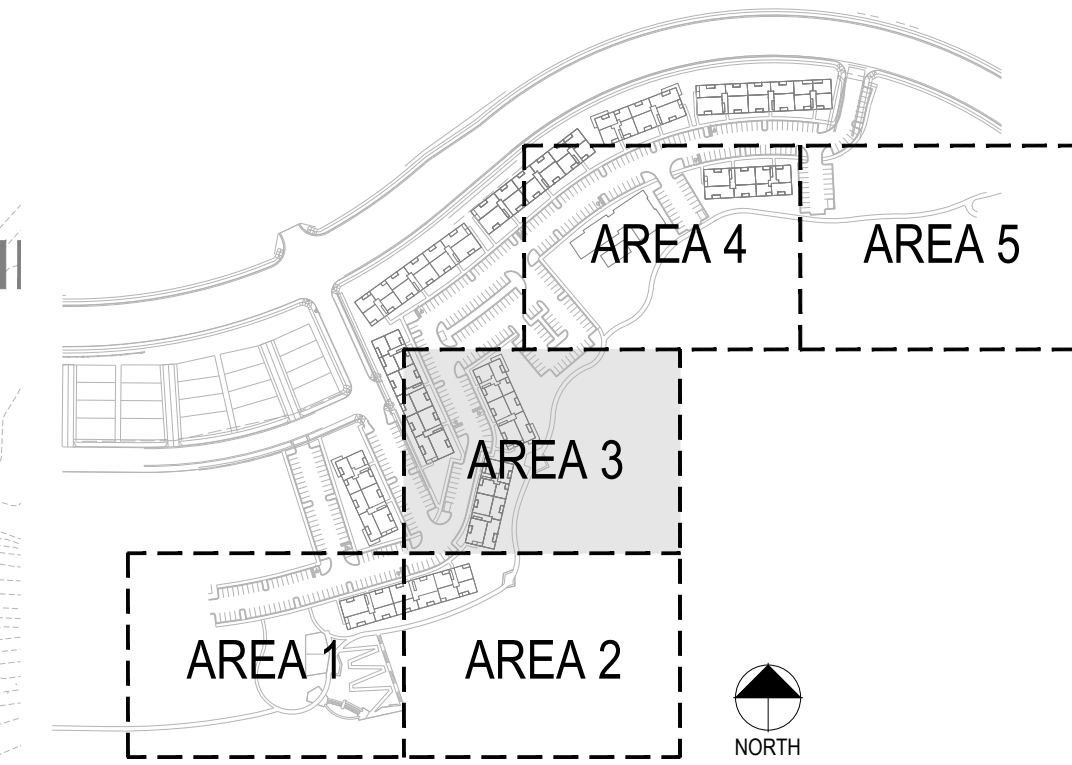
1 PARK AREA 2



COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP



PROJECT NUMBER  
65120950  
DRAWN BY  
AML  
DATE  
01/12/2022

Landscape Architecture  
creating spaces  
pcs group inc. www.pcsgruopco.com  
p.o. box 18287  
denver, co 80218  
1 303.531.4905 • f 303.531.4908

**MERRICK**  
Engineering | Architecture | Design-Build | Surveying |  
Planning | Geospatial Solutions  
5970 GREENWOOD PLAZA BLVD.  
GREENWOOD VILLAGE, CO. 80111  
303-751-0741  
www.merrick.com

PREPARED FOR CENTURY  
COMMUNITIES

**CENTURY  
COMMUNITIES**

PROJECT  
**COMPARK  
VILLAGE  
SOUTH**

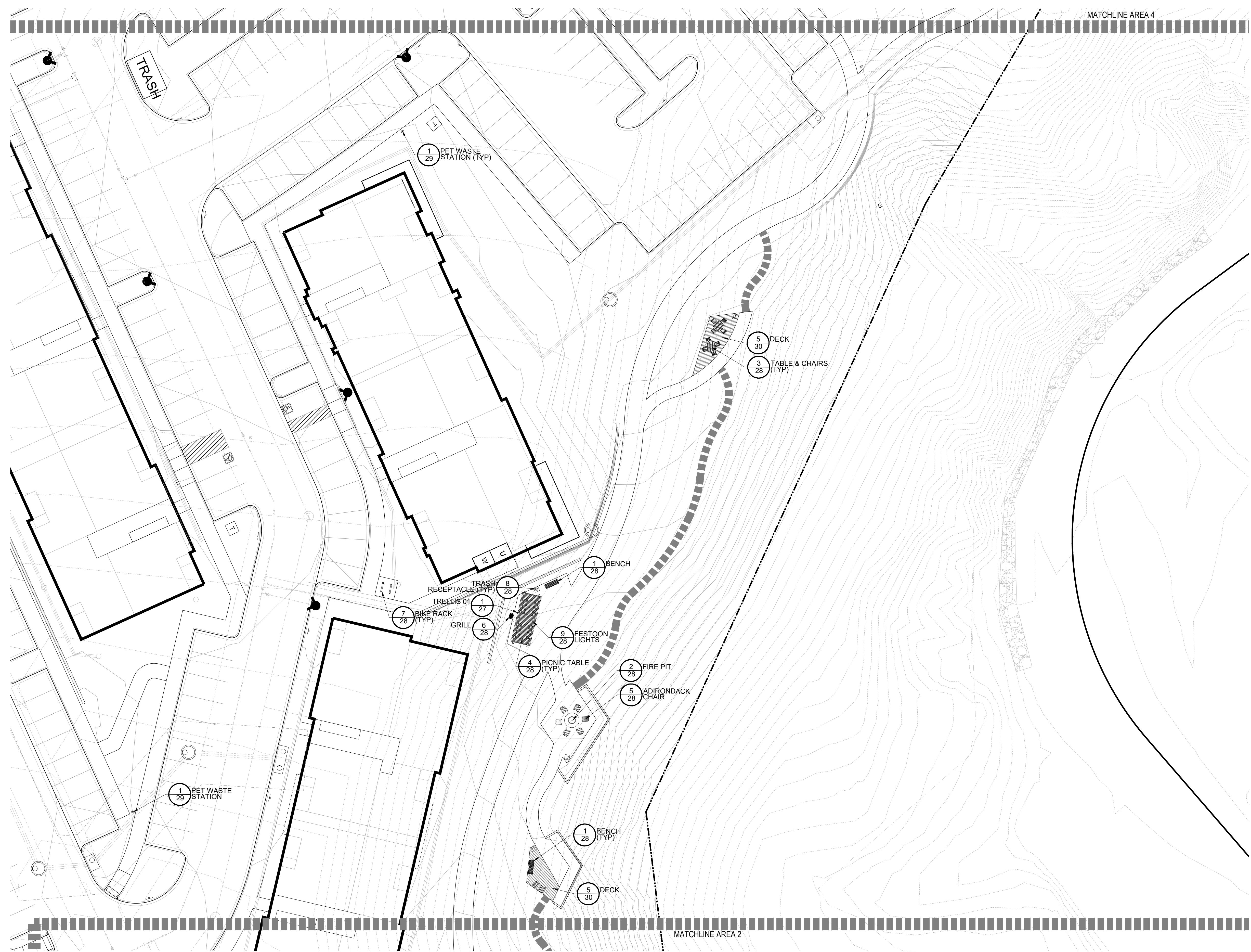
TOWN OF PARKER, COUNTY  
OF DOUGLAS, COLORADO  
80134

SHEET TITLE

**PARK PLAN  
AREA 3**

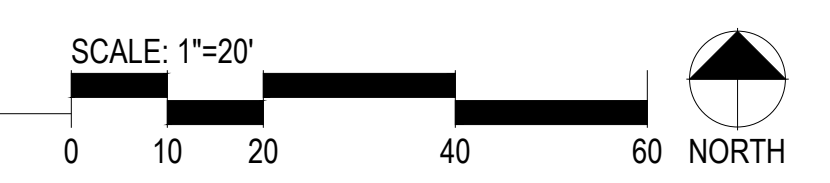
SHEET NUMBER

24



LEGEND

- BENCH
- TRASH RECEPTACLE
- GRILL
- PET WASTE STATION
- BIKE RACK
- TABLE AND CHAIRS
- PICNIC TABLE
- ADIRONDACK CHAIR
- PING PONG TABLE
- 3-RAIL FENCE
- OUTDOOR FITNESS EQUIP.
- TRELLIS
- 16' SQUARE SHELTER
- LOG JUMPER
- DECK

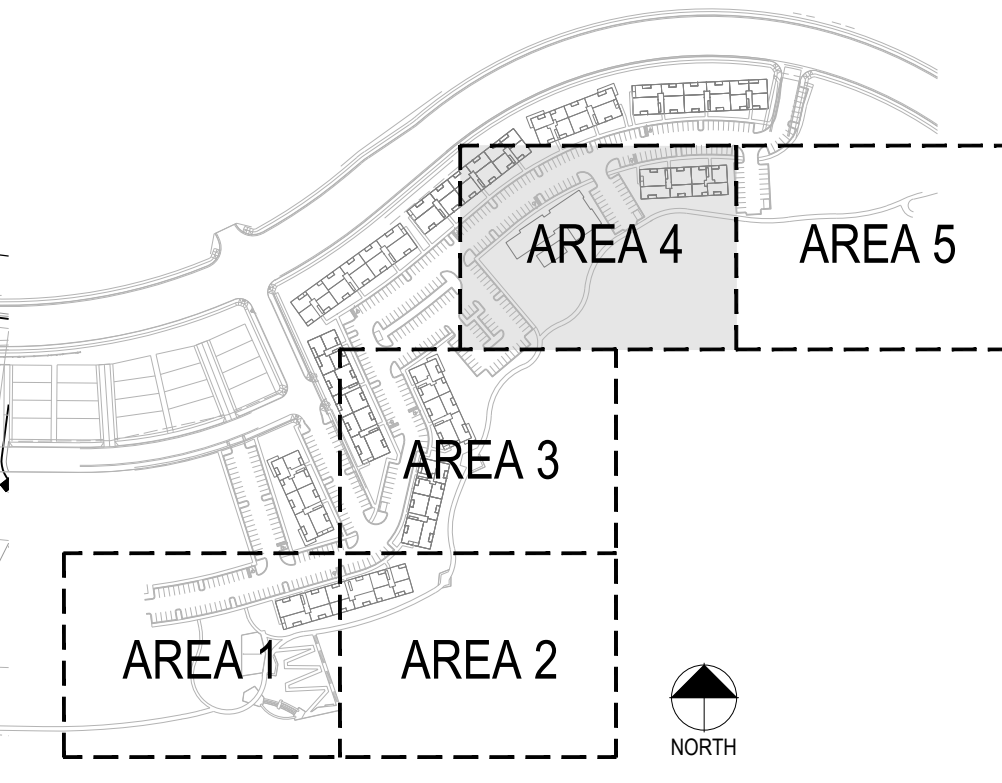


1 PARK AREA 3

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

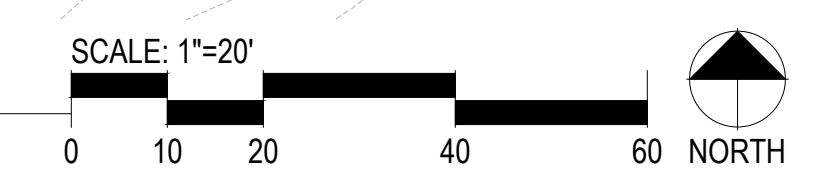
LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP



LEGEND

- BENCH
- TRASH RECEPTACLE
- GRILL
- PET WASTE STATION
- BIKE RACK
- TABLE AND CHAIRS
- PICNIC TABLE
- ADIRONDACK CHAIR
- PING PONG TABLE
- 3-RAIL FENCE
- OUTDOOR FITNESS EQUIP.
- TRELLIS
- 16' SQUARE SHELTER
- LOG JUMPER
- DECK



PROJECT NUMBER  
65120950

DRAWN BY  
AML

DATE  
01/12/2022

Landscape Architecture  
 creating spaces  
pcs group inc. www.pcsgroupco.com  
p.o. box 18287  
denver, co 80218  
1 303.531.4905 • f 303.531.4908

**MERRICK**  
Engineering | Architecture | Design-Build | Surveying |  
Planning | Geospatial Solutions  
5970 GREENWOOD PLAZA BLVD.  
GREENWOOD VILLAGE, CO. 80111  
303-751-0741  
www.merrick.com

PREPARED FOR CENTURY  
COMMUNITIES

**CENTURY  
COMMUNITIES**

PROJECT  
**COMPARK  
VILLAGE  
SOUTH**

TOWN OF PARKER, COUNTY  
OF DOUGLAS, COLORADO  
80134

SHEET TITLE  
**PARK PLAN  
AREA 4**

SHEET NUMBER  
**25**

1 PARK AREA 4

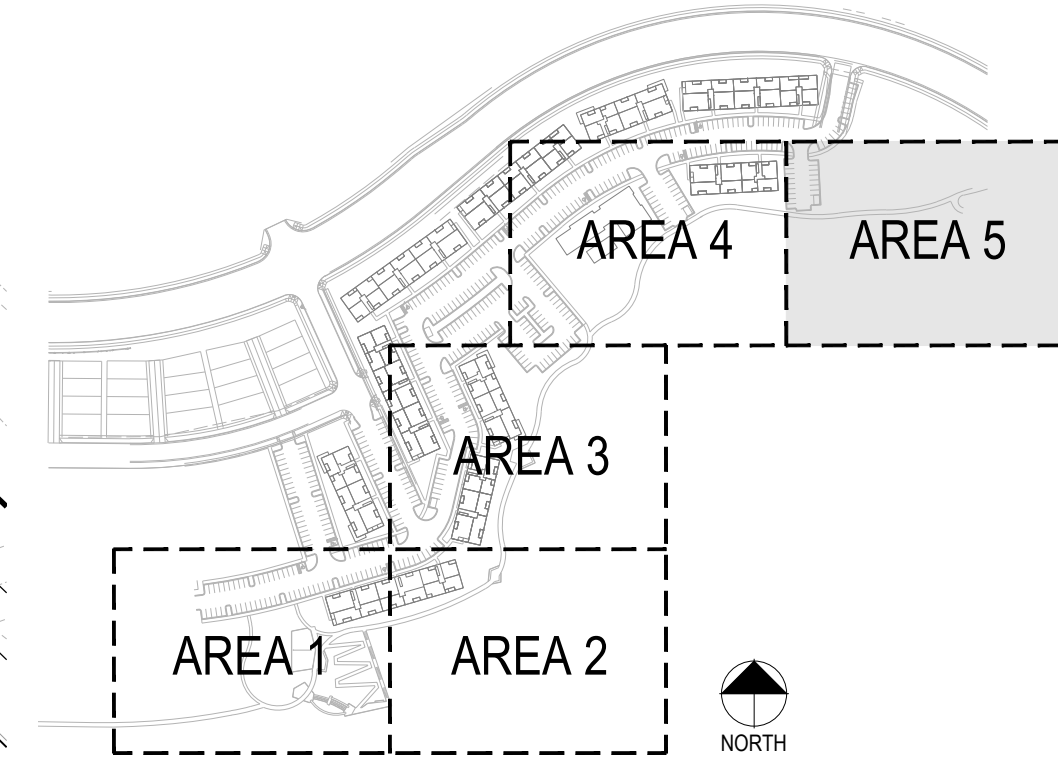
MATCHLINE AREA 3

MATCHLINE AREA 5

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

KEY MAP



PROJECT NUMBER  
65120950  
DRAWN BY  
AML  
DATE  
01/12/2022

Landscape Architecture  
creating spaces  
pcs group inc. www.pcsgruppco.com  
p.o. box 18287  
denver, co 80218  
1 303.531.4905 • f 303.531.4908

**MERRICK**  
Engineering | Architecture | Design-Build | Surveying |  
Planning | Geospatial Solutions  
5970 GREENWOOD PLAZA BLVD.  
GREENWOOD VILLAGE, CO. 80111  
303-751-0741  
www.merrick.com

PREPARED FOR CENTURY  
COMMUNITIES

**CENTURY  
COMMUNITIES**

PROJECT

**COMPARK  
VILLAGE  
SOUTH**

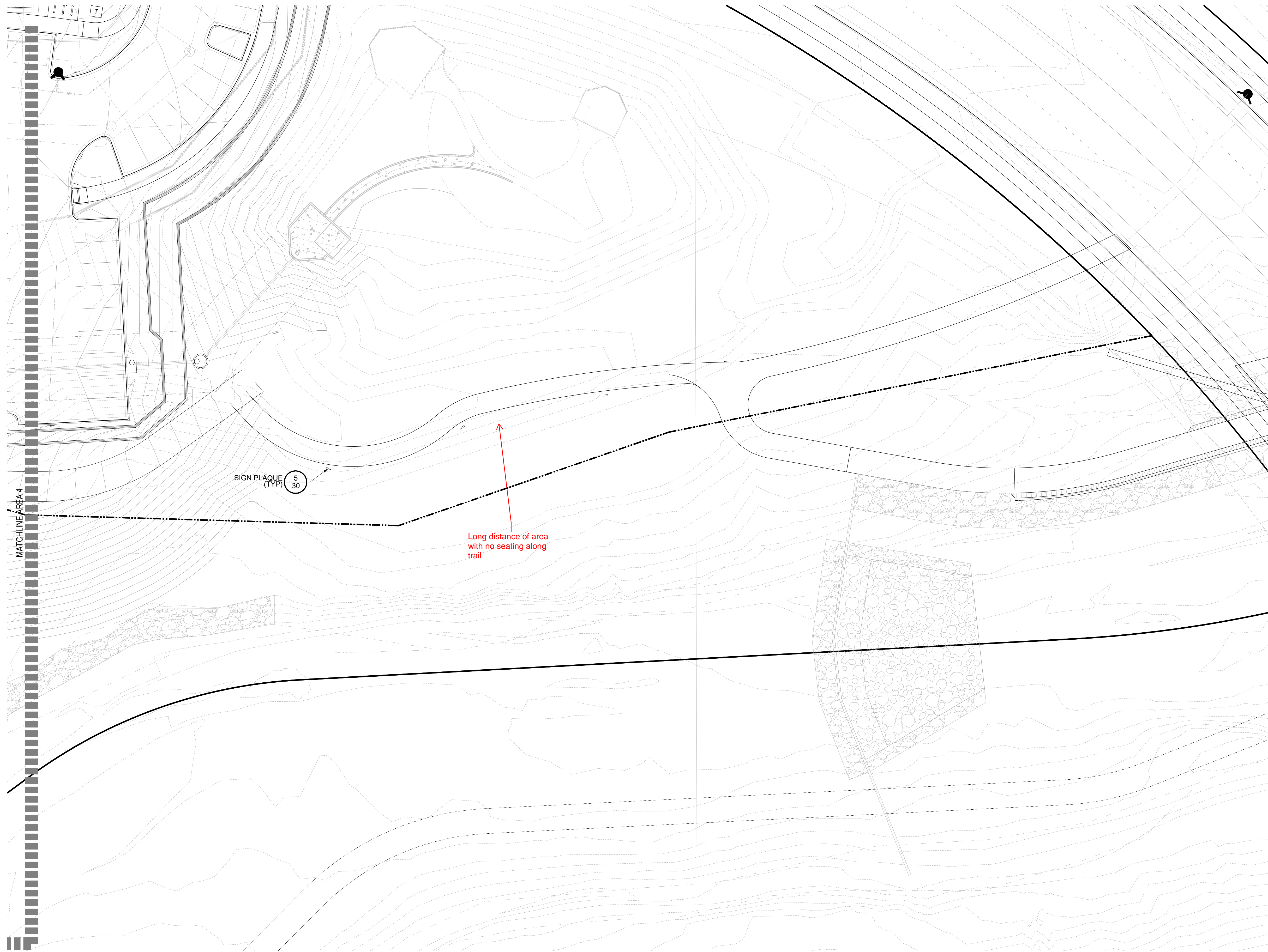
TOWN OF PARKER, COUNTY  
OF DOUGLAS, COLORADO  
80134

SHEET TITLE

**PARK PLAN  
AREA 5**

SHEET NUMBER

26



LEGEND

- BENCH
- TRASH RECEPTACLE
- GRILL
- PET WASTE STATION
- BIKE RACK
- TABLE AND CHAIRS
- PICNIC TABLE
- ADIRONDACK CHAIR
- PING PONG TABLE
- 3-RAIL FENCE
- OUTDOOR FITNESS EQUIP.
- TRELLIS
- 16' SQUARE SHELTER
- LOG JUMPER
- DECK

SCALE: 1"=20'




1 PARK AREA 5

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER  
65120950  
  
DRAWN BY  
AML  
  
DATE  
01/12/2022

Landscape Architecture  
  
creating spaces  
  
pcs group inc. www.pcsgroupco.com  
p.o. box 18287  
denver, co 80218  
1.303.531.4905 • 1.303.531.4908

  
Engineering | Architecture | Design-Build | Surveying |  
Planning | Geospatial Solutions  
5970 GREENWOOD PLAZA BLVD.  
GREENWOOD VILLAGE, CO. 80111  
303-751-0741  
www.merrick.com

PREPARED FOR CENTURY  
COMMUNITIES



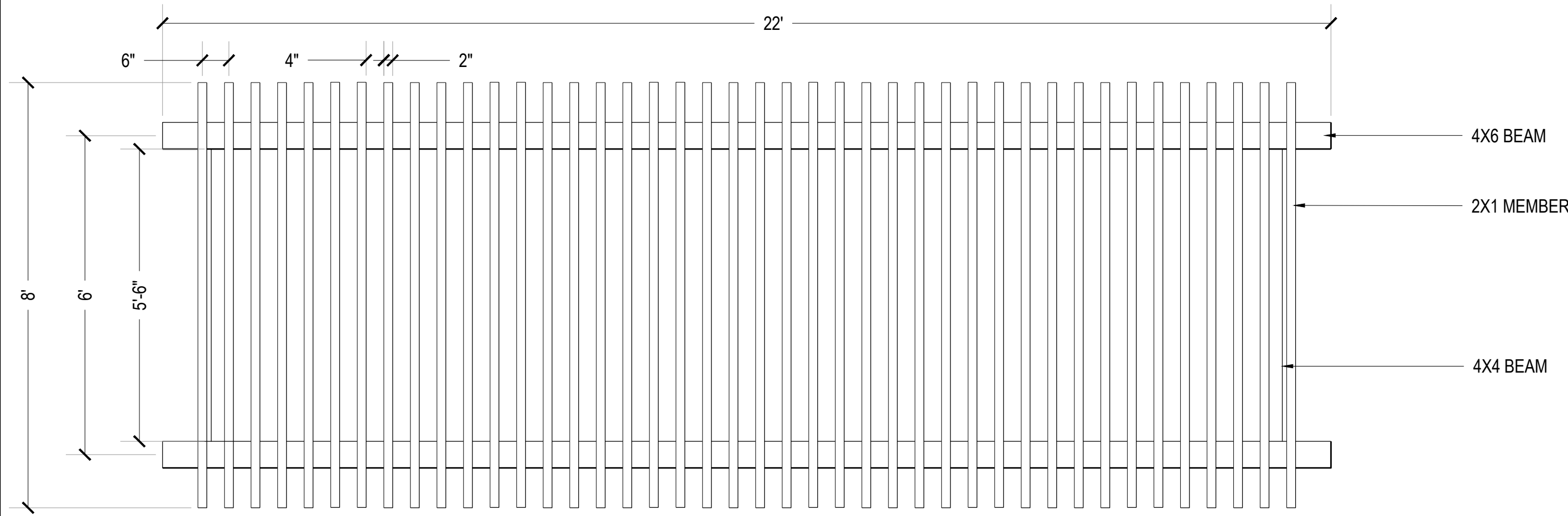
PROJECT  
**COMPARK  
VILLAGE  
SOUTH**

TOWN OF PARKER, COUNTY  
OF DOUGLAS, COLORADO  
80134

SHEET TITLE  
**SITE DETAILS**

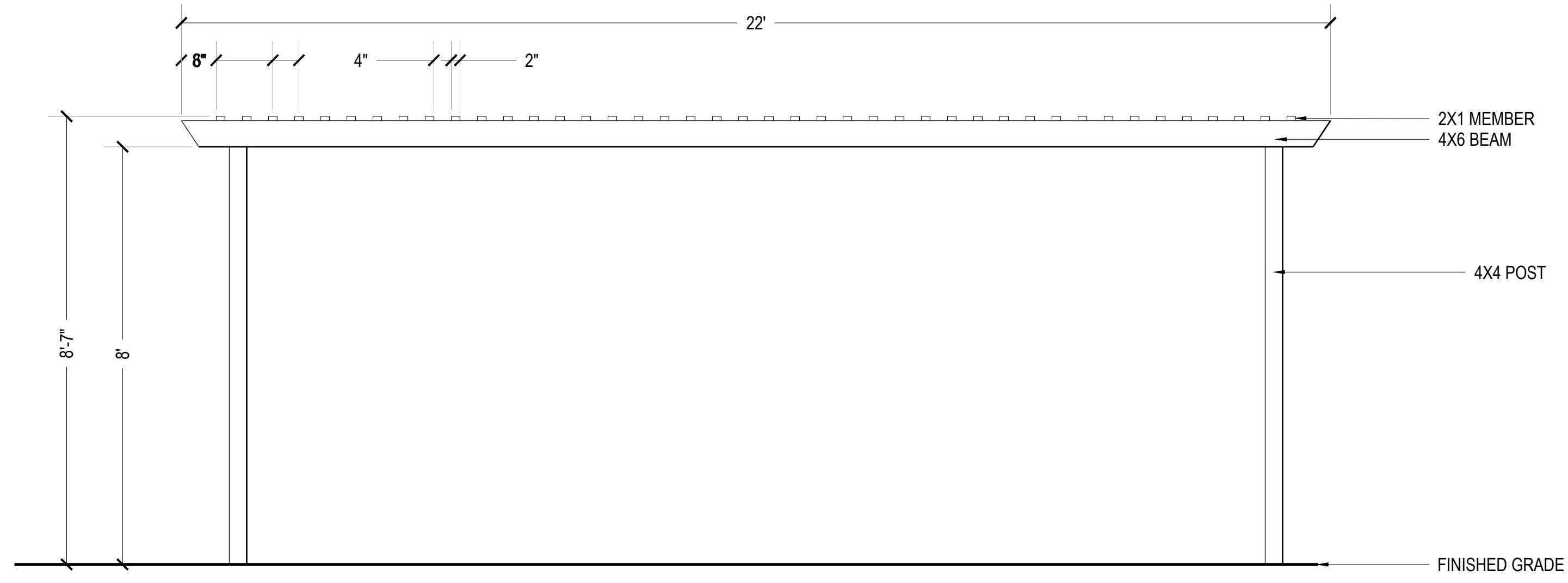
SHEET NUMBER

27

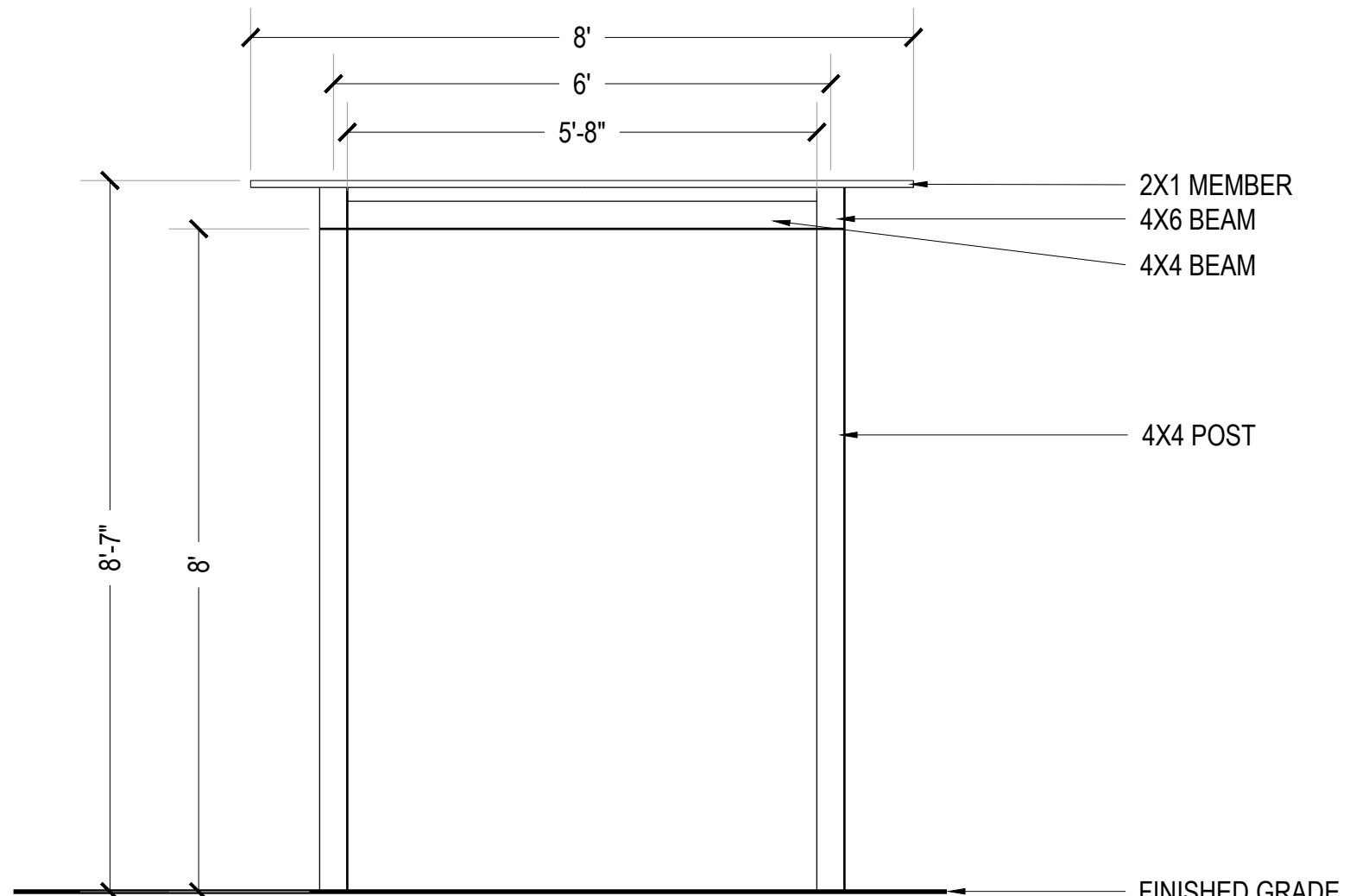


PLAN VIEW

**1** TRELLIS\_01  
Scale: NTS



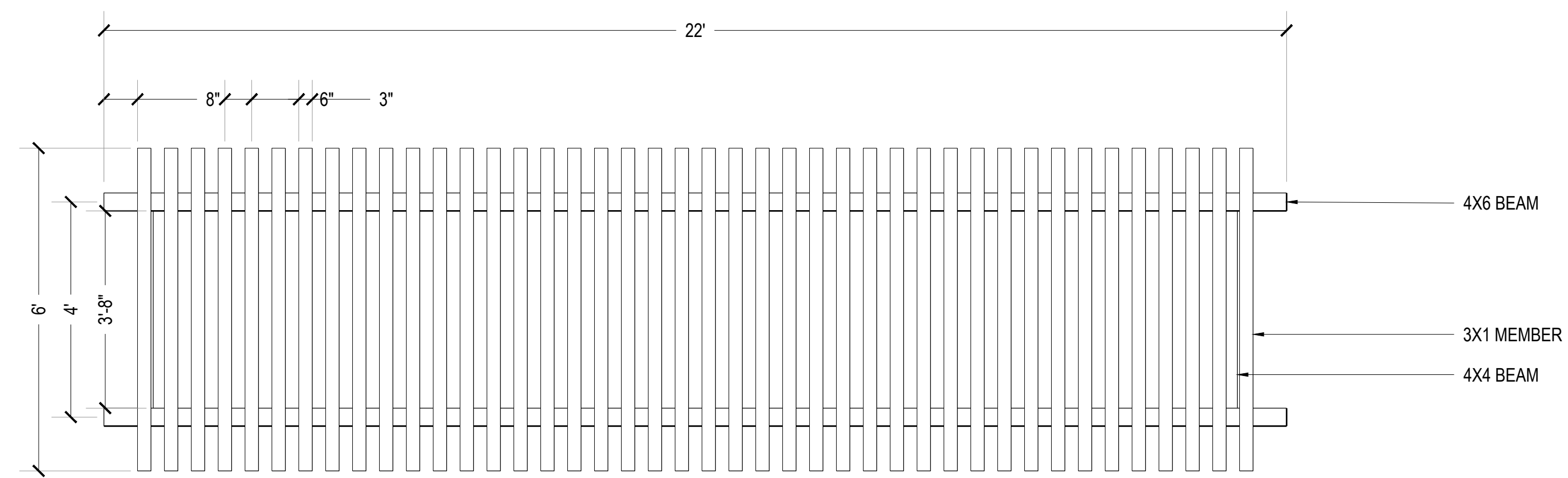
ELEVATION A



ELEVATION B

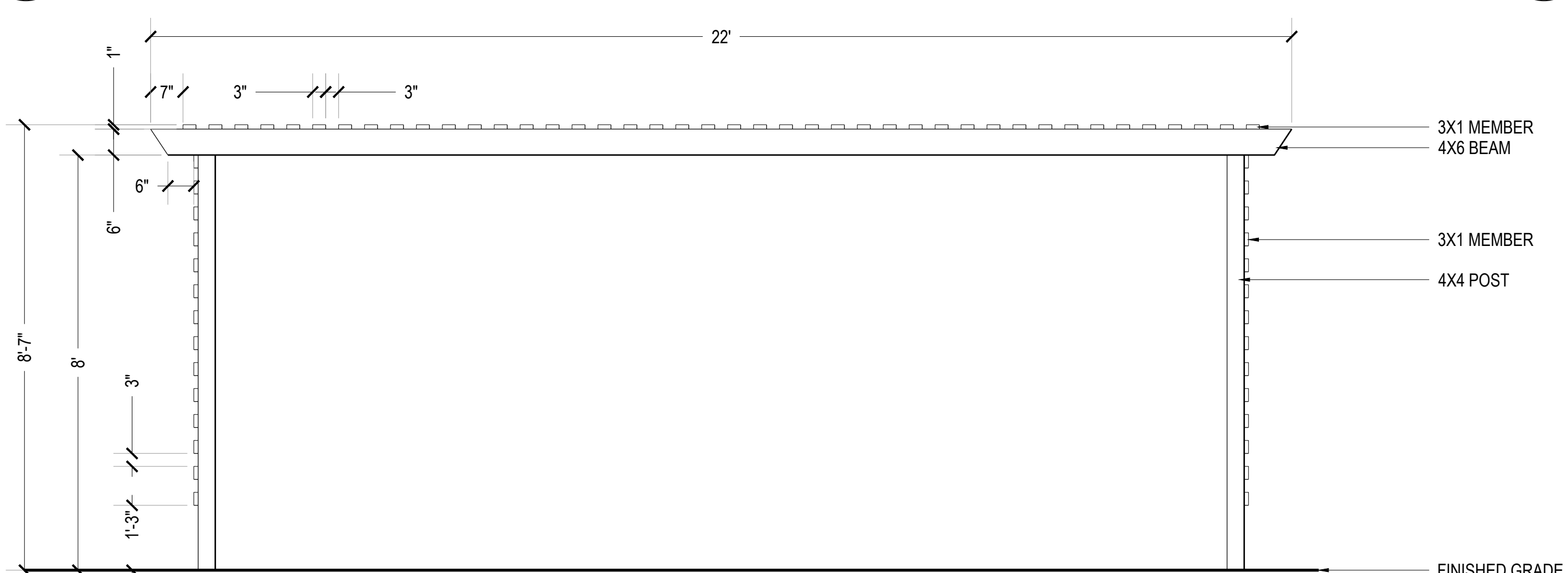
**1** TRELLIS\_01  
Scale: NTS

- NOTES:
1. ALL MEMBERS TO BE REDWOOD OR APPROVED EQUAL.
  2. WOOD MEMBERS TO BE CLEAR COAT STAINED WITH WATER SEAL.
  3. STRUCTURAL ENGINEERING AND FOOTING BY OTHERS, VERIFY WITH GEOTECH REPORT.
  4. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO OWNER'S REP. FOR REVIEW.



PLAN VIEW

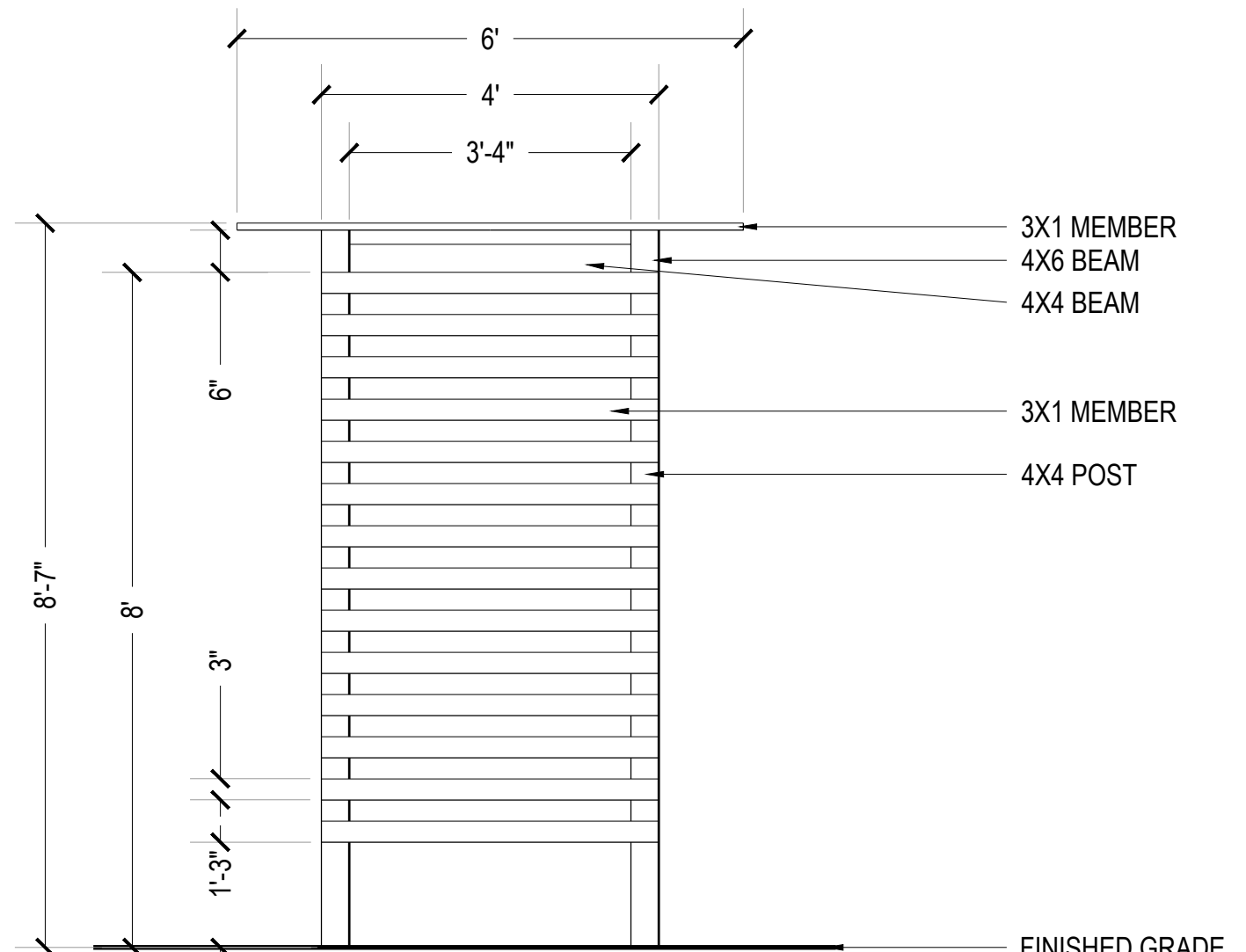
**2** TRELLIS\_02  
Scale: NTS



ELEVATION A

**2** TRELLIS\_02  
Scale: NTS

- NOTES:
1. ALL MEMBERS TO BE REDWOOD OR APPROVED EQUAL.
  2. WOOD MEMBERS TO BE CLEAR COAT STAINED FOR WATER SEAL.
  3. STRUCTURAL ENGINEERING AND FOOTING BY OTHERS, VERIFY WITH GEOTECH REPORT.
  4. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO OWNER'S REP. FOR REVIEW.



ELEVATION B

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



CORONADO THERMORY 6' CONTOUR BENCH  
ITEM #: CR2780T  
SIZE: 35"H x 23"W x 76"L  
COLOR: THERMORY  
FRAME COLOR: TEXTURED BRONZE  
INSTALL PER MANUFACTURER'S  
SPECS. OR APPROVED EQUAL.  
  
SUPPLIER: ANOVA  
WEBSITE: ANOVA.COM

1 6'\_BENCH  
Scale: NTS



CONTEMPO ROUND FIRE TABLE, 12" STAR  
BURNER  
ITEM #: 782-BA-11-M2NC  
MANUFACTURER: AMERICAN FIRE DESIGNS  
SIZE: 47"DIA, 15.5"H  
COLOR: BLACK LAVA  
FUEL: NATURAL GAS, PROPANE  
INSTALL PER MANUFACTURER'S  
SPECS. OR APPROVED EQUAL.  
  
SUPPLIER: STAR FIRE DIRECT  
WEBSITE: STARFIREDIRECT.COM

2 FIRE\_PIT  
Scale: NTS



BEACON HILL THERMORY  
ITEM #: BH1840T  
SIZE: 36"H x 92"Sq.  
FRAME COLOR: TEXTURED BRONZE  
COLOR: THERMORY  
INSTALL PER MANUFACTURER'S  
SPECS. OR APPROVED EQUAL.  
  
SUPPLIER: ANOVA  
WEBSITE: ANOVA.COM

3 TABLE\_&\_CHAIRS  
Scale: NTS



WAINWRIGHT 6' PICNIC TABLE AND  
BENCHES SET  
ITEM #: RCPWT63  
SIZE: 29"H x 64"W x 72"L  
FRAME COLOR: BLACK  
COLOR: MAHOGANY, TEXTURED BLACK  
FRAME  
INSTALL PER MANUFACTURER'S  
SPECS. OR APPROVED EQUAL.  
  
SUPPLIER: ANOVA  
WEBSITE: ANOVA.COM

4 PICNIC\_TABLE  
Scale: NTS



PLANK ADIRONDACK CHAIR  
ITEM #: PLK60T  
SIZE: 46"H x 28"W x 36"D  
COLOR: MAHOGANY  
INSTALL PER MANUFACTURER'S  
SPECS. OR APPROVED EQUAL.  
  
SUPPLIER: ANOVA  
WEBSITE: ANOVA.COM

5 ADIRONDACK\_CHAIR  
Scale: NTS



STANDARD PARK GRILL  
ITEM #: 100PRG  
SIZE: 10"H x 20"W x 15"D  
INSTALL PER MANUFACTURER'S  
SPECS. OR APPROVED EQUAL.  
  
SUPPLIER: ANOVA  
WEBSITE: ANOVA.COM

6 PARK\_GRILL



STREETSIDE 5-BIKE/3-LOOP RACK,  
FUSION ADV FINISH, SURFACE MOUNT  
ITEM #: LBR5PVC SURF  
SIZE: 36"H x 42"W  
COLOR: TEXTURED BRONZE  
INSTALL PER MANUFACTURER'S  
SPECS. OR APPROVED EQUAL.  
  
SUPPLIER: ANOVA  
WEBSITE: ANOVA.COM

7 BIKE\_RACK  
Scale: NTS



BEACON HILL 35 GAL THERMORY  
RECEPTACLE, OPEN TOP  
ITEM #: BH1835T  
SIZE: 32"H x 23"Sq.  
FRAME COLOR: TEXTURED BRONZE  
COLOR: THERMORY - HORIZONTAL  
INSTALL PER MANUFACTURER'S  
SPECS. OR APPROVED EQUAL.  
  
SUPPLIER: ANOVA  
WEBSITE: ANOVA.COM

8 RECEPTACLE



COMMERCIAL GRADE SUSPENDED E26  
MODEL: LS-MS-24-100-BK  
WATTAGE: 25W PER SOCKET  
INSTALL PER MANUFACTURER'S  
SPECS. OR APPROVED EQUAL.  
  
SUPPLIER: AMERICAN LIGHTING  
WEBSITE: AMERICANLIGHTING.COM

9 FESTOON\_LIGHTS  
Scale: NTS

PROJECT NUMBER  
65120950  
  
DRAWN BY  
AML  
  
DATE  
01/12/2022

Landscape Architecture  
  
pcs group inc. www.pcsgruopco.com  
p.o. box 18287  
denver, co 80218  
1.303.531.4905 - 1.303.531.4908

Engineering | Architecture | Design-Build | Surveying |  
Planning | Geospatial Solutions  
5970 GREENWOOD PLAZA BLVD.  
GREENWOOD VILLAGE, CO. 80111  
303-754-0741  
www.merrick.com

PREPARED FOR CENTURY  
COMMUNITIES

CENTURY  
COMMUNITIES

PROJECT  
**COMPARK  
VILLAGE  
SOUTH**

TOWN OF PARKER, COUNTY  
OF DOUGLAS, COLORADO  
80134

SHEET TITLE  
**SITE DETAILS**

SHEET NUMBER  
**28**

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



PET STATION  
MODEL: 7408-R, COMPLETE DOG WASTE STATION WITH ROLL DISPENSER,  
COLOR: GREEN  
INSTALL PER MANUFACTURER'S SPECS OR APPROVED EQUAL.

CONTACT: ATOZ RECREATION  
PHONE: 303.670.3789  
WWW.ATOZRECREATION.COM

1 PET\_WASTE\_STATION  
Scale: NTS



SUSPENSION TRAINER, MAGNETIC BELLS,  
CORE TWIST  
ITEM #: FAZ20401-0900  
SIZE: 34'5" L x 3'6" W x 10'11" H  
COLOR: ORANGE  
INSTALL PER MANUFACTURER'S SPECS. OR APPROVED EQUAL.

SUPPLIER: KOMPAN  
WEBSITE: KOMPAN.US

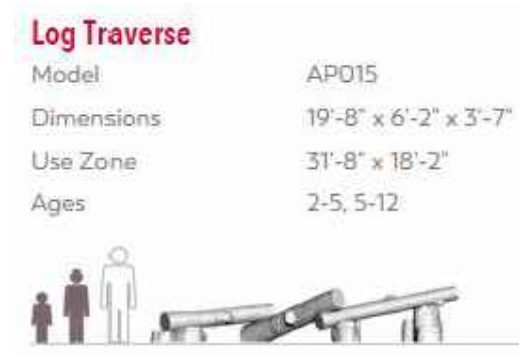
2 KOMPAN\_OUTDOOR\_FITNESS  
Scale: NTS



SQUARE SHELTER  
MODEL: SQR 16  
MATERIAL: STEEL / MULTI-RIB ROOF  
ROOF COLOR: BUCKSKIN  
STRUCTURE COLOR: ALMOND  
INSTALL PER MANUFACTURER'S SPECS. OR APPROVED EQUAL.

SUPPLIER: POLIGON  
WEBSITE: POLIGON.COM

3 SHELTER  
Scale: NTS

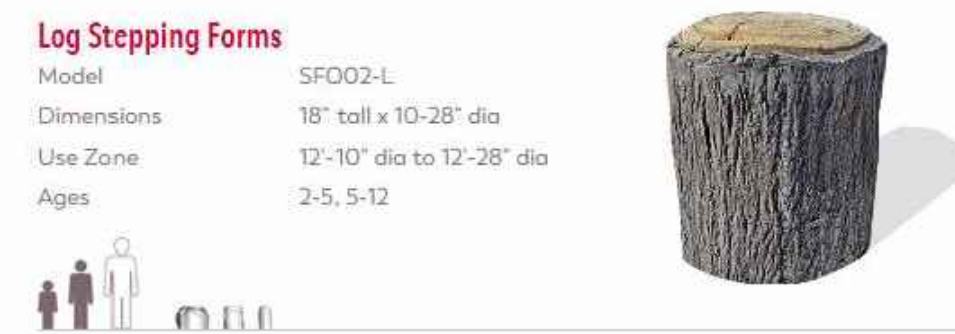


Log Traverse  
Model AP015  
Dimensions 19'-8" x 6'-2" x 3'-7"  
Use Zone 31'-8" x 18'-2"  
Ages 2-5, 5-12

LOG TRAVERSE  
ITEM #: AP015  
SIZE: 19'8" L X 6'2" H X 3'7" W  
INSTALL PER MANUFACTURER'S SPECS.

SUPPLIER: ID SCULPTURE  
WEBSITE: IDSCULPTURE.COM

4 LOG\_TRAVERSE  
Scale: NTS



Log Stepping Forms  
Model SFO02-L  
Dimensions 18" tall x 10-28" dia  
Use Zone 12-10" dia to 12-28" dia  
Ages 2-5, 5-12

LOG STEP  
ITEM #: SF002-L  
SIZE: 18" H X 24" DIA  
INSTALL PER MANUFACTURER'S SPECS.

SUPPLIER: ID SCULPTURE  
WEBSITE: IDSCULPTURE.COM

5 LOG\_STEPPER  
Scale: NTS



CUSTOM ON GRADE ALUMINUM SLIDE  
SIZE SLIDE 01: 72' L X 3' W  
SIZE SLIDE 02: 35' L X 3' W  
MATERIAL: ALUMINUM  
INSTALL PER MANUFACTURER'S SPECS. OR APPROVED EQUAL.

SUPPLIER: RECREATION PLUS  
WEBSITE: RECREATIONPLUS.COM

6 SLIDE\_ON\_GRADE  
Scale: NTS



CUSTOM CLIMBING ROPE NET  
SIZE: 55' L X 4' W  
COLOR: STANDARD/NATURAL  
INSTALL PER MANUFACTURER'S SPECS. OR APPROVED EQUAL.

SUPPLIER: RECREATION PLUS  
WEBSITE: RECREATIONPLUS.COM

7 ROPE\_CLIMBER  
Scale: NTS



FIBAR PLAYGROUND SURFACE  
MODEL: PIP  
COLOR: TBD  
INSTALL PER MANUFACTURER'S SPECS. OR APPROVED EQUAL.

SUPPLIER: RECREATION PLUS  
WEBSITE: RECREATIONPLUS.COM

8 POURED-IN-PLACE\_SURFACING  
Scale: NTS



3-RAIL FENCE  
MODEL: SPLIT RAIL WITH WIRE MESH  
COLOR: CEDAR  
INSTALL PER MANUFACTURER'S SPECS. OR APPROVED EQUAL.

CONTACT: SPLIT RAIL FENCE COMPANY  
PHONE: 303-791-1997  
WWW.SPLITRAILFENCECO.COM

9 3-RAIL\_FENCE  
Scale: NTS

PROJECT NUMBER  
65120950  
DRAWN BY  
AML  
DATE  
01/12/2022

Landscape Architecture  
creating spaces  
pcs group inc. www.pcsgroupco.com  
p.o. box 18287  
denver, co 80218  
1.303.531.4905 f.303.531.4908

MERRICK  
Engineering | Architecture | Design-Build | Surveying |  
Planning | Geospatial Solutions  
5970 GREENWOOD PLAZA BLVD.  
GREENWOOD VILLAGE, CO. 80111  
303-754-0741  
www.merrick.com

PREPARED FOR CENTURY COMMUNITIES

CENTURY COMMUNITIES

PROJECT  
COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE

SITE DETAILS

SHEET NUMBER

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



ML4: 4" PRO BEACH NET  
SIZE: 39"H X 32"W  
NET COLOR: WHITE  
OPTIONS: STANDARD TOP & BOTTOM LINES,  
STANDARD SIDE TENSION  
INSTALL PER MANUFACTURER'S  
SPECS. OR APPROVED EQUAL.  
  
SUPPLIER: VOLLEYBALL USA  
WEBSITE: VOLLEYBALLUSA.COM



UV-5000 OUTDOOR ALUMINUM POLES  
SIZE: 10'6"H  
INSTALL PER MANUFACTURER'S  
SPECS. OR APPROVED EQUAL.  
  
SUPPLIER: VOLLEYBALL USA  
WEBSITE: VOLLEYBALLUSA.COM



RUBBER VOLLEYBALL CURB  
SIZE: 6"W X 6"H X 72"L SECTIONS  
TOTAL LF: 148'  
MATERIAL: RUBBER  
COLOR: BLACK  
INSTALL PER MANUFACTURER'S  
SPECS. OR APPROVED EQUAL.  
  
SUPPLIER: VOLLEYBALL USA  
WEBSITE: VOLLEYBALLUSA.COM

1 VOLLEYBALL\_NET  
Scale: NTS

2 VOLLEYBALL\_POLES  
Scale: NTS

3 VOLLEYBALL\_RUBBER\_CURB  
Scale: NTS



2 INCH PRO ADJUSTABLE BOUNDARY LINES  
COLOR: BLACK  
INSTALL PER MANUFACTURER'S  
SPECS. OR APPROVED EQUAL.  
  
SUPPLIER: VOLLEYBALL USA  
WEBSITE: VOLLEYBALLUSA.COM



CUSTOM SIGN PLAQUE  
COLOR: ALUMINUM EDGE  
STAND: 4X4 CEDAR POST  
CUSTOM PIECE

5 SIGN\_PLAQUE  
Scale: NTS



TREX DECKING  
COLOR: VINTAGE LANTERN  
INSTALL PER MANUFACTURER'S  
INSTRUCTIONS  
  
SUPPLIER: TREX  
WEBSITE: TREX.COM

6 DECK  
Scale: NTS

4 VOLLEYBALL\_BOUNDARIES  
Scale: NTS

PROJECT NUMBER  
65120950  
  
DRAWN BY  
AML  
  
DATE  
01/12/2022

Landscape Architecture  
  
pcs group inc. www.pcsgruopco.com  
p.o. box 18287  
denver, co 80218  
1.303.531.4905 • 1.303.531.4908

Engineering | Architecture | Design-Build | Surveying |  
Planning | Geospatial Solutions  
5970 GREENWOOD PLAZA BLVD.  
GREENWOOD VILLAGE, CO. 80111  
303-754-0741  
www.merrick.com

PREPARED FOR CENTURY  
COMMUNITIES

PROJECT  
**COMPARK  
VILLAGE  
SOUTH**

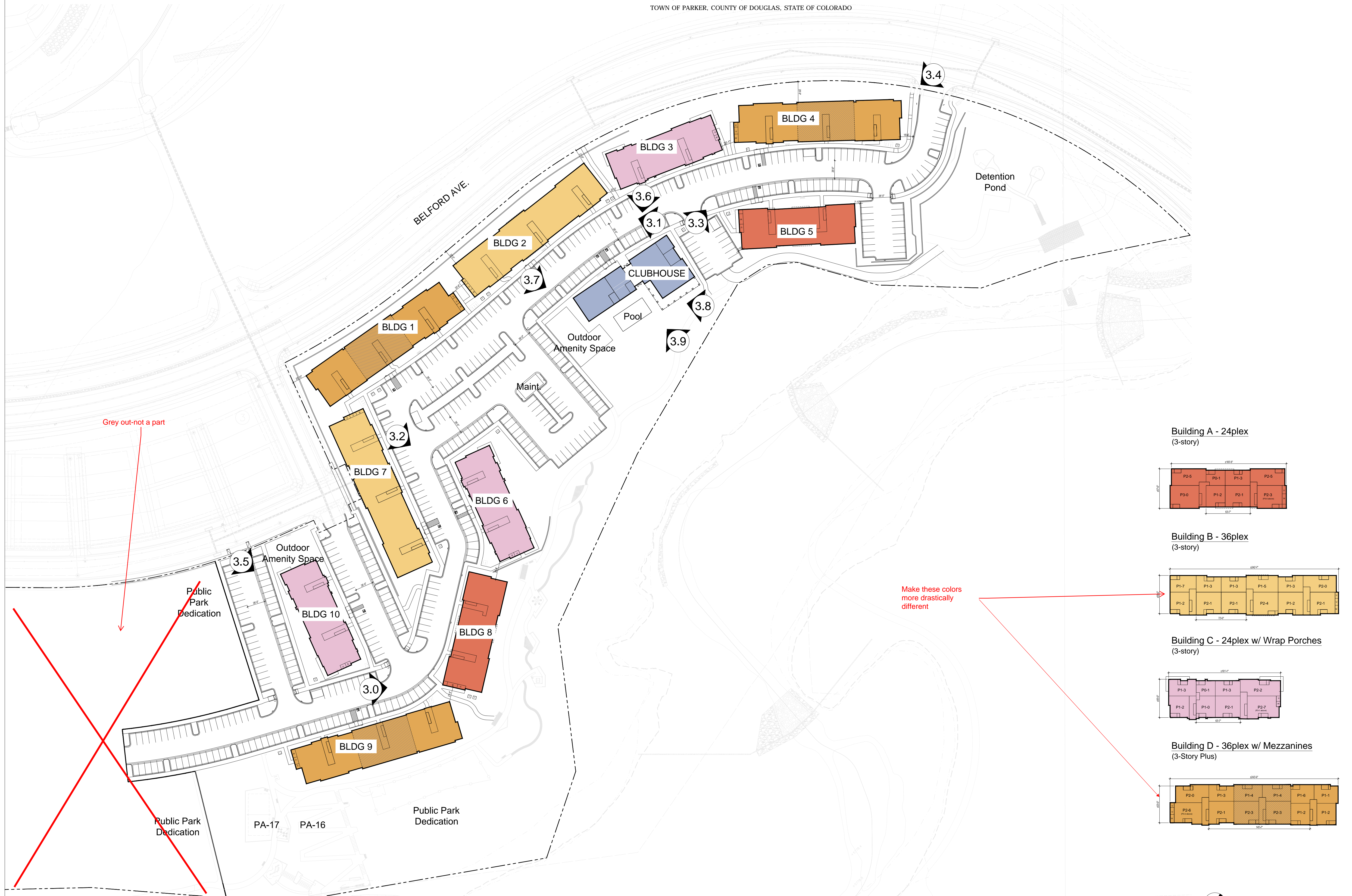
TOWN OF PARKER, COUNTY  
OF DOUGLAS, COLORADO  
80134

SHEET TITLE  
**SITE DETAILS**

SHEET NUMBER

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

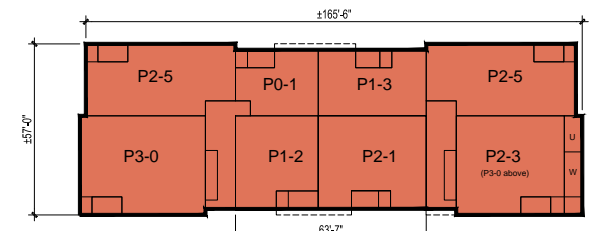
LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



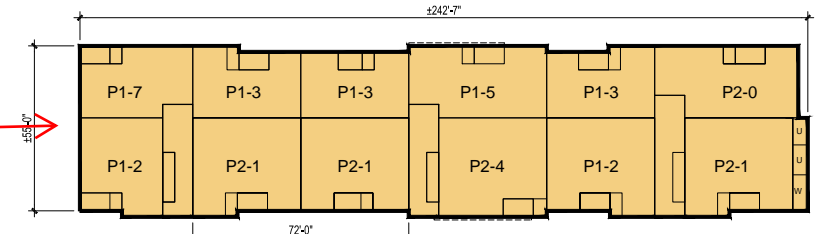
Grey out-not a part

Make these colors more drastically different

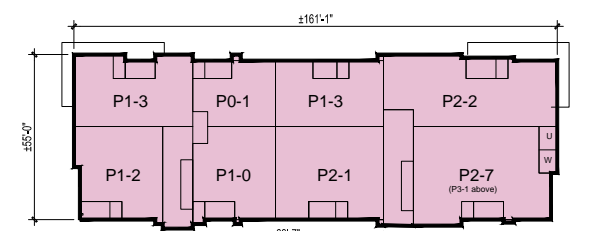
Building A - 24plex  
(3-story)



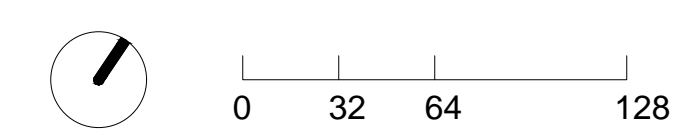
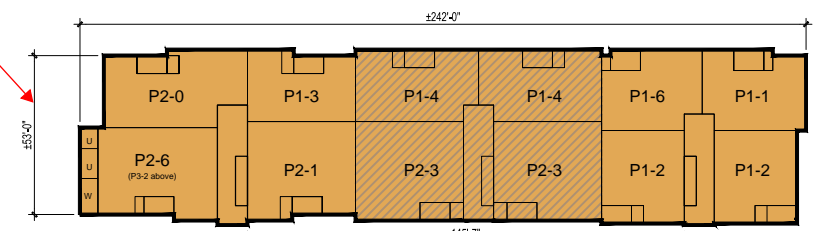
Building B - 36plex  
(3-story)



Building C - 24plex w/ Wrap Porches  
(3-story)



Building D - 36plex w/ Mezzanines  
(3-Story Plus)



PROJECT NUMBER  
210512  
  
DRAWN BY  
  
  
DATE  
01/14/2022



Architecture + Planning  
820 16th Street, Suite 500  
Denver, CO 80202  
303.825.6400  
ktgy.com

PREPARED FOR CENTURY  
COMMUNITIES



PROJECT  
**COMPARK  
VILLAGE  
SOUTH**

TOWN OF PARKER, COUNTY  
OF DOUGLAS, COLORADO  
80134

SHEET TITLE  
**BUILDING  
KEY PLAN  
- GROUND LEVEL**

SHEET NUMBER  
31

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER  
210512

DRAWN BY

DATE  
01/14/2022



Architecture + Planning  
820 16th Street, Suite 500  
Denver, CO 80202  
303.825.6400  
ktgy.com



PREPARED FOR CENTURY  
COMMUNITIES



PROJECT

COMPARK  
VILLAGE  
SOUTH

TOWN OF PARKER, COUNTY  
OF DOUGLAS, COLORADO  
80134

SHEET TITLE  
CONCEPTUAL  
RENDERINGS

SHEET NUMBER

32

BUILDING # 8 PERSPECTIVE VIEW LOOKING NORTH  
BUILDING TYPE A

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER  
210512

DRAWN BY

DATE  
01/14/2022



Architecture + Planning  
820 16th Street, Suite 500  
Denver, CO 80202  
303.825.6400  
ktgy.com



PREPARED FOR CENTURY  
COMMUNITIES



PROJECT

COMPARK  
VILLAGE  
SOUTH

TOWN OF PARKER, COUNTY  
OF DOUGLAS, COLORADO  
80134

SHEET TITLE  
CONCEPTUAL  
RENDERINGS

SHEET NUMBER  
33

BUILDING # 2 PERSPECTIVE VIEW LOOKING WEST  
BUILDING TYPE B

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER  
210512

DRAWN BY

DATE  
01/14/2022



Architecture + Planning  
820 16th Street, Suite 500  
Denver, CO 80202  
303.825.6400  
ktgy.com



PREPARED FOR CENTURY  
COMMUNITIES



PROJECT

COMPARK  
VILLAGE  
SOUTH

TOWN OF PARKER, COUNTY  
OF DOUGLAS, COLORADO  
80134

SHEET TITLE  
CONCEPTUAL  
RENDERINGS

BUILDING # 6 PERSPECTIVE VIEW LOOKING SOUTH  
BUILDING TYPE C

SHEET NUMBER  
34

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER  
210512

DRAWN BY

DATE  
01/14/2022



Architecture + Planning  
820 16th Street, Suite 500  
Denver, CO 80202  
303.825.6400  
ktgy.com



PREPARED FOR CENTURY  
COMMUNITIES



PROJECT

COMPARK  
VILLAGE  
SOUTH

TOWN OF PARKER, COUNTY  
OF DOUGLAS, COLORADO  
80134

SHEET TITLE  
CONCEPTUAL  
RENDERINGS

SHEET NUMBER  
35

BUILDING # 4 PERSPECTIVE VIEW LOOKING NORTH  
BUILDING TYPE D

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER  
210512

DRAWN BY

DATE  
01/14/2022



Architecture + Planning  
820 16th Street, Suite 500  
Denver, CO 80202  
303.825.6400  
ktgy.com



PREPARED FOR CENTURY  
COMMUNITIES



PROJECT

COMPARK  
VILLAGE  
SOUTH

TOWN OF PARKER, COUNTY  
OF DOUGLAS, COLORADO  
80134

SHEET TITLE  
CONCEPTUAL  
RENDERINGS

NORTHERN ENTRY LOOKING AT BUILDING # 4  
BUILDING TYPE D

SHEET NUMBER  
36

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER  
210512

DRAWN BY

DATE  
01/14/2022



Architecture + Planning  
820 16th Street, Suite 500  
Denver, CO 80202  
303.825.6400  
ktgy.com



PREPARED FOR CENTURY  
COMMUNITIES



PROJECT

COMPARK  
VILLAGE  
SOUTH

TOWN OF PARKER, COUNTY  
OF DOUGLAS, COLORADO  
80134

SHEET TITLE  
CONCEPTUAL  
RENDERINGS

BUILDING # 10 PERSPECTIVE VIEW LOOKING SOUTH  
BUILDING TYPE C

SHEET NUMBER  
37

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER  
210512

DRAWN BY

DATE  
01/14/2022



Architecture + Planning  
820 16th Street, Suite 500  
Denver, CO 80202  
303.825.6400  
ktgy.com



PREPARED FOR CENTURY  
COMMUNITIES



PROJECT

COMPARK  
VILLAGE  
SOUTH

TOWN OF PARKER, COUNTY  
OF DOUGLAS, COLORADO  
80134

SHEET TITLE  
CONCEPTUAL  
RENDERINGS

CLUBHOUSE AMENITY BUILDING

SHEET NUMBER  
38

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER  
210512

DRAWN BY

DATE  
01/14/2022



Architecture + Planning  
820 16th Street, Suite 500  
Denver, CO 80202  
303.825.6400  
ktgy.com



PREPARED FOR CENTURY  
COMMUNITIES



PROJECT

COMPARK  
VILLAGE  
SOUTH

TOWN OF PARKER, COUNTY  
OF DOUGLAS, COLORADO  
80134

SHEET TITLE  
CONCEPTUAL  
RENDERINGS

CLUBHOUSE AMENITY BUILDING

SHEET NUMBER  
39

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER  
210512

DRAWN BY

DATE  
01/14/2022



Architecture + Planning  
820 16th Street, Suite 500  
Denver, CO 80202  
303.825.6400  
ktgy.com



PREPARED FOR CENTURY  
COMMUNITIES



PROJECT

COMPARK  
VILLAGE  
SOUTH

TOWN OF PARKER, COUNTY  
OF DOUGLAS, COLORADO  
80134

SHEET TITLE  
CONCEPTUAL  
RENDERINGS

SHEET NUMBER  
40

CLUBHOUSE AMENITY BUILDING

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER  
210512

DRAWN BY

DATE  
01/14/2022



Architecture + Planning  
820 16th Street, Suite 500  
Denver, CO 80202  
303.825.6400  
ktgy.com



PREPARED FOR CENTURY  
COMMUNITIES



PROJECT

COMPARK  
VILLAGE  
SOUTH

TOWN OF PARKER, COUNTY  
OF DOUGLAS, COLORADO  
80134

SHEET TITLE  
CONCEPTUAL  
RENDERINGS

SHEET NUMBER

41

CLUBHOUSE AMENITY BUILDING

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER  
210512

DRAWN BY

DATE  
01/14/2022



Architecture + Planning  
820 16th Street, Suite 500  
Denver, CO 80202  
303.825.6400  
ktgy.com



PREPARED FOR CENTURY  
COMMUNITIES



PROJECT

COMPARK  
VILLAGE  
SOUTH

TOWN OF PARKER, COUNTY  
OF DOUGLAS, COLORADO  
80134

SHEET TITLE  
CONCEPTUAL  
RENDERINGS

CLUBHOUSE AMENITY BUILDING

SHEET NUMBER  
42

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER  
210512

DRAWN BY

DATE  
01/14/2022



Architecture + Planning  
820 16th Street, Suite 500  
Denver, CO 80202  
303.825.6400  
ktgy.com

PREPARED FOR CENTURY  
COMMUNITIES



PROJECT

COMPARK  
VILLAGE  
SOUTH

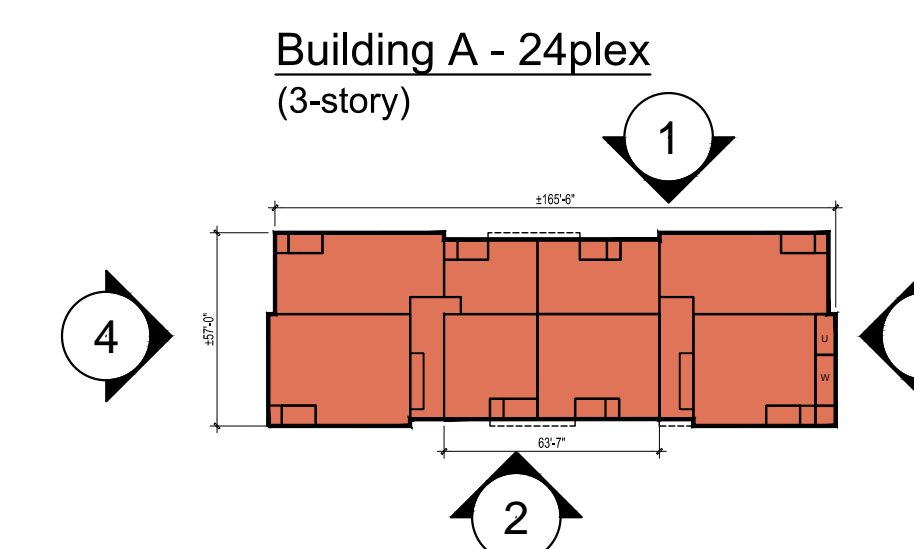
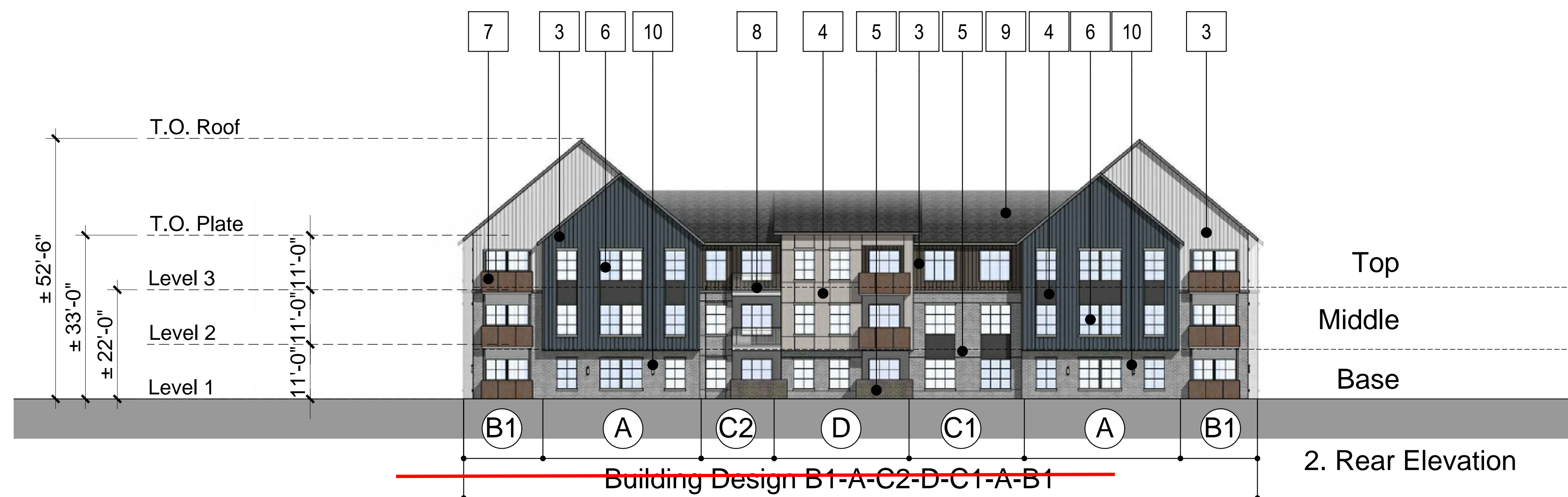
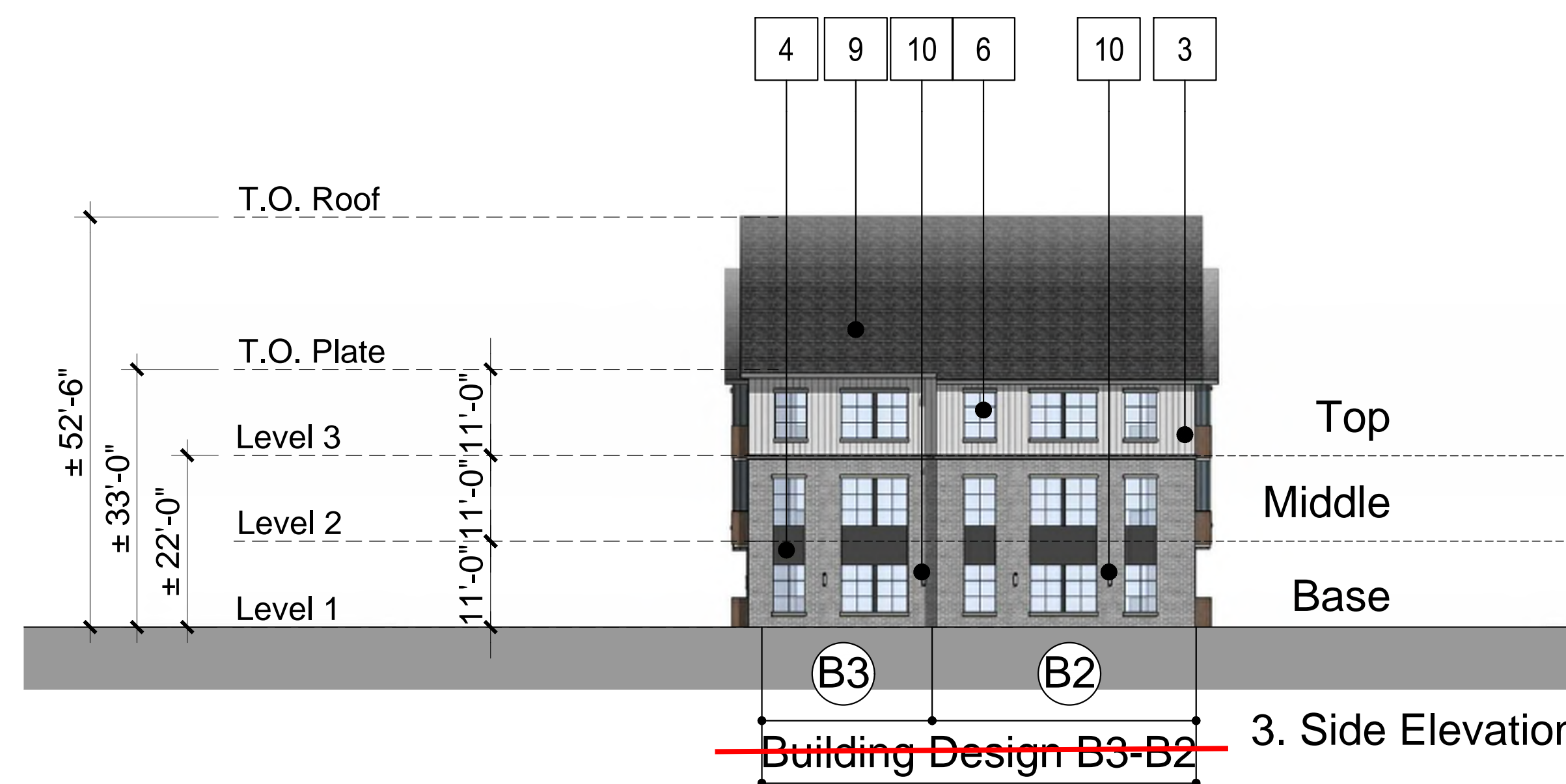
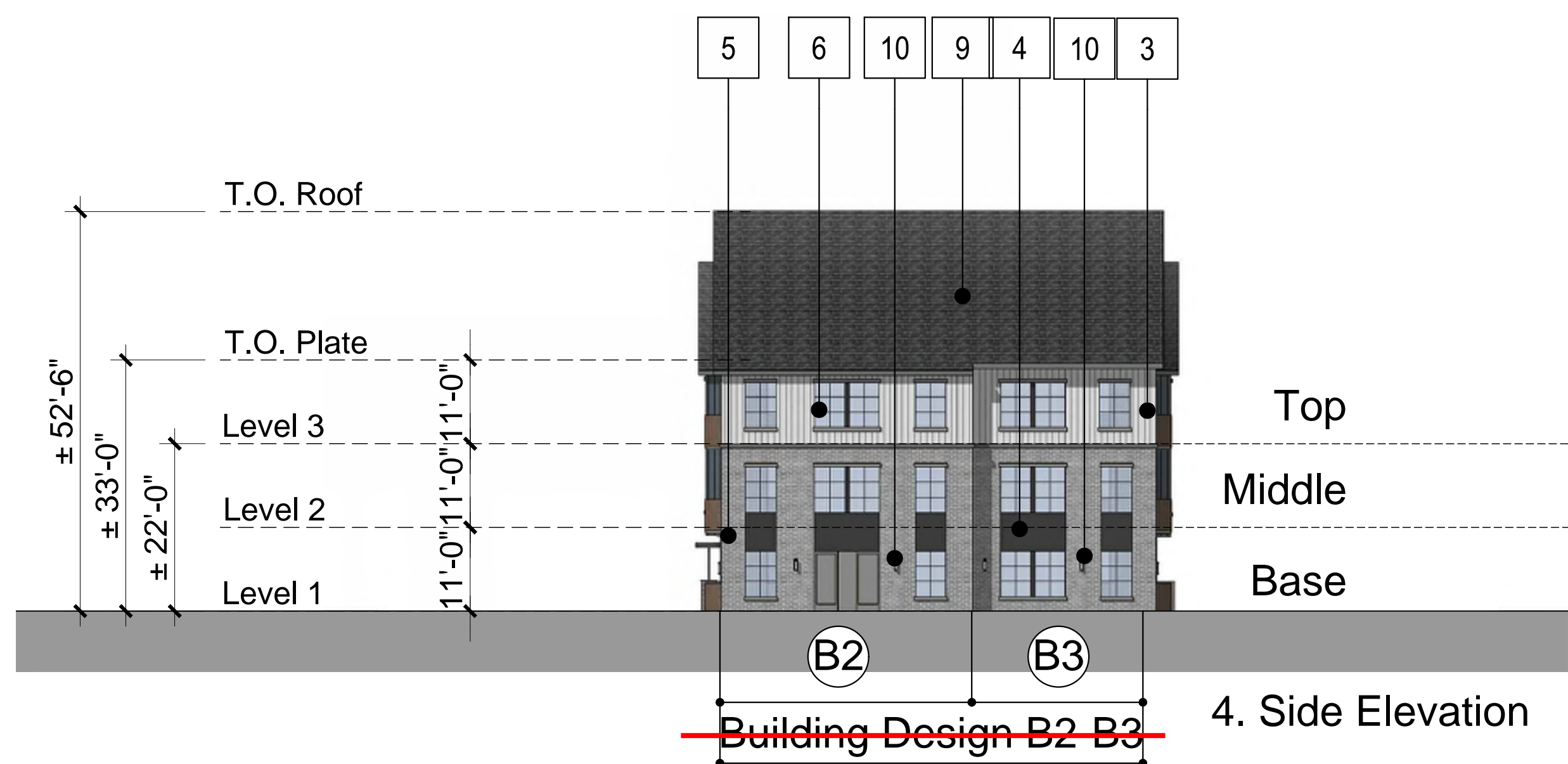
TOWN OF PARKER, COUNTY  
OF DOUGLAS, COLORADO  
80134

SHEET TITLE

BUILDING  
A  
ELEVATIONS

SHEET NUMBER

43

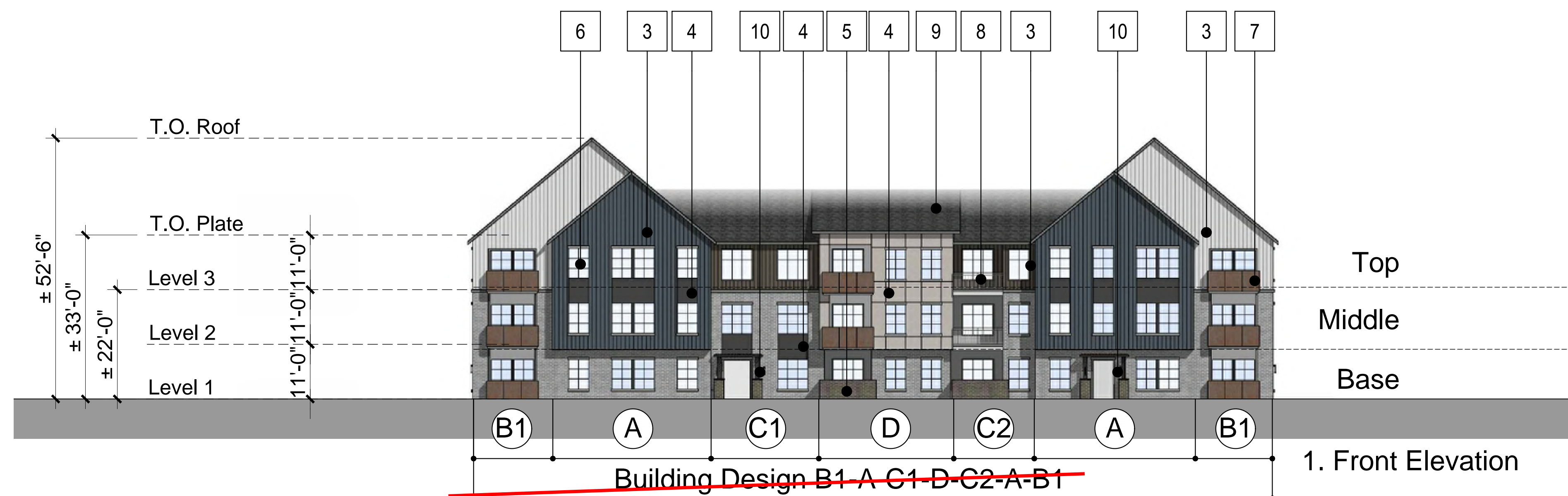
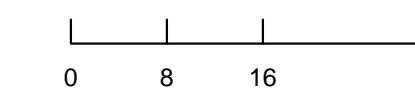


Material Legend:

1. Vertical Board and Batten
2. Cementitious Vertical Siding (Woodtone or similar)
3. Cementitious Vertical Siding (Painted)
4. Cementitious Panel
5. Brick
6. Vinyl Window
7. Metal Panel Railing
8. Metal Picket Railing
9. Shingle Roof
10. Light Fixture

Notes:

- See material boards for more information.
- See site plan for dimensions between entries.
- Ground floor transparency to be min. of 25% measured as a percentage of glazing at the base of the building.
- Upper floor transparency to be min. of 15% glazing, measured as a percentage of glazing on the middle of the building.
- Trim around windows shall be minimum of three and one-half (3 1/2) inches wide, and trim around doors shall be a minimum of (2) inches wide.



COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



KEY MAP - n.t.s  
**BUILDING A**

PROJECT NUMBER  
210512

DRAWN BY

DATE  
01/14/2022



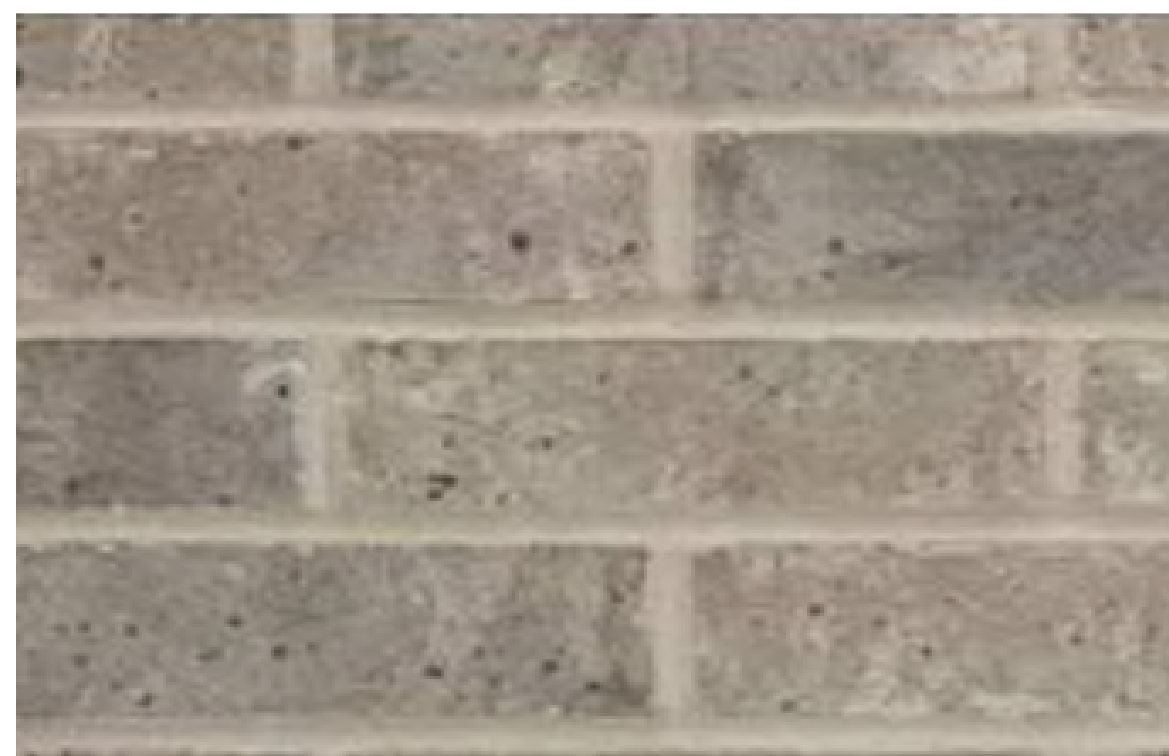
Architecture + Planning  
820 16th Street, Suite 500  
Denver, CO 80202  
303.825.6400  
ktgy.com



**FRONT ELEVATION**

Note: Trim around windows shall be a minimum of three and one-half (3-1/2) inches wide, and trim around doors shall be a minimum of two (2) inches wide.

**1** BRICK LIGHT BRICK



**3** VERTICAL SIDING (V-GROOVE)



**4** VERTICAL SIDING (V-GROOVE)



**5** VERTICAL SIDING (V-GROOVE)



**6** CEMENTITIOUS PANEL W/ REVEAL



**2** BRICK DARK BRICK



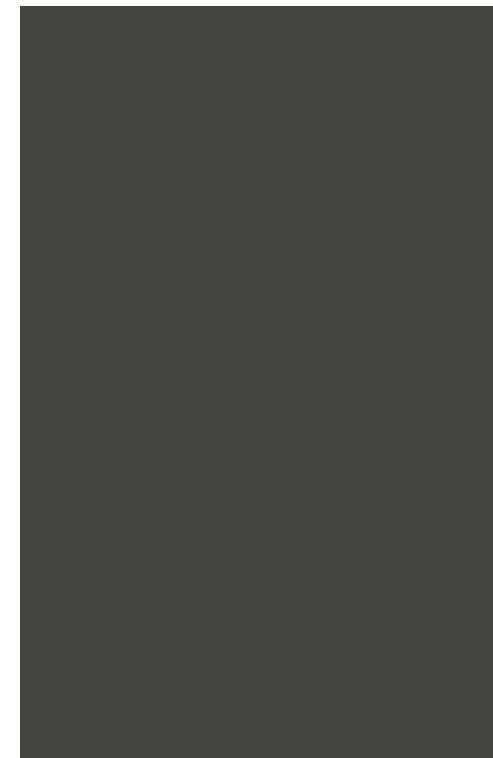
**7** METAL PANEL



**8** CEMENTITIOUS PANEL

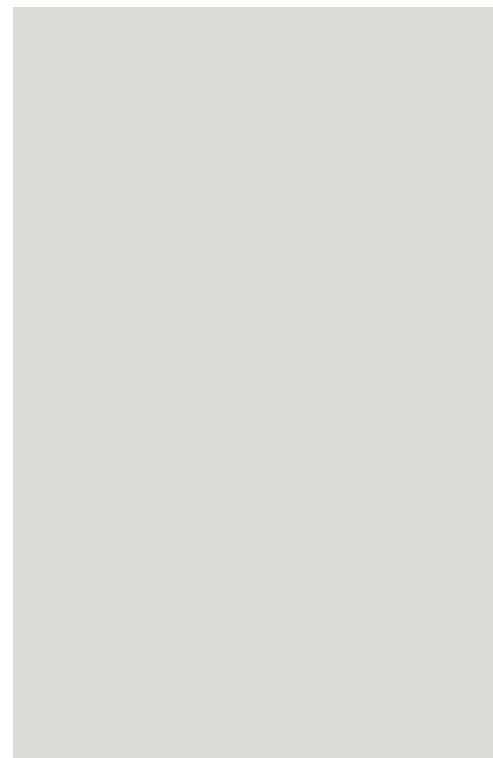


**9** CEMENTITIOUS PANEL



ADOBE (NON-WHITE)

**10** WINDOW FRAME



**11** Roof



PREPARED FOR CENTURY  
COMMUNITIES



PROJECT

**COMPARK  
VILLAGE  
SOUTH**

TOWN OF PARKER, COUNTY  
OF DOUGLAS, COLORADO  
80134

SHEET TITLE

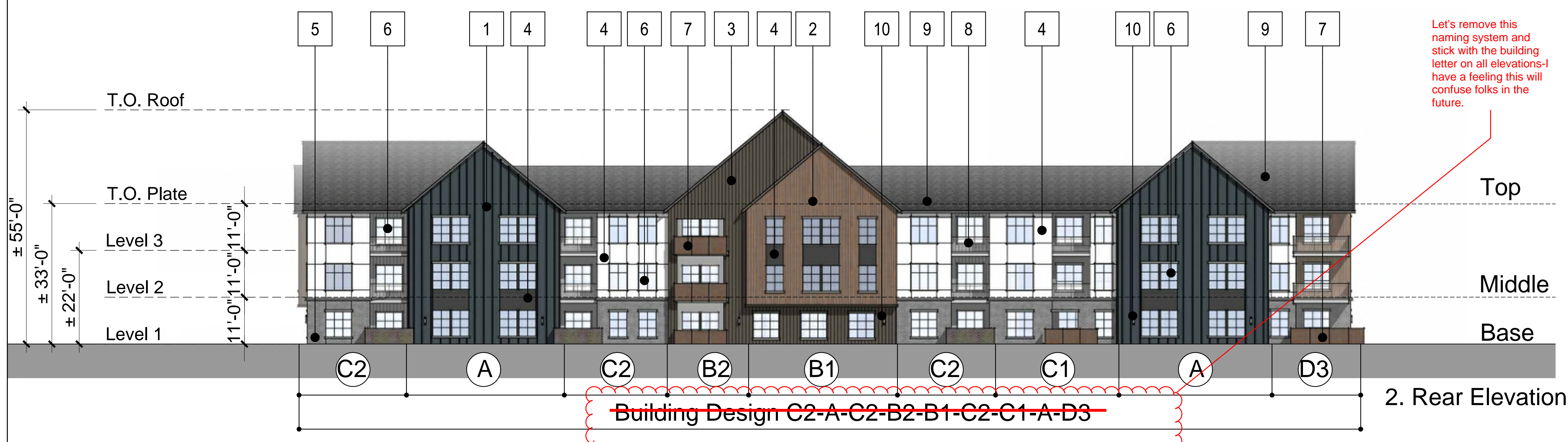
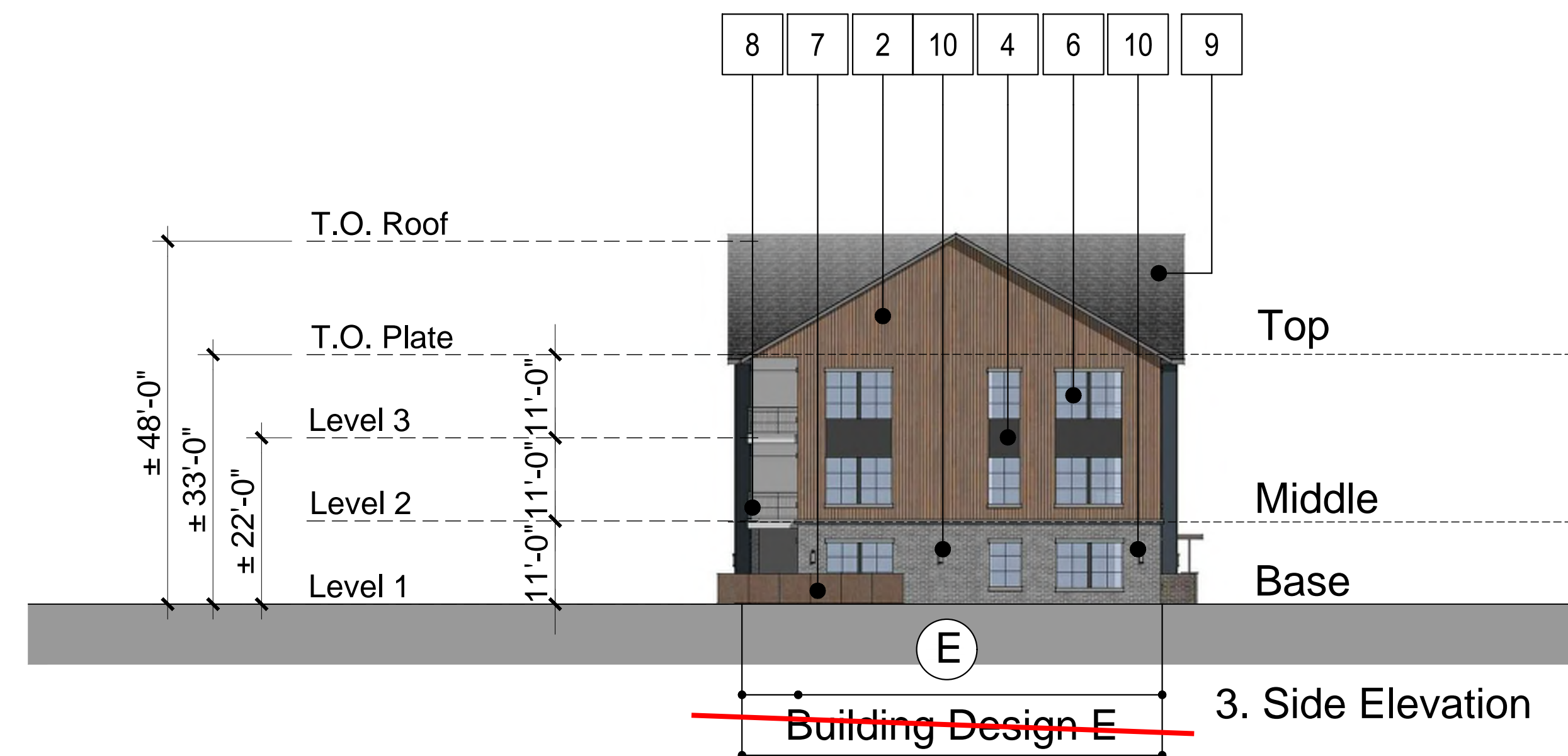
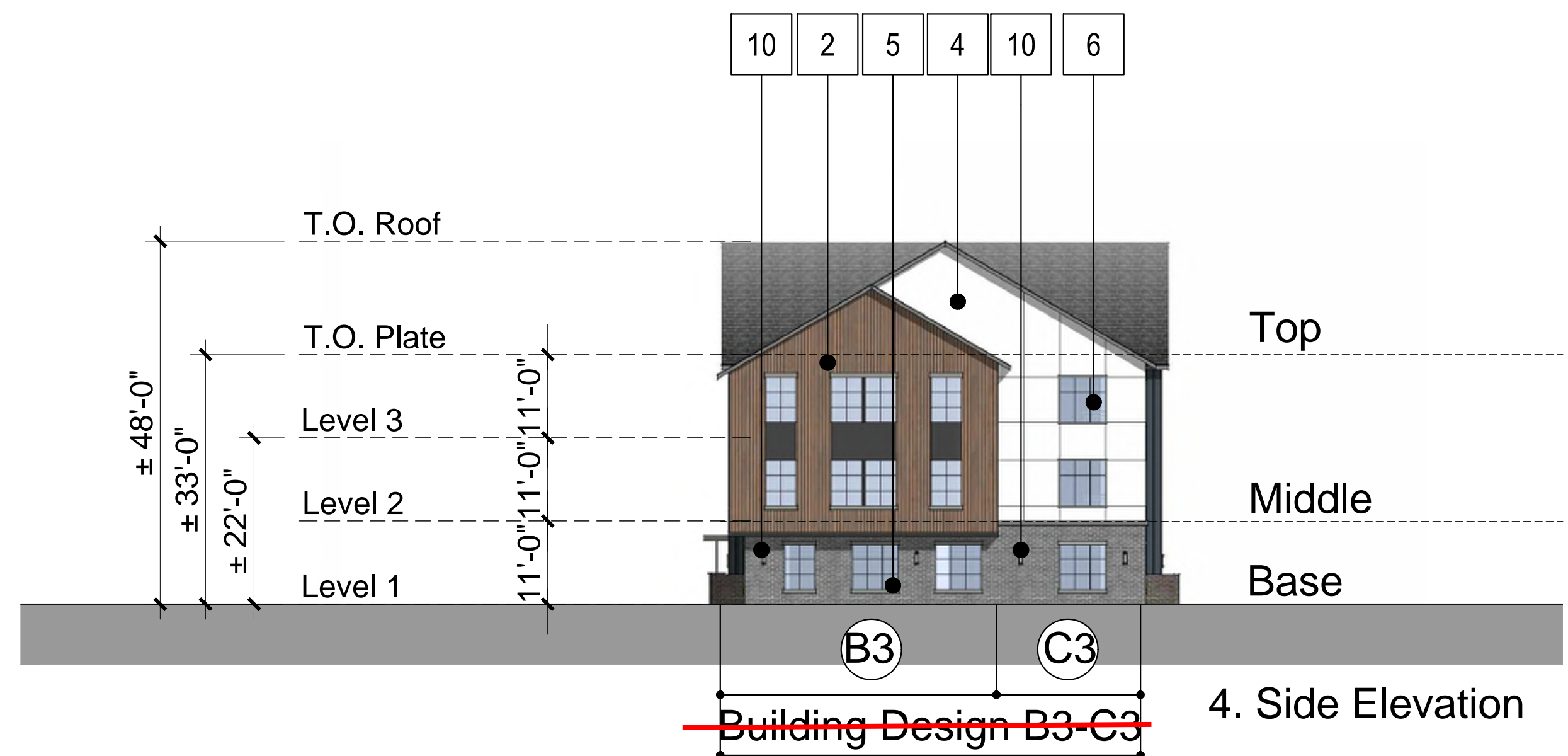
**BLDG A  
MATERIAL BOARD**

SHEET NUMBER

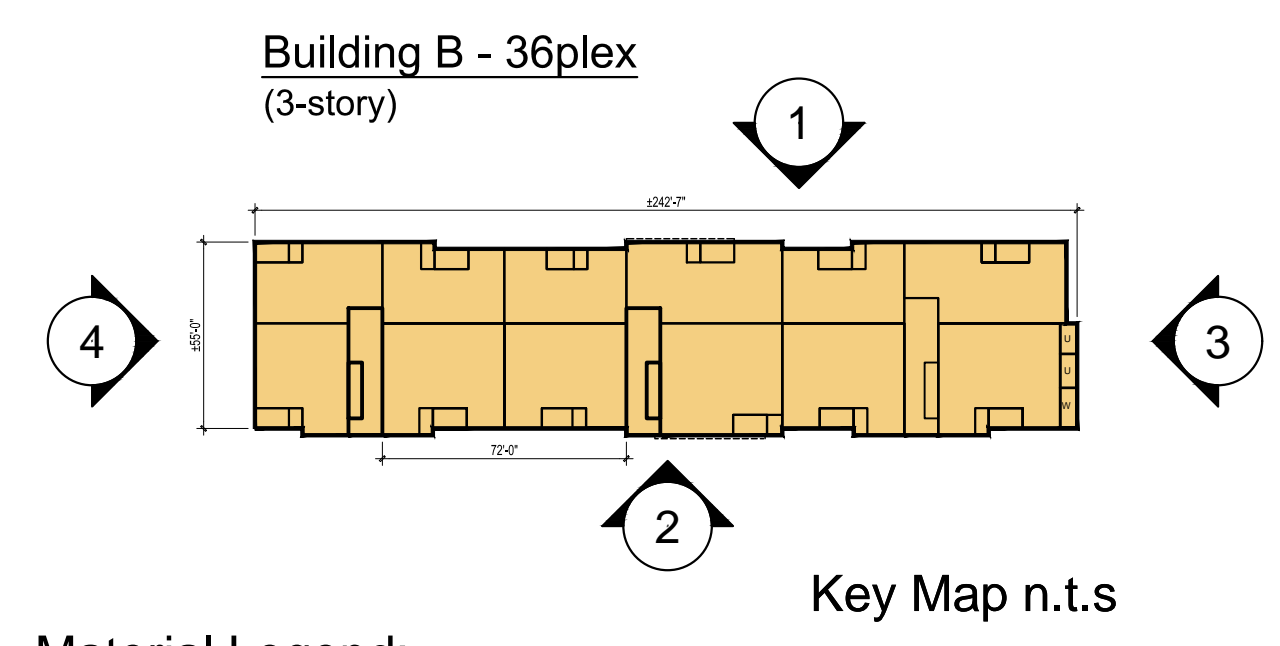
COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER  
210512  
  
DRAWN BY  
  
  
DATE  
01/14/2022



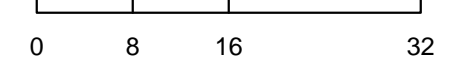
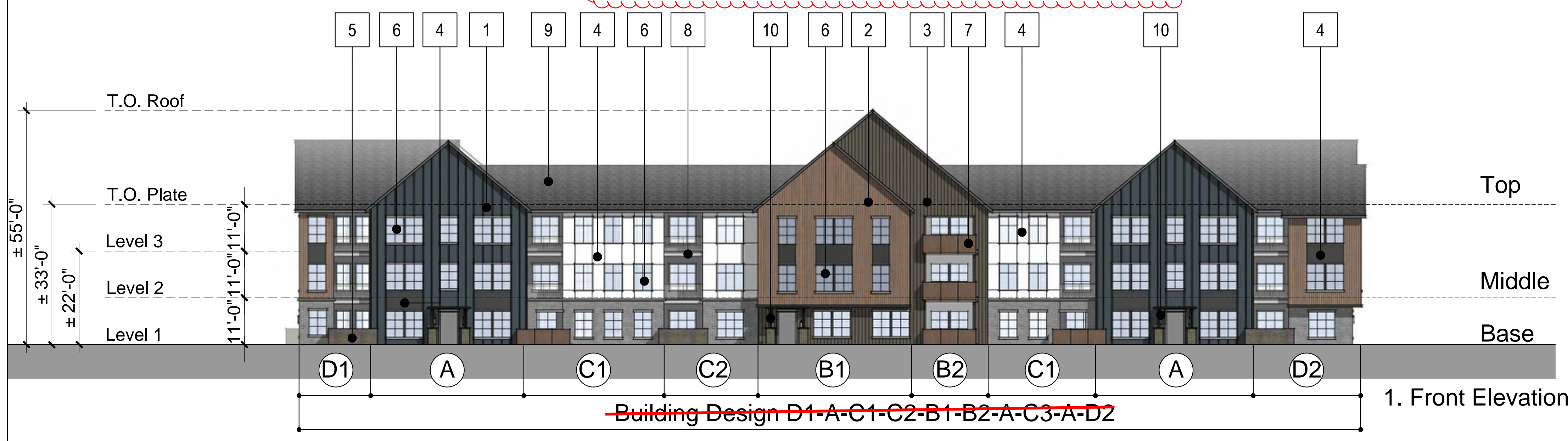
Let's remove this naming system and stick with the building letter on all elevations-I have a feeling this will confuse folks in the future.



Material Legend:

1. Vertical Board and Batten
2. Cementitious Vertical Siding (Woodtone or similar)
3. Cementitious Vertical Siding (Painted)
4. Cementitious Panel
5. Brick
6. Vinyl Window
7. Metal Panel Railing
8. Metal Picket Railing
9. Shingle Roof
10. Light Fixture

- Notes:
- See material boards for more information.
  - See site plan for dimensions between entries.
  - Ground floor transparency to be min. of 25% measured as a percentage of glazing at the base of the building.
  - Upper floor transparency to be min. of 15% glazing, measured as a percentage of glazing on the middle of the building.
  - Trim around windows shall be minimum of three and one-half (3 1/2) inches wide, and trim around doors shall be a minimum of (2) inches wide.



PREPARED FOR CENTURY COMMUNITIES



PROJECT  
**COMPARK VILLAGE SOUTH**

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE  
**BUILDING B ELEVATIONS**

SHEET NUMBER  
45

COMPARK VILLAGE SOUTH

F1 AMD 2 - MULTIFAMILY

SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER

210512

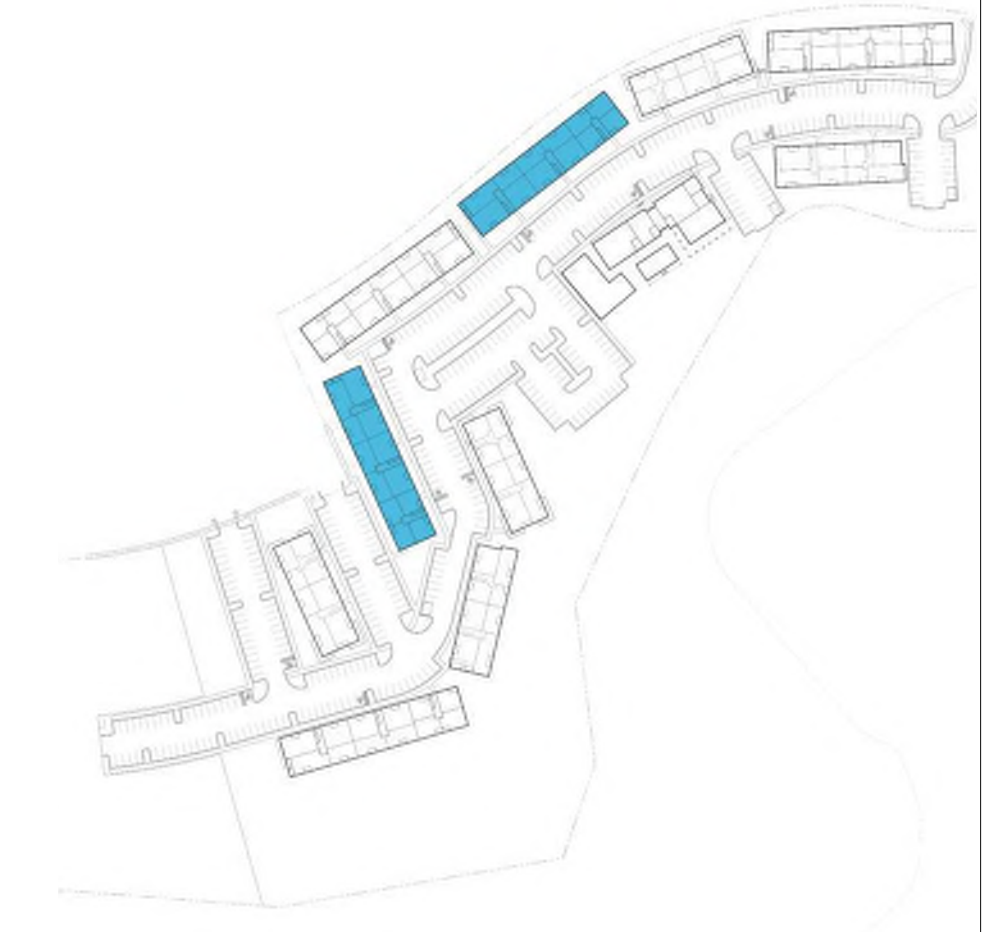
DRAWN BY

DATE

01/14/2022



Architecture + Planning  
820 16th Street, Suite 500  
Denver, CO 80202  
303.825.6400  
ktgy.com



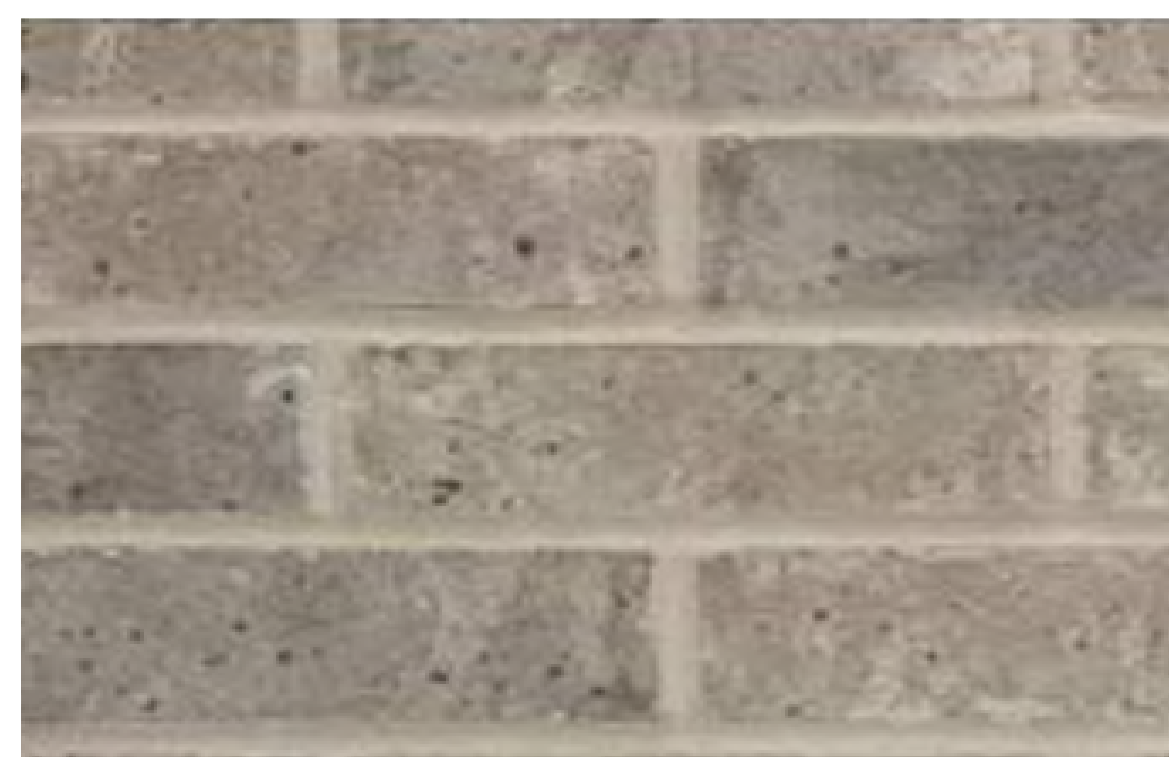
KEY MAP - n.t.s  
**BUILDING B**



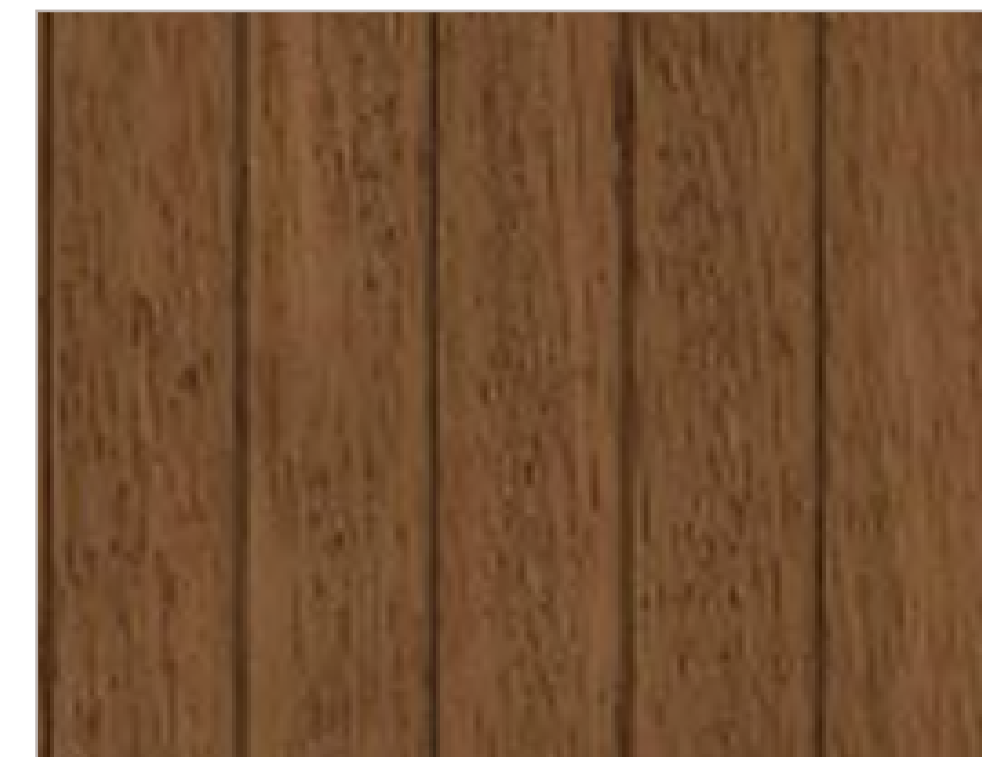
**FRONT ELEVATION**

Note: Trim around windows shall be a minimum of three and one-half (3-1/2) inches wide, and trim around doors shall be a minimum of two (2) inches wide.

**1** BRICK LIGHT BRICK



**3** VERTICAL SIDING (WOOD TONE)



**4** VERTICAL SIDING (V-GROOVE)



**5** BOARD AND BATTEN



**6** CEMENTITIOUS PANEL W/ REVEAL



**2** BRICK DARK BRICK



**7** METAL PANEL

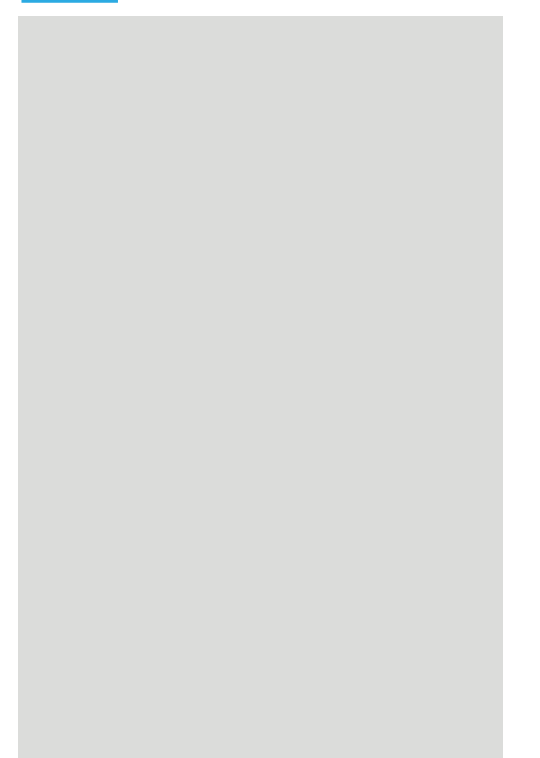


**8** CEMENTITIOUS PANEL **9** CEMENTITIOUS PANEL



ADOBE (NON-WHITE)

**10** WINDOW FRAME



**11** Roof



PREPARED FOR CENTURY COMMUNITIES



PROJECT

**COMPARK VILLAGE SOUTH**

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE

**BLDG B MATERIAL BOARD**

SHEET NUMBER

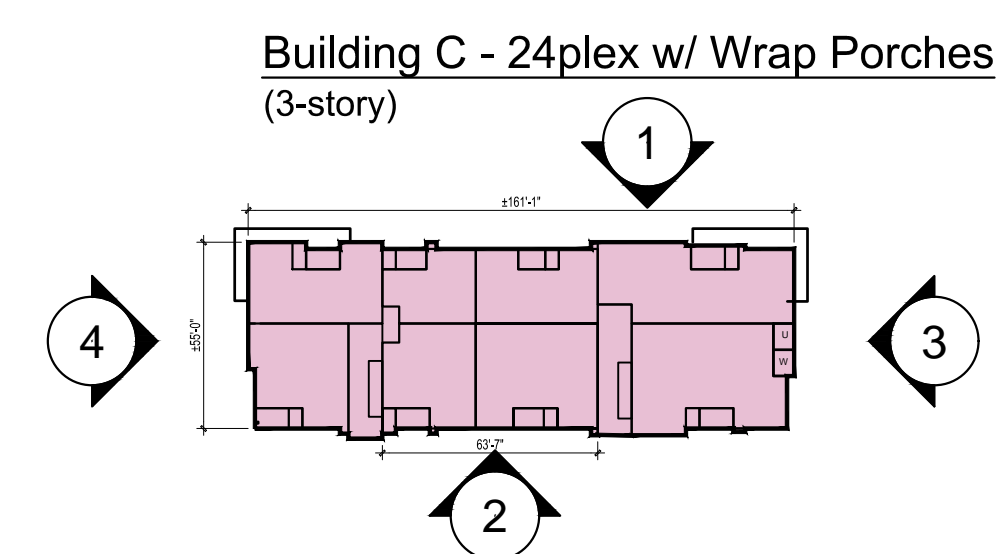
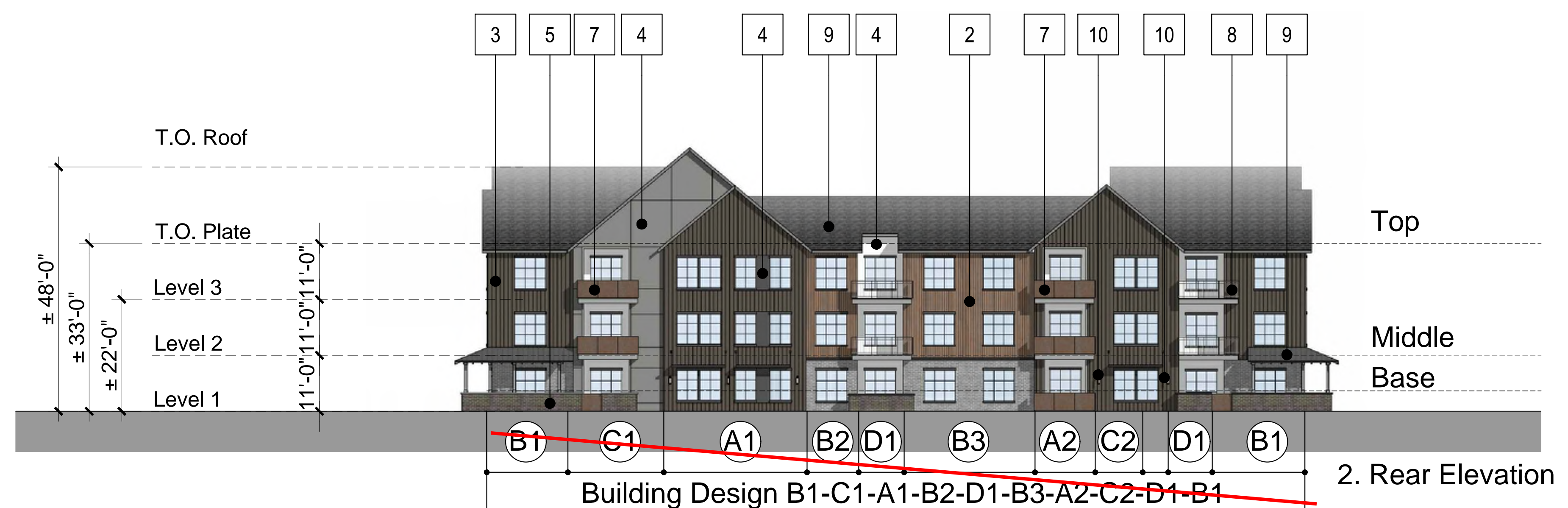
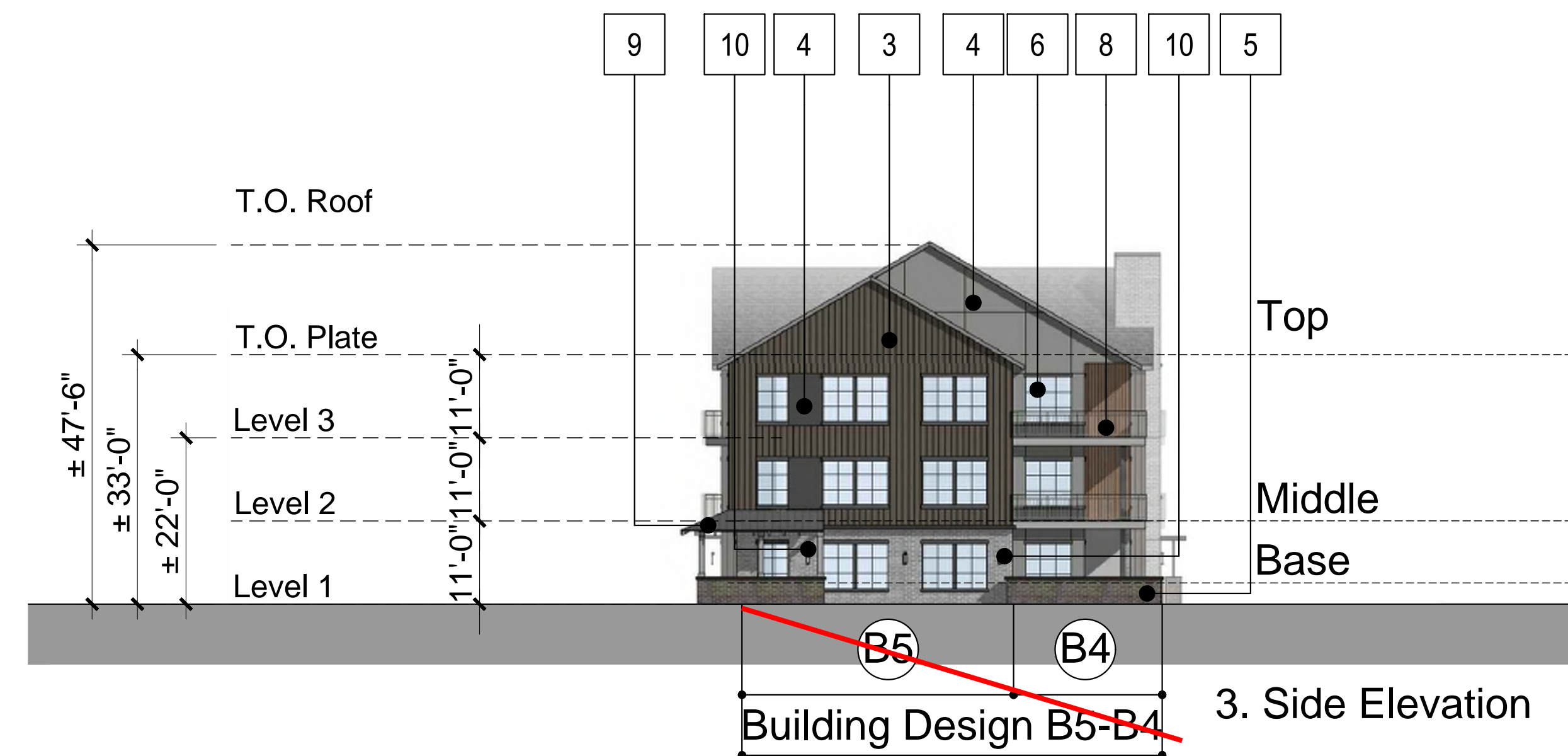
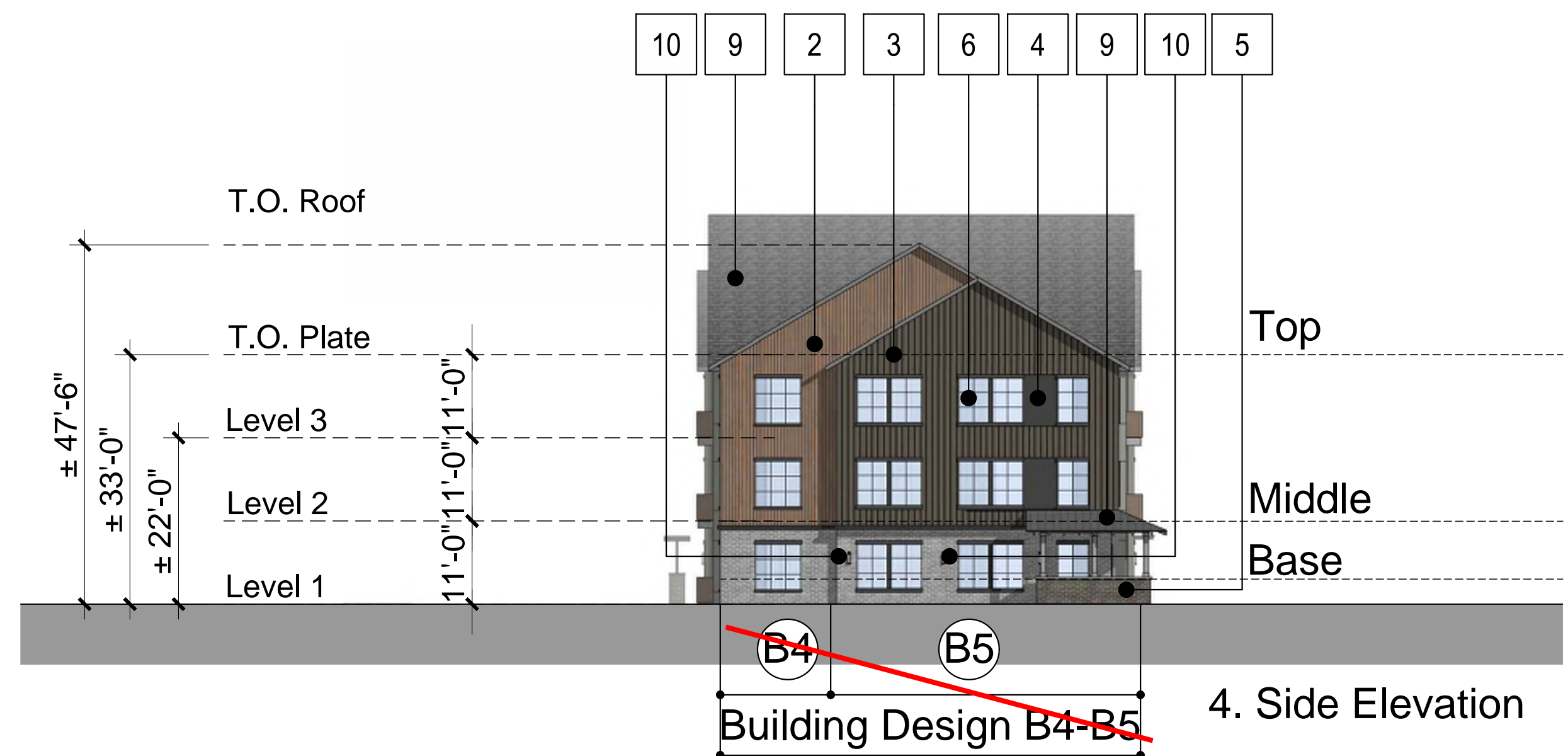
COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER  
210512  
DRAWN BY  
DATE  
01/14/2022

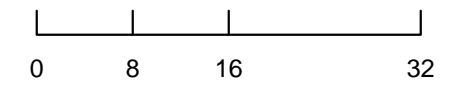
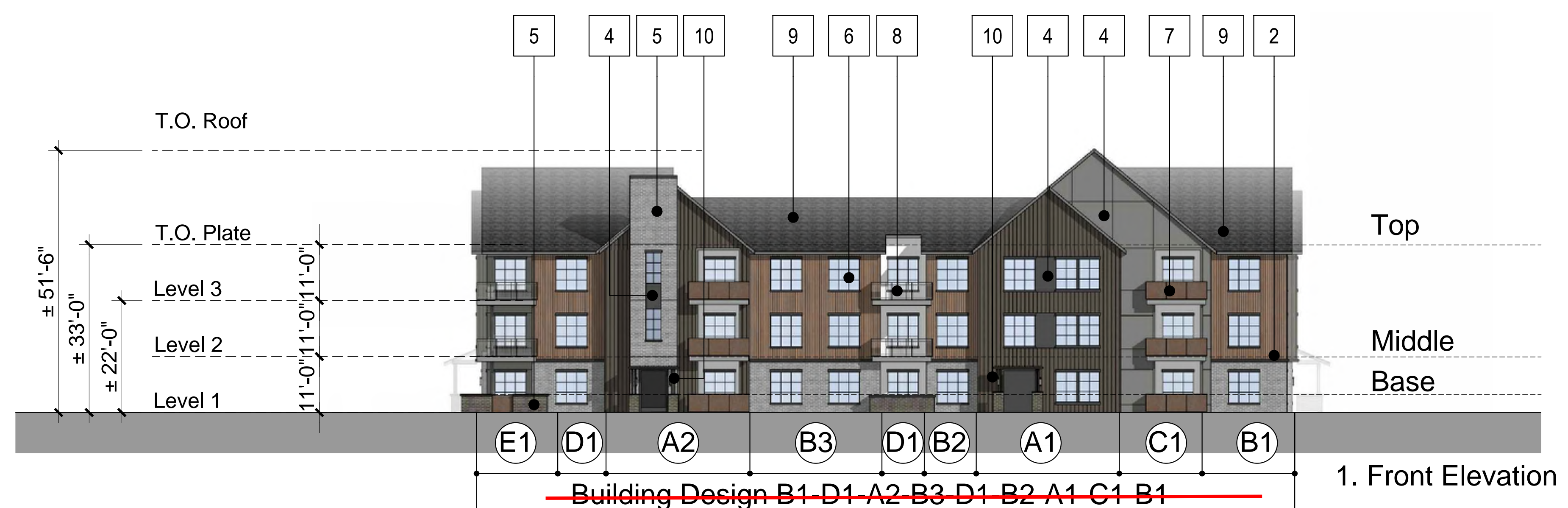


Architecture + Planning  
820 16th Street, Suite 500  
Denver, CO 80202  
303.825.6400  
ktgy.com



- Material Legend:
1. Vertical Board and Batten
  2. Cementitious Vertical Siding (Woodtone or similar)
  3. Cementitious Vertical Siding (Painted)
  4. Cementitious Panel
  5. Brick
  6. Vinyl Window
  7. Metal Panel Railing
  8. Metal Picket Railing
  9. Shingle Roof
  10. Light Fixture

Notes:  
-See material boards for more information.  
-See site plan for dimensions between entries.  
-Ground floor transparency to be min. of 25% measured as a percentage of glazing at the base of the building.  
-Upper floor transparency to be min. of 15% glazing, measured as a percentage of glazing on the middle of the building.  
-Trim around windows shall be minimum of three and one-half (3 1/2) inches wide, and trim around doors shall be a minimum of (2) inches wide.



PREPARED FOR CENTURY COMMUNITIES



PROJECT  
**COMPARK VILLAGE SOUTH**

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE  
**BUILDING C ELEVATIONS**

SHEET NUMBER  
47

COMPARK VILLAGE SOUTH

F1 AMD 2 - MULTIFAMILY

SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



KEY MAP - n.t.s  
**BUILDING C**

PROJECT NUMBER  
210512

DRAWN BY

DATE  
01/14/2022



**Architecture + Planning**  
820 16th Street, Suite 500  
Denver, CO 80202  
303.825.6400  
ktgy.com

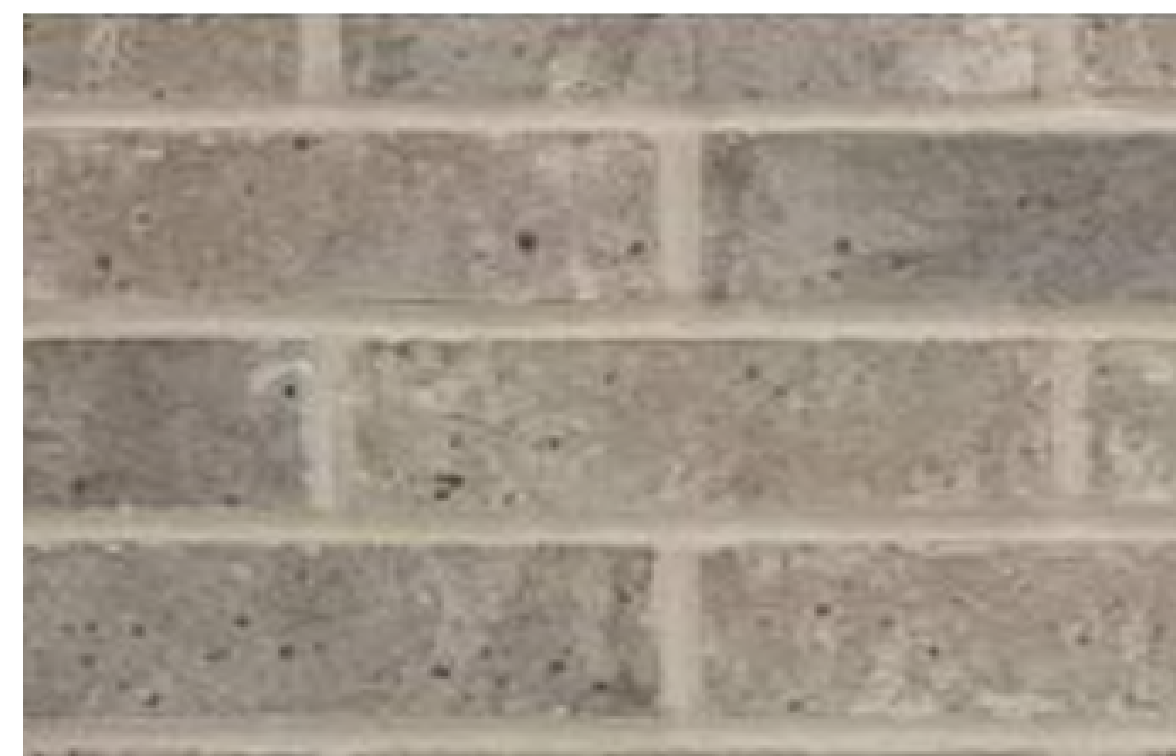


Call out porch material

**FRONT ELEVATION**

Note: Trim around windows shall be a minimum of three and one-half (3-1/2) inches wide, and trim around doors shall be a minimum of two (2) inches wide.

**1** BRICK LIGHT BRICK



**3** VERTICAL SIDING (WOOD TONE)



**4** VERTICAL SIDING (V-GROOVE)



**5** CEMENTITIOUS PANEL W/ REVEAL



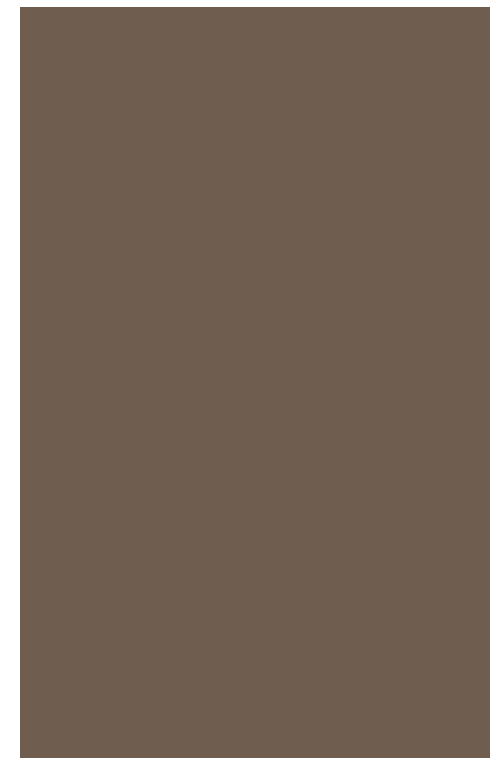
**6** CEMENTITIOUS PANEL W/ REVEAL



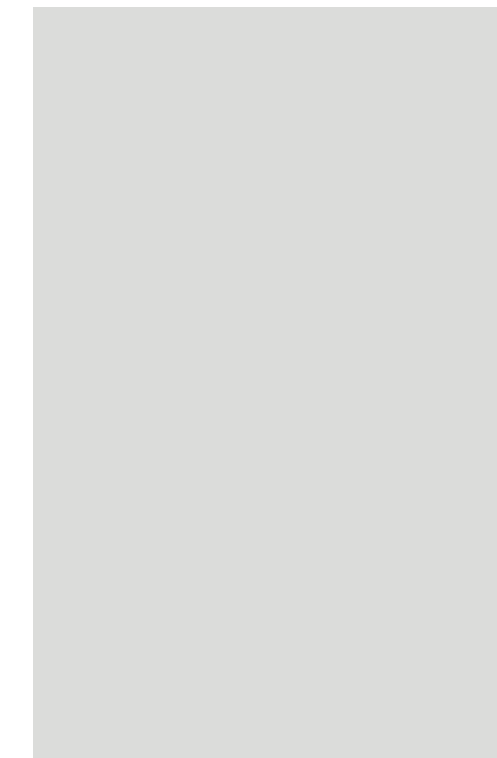
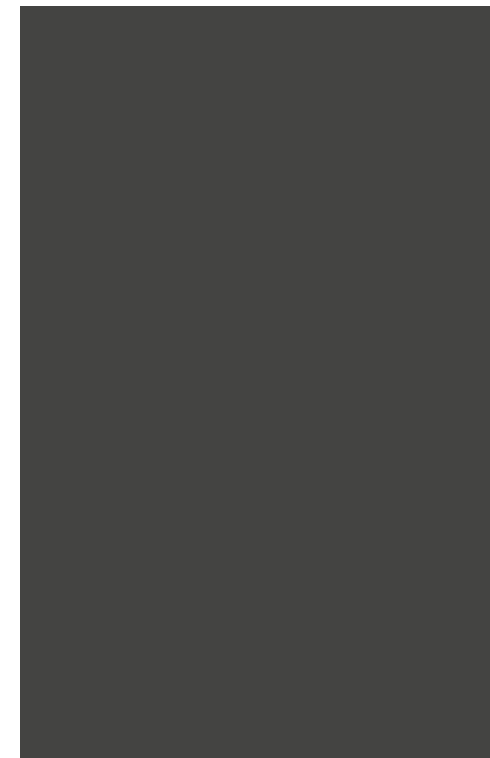
**2** BRICK DARK BRICK



**7** METAL PANEL



**9** CEMENTITIOUS PANEL **ADOBE (NON-WHITE)** **10** WINDOW FRAME



**11** Roof



PREPARED FOR CENTURY COMMUNITIES



PROJECT

**COMPARK VILLAGE SOUTH**

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO  
80134

SHEET TITLE

**BLDG C MATERIAL BOARD**

SHEET NUMBER

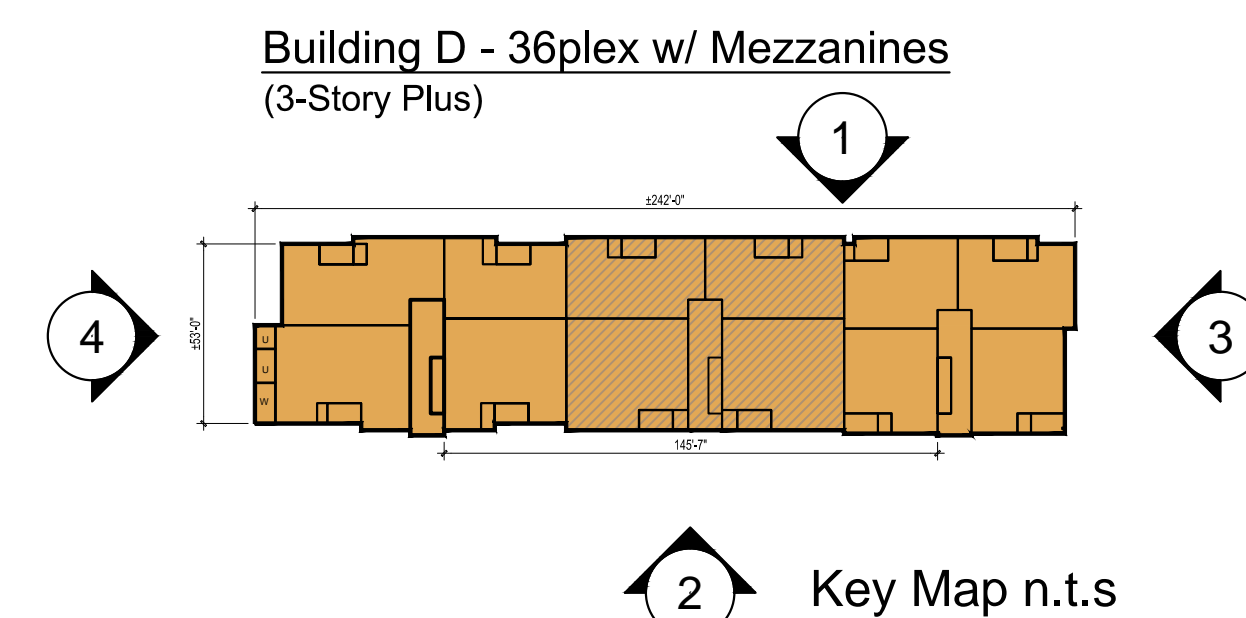
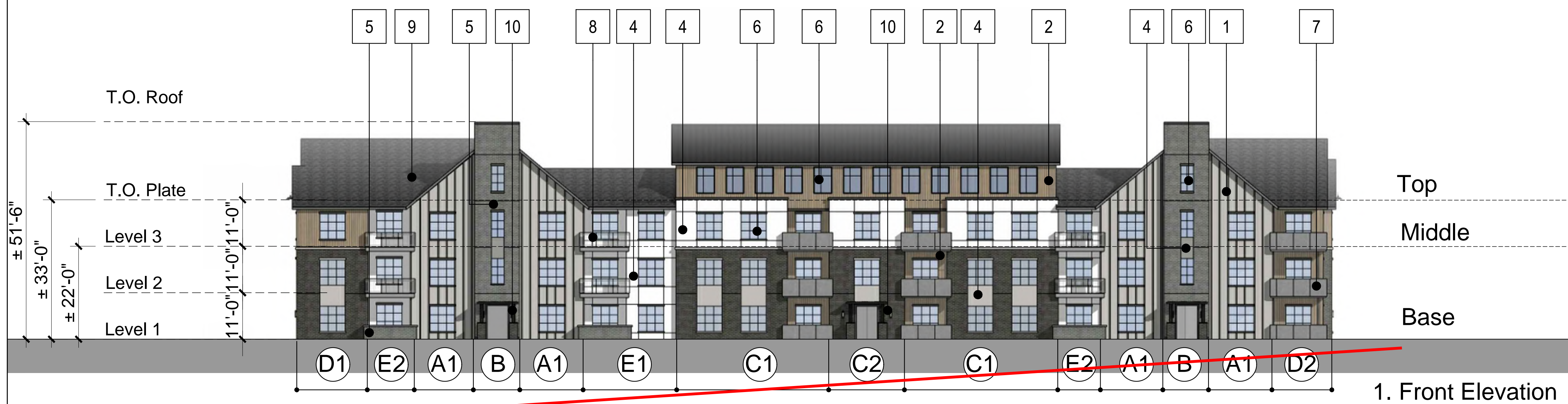
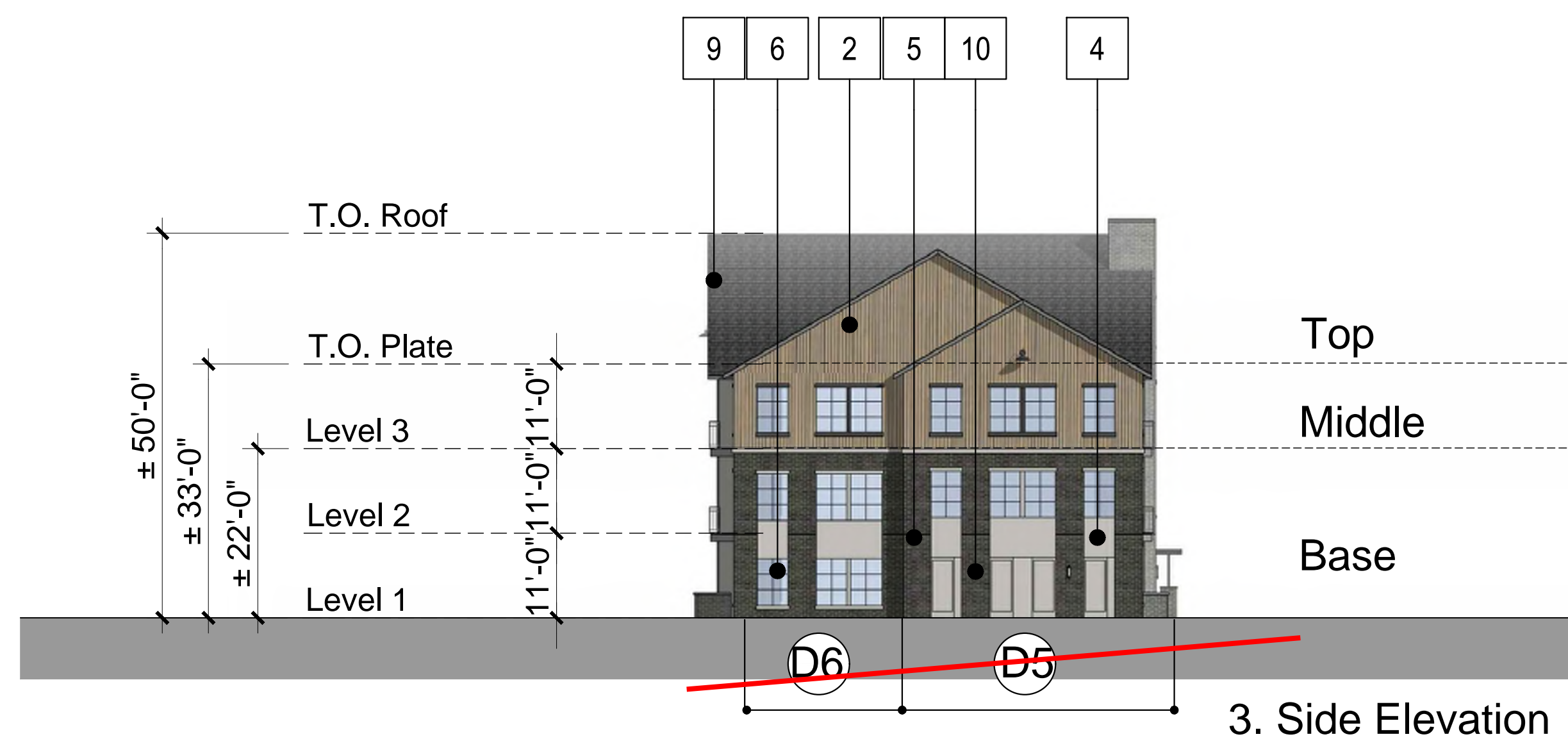
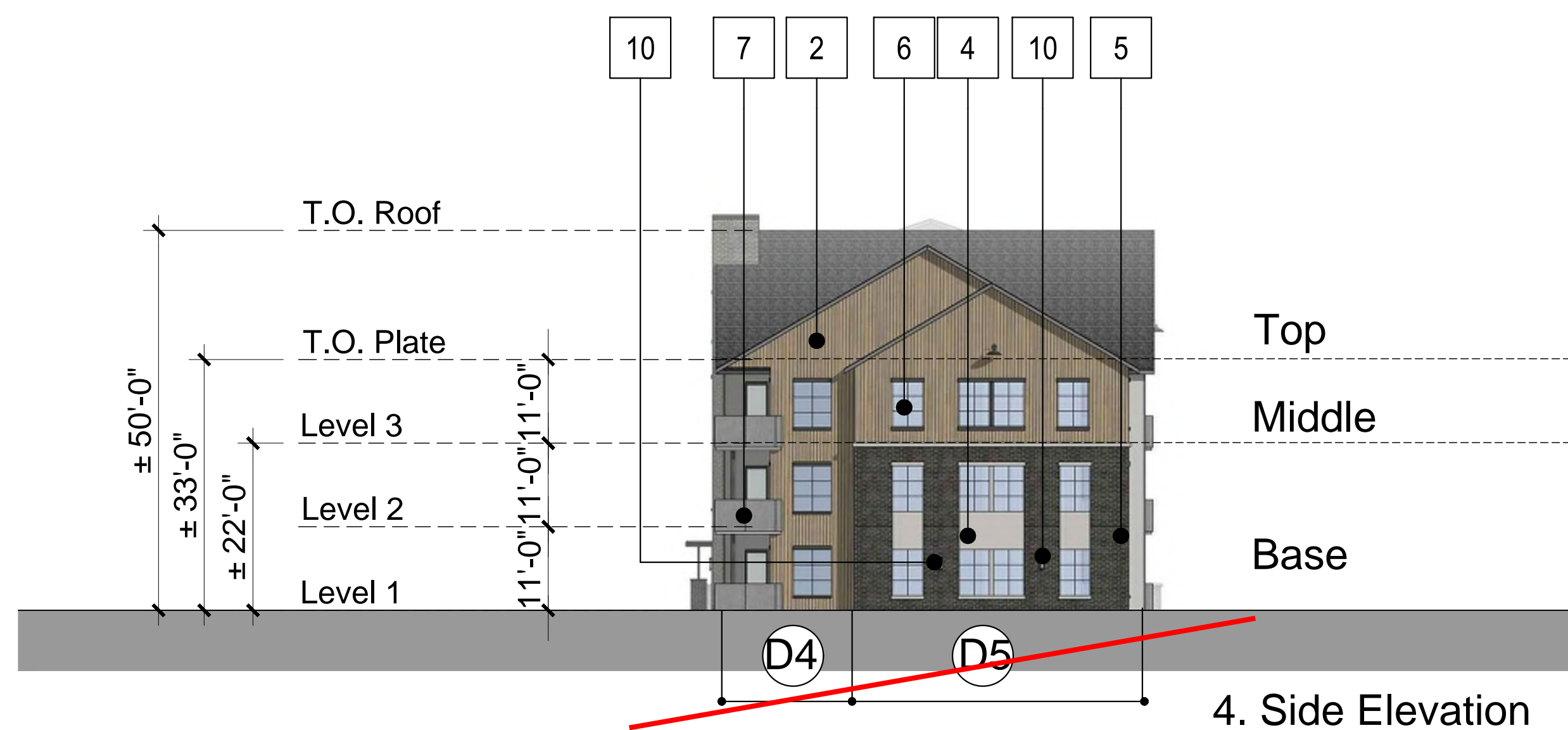
COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER  
210512  
DRAWN BY  
DATE  
01/14/2022



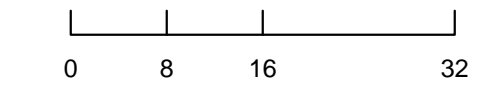
Architecture + Planning  
820 16th Street, Suite 500  
Denver, CO 80202  
303.825.6400  
ktgy.com



Material Legend:

1. Vertical Board and Batten
2. Cementitious Vertical Siding (Woodtone or similar)
3. Cementitious Vertical Siding (Painted)
4. Cementitious Panel
5. Brick
6. Vinyl Window
7. Metal Panel Railing
8. Metal Picket Railing
9. Shingle Roof
10. Light Fixture

- Notes:
- See material boards for more information.
  - See site plan for dimensions between entries.
  - Ground floor transparency to be min. of 25% measured as a percentage of glazing at the base of the building.
  - Upper floor transparency to be min. of 15% glazing, measured as a percentage of glazing on the middle of the building.
  - Trim around windows shall be minimum of three and one-half (3 1/2) inches wide, and trim around doors shall be a minimum of (2) inches wide.



PREPARED FOR CENTURY COMMUNITIES



PROJECT

COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE

BUILDING D ELEVATIONS

SHEET NUMBER

49

COMPARK VILLAGE SOUTH  
 F1 AMD 2 - MULTIFAMILY  
 SITE PLAN  
 LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
 SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER

210512

DRAWN BY

DATE

01/14/2022



KEY MAP - n.t.s  
**BUILDING D**



Architecture + Planning  
 820 16th Street, Suite 500  
 Denver, CO 80202  
 303.825.6400  
 ktgy.com

PREPARED FOR CENTURY  
 COMMUNITIES



PROJECT

**COMPARK  
 VILLAGE  
 SOUTH**

TOWN OF PARKER, COUNTY  
 OF DOUGLAS, COLORADO  
 80134

SHEET TITLE

**BLDG D  
 MATERIAL BOARD**

SHEET NUMBER

50



**FRONT ELEVATION**

Note: Trim around windows shall be a minimum of three and one-half (3-1/2) inches wide, and trim around doors shall be a minimum of two (2) inches wide.

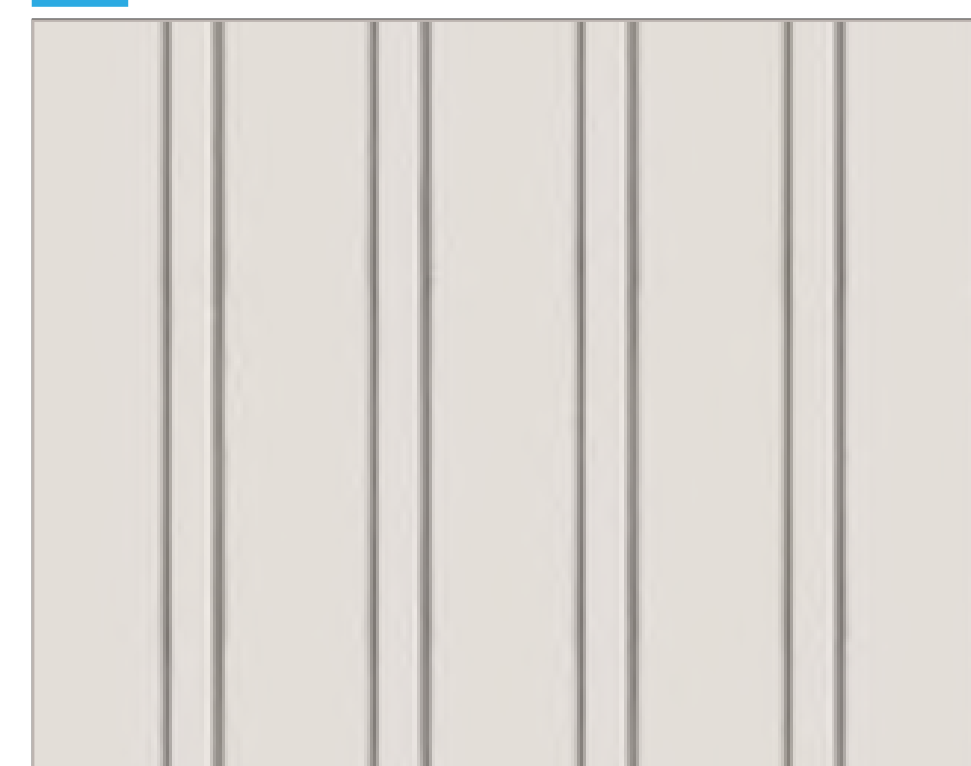
**1** BRICK LIGHT BRICK



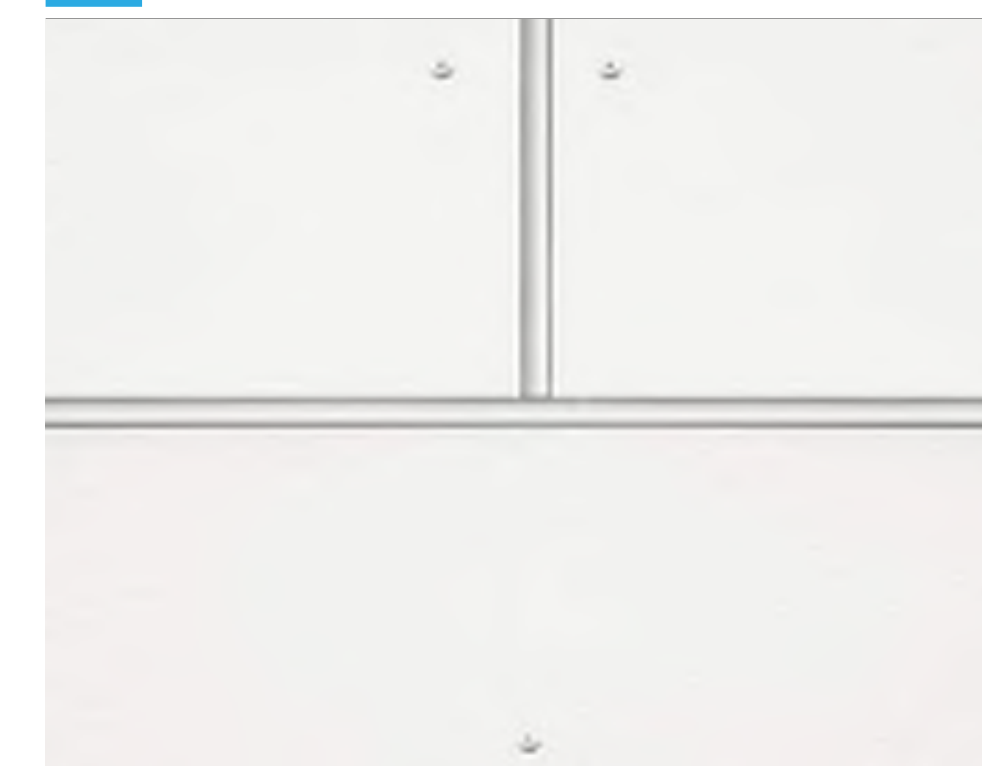
**3** VERTICAL SIDING (V-GROOVE)



**4** BOARD AND BATTEN



**5** CEMENTITIOUS PANEL W/ REVEAL



**2** BRICK DARK BRICK



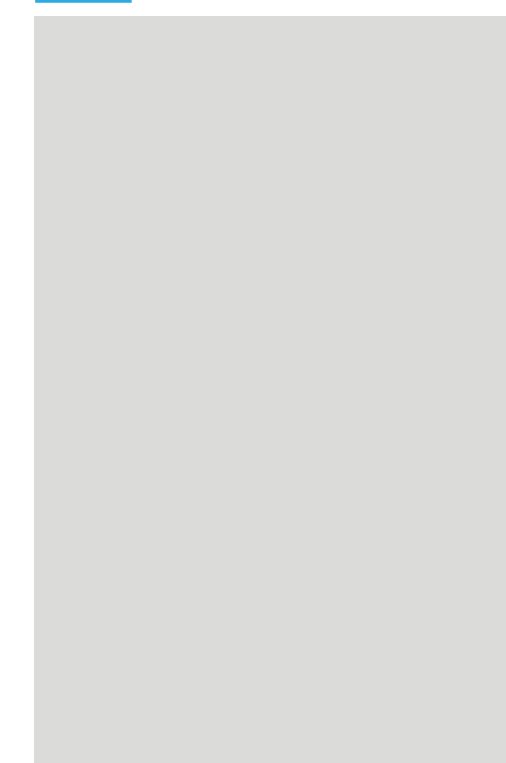
**6** METAL PANEL



**7** CEMENTITIOUS PANEL **8** WINDOW FRAME



ADOBE (NON-WHITE)



**9** Roof



COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

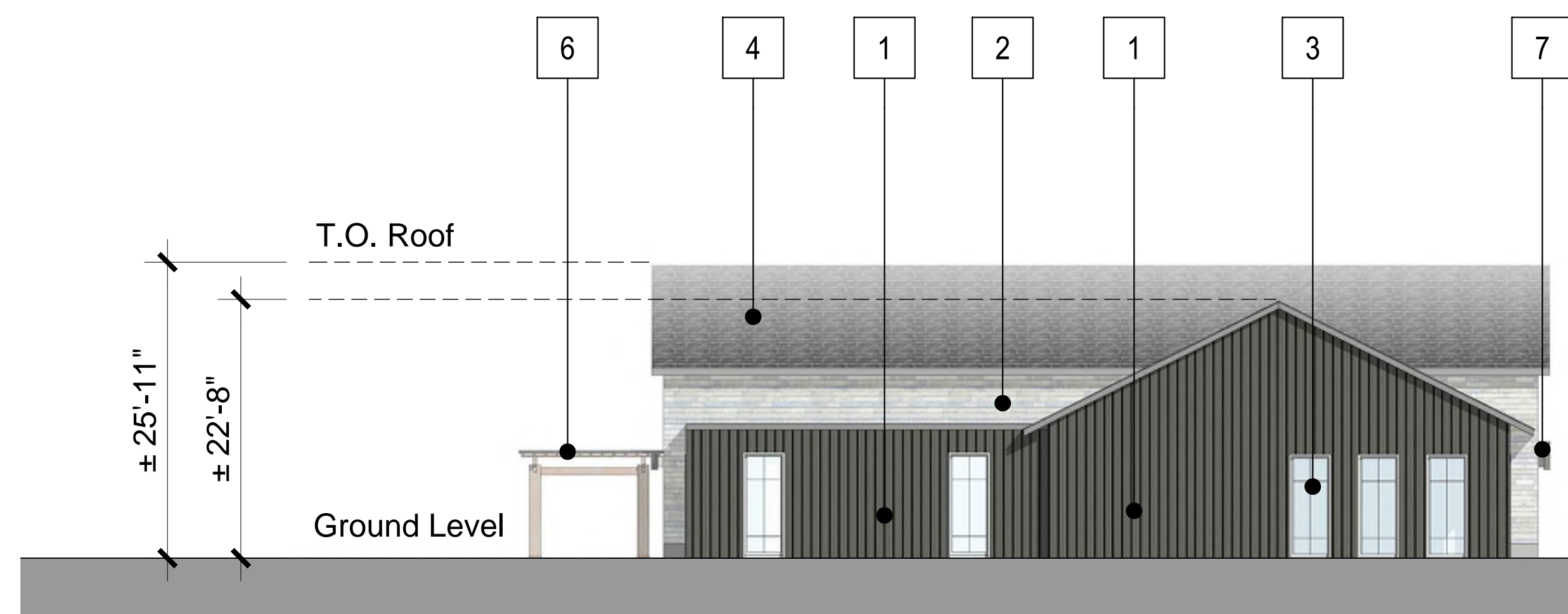
PROJECT NUMBER  
210512

DRAWN BY

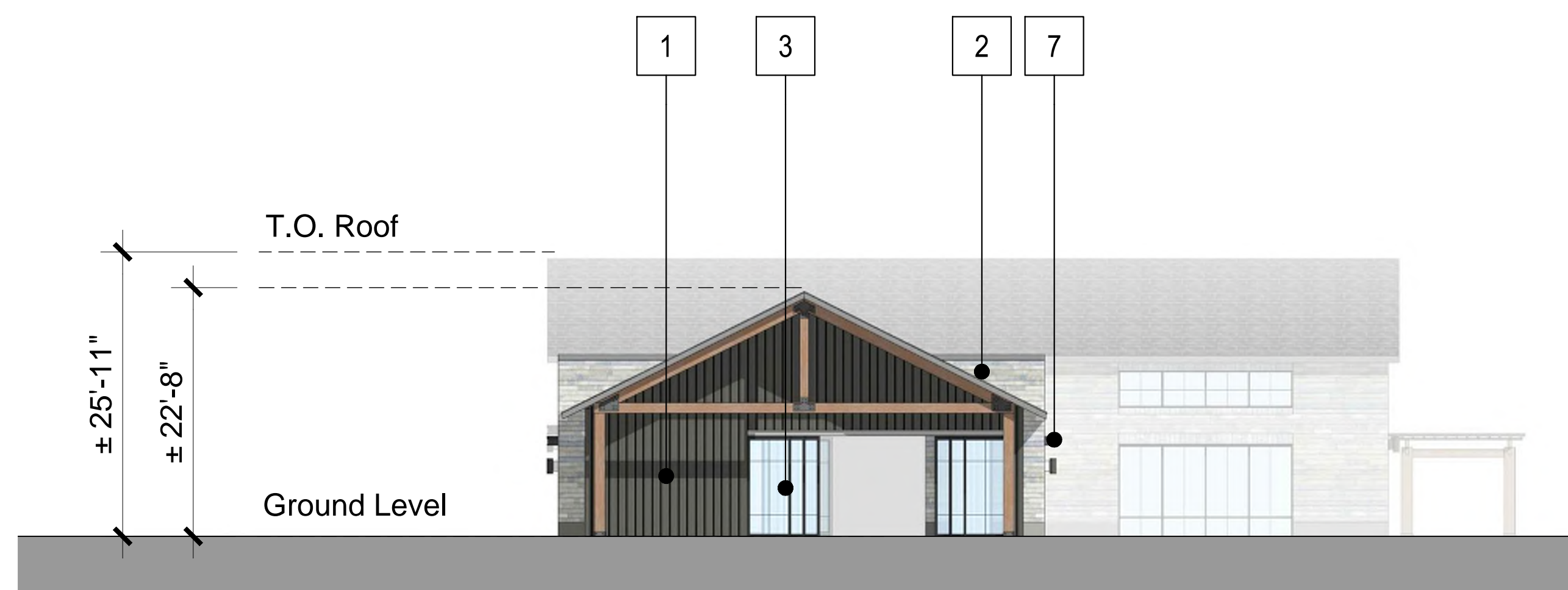
DATE  
01/14/2022



Architecture + Planning  
820 16th Street, Suite 500  
Denver, CO 80202  
303.825.6400  
ktgy.com



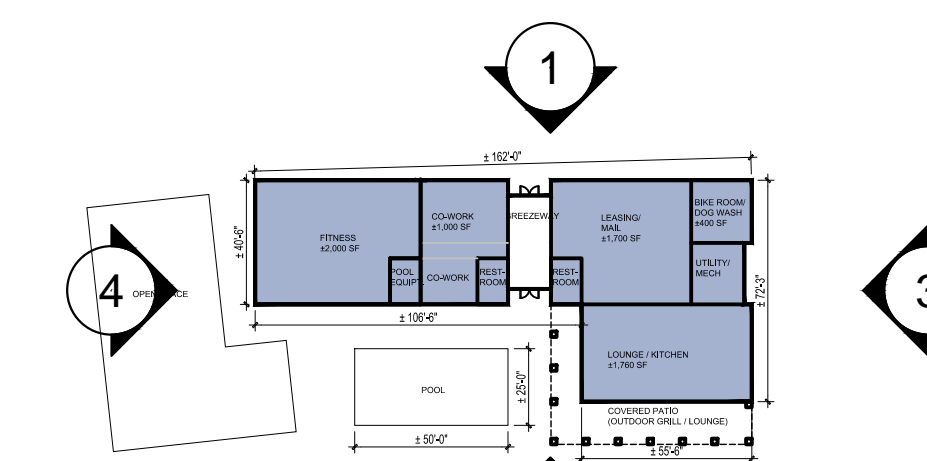
4. Side Elevation



3. Side Elevation



2. Rear Elevation



Key Map n.t.s

Clubhouse Material Legend:

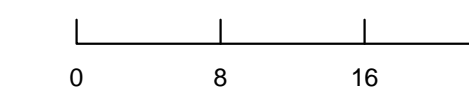
1. Vertical Board and Batten
2. Stone
3. Storefront Glazing
4. Shingle Roof
5. Metal Awning
6. Trellis
7. Light Fixture

Notes:

- See material boards for more information.
- See site plan for dimensions between entries.
- Ground floor transparency to be min. of 25% measured as a percentage of glazing at the base of the building.
- Trim around windows shall be minimum of three and one-half (3 1/2) inches wide, and trim around doors shall be a minimum of (2) inches wide.



1. Front Elevation



PREPARED FOR CENTURY  
COMMUNITIES



PROJECT

COMPARK  
VILLAGE  
SOUTH

TOWN OF PARKER, COUNTY  
OF DOUGLAS, COLORADO  
80134

SHEET TITLE

CLUBHOUSE  
BUILDING  
ELEVATIONS

SHEET NUMBER

51

COMPARK VILLAGE SOUTH  
 F1 AMD 2 - MULTIFAMILY  
 SITE PLAN  
 LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
 SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



KEY MAP - n.t.s  
**CLUBHOUSE**

PROJECT NUMBER  
 210512

DRAWN BY

DATE  
 01/14/2022



**Architecture + Planning**  
 820 16th Street, Suite 500  
 Denver, CO 80202  
 303.825.6400  
 ktgy.com

PREPARED FOR CENTURY  
 COMMUNITIES



PROJECT

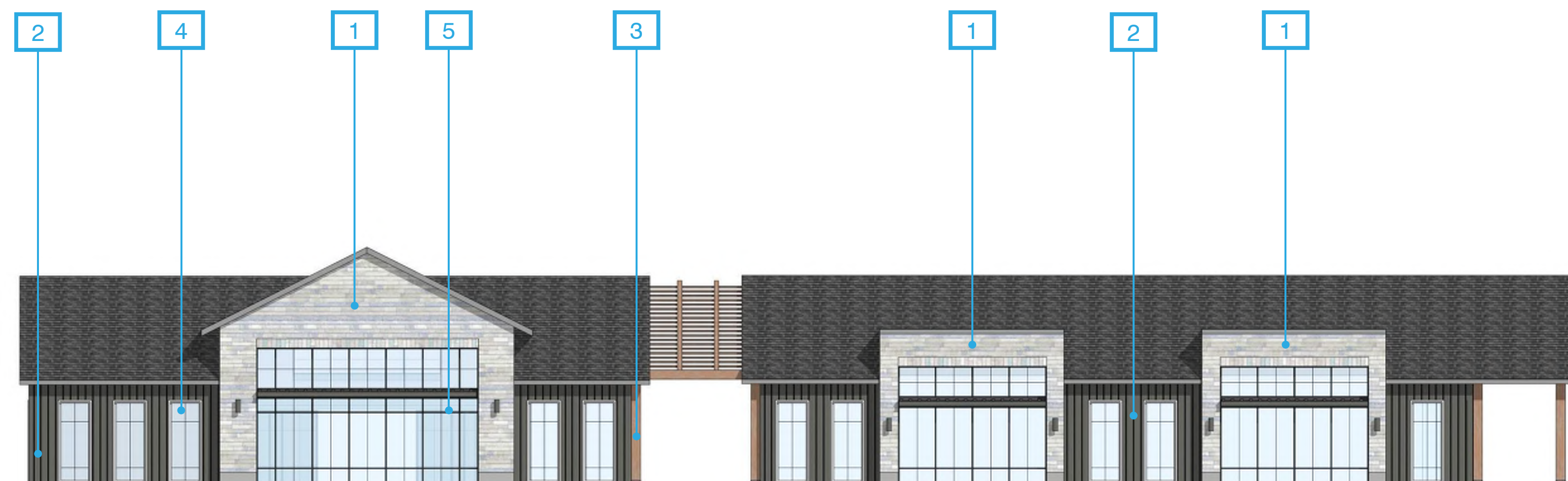
**COMPARK  
 VILLAGE  
 SOUTH**

TOWN OF PARKER, COUNTY  
 OF DOUGLAS, COLORADO  
 80134

SHEET TITLE

**CLUBHOUSE  
 MATERIAL BOARD**

SHEET NUMBER



**FRONT ELEVATION**

**1** STONE LIGHT STONE



**2** BOARD AND BATTEN



**3** COMPOSITE WOOD



ADOBE (NON-WHITE)

**4** WINDOW FRAME



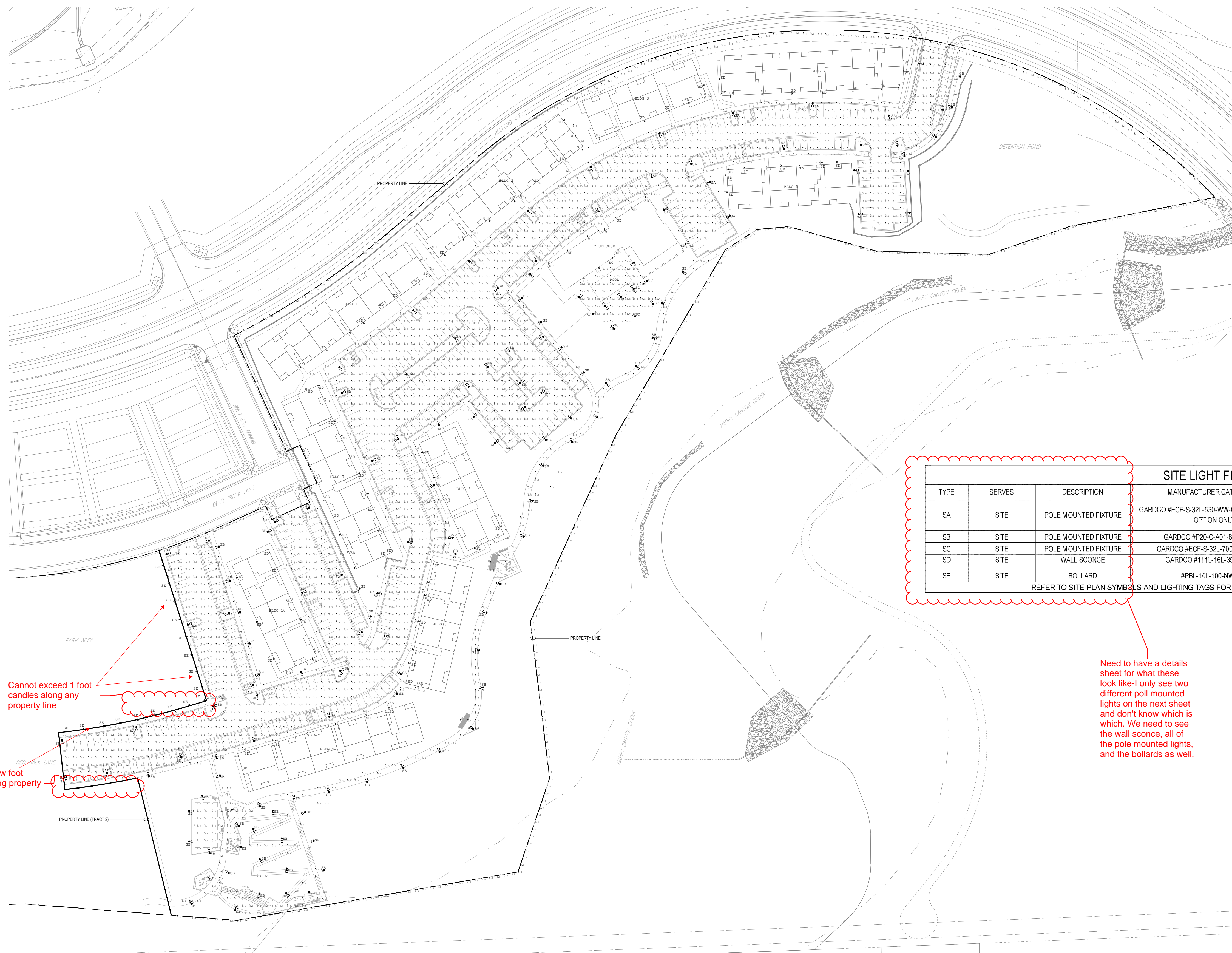
**5** WINDOW FRAME



COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER  
65120950  
  
DRAWN BY  
TV  
  
DATE  
01/12/2022



GENERAL NOTES:

1. ANY PROPOSED LIGHT FIXTURES INSTALLED ON PRIVATE PROPERTY, ADJACENT TO THE PUBLIC RIGHT-OF-WAY, SHALL BE ORIENTED IN SUCH A MANNER OR LIMITED IN LUMEN OUTPUT TO PREVENT GLARE PROBLEMS AND SHALL NOT EXCEED NATIONAL I.E.S. LIGHTING STANDARDS FOR DISABILITY GLARE.

SITE LIGHT FIXTURE SCHEDULE						
TYPE	SERVES	DESCRIPTION	MANUFACTURER CATALOG NO.	LAMPS	MOUNTING HEIGHTS	NOTES
SA	SITE	POLE MOUNTED FIXTURE	GARDCO #ECF-S-32L-530-WW-G2-#HIS (T2 AND T3 OPTION ONLY)	56W LED	20'	LIGHT DISTRIBUTION WAIVES BETWEEN LCL, RCL, T2, AND T3 OPTION PER SPECIFIED MANUFACTURER
SB	SITE	POLE MOUNTED FIXTURE	GARDCO #P20-C-A01-830-T2S-EHS	22W LED	10'	-
SC	SITE	POLE MOUNTED FIXTURE	GARDCO #ECF-S-32L-700-WW-G2-4-HIS	73W LED	10'	-
SD	SITE	WALL SCONCE	GARDCO #111L-16L-360-NW-G2-4	18W LED	10'	-
SE	SITE	BOLLARD	#PBL-14L-100-NW-G2-3	6.1W LED	5'	-

REFER TO SITE PLAN SYMBOLS AND LIGHTING TAGS FOR LIGHT FIXTURE MOUNTING AND NUMBER OF FIXTURES PER POLE

CALCULATION SUMMARY						
LABEL	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
LANDSCAPE PATH	FC	1.22	4	0.1	12.2	40
LANDSCAPE RAMP	FC	1.01	2.5	0.3	3.37	8.33
LANDSCAPE STEPS	FC	0.96	1.8	0.5	1.92	3.6
PARKING	FC	2.03	4.8	0.8	2.54	6
PATH 1	FC	2.58	3.9	1.1	2.35	3.55
PATH 2	FC	1.92	3.4	0.8	2.4	4.25
PATH 3	FC	1.99	3.8	0.9	2.21	4.22
PATH 4	FC	1.67	3.3	1.1	1.52	3
PATH 5	FC	1.95	3	0.9	2.17	3.33
PATH 6	FC	2.21	5.1	0.5	4.42	10.2
PATH 7	FC	2.08	3.7	0.7	2.97	5.29
PROP LINE TRACT 2	FC	0.27	0.9	0	N.A.	N.A.
PROP LINE TRACT G	FC	0.06	0.9	0	N.A.	N.A.
POOL DECK	FC	14.58	22	10.3	1.42	2.14

Need to have a details sheet for what these look like-I only see two different pole mounted lights on the next sheet and don't know which is which. We need to see the wall sconce, all of the pole mounted lights, and the bollards as well.

Cannot exceed 1 foot candles along any property line

Need to show foot candles along property line

1 SITE PHOTOMETRIC PLAN  
SCALE: 1" = 70'-0"



PREPARED FOR CENTURY COMMUNITIES

PROJECT  
**COMPARK VILLAGE SOUTH**

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE  
SITE PHOTOMETRIC PLAN & SCHEDULES

SHEET NUMBER  
**53**

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN  
LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



Gardco PureForm LED area small round comfort P20 features a sleek, low profile design. Comfort optics are designed to enhance visual comfort by reducing glare and are ideally suited for pedestrian scale applications. Multiple optical distributions and color temperatures are available to allow you to customize your selection.

Project: \_\_\_\_\_  
Location: \_\_\_\_\_  
Cat. No.: \_\_\_\_\_  
Type: \_\_\_\_\_  
Lumens: \_\_\_\_\_ City: \_\_\_\_\_  
Notes: \_\_\_\_\_

Ordering guide example: P20-C-A01-840-TS5-AR1-UNV-BL50-L2-EHS-BZ

Area	Color Temperature	Configuration	Mounting Hardware	Accessories	Notes		
P20	C	Comfort	A01 2,000 lumens A02 4,000 lumens A03 6,000 lumens A04 8,000 lumens A05 10,000 lumens A06 12,000 lumens A07 14,000 lumens A08 16,000 lumens	830 80CRI 3000K 840 80CRI 4000K 780 70CRI 5000K	TS5 Type 1 Short TS6 Type 2 Short TS7 Type 4 Short TS8 Type 4 Concentrated Downlight TS9 Type 5 Short	AR1 Arm mount (Standard) The following mounting kits must be ordered separately (See accessories) RAM Retrofit arm mount kit WAL Wall mount	120 120V 208 208V 240 240V 277 277V 347 347V 480 480V UNV 120-277V (50/60Hz) HWV 347-480V (50/60Hz)

- Options
- | Option                                                          | Description               | Option | Description                                    |
|-----------------------------------------------------------------|---------------------------|--------|------------------------------------------------|
| (0-10V dimming driver standard)                                 | L2*** PR Sensor #2 lens   | PCB*** | Photocontrol Button                            |
| DLEA** Dimming Leads Externally Accessible (controls by others) | L3*** PR Sensor #3 lens   | TRP*** | 7-pin Twist Lock Receptacle                    |
| FAWS** Field Adjustable Wattage Selector                        | MW*** Microwave HF Sensor | TRP*** | 7-pin Twist Lock Receptacle w/ 3-pin Photocell |
| BLSD** Bi-level set at 50% dimming                              |                           | FS1**  | Increased 20A                                  |
| BLSD** Bi-level set at 30% dimming                              |                           | FS2**  | Single Fuse (120, 277, 347VAC)                 |
| SBW*** SR driver connected to Zhaga socket                      |                           | ENS    | External house side shield                     |
| DynalDimmer: Automatic Profile Dimming                          |                           |        |                                                |
| CS50** Security 50% Dimming, 7 hours                            |                           |        |                                                |
| CS80** Median 50% Dimming, 8 hours                              |                           |        |                                                |
| CS30** Security 30% Dimming, 7 hours                            |                           |        |                                                |
| CS50** Median 30% Dimming, 8 hours                              |                           |        |                                                |

1. Only available with symmetrical optics (TS8 and TS9)
2. Extended lead times apply. Contact factory for details.
3. Mounts to a 4"-5" OD round pole with adapter included for square poles.
4. Not available with other dimming control options (mutually exclusive).
5. Not available with motion sensor.
6. BLSD must be specified with a motion sensor lens (L2 and L3).
7. BLSD must be specified with Microwave HF Sensor (MW).
8. Not available with photocell.
9. Not available in 347 or 480V.
10. Available only in 120 or 277V.
11. Must specify input voltage.
12. All 7 pins in NEMA receptacle are connected to SR driver.
13. Not available in 480V. Order photocell separately with TR7.
14. Not available with DLEA and FAWS dimming control options.
15. Not available with DLEA, SBDR, FAWS, CS50, CS80, CS30, and CM30 dimming control options.
16. Product ships standard with T05A.
17. Only available with A01 and A03.
18. Only available in 120/277/347V.
19. When ordering SBDR with L2 or L3, controller to be used on socket must be SR compatible (See specifications for more details).

P20\_PureForm\_area\_small\_round 04/21 page 1 of 6



ECF-S EcoForm small Area luminaire

EcoForm Accessories<sup>SM</sup> (ordered separately, field installed)

Shading Accessories

Accessories	Footcandles
HS-32-H <sup>SM</sup> Internal House Side Shield for 32 LEDs (2 modules)	20. Not available with Type 5 or SW optics
HS-48-H <sup>SM</sup> Internal House Side Shield for 48 LEDs (3 modules)	21. Consult factory to confirm whether specific accessories are BAA-compliant.
HS-64-H <sup>SM</sup> Internal House Side Shield for 64 LEDs (4 modules)	

Luminaire Accessories

Accessories	Notes
ECF-BD-G2 Bird deterrent	
ECF-RAM-G2-RF Retrofit Arm-mount kit	
ECF-SF-G2-RF Slip Fitter Mount (fits to 2 3/8" O.D. tenon)	
ECF-WF-G2-RF Wall mount with surface conduit (rear entry permitted)	
EcoForm PTF2 (pole top filter fits 31/2" OD x 4" depth tenon)	
PTF2-ECF-S/L-1-90-RF 1 luminaire at 90°	
PTF2-ECF-S/L-2-90-RF 2 luminaires at 90°	
PTF2-ECF-S/L-3-90-RF 3 luminaires at 90°	
PTF2-ECF-S/L-4-90-RF 4 luminaires at 90°	
PTF2-ECF-S/L-9-120-RF 3 luminaires at 120°	
EcoForm PTF3 (pole top filter fits 31/2" OD x 6" depth tenon)	
PTF3-ECF-S/L-1-90-RF 1 luminaire at 90°	
PTF3-ECF-S/L-2-90-RF 2 luminaires at 90°	
PTF3-ECF-S/L-3-90-RF 3 luminaires at 90°	
PTF3-ECF-S/L-4-90-RF 4 luminaires at 90°	
PTF3-ECF-S/L-9-120-RF 3 luminaires at 120°	
EcoForm PTF4 (pole top filter fits 31/2" OD x 8" depth tenon)	
PTF4-ECF-S/L-1-90-RF 1 luminaire at 90°	
PTF4-ECF-S/L-2-90-RF 2 luminaires at 90°	
PTF4-ECF-S/L-3-90-RF 3 luminaires at 90°	
PTF4-ECF-S/L-4-90-RF 4 luminaires at 90°	
PTF4-ECF-S/L-9-120-RF 3 luminaires at 120°	

Ready to Go configurations (when ordered with the "RS-" catalog code, the following configurations will ship in 2 weeks):

Catalog Number	12NC	Catalog Number	12NC
RS-ECF-S-32L-1A-NW-G2-AR-3-UNV-BZ	912401468002	RS-ECF-S-64L-1A-NW-G2-AR-3-UNV-BK	912401834560
RS-ECF-S-32L-1A-NW-G2-AR-3-UNV-MGY	912401468003	RS-ECF-S-64L-1A-NW-G2-AR-4-UNV-BZ	912401466016
RS-ECF-S-32L-1A-NW-G2-AR-3-UNV-BK	912401834561	RS-ECF-S-64L-1A-NW-G2-AR-4-UNV-MGY	912401466017
RS-ECF-S-32L-1A-NW-G2-AR-4-UNV-BZ	912401468004	RS-ECF-S-64L-1A-NW-G2-AR-4-UNV-BK	912401534561
RS-ECF-S-32L-1A-NW-G2-AR-4-UNV-MGY	912401468005	RS-ECF-S-64L-1A-NW-G2-AR-5-UNV-BZ	912401466018
RS-ECF-S-32L-1A-NW-G2-AR-5-UNV-BK	912401534565	RS-ECF-S-64L-1A-NW-G2-AR-5-UNV-MGY	912401466019
RS-ECF-S-32L-1A-NW-G2-AR-5-UNV-BZ	912401468006	RS-ECF-S-64L-1A-NW-G2-AR-5-UNV-BK	912401534562
RS-ECF-S-32L-1A-NW-G2-AR-5-UNV-MGY	912401466007	RS-ECF-RAM-G2-DGY	912401466487
RS-ECF-S-32L-1A-NW-G2-AR-6-UNV-BK	912401534566	RS-ECF-RAM-G2-MGY	912401466488
RS-ECF-S-32L-1A-NW-G2-AR-6-UNV-BZ	912401466008	RS-ECF-RAM-G2-WH	912401466489
RS-ECF-S-32L-1A-NW-G2-AR-6-UNV-MGY	912401466009	RS-HIS-32-H	912401466489
RS-ECF-S-48L-1A-NW-G2-AR-3-UNV-BK	912401534567	RS-HIS-64-H	912401466491
RS-ECF-S-48L-1A-NW-G2-AR-4-UNV-BZ	912401468010		
RS-ECF-S-48L-1A-NW-G2-AR-4-UNV-MGY	912401466011		
RS-ECF-S-48L-1A-NW-G2-AR-4-UNV-BK	912401534568		
RS-ECF-S-48L-1A-NW-G2-AR-4-UNV-BZ	912401466012		
RS-ECF-S-48L-1A-NW-G2-AR-5-UNV-MGY	912401466013		
RS-ECF-S-48L-1A-NW-G2-AR-5-UNV-BK	912401534569		
RS-ECF-S-48L-1A-NW-G2-AR-5-UNV-BZ	912401468014		
RS-ECF-S-64L-1A-NW-G2-AR-3-UNV-MGY	912401468015		

ECF-S\_EcoForm\_area\_small 08/21 page 2 of 9



Gardco EcoForm Gen-2 combines economy with performance in an LED area luminaire. Capable of delivering up to 27,800 lumens or more in a compact, low profile LED luminaire, EcoForm offers a new level of customer value. EcoForm features an innovative retrofit arm kit, simplifying site conversions to LED by eliminating the need to drill additional holes in most existing poles. Integral control systems available for further energy savings. Includes Service Tag, our innovative way to provide assistance throughout the life of the product.

Project: \_\_\_\_\_  
Location: \_\_\_\_\_  
Cat. No.: \_\_\_\_\_  
Type: \_\_\_\_\_  
Lamp: \_\_\_\_\_ City: \_\_\_\_\_  
Notes: \_\_\_\_\_

Ordering guide example: ECF-S-64L-900-NW-G2-AR-5-120-HIS-MGY

Area	Color Temperature	Configuration	Mounting Hardware	Accessories	Notes		
ECF-S	C	Comfort	A01 2,000 lumens A02 4,000 lumens A03 6,000 lumens A04 8,000 lumens A05 10,000 lumens A06 12,000 lumens A07 14,000 lumens A08 16,000 lumens	830 80CRI 3000K 840 80CRI 4000K 780 70CRI 5000K	TS5 Type 1 Short TS6 Type 2 Short TS7 Type 4 Short TS8 Type 4 Concentrated Downlight TS9 Type 5 Short	AR1 Arm mount (Standard) The following mounting kits must be ordered separately (See accessories) RAM Retrofit arm mount kit WAL Wall mount	120 120V 208 208V 240 240V 277 277V 347 347V 480 480V UNV 120-277V (50/60Hz) HWV 347-480V (50/60Hz)

Options

Option	Description	Option	Description
DD** 0-10V External dimming (For controls by others)	MBR** Integral with #3 lens	PCB**	Photocontrol Button
FAWS** Field Adjustable Wattage Selector	TRP** 7-pin Twist Lock Receptacle	TRP**	7-pin Twist Lock Receptacle w/ 3-pin Photocell
BLSD** Bi-level set at 50% dimming	FS1** Increased 20A	FS1**	Single Fuse (120, 277, 347VAC)
BLSD** Bi-level set at 30% dimming	FS2** Double Fuse (208, 240, 480VAC)	ENS	External house side shield
SBW*** SR driver connected to Zhaga socket			
DynalDimmer: Automatic Profile Dimming			
CS50** Security 50% Dimming, 7 hours			
CS80** Median 50% Dimming, 8 hours			
CS30** Security 30% Dimming, 7 hours			
CS50** Median 30% Dimming, 8 hours			

1. BL-MBR37 equipped with cut-boarded sensor housing when voltage is 90V (240-480V).
2. Mounts to a 4" round pole with adapter included for square poles.
3. Limited to a maximum of 45 degrees aiming above horizontal.
4. Not available with other dimming control options.
5. Not available with motion sensor.
6. Not available with photocell.
7. Must specify a motion sensor lens.
8. Not available in 347 or 480V.
9. Must specify input voltage.
10. TLRD5, TLRD7 and TLRD9 receptacle pins 4 & 6 are capped off when ordered with any of the dimming controls DD or FAWS or LCC.
11. Not available in 480V. Order photocell separately with TR6 or TR7.
12. Not available with DCC.
13. Not available with SF and WS. RRA's provided with black finish standard.
14. HIS not available with Type 5, SW, BLC, BLO-90, BLC-270, LCL or RCL optics.
15. Not available with DCC, DCC and FAWS dimming control options.
16. Not available with DD, DCC, FAWS and LLO dimming control options.
17. When ordering SBDR, controller (by others) to be used on socket must be SR compatible (See specifications for more details). Consult factory for lead time. All pins in NEMA receptacle are connected to SR driver. SBDR not available with TLRD5 or TLRD9.
18. 0-10V dimming driver standard.
19. LCL and RCL not available with 48L-1A or 64L-1A.

ECF-S\_EcoForm\_area\_small 08/21 page 1 of 9



SITE LIGHT FIXTURE 'SB'

SITE LIGHT FIXTURE 'SA & SC'

PROJECT NUMBER  
65120950  
DRAWN BY  
TV  
DATE  
01/12/2022



PREPARED FOR CENTURY COMMUNITIES

PROJECT

COMPARK VILLAGE SOUTH

TOWN OF PARKER, COUNTY OF DOUGLAS, COLORADO 80134

SHEET TITLE  
LIGHT FIXTURE SPEC SHEETS

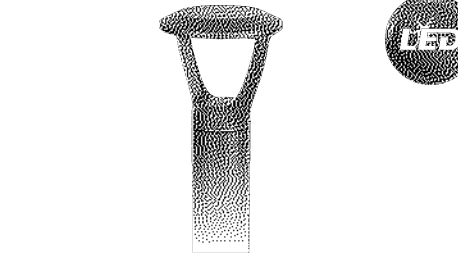
SHEET NUMBER  
54

COMPARK VILLAGE SOUTH  
F1 AMD 2 - MULTIFAMILY  
SITE PLAN

LOT 2, COMPARK VILLAGE FILING NO. 1, AMEND NO. 2  
SOUTH HALF SECTION 6, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



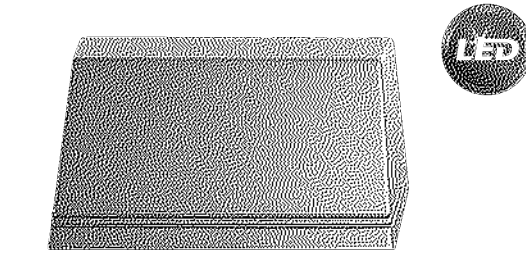
Gardco PureForm LED bollard PBL integrates a sleek, low profile design, extraordinary light output, and energy savings into an innovative pedestrian scale luminaire. PureForm bollard features a high performance optical system designed to achieve wide spacings and full cutoff performance. Three heights available for a customized look. IP66 optics ensure dust or moisture will never interfere with performance.



Project: \_\_\_\_\_  
Location: \_\_\_\_\_  
Cat. No.: \_\_\_\_\_  
Type: \_\_\_\_\_  
Landscape: \_\_\_\_\_ City: \_\_\_\_\_  
Notes: \_\_\_\_\_



Philips Gardco 111 LED mini scone luminaires are compact in size, perfect for low mounting height wall mount applications. 111 LED luminaires are designed to integrate naturally to wall surfaces. 111 LED luminaires are available with three (3) different distribution patterns, providing full cutoff performance (in the normal downlight position) and featuring LED arrays. Luminaires provide performance excellence and advanced Philips Gardco LED thermal management technology. High performance Class 1 LED systems offer potential energy savings of 50 % or more compared to HID systems. 111 LED luminaires are also available with 0-10V Dimming.



Project: \_\_\_\_\_  
Location: \_\_\_\_\_  
Cat. No.: \_\_\_\_\_  
Type: \_\_\_\_\_  
Landscape: \_\_\_\_\_ City: \_\_\_\_\_  
Notes: \_\_\_\_\_

Ordering guide example: PBL-42-14L-450-NW-G2-5-UNV

Part No.	Height	Number of LEDs	Power Output	Color Temperature	Beam Spread	Mounting	Notes
<b>PBL</b>							
PBL PureForm bollard	36 Standard Shaft 36" 42 Standard Shaft 42" 60 Standard Shaft 60"	14 14 LEDs (full ring)	100 100mA 200 200mA 350 350mA 450 450mA 600 600mA 800 800mA 1050 1050mA	WW-G2 Warm White 3000K, 70 CRI Generation 2 NW-G2 Neutral White 4000K, 70 CRI Generation 2 CW-G2 Cool White 5000K, 70 CRI Generation 2	Type 3 Type 4 Type 5	Leave blank for no battery ESP Emergency battery 11	120 120V 208 208V 240 240V 277 277V 347 347V 480 480V UNV 120-277V (50/60Hz)

Options	Photocell	Photocell	Photocell	Photocell
<b>DD</b> 0-10V External dimming (by others) 11 <b>FWS</b> Field Adjustable 11 <b>SW</b> Interface module for SiteWise 11,13 <b>LLC</b> Wireless controls without PIR sensor 11,13 <b>BL</b> Bi-level functions with motion sensor 14 <b>DynalDimmer</b> Automatic Profile Dimming 15 <b>CS50</b> Security 50% Dimming, 5 hours <b>CS75</b> Security 75% Dimming, 7 hours <b>CS90</b> Security 90% Dimming, 9 hours	<b>IMSIR</b> Integral Infrared 12	<b>PCB</b> Photocell Button 13	<b>F1</b> Single (100, 277, 347VAC) 11 <b>F2</b> Double (208, 240, 480VAC) 11 <b>F3</b> Canadian Double Pull (208, 240, 480VAC) 11 <b>Surge Protection</b> (CSA standard) <b>SP2</b> Increased 25kA <b>GFCI</b> Ground Fault Interrupt Outlet 16	<b>Textured</b> <b>BK</b> Black <b>WH</b> White <b>BZ</b> Bronze <b>DKG</b> Dark Grey <b>MGY</b> Medium Grey <b>Customer specified</b> <b>RAL</b> Specify optional color or RAL (ex. RAL7034) <b>CC</b> Custom color (Must supply color chips for required factory quote)

- Extended lead times apply. Contact factory for details.
- Not available in 100, 200 or 350mA.
- Available in 120V or 277V only.
- Not available with other control options.
- Not available with motion sensor.
- Not available with photocell.
- Available only with BL dimming control.
- Not available with SW, LLC, and CS/CM.
- Must specify input voltage.
- Available in 120V only.
- Not available in 247 or 480V.
- Not available in 100, 200, and 1050mA.
- Not available with SW or LLC.

PBL\_PureForm\_bollard 05/20 page 1 of 5

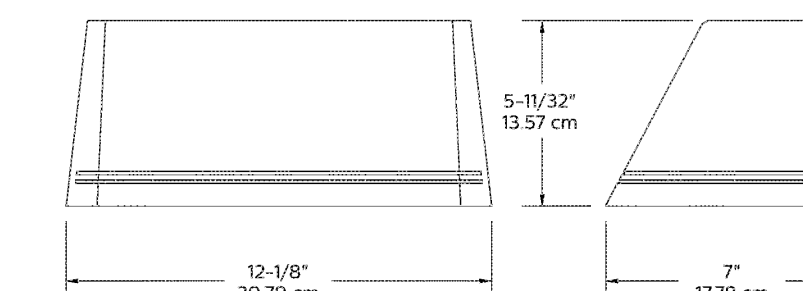


Ordering guide example: 111L-16L-350-CW-G2-2-UNV-DD-BK

Part No.	Height	Number of LEDs	Power Output	Color Temperature	Beam Spread	Mounting	Options	Photocell	Notes
<b>111L</b>									
111L Triaxial Wedge LED	16 Standard Shaft 16"	16 16 LEDs (full ring)	350 350mA 550 550mA 750 750mA	CW-G2 Cool White 5000K, 70 CRI generation 2 NW-G2 Neutral White 4000K, 70 CRI generation 2 WW-G2 Warm White 3000K, 70 CRI generation 2	Type II Type III Type IV Maximized forward throw optic	UNV 120-277V 50Hz/60Hz 308 308V 340 340V 277 277V	<b>PCB</b> Photocell Button <b>DD</b> 0-10V Dimming	<b>F1</b> Single Fusing (30, 277VAC) <b>F2</b> Double Fusing (208, 240VAC) <b>F3</b> Canadian double pull Fusing (208, 240VAC) <b>DL</b> Diffusing Lens <b>WS</b> Wall Mounted Box for Surface Conduit	<b>Textured</b> <b>BK</b> Black <b>WH</b> White <b>BZ</b> Bronze <b>DKG</b> Dark Grey <b>MGY</b> Medium Grey <b>Customer specified</b> <b>RAL</b> Specify optional color or RAL (ex. RAL7034 or CC 94030) <b>CC</b> Custom color (Must supply color chips for required factory quote)

1. Provide specific input voltage.

Dimensions



Note: Mounting plate center is located in the center of the luminaire width and 2.38" (6.03cm) above the luminaire bottom (lens down position). Splices must be made in the J-box (by others). Mounting plate must be secured by max. 1/4" (6.4mm) diameter bolts (by others) structurally to the wall.

10-111\_LED\_Spec\_Sheet 05/19 page 1 of 2

PROJECT NUMBER  
65120950

DRAWN BY  
TV

DATE  
01/12/2022



Engineering | Architecture | Design-Build | Surveying |  
Planning | Geospatial Solutions  
5970 GREENWOOD PLAZA BLVD.  
GREENWOOD VILLAGE, CO. 80111  
303-751-0741  
www.merrick.com

PREPARED FOR CENTURY  
COMMUNITIES

PROJECT

COMPARK  
VILLAGE  
SOUTH

TOWN OF PARKER, COUNTY  
OF DOUGLAS, COLORADO  
80134

SHEET TITLE  
LIGHT FIXTURE  
SPEC SHEETS

SHEET NUMBER

55

SITE LIGHT FIXTURE 'SE'

SITE LIGHT FIXTURE 'SD'