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**MAVERIK INC. STORE**  
 LINCOLN AVE. AND DRANSFELDT RD.  
 PARKER, CO



EXISTING CONDITION BASED ON SURVEY INFO PROVIDED BY ROSENBERG AND ASSOCIATES MAY 4, 2020

EXISTING CONDITIONS

**LEGAL DESCRIPTION**

A PARCEL OF LAND SITUATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 15;  
 THENCE SOUTH 83°44'03" EAST, A DISTANCE OF 846.76 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF LINCOLN AVENUE AND THE POINT OF BEGINNING;

THENCE NORTH 89°29'00" EAST ALONG SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 697.77 FEET TO THE NORTHWEST CORNER OF LOT 1, PEASLEE SUBDIVISION FILING NO. 1, RECORDED AT RECEPTION NO. 99104313;

THENCE ALONG THE WEST LINE OF SAID LOT 1 THE FOLLOWING TWO (2) COURSES:

- 1) SOUTH 00°31'00" EAST, A DISTANCE OF 89.84 FEET;
- 2) SOUTH 11°49'46" EAST, A DISTANCE OF 225.08 FEET TO THE NORTHWEST CORNER OF LOT 1, PEASLEE SUBDIVISION FILING NO. 2, RECORDED AT RECEPTION NO. 2005085666;

THENCE SOUTH 05°51'51" EAST ALONG THE WEST LINE OF SAID LOT 1, A DISTANCE OF 120.83 FEET TO A POINT ON THE NORTH LINE OF LOT 1B, PARKER PROFESSIONAL PARK FIRST AMENDMENT, RECORDED AT RECEPTION NO. 8725509;

THENCE SOUTH 84°07'50" WEST ALONG SAID NORTH LINE, A DISTANCE OF 24.51 FEET TO THE NORTHEAST CORNER OF LOT 1, BLOCK 1 E.T. TECHNOLOGIES INC., RECORDED AT RECEPTION NO. 2002093991;

THENCE ALONG SAID NORTH LINE THE FOLLOWING TWO (2) COURSES:

- 1) SOUTH 82°44'13" WEST, A DISTANCE OF 163.50 FEET;
- 2) SOUTH 84°51'34" WEST, A DISTANCE OF 577.15 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF DRANSFELDT ROAD DECEDED BY RECEPTION NO. 2002088425 AND A POINT OF NON-TANGENT CURVATURE:

THENCE ALONG SAID EAST RIGHT-OF-WAY LINE THE FOLLOWING SIX (6) COURSES:

- 1) ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 25.79 FEET, SAID CURVE HAVING A RADIUS OF 660.00 FEET, A CENTRAL ANGLE OF 03°14'19" AND A CHORD WHICH BEARS NORTH 02°20'42" WEST A CHORD DISTANCE OF 25.79 FEET;
- 2) NORTH 01°13'32" WEST, A DISTANCE OF 165.71 FEET TO A POINT OF CURVATURE;
- 3) ALONG THE ARC OF SAID CURVE TO THE LEFT AN ARC LENGTH OF 43.04 FEET, SAID CURVE HAVING A RADIUS OF 740.00 FEET, A CENTRAL ANGLE OF 03°19'57", AND A CHORD WHICH BEARS NORTH 02°53'30" WEST A CHORD DISTANCE OF 43.03 FEET;
- 4) NORTH 04°33'29" WEST, A DISTANCE OF 217.83 FEET TO A POINT OF CURVATURE;
- 5) ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 49.23 FEET, SAID CURVE HAVING A RADIUS OF 30.00 FEET, A CENTRAL ANGLE OF 94°01'51", AND A CHORD WHICH BEARS NORTH 42°27'27" EAST A CHORD DISTANCE OF 43.89 FEET;
- 6) NORTH 04°33'21" WEST, A DISTANCE OF 15.04 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 346,479 SQUARE FEET OR 7.95 ACRES, MORE OR LESS

**BASIS OF BEARING**

BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, AS MONUMENTED AT BOTH THE NORTHWEST QUARTER CORNER AND THE NORTH QUARTER CORNER BY 3.25" ALUMINUM CAPS, ASSUMED TO BEAR SOUTH 89°29'00" WEST.

**VERTICAL DATUM/BENCHMARK:**

BENCHMARK IS THE NW CORNER SECTION 15, T6S S R66W, BEING A 3.5" ALUMINUM CAP LS 19003 1999 IN RANGE BOX,

ELEVATION=5806.79' NAVD 88.

**SURVEY PREPARED BY:**

HARRIS KOCHER SMITH  
 1120 LINCOLN STREET, SUITE 1000  
 DENVER, CO 80203  
 PHONE: 303-623-6300  
 BRANDON E. ANDERSON, PLS 38484

DATE OF SURVEY: AUGUST 11, 2021

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING

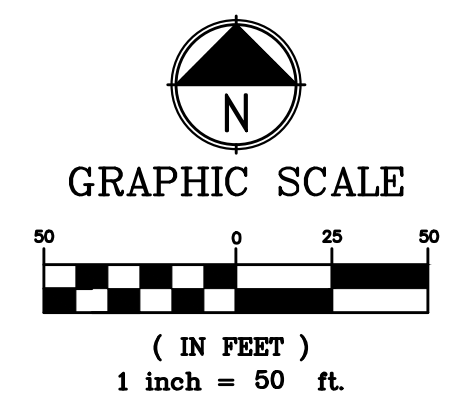
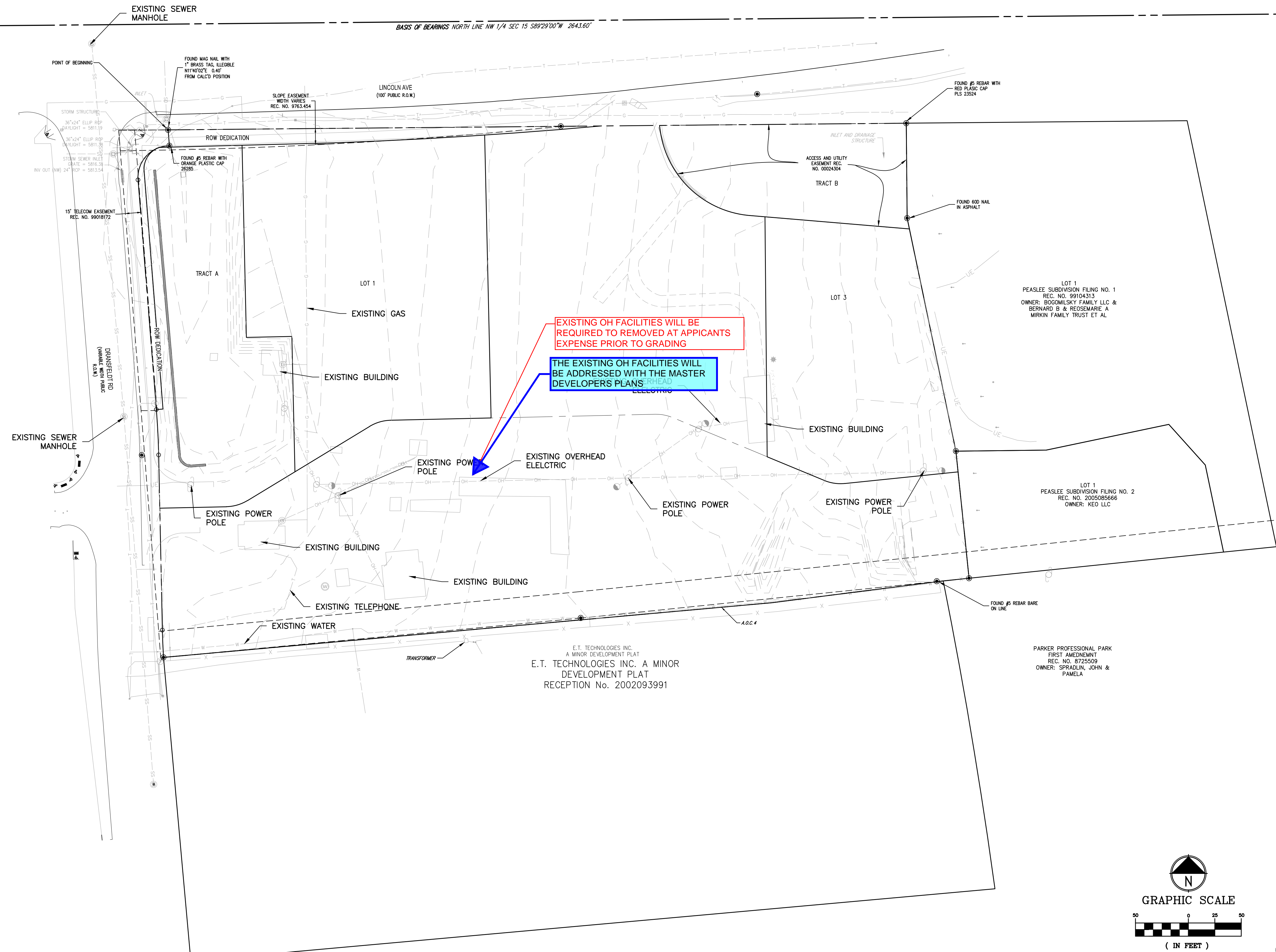
DATE

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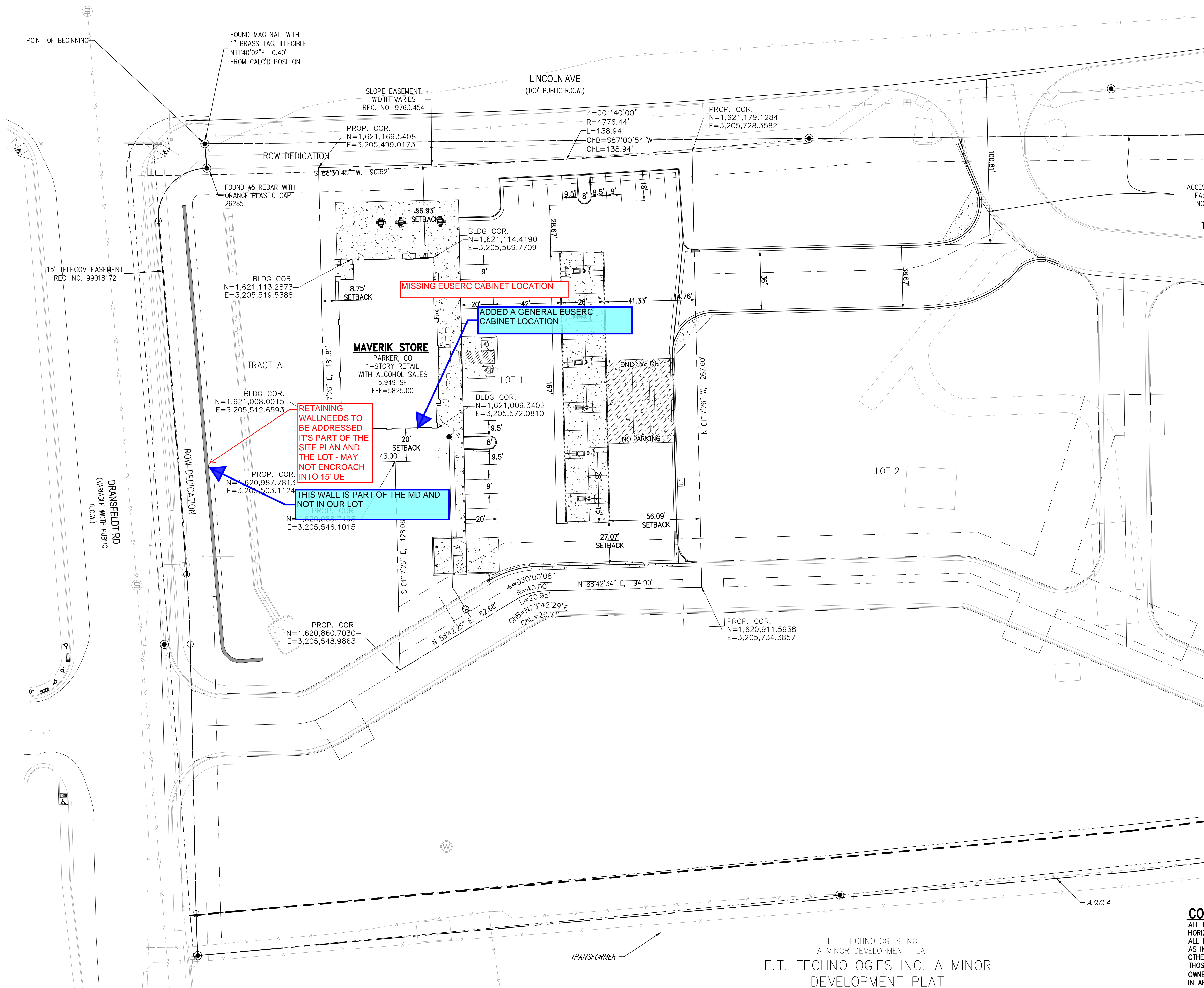
No.	Date	Description

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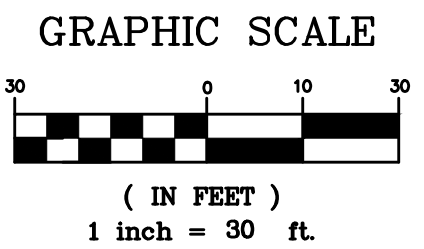


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 LINCOLN AVE. AND DRANSFELDT RD.  
 PARKER, CO



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**HORIZONTAL CONTROL PLAN**

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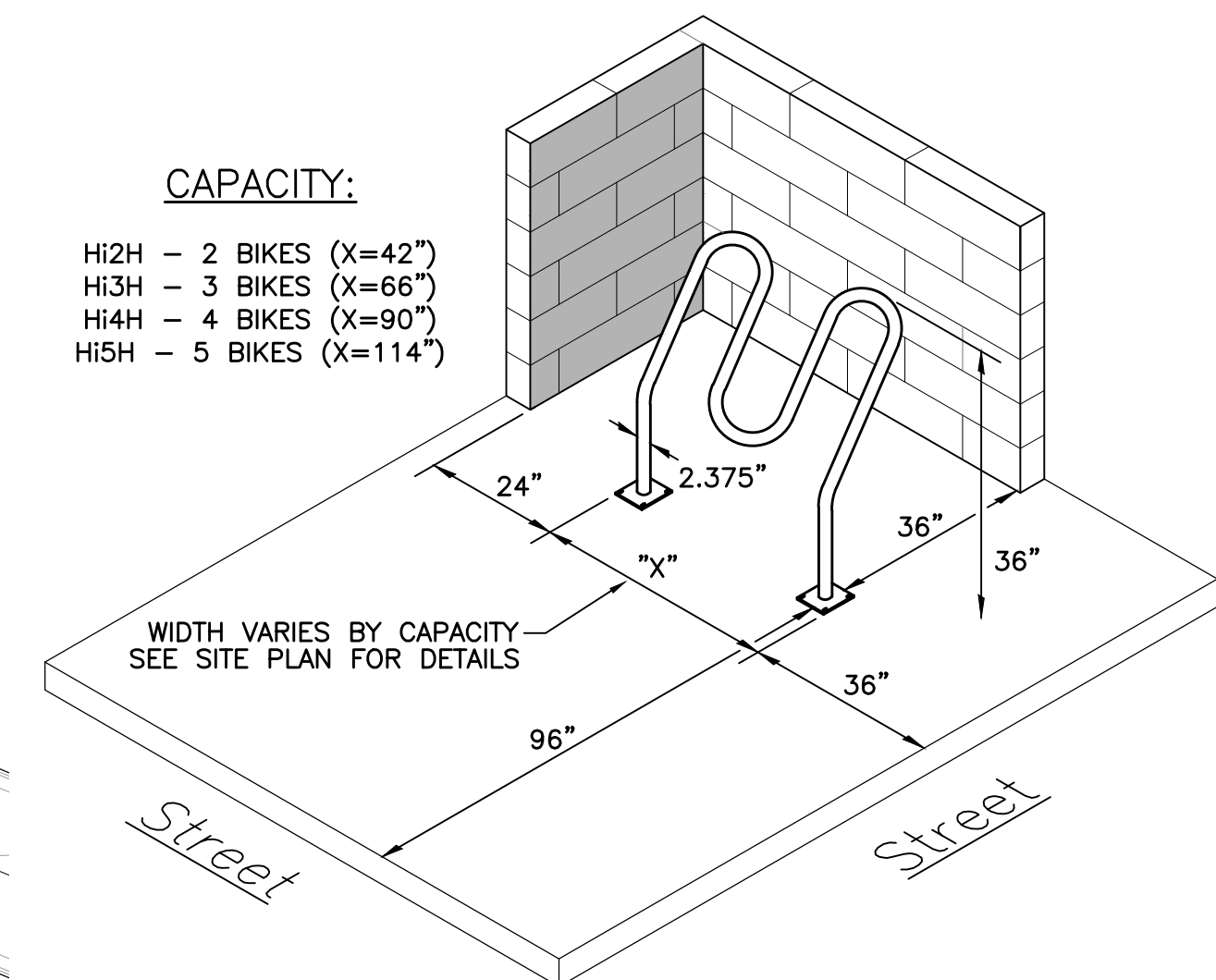
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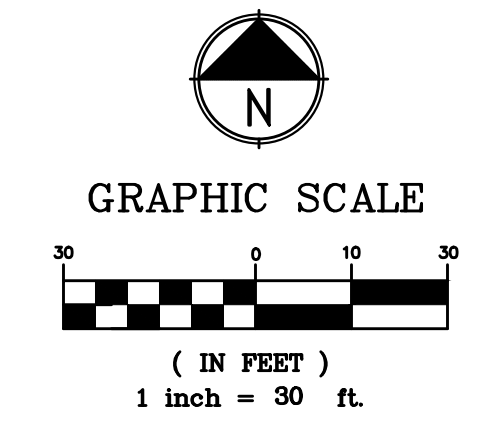
**MAVERIK INC. STORE**  
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**EDCI**  
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 1331 17TH STREET • SUITE 605  
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 WEBSITE: www.edci-engineers.com  
 CIVIL / STRUCTURAL  
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- KEYED NOTES:**
- 1 NEW LIGHT POLE AND BASE PER MAVERIK STANDARD DETAIL SF-6
  - 2 NEW REBOUNDING BOLLARDS IN FRONT OF EACH PARKING SPACE ALONG THE FACE OF BUILDING PER MAVERIK STANDARD DETAIL SF-4
  - 3 NEW HOOP BOLLARDS PER MAVERIK STANDARD DETAIL SF-2
  - 4 NEW TRASH ENCLOSURE PER DETAILS 1-3
  - 5 NEW HI-ROLLER BIKE RACK PER MAVERIK STANDARD DETAIL SF-8
  - 6 NEW CATCH CURB AND GUTTER PER MAVERIK STANDARD DETAIL C-6
  - 7 NEW SPILL CURB AND GUTTER PER MAVERIK STANDARD DETAIL C-7
  - 8 NEW RUNOUT PAD AND MOUNTABLE CURB PER MAVERIK STANDARD DETAIL C-8
  - 9 NEW FUEL DISPENSER BASE PER MAVERIK STANDARD DETAIL SF-7
  - 10 NEW XACTAIR STATION FOUNDATION PER MAVERIK STANDARD DETAIL SF-9
  - 11 NEW ADA PARKING PER MAVERIK STANDARD DETAIL SF-11
  - 12 PAINTED ADA PARKING SYMBOL PER MAVERIK STANDARD DETAIL SF-12
  - 13 NEW UNDERGROUND STORAGE TANKS
  - 14 NEW FUEL CANOPY AND FUEL DISPENSERS - STACKED FORECOURT PER MAVERIK STANDARD DETAIL ST-6
  - 15 NEW TRUNCATED DOMES
  - 16 ADA ADJUSTABLE SIGNAGE SLEEVE IN BOLLARD
  - 17 ADA FUEL DISPENSER WITH SIGN
  - 18 NEW CONCRETE PAD FOR ELECTRICAL TRANSFORMER
  - 19 5 FOOT CURB TRANSITION FROM MOUNTABLE TO VERTICAL CURB
  - 20 ADA PATH TO ADA ACCESSIBLE FUEL PUMP (REFERENCE ONLY NO STRIPPING)
  - 21 NEW 4' WIDE CROSSSPAN PER \_\_\_\_\_



**HIGH ROLLER BIKE RACK DETAIL**



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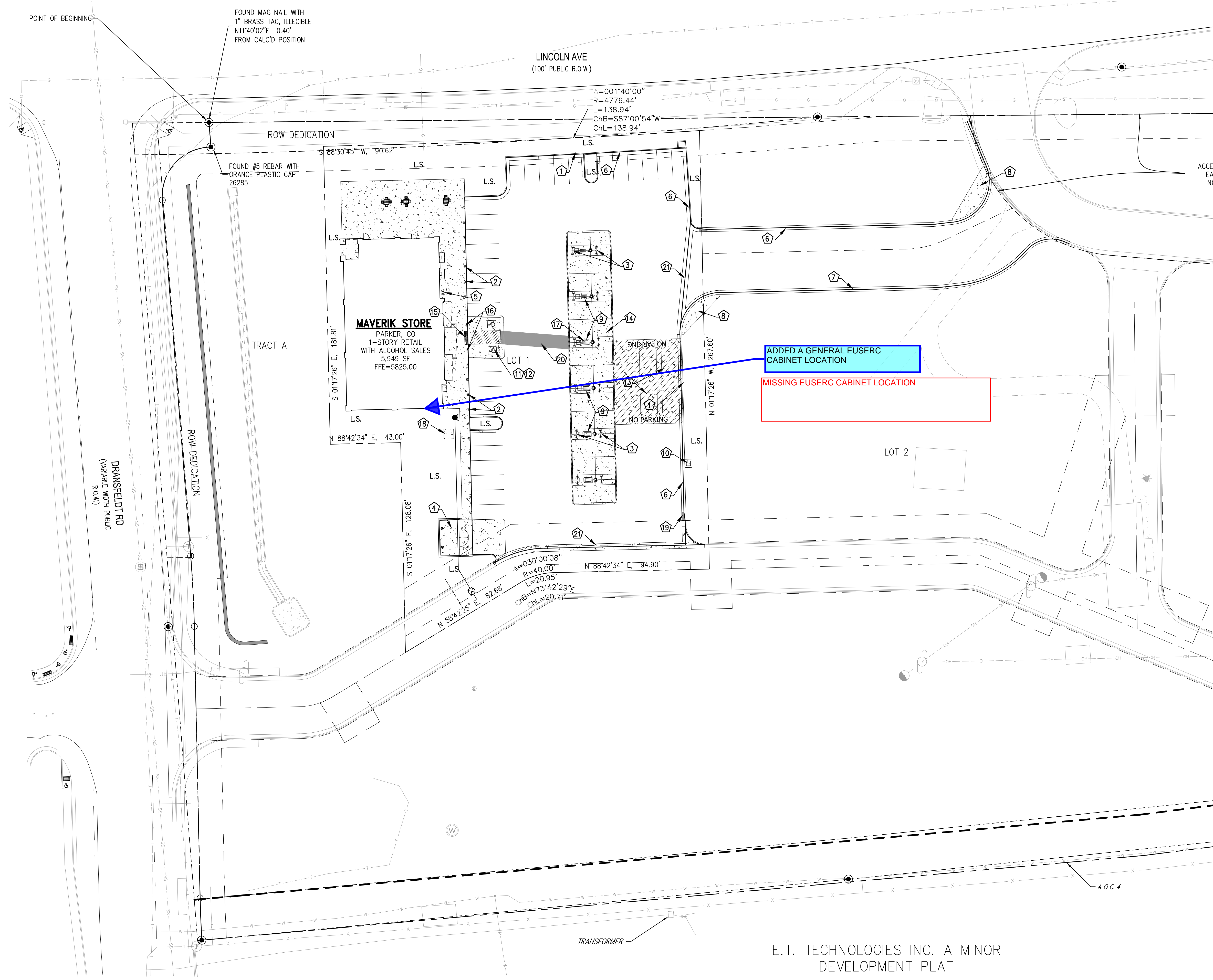
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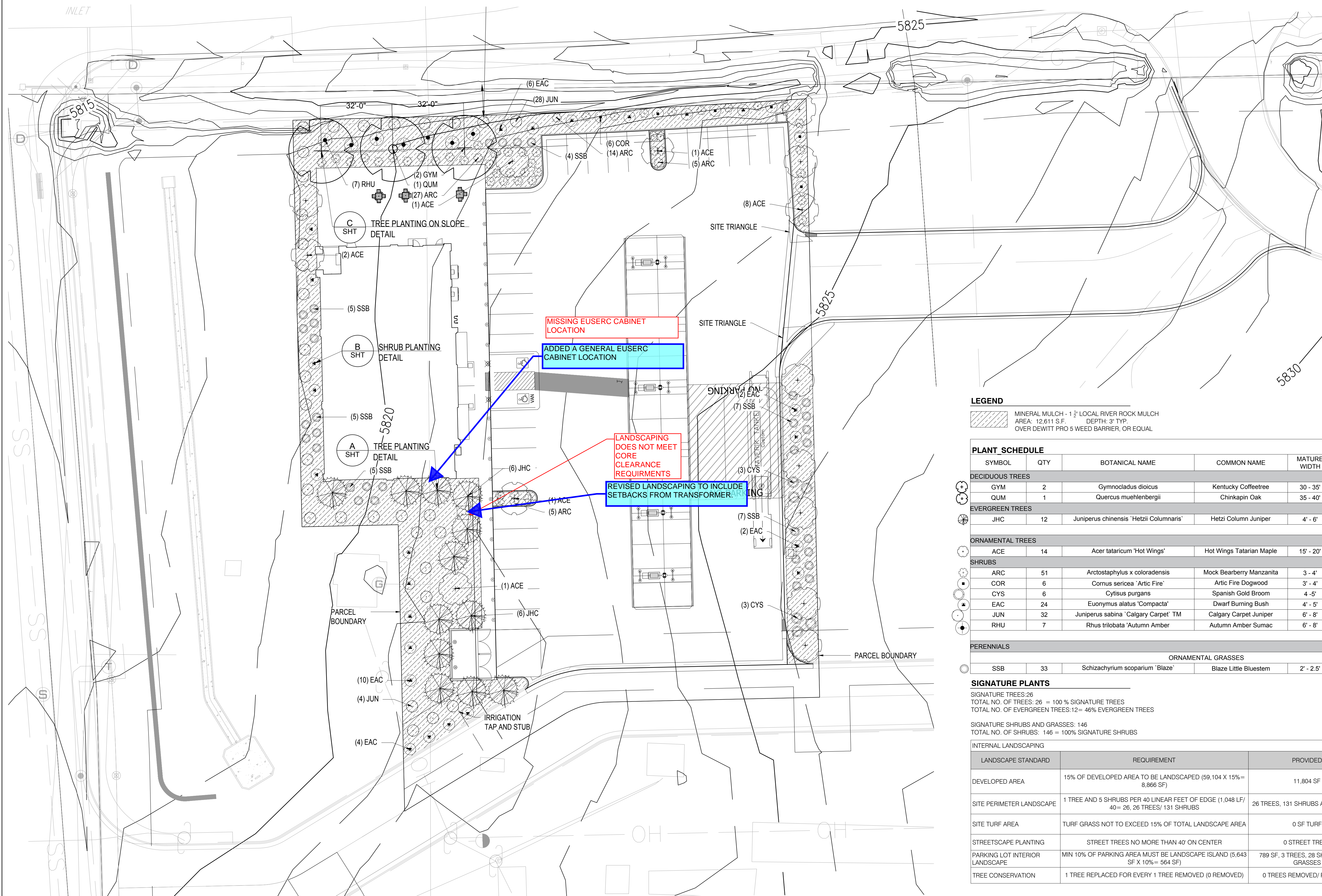
E.T. TECHNOLOGIES INC. A MINOR DEVELOPMENT PLAT

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**LEGEND**

MINERAL MULCH - 1 1/2" LOCAL RIVER ROCK MULCH  
AREA: 12,611 S.F. DEPTH: 3" TYP.  
OVER DEWITT PRO 5 WEED BARRIER, OR EQUAL

**PLANT SCHEDULE**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	MATURE WIDTH	SIZE	SPACING	REMARKS
<b>DECIDUOUS TREES</b>							
GYM	2	Gymnocladus dioicus	Kentucky Coffeetree	30' - 35'	2" cal.	As Shown	B&B
QUM	1	Quercus muehlenbergii	Chinkapin Oak	35' - 40'	2" cal.	As Shown	B&B
<b>EVERGREEN TREES</b>							
JHC	12	Juniperus chinensis 'Hetzi Columnaris'	Hetzi Column Juniper	4' - 6'	7 gal	As Shown	Cont.
<b>ORNAMENTAL TREES</b>							
ACE	14	Acer tataricum 'Hot Wings'	Hot Wings Tatarian Maple	15' - 20'	6" Clump	As Shown	B&B
<b>SHRUBS</b>							
ARC	51	Arctostaphylos x coloradensis	Mock Bearberry Manzanita	3' - 4'	5 gal	48" o.c.	
COR	6	Cornus sericea 'Artic Fire'	Artic Fire Dogwood	3' - 4'	5 gal	60" o.c.	
CYS	6	Cylisus purgans	Spanish Gold Broom	4' - 5'	5 gal	60" o.c.	
EAC	24	Euonymus alatus 'Compacta'	Dwarf Burning Bush	4' - 5'	5 gal	60" o.c.	
JUN	32	Juniperus sabina 'Calgary Carpet' TM	Calgary Carpet Juniper	6' - 8'	5 gal	60" o.c.	
RHU	7	Rhus trilobata 'Autumn Amber'	Autumn Amber Sumac	6' - 8'	5 gal	60" o.c.	
<b>PERENNIALS</b>							
<b>ORNAMENTAL GRASSES</b>							
SSB	33	Schizachyrium scoparium 'Blaze'	Blaze Little Bluestem	2' - 2.5'	5 gal	48" o.c.	

**SIGNATURE PLANTS**

SIGNATURE TREES: 26  
TOTAL NO. OF TREES: 26 = 100% SIGNATURE TREES  
TOTAL NO. OF EVERGREEN TREES: 12 = 46% EVERGREEN TREES

SIGNATURE SHRUBS AND GRASSES: 146  
TOTAL NO. OF SHRUBS: 146 = 100% SIGNATURE SHRUBS

LANDSCAPE STANDARD	REQUIREMENT	PROVIDED
DEVELOPED AREA	15% OF DEVELOPED AREA TO BE LANDSCAPED (59,104 X 15% = 8,866 SF)	11,804 SF
SITE PERIMETER LANDSCAPE	1 TREE AND 5 SHRUBS PER 40 LINEAR FEET OF EDGE (1,048 LF / 40 = 26, 26 TREES / 131 SHRUBS)	26 TREES, 131 SHRUBS AND GRASSES
SITE TURF AREA	TURF GRASS NOT TO EXCEED 15% OF TOTAL LANDSCAPE AREA	0 SF TURF
STREETSCAPE PLANTING	STREET TREES NO MORE THAN 40' ON CENTER	0 STREET TREES
PARKING LOT INTERIOR LANDSCAPE	MIN 10% OF PARKING AREA MUST BE LANDSCAPE ISLAND (5,643 SF X 10% = 564 SF)	789 SF, 3 TREES, 28 SHRUBS AND GRASSES
TREE CONSERVATION	1 TREE REPLACED FOR EVERY 1 TREE REMOVED (0 REMOVED)	0 TREES REMOVED / REPLACED