

MAVERIK INC. STORE

SITUATED IN THE NORTHWEST 1/4 OF SECTION 15,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

UTILITY PLANS

SHOW PROPOSED PLATTED UTILITY EASEMENTS

DCI RESPONSE: ADDED PLATTED UTILITY EASEMENTS

LINCOLN AVE
(100' PUBLIC R.O.W.)

RELOCATE
STORM FROM
PROPOSED
PLATTED 15' UE

DCI RESPONSE:
RELOCATED STORM
PIPE OUTSIDE 15' UE.

ROW DEDICATION

FOUND #5 REBAR WITH
ORANGE PLASTIC CAP
#285

119 LF-3" PVC SDR
@ 1.00%

128 LF-4" PVC SDR
@ 1.00%

75 LF-4" PVC SDR
@ 1.77%

SS XING
4" SS I.E.=5820.40
10" SD TOP=5818.76
Δ=1.64'±

PRIVATE GREASE INTERCEPTOR
RIM=5824.109
INV IN(N)=5820.22
INV OUT(S)=5820.12

SS MH-1
RIM=5824.38
INV IN(W)=5820.17
INV OUT(S)=5819.97
CUT=4.4'±

I.E.=5819.34

PRIVATE SEWER
218 LF-6" PVC SDR @ 4.24%

802 LF-1" TYPE "K" COPPER

SHOW TRANSFORMER LOCATION
AND EUSERC CABINET LOCATION

DCI RESPONSE: CALLED OUT
TRANSFORMER PAD

MAVERIK STORE
PARKER, CO
4,425 SF
FFE=5825.00

NO PARKING
NO PARKING

4" SS C/O
RIM=5825.00
I.E.=5821.50
CUT=3.5'±

15 LF-DOMESTIC SERVICE
2" TYPE "K" COPPER

2"-90° BEND

4"-90° BEND

12 LF-FIRE SERVICE
4" C-900 PVC DR-14

2" DOMESTIC
P.O.C.=5822.00±

4" FIRE
P.O.C.=5822.00±

103 LF-DOMESTIC SERVICE
2" TYPE "K" COPPER

96 LF-FIRE SERVICE
4" C-900 PVC DR-14

2"-90° BEND

4"-90° BEND

43 LF-DOMESTIC SERVICE
2" TYPE "K" COPPER

43 LF-FIRE SERVICE
4" C-900 PVC DR-14

2"-90° BEND

4"-90° BEND

92 LF-DOMESTIC SERVICE
2" TYPE "K" COPPER

94 LF-FIRE SERVICE
4" C-900 PVC DR-14

2"-22-1/2° BEND

4"-22-1/2° BEND

7 LF-FIRE SERVICE
4" C-900 PVC DR-14

8 LF-DOMESTIC SERVICE
2" TYPE "K" COPPER

P.O.C. DOMESTIC SERVICE
REMOVE EX. 2" PLUG AND INSTALL
2" WATER METER IN PIT

P.O.C. FIRE SERVICE
REMOVE EX. 4" PLUG AND
CONNECT TO EX. 4" PVC

CONNECT TO EXISTING SAN MH
RIM=5821.84
INV IN(N)=5810.71
INV IN(E)=5810.71
INV OUT(SW)=5810.51
CUT=11.3'±

DOMESTIC WATER NOTES:

- 1 NEW 2" DOMESTIC WATER LINE CONNECTION TO EXISTING 2" STUB PER HARRIS KOCHER SMITH CONSTRUCTION DOCUMENTS FOR LINCOLN AND DRANSFELDT
- 2 NEW 2" TYPE K COPPER. TRENCHING AND BEDDING
- 3 NEW 2" DOMESTIC WATER METER IN METER PIT
- 4 NEW 1" TYPE "K" COPPER DOMESTIC WATER SERVICE TO YARD HYDRANT
- 5 NEW 1" BALL VALVE INSIDE VALVE BOX
- 6 NEW 1" FROST PROOF YARD HYDRANT WITH 3/4" FEMALE BRASS CONNECTION WITH RED HANDLE.

FIRE WATER NOTES:

- 20 NEW 4" FIRE LINE CONNECTION TO EXISTING 4" STUB PER HARRIS KOCHER SMITH CONSTRUCTION DOCUMENTS FOR LINCOLN AND DRANSFELDT
- 21 NEW 4" BACKFLOW PREVENTION DEVICE ASSEMBLY INSIDE BUILDING RISER ROOM
- 22 NEW 4" C-900 PVC DR-14 FIRE SERVICE FOR BUILDING SPRINKLERS.

PRIVATE SANITARY SEWER NOTES:

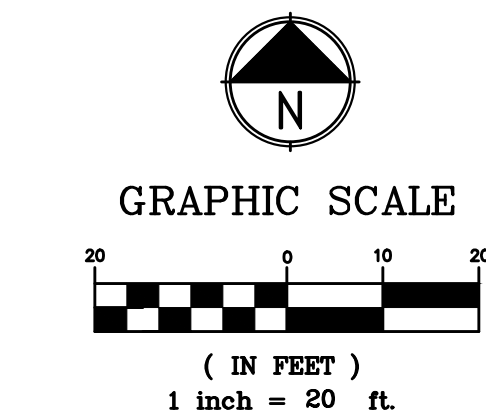
- 31 CONNECT NEW 6" PVC BUILDING SEWER TO EXISTING SEWER MANHOLE PER MASTER DEVELOPER (HKS ENGINEERING).
- 32 NEW 48" SANITARY SEWER TYPICAL MANHOLE PER PARKER WATER AND SANITATION DISTRICT STANDARDS.
- 33 NEW 4" PVC SANITARY SEWER LINE. TRENCH AND BEDDING PER PARKER WATER AND SANITATION DISTRICT STANDARDS.
- 34 NEW SANITARY SEWER CLEANOUT PER PARKER WATER AND SANITATION DISTRICT STANDARD.
- 35 NEW 1,500 GAL GREASE INTERCEPTOR UNIT (SEE PLUMBING PLANS FOR ADDITIONAL DETAIL).
- 36 NEW SAMPLING MANHOLE (SEE PLUMBING PLANS FOR ADDITIONAL DETAIL).
- 37 NEW 3" GREASE INTERCEPTOR VENTS (SEE PLUMBING PLANS FOR ADDITIONAL DETAIL).

NOTES:

1. ALL DOMESTIC, IRRIGATION, AND FIRE SERVICES REQUIRE BACKFLOW PREVENTION DEVICES.
2. EXCEPT WHERE CONNECTING TO EXISTING PIPE, ALL FITTINGS REQUIRING RESTRAINT SHALL USE JOINT RESTRAINTS.

CONTRACTOR NOTE:

ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEYS FURNISHED BY OTHERS. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEYS. CONTACT THE UTILITY OWNER/AGENCY FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION.



AR DP XX-XXXX

PROJECT NUMBER

21-122-0001

ISSUE DATE:

June 18, 2021

REVISIONS:

| No. | Date | Description |
|-----|------|-------------|
| | | |
| | | |

NOTE:
Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in the drawings, bidder should not assume the least expensive option will meet the project requirements.



MAVERIK INC. STORE
LINCOLN AVE. AND DRANSFELDT RD.
PARKER, CO

EDCI
ENGINEERS
1331 17TH STREET • SUITE 605
DENVER, COLORADO 80202
PHONE: (720) 439-4700
WEBSITE: www.edci-engineers.com
CIVIL / STRUCTURAL
© Copyright 2021. All Rights Reserved.

UTILITY PLAN

| No. | Date | Description |
|-----|------|-------------|
| | | |

NOTE:
 Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in drawings, bidder should not assume the least expensive option will meet the project requirements.



MAVERIK INC. STORE
 LINCOLN AVE. AND DRANSFELDT RD.
 PARKER, CO

EDCI
 ENGINEERS
 1331 17TH STREET • SUITE 605
 DENVER, COLORADO 80202
 PHONE: (720) 439-4700
 WEBSITE: www.edci-engineers.com
 CIVIL / STRUCTURAL
 © Copyright 2021 EDCI Engineers Inc. All Rights Reserved.

SHOW TRANSFORMER LOCATION AND EUSERC CABINET LOCATION

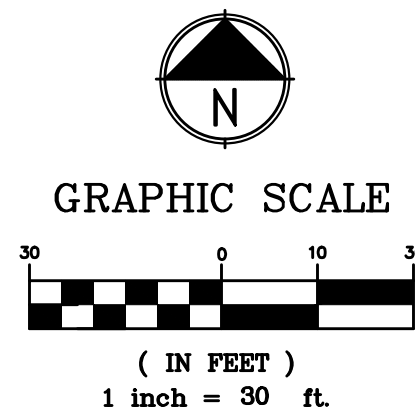
DCI RESPONSE: CALLED OUT TRANSFORMER PAD

RETAINING WALL MAY NOT ENCR OACH INTO THE PROPOSED PLATTED 15' UE

DCI RESPONSE: THIS WALL IS NOT PART OF THIS PROJECT. SEE MASTER DEVELOPER'S PLANS.

KEYED NOTES:

- 1 NEW LIGHT POLE AND BASE PER MAVERIK STANDARD DETAIL SF-6/SHEET 30
- 2 NEW REBOUNDING BOLLARDS IN FRONT OF EACH PARKING SPACE ALONG THE FACE OF BUILDING PER MAVERIK STANDARD DETAIL SF-4/SHEET 30
- 3 NEW HOOP BOLLARDS PER MAVERIK STANDARD DETAIL SF-2/SHEET 30
- 4 NEW TRASH ENCLOSURE PER DETAILS 1-3/SHEET 27
- 5 NEW HI-ROLLER BIKE RACK PER MAVERIK STANDARD DETAIL SF-8/SHEET 31
- 6 NEW CATCH CURB AND GUTTER PER MAVERIK STANDARD DETAIL C-6/SHEET 29
- 7 NEW SPILL CURB AND GUTTER PER MAVERIK STANDARD DETAIL C-7/SHEET 29
- 8 NEW RUNOUT PAD AND MOUNTABLE CURB PER MAVERIK STANDARD DETAIL C-8/SHEET 29
- 9 NEW FUEL DISPENSER BASE PER MAVERIK STANDARD DETAIL SF-7/SHEET 29
- 10 NEW XACTAIR STATION FOUNDATION PER MAVERIK STANDARD DETAIL SF-9/SHEET 30
- 11 NEW ADA PARKING PER MAVERIK STANDARD DETAIL SF-11/SHEET 31
- 12 PAINTED ADA PARKING SYMBOL PER MAVERIK STANDARD DETAIL SF-12/SHEET 31
- 13 NEW UNDERGROUND STORAGE TANKS
- 14 NEW FUEL CANOPY AND FUEL DISPENSERS - STACKED FORECOURT PER MAVERIK STANDARD DETAIL ST-6/SHEET 32
- 15 NEW TRUNCATED DOMES
- 16 ADA ADJUSTABLE SIGNAGE SLEEVE IN BOLLARD
- 17 ADA FUEL DISPENSER WITH SIGN
- 18 NEW CONCRETE PAD FOR ELECTRICAL TRANSFORMER
- 19 5 FOOT CURB TRANSITION FROM MOUNTABLE TO VERTICAL CURB
- 20 ADA PATH TO ADA ACCESSIBLE FUEL PUMP (REFERENCE ONLY NO STRIPPING)
- 21 NEW 4' WIDE CROSSSPAN PER _____



THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

CONTRACTOR NOTE:

ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEYS FURNISHED BY OTHERS. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THESE RECORDS AND SURVEYS. CONTACT THE UTILITY OWNER/AGENCY FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION.

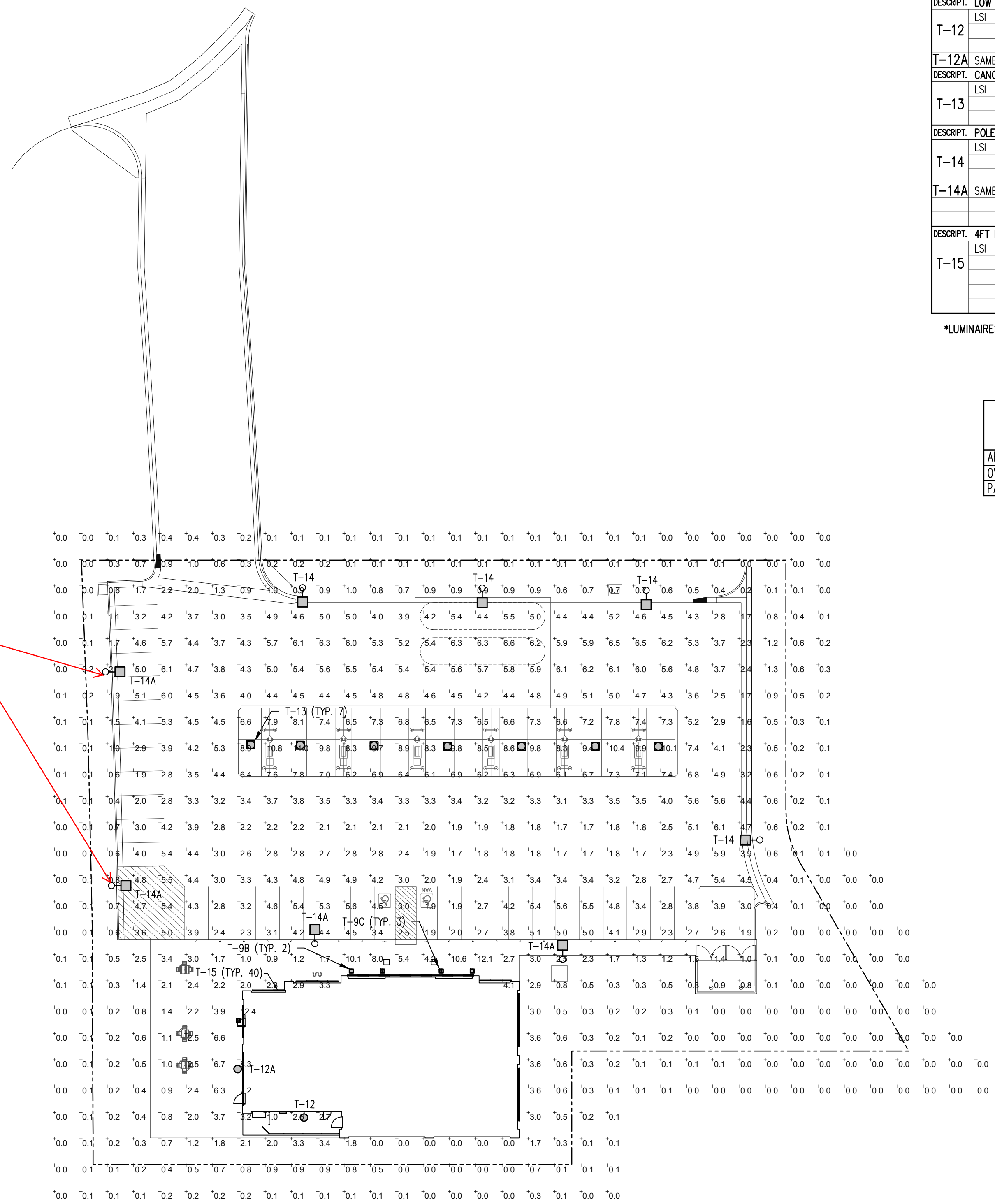


AR DP XX-XXXX

E.T. TECHNOLOGIES INC. A MINOR DEVELOPMENT PLAT

Plot Date: 2021-10-19 File Location: O:\2020-Denver\DC-Civil\Projects\2021\122-0001\Maverik Lincoln and Dransfeldt\122-0001\CD.dwg

PARKING LOT LIGHTS MAY NOT ENCR OACH INTO PROPOSED PLATTED 15' UE



1 SITE PHOTOMETRIC PLAN
E-1.2 SCALE: 1"=30'-0"

| MASTER LUMINAIRE SCHEDULE | | | | | | | | | |
|--------------------------------------------------------------------------------------------------------------|--------------------------------------------|-------------------------------------|-------|-------------------------------|----------|---------|-------|-------|--|
| TYPE | MANUFACTURER | CATALOG NUMBER | VOLTS | MOUNTING | LAMPS | BALLAST | WATTS | IMAGE | |
| DESCRPT: RECESSED WHITE LED DOWNLIGHT 6" APERTURE, 1300 LUMENS, 4K | | | | | | | | | |
| T-9B | LOTUS LED | LL6RR 40K WH | 120 | RECESSED | INCLUDED | | 18 | | |
| T-9C | SAME AS T-9B EXCEPT WITH EMERGENCY BATTERY | | | | | | | 18 | |
| DESCRPT: LOW PROFILE, FULL CUTOFF WALL PACK, LED, DARK BRONZE, 4K, 3144 LUMENS | | | | | | | | | |
| T-12 | LSI | XVM 3 LED 03 40 UE BRZ | 120 | WALL | INCLUDED | | 23 | | |
| | | | | HEIGHT SPECIFIED BY ARCHITECT | | | | | |
| T-12A SAME AS T-12 EXCEPT WITH 08 LUMEN PACKAGE AND TYPE IV DISTRIBUTION (FORWARD THROW) | | | | | | | | | |
| DESCRPT: CANOPY MOUNTED, CUTOFF LUMINAIRE, 103W LED, FLAT LENS, FOR SINGLE DECK CANOPIES (10,209 LUMENS) | | | | | | | | | |
| T-13 | LSI | SCV LED 10L SC UNV DIM 40 WHT | UNV | CANOPY | INCLUDED | | 67 | | |
| DESCRPT: POLE MOUNTED, CUTOFF LUMINAIRE SINGLE HEAD, LED, 18,930 LUMENS, 17.5FT SQUARE POLE (4", 11 GA.), 4K | | | | | | | | | |
| T-14 | LSI | SLM LED 18L SIL 3 UNV 40 70 CRI BRZ | 208 | 17'-6" POLE | INCLUDED | | 135 | | |
| T-14A SAME AS T-14 EXCEPT WITH TYPE IV DISTRIBUTION (FORWARD THROW) | | | | | | | | | |
| DESCRPT: 4FT LED STRIP LUMINAIRE, COLD WEATHER (0F), 2000 LUMENS, DAMP LISTED, LENS (1.78" WIDTH), 4K | | | | | | | | | |
| T-15 | LSI | MLS4 LED 20L CSM UNV DIM U | UNV | EXTERIOR COVE | INCLUDED | | 20 | | |

*LUMINAIRES ARE PROVIDED BY OWNER, INSTALLED BY E.C. (REFERENCE SCHEDULE ON E-4.0)

| CALCULATION SUMMARY | | | | | | | | |
|---------------------|-------------|-------|-------|-----|------|------|---------|----------|
| AREA NAME | GRID / TYPE | SPAC | GROUP | AVE | MAX | MIN | MAX/MIN | AVE./MIN |
| OVERALL | 0'-0" / H-H | 10.00 | <+> | 2.4 | 12.4 | 0.00 | N/A | N/A |
| PARKING | 0'-0" / H-H | 10.00 | <+> | 4.0 | 8.9 | 1.6 | 5.6:1 | 2.5:1 |



185 S. State Street
Salt Lake City, Utah 84111

THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS. ANY USE OF SAME WITHOUT THE EXPRESSED WRITTEN PERMISSION OF MAVERIK, INC IS PROHIBITED. 2019 MAVERIK, INC.

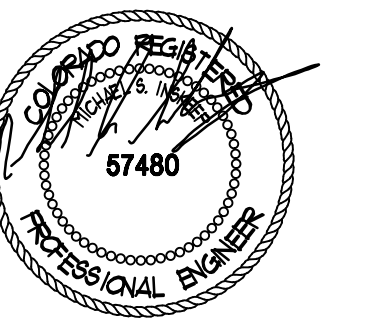
ARCHITECT:

ENGINEER:

NEI
Nielson Engineering, Inc.
Consulting Engineers
156 North Twelfth Avenue
Provo, Utah 84601
Ph (208) 232-2577 FAX
(208) 234-0918

OWNERSHIP OF DOCUMENTS
This document, including the ideas and designs incorporated herein, as an instrument of professional service, is the property of NIELSON ENGINEERING, INC. and shall not be used, in whole or in part, for any other project without the written permission of an authorized representative of NIELSON ENGINEERING, INC. Unauthorized use will be prosecuted to the full extent of the law.
Copyright © 2021
by: NIELSON ENGINEERING, INC.

STAMP:



MAVERIK, INC.

STORE #

LINCOLN AVENUE AND
DRANSFELDT ROAD
PARKER, CO

REVISIONS

| Δ | DESCRIPTION | DATE |
|---|-------------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

DESIGNED BY: MJE DRAWN BY: MJE
REVIEWED BY: MJE APPROVED BY: MSI

PROTOTYPE VERSION: 50

DRAWING ISSUE

DATE: 12-18-20

PROJECT NUMBER: 20337

SHEET NAME

PHOTOMETRIC PLAN

SHEET NUMBER

E-1.2

MAVERIK INC. STORE

SITUATED IN THE NORTHWEST ¼ OF SECTION 15,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

CONSTRUCTION DOCUMENTS

SHOW TRANSFORMER LOCATION AND EUSERC
CABINET LOCATION

PROJECT NUMBER

21-122-0001

ISSUE DATE:

June 18, 2021

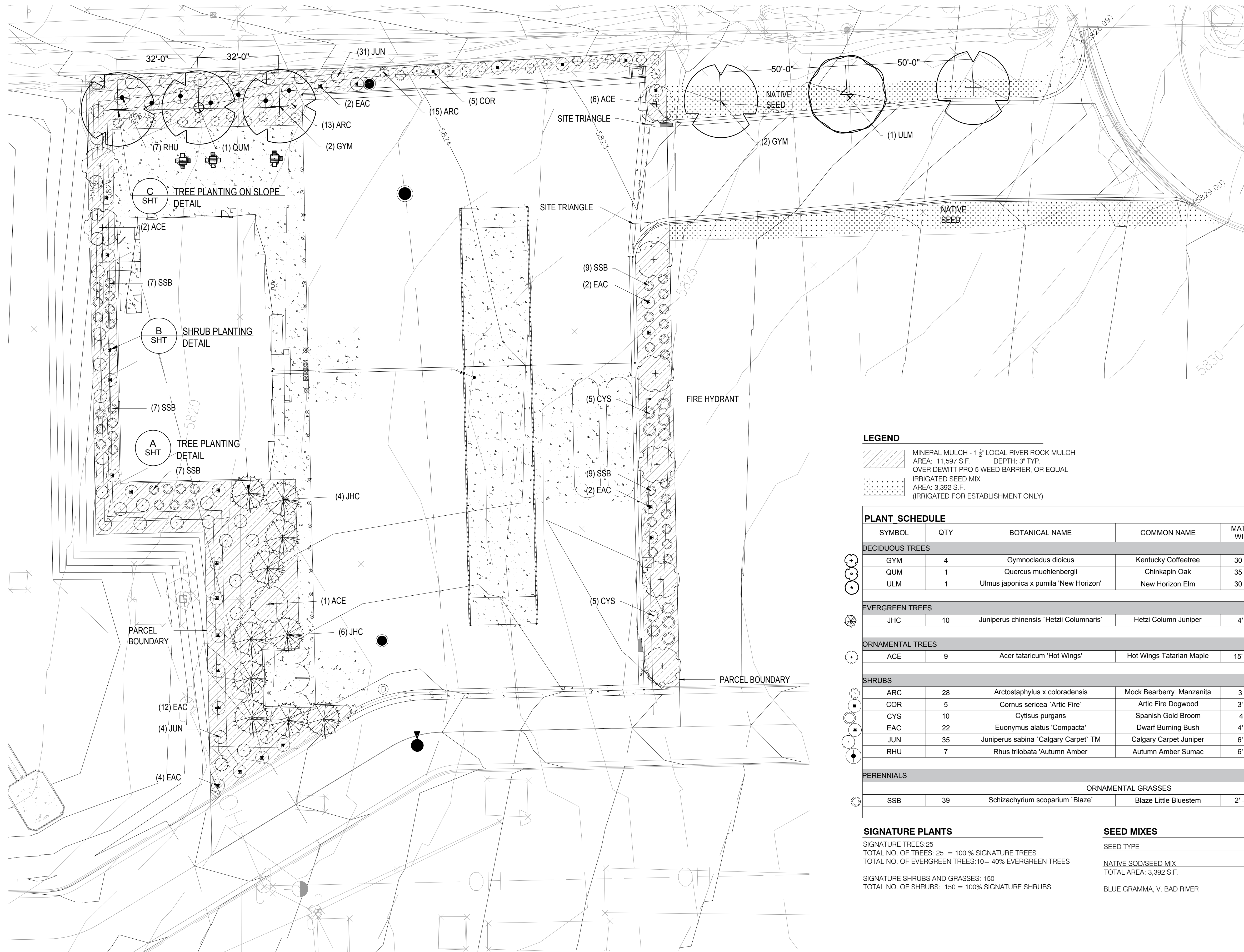
REVISIONS:

No. Date Description

NOTE:

Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in the drawings, bidder should not assume the least expensive option will meet the project requirements.



LEGEND

- MINERAL MULCH - 1 1/2" LOCAL RIVER ROCK MULCH
AREA: 11,597 S.F. DEPTH: 3" TYP.
- OVER DEWITT PRO 5 WEED BARRIER, OR EQUAL
- IRRIGATED SEED MIX
AREA: 3,392 S.F.
(IRRIGATED FOR ESTABLISHMENT ONLY)

PLANT SCHEDULE

| SYMBOL | QTY | BOTANICAL NAME | COMMON NAME | MATURE WIDTH | SIZE | SPACING | REMARKS |
|---------------------------|-----|-----------------------------------------------|--------------------------|--------------|----------|----------|---------|
| DECIDUOUS TREES | | | | | | | |
| | 4 | <i>Gymnocladus dioica</i> | Kentucky Coffeetree | 30 - 35' | 2" cal. | As Shown | B&B |
| | 1 | <i>Quercus muehlenbergii</i> | Chinkapin Oak | 35 - 40' | 2" cal. | As Shown | B&B |
| | 1 | <i>Ulmus japonica x pumila</i> 'New Horizon' | New Horizon Elm | 30 - 35' | 2" cal. | As Shown | B&B |
| EVERGREEN TREES | | | | | | | |
| | 10 | <i>Juniperus chinensis</i> 'Hetzi Columnaris' | Hetzi Column Juniper | 4' - 6' | 7 gal | As Shown | Cont. |
| ORNAMENTAL TREES | | | | | | | |
| | 9 | <i>Acer tataricum</i> 'Hot Wings' | Hot Wings Tatarian Maple | 15' - 20' | 6' Clump | As Shown | B&B |
| SHRUBS | | | | | | | |
| | 28 | <i>Arctostaphylos x coloradensis</i> | Mock Bearberry Manzanita | 3 - 4' | 5 gal | 48" o.c. | |
| | 5 | <i>Cornus sericea</i> 'Artic Fire' | Artic Fire Dogwood | 3' - 4' | 5 gal | 60" o.c. | |
| | 10 | <i>Cytisus purgans</i> | Spanish Gold Broom | 4 - 5' | 5 gal. | 60" o.c. | |
| | 22 | <i>Euonymus alatus</i> 'Compacta' | Dwarf Burning Bush | 4' - 5' | 5 gal. | 60" o.c. | |
| | 35 | <i>Juniperus sabina</i> 'Calgary Carpet' TM | Calgary Carpet Juniper | 6' - 8' | 5 gal | 60" o.c. | |
| | 7 | <i>Rhus trilobata</i> 'Autumn Amber | Autumn Amber Sumac | 6' - 8' | 5 gal | 60" o.c. | |
| PERENNIALS | | | | | | | |
| ORNAMENTAL GRASSES | | | | | | | |
| | 39 | <i>Schizachyrium scoparium</i> 'Blaze' | Blaze Little Bluestem | 2' - 2.5' | 5 gal | 48" o.c. | |

SIGNATURE PLANTS

SIGNATURE TREES: 25
TOTAL NO. OF TREES: 25 = 100% SIGNATURE TREES
TOTAL NO. OF EVERGREEN TREES: 10 = 40% EVERGREEN TREES
SIGNATURE SHRUBS AND GRASSES: 150
TOTAL NO. OF SHRUBS: 150 = 100% SIGNATURE SHRUBS

SEED MIXES

| SEED TYPE | % OF TOTAL | PLS PER ACRE |
|-----------------------------------------------|------------|--------------|
| NATIVE SOD/SEED MIX TOTAL AREA: 3,392 S.F. | | |
| BLUE GRAMMA, V. BAD RIVER | 100% | 3.0 LBS |

MAVERIK INC. STORE
LINCOLN AVE. AND DRANSFELDT RD.
PARKER, CO

DCI
ENGINEERS
1331 17TH STREET • SUITE 605
DENVER, COLORADO 80202
PHONE: (720) 438-4700
WEBSITE: www.dci-engineers.com
CIVIL / STRUCTURAL
© Copyright 2021. All Rights Reserved.