



Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

MEMORANDUM

TO: Cassie Younger, Maverik, Inc.
FROM: Stacey Nerger, Senior Planner
DATE: November 23, 2022
SUBJECT: SP21-133 Lincoln Professional Park Filing No. 1 Lot 1 Site Plan

Listed below are the Planning Division's comments related to your applications, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER: Stacey Nerger
EMAIL: snerger@parkeronline.org
PHONE: 303.805.3199

GENERAL PROJECT COMMENTS:

1. For your reference, any future approvals of this Site Plan are final. The Planning Division will use this plan set to determine compliance at the time of inspection for Certificate of Occupancy. Therefore, any changes to an approved Site Plan need to be reviewed and approved by the Planning Division through the appropriate process prior to inspection.
2. The Planning Division has referenced certain section of the Land Development Ordinance (LDO) and the Development Design Standards (DDS). A copy of these document are available at:
[LDO](#)
[DDS](#)
3. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
4. Signage was not reviewed, nor was it approved as part of this review. All signage will need to obtain a separate sign permit for all signage.
5. Prior to the approval of the replat, the applicant and the Town will need to have a signed Subdivision Improvement Agreement (SIA) in place. At the time of resubmittal, please provide the cost estimates so that staff may draft this agreement for your review.
6. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKIT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not refer the application out with this naming convention.
 - a. Example: "06 Site Plan"

General

1. Please see the attached redlines for additional information.

Comment Addressed: Yes No
Response:

Parking

Staff has no additional comments on the parking.

Landscape Plan

1. Please see the redlines for additional comments.

Comment Addressed: Yes No
Response:

Lighting

1. Please provide a picture of the proposed LED strip lighting used on an existing building. The Town has received requests for these types of lights and need this information to determine that it meets the requirement to be fully shielded. This typically requires the LED strip to have a cover to direct the light downward.

Comment Addressed: Yes No
Response:

Development Design Standards

Staff has not additional comments on the elevations.

OUTSIDE REFERRAL AGENCY COMMENTS

Please address all outside referral agency comments with a written response. At the time this letter was drafted, the following agencies have provided comments for the applicant to address. **It is in the applicant’s best interest to continue to monitor the project in TRAKiT as additional comments may be posted after the release of this letter.**

- Town of Parker Stormwater – CD’s, Drainage Plan & Site Plan
- Town of Parker Engineering – CD’s
- Parker Water and Sanitation District (PWSD)

Attached to the Planning comments is a printout of all review comments on the project. These comments include all comments from the first submittal to the most recent. They are organized from

oldest to most recent. Therefore, the comments from this referral can be found at the end of the document.

Comment(s) Addressed: Yes No

Response:

Property Owner

Date

Project Representative

Date

LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1 MAVERIK INC. STORE SITE PLAN

SITUATED IN THE NORTHWEST ¼ OF SECTION 15,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER

21-122-0001

ISSUE DATE:

March 10, 2022

REVISIONS:

No.	Date	Description
1	5-24-22	CITY REVIEW
2	7-13-22	CITY REVIEW
3	10-19-22	CITY REVIEW
4	10-26-22	CITY REVIEW

NOTE:
Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

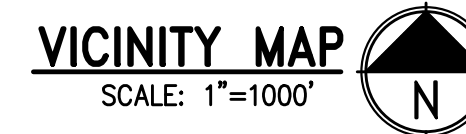
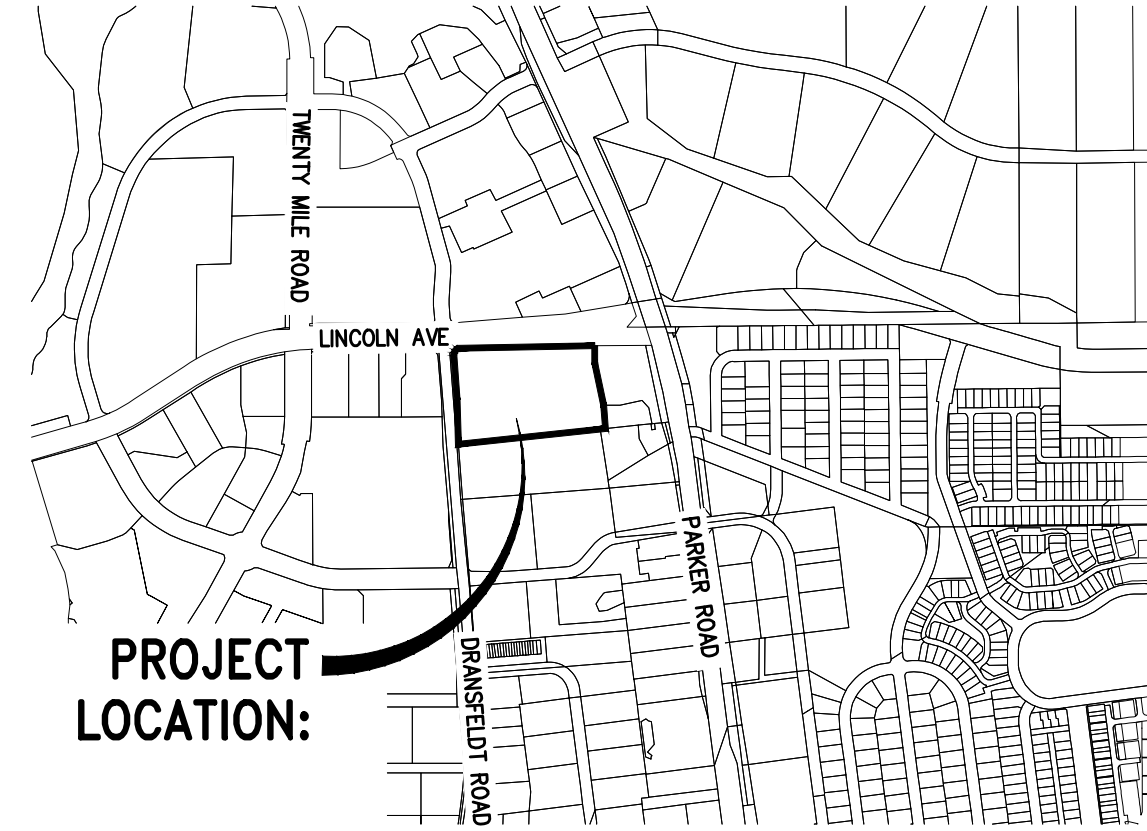
Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in drawings, bidder should not assume the least expensive option will meet the project requirements.

LEGEND:

NEW SANITARY SEWER LINE	
EXT. SANITARY SEWER LINE	
NEW STORM DRAIN LINE	
EXT. STORM DRAIN LINE	
NEW WATER LINE	
EXIST. WATER LINE	
NEW & EXIST. CATCH BASIN	
NEW & EXIST. AREA DRAIN	
STORM DRAIN MANHOLE	
SANITARY SEWER MANHOLE	
NEW & EXIST. CLEANOUT (SD & SSWR)	
NEW ROOF DOWNSPOUT	
NEW & EXIST. GAS METER	
NEW & EXIST. FIRE HYDRANT	
NEW & EXIST. WATER METER	
NEW & EXIST. WATER VALVE	
FITTING WITH THRUST BLOCK	
SURFACE WATER & PIPE DIRECTION FLOW	
EXISTING CONTOUR	
NEW CONTOUR	
EXISTING SURFACE ELEVATION	
FINISHED SURFACE ELEVATION	
TOP OF WALL/TOE OF WALL	
RIP RAP	
NEW CEMENT CONCRETE	
COORDINATES, & LEADERS	
NEW CONCRETE CURB	
NEW CONCRETE CURB & GUTTER	

ABBREVIATIONS:

ACP	ASPHALT CONCRETE PAVEMENT	GV	GATE VALVE
AD	AREA DRAIN	HDPE	HIGH DENSITY POLYETHYLENE
BLDG	BUILDING	HYD	HYDRANT
BM	BENCHMARK	I.E.	INVERT ELEVATION
BNDRY	BOUNDARY	INV	INVERT
BOW	BOTTOM OF WALL	IRR	IRRIGATION WATER
CTV	CABLE TV	LF	LINEAR FEET
C&G	CURB AND GUTTER	MH	MANHOLE
CB	CATCH BASIN	MJ	MECHANICAL JOINT
CL	CLASS	P	POWER
CL	CENTER LINE	PIV	POST INDICATOR VALVE
CMP	CORRUGATED METAL PIPE	PP	POWER POLE
CONC.	CONCRETE	PL	PROPERTY LINE
CPEP	CORRUGATED POLYETHYLENE PIPE	RAD (R)	RADIUS
CTR	CENTER(ED)	RCP	REINFORCED CONCRETE PIPE
DCVA	DOUBLE CHECK VALVE ASSEMBLY	RD	ROAD
DDCV	DOUBLE DETECTOR CHECK VALVE	RET	RETAINING
D.I.	DUCTILE IRON	ROW	RIGHT OF WAY
DIA (ø)	DIAMETER	SD	STORM DRAIN
DIM	DIMENSION	S.F.	SQUARE FEET
DS	DOWN SPOUT	SS	SANITARY SEWER
EL.=	ELEVATION	STA	STATION
EOP	EDGE OF PAVEMENT	TOE	TOE OF WALL, OR SLOPE
FD	FLOOR DRAIN	T	TELEPHONE WIRE
FDC	FIRE DEPARTMENT CONNECTION	TBM	TEMPORARY BENCH MARK
FFE	FINISH FLOOR ELEVATION	T.C.	TOP OF CURB
FH	FIRE HYDRANT FL FLANGED	TG	TOP OF GRATE
G	GAS MAIN	TOP	TOP OF SLOPE
GB	GRADE BREAK	TOW	TOP OF WALL
GM	GAS METER	TV	TELEVISION WIRE
GRD	GRADE		



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LEGAL DESCRIPTION

LINCOLN PROFESSIONAL PARK FILING 1, LOT 1

BASIS OF BEARING

BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, AS MONUMENTED AT BOTH THE NORTHWEST QUARTER CORNER AND THE NORTH QUARTER CORNER BY 3.25" ALUMINUM CAPS, ASSUMED TO BEAR SOUTH 89°29'00" WEST.

VERTICAL DATUM/BENCHMARK:

BENCHMARK IS THE NW CORNER SECTION 15, T6S S R66W, BEING A 3.5" ALUMINUM CAP LS 19003 1999 IN RANGE BOX.

ELEVATION=5806.79' NAVD 88.

SITE DATA:

ZONING: COMMERCIAL

LAND USE	(SF)	(AC)	(% TOTAL)
BUILDING AREA	6,089	0.14	10.30%
FUEL CANOPY	4,290	0.10	7.26%
INTERNAL DRIVES/PARKING	26,875	0.62	45.48%
CONCRETE/SIDEWALKS	9,326	0.21	15.78%
LANDSCAPE	12,515	0.29	21.18%
TOTAL	59,095	1.36	100.00%

PARKING	REQUIRED	PROVIDED
VEHICLE STALLS	24	29
(1 PARKING SPACE/250 SF OF BLDG SPACE)		
ADA/VAN ACCESSIBLE STALLS	2	2
TOTAL STALLS	26	31
BICYCLE PARKING	2	2

PROJECT TEAM:

DEVELOPER/APPLICANT:

MAVERIK INC.
185 S. STATE STREET, SUITE 800
SALT LAKE CITY, UT 84111
CONTACT: CASSIE YOUNGER
PHONE: (801) 936-5557

CIVIL ENGINEER:

DCI ENGINEERS
1331 17TH STREET SUITE 605
DENVER, CO 80202
CONTACT: MANNY NUNO, P.E.
PHONE: (720) 464-7728

LANDSCAPE ARCHITECT:

RUSSELL MILLS STUDIO
2245 CURTIS STREET SUITE 100
DENVER, CO 80205
CONTACT: MATE STARK, R.L.A.
PHONE: (303) 709-0704

APPLICANT:

DCI ENGINEERS
1331 17TH STREET, SUITE 605
DENVER, COLORADO 80202
MANUEL NUNO P.E. (720) 439-4700

ARCHITECT:

PRESCOTT MUIR ARCHITECTS
171 W. PIERPONT AVE.
SALT LAKE CITY, UT 84101
CONTACT: MEGAN CLARK
PHONE: (801) 521-9111

MEP:

CPD GROUP
5050 QUORUM DR. SUITE 338
DALLAS, TX 75254
CONTACT: MATHEW BETSILL
PHONE: (469) 573-4311

CONTRACTOR NOTE:

ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEYS FURNISHED BY OTHERS. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEYS. CONTACT THE UTILITY OWNER/AGENCY FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION.



MAVERIK INC. STORE
LINCOLN AVE. AND DRANSFELDT RD.
PARKER, CO
SITE PLAN



1331 17TH STREET • SUITE 605
DENVER, COLORADO 80202
PHONE: (720) 439-4700
WEBSITE: www.dci-engineers.com
CIVIL / STRUCTURAL
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COVER SHEET

LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1 MAVERIK INC. STORE SITE PLAN

SITUATED IN THE NORTHWEST 1/4 OF SECTION 15,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

Not sure if this is correct, but there looks to be a small gap in the landscaping between the back of curb and the shrub beds starting. Please ensure this landscaping is carried all the way to the sidewalk.

PROJECT NUMBER

21-122-0001

ISSUE DATE:

March 10, 2022

REVISIONS:

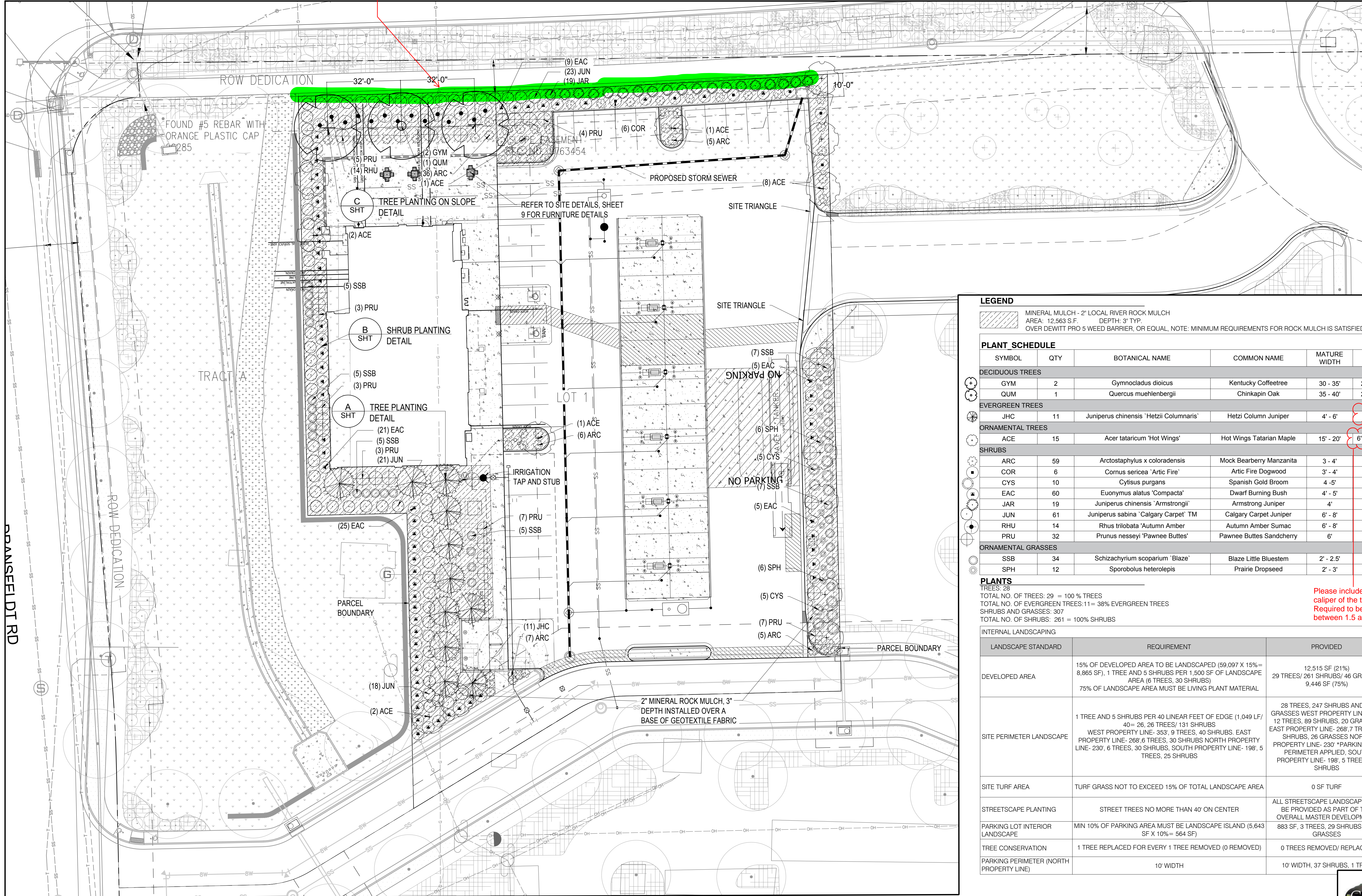
No.	Date	Description
1	5-24-22	CITY REVIEW
2	7-13-22	CITY REVIEW
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Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately, in the event of a conflict in the drawings, bidder should not assume the least expensive option will meet the project requirements.



MAVERIK INC. STORE
LINCOLN AVE. AND DRANSFELDT RD.
PARKER, CO
SITE PLAN



LEGEND

MINERAL MULCH - 2" LOCAL RIVER ROCK MULCH
AREA: 12,563 SF.
DEPTH: 3" TYP.
OVER DEWITT PRO 5 WEED BARRIER, OR EQUAL. NOTE: MINIMUM REQUIREMENTS FOR ROCK MULCH IS SATISFIED

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	MATURE WIDTH	SIZE	SPACING	REMARKS
DECIDUOUS TREES							
GYM	2	Gymnocladus dioica	Kentucky Coffeetree	30 - 35'	2" cal.	As Shown	B&B
QUM	1	Quercus muehlenbergii	Chinkapin Oak	35 - 40'	2" cal.	As Shown	B&B
EVERGREEN TREES							
JHC	11	Juniperus chinensis 'Hetzii Columnaris'	Hetzi Column Juniper	4' - 6'	7 gal	As Shown	Cont.
ORNAMENTAL TREES							
ACE	15	Acer tataricum 'Hot Wings'	Hot Wings Tatarian Maple	15' - 20'	6" Clump	As Shown	B&B
SHRUBS							
ARC	59	Arctostaphylos x coloradensis	Mock Bearberry Manzanita	3 - 4'	5 gal	48" o.c.	Cont.
COR	6	Cornus sericea 'Artic Fire'	Artic Fire Dogwood	3' - 4'	5 gal	60" o.c.	Cont.
CYS	10	Cytisus purgans	Spanish Gold Broom	4 - 5'	5 gal.	60" o.c.	Cont.
EAC	60	Euonymus alatus 'Compacta'	Dwarf Burning Bush	4' - 5'	5 gal.	60" o.c.	Cont.
JAR	19	Juniperus chinensis 'Armstrongii'	Armstrong Juniper	4'	7 gal	As Shown	Cont.
JUN	61	Juniperus sabinna 'Calgary Carpet' TM	Calgary Carpet Juniper	6' - 8'	5 gal	60" o.c.	Cont.
RHU	14	Rhus trilobata 'Autumn Amber'	Autumn Amber Sumac	6' - 8'	5 gal	60" o.c.	Cont.
PRU	32	Prunus nesseyi 'Pawnee Buttes'	Pawnee Buttes Sandcherry	6'	5 gal	60" o.c.	Cont.
ORNAMENTAL GRASSES							
SSB	34	Schizachyrium scoparium 'Blaze'	Blaze Little Bluestem	2' - 2.5'	5 gal	48" o.c.	Cont.
SPH	12	Sporobolus heterolepis	Prairie Dropseed	2' - 3'	5 gal	48" o.c.	Cont.

Is this correct? This should be between 6-8 feet.

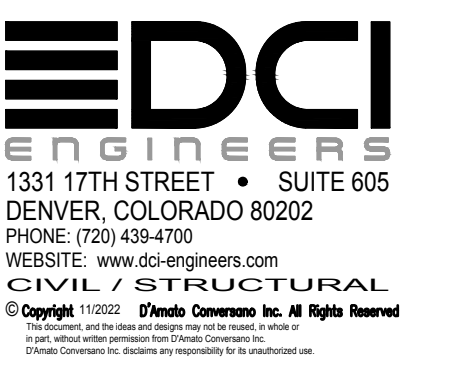
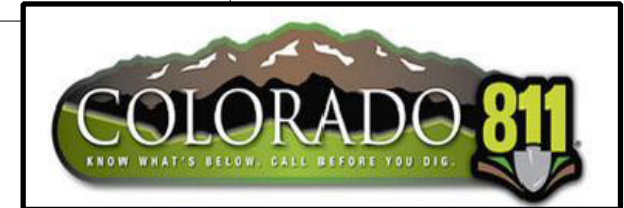
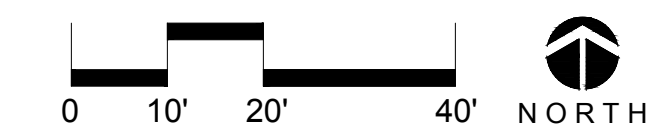
Please include the caliper of the trees. Required to be between 1.5 and 2".

PLANTS

TREES: 28
TOTAL NO. OF TREES: 29 = 100% TREES
TOTAL NO. OF EVERGREEN TREES: 11 = 38% EVERGREEN TREES
SHRUBS AND GRASSES: 307
TOTAL NO. OF SHRUBS: 261 = 100% SHRUBS

INTERNAL LANDSCAPING

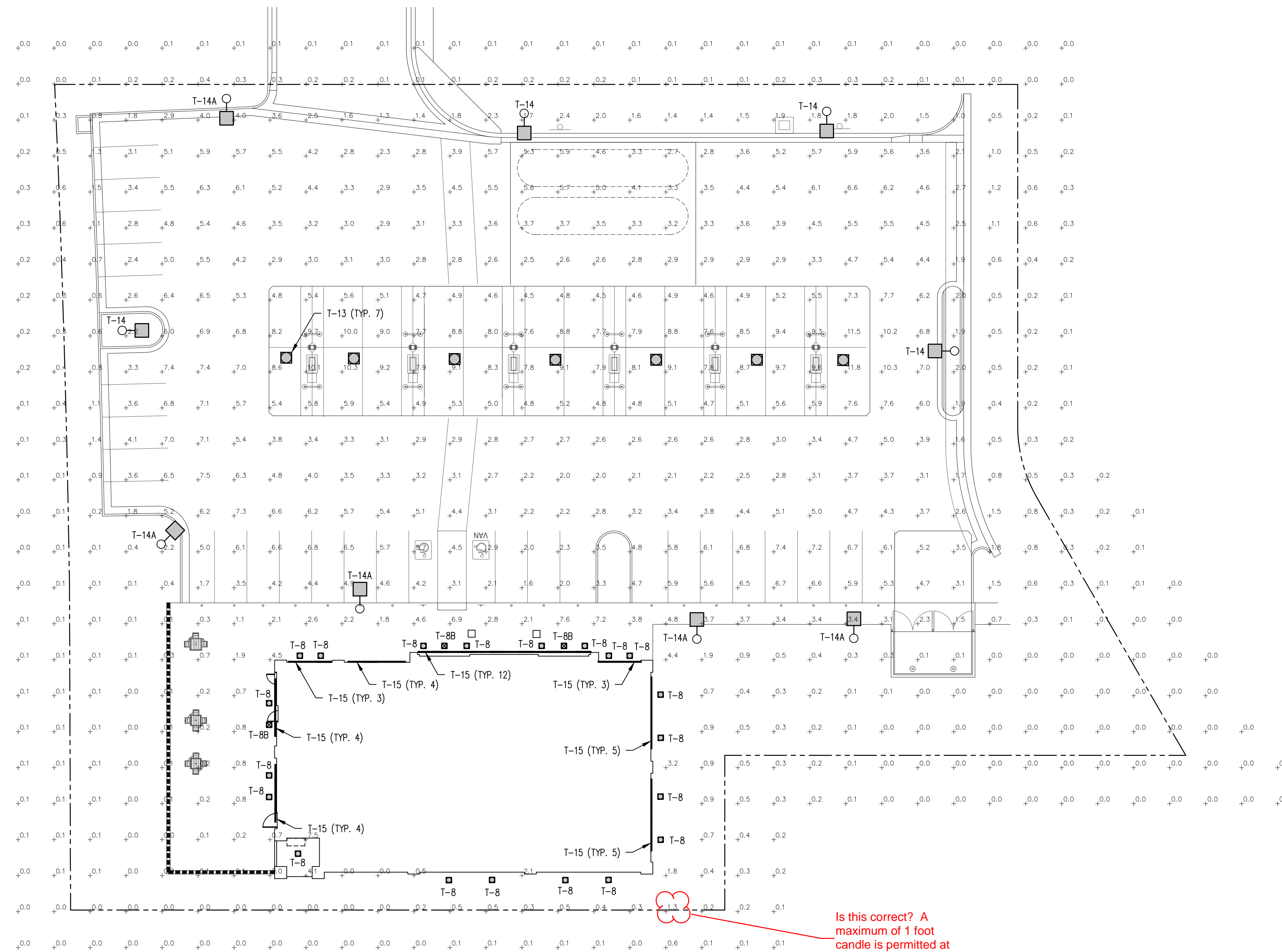
LANDSCAPE STANDARD	REQUIREMENT	PROVIDED
DEVELOPED AREA	15% OF DEVELOPED AREA TO BE LANDSCAPED (59,097 X 15% = 8,865 SF), 1 TREE AND 5 SHRUBS PER 1,500 SF OF LANDSCAPE AREA (6 TREES, 30 SHRUBS) 75% OF LANDSCAPE AREA MUST BE LIVING PLANT MATERIAL	12,515 SF (21%) 29 TREES/ 261 SHRUBS/ 46 GRASSES 9,446 SF (75%)
SITE PERIMETER LANDSCAPE	1 TREE AND 5 SHRUBS PER 40 LINEAR FEET OF EDGE (1,049 LF/ 40 = 26, 26 TREES/ 131 SHRUBS WEST PROPERTY LINE- 353', 9 TREES, 40 SHRUBS, EAST PROPERTY LINE- 268', 6 TREES, 30 SHRUBS, SOUTH PROPERTY LINE- 198', 5 TREES, 25 SHRUBS	28 TREES, 247 SHRUBS AND 34 GRASSES WEST PROPERTY LINE- 353', 12 TREES, 89 SHRUBS, 20 GRASSES. EAST PROPERTY LINE- 268', 7 TREES, 37 SHRUBS, 26 GRASSES NORTH PROPERTY LINE- 230' *PARKING LOT PERIMETER APPLIED, SOUTH PROPERTY LINE- 198', 5 TREES, 25 SHRUBS
SITE TURF AREA	TURF GRASS NOT TO EXCEED 15% OF TOTAL LANDSCAPE AREA	0 SF TURF
STREETSCAPE PLANTING	STREET TREES NO MORE THAN 40' ON CENTER	ALL STREETSCAPE LANDSCAPE WILL BE PROVIDED AS PART OF THE OVERALL MASTER DEVELOPMENT
PARKING LOT INTERIOR LANDSCAPE	MIN 10% OF PARKING AREA MUST BE LANDSCAPE ISLAND (5,643 SF X 10% = 564 SF)	883 SF, 3 TREES, 29 SHRUBS AND GRASSES
TREE CONSERVATION	1 TREE REPLACED FOR EVERY 1 TREE REMOVED (0 REMOVED)	0 TREES REMOVED/ REPLACED
PARKING PERIMETER (NORTH PROPERTY LINE)	10' WIDTH	10' WIDTH, 37 SHRUBS, 1 TREE



LANDSCAPE PLAN

LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1 MAVERIK INC. STORE SITE PLAN

SITUATED IN THE NORTHWEST ¼ OF SECTION 15,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



1 SITE PHOTOMETRIC PLAN
E-1.2 SCALE: 1"=20'-0"

MASTER LUMINAIRE SCHEDULE									
TYPE	MANUFACTURER	CATALOG NUMBER	VOLTS	MOUNTING	LAMPS	BALLAST	WATTS	IMAGE	
DESCRPT: RECESSED BLACK LED DOWNLIGHT 8" APERTURE, 2900 LUMENS, 4K									
T-8	LOTUS LED	LD8R-40K-HO-BR-BT	120	RECESSED	INCLUDED		30		
T-8B	SAME AS T-8 EXCEPT WITH EMERGENCY BATTERY							30	
DESCRPT: WHITE, CANOPY MOUNTED, CUTOFF LUMINAIRE, 103W LED, FLAT LENS, FOR SINGLE DECK CANOPIES (10,209 LUMENS)									
T-13	LSI	SCV LED 10L SC UNV DIM 40 WHT	UNV	CANOPY	INCLUDED		67		
DESCRPT: POLE MOUNTED, DARK BRONZE CUTOFF LUMINAIRE SINGLE HEAD, INTEGRAL LOUVER, LED, 18,930 LUMENS, 17.5FT SQUARE POLE (4", 11 GA.), 4K									
T-14	LSI	SLM LED 18L SIL 3 UNV 40 70 CRI BRZ IL	208	17"-6" POLE	INCLUDED		135		
T-14A	SAME AS T-14 EXCEPT WITH TYPE IV DISTRIBUTION (FORWARD THROW)							135	
DESCRPT: 4FT LED STRIP LUMINAIRE, FULLY RECESSED IN EXTERIOR COVE, WHITE, COLD WEATHER (0F), 2000 LUMENS, DAMP LISTED, LENS, 4K									
T-15	LSI	AST 4 4L SA UNV 840	UNV	EXTERIOR COVE	INCLUDED		20		

*LUMINAIRES ARE PROVIDED BY OWNER, INSTALLED BY E.C. (REFERENCE SCHEDULE ON E-4.0)

CALCULATION SUMMARY								
AREA NAME	GRID / TYPE	SPAC	GROUP	AVE	MAX	MIN	MAX/MIN	AVE/MIN
OVERALL	0'-0" / H-H	10.00	<+>	2.5	11.8	0.00	N/A	N/A
PARKING	0'-0" / H-H	10.00	<+>	4.5	11.2	1.5	7.5:1	3.0:1



185 S. State Street
Salt Lake City, Utah 84111

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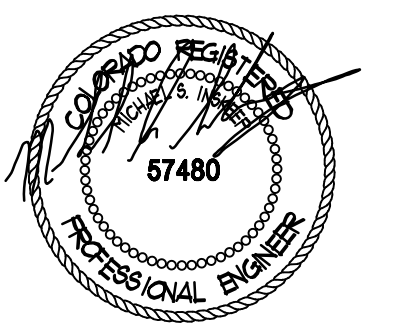
ARCHITECT:

ENGINEER:

NEI
Nelson Engineering, Inc.
Consulting Engineers
156 North Twelfth Avenue
Provo, Utah 84601
Ph (208) 232-2577 FAX
(208) 234-0918

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STAMP:



MAVERIK, INC.
STORE #

LINCOLN AVENUE AND
DRANSFELDT ROAD
PARKER, CO

REVISIONS	
DESCRIPTION	DATE

DESIGNED BY: MJE DRAWN BY: MJE
REVIEWED BY: MJE APPROVED BY: MSI
PROTOTYPE VERSION: 50

DRAWING ISSUE
DATE: 11-3-22
PROJECT NUMBER: 21337

SHEET NAME
PHOTOMETRIC PLAN

SHEET NUMBER
26.0 OF 26



Project Number: SP21-133

Description: **Lincoln Professional Park L1 - Maverik**

Applied: **10/28/2021**

Approved:

Site Address: **11964 DRANSFELDT RD**

Closed:

Expired:

City, State Zip Code: , **80134**

Status: **UNDER REVIEW 4+**

Applicant: **Maverik, Inc.**

Parent Project: **Z20-019**

Owner: **Plaza Street Partners**

Contractor: **<NONE>**

Details:

The applicant, Maverik, Inc, is proposing a Site Plan for a 4,425 sq. ft. gas and convenience store. The site is located at southeast corner of Dransfeldt Road and Lincoln Avenue.

LIST OF REVIEWS

SENT DATE	RETURNED DATE	DUE DATE	TYPE	CONTACT	STATUS	REMARKS
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Review Group: ALL

11/3/2021	11/18/2021	11/10/2021	COMPLETENESS REVIEW	Stacey Nerger	REVISIONS REQUIRED	
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Notes:

Cassie,

I apologize for the delay, but I have finished the Completeness Review for the Maverik Station at the Lincoln Professional Park. Below are a list of items that are required to deem the application complete. Please submit the required documents as soon as possible to get the application out for referral.

1. Application Fees - \$2,115.00 (An addition \$52.88 will apply if paid by credit card)
2. Legal Description of the property
3. Vicinity Map of the property (This can be added to the cover page of the Site Plan set and can occur at the time of the 2nd referral)
4. Chargeback Agreement – Attached
5. Color and Material Board (This is a physical board that needs to be delivered to Town Hall. This can be submitted at the time of 2nd referral)
6. Public Notice Requirements Apply – Two signs will need to be posted on the site. I will send a separate email to FastSigns who the Town contracts with to create the signs. You will need to create an account with FastSigns Parker to pay for these signs. These signs need to be installed on the property prior to the 2nd referral.

Please let me know if you have any questions.

Thank you,
Stacey

10/10/2022	10/10/2022	10/24/2022	FIRE LIFE SAFETY 10	Randy Capra	APPROVED	with comments for 5th review
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Notes:

11/8/2022	11/22/2022	11/23/2022	CONST PLANS - STORMWATER 10	Michael Walton	REVISIONS REQUIRED	See Engineering Memo
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Notes:



PARKER
C O L O R A D O



Project Reviews Town of Parker

11/8/2022	11/21/2022	11/23/2022	DRAINAGE REPORT - STORMWATER	Michael Walton	REVISIONS REQUIRED	See Notes
Notes: Revised Drainage Report not provided for review. See Engineering Memo for outstanding comments from previous reviews.						
Review Group: AUTO						
10/28/2021			ENGINEERING ADMINISTRATIVE	Tom Williams		
Notes:						
10/28/2021	11/17/2021	11/12/2021	LAND USE COMPLETENESS REVIEW	Alex Mestdagh	COMPLETED	
Notes:						



PARKER
COLORADO

Project Reviews Town of Parker



Review Group: SP 1ST 20

11/24/2021	12/3/2021	12/27/2021	Building 20	Randy Capra	ADVISORY COMMENTS	See Notes
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Notes:

As applicable:

Provide acknowledgment of the comments noted below:

Building/Fire Life Safety permit application will not be accepted/reviewed until the associated site plan is approved. All plans submitted for Town of Parker Building review must meet the 2021 I-Codes, the 2020 NEC, and the correctly referenced NFPA editions noted in applicable codes (i.e. 20121 IFC references the 2019 edition of NFPA 13 and the 2019 edition of NFPA 72).

NFRC certificates, interior/exterior lighting along with the mechanical and envelope compliance path must be included with the original submittal. All Fire Permit applications and inspections will be handled through the Parker Building Division. All land use applications and the associated Grading Permit must be approved/issued per Planning and Public Works prior to the Building Permit being approved/issued. Note - a building permit is required for commercial fencing, pergolas, outbuildings, outdoor lighting, and for retaining walls that are four feet or taller... as measured from the base of the retaining wall footing.

All lot specific permit applications will be verified for setbacks, utility easement encroachments and conformance to planning design minimum requirements (the Matrix). Model homes cannot be constructed until curb, gutter, first lift of asphalt, fire hydrants and street signage are completed to provide proper emergency access measures. No permanent construction is allowed in the utility easements such as counterforts or wall buttresses. This will be verified during the building permit application review for each individual lot. Retaining walls greater than 4' from base of footing or bottom course requires separate building permit; plans must be stamped by a qualified professional.

Buildings in floodplain need to be satisfied by Storm Water before construction on these lots can occur.

Buildings

When resubmitting, the applicant shall provide acknowledgment of the requirements noted below:

Building/Fire Life Safety permit application will not be accepted/reviewed until the associated site plan is approved. All plans submitted for Building Department review must meet the 2021 I-Codes, the 2020 NEC, and the correctly referenced NFPA editions noted in applicable codes (i.e. 2021 IFC references the 2019 edition of NFPA 72 and the 2019 edition of NFPA 13). Note - the Town of Parker will have formally adopted the 2021 ICC code family and the 2020 NEC with an effective date of January 1, 2022.

NFRC certificates, interior/exterior lighting along with the mechanical and envelope compliance path must be included with the original submittal. All Fire Permit applications and inspections will be handled through the Parker Building Division. All land use applications and the associated Grading Permit must be approved/issued per Planning and Public Works prior to the Building Permit being approved/issued. Note - a building permit is required for commercial fencing, pergolas, outbuildings, outdoor lighting, and for retaining walls that are four feet or taller... as measured from the base of the retaining wall footing.

11/24/2021	12/7/2021	12/27/2021	CenturyLink Communications 20	CenturyLink	APPROVED	
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Notes:

Requester,

Our engineer has reviewed this plat and their comments are: "I have no objections or comments to this plat"

If you require signatures, you can contact the engineer CC'd on this email and if you have any further questions, please don't hesitate to reach out.

Thank you



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11/24/2021	12/13/2021	12/27/2021	Cherry Creek Basin Water Quality Authority 20	Rich Borchardt	ADVISORY COMMENTS	See Notes
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Notes:

1. The Authority's Control Regulation 72 requires construction and post-construction Best Management Practices (BMPs).
2. No exceptions taken with the proposed construction or post construction BMPs.
3. No further referrals to the authority on this project are required.

11/24/2021		12/27/2021	Comcast 20	Butch Buster		
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Notes:

11/24/2021	12/28/2021	12/27/2021	CONST PLANS - ENVIRONMENTAL	Michael Walton	REVISIONS REQUIRED	See Notes and Engineering Memo
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Notes:

GENERAL COMMENTS

1. Please utilize the Town's standard labeling, nomenclature, and blocks to the extents feasible.
2. Omit all existing and proposed utilities from the CBMP Drawings, except those relating to stormwater.
3. Please consider connecting the Stabilized Staging Area (SSA) to the Vehicle Tracking Control (VTC) as shown on the Town's standard detail. This helps limit the amount of traffic required to cross the disturbed site and decreases overall tracking from the site.
4. Label and identify the ratio of all slopes that are 4:1 or greater.
5. Replace the Sediment Control Log (SCL) shown in the pond with one call out of Detention Pond Protection (DP).
6. Provide and identify Portable Toilet Protection (PTP).
7. Utilize the four standard types of inlet protection provided in the Town's Standard details.
8. Include within the plan set all of the town's 31 CBMP Notes & Details.
9. Provide a legend of symbols to correspond to the Town's 31 CBMP Notes & Details.
10. Provide and identify Debris and Trash Control (DTC) on all existing paved areas adjacent to the site and on all proposed paved areas interior to the site.
11. Add the following note to the initial and final CBMP plan sheets:
"LOT PROTECTION (LP) IS REQUIRED ON COMMERCIAL LOTS WHEN LANDSCAPING IS NOT POSSIBLE."
12. Add the following note to the initial and final CBMP plan sheets:
"TO REDUCE THE POTENTIAL FOR CLOGGING OF DEBRIS GRATES, NO STRAW MULCH SHALL BE USED WITHIN THE EXCESS URBAN RUNOFF VOLUME OF A DETENTION BASIN. INSTEAD, EROSION CONTROL BLANKET SHALL BE INSTALLED FOR A WIDTH OF AT LEAST 6 FEET ON BOTH SIDES OF THE CONCRETE LOW FLOW CHANNELS OR UP TO A DEPTH OF 1 FOOT IN SOIL RIPRAP OR BENCHED LOW FLOW CHANNELS. ADDITIONALLY, HYDRAULICALLY-APPLIED WOOD FIBER MULCH, STABILIZED FIBER MATRIX, BONDED FIBER MATRIX, OR FLEXIBLE GROWTH MEDIUM SHALL BE USED IN ALL OTHER AREAS WITHIN THE EXCESS URBAN RUNOFF VOLUME OF THE DETENTION BASIN. THE BLANKET AND HYDRAULICALLY-APPLIED MULCH SHALL COMPLY WITH THE MATERIALS AND INSTALLATION REQUIREMENTS FOR EROSION CONTROL BLANKETS AS REQUIRED BY THE TOWN'S CBMP PROGRAM, AND WHERE APPLICABLE, THE PRODUCT MANUFACTURER."

INITIAL CBMP PLANS

13. Please utilize only one means of perimeter control along any single extents of the site. Perimeter control should be Silt Fence (SF) when downstream of disturbed areas and Construction Fence (CF) when upstream of disturbed areas.
14. Provide and identify the Vehicle Tracking Control (VTC) and Stabilized Staging Area (SSA) on the initial plan sheet as well.
15. Provide and identify Surface Roughening (SR) in all proposed landscaped areas.

INTERIM CBMP PLANS

16. Provide and identify sediment control logs (SCL) along all paved areas adjacent landscape/pervious areas. This includes landscape islands and all pedestrian walks.
17. Provide and identify Erosion Control Blanket (ECB) on all slopes steeper than 4:1.
18. Provide and identify Masonry Work Protection (MWP) for the site.

FINAL CBMP PLANS

19. Provide and identify Seeding Mulching and Crimping (SMC) in all proposed landscaped areas.



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11/24/2021	12/28/2021	12/27/2021	CONST PLANS - STORMWATER	Michael Walton	REVISIONS REQUIRED	See Notes and Engineering Memo
<p>Notes:</p> <ol style="list-style-type: none"> 1. All storm sewer systems collecting drainage from the proposed drive aisles and parking areas shall be considered public and must adhere to the standards and specifications outlined within Section 6.3.3 of the Town's SDECM, including the use of 18-inch minimum RCP and dedication of drainage easements. 2. Provide a more unique line type for the proposed storm sewer in plan view. Currently the linework is easily lost on the plans. 3. Provide a minimum of a 0.2-foot drop between any invert into a storm sewer structure and the invert out of the storm sewer structure. 4. Provide CDOT standard details for all proposed storm sewer infrastructure. 5. Provide the Town's standard Manhole Cover detail. Reference RDCCM Appendix A for the most current form of the detail. 6. Provide and identify the major and minor storms' hydraulic grade lines on all storm sewer profiles. 						
11/24/2021	1/4/2022	12/27/2021	CONSTRUCTION PLANS - CIVIL	Tyler Sandt	REVISIONS REQUIRED	See Engineering Memo
<p>Notes:</p>						
11/24/2021	1/4/2022	12/27/2021	DRAINAGE REPORT - CIVIL	Tyler Sandt	REVISIONS REQUIRED	See Engineering Memo
<p>Notes:</p>						
11/24/2021	12/28/2021	12/27/2021	DRAINAGE REPORT - STORMWATER	Michael Walton	REVISIONS REQUIRED	See Notes and Engineering Memo
<p>Notes:</p> <p>Provide a site specific drainage conformance letter for this application showing conformance with the master developer's final drainage report.</p>						
11/24/2021	12/3/2021	12/27/2021	FIRE LIFE SAFETY 20	Randy Capra	REVISIONS REQUIRED	See Notes
<p>Notes:</p> <p>See Fire Life Safety Response named "SP21-133 Lincoln Professional Park L1-Maverik [1] Fire Life Safety Response Ltr 120221" and address all comments. Note, besides the internal requirement for a fire hydrant on the southeast corner of the building, the riser room is required to be located in this same location. In order for the C-store to be approved, the site is required to be approved; the site requires a hydrant at the entry off of both Lincoln Ave and Dransfeldt Road (as well s an additional three or four spaced internally along the southern access/at east end entries off by Walgreens.</p>						
11/24/2021	12/15/2021	12/27/2021	IREA 20	Brooks Kaufman	DENIED	
<p>Notes:</p> <p>The proposed site plan is incomplete. Please provide grading plans, show proposed utility easements, transformer location and EUSERC Cabinet location. In addition relocate storm sewer, retaining wall and parking lot lights.</p> <p>Last item CORE has existing overhead electric facilities on the subject property, the applicant will be required to convert the overhead electric facilities to underground at their expense.</p>						
11/24/2021	1/3/2022	12/27/2021	Parker Authority for Reinvestment 20	Weldy Feazell	NO COMMENT	
<p>Notes:</p>						
11/24/2021	1/7/2022	12/27/2021	PHOTOMETRIC PLAN 20	Stacey Nerger	REVISIONS REQUIRED	
<p>Notes:</p> <p>See Planning Comments 1st Referral within the attachments.</p>						



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11/24/2021	12/27/2021	12/27/2021	Public Service Company of Colorado 20	Donna George	REVISIONS REQUIRED	please see attached
Notes:						
11/24/2021	1/4/2022	12/27/2021	SITE PLAN - CIVIL	Tyler Sandt	REVISIONS REQUIRED	See Engineering Memo
Notes:						
11/24/2021	12/28/2021	12/27/2021	SITE PLAN - STORMWATER	Michael Walton	REVISIONS REQUIRED	See Notes and Engineering Memo
Notes: All storm sewer systems collecting drainage from the proposed drive aisles and parking areas shall be considered public and must adhere to the standards and specifications outlined within Section 6.3.3 of the Town's SDECM, including the use of 18-inch minimum RCP and dedication of drainage easements.						
11/24/2021	1/7/2022	12/27/2021	SITE PLAN 20	Stacey Nerger	REVISIONS REQUIRED	
Notes: See Planning Comments 1st Referral within the attachments.						
11/24/2021		12/27/2021	SOUTH METRO FIRE 20	South Metro Fire		
Notes:						
Review Group: SP 1ST 20 ADD						
11/24/2021	12/7/2021	12/27/2021	Parker Water and Sanitation District 20	Drayton Sanderson	REVISIONS REQUIRED	
Notes: Please refer to PWSD comment letter and redline plans for revisions required prior to PWSD plan approval.						
Review Group: SP 2ND 15						
3/23/2022	4/11/2022	4/13/2022	CONST PLANS - ENVIRONMENTAL 15	Michael Walton	REVISIONS REQUIRED	See Stormwater Memo
Notes: Previous comments were not addressed. Please see attached Stormwater Memo.						
3/23/2022	4/11/2022	4/13/2022	CONST PLANS - STORMWATER 15	Michael Walton	REVISIONS REQUIRED	See Stormwater Memo
Notes: Previous comments were not addressed. Please see the attached stormwater memo.						
3/23/2022	6/13/2022	4/13/2022	CONSTRUCTION PLANS - CIVIL 15	Alex Mestdagh	REVISIONS REQUIRED	See Notes
Notes: 25-foot drainage easements are required to be dedicated over all storm sewer (excluding roof and landscape drains). Please provide legal descriptions and exhibits for all such easements.						



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3/23/2022	4/11/2022	4/13/2022	DRAINAGE REP - STORMWATER 15	Michael Walton	REVISIONS REQUIRED	See Stormwater Memo
Notes: Previous comments were not addressed. Please se the attached stormwater memo.						
3/23/2022	6/13/2022	4/13/2022	DRAINAGE REPORT - CIVIL 15	Alex Mestdagh	NO COMMENT	
Notes:						
3/23/2022	3/25/2022	4/13/2022	FIRE LIFE SAFETY 15	Randy Capra	REVISIONS REQUIRED	See Notes
Notes: See Fire Life Safety Response named "SP21-133 Lincoln Professional Park L1-Maverik [2] Fire Life Safety Response Ltr 0325222" and address all comments.						
3/23/2022	4/13/2022	4/13/2022	IREA 15	Brooks Kaufman	DENIED	
Notes: The applicant didn't address all the previous comments with parking lot lights and EUSERC cabinet location. The applicant will be required to address the retaining wall encroachment and clearance requirements for the transformer location. The applicant will be required to request removal of the existing overhead at their expense.						
3/23/2022	4/26/2022	4/13/2022	PHOTOMETRIC PLAN 15	Stacey Nerger	REVISIONS REQUIRED	
Notes: See Planning Comments 2nd Referral within the attachments.						
3/23/2022	4/12/2022	4/13/2022	PUBLIC SERVICE COMPANY OF COLORADO 15	Donna George	ADVISORY COMMENTS	see New Notes
Notes: PSCo acknowledges that the gas line in conflict will be vacated. The property owner/developer/contractor is reminded to complete the application process to remove this gas line via xcelenergy.com/InstallAndConnect .						
3/23/2022	6/13/2022	4/13/2022	SITE PLAN - CIVIL 15	Alex Mestdagh	NO COMMENT	
Notes:						
3/23/2022	4/11/2022	4/13/2022	SITE PLAN - STORMWATER 15	Michael Walton	REVISIONS REQUIRED	See Stormwater Memo
Notes: Previous comments were not addressed. Please see attached Stormwater Memo.						
3/23/2022	4/26/2022	4/13/2022	SITE PLAN 15	Stacey Nerger	REVISIONS REQUIRED	
Notes: See Planning Comments 2nd Referral within the attachments.						



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Review Group: SP 2ND 15 ADD

3/23/2022	4/13/2022	4/13/2022	PARKER WATER AND SANITATION DISTRICT 15	Drayton Sanderson	REVISIONS REQUIRED	See notes
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Notes:

Please refer to PWSD comment letter 2nd referral and redline PWSD utility plans for revisions required prior to plan approval.

Review Group: SP GRP 10

6/14/2022	7/1/2022	6/29/2022	CONST PLANS - ENVIRONMENTAL 10	Michael Walton	REVISIONS REQUIRED	See Stormwater Memo
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Notes:

Previous comments still not addressed. See Stormwater Memo.

6/14/2022	7/1/2022	6/29/2022	CONST PLANS - STORMWATER 10	Michael Walton	REVISIONS REQUIRED	See Stormwater Memo
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Notes:

Previous comments still not addressed. See Stormwater Memo.

6/14/2022	8/31/2022	6/29/2022	CONSTRUCTION PLANS - CIVIL 10	Alex Mestdagh	REVISIONS REQUIRED	See Notes
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Notes:

Please provide legal descriptions and exhibits for required Drainage Easements per previous comments.

6/14/2022	7/1/2022	6/29/2022	DRAINAGE REP - STORMWATER 10	Michael Walton	REVISIONS REQUIRED	See Stormwater Memo
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Notes:

Previous comments still not addressed. See Stormwater Memo.

6/14/2022	6/21/2022	6/29/2022	FIRE LIFE SAFETY 10	Randy Capra	REVISIONS REQUIRED	3rd Referral
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Notes:

This is the third submittal where the applicant has not responded to Fire Life Safety comments; just has Planning provides a letter and a response is provided, the applicant shall respond to this letter. See document named "SP21-133 Lincoln Professional Park L1-Maverik [3] Fire Life Safety Response Ltr 062122" for comments.

6/14/2022	6/16/2022	6/29/2022	IREA 10	Brooks Kaufman	REVISIONS REQUIRED	3rd Referral
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Notes:

The proposed EUSERC Cabinet location may not be screened, the proposed tree will need moved allow proper access to the EUSERC cabinet.

6/14/2022	7/10/2022	6/29/2022	PHOTOMETRIC PLAN 10	Stacey Nerger	REVISIONS REQUIRED	3rd Referral
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Notes:

See Planning Comments 3rd Referral within the attachments.

6/14/2022	7/1/2022	6/29/2022	SITE PLAN - STORMWATER 10	Michael Walton	REVISIONS REQUIRED	See Stormwater Memo
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Notes:

Previous comments still not addressed. See Stormwater Memo.



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6/14/2022	7/10/2022	6/29/2022	SITE PLAN 10	Stacey Nerger	REVISIONS REQUIRED	3rd Referral
Notes: See Planning Comments 3rd Referral within the attachments.						
9/6/2022	9/23/2022	9/20/2022	CONST PLANS - ENVIRONMENTAL 10	Michael Walton	REVISIONS REQUIRED	See Stormwater Memo
Notes:						
9/6/2022	9/23/2022	9/20/2022	CONST PLANS - STORMWATER 10	Michael Walton	REVISIONS REQUIRED	See Stormwater Memo
Notes:						
9/6/2022	9/29/2022	9/20/2022	CONSTRUCTION PLANS - CIVIL 10	Alex Mestdagh	REVISIONS REQUIRED	See Notes
Notes: Per previous comments, please provide legal descriptions and exhibits for required Drainage Easements. Please also provide the name and title of the person who will sign for the owner.						
9/6/2022	9/23/2022	9/20/2022	DRAINAGE REP - STORMWATER 10	Michael Walton	REVISIONS REQUIRED	See Stormwater Memo
Notes:						
9/6/2022	9/12/2022	9/20/2022	FIRE LIFE SAFETY 10	Randy Capra	REVISIONS REQUIRED	See Notes
Notes: This is the fourth submittal and the applicant has yet to provide the required formal response the the fire life safety response letter or addressed all comments.						
9/6/2022	9/20/2022	9/20/2022	IREA 10	Brooks Kaufman	DENIED	Address retaining wall encroachment
Notes: The applicant and the developer will be required to address the retaining wall encroachment into the 15-foot easement which is not allowed within the utility easement. CORE Electric has made this comment many times and it has been passed on by the applicant to the developer and CORE will not approve the site plan until it is resolved as effects the applicant's drainage and grading of the project. Applicant will need to reevaluate the EUSERC Cabinet location as it conflicts with south elevation windows. Applicant will be required add the existing utility easements and revise the site plan to depict the correct road dedication.						
9/6/2022	9/28/2022	9/20/2022	PHOTOMETRIC PLAN 10	Stacey Nerger	REVISIONS REQUIRED	
Notes: See Planning comments 4th Referral within the attachments.						
9/6/2022	9/23/2022	9/20/2022	SITE PLAN - STORMWATER 10	Michael Walton	REVISIONS REQUIRED	See Stormwater Memo
Notes:						



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9/6/2022	9/28/2022	9/20/2022	SITE PLAN 10	Stacey Nerger	REVISIONS REQUIRED	
Notes: See Planning comments 4th Referral within the attachments.						
11/8/2022	11/22/2022	11/23/2022	CONST PLANS - ENVIRONMENTAL 10	Michael Walton	REVISIONS REQUIRED	See Engineering Memo
Notes:						
11/8/2022	11/22/2022	11/23/2022	CONSTRUCTION PLANS - CIVIL 10	Michael Walton	REVISIONS REQUIRED	See Engineering Memo
Notes:						
11/8/2022	11/17/2022	11/23/2022	IREA 10	Brooks Kaufman	APPROVED	
Notes:						
11/8/2022		11/23/2022	PHOTOMETRIC PLAN 10	Stacey Nerger		
Notes:						
11/8/2022	11/22/2022	11/23/2022	SITE PLAN - STORMWATER 10	Michael Walton	REVISIONS REQUIRED	See Engineering Memo
Notes:						
11/8/2022		11/23/2022	SITE PLAN 10	Stacey Nerger		
Notes:						
Review Group: SP GRP 10 ADD						
6/14/2022	6/21/2022	6/29/2022	PARKER WATER AND SANITATION DISTRICT 10	Drayton Sanderson	REVISIONS REQUIRED	3rd Referral
Notes: Please refer to PWSD comment letter and redline plans 3rd referral for revisions required prior to PWSD approval.						
9/6/2022	9/15/2022	9/20/2022	PARKER WATER AND SANITATION DISTRICT 10	Drayton Sanderson	REVISIONS REQUIRED	See notes
Notes: PWSD has no further design comments, please see PWSD comment letter 4th ref for documents and fees that will need to be submitted to PWSD prior to plan approval.						
11/8/2022	11/8/2022	11/23/2022	PARKER WATER AND SANITATION DISTRICT 10	Drayton Sanderson	REVISIONS REQUIRED	See notes
Notes: PWSD no further comments. PWSD will do no further work on this project until review fees are paid. Please submit requested documents and fees. See uploaded PWSD invoices.						



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Review Group: SUBMITTAL CHECKLIST

11/18/2021	11/24/2021	12/6/2021	COMPLETENESS REVIEW	Stacey Nerger	COMPLETED	
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Notes: