

# LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1 MAVERIK INC. STORE SITE PLAN

SITUATED IN THE NORTHWEST ¼ OF SECTION 15,  
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER

21-122-0001

ISSUE DATE:

March 10, 2022

REVISIONS:

No.	Date	Description
1	5-24-22	CITY REVIEW
2	7-13-22	CITY REVIEW

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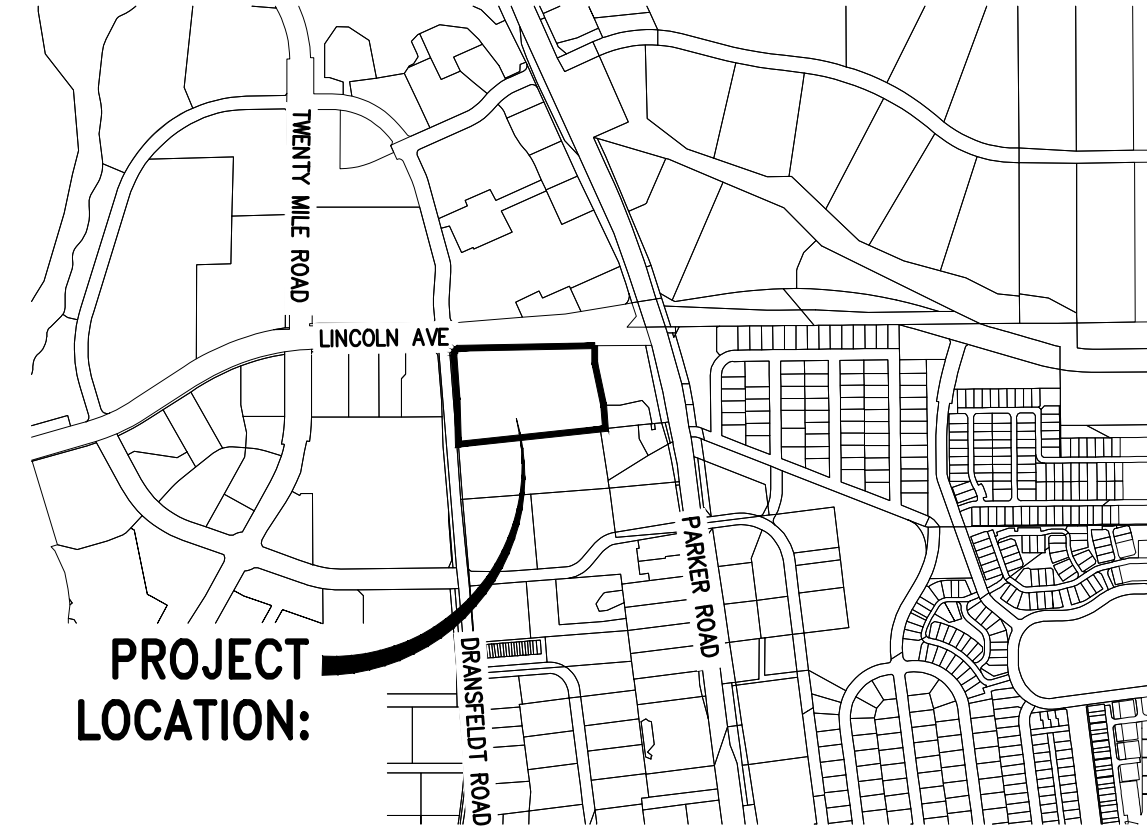
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## LEGEND:

NEW SANITARY SEWER LINE	
EXT. SANITARY SEWER LINE	
NEW STORM DRAIN LINE	
EXT. STORM DRAIN LINE	
NEW WATER LINE	
EXIST. WATER LINE	
NEW & EXIST. CATCH BASIN	
NEW & EXIST. AREA DRAIN	
STORM DRAIN MANHOLE	
SANITARY SEWER MANHOLE	
NEW & EXIST. CLEANOUT (SD & SSWR)	
NEW ROOF DOWNSPOUT	
NEW & EXIST. GAS METER	
NEW & EXIST. FIRE HYDRANT	
NEW & EXIST. WATER METER	
NEW & EXIST. WATER VALVE	
FITTING WITH THRUST BLOCK	
SURFACE WATER & PIPE DIRECTION FLOW	
EXISTING CONTOUR	
NEW CONTOUR	
EXISTING SURFACE ELEVATION	
FINISHED SURFACE ELEVATION	
TOP OF WALL/TOE OF WALL	
RIP RAP	
NEW CEMENT CONCRETE	
COORDINATES, & LEADERS	
NEW CONCRETE CURB	
NEW CONCRETE CURB & GUTTER	

## ABBREVIATIONS:

ACP	ASPHALT CONCRETE PAVEMENT	GV	GATE VALVE
AD	AREA DRAIN	HDPE	HIGH DENSITY POLYETHYLENE
BLDG	BUILDING	HYD	HYDRANT
BM	BENCHMARK	I.E.	INVERT ELEVATION
BNDRY	BOUNDARY	INV	INVERT
BOW	BOTTOM OF WALL	IRR	IRRIGATION WATER
CTV	CABLE TV	LF	LINEAR FEET
C&G	CURB AND GUTTER	MH	MANHOLE
CB	CATCH BASIN	MJ	MECHANICAL JOINT
CL	CLASS	P	POWER
CL	CENTER LINE	PIV	POST INDICATOR VALVE
CMP	CORRUGATED METAL PIPE	PP	POWER POLE
CONC.	CONCRETE	PL	PROPERTY LINE
CPEP	CORRUGATED POLYETHYLENE PIPE	RAD (R)	RADIUS
CTR	CENTER(ED)	RCP	REINFORCED CONCRETE PIPE
DCVA	DOUBLE CHECK VALVE ASSEMBLY	RD	ROAD
DDCV	DOUBLE DETECTOR CHECK VALVE	RET	RETAINING
D.I.	DUCTILE IRON	ROW	RIGHT OF WAY
DIA (ø)	DIAMETER	SD	STORM DRAIN
DIM	DIMENSION	S.F.	SQUARE FEET
DS	DOWN SPOUT	SS	SANITARY SEWER
EL.=	ELEVATION	STA	STATION
EOP	EDGE OF PAVEMENT	TOE	TOE OF WALL, OR SLOPE
FD	FLOOR DRAIN	T	TELEPHONE WIRE
FDC	FIRE DEPARTMENT CONNECTION	TBM	TEMPORARY BENCH MARK
FFE	FINISH FLOOR ELEVATION	T.C.	TOP OF CURB
FH	FIRE HYDRANT FL FLANGED	TG	TOP OF GRATE
G	GAS MAIN	TOP	TOP OF SLOPE
GB	GRADE BREAK	TOW	TOP OF WALL
GM	GAS METER	TV	TELEVISION WIRE
GRD	GRADE		



VICINITY MAP  
SCALE: 1"=1000'

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## LEGAL DESCRIPTION

LINCOLN PROFESSIONAL PARK FILING 1, LOT 1

## BASIS OF BEARING

BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN. AS MONUMENTED AT BOTH THE NORTHWEST QUARTER CORNER AND THE NORTH QUARTER CORNER BY 3.25" ALUMINUM CAPS, ASSUMED TO BEAR SOUTH 89°29'00" WEST.

## VERTICAL DATUM/BENCHMARK:

BENCHMARK IS THE NW CORNER SECTION 15, T6S S R66W, BEING A 3.5" ALUMINUM CAP LS 19003 1999 IN RANGE BOX.

ELEVATION=5806.79' NAVD 88.

## SITE DATA:

ZONING: COMMERCIAL			
LAND USE	(SF)	(AC)	(% TOTAL)
BUILDING AREA	6,089	0.14	10.30%
FUEL CANOPY	4,290	0.10	7.26%
INTERNAL DRIVES/PARKING	26,875	0.62	45.48%
CONCRETE/SIDEWALKS	9,326	0.21	15.78%
LANDSCAPE	12,515	0.29	21.18%
<b>TOTAL</b>	<b>59,095</b>	<b>1.36</b>	<b>100.00%</b>
PARKING		REQUIRED	PROVIDED
VEHICLE STALLS		24	29
(1 PARKING SPACE/250 SF OF BLDG SPACE)			
ADA/VAN ACCESSIBLE STALLS		2	2
TOTAL STALLS		26	31
BICYCLE PARKING		2	2

## PROJECT TEAM:

### DEVELOPER/APPLICANT:

MAVERIK INC.  
185 S. STATE STREET, SUITE 800  
SALT LAKE CITY, UT 84111  
CONTACT: CASSIE YOUNGER  
PHONE: (801) 936-5557

### CIVIL ENGINEER:

DCI ENGINEERS  
1331 17TH STREET SUITE 605  
DENVER, CO 80202  
CONTACT: MANNY NUNO, P.E.  
PHONE: (720) 464-7728

### LANDSCAPE ARCHITECT:

RUSSELL MILLS STUDIO  
2245 CURTIS STREET SUITE 100  
DENVER, CO 80205  
CONTACT: MATE STARK, R.L.A.  
PHONE: (303) 709-0704

### APPLICANT:

DCI ENGINEERS  
1331 17TH STREET, SUITE 605  
DENVER, COLORADO 80202  
MANUEL NUNO P.E. (720) 439-4700

## CONTRACTOR NOTE:

ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEYS FURNISHED BY OTHERS. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEYS. CONTACT THE UTILITY OWNER/AGENCY FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION.



**MAVERIK INC. STORE**  
**LINCOLN AVE. AND DRANSFELDT RD.**  
**PARKER, CO**  
**SITE PLAN**

**DCI ENGINEERS**  
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DENVER, COLORADO 80202  
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WEBSITE: www.dci-engineers.com  
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COVER SHEET

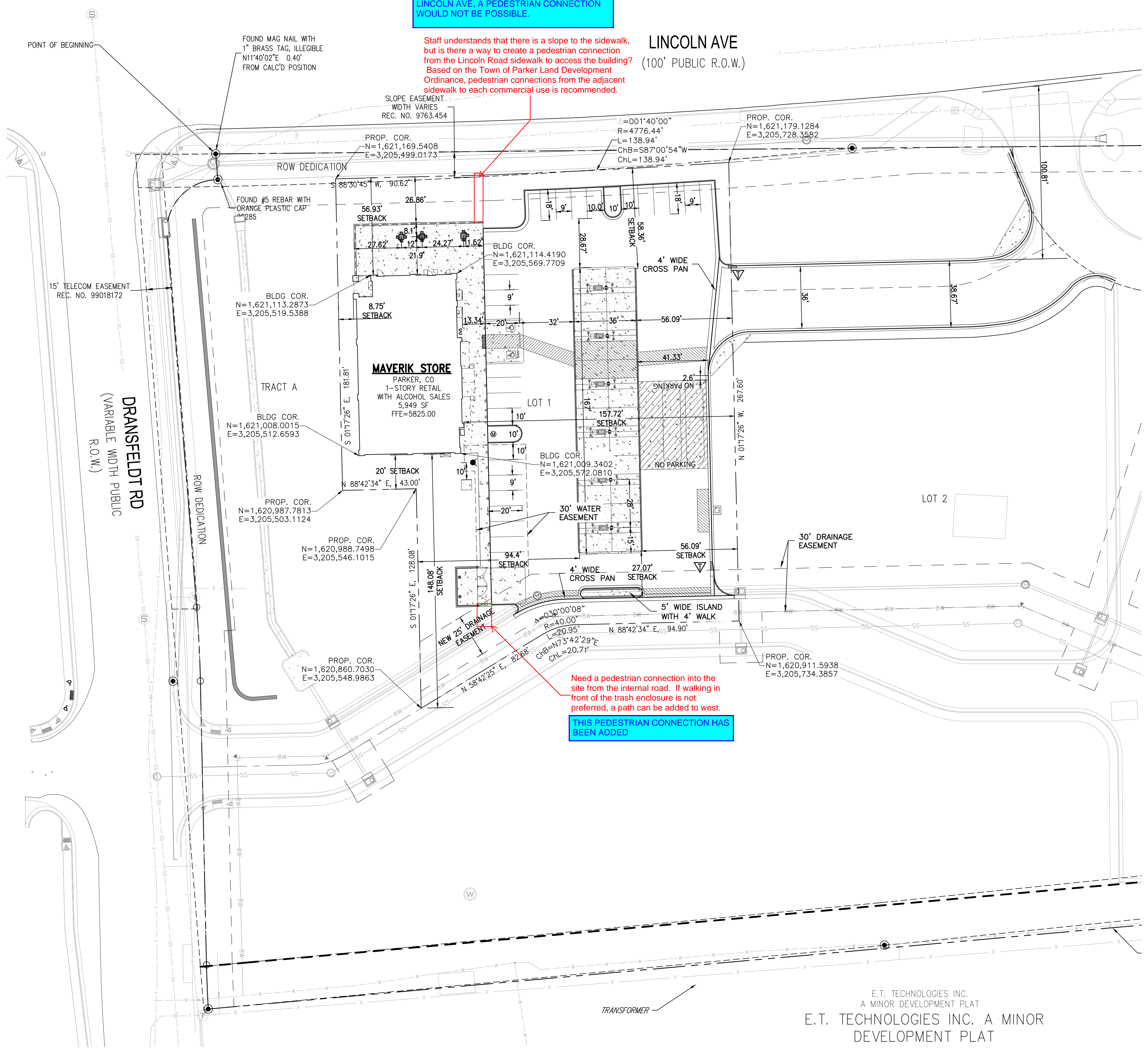
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N OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

**DUE TO THE 16% SLOPE FROM THE PARKING AREA TO THE BACK OF WALK ALONG LINCOLN AVE, A PEDESTRIAN CONNECTION WOULD NOT BE POSSIBLE.**

Staff understands that there is a slope to the sidewalk, but is there a way to create a pedestrian connection from the Lincoln Road sidewalk to access the building? Based on the Town of Parker Land Development Ordinance, pedestrian connections from the adjacent sidewalk to each commercial use is recommended.

Need a pedestrian connection into the site from the internal road. If walking in front of the trash enclosure is not preferred, a path can be added to west.  
**THIS PEDESTRIAN CONNECTION HAS BEEN ADDED**

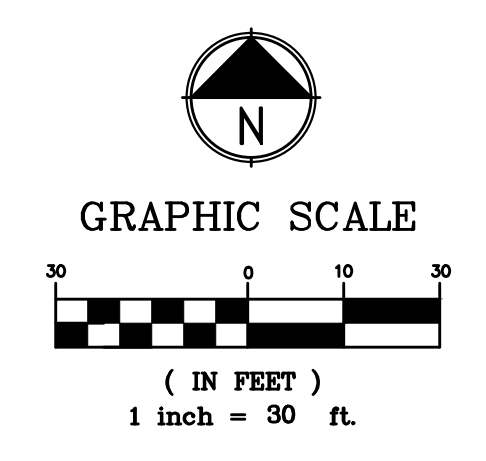


### LEGEND:

- NEW CEMENT CONCRETE
- NEW MOUNTABLE CURB
- NEW CATCH/SPILL CURB AND GUTTER
- CURB & GUTTER TRANSITION
- NEW RETAINING WALL
- PEDESTRIAN/ADA ACCESS ROUTE

### BASIS OF BEARING

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HORIZONTAL CONTROL PLAN

Plot Date: 2022-08-26 File Location: O:\2020-Denver\DC-Civil\Projects\2021\122-0001\Maverik Lincoln and Dransfeldt\122-0001 SITE.dwg

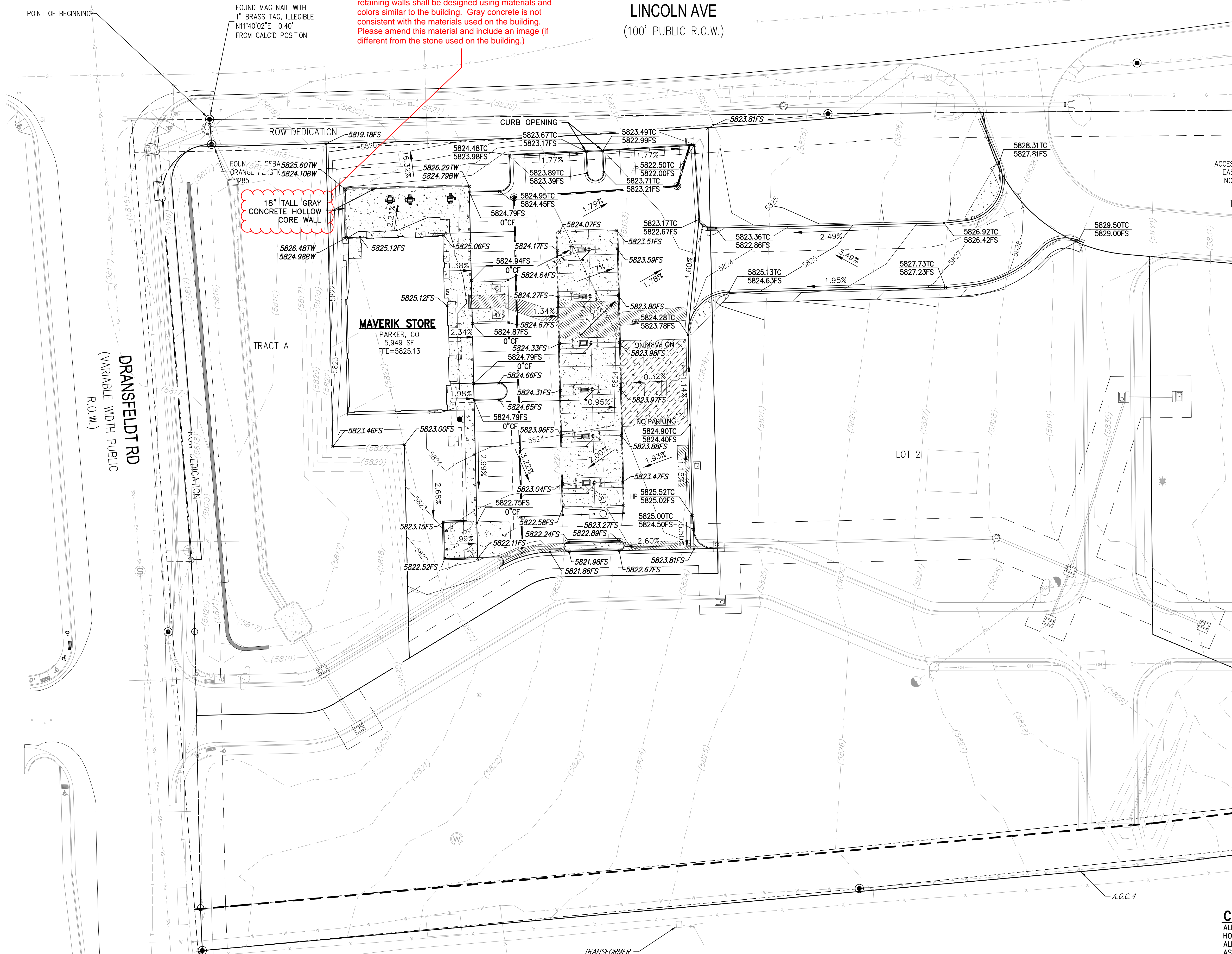
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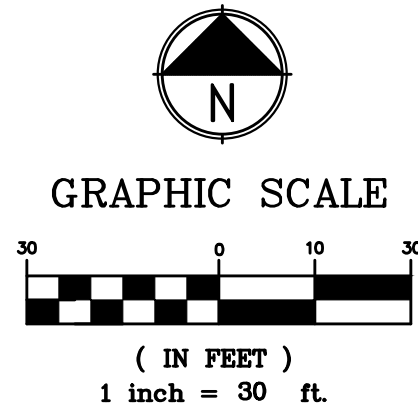
LINCOLN AVE  
(100' PUBLIC R.O.W.)

A DETAIL OF THIS WALL HAS BEEN PROVIDED BY THE ARCHITECT AND HAS BEEN INSERTED IN THIS SHEET. IT SHOWS THE MATERIALS BEING USED WILL MATCH THE EXTERIOR OF THE BUILDING

Thank you for including additional details, but please also include an image of the concrete on this page. All retaining walls shall be designed using materials and colors similar to the building. Gray concrete is not consistent with the materials used on the building. Please amend this material and include an image (if different from the stone used on the building.)



**VERTICAL DATUM/BENCHMARK:**  
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GRADING PLAN

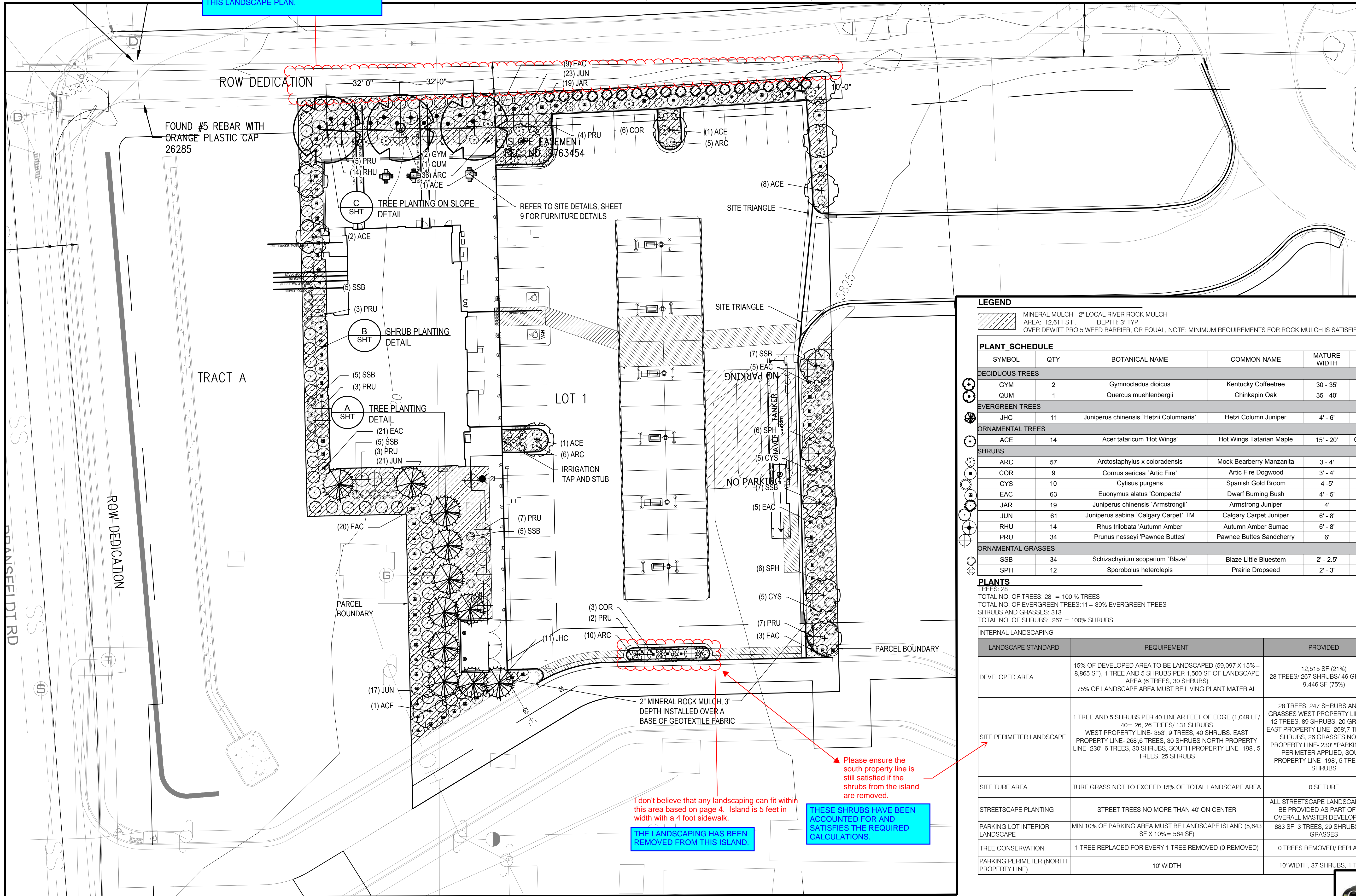
Plot Date: 2022-08-26 File Location: O:\2020-Denver\DC-Civil\Projects\2021\122-0001\Maverik Lincoln and Dransfeldt\122-0001 SITE.dwg

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Please note that any area adjacent to the property will need to be landscaped and maintenance will be the responsibility of the property owner. If landscaping between the back of the sidewalk and the property line is not provided as part of the MDP, it will need to be shown on this Site Plan. If additional area will need to be landscaped, a continuation of what is proposed would be recommended.

THE MASTER DEVELOPER'S LANDSCAPING HAS BEEN PROVIDED AND IS INCLUDED IN THIS LANDSCAPE PLAN.



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MAVERIK INC. STORE  
LINCOLN AVE. AND DRANSFELDT RD.  
PARKER, CO  
SITE PLAN

### LEGEND

MINERAL MULCH - 2" LOCAL RIVER ROCK MULCH  
AREA: 12,611 SF. DEPTH: 3" TYP.  
OVER DEWITT PRO 5 WEED BARRIER, OR EQUAL. NOTE: MINIMUM REQUIREMENTS FOR ROCK MULCH IS SATISFIED

### PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	MATURE WIDTH	SIZE	SPACING	REMARKS
<b>DECIDUOUS TREES</b>							
GYM	2	Gymnocladus dioica	Kentucky Coffeetree	30 - 35'	2" cal.	As Shown	B&B
QUM	1	Quercus muehlenbergii	Chinkapin Oak	35 - 40'	2" cal.	As Shown	B&B
<b>EVERGREEN TREES</b>							
JHC	11	Juniperus chinensis 'Hetzi Columnaris'	Hetzi Column Juniper	4' - 6'	7 gal	As Shown	Cont.
<b>ORNAMENTAL TREES</b>							
ACE	14	Acer tataricum 'Hot Wings'	Hot Wings Tatarian Maple	15' - 20'	6' Clump	As Shown	B&B
<b>SHRUBS</b>							
ARC	57	Arctostaphylos x coloradensis	Mock Bearberry Manzanita	3 - 4'	5 gal	48" o.c.	Cont.
COR	9	Cornus sericea 'Artic Fire'	Artic Fire Dogwood	3' - 4'	5 gal	60" o.c.	Cont.
CYS	10	Cytisus purgans	Spanish Gold Broom	4 - 5'	5 gal	60" o.c.	Cont.
EAC	63	Euonymus alatus 'Compacta'	Dwarf Burning Bush	4' - 5'	5 gal.	60" o.c.	Cont.
JAR	19	Juniperus chinensis 'Armstrongii'	Armstrong Juniper	4'	7 gal	As Shown	Cont.
JUN	61	Juniperus sabinna 'Calgary Carpet' TM	Calgary Carpet Juniper	6' - 8'	5 gal	60" o.c.	Cont.
RHU	14	Rhus trilobata 'Autumn Amber'	Autumn Amber Sumac	6' - 8'	5 gal	60" o.c.	Cont.
PRU	34	Prunus nesseyi 'Pawnee Buttes'	Pawnee Buttes Sandcherry	6'	5 gal	60" o.c.	Cont.
<b>ORNAMENTAL GRASSES</b>							
SSB	34	Schizachyrium scoparium 'Blaze'	Blaze Little Bluestem	2' - 2.5'	5 gal	48" o.c.	Cont.
SPH	12	Sporobolus heterolepis	Prairie Dropseed	2' - 3'	5 gal	48" o.c.	Cont.

### PLANTS

TREES: 28  
TOTAL NO. OF TREES: 28 = 100% TREES  
TOTAL NO. OF EVERGREEN TREES: 11 = 39% EVERGREEN TREES  
SHRUBS AND GRASSES: 313  
TOTAL NO. OF SHRUBS: 267 = 100% SHRUBS

### INTERNAL LANDSCAPING

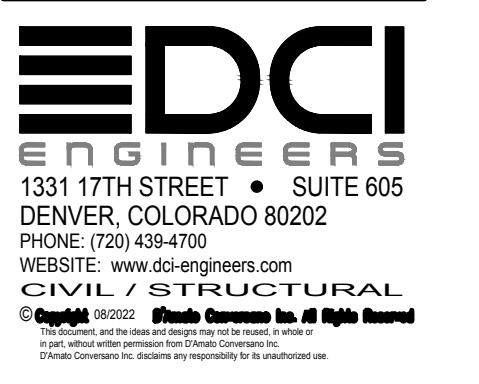
LANDSCAPE STANDARD	REQUIREMENT	PROVIDED
DEVELOPED AREA	15% OF DEVELOPED AREA TO BE LANDSCAPED (59,097 X 15% = 8,865 SF), 1 TREE AND 5 SHRUBS PER 1,500 SF OF LANDSCAPE AREA (6 TREES, 30 SHRUBS) 75% OF LANDSCAPE AREA MUST BE LIVING PLANT MATERIAL	12,515 SF (21%) 28 TREES/ 267 SHRUBS/ 46 GRASSES 9,446 SF (75%)
SITE PERIMETER LANDSCAPE	1 TREE AND 5 SHRUBS PER 40 LINEAR FEET OF EDGE (1,049 LF/ 40 = 26, 26 TREES/ 131 SHRUBS WEST PROPERTY LINE- 353', 9 TREES, 40 SHRUBS, EAST PROPERTY LINE- 268', 6 TREES, 30 SHRUBS NORTH PROPERTY LINE- 230', 6 TREES, 30 SHRUBS, SOUTH PROPERTY LINE- 198', 5 TREES, 25 SHRUBS	28 TREES, 247 SHRUBS AND 34 GRASSES WEST PROPERTY LINE- 353', 12 TREES, 89 SHRUBS, 20 GRASSES, EAST PROPERTY LINE- 268', 7 TREES, 37 SHRUBS, 26 GRASSES NORTH PROPERTY LINE- 230' *PARKING LOT PERIMETER APPLIED, SOUTH PROPERTY LINE- 198', 5 TREES, 32 SHRUBS
SITE TURF AREA	TURF GRASS NOT TO EXCEED 15% OF TOTAL LANDSCAPE AREA	0 SF TURF
STREETSCAPE PLANTING	STREET TREES NO MORE THAN 40' ON CENTER	ALL STREETSCAPE LANDSCAPE WILL BE PROVIDED AS PART OF THE OVERALL MASTER DEVELOPMENT
PARKING LOT INTERIOR LANDSCAPE	MIN 10% OF PARKING AREA MUST BE LANDSCAPE ISLAND (5,643 SF X 10% = 564 SF)	883 SF, 3 TREES, 29 SHRUBS AND GRASSES
TREE CONSERVATION	1 TREE REPLACED FOR EVERY 1 TREE REMOVED (0 REMOVED)	0 TREES REMOVED/ REPLACED
PARKING PERIMETER (NORTH PROPERTY LINE)	10' WIDTH	10' WIDTH, 37 SHRUBS, 1 TREE

I don't believe that any landscaping can fit within this area based on page 4. Island is 5 feet in width with a 4 foot sidewalk.

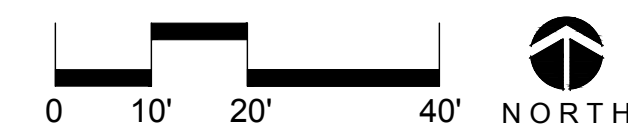
THE LANDSCAPING HAS BEEN REMOVED FROM THIS ISLAND.

Please ensure the south property line is still satisfied if the shrubs from the island are removed.

THESE SHRUBS HAVE BEEN ACCOUNTED FOR AND SATISFIES THE REQUIRED CALCULATIONS.



LANDSCAPE PLAN



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MASTER LUMINAIRE SCHEDULE							
TYPE	MANUFACTURER	CATALOG NUMBER	VOLTS	MOUNTING	LAMPS	BALLAST	WATTS
DESCRPT:		RECESSED BLACK LED DOWNLIGHT 8" APERTURE, 2900 LUMENS, 4K					
T-9C	LOTUS LED	LDBR-40K-HO-BR-BT	120	RECESSED	INCLUDED		30
T-9CB		SAME AS T-9C EXCEPT WITH EMERGENCY BATTERY					30
DESCRPT:		WHITE, CANOPY MOUNTED, CUTOFF LUMINAIRE, 103W LED, FLAT LENS, FOR SINGLE DECK CANOPIES (10,209 LUMENS)					
T-13	LSI	SCV LED 10L SC UNV DIM 40 WHT	UNV	CANOPY	INCLUDED		67
DESCRPT:		POLE MOUNTED, DARK BRONZE CUTOFF LUMINAIRE SINGLE HEAD, INTEGRAL LOUVER, LED, 18,930 LUMENS, 17.5FT SQUARE POLE (4", 11 GA.), 4K					
T-14	LSI	SLM LED 18L SIL 3 UNV 40 70 CRI BRZ IL	208	17"-6" POLE	INCLUDED		135
T-14A		SAME AS T-14 EXCEPT WITH TYPE IV DISTRIBUTION (FORWARD THROW)					135
DESCRPT:		4FT LED STRIP LUMINAIRE, FULLY RECESSED IN EXTERIOR COVE, WHITE, COLD WEATHER (0F), 2000 LUMENS, DAMP LISTED, LENS, 4K					
T-15	LSI	4FT LED STRIP LUMINAIRE	UNV	EXTERIOR COVE	INCLUDED		20

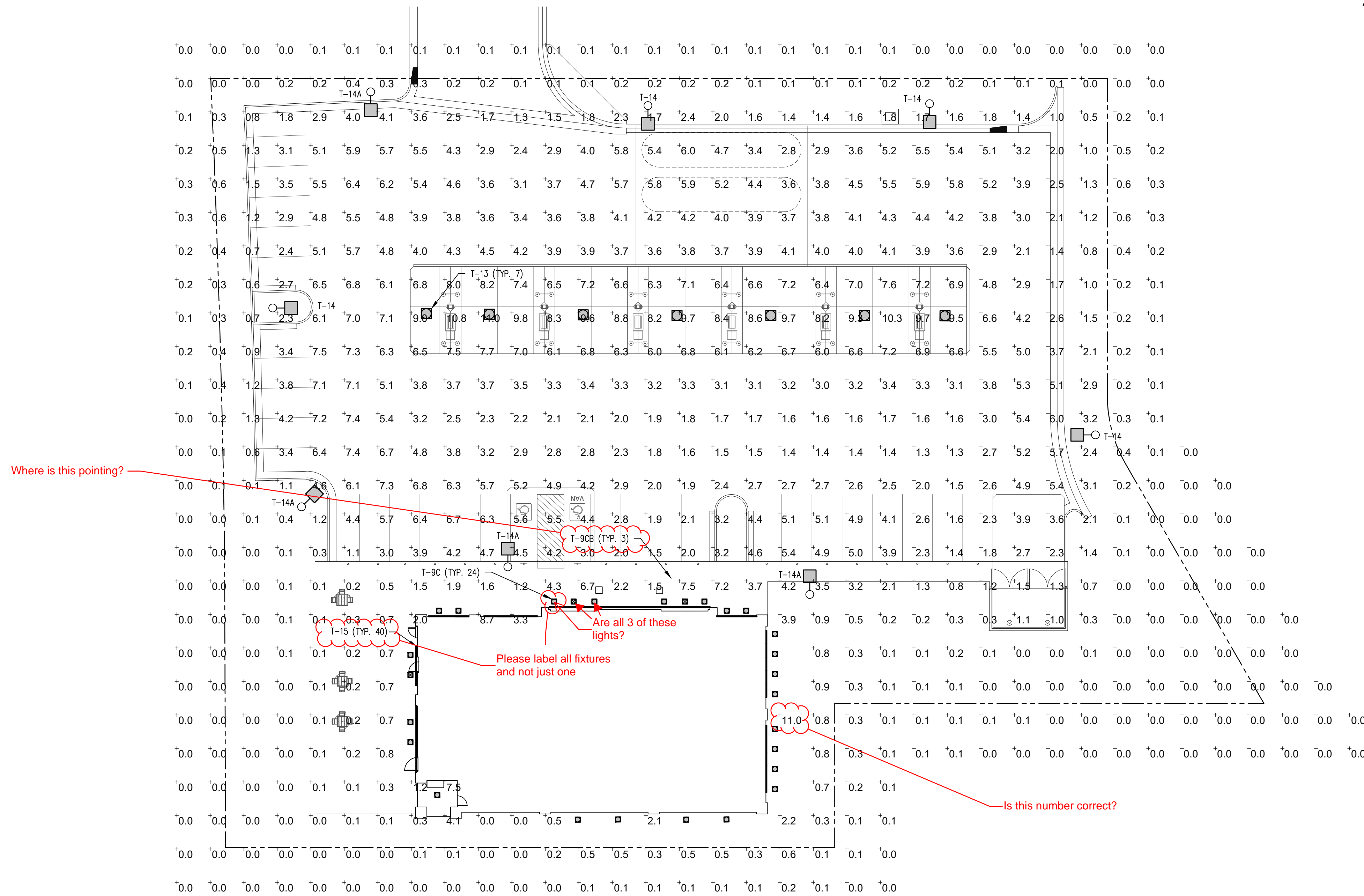
\*LUMINAIRES ARE PROVIDED BY OWNER, INSTALLED BY E.C. (REFERENCE SCHEDULE ON E-4.0)

Does the white color change the look of the

The T-15 luminaire housing is white and fully recessed in the cove making it essentially invisible. It will not change the look of the exterior.

### CALCULATION SUMMARY

AREA NAME	GRID / TYPE	SPAC	GROUP	AVE	MAX	MIN	MAX/MIN	AVE./MIN
OVERALL	0'-0" / H-H	10.00	<+>	2.3	11.0	0.00	N/A	N/A
PARKING	0'-0" / H-H	10.00	<+>	3.9	9.0	1.1	8.2:1	3.5:1



Where is this pointing?

### 1 SITE PHOTOMETRIC PLAN

E-1.2 SCALE: 1"=20'-0"

Are all 3 of these lights?  
Please label all fixtures and not just one

Is this number correct?



185 S. State Street  
Salt Lake City, Utah 84111

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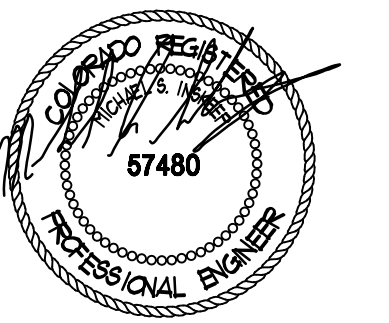
ARCHITECT:

ENGINEER:

**NEI**  
Nielson Engineering, Inc.  
Consulting Engineers  
156 North Twelfth Avenue  
Pocahontas, Idaho 83201  
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STAMP:



MAVERIK, INC.  
STORE #

LINCOLN AVENUE AND  
DRANSFELDT ROAD  
PARKER, CO

### REVISIONS

DESCRIPTION	DATE
CITY COMMENTS	7-21-22

DESIGNED BY: MJE DRAWN BY: MJE  
REVIEWED BY: MJE APPROVED BY: MSI  
PROTOTYPE VERSION: 50  
DRAWING ISSUE  
DATE: 2-23-22  
PROJECT NUMBER: 21337

SHEET NAME

PHOTOMETRIC PLAN

SHEET NUMBER

E-1.2

# LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1 MAVERIK INC. STORE SITE PLAN

SITUATED IN THE NORTHWEST ¼ OF SECTION 15,  
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



185 S. State Street  
Salt Lake City, Utah 84111

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ARCHITECT:



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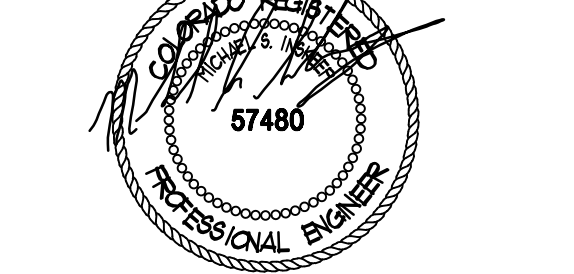
STAMP:  
Professional Engineer  
57480

DESIGNED BY: MJE DRAWN BY: MJE  
REVIEWED BY: MJE APPROVED BY: MSI

PROTOTYPE VERSION: 50  
DRAWING ISSUE  
DATE: 2-23-22  
PROJECT NUMBER: 21337

SHEET NAME  
LUMINAIRE CUT SHEETS

SHEET NUMBER  
E-1.4



MAVERIK, INC. STORE #

LINCOLN AVENUE AND  
DRANSFELDT ROAD  
PARKER, CO

FOR REVIEW AND PERMIT • FOR REVIEW AND PERMIT • FOR REVIEW AND PERMIT

## Slice Medium - SLM Outdoor LED Area Light

**Features & Specifications (Cont.)**

**Construction**

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square poles.
- Luminaire is proudly manufactured in the U.S. of U.S. and imported parts.
- IP66 rated luminaire protects integral components from harsh environments.
- 30 rated for ANSI C136.31 high vibration applications.
- Fixtures are finished with LSI's Durafinish® polyester powder coat finishing process. The Durafinish finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Contact factory.
- Shipping weight: 30 lbs in carton.

**Controls**

**Wireless Controls System**

To make this fixture AirLink ready, simply order one of the following options:

- The integrated **Wireless Lighting Controller: ALSC** or **ALSCH** (see ordering guide) as the controls option, or
- Integrated **Wireless Controller** option (above) with integrated motion sensor. **ALSC** (ordering guide for mounting heights) or
- The 7-pin **Photoelectric Control Receptacle: CR7P** as the controls option, and either the **5-2pin** or **7-2pin Twist Lock Controller: ALSC UNV TLS** or **ALSC UNV TL7** as an accessory.

To see how the components of AirLink system work together, reference the diagram in the controls section of this specsheet. For more information on our AirLink products, visit our website: [www.lsi-airlink.com/airlink-products/](http://www.lsi-airlink.com/airlink-products/)

**Stand-Alone Controls**

The integral passive infrared motion sensor (IMS) activates switching of luminaire light levels (see the controls section for more details).

- The 7-pin ANSI C136.41-2013 photocontrol receptacle option (CR7P) is available for twist lock photocontrols or wireless control modules.
- The Button Type Photoeye (PTC) are capable of switching luminaires ON/OFF in response to the amount of available daylight.

**Installation**

- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment for installing/servicing.
- Included terminal block provides quick and easy on-site wiring.
- Utilizes LSI's traditional 3" drill pattern for easy fastening of LSI products. (See drawing on page 1)

**Warranty**

- LSI LED Fixtures carry a 5-year warranty.

**Listings**

- Listed to UL 1598 and UL 8750.
- RoHS Compliant.
- American Recovery and Reinvestment Act Funding Compliant.
- DAA Compliant, with 3500K color temperature selections.
- The Button Type Photoeye (PTC) are capable of switching luminaires ON/OFF in response to the amount of available daylight.
- Suitable for wet Locations.
- IP66 rated Luminaire. IP66 rated optical chamber.
- 30 rated for ANSI C136.31 high vibration applications.

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## Slice Medium - SLM Outdoor LED Area Light

Catalog #: SLM LED 18L 91L FT UNV 40 70CRI BRZ Project: MAVERIK-T14A  
Prepared By: Date:

The Slice's sleek design makes it perfectly-suited for Commercial & Industrial applications, while its cost-effective die-cast aluminum housing makes its acquisition cost very competitive. The Slice offers high performance silicone optics, die cast aluminum housing, 42,000+ lumens and is available with integral Airlink Synapse controls.

**Features & Specifications**

**Optical System**

- State-of-the-art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, 5W, F and FA.
- Silicone optical material does not yellow or crack with age and provides a typical light transmission of 93%.
- Zero spillage.
- Available in 3000K, 4000K, 5000K, and 2700K color temperatures per ANSI C78.377. Also available in Phosphor Converted Amber, consult factory for availability.
- Minimum CRI of 70. Optional 80 CRI available, consult factory for lead time.
- Integral Louver (LI) option available for improved back-light control without sacrificing street performance. See page 5 for more details.

**Electrical**

- High-performance driver features over-voltage, under-voltage, short-circuit and over temperature protection.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (240-480 Vac).
- L80 Calculated Life >100k Hours (See Lumen Maintenance on Page 3)
- Total harmonic distortion <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F) 42L lumen package rated to +40°C.
- Power factor > 90
- Input power stays constant over life.
- Fault reportable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C82.41.2).
- High-efficiency LEDs mounted to metal-core circuit board to maximize heat dissipation.
- Terminal block provided accepts up to 10ga wire.
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

**Product Dimensions**

**DELIVERED LUMENS\***

Lumen Package	Distribution	CRI	3500K CCT			4000K CCT			5000K CCT			Wattage
			Delivered Lumens	Efficiency	BIG Rating	Delivered Lumens	Efficiency	BIG Rating	Delivered Lumens	Efficiency	BIG Rating	
2L	SW	70	8956	131	82-05-02	9427	138	82-05-02	9838	144	82-05-02	68
	FT	70	9088	133	82-05-02	9666	140	82-05-02	10053	146	82-05-02	
	FTA	70	8411	123	82-05-02	8975	130	82-05-02	9362	135	82-05-02	
3L	SW	70	9046	133	82-05-02	9532	140	82-05-02	9937	146	82-05-02	
	FT	70	8993	131	82-05-02	9466	138	82-05-02	9879	144	82-05-02	
	FTA	70	8853	132	82-05-01	9317	144	82-05-02	10210	150	82-05-02	
4L	SW	70	11942	137	82-05-02	12465	154	82-05-02	13009	160	82-05-02	
	FT	70	12077	139	82-05-02	12649	156	82-05-02	13202	162	82-05-02	
	FTA	70	11149	120	82-05-02	11735	138	82-05-02	12347	152	82-05-02	
5L	SW	70	11962	138	82-05-02	12591	155	82-05-02	13143	161	82-05-02	
	FT	70	11891	138	82-05-03	12517	154	82-05-03	13062	160	82-05-02	
	FTA	70	11967	139	82-05-02	12105	141	82-05-02	12681	147	82-05-02	
6L	SW	70	13722	149	82-05-02	14303	168	82-05-02	14948	171	82-05-02	
	FT	70	13764	151	82-05-02	14300	167	82-05-02	14935	170	82-05-02	
	FTA	70	12665	142	82-05-02	13263	156	82-05-02	13828	163	82-05-02	
7L	SW	70	17901	171	82-05-02	18543	187	82-05-02	19264	192	82-05-02	
	FT	70	17996	172	82-05-02	18732	190	82-05-02	19549	196	82-05-02	
	FTA	70	17960	171	82-05-02	18684	189	82-05-02	19519	194	82-05-02	
8L	SW	70	24122	238	82-05-02	24801	252	82-05-02	25519	257	82-05-02	
	FT	70	24043	238	82-05-02	24999	252	82-05-02	25768	258	82-05-02	
	FTA	70	22873	222	82-05-02	23667	235	82-05-02	24383	237	82-05-02	
9L	SW	70	24270	239	82-05-02	25010	253	82-05-02	25780	260	82-05-02	
	FT	70	24270	239	82-05-02	25010	253	82-05-02	25780	260	82-05-02	
	FTA	70	24270	239	82-05-02	25010	253	82-05-02	25780	260	82-05-02	
10L	SW	70	30313	299	82-05-02	31111	318	82-05-02	31913	320	82-05-02	
	FT	70	30313	299	82-05-02	31111	318	82-05-02	31913	320	82-05-02	
	FTA	70	28869	286	82-05-02	29687	300	82-05-02	30548	308	82-05-02	
11L	SW	70	36716	359	82-05-02	37570	379	82-05-02	38456	384	82-05-02	
	FT	70	36716	359	82-05-02	37570	379	82-05-02	38456	384	82-05-02	
	FTA	70	35100	345	82-05-02	35969	359	82-05-02	36944	369	82-05-02	
12L	SW	70	40471	397	82-05-02	41439	418	82-05-02	42434	424	82-05-02	
	FT	70	40471	397	82-05-02	41439	418	82-05-02	42434	424	82-05-02	
	FTA	70	38682	384	82-05-02	39717	397	82-05-02	40794	407	82-05-02	
13L	SW	70	47013	459	82-05-02	48091	481	82-05-02	49197	484	82-05-02	
	FT	70	47013	459	82-05-02	48091	481	82-05-02	49197	484	82-05-02	
	FTA	70	44959	438	82-05-02	46141	459	82-05-02	47361	462	82-05-02	
14L	SW	70	53654	521	82-05-02	54841	542	82-05-02	56054	545	82-05-02	
	FT	70	53654	521	82-05-02	54841	542	82-05-02	56054	545	82-05-02	
	FTA	70	51220	497	82-05-02	52541	519	82-05-02	53881	522	82-05-02	

\*LED Chips are frequently updated therefore values are nominal.

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	FTA	70	8853	132	82-05-01	9317	144	82-05-02	10210	150	82-05-02	
4L	SW	70	11942	137	82-05-02	12465	154	82-05-02	13009	160	82-05-02	
	FT	70	12077	139	82-05-02	12649	156	82-05-02	13202	162	82-05-02	
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