



Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

MEMORANDUM

TO: Cassie Younger, Maverik, Inc.
FROM: Stacey Nerger, Senior Planner
DATE: January 3, 2022
SUBJECT: SP21-133 Lincoln Professional Park Filing No. 1 Lot 1 Site Plan

Listed below are the Planning Division's comments related to your applications, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER: Stacey Nerger
EMAIL: snerger@parkeronline.org
PHONE: 303.805.3199

GENERAL PROJECT COMMENTS:

1. For your reference, any future approvals of this Site Plan are final. The Planning Division will use this plan set to determine compliance at the time of inspection for Certificate of Occupancy. Therefore, any changes to an approved Site Plan need to be reviewed and approved by the Planning Division through the appropriate process prior to inspection.
2. The Planning Division has referenced certain section of the Land Development Ordinance (LDO) and the Development Design Standards (DDS). A copy of these document are available at:
[LDO](#)
[DDS](#)
3. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
4. Signage was not reviewed, nor was it approved as part of this review. All signage will need to obtain a separate sign permit for all signage.
5. Prior to the approval of the replat, the applicant and the Town will need to have a signed Subdivision Improvement Agreement (SIA) in place. At the time of resubmittal, please provide the cost estimates so that staff may draft this agreement for your review.
6. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKIT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not refer the application out with this naming convention.
 - a. Example: "01 Site Plan"

General

1. Please see the attached redlines for additional information.

Comment Addressed: Yes No

Response:

2. Please create a cover page for the Site Plan set that includes the following:

- a. Vicinity Map
- b. Legal Description
- c. Contacts for Development (Developer, Engineer, Architect, etc.)
- d. Sheet Index
- e. Site Data Table (see below for more information)
- f. Any addition needed information

Comment Addressed: Yes No

Response:

3. Please include an existing conditions map (possible the second page) to show what is currently located on the property.

Comment Addressed: Yes No

Response:

4. Please add a Site Data Table that shows the proposed development on site. An example of what this could look like is:

SITE DATA:			
<i>ZONING: PD COMMERCIAL/OFFICE HOTEL DISTRICT</i>			
LAND USE	(SF)	(AC)	(% TOTAL)
BUILDING AREA	19,654	0.45	12.4
PERIMETER DRIVES	14,597	0.34	9.2
LOADING	7,279	0.17	4.6
INTERNAL DRIVES/PARKING	58,551	1.34	36.9
SIDEWALKS	13,537	0.31	8.5
LANDSCAPE (A)	47,871	1.10	30.1
TOTAL	158,792	3.65	100.0
PARKING	REQUIRED	PROVIDED	
VEHICLE STALLS (B)	66	150	
ADA/VAN ACCESSIBLE STALLS	2 STD + 1 VAN	4 STD + 1 VAN	
TOTAL VEHICLE STALLS	66	150	
BICYCLE PARKING (C)	4	4	

Comment Addressed: Yes No

Response:

5. Please change the title on all pages of the Site Plan to be the legal description for the property. This means the title should be Lincoln Professional Park Filing No. 1 Lot 1. An example of a title block for a different Site Plan looks like:

**PARKER AND PINE FILING NO. 2 LOTS 1-3
MULTI-FAMILY SITE PLAN**

LOTS 1-3 AND TRACTS A-C, PARKER AND PINE FILING 2
SITUATED IN THE SE 1/4 OF SECTION 9 AND THE SW 1/4 OF SECTION 10, T.6S., R.66W. OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

Comment Addressed: Yes No

Response:

6. Please add the setbacks from all property lines to the building and the canopy of the Site Plan set. Setbacks need to meet the minimum requirements of the C-Commercial Zone District Standards. The setbacks will also be important to include on the building permit.

Comment Addressed: Yes No

Response:

Parking

1. Pursuant to the Town of Parker Land Development Ordinance Section 13.06.050 a “Convenience service establishment” requires 1 parking space for each 250 square feet of net leasable area. Based on the 4,425 square feet of building, this would require a minimum of 18 parking spaces. Currently, the site plan shows approximately 32 parking spaces. Can some of these spaces be removed?

Comment Addressed: Yes No

Response:

2. Pursuant to the LDO Section 13.06.050(f) Parking spaces shall be nine (9) feet in width and eighteen (18) feet in length, with an unobstructed front-end overhang. Please make sure all parking spaces meet this minimum requirement. In addition, please include the width and length measurements on the site plan. Not all parking spaces need to be measured, but each parking area should include the measurements.

Comment Addressed: Yes No

Response:

3. Pursuant to the LDO Section 13.06.050(f) Parking spaces adjacent to landscape islands shall be ten (10) feet in width or a concrete strip, at least eighteen (18) inches wide, shall be provided on the adjacent side of the island for pedestrians to step out of the car. Please make sure all parking spaces meet this minimum requirement. In addition, please include the width and length measurements on the site plan.

Comment Addressed: Yes No

Response:

4. Pursuant to the LDO Section 13.06.050(g) Internal drive widths “When two-way traffic is proposed, the drive shall be designed to be between twenty-four (24) and twenty-six (26) feet in width.” Please make sure all drive aisle widths meet this requirement. In addition, please label the width on the site plan. Please note that the Fire Department may require greater widths. Please see their comments for more information.

Comment Addressed: Yes No

Response:

5. Pursuant to the LDO Section 13.06.050 (n) parking areas shall be designed to reduce the expansive impervious surfaces within parking areas by thematically "deconstructing" parking areas into appropriate and comprehensible elements. In addition, parking aisles shall not exceed ten (10) cars in length unless separated by an eight-foot-wide minimum landscape island. Please add a landscape island in front of the building to break up this expanse of parking.

Comment Addressed: Yes No

Response:

6. Pursuant to the LDO Section 13.06.060 (c) bicycle parking spaces are required for any building that requires site plan approval. Your proposed Site Plan shows the location of a bike rack near the main entrance. Please ensure that a minimum of 2 bicycle parking spaces are included and add this to the Site Data Table (above). In addition, please provide an image of what the bicycle rack will look like including the materials and colors.

Comment Addressed: Yes No

Response:

Landscape Plan

- Please include a landscape table that includes a breakdown of all of the different types of landscaping required for the site. This should include overall landscape, property perimeter, and parking lot perimeter. All landscaping that is on the proposed property will fall under the overall landscaping total. An example of what this table may look like is:**

LANDSCAPE REQUIREMENTS		
LANDSCAPE STANDARD	REQUIREMENT	PROVIDED
DEVELOPED AREA	15% OF DEVELOPED AREA TO BE LANDSCAPED (671,780 X 15% = 100,767) 1 TREE AND 5 SHRUBS PER 1,500 SF OF LANDSCAPE AREA (102 TREES / 510 SHRUBS) 75% OF LANDSCAPE AREA MUST BE LIVING PLANT MATERIAL	151,850 SF (22%) 62 TREES / 712 SHRUBS / 687 GRASSES 200 GRASSES/1 = 200 SHRUBS, 400 SHRUBS/10= 40 TREES 118,454 SF (78%)
SITE PERIMETER LANDSCAPE	1 TREE AND 5 SHRUBS PER 40 LINEAR FEET OF EDGE (2,600 LF/40=65) 65 TREES / 325 SHRUBS	46 TREES / 248 SHRUBS / 301 GRASSES (267 GRASSES/1 = 267 SHRUBS, 190 SHRUBS/10 = 19 TREES)
SITE TURF AREA	TURF GRASS NOT TO EXCEED 15% OF TOTAL LANDSCAPE AREA (22,777 SF)	11,830 SF (8%)
STREETSCAPE PLANTING	STREET TREES NO MORE THAN 40' ON CENTER	EXISTING STREETSCAPE TO REMAIN (12 STREET TREES ALONG COMPARK BLVD)
PARKING LOT INTERIOR LANDSCAPE	MIN. 10% OF PARKING AREA MUST BE LANDSCAPE ISLAND (343,000 SF X 10% = 34,300 SF) 1 TREE AND 5 SHRUBS PER ISLAND (39 ISLANDS)	34,315 SF (10%) 58 TREES / 813 SHRUBS / 730 GRASSES
TREE CONSERVATION	1 TREE REPLACED FOR EVERY 1 TREE REMOVED (3 REMOVED)	3 TREES

Comment Addressed: Yes No

Response:

- Please show all landscaping for the development (in and around Lot 1). If landscaping is provided as part of the MDP, this landscaping should be grayed back with a note that states that this landscaping is not a part of this application.**

Comment Addressed: Yes No

Response:

- Pursuant to Section 13.06.070 (I) of the Town of Parker LDO at maturity, at least seventy-five percent (75%) of the landscaped area shall have a ground cover of living plant material, including, but not limited to, trees, shrubs, ground cover, turf or seed and other recognized perennial ground covering plant materials. Deciduous tree canopies shall not be included in the calculation. Please include the percentage of living landscaping proposed for the property to ensure this minimum is satisfied.**

Comment Addressed: Yes No

Response:

4. Pursuant to Section 13.06.070 (l) of the Town of Parker LDO landscaping shall be provided on the property as described: No commercial, vertical mixed-use or industrial development shall allocate less than fifteen percent (15%) of the developed area for landscaping. In addition, in all required landscaped areas, except within public rights-of-way and residential roadway buffers, one (1) tree and five (5) shrubs shall be planted for each one thousand five hundred (1,500) square feet of lot area not covered by a building or required parking. Please include within the landscape table the amount of landscaping proposed on site to meet this requirement.

Comment Addressed: Yes No

Response:

5. Pursuant to Section 13.06.070 (m) of the Town of Parker LDO streetscape landscaping shall be provided along all property lines directly abutting a street (includes public and private roadways). Streetscape landscaping shall be installed between the back of curb and the sidewalk. Streetscape landscaping shall consist of traditional turf grass along with 1 tree per 40 linear feet of frontage. Please ensure that this requirement is satisfied on the MDP Landscape Plan. If not on the MDP, it will need to be included as part of this application.

Comment Addressed: Yes No

Response:

6. Pursuant to the LDO Section 13.06.070 (o) parking lot perimeter landscaping is required to establish minimum requirements for plantings to screen the parking area from view. All parking spaces shall include a perimeter landscaped area meeting these requirements excluding those spaces in front of the building. Please add this requirement and the proposed landscaping to the landscape table.

Comment Addressed: Yes No

Response:

7. Pursuant to the LDO Section 13.06.070 (q) site perimeter landscaping is required to establish minimum requirements for plantings around the perimeter of a site. When a commercial use is next to a commercial use a minimum of 1 tree and 5 shrubs is required for every 40 lineal feet of edge. This requirement will apply to all property lines excluding the north where parking lot perimeter landscaping shall apply. Please add this requirement and the proposed landscaping to

the landscape table.

Comment Addressed: Yes No

Response:

- 8. Pursuant the Development Design Standards III.1.C; Buildings located at intersections shall include a plaza, courtyard or similar public space to create attractive and active outdoor public spaces with enhanced landscaping. Dependent upon easement ability, landscaping at the northwest corner of the property.**

Comment Addressed: Yes No

Response:

- 9. Please include an irrigation plan to be reviewed as part of this site plan. This irrigation plan will also require specific Parker Water and Sanitation District calculations for water taps.**

Comment Addressed: Yes No

Response:

Lighting

- 1. Please include within the photometric table the color of each fixture.**

Comment Addressed: Yes No

Response:

- 2. Per Section 13.10.140 of the Parker Land Development Ordinance general parking areas shall not exceed 12.0 foot-candles, maximum installed illuminance. Please adjust the lights within these areas to ensure this maximum is not exceeded.**

Comment Addressed: Yes No

Response:

- 3. Pursuant to Section 13.10.140 Principal display areas (which includes the canopy area) can have lighting greater than the 12-foot candles. This is the only area on the property where the 12-foot**

candles are allowed to be exceeded.

Comment Addressed: Yes No

Response:

4. Pursuant to Section 13.10.140 (c) (9) A photometric site plan and cut sheets for all proposed exterior fixtures shall be included with the application requirements for a site plan. Please combine the cut sheets on 24 by 36 paper to be consistent with the remainder of the Site Plan package.

Comment Addressed: Yes No

Response:

Development Design Standards

1. Pursuant to Development Design Standards Section X. A. 3. a.; exterior building mass shall be reduced through a variation in wall planes, wall surfaces, fenestration and height to achieve a pedestrian-scaled building design. Building mass can also be broken down vertically by creating regular intervals of vertical elements of the building composition. Breaking down the building vertically shall require three of the following:
- A change in recesses, protrusions, or changes in the plane of the façade to create a visual shadow line.
 - A significant break in the eave line of roof form
 - A change in façade material or color.
 - All sides of the building shall meet this requirement.

Based on the site plan the changes in plane are only created by material changes and are not recesses or protrusions. If these are recesses and protrusions, please update the overall site plan to show these. If these are not, please create greater protrusions in the wall form to meet this intent. This is required along all sides of the building, not just the front.

Comment Addressed: Yes No

Response:

2. Pursuant the Development Design Standards Section X. A. 2. a.; to activate the street and create visual interest, arrange windows and other openings with transparent features to include clear glazing on each façade of the building. Faux windows and spandrel glass are not permitted. With this being said there are other options that we can evaluate with you which could include real windows that are blacked out, back lit windows (lighted from the inside, but without visibility into the building) as well as murals or other alternatives. Due to the location of the lot, all four sides

of the building will need to include transparency (outlined below).

Comment Addressed: Yes No

Response:

- 7. Pursuant the Development Design Standards Section X. F. 2. B. Gas Stations with Street facing facades shall be glazed with transparency of a minimum of 40% fenestration to reinforce the street edge; and high-quality architectural design. The 40% transparency will apply to the north, west and south sides of the building.**

Comment Addressed: Yes No

Response:

- 8. Pursuant to Development Design Standards X. A. 3. e.; the portions of a building located at a corner or intersection shall be designed with greater building massing, high quality architectural design using prominent building elements to frame the intersection in which the building is fronting. Building articulation shall wrap around the corner to create an architectural focal point. The northwest corners of the building need to include additional articulation to meet this standard. Relocating the building entrance to the east end and wrapping the tower element and windows can help meet this intent. An example from the design standards includes the following:**



Comment Addressed: Yes No

Response:

- 9. Pursuant the Development Design Standards; all front and side building facades that face a public roadway shall include a minimum of two of the following building elements: awnings, canopies, arcades, galleries, tower elements, or prominent roof feature. Please ensure that two of these features are located on all sides of the building that face a public roadway. This requirement also applies to the south side of the building.**

Comment Addressed: Yes No

Response:

10. Pursuant to Development Design Standards F. 2. a.; longer sized canopies (larger than 100 feet in length) be broken down into two or more smaller sized canopies (no larger than 100 feet in length) with four (4) gas pumps per canopy. Please amend the plans to account for this requirement.



Comment Addressed: Yes No

Response:

11. Pursuant to Development Design Standards XI. A. 3.; For information purposes only, the Development Design Standards prohibit the use of products that emulate brick or masonry such as veneer. Please remove the word “veneer” from the site plan set.

Comment Addressed: Yes No

Response:

12. Pursuant the Development Design Standards; all structures shall include similar materials. Please include the materials for the trash enclosure. Similar stone to what is proposed for the building shall be used.

Comment Addressed: Yes No

Response:

13. Pursuant the Development Design Standards; utility equipment shall be located away from the public realm and shall be screen from view. Utilities attached to the building shall be painted to match the building façade and shall be inset into the wall to help screen from view. Please show the location of all equipment proposed for the site.

Comment Addressed: Yes No

Response:

OUTSIDE REFERRAL AGENCY COMMENTS

Please address all outside referral agency comments with a written response. At the time this letter was drafted, the following agencies have provided comments for the applicant to address. **It is in the applicant’s best interest to continue to monitor the project in TRAKiT as additional comments may be posted after the release of this letter.**

- **Fire Life Safety**
- **Town of Parker Engineering - CD’s, Drainage Plan & Site Plan**
- **Town of Parker Stormwater – CD’s, Drainage Plan & Site Plan**
- **IREA**
- **Parker Water and Sanitation District (PWSD)**
- **Public Service Company**

Comment(s) Addressed: Yes No

Response:

Property Owner

Date

Project Representative

Date

Please add a title to all pages of the Site Plan package. The title should be:
**Lincoln Professional Park Filing No. 1 Lot 1
 Site Plan - Maverik**

All items circled need to be included in the site plan set. Images along with colors need to be included.

These notes do not align with sheet numbers, please amend.

PROJECT NUMBER

21-122-0001

ISSUE DATE:

June 18, 2021

REVISIONS:

No.	Date	Description

NOTE: Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in drawings, bidder should not assume the least expensive option will meet the project requirements.



MAVERIK INC. STORE
 LINCOLN AVE. AND DRANSFELDT RD.
 PARKER, CO

EDCI ENGINEERS
 1331 17TH STREET • SUITE 605
 DENVER, COLORADO 80202
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 WEBSITE: www.edci-engineers.com
 CIVIL / STRUCTURAL
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THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

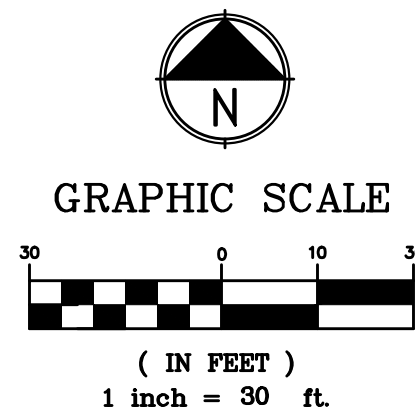
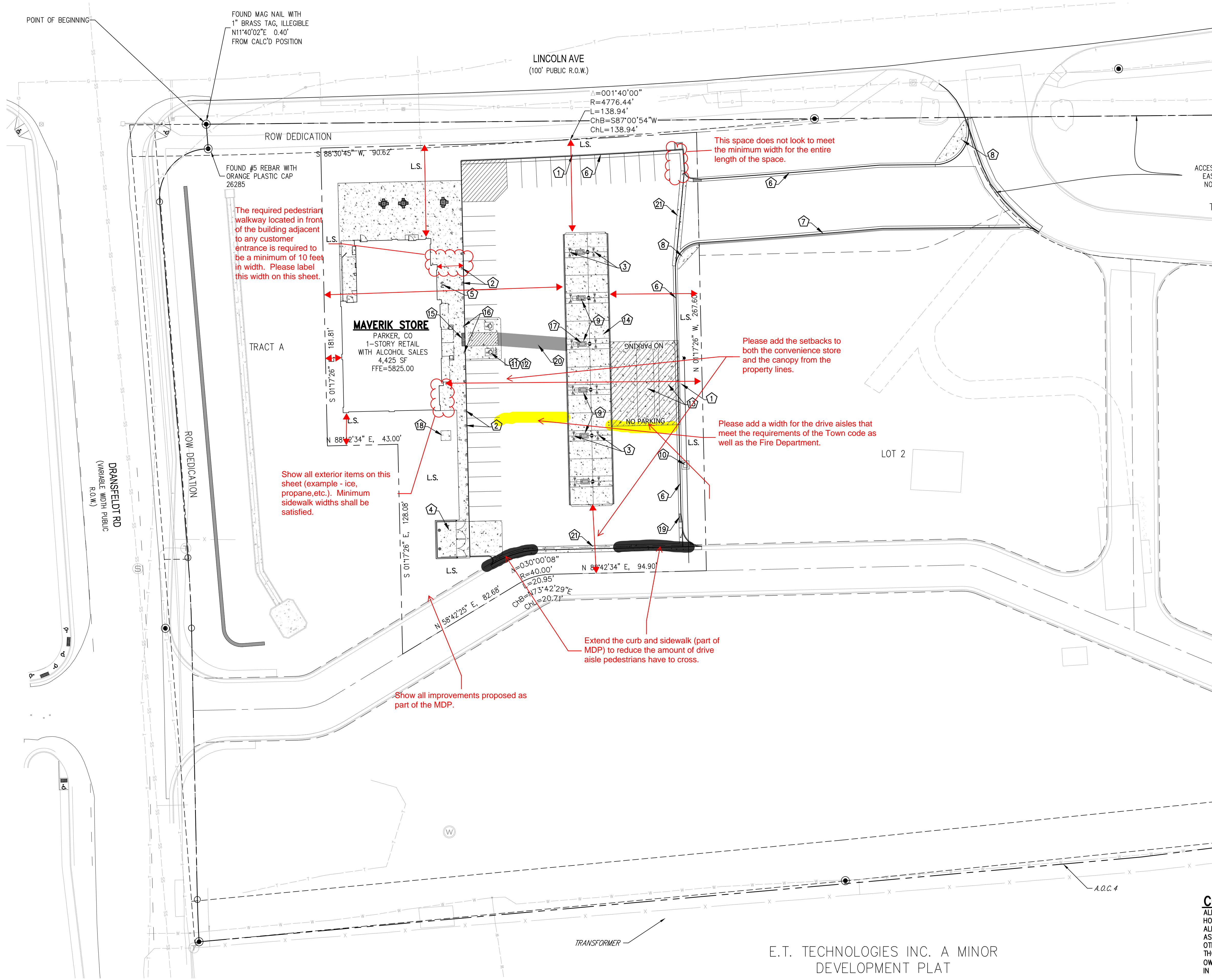
THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

SITE PLAN

KEYED NOTES:

- 1 NEW LIGHT POLE AND BASE PER MAVERIK STANDARD DETAIL SF-6/SHEET 30
- 2 NEW REBOUNDING BOLLARDS IN FRONT OF EACH PARKING SPACE ALONG THE FACE OF BUILDING PER MAVERIK STANDARD DETAIL SF-4/SHEET 30
- 3 NEW HOOP BOLLARDS PER MAVERIK STANDARD DETAIL SF-2/SHEET 30
- 4 NEW TRASH ENCLOSURE PER DETAILS 1-3/SHEET 27
- 5 NEW HI-ROLLER BIKE RACK PER MAVERIK STANDARD DETAIL SF-8/SHEET 31
- 6 NEW CATCH CURB AND GUTTER PER MAVERIK STANDARD DETAIL C-6/SHEET 29
- 7 NEW SPILL CURB AND GUTTER PER MAVERIK STANDARD DETAIL C-7/SHEET 29
- 8 NEW RUNOUT PAD AND MOUNTABLE CURB PER MAVERIK STANDARD DETAIL C-8/SHEET 29
- 9 NEW FUEL DISPENSER BASE PER MAVERIK STANDARD DETAIL SF-7/SHEET 29
- 10 NEW XACTAIR STATION FOUNDATION PER MAVERIK STANDARD DETAIL SF-9/SHEET 30
- 11 NEW ADA PARKING PER MAVERIK STANDARD DETAIL SF-11/SHEET 31
- 12 PAINTED ADA PARKING SYMBOL PER MAVERIK STANDARD DETAIL SF-12/SHEET 31
- 13 NEW UNDERGROUND STORAGE TANKS
- 14 NEW FUEL CANOPY AND FUEL DISPENSERS - STACKED FORECOURT PER MAVERIK STANDARD DETAIL ST-6/SHEET 32
- 15 NEW TRUNCATED DOMES
- 16 ADA ADJUSTABLE SIGNAGE SLEEVE IN BOLLARD
- 17 ADA FUEL DISPENSER WITH SIGN
- 18 NEW CONCRETE PAD FOR ELECTRICAL TRANSFORMER
- 19 5 FOOT CURB TRANSITION FROM MOUNTABLE TO VERTICAL CURB
- 20 ADA PATH TO ADA ACCESSIBLE FUEL PUMP (REFERENCE ONLY NO STRIPPING)
- 21 NEW 4' WIDE CROSSSPAN PER _____



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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

CONTRACTOR NOTE:
 ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEYS FURNISHED BY OTHERS. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEYS. CONTACT THE UTILITY OWNER/AGENCY FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION.



AR DP XX-XXXX

E.T. TECHNOLOGIES INC. A MINOR DEVELOPMENT PLAT

MAVERIK INC. STORE

SITUATED IN THE NORTHWEST ¼ OF SECTION 15,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

CONSTRUCTION DOCUMENTS

PROJECT NUMBER

21-122-0001

ISSUE DATE:

June 18, 2021

REVISIONS:

No. Date Description

NOTE:
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Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in the drawings, bidder should not assume the least expensive option will meet the project requirements.

See Planning Memo for corner landscape feature requirement.

Landscaping to Lincoln Avenue should be shown. Even if not part of this application.

Since this area is proposed to be striped, please add landscaping to help meet the intent of breaking up parking areas.

The minimum parking perimeter landscaping area shall be 10 feet in width with a variety of shrubs and grasses to screen the parking as well as headlights from view.

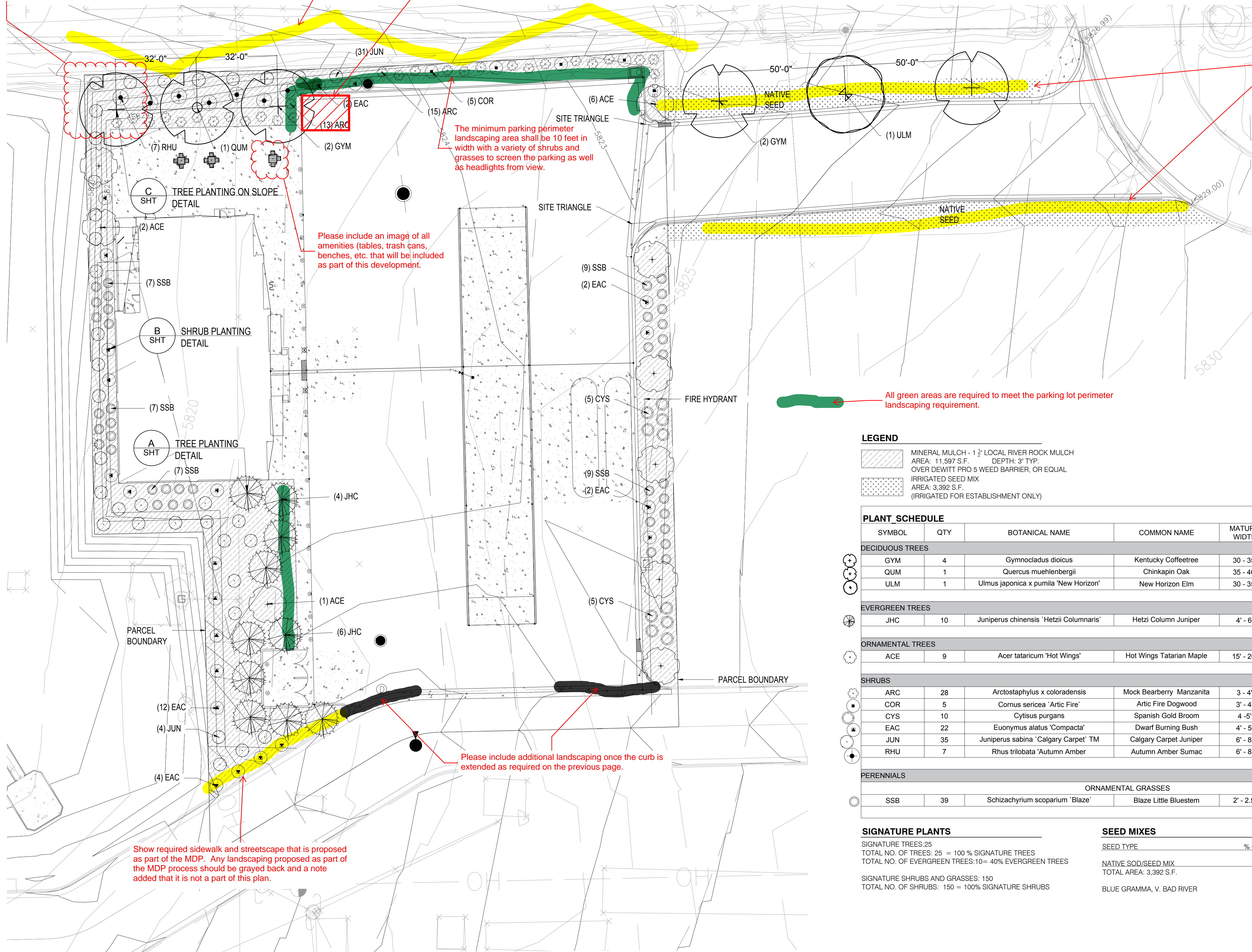
Please include an image of all amenities (tables, trash cans, benches, etc. that will be included as part of this development.

Landscaping within this area should be a part of the MDP and not part of this application. All sidewalk should also be shown.

All green areas are required to meet the parking lot perimeter landscaping requirement.

Please include additional landscaping once the curb is extended as required on the previous page.

Show required sidewalk and streetscape that is proposed as part of the MDP. Any landscaping proposed as part of the MDP process should be grayed back and a note added that it is not a part of this plan.



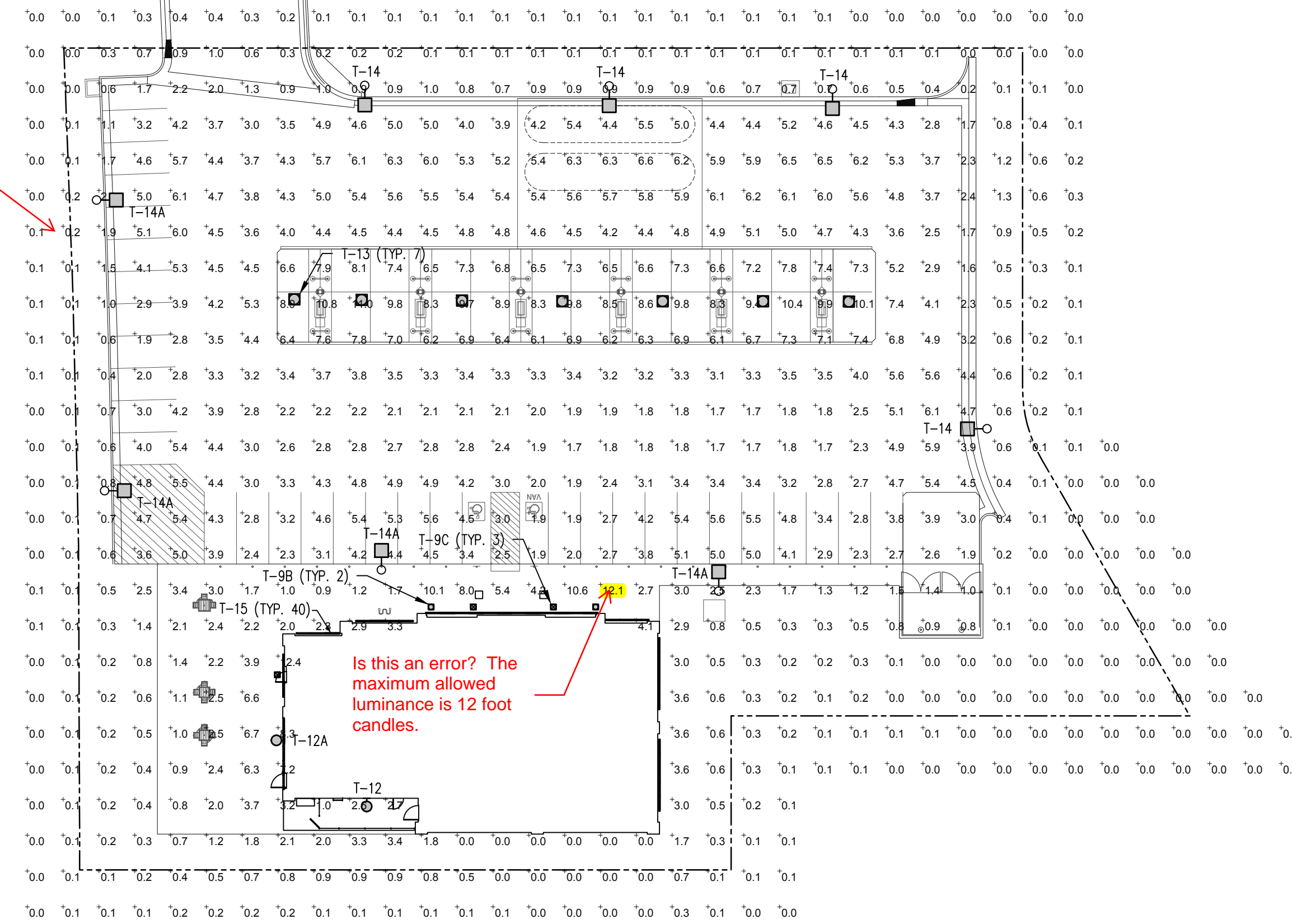
Change this column to be the color of the luminaire.

MASTER LUMINAIRE SCHEDULE						
TYPE	MANUFACTURER	CATALOG NUMBER	VOLTS	MOUNTING	LAMPS	IMAGE
DESCRPT: RECESSED WHITE LED DOWNLIGHT 6" APERTURE, 1300 LUMENS, 4K						
T-9B	LOTUS LED	LL6RR 40K WH	120	RECESSED	INCLUDED	18
T-9C	SAME AS T-9B EXCEPT WITH EMERGENCY BATTERY					18
DESCRPT: LOW PROFILE, FULL CUTOFF WALL PACK, LED, DARK BRONZE, 4K, 3144 LUMENS						
T-12	LSI	XVM 3 LED 03 40 UE BRZ	120	WALL	INCLUDED	23
T-12A SAME AS T-12 EXCEPT WITH 08 LUMEN PACKAGE AND TYPE IV DISTRIBUTION (FORWARD THROW)						
DESCRPT: CANOPY MOUNTED, CUTOFF LUMINAIRE, 103W LED, FLAT LENS, FOR SINGLE DECK CANOPIES (10,209 LUMENS)						
T-13	LSI	SCV LED 10L SC UNV DIM 40 WHT	UNV	CANOPY	INCLUDED	67
DESCRPT: POLE MOUNTED, CUTOFF LUMINAIRE SINGLE HEAD, LED, 18,930 LUMENS, 17.5FT SQUARE POLE (4", 11 GA.), 4K						
T-14	LSI	SLM LED 18L SIL 3 UNV 40 70 CRI BRZ	208	17'-6" POLE	INCLUDED	135
T-14A SAME AS T-14 EXCEPT WITH TYPE IV DISTRIBUTION (FORWARD THROW)						
DESCRPT: 4FT LED STRIP LUMINAIRE, COLD WEATHER (0F), 2000 LUMENS, DAMP LISTED, LENS (1.78" WIDTH), 4K						
T-15	LSI	MLS4 LED 20L CSM UNV DIM U	UNV	EXTERIOR COVE	INCLUDED	20

*LUMINAIRES ARE PROVIDED BY OWNER, INSTALLED BY E.C. (REFERENCE SCHEDULE ON E-4.0)

Can this be made larger on this page for easier reading.

CALCULATION SUMMARY								
AREA NAME	GRID / TYPE	SPAC	GROUP	AVE	MAX	MIN	MAX/MIN	AVE/MIN
OVERALL	0'-0" / H-H	10.00	<+>	2.4	12.4	0.00	N/A	N/A
PARKING	0'-0" / H-H	10.00	<+>	4.0	8.9	1.6	5.6:1	2.5:1



1 SITE PHOTOMETRIC PLAN
E-1.2 SCALE: 1"=30'-0"



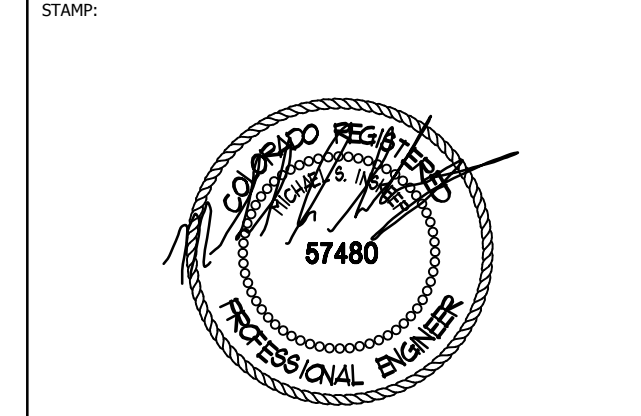
185 S. State Street
Salt Lake City, Utah 84111

THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS. ANY USE OF SAME WITHOUT THE EXPRESSED WRITTEN PERMISSION OF MAVERIK, INC IS PROHIBITED. 2019 MAVERIK, INC.

ARCHITECT:

ENGINEER:
Nelson Engineering, Inc.
156 North Twelfth Avenue
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MAVERIK, INC.
STORE #
LINCOLN AVENUE AND
DRANSFELDT ROAD
PARKER, CO

REVISIONS	
DESCRIPTION	DATE

DESIGNED BY: MJE DRAWN BY: MJE
REVIEWED BY: MJE APPROVED BY: MSI
PROTOTYPE VERSION: 50
DRAWING ISSUE
DATE: 12-18-20
PROJECT NUMBER: 20337

SHEET NAME
PHOTOMETRIC PLAN

SHEET NUMBER
E-1.2

G:\Maverik\Parker, CO - 21333\Elec\PARKER E-1.2.dwg October 20 2021 5:44pm By: jill

FOR REVIEW AND PERMIT • FOR REVIEW AND PERMIT • FOR REVIEW AND PERMIT



Type IC, Wet, Air-Tight & Open Plenum

DESCRIPTION

8" Round Deep Regressed LED - Elegant Design Without Glare
Commercial Grade Quality Built To Last

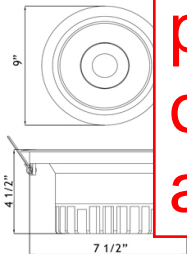
FEATURES & BENEFITS

18W & 30W High Output versions with CRI 90+
Type IC, Air-Tight & Wet - No Housing Required

4 1/2" Deep - In
Armored Cable
Driver Inside Co
and Knock Out

DIMENSIONS

Ceiling Clearanc



Please clip the cut sheet information and include as one page within the overall site plan for all lighting.

120V TRIAC Dimmable Driver Included



Optional 120V-347V Driver 0-10V Dimmable



Order Separately as

18W: Cat # LLL-LD2050TR
30W: Cat # LLL-LD3580TR

ORDERING GUIDE:

Example 18W **LD8R-30K-WR-WT**

Example 30W **LD8R-30K-HO-WR-WT**

	CCT	30W only	Reflector-Trim
LD8R	- xxK	- HO	- xx-xx
3000K	- 30K		WR-WT
3500K	- 35K		SR-WT
4000K	- 40K		BR-BT
5000K	- 50K		SR-BT
DTW 3K-2K	- 32K		

8" Round Deep Regressed LED 18W / 30W Open Plenum

Project: LD8R-40K-HO-BR-BT 8" Round Deep Regressed LED 30W Open Plenum,
30w 2900 lumens (black) - RIP8 - 7 1/2" Hole 26" Flat Rough-in Plate

Location:

Cat #:

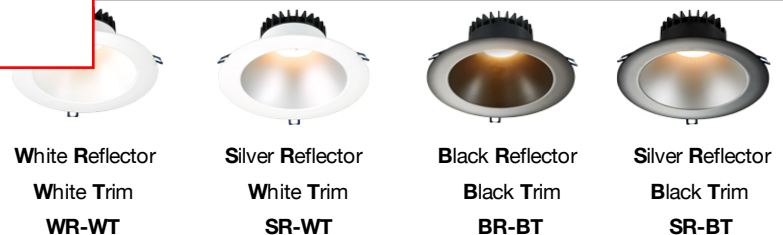
Qty:

Notes:

SPECIFICATION

Applications	Recessed Ceiling Mount	
Energy Used	15W Regular / 18W High Output	
Color Temperature (K)	3000 3500 4000 5000 DTW 3-2	
Light Output 18W (lm)	1550 1600 1650 1700 1150	
Light Output 30W (lm)	2700 2900	
Beam Angle	38°	
CRI	90 +	
Default Driver Input	120V AC	Triac Dimmable
al Driver Input	120V-347V AC	0-10V Dimmable
Box Wire Capacity	Max 5 No 12 AWG or 8 No 14 AWG	
Power Factor	0.98	
oved Location	Insulated Ceilings, Open Plenum, Wet	
IP Rating	IP 54	
Air Tight	Yes	
nt Temperature	-40°F (-40°C) to +104°F (+40°C)	
ected Life	70% Light Output at 50,000 Hours	
ertification	cULus, Energy Star (except DTW), T24	
Warranty	10 Year Residential / 5 Year Commercial	

AVAILABLE TRIMS



ACCESSORIES

Sold Separately



Armored Low Voltage Extension
10ft cat # **MEC10**



Flat Rough-In Plates - cat # **RIP8**



Goof Ring White OD 9 1/2" cat # **GR8**

Goof Ring White OD 10 1/2" cat # **GR810**

COMPLIANCE



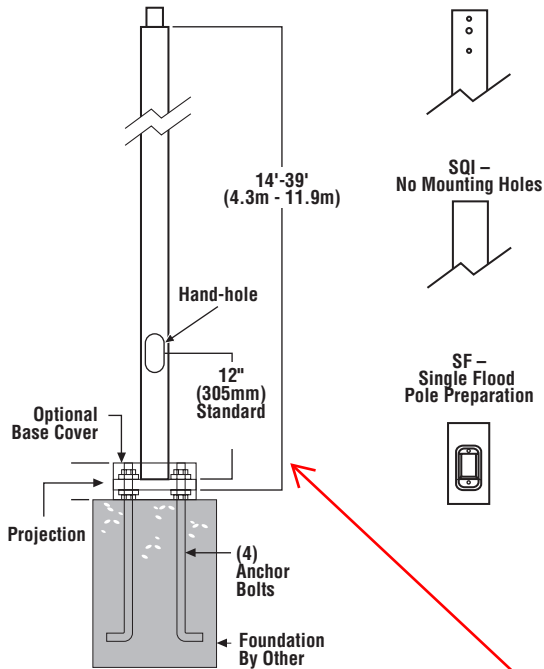
Type IC
Air - Tight
Open Plenum

STEEL SQUARE POLES

DIMENSIONS

SQN –
N= 2-3/8" (60mm) O.D. x 4-3/4" (121mm) Tenon

SQB3, SOB5 –
Bolt-On Mount
2-Bolt Pattern



POLE SHAFT - Pole shaft is electro-welded ASTM-A500 Grade C steel tubing with a minimum yield strength of 50,000 psi. On Tenon Mount steel poles, tenon is 2-3/8" O.D. high-strength pipe. Tenon is 4-3/4" in length. Straight poles are 4", 5", and 6" square.

HAND-HOLE - Standard hand-hole location is 12" above pole base. Poles 22' and above have a 3" x 6" reinforced hand-hole. Shorter poles have a 2" x 4" non-reinforced hand-hole.

BASE - Pole base is ASTM-A36 hot-rolled steel plate with a minimum yield strength of 36,000 psi. Two-piece square base cover is optional.

ANCHOR BOLTS - Poles are furnished with anchor bolts featuring zinc-plated double nuts and washers. Galvanized anchor bolts are optional. Anchor bolts conform to ASTM F 1554-07a Grade 55 with a minimum yield strength of 55,000 psi.

GROUND LUG - Ground lug is standard.

DUPLEX RECEPTACLE - Weatherproof duplex receptacle is optional.

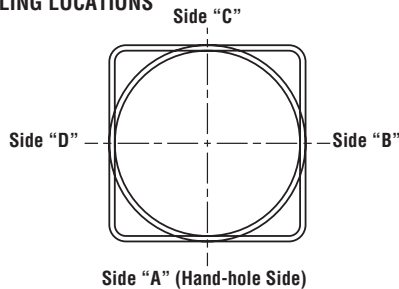
GROUND FAULT CIRCUIT INTERRUPTER - Self-testing ground fault circuit interrupter is optional.

FINISHES - Each pole is finished with DuraGrip®, LSI's baked-on polyester-powder finishing process which electrostatically applies and fuses a polyester powder to the pole. Provides an extremely smooth and uniform finish to withstand extreme weather changes without cracking or peeling, and features a five-year limited warranty. Optional DuraGrip® Plus features the added protection of a 3.0 to 5.0 mil thickness of polyester-powder finish plus an inner coating, as well as a seven-year limited warranty.

DETERMINING THE LUMINAIRE/POLE COMBINATION FOR YOUR APPLICATION:

- Select luminaire from luminaire ordering information
- Select bracket configuration if required
- Determine EPA value from luminaire/bracket EPA chart
- Select pole height
- Select MPH to match wind speed in the application area (See windspeed maps).
- Confirm pole EPA equal to or exceeding value from note above
- Consult factory for special wind load requirements and banner brackets

DRILLING LOCATIONS



Sides	A	B	C	D
Hand-hole	X			
Single	X			
D180°		X		
D90°	X			X
T90°	X	X		X
TN120°*	X			
Q90°	X	X	X	X
Single FBO	X			
Double FBO		X		X

*Other two locations will be 120° to the left and right of Side A.

Note: Standard SF and DF pole preparations are located 3/4 of the height of the pole from the base, unless otherwise specified.

SHIPPING WEIGHTS - Steel Square Poles

4" (102mm) sq. 11 Ga. is approximately	7.50 lbs./ft.
4" (102mm) sq. 07 Ga. is approximately	10.00 lbs./ft.
5" (127mm) sq. 11 Ga. is approximately	9.00 lbs./ft.
5" (127mm) sq. 07 Ga. is approximately	12.50 lbs./ft.
6" (152mm) sq. 07 Ga. is approximately	15.40 lbs./ft.
Anchor Bolts (3/4" x 30") (19mm x 762mm)	15 lbs. (7kg)/set
Anchor Bolts (1" x 36") (25mm x 914mm)	30 lbs. (14kg)/set

Please ensure that this information and height is included on the photometric plan and matches the information within the table.

ARRA
Funding Compliant



Project Name **Maverik** Fixture Type **T14A Pole**
Catalog # **4SQ B3 S11G 17'-6" S BRZ**

11/27/17
© 2017
LSI INDUSTRIES INC.



2 BUILDING PERSPECTIVE
SCALE:

Please include if this is for propane and include an image of what this cage looks like. Please note that if this is propane, additional fire requirements may be needed.

Please include an image of all items on the exterior of the building including the bollards.



1 BUILDING PERSPECTIVE
SCALE:

All items on the exterior of the building need to be shown on the overall site plan and include images of what these will look like in this plan set.

PROPOSED MAVERIK C-STORE

Prototype Version: 50_L_RR_2102
 Building Square Footage: 5,637 SF
 Construction Type/Occupancy Classification: V-B / M

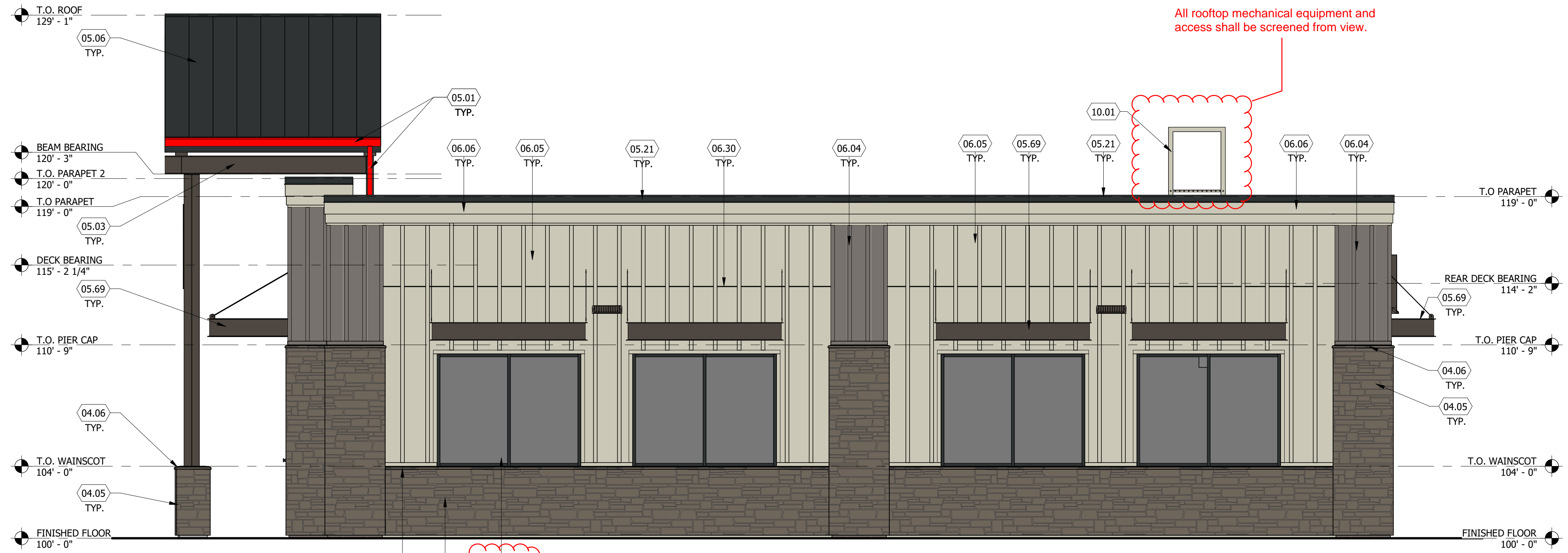
A-3 | PERSPECTIVE VIEWS



Please remove the word "vener"

KEYED NOTES

- 04.05 CULTURED STONE VENEER, SKYLINE, COUNTRY LEDGESTONE
- 04.06 CULTURED STONE VENEER CAP, SKYLINE, COUNTRY LEDGESTONE
- 04.08 SPLIT-FACE CMU BLOCK, COLOR: CANVAS, 8'-0" HIGH WITH CONCRETE CAP
- 04.10 SPLIT FACE CAP
- 05.01 PRE-FINISHED GUTTER AND DOWNSPOUT, BRITTE RED
- 05.03 PAINTED STEEL, BLACK FOX
- 05.06 MBCI PRE-FINISHED METAL ROOF, 1 3/4" STANDING SEAM, MIDNIGHT BRONZE
- 05.21 PRE-FINISHED METAL COPING, COLOR C-1
- 05.69 STEEL AWNING, COLOR P-9
- 06.04 FIBER CEMENT BOARD & BATTEN SIDING, BB-2
- 06.05 FIBER CEMENT BOARD & BATTEN SIDING, BB-1
- 06.06 FIBER CEMENT TRIM BB-3
- 06.30 HORIZONTAL JOINT IN SIDING
- 08.03 ALUMINUM STOREFRONT SYSTEM (AST-1), SEE SCHEDULE ON SHEET A6.03
- 10.01 ROOF ACCESS LADDER W/ SECURITY GATE, SEE DETAIL 1/AS.11. POWDER COATED COLOR TO MATCH SIDING BB-1
- 22.15 ROOF OVERFLOW DRAIN SCUPPER, SEE PLUMBING DRAWINGS

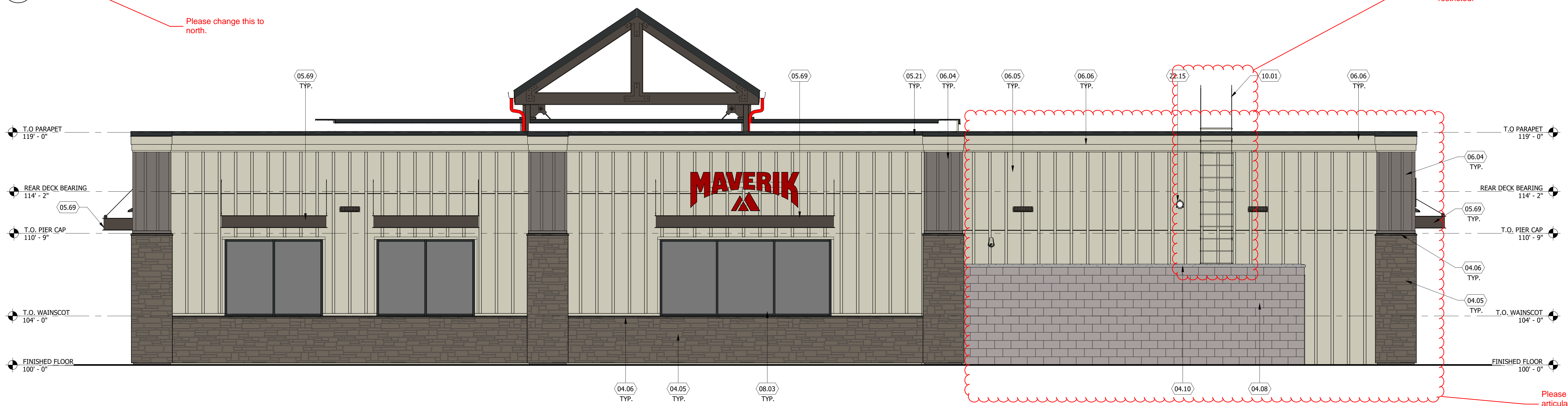


2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

Please change this to north.

Please explain what these are in more detail. Are these real windows or metal?

All rooftop access should be provided interior to the site. Exterior access is restricted.



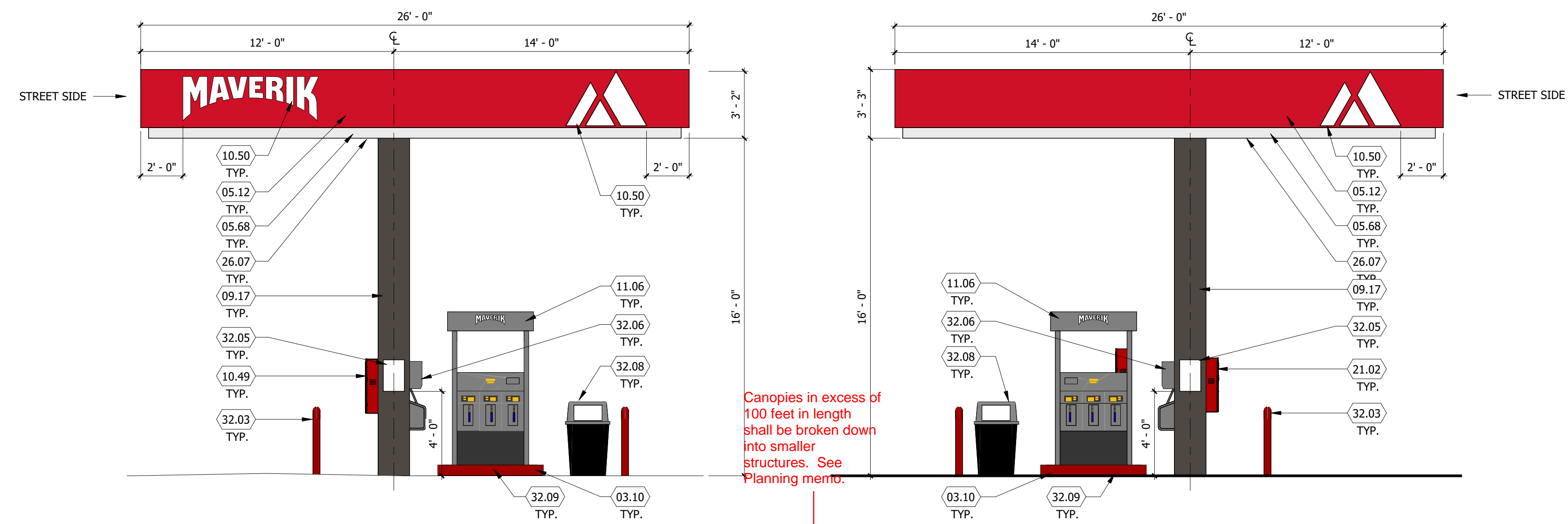
1 REAR ELEVATION
SCALE: 1/4" = 1'-0"

Please change this to west.

PROPOSED MAVERIK C-STORE

Prototype Version: 50_L_RR_2102
 Building Square Footage: 5,637 SF
 Construction Type/Occupancy Classification: V-B / M
 A-5 | EXTERIOR ELEVATIONS





5 FUEL DISPENSING CANOPY - END ELEVATION
SCALE: 1/4" = 1'-0"

4 FUEL DISPENSING CANOPY - END ELEVATION
SCALE: 1/4" = 1'-0"

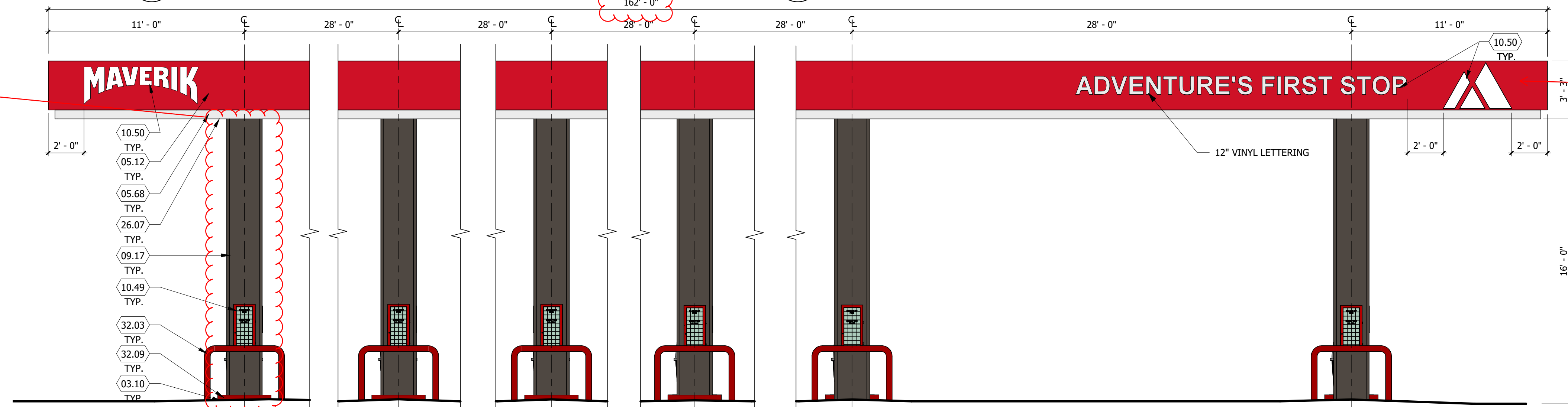
KEYED NOTES

- 03.10 6" MIN. RAISED CONCRETE ISLAND W/ TOOLED EDGES AND CORNERS. VERIFY SIZE W/ DISPENSER SUPPLIER +/- 5'-0" X 3'-0" (NO METAL FORM). ACCESSIBLE ISLAND TO BE 6"; SEE CIVIL DRAWINGS FOR LOCATION
- 05.12 ALUMINUM COMPOSITE METAL PANEL, EASTMAN RED
- 05.68 ALUMINUM COMPOSITE METAL PANEL, WHITE
- 09.17 PANEL COLUMN CLADDING, COLOR TO MATCH P-9
- 10.48 PROVIDE WALK PAD UNDER DOWNSPOUT LOCATION
- 10.49 4A-40 BC FIRE EXTINGUISHER W/ CASE, LOCATE WITHIN 75' OF ALL PUMPS, DISPENSERS, OR STORAGE TANK. LOCATION TO BE FINALIZED BY FIRE MARSHAL
- 10.50 SIGNAGE TO BE COORDINATED BY FUEL CANOPY CONTRACTOR WITH OWNER
- 11.06 DISPENSING STATION (BY OTHERS)
- 21.02 SURFACE MOUNTED FIRE EXTINGUISHER AND CABINET, PROVIDE 1 EXTINGUISHER FOR EVERY 2 COLUMNS
- 26.07 ALL LIGHT FIXTURES (NOT SHOWN) TO BE FLUSH MOUNTED WITHIN THE DECK PANEL SOFFIT (SOFFIT COLOR P-7). SEE ELECTRICAL AND FUEL DISPENSING DRAWINGS
- 32.03 4" DIAMETER "U" BOLLARD, SET AND FILLED W/ CONCRETE, SEE CIVIL DRAWINGS. PAINTED P-4
- 32.04 EXPANSION JOINTS, TO BE FILLED W/ "JET FUEL RESISTANT" SEALANT, SEE CIVIL DRAWINGS
- 32.05 SIGNAGE, BY OWNER, TO COMPLY WITH IFC 2305.6 AND POSTED ON EACH SIDE OF COLUMN
- 32.06 S.S.I. (WINDOW WASH/PAPER TOWEL) PROVIDED BY OWNER INSTALLED BY CONTRACTOR, MOUNTED TO COLUMN PER ADA REQUIREMENTS (4'-0" MAX A.F.F. TO PAPER TOWEL FOLD)
- 32.08 TRASH CONTAINER, PROVIDED BY OWNER
- 32.09 PAINT CONCRETE CURB EDGE P-4, SEE SCHEDULE ON SHEET A6.03

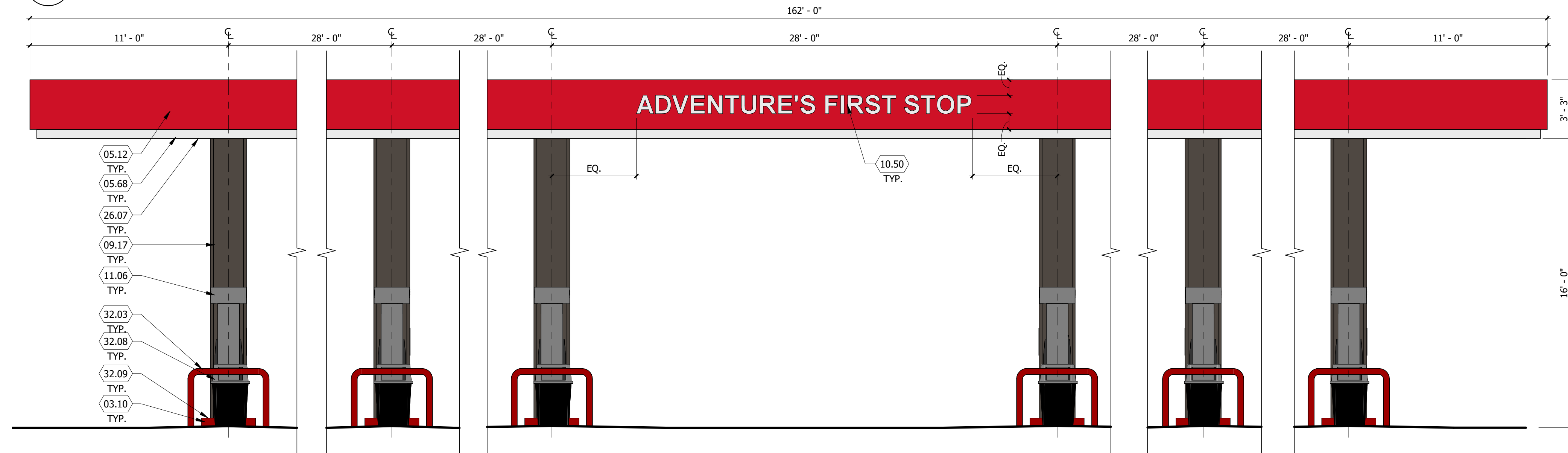
Canopies in excess of 100 feet in length shall be broken down into smaller structures. See Planning memo.

Posts of the canopy should consist of heavier materials similar to those used on the convenience building.

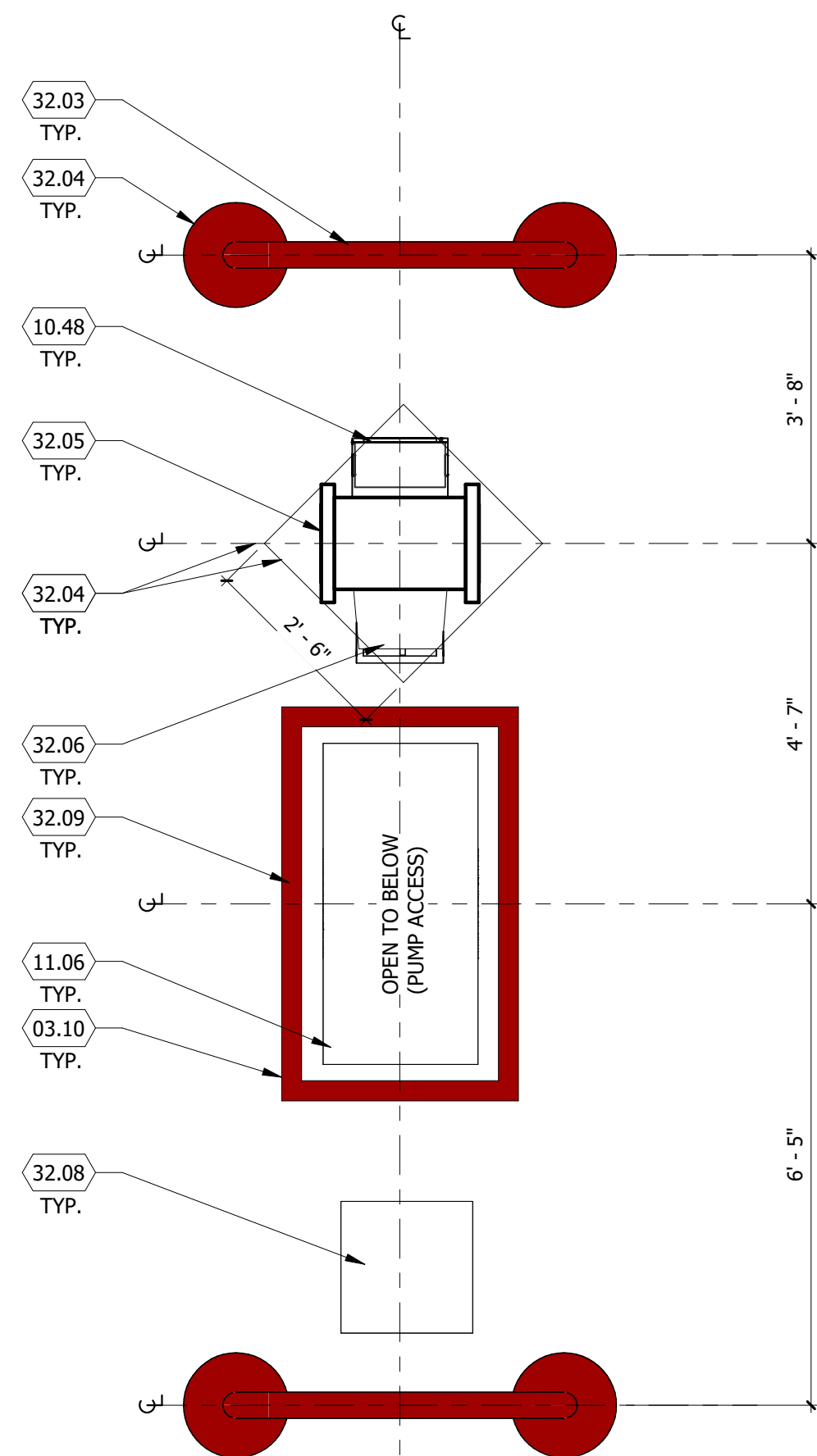
Pursuant to the Design Standards: Intense, bright (for example, a neon color), black, or fluorescent colors are not permitted to be used as the predominant color on any wall or roof. In addition, trademarked corporate/brand color themes may be used as an accent color and shall be limited to two colors in the overall color theme of the building.



3 FUEL DISPENSING CANOPY - BUILDING SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1 FUEL DISPENSING CANOPY - STREET SIDE ELEVATION
SCALE: 1/4" = 1'-0"



2 CANOPY COLUMN PLAN
SCALE: 1/2" = 1'-0"

PROPOSED MAVERIK C-STORE

NOTE:
FUEL CANOPY DRAWINGS PROVIDED ARE CONCEPTUAL, AND MAY VARY FROM SITE TO SITE.

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