

# LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1 MAVERIK INC. STORE SITE PLAN

SITUATED IN THE NORTHWEST ¼ OF SECTION 15,  
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



Final Document  
Subject To Conditions In Approval Letter

APPROVED DATE: 11/17/2023

Planning Approval By: S. Nerger

PROJECT NUMBER

21-122-0001

ISSUE DATE:

JUNE 30, 2023

REVISIONS:

No.	Date	Description
1	5-24-22	CITY REVIEW
2	7-13-22	CITY REVIEW
3	10-19-22	CITY REVIEW
4	10-26-22	CITY REVIEW
5	12-08-22	CITY REVIEW
6	1-09-23	CITY REVIEW
7	3-10-23	CITY REVIEW
8	5-17-23	CITY REVIEW
9	6-30-23	CITY REVIEW

NOTE:  
Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

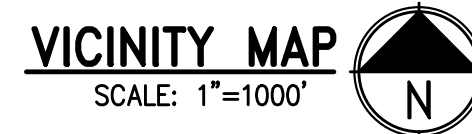
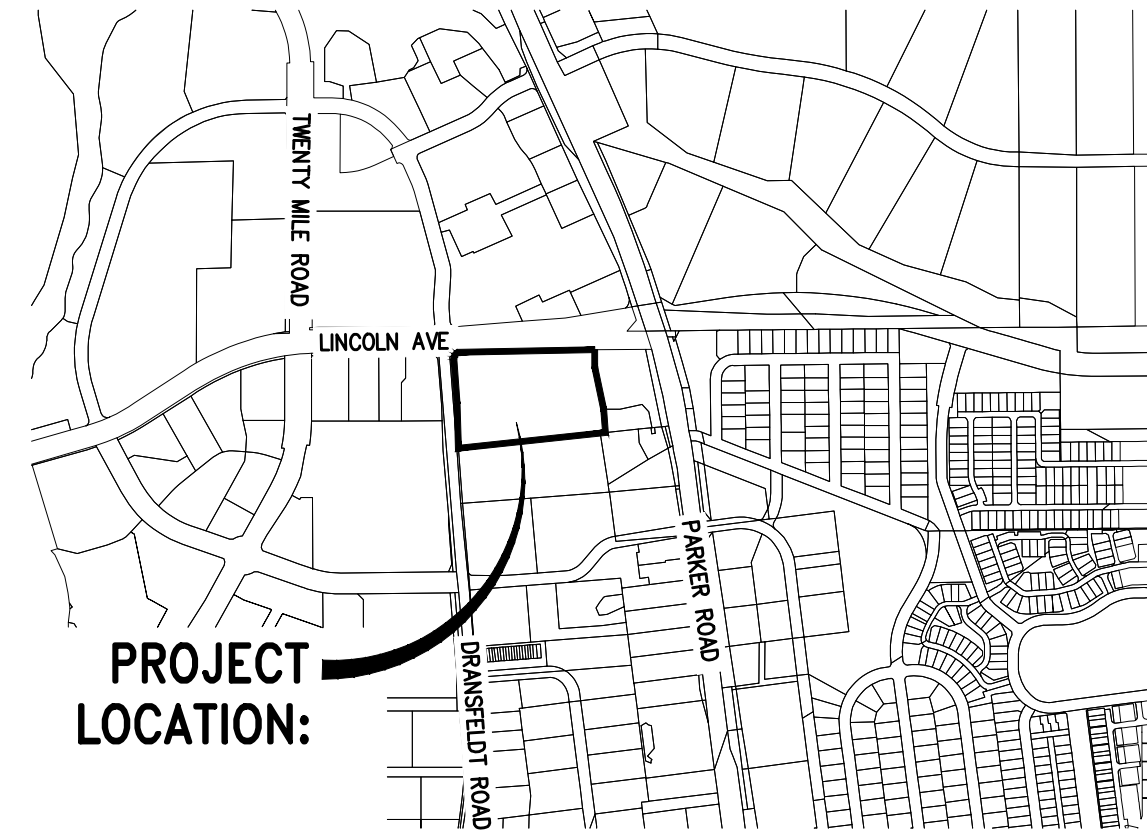
Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in the drawings, bidder shall not assume the least expensive option will meet the project requirements.

## LEGEND:

NEW SANITARY SEWER LINE	
EXT. SANITARY SEWER LINE	
NEW STORM DRAIN LINE	
EXT. STORM DRAIN LINE	
NEW WATER LINE	
EXIST. WATER LINE	
NEW & EXIST. CATCH BASIN	
NEW & EXIST. AREA DRAIN	
STORM DRAIN MANHOLE	
SANITARY SEWER MANHOLE	
NEW & EXIST. CLEANOUT (SD & SSWR)	
NEW ROOF DOWNSPOUT	
NEW & EXIST. GAS METER	
NEW & EXIST. FIRE HYDRANT	
NEW & EXIST. WATER METER	
NEW & EXIST. WATER VALVE	
FITTING WITH THRUST BLOCK	
SURFACE WATER & PIPE DIRECTION FLOW	
EXISTING CONTOUR	
NEW CONTOUR	
EXISTING SURFACE ELEVATION	
FINISHED SURFACE ELEVATION	
TOP OF WALL/TOE OF WALL	
RIP RAP	
NEW CEMENT CONCRETE	
COORDINATES, & LEADERS	
NEW CONCRETE CURB	
NEW CONCRETE CURB & GUTTER	

## ABBREVIATIONS:

ACP	ASPHALT CONCRETE PAVEMENT	GV	GATE VALVE
AD	AREA DRAIN	HDPE	HIGH DENSITY POLYETHYLENE
BLDG	BUILDING	HYD	HYDRANT
BM	BENCHMARK	I.E.	INVERT ELEVATION
BNDRY	BOUNDARY	INV	INVERT
BOW	BOTTOM OF WALL	IRR	IRRIGATION WATER
CTV	CABLE TV	LF	LINEAR FEET
C&G	CURB AND GUTTER	MH	MANHOLE
CB	CATCH BASIN	MJ	MECHANICAL JOINT
CL	CLASS	P	POWER
CL	CENTER LINE	PIV	POST INDICATOR VALVE
CMP	CORRUGATED METAL PIPE	PP	POWER POLE
CONC.	CONCRETE	PL	PROPERTY LINE
CPEP	CORRUGATED POLYETHYLENE PIPE	RAD (R)	RADIUS
CTR	CENTER(ED)	RCP	REINFORCED CONCRETE PIPE
DCVA	DOUBLE CHECK VALVE ASSEMBLY	RD	ROAD
DDCV	DOUBLE DETECTOR CHECK VALVE	RET	RETAINING
D.I.	DUCTILE IRON	ROW	RIGHT OF WAY
DIA (ø)	DIAMETER	SD	STORM DRAIN
DIM	DIMENSION	S.F.	SQUARE FEET
DS	DOWN SPOUT	SS	SANITARY SEWER
EL.=	ELEVATION	STA	STATION
EOP	EDGE OF PAVEMENT	TOE	TOE OF WALL, OR SLOPE
FD	FLOOR DRAIN	T	TELEPHONE WIRE
FDC	FIRE DEPARTMENT CONNECTION	TBM	TEMPORARY BENCH MARK
FFE	FINISH FLOOR ELEVATION	T.C.	TOP OF CURB
FH	FIRE HYDRANT FL FLANGED	TG	TOP OF GRATE
G	GAS MAIN	TOP	TOP OF SLOPE
GB	GRADE BREAK	TOW	TOP OF WALL
GM	GAS METER	TV	TELEVISION WIRE
GRD	GRADE		



## SHEET INDEX

COVER SHEET	1
NOTES	2
EXISTING CONDITIONS	3
HORIZONTAL CONTROL PLAN	4
SITE PLAN	5
GRADING PLAN	6
FUEL AREA GRADING DETAIL	7
SITE DETAILS	8-11
LANDSCAPE PLAN	12
LANDSCAPE DETAILS	13
IRRIGATION PLAN	14
IRRIGATION DETAILS	15
BUILDING ELEVATIONS	16-21
BUILDING FLOOR PLAN	22-23
BUILDING ROOF PLAN	24
BUILDING MATERIALS	25
PHOTOMETRICS	26.0-26.2

## LEGAL DESCRIPTION

LINCOLN PROFESSIONAL PARK FILING 1, LOT 1

## BASIS OF BEARING

BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, AS MONUMENTED AT BOTH THE NORTHWEST QUARTER CORNER AND THE NORTH QUARTER CORNER BY 3.25" ALUMINUM CAPS, ASSUMED TO BEAR SOUTH 89°29'00" WEST.

## VERTICAL DATUM/BENCHMARK:

BENCHMARK IS THE NW CORNER SECTION 15, T6S S R66W, BEING A 3.5" ALUMINUM CAP LS 19003 1999 IN RANGE BOX.

ELEVATION=5806.79' NAVD 88.

## SITE DATA:

ZONING: COMMERCIAL

LAND USE	(SF)	(AC)	(% TOTAL)
BUILDING AREA	6,089	0.14	10.30%
FUEL CANOPY	4,290	0.10	7.26%
INTERNAL DRIVES/PARKING	26,875	0.62	45.48%
CONCRETE/SIDEWALKS	9,326	0.21	15.78%
LANDSCAPE	12,515	0.29	21.18%
<b>TOTAL</b>	<b>59,095</b>	<b>1.36</b>	<b>100.00%</b>

PARKING	REQUIRED	PROVIDED
VEHICLE STALLS	24	29
(1 PARKING SPACE/250 SF OF BLDG SPACE)		
ADA/VAN ACCESSIBLE STALLS	2	2
TOTAL STALLS	26	31
BICYCLE PARKING	2	2

## PROJECT TEAM:

### DEVELOPER/APPLICANT:

MAVERIK INC.  
185 S. STATE STREET, SUITE 800  
SALT LAKE CITY, UT 84111  
CONTACT: CASSIE YOUNGER  
PHONE: (801) 936-5557

### CIVIL ENGINEER:

DCI ENGINEERS  
1331 17TH STREET SUITE 605  
DENVER, CO 80202  
CONTACT: MANNY NUNO, P.E.  
PHONE: (720) 464-7728

### LANDSCAPE ARCHITECT:

RUSSELL MILLS STUDIO  
2245 CURTIS STREET SUITE 100  
DENVER, CO 80205  
CONTACT: MATE STARK, R.L.A.  
PHONE: (303) 709-0704

### APPLICANT:

DCI ENGINEERS  
1331 17TH STREET, SUITE 605  
DENVER, COLORADO 80202  
MANUEL NUNO P.E. (720) 439-4700

### ARCHITECT:

PRESCOTT MUIR ARCHITECTS  
171 W. PIERPONT AVE.  
SALT LAKE CITY, UT 84101  
CONTACT: MEGAN CLARK  
PHONE: (801) 521-9111

### MEP:

CPD GROUP  
5050 QUORUM DR. SUITE 338  
DALLAS, TX 75254  
CONTACT: MATHEW BETSILL  
PHONE: (469) 573-4311

## CONTRACTOR NOTE:

ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEYS FURNISHED BY OTHERS. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEYS. CONTACT THE UTILITY OWNER/AGENCY FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION.



COVER SHEET

1 OF 26



MAVERIK INC. STORE  
LINCOLN AVE. AND DRANSFELDT RD.  
PARKER, CO  
SITE PLAN



DCI ENGINEERS  
1331 17TH STREET • SUITE 605  
DENVER, COLORADO 80202  
PHONE: (720) 439-4700  
WEBSITE: www.dci-engineers.com  
CIVIL / STRUCTURAL  
© Copyright 2023 DCI Engineers Inc. All Rights Reserved



# LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1 MAVERIK INC. STORE SITE PLAN

SITUATED IN THE NORTHWEST ¼ OF SECTION 15,  
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



Final Document  
Subject To Conditions In Approval Letter

APPROVED DATE: 11/17/2023

Planning Approval By: S. Nerger

PROJECT NUMBER

21-122-0001

ISSUE DATE:

JUNE 30, 2023

REVISIONS:

No.	Date	Description
1	5-24-22	CITY REVIEW
2	7-13-22	CITY REVIEW
3	10-19-22	CITY REVIEW
4	10-26-22	CITY REVIEW
5	12-08-22	CITY REVIEW
6	1-09-23	CITY REVIEW
7	3-10-23	CITY REVIEW
8	5-17-23	CITY REVIEW
9	6-30-23	CITY REVIEW

NOTE:  
Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in the drawings, bidder should not assume the least expensive option will meet the project requirements.

## STORM INFRASTRUCTURE NOTES:

- ALL STORM DRAINAGE IMPROVEMENTS ARE SUBJECT TO COMPLIANCE WITH THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, M & S STANDARDS, AND ALL STANDARD SPECIAL PROVISIONS CURRENTLY USED BY CDOT, WITH THE MODIFICATIONS SET FORTH IN THE TOWN OF PARKER'S STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL (SDECM), AS AMENDED.
- THE CONTRACTOR SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8 CRS), THE "PROTECTION OF FISHING STREAMS" TITLE 33, ARTICLE 5, CRS), THE "CLEAN WATER ACT" (33 USC 1344), CHERRY CREEK RESERVOIR CONTROL REGULATION NO. 72" (5 CCR 1002-72), THE REGULATION PROMULGATED, CERTIFICATION OR PERMITS ISSUES, AND THE REQUIREMENTS PRESENTED IN THE SDECM REVISION TO SECTION 107 AND THE CONSTRUCTION BMP PLAN. IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND WATER QUALITY CONTROL LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, OR STATE AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- INSPECTIONS: CONSTRUCTION SHALL NOT BEGIN UNTIL A GRADING PERMIT HAS BEEN ISSUED FOR THE PROJECT. THE CONTRACTOR SHALL NOTIFY THE TOWN OF PARKER ENGINEERING DEPARTMENT (PUBLIC WORKS) TO SCHEDULE INSPECTIONS A MINIMUM OF 48 HOURS PRIOR TO THE CONSTRUCTION OF ALL DRAINAGE INFRASTRUCTURE (STORM SEWERS, INLETS, MANHOLES, ENERGY DISSIPATORS, RIPRAP, GROUDED BOULDERS, DETENTION POND OUTLET STRUCTURES, FOREBAYS, TRICKLE CHANNELS, ETC). FAILURE TO NOTIFY THE ENGINEERING DEPARTMENT FOR INSPECTIONS MAY RESULT IN NON-ACCEPTANCE OF THE INFRASTRUCTURE BY THE TOWN. URBAN DRAINAGE AND FLOOD CONTROL DISTRICT MUST ALSO BE NOTIFIED IN A SIMILAR MANNER FOR ALL MAINTENANCE ELIGIBLE DRAINAGE INFRASTRUCTURES (CONSULT WITH STORMWATER ENGINEERING DIVISION).
- STRUCTURAL BACKFILL (CDOT CLASS 1) SHALL BE COMPACTED TO CONFORM TO CDOT STANDARD SPECIFICATION 203.03. STRUCTURAL BACKFILL (CDOT CLASS 2) SHALL CONFORM TO CDOT STANDARD SPECIFICATION 203.07. AT THE CONTRACTOR'S OPTION, STRUCTURAL BACKFILL (SQUEESEE) MEETING THE GRADATION REQUIREMENTS CONTAINED IN REVISION OF SECTION 206 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM, MAY BE SUBSTITUTED FOR STRUCTURE BACKFILL (CLASS 1 OR CLASS 2) FOR BACKFILLING OF CULVERT PIPES, STORM SEWER PIPES, MANHOLES AND INLET STRUCTURES; HOWEVER, THE TOP 2 FEET BELOW SUBGRADE ELEVATION SHALL BE THE REQUIRED EMBANKMENT MATERIAL.
- ALL EXCAVATIONS SHALL MEET OSHA REQUIREMENTS.
- TESTING: PROBATIONARY ACCEPTANCE OF STORM DRAINAGE IMPROVEMENTS WILL BE CONTINGENT UPON SATISFACTORY TESTING RESULTS. IN ALL CASES WHERE TESTS INDICATE COMPACTION LESS THAN THAT REQUIRED BY TOWN SPECIFICATIONS, ADDITIONAL COMPACTION AND TESTS WILL BE REQUIRED UNTIL THE SPECIFICATIONS ARE MET. FREQUENCY OF TESTING WILL BE AS FOLLOWS:
  - 1 TEST FOR SUBGRADE AND 1 TEST FOR BACKFILL AT EVERY ABOVE GROUND APPURTENANCE (MANHOLES, INLETS, ETC)
  - 1 TEST EVERY 200 LF OF MAINLINE TRENCH EVERY 1 FOOT OF BACKFILL LIFT AND WITHIN 1 FOOT FROM ALL STRUCTURES.
- ALLOWABLE STORM SEWER CONDUIT MATERIAL WITHIN THE TOWN OF PARKER SHALL BE LIMITED TO REINFORCED CONCRETE PIPE (RCP) CONFORMING TO CDOT STANDARD SPECIFICATION 706.02.
- ALL RCP JOINTS SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM C443. RUBBER GASKETS SHALL BE USED ON ALL PIPE JOINTS CONFORMING TO ASTM C443. ALL RCP SECTIONS SHALL BE JOINED IN SUCH A MANNER THAT THE ENDS ARE FULLY ENTERED AND THE INNER SURFACES ARE REASONABLE FLUSH. AVERAGE JOINT GAP THAT EXCEEDS ¼ INCH SHALL BE FILLED WITH AN APPROVED FLEXIBLE PLASTIC SEALANT.
- JOINT RESTRAINTS AND TOE-WALLS, CONFORMING TO CDOT M&S STANDARD PLAN NO. M-601-11 SHALL BE USED ON ALL RCP FLARED END SECTION OUTFALLS.
- EPOXY COATED REBAR SHALL BE USED AS REINFORCING STEEL ON ALL STORM INLETS AND STRUCTURES. REFERENCE CDOT M&S STANDARD PLAN NO. M-604-10, 11, 12, AND 13.
- CDOT CLASS D CONCRETE SHALL BE USED FOR ALL CONCRETE DRAINAGE STRUCTURES.
- PRE-CAST INLETS AND MANHOLE BASES SHALL NOT BE USED WITHIN THE TOWN OF PARKER RIGHT-OF- WAY, WITH THE EXCEPTION OF CDOT TYPE C AND D INLETS.
- TWO- (2) MANHOLE ACCESS POINTS ARE REQUIRED ON ALL TYPE "R" CURB INLETS GREATER THAN OR EQUAL TO TEN (10) FEET IN LENGTH AS PRESENTED IN CDOT M&S STANDARD PLAN NO. M-604-12.
- ALL GROUTING (BOULDERS, RIPRAP) SHALL BE IN ACCORDANCE WITH THE REVISION OF SECTION 506 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM.
- ALL BOULDERS AND RIPRAP SHALL BE SELECTED AND PLACED IN ACCORDANCE WITH THE REVISION OF SECTION 506 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM.
- CONTRACTOR SHALL REFER TO THE TOWN OF PARKER'S CONSTRUCTION BEST MANAGEMENT PRACTICES DETAILS AND NOTES FOR ALL REQUIREMENTS RELATING TO RE-VEGETATION, SEDIMENT AND EROSION CONTROL REQUIREMENTS FOR CONSTRUCTION ACTIVITIES.
- PIPE BELLS SHALL NOT BE CAST INTO MANHOLE BASES OR INLETS.

## STANDARD CONSTRUCTION NOTES:

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE LATEST EDITION OF THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT. THE TOWN RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- A PRECONSTRUCTION MEETING SHALL BE SCHEDULED A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. A PRECONSTRUCTION MEETING WILL NOT BE SCHEDULED UNTIL THE GRADING PERMIT AND ALL OTHER NECESSARY PERMITS HAVE BEEN OBTAINED.
- THE TOWN INSPECTOR SHALL BE CONTACTED A MINIMUM OF 24 HOURS PRIOR TO A NECESSARY INSPECTION. IF A TOWN INSPECTOR IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE PERMITTEE MAY COMMENCE WORK IN THE TOWN INSPECTOR'S ABSENCE. HOWEVER, THE TOWN OF PARKER RESERVES THE RIGHT TO REJECT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
- LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION IN ACCORDANCE WITH ALL STATE AND LOCAL LAWS. THE CONTRACTOR SHALL FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS, APPROVED BY THE TOWN OF PARKER DIRECTOR OF ENGINEERING/PUBLIC WORKS, AND ONE (1) COPY OF THE ROADWAY DESIGN AND CONSTRUCTION CRITERIA AT THE JOB SITE AT ALL TIMES.
- A PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE SUBMITTED TO THE TOWN OF PARKER FOR ACCEPTANCE WITH THE RIGHT-OF-WAY USE PERMIT APPLICATION. A PERMIT WILL NOT BE ISSUED WITHOUT AN APPROVED TRAFFIC CONTROL PLAN FOR USE DURING CONSTRUCTION.
- ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED AND THE SAFETY OF WORKERS PROVIDED FOR AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION."
- COMPACTION OF ALL TRENCHES MUST BE ATTAINED AND COMPACTION TEST RESULTS SUBMITTED TO THE DEVELOPMENT REVIEW ENGINEER IN PRELIMINARY FORM PRIOR TO PAVING AND IN FINAL FORM PRIOR TO PROBATIONARY ACCEPTANCE.
- THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE PLAN MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH APPROVAL FROM THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION.
- PLANS ARE APPROVED FOR PERIOD OF 1 (ONE) YEAR FROM THE DATE SHOWN ON THE TOWN OF PARKER SIGNATURE BLOCK. PLANS SHALL BE RESUBMITTED TO THE TOWN FOR APPROVAL AFTER 1 YEAR. THE COST OF THE PLAN RE-REVIEW AND RE-ACCEPTANCE WILL BE CHARGED BACK TO THE DEVELOPER INCLUDING ALL TIME AND EXPENSES OF THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
- REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS OR LANDSCAPING IS THE RESPONSIBILITY OF THE CONTRACTOR. SUCH RESTORATION MAY BE REQUIRED TO BE COMPLETED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
- ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
- ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY." FOR INFORMATION, PLEASE CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, WQCD-PE-B2, 4300 CHERRY DRIVE SOUTH, DENVER, COLORADO 80222-1530. ATTENTION: PERMITS AND ENFORCEMENT SECTION. PHONE (303) 692-3500.
- IF DEWATERING IS REQUIRED, A STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT IS REQUIRED FOR DISCHARGES TO A STORM SEWER, CHANNEL, IRRIGATION DITCH, ANY STREET THAT IS TRIBUTARY TO THE AFOREMENTIONED FACILITIES, OR ANY WATER OF THE UNITED STATES.
- ALL REFERENCES TO BOOKS, PAGES, MAPS, AND RECEPTION NUMBER ARE PUBLIC DOCUMENTS ON FILE WITH THE COUNTY CLERK AND RECORDER'S OFFICE.

## SIGNAGE AND STRIPING NOTES:

- ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MOST RECENT VERSION OF THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), COLORADO SUPPLEMENTAL MUTCD, AND THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL. FURTHER SPECIFICATIONS AND ILLUSTRATIONS ARE LOCATED IN THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) M AND S STANDARDS.
- A FIELD INSPECTION OF LOCATION AND INSTALLATION OF ALL SIGNS AND MARKINGS SHALL BE PERFORMED BY THE TOWN OF PARKER.
- THE CONTRACTOR INSTALLING SIGNS SHALL BE RESPONSIBLE FOR THE LOCATING AND PROTECTING OF ALL UNDERGROUND UTILITIES.
- TYPE III (LIGHTED) BARRICADES SHALL BE SET AT THE ENDS OF ROADWAYS SEPARATING FINISHED (AND/OR ACCEPTED) AND UNFINISHED CONSTRUCTION AREAS AND SHALL BE MAINTAINED BY THE CONTRACTOR/DEVELOPER. A "ROAD CLOSED AHEAD" AND "TO BE EXTENDED" WARNING SIGNS SHALL BE INSTALLED APPROPRIATELY IN ADVANCE OF THE TYPE III BARRICADES.
- SPECIAL CARE SHALL BE TAKEN IN SIGN LOCATIONS TO ENSURE AN UNOBSTRUCTED VIEW OF EACH SIGN.
- WHERE STOP SIGN CONTROL IS APPROPRIATE, 36 INCH STOP SIGNS SHALL BE USED FOR APPROACHES TO ANY ROADWAY THAT IS CLASSIFIED AS A COLLECTOR OR GREATER.
- A 7 FOOT MINIMUM POST LENGTH SHALL BE MAINTAINED FROM THE BOTTOM OF THE SIGN PANEL TO THE GROUND. THIS REQUIREMENT FOR VERTICAL CLEARANCE IS FOR ALL SIGNS.
- DELINEATION OF ROADWAYS SHALL BE AS SPECIFIED IN THE COLORADO DEPARTMENT OF TRANSPORTATION M AND S STANDARDS.
- RAISED MEDIAN ISLAND NOSES SHALL HAVE R4-7 SIGNS AT EACH END AND A 4'X12" HIGH INTENSITY YELLOW SIGN BLANK LOCATED MIDWAY BETWEEN THE R4-7 SIGN AND FINISHED GRADE ON EACH POST.
- SIGNAGE AND STRIPING HAS BEEN DETERMINED BY INFORMATION AVAILABLE AT THE TIME OF REVIEW. PRIOR TO THE INITIATION OF ANY WARRANTY PERIOD, THE TOWN OF PARKER RESERVES THE RIGHT TO REQUIRE MODIFICATIONS TO EXISTING, OR INSTALLATION OF, ADDITIONAL SIGNAGE AND/OR PAVEMENT MARKING IF IT IS DETERMINED THAT CONDITIONS WARRANT SUCH MODIFICATION ACCORDING TO THE MUTCD OR THE CDOT M AND S STANDARDS. ALL SIGNAGE AND STRIPING SHALL FALL UNDER THE REQUIREMENTS OF THE TWO-YEAR WARRANTY PERIOD FOR NEW CONSTRUCTION. ADDITIONALLY, ALL PAVEMENT MARKINGS SHALL NOT LIFT OR PEEL DURING THE FIRST YEAR AFTER INSTALLATION.
- DIAMOND GRADE MATERIAL SHALL BE USED ON ALL STOP SIGNS AND OVERHEAD SIGNS. ALL OTHER ROADSIDE TRAFFIC CONTROL DEVICES SHALL USE HIGH INTENSITY GRADE SHEETING. NO FLUORESCENT YELLOW GREEN SHEETING SHALL BE USED UNLESS SPECIFICALLY APPROVED BY THE TOWN OF PARKER.
  - ALL STREET NAME SIGNS SHALL BE HIGH INTENSITY, EXTRUDED, GREEN AND WHITE BLADES. ARTERIAL AND COLLECTOR STREET NAME SIGNS SHALL BE 9 INCH BLADES AND HAVE MIXED CASE LETTERING. LOCAL STREET NAME SIGNS SHALL BE 6 INCHES BLADES WITH MIXED CASE LETTERING.
- ALL LAYOUTS FOR INTERNALLY ILLUMINATED STREET NAME SIGNS SHALL BE SUBMITTED TO THE TOWN FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- ALL REMOVED SIGNS SHALL BE RETURNED TO THE TOWN OF PARKER.
- CROSSWALKS: SHALL BE CONSTRUCTED USING PREFORMED THERMO-PLASTIC OR AN APPROVED EQUAL.
  - SHALL BE LONGITUDINAL 2 FEET BY 10 FEET (CONTINENTAL) TYPE OR OTHER APPROVED BY THE TOWN OF PARKER.
  - SHALL LINE UP WITH HANDICAP RAMPS.
  - SHALL BE CENTERED WITHIN LANES AND PLACED ON LANE AND CURB LINES SO AS TO AVOID VEHICLE WHEEL PATHS.
- ALL PAVEMENT MARKING MATERIAL (INCLUDING WORDS AND SYMBOLS) SHALL BE AS FOLLOWS:
  - FOR CONCRETE SURFACE:  
LONG LINE MARKINGS (CHANNELIZATION LINES, SKIPS, ETC.) SHALL BE EPOXY PAINT.  
OTHER PAINT MAY BE USED FOR TEMPORARY APPLICATION ONLY WHEN APPROVED BY THE TOWN OF PARKER.
  - WORDS, SYMBOLS, AND CROSSWALKS/STOP BARS SHALL BE METHYL-MYTHACRALATE, PREFORMED THERMOPLASTIC (90 MIL), PREFORMED PLASTIC (90 MIL), INLAYED TAPE (STAMARK), OR AS SPECIFIED.
  - (SAND OR WATER BLAST CURING COMPOUND PRIOR TO INSTALLATION OF MARKINGS.)
  - FOR ASPHALT SURFACE:  
LONG LINE MARKINGS (CHANNELIZATION LINES, SKIPS, ETC.) SHALL BE EPOXY PAINT.  
OTHER PAINT MAY BE USED FOR TEMPORARY APPLICATION ONLY WHEN APPROVED BY THE TOWN OF PARKER.
  - WORDS, SYMBOLS, AND CROSSWALKS/STOP BARS SHALL BE HOT APPLIED THERMOPLASTIC (90 MIL), PREFORMED PLASTIC (90 MIL), INLAYED TAPE (STAMARK), METHYL-MYTHACRALATE, OR AS SPECIFIED.
- INSPECTION AND APPROVAL OF STRIPING AND CROSSWALK LAYOUT TO BE DONE BY TOWN OF PARKER DEVELOPMENT REVIEW ENGINEER (CALL 303-840-9546) PRIOR TO APPLICATION OF FINAL STRIPING.



MAVERIK INC. STORE  
LINCOLN AVE. AND DRANSFELDT RD.  
PARKER, CO  
SITE PLAN



1331 17TH STREET • SUITE 605  
DENVER, COLORADO 80202  
PHONE: (720) 439-4700  
WEBSITE: www.edci-engineers.com  
CIVIL / STRUCTURAL  
© Copyright 2023 EDCI ENGINEERS Inc. All Rights Reserved

NOTES SHEET



2 OF 26



# LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1 MAVERIK INC. STORE SITE PLAN

SITUATED IN THE NORTHWEST 1/4 OF SECTION 15,  
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



Final Document  
Subject To Conditions In Approval Letter

APPROVED DATE: 11/17/2023

Planning Approval By: S. Nerger

PROJECT NUMBER

21-122-0001

ISSUE DATE:

JUNE 30, 2023

REVISIONS:

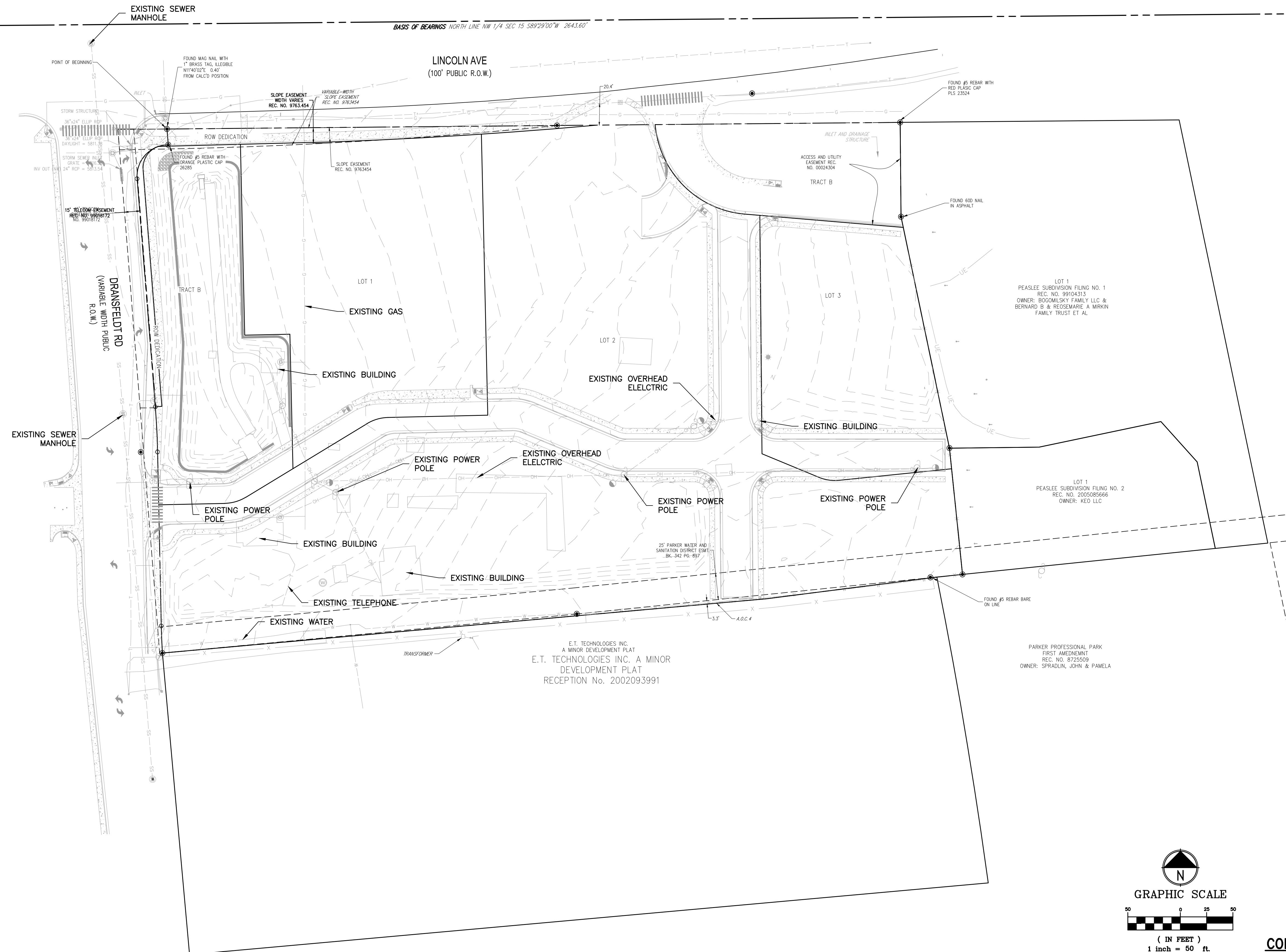
No.	Date	Description
1	5-24-22	CITY REVIEW
2	7-13-22	CITY REVIEW
3	10-19-22	CITY REVIEW
4	10-26-22	CITY REVIEW
5	12-08-22	CITY REVIEW
6	1-09-23	CITY REVIEW
7	3-10-23	CITY REVIEW
8	5-17-23	CITY REVIEW
9	6-30-23	CITY REVIEW

NOTE:  
Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in the drawings, bidder should not assume the least expensive option will meet the project requirements.



**MAVERIK INC. STORE**  
**LINCOLN AVE. AND DRANSFELDT RD.**  
**PARKER, CO**  
**SITE PLAN**



### LEGAL DESCRIPTION

LINCOLN PROFESSIONAL PARK FILING 1, LOT 1

### BASIS OF BEARING

BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN. AS MONUMENTED AT BOTH THE NORTHWEST QUARTER CORNER AND THE NORTH QUARTER CORNER BY 3.25" ALUMINUM CAPS, ASSUMED TO BEAR SOUTH 89°29'00" WEST.

### VERTICAL DATUM/BENCHMARK:

BENCHMARK IS THE NW CORNER SECTION 15, T6S S R66W, BEING A 3.5" ALUMINUM CAP LS 19003 1999 IN RANGE BOX.  
ELEVATION=5806.79' NAVD 88.

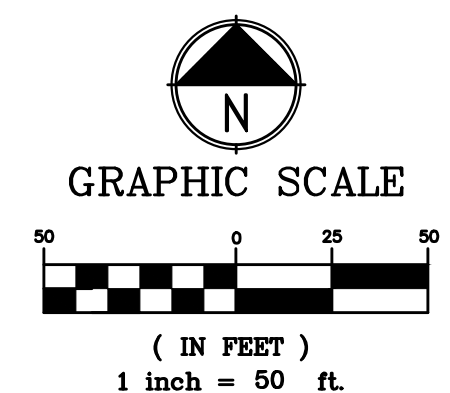
### SURVEY PREPARED BY:

HARRIS KOCHER SMITH  
1120 LINCOLN STREET, SUITE 1000  
DENVER, CO 80203  
PHONE: 303-623-6300  
BRANDON E. ANDERSON, PLS 38484

DATE OF SURVEY: AUGUST 11, 2021

### CONTRACTOR NOTE:

ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEYS FURNISHED BY OTHERS. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEYS. CONTACT THE UTILITY OWNER/AGENCY FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION.



EXISTING CONDITION BASED ON SURVEY INFO PROVIDED BY ROSENBERG AND ASSOCIATES MAY 4, 2020

EXISTING CONDITIONS





# LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1 MAVERIK INC. STORE SITE PLAN

SITUATED IN THE NORTHWEST ¼ OF SECTION 15,  
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

LINCOLN AVE  
(100' PUBLIC R.O.W.)



Final Document  
Subject To Conditions In Approval Letter

APPROVED DATE: 11/17/2023

Planning Approval By: S. Nerger

PROJECT NUMBER

21-122-0001

ISSUE DATE:

JUNE 30, 2023

REVISIONS:

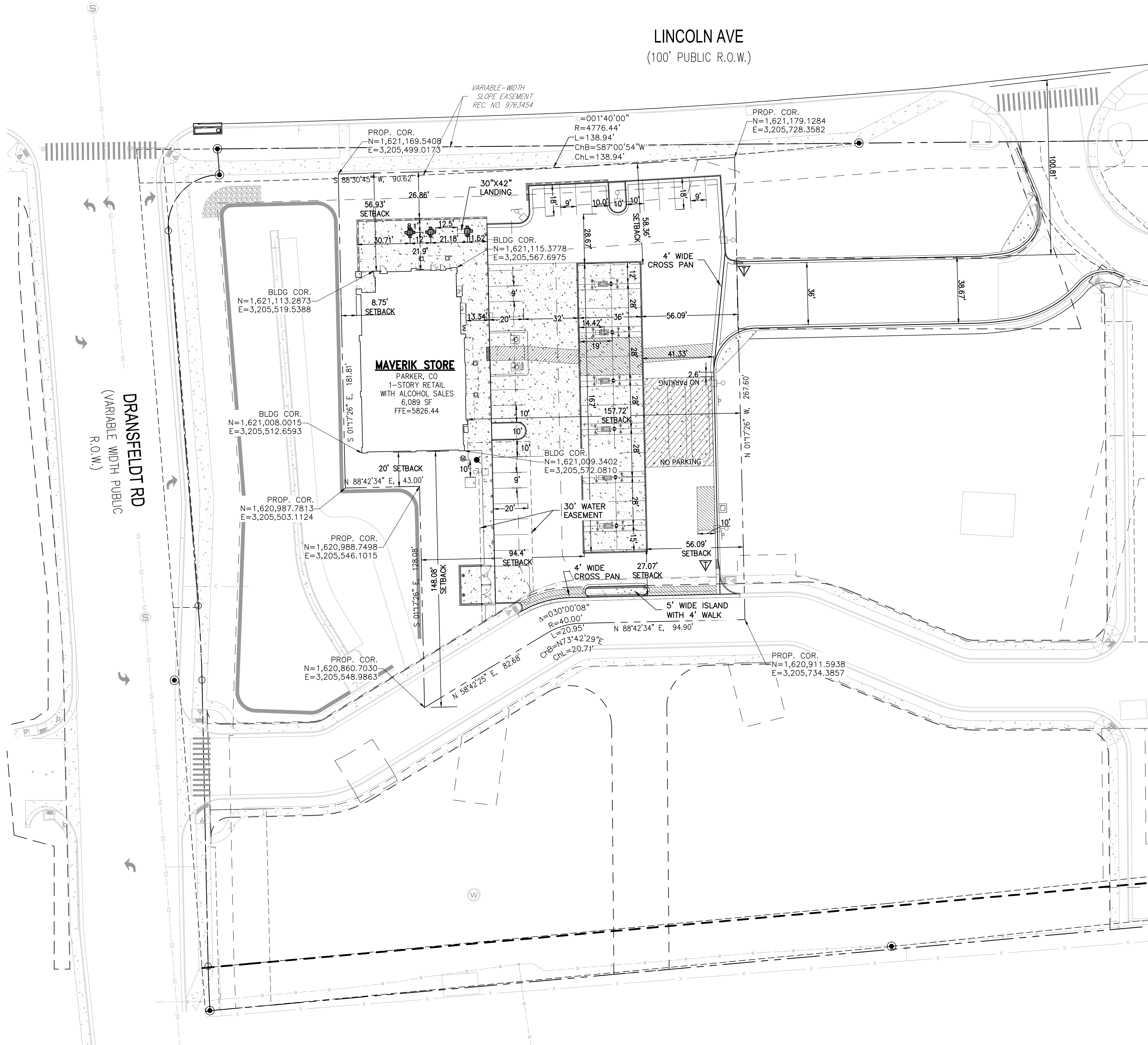
No.	Date	Description
1	5-24-22	CITY REVIEW
2	7-13-22	CITY REVIEW
3	10-19-22	CITY REVIEW
4	10-26-22	CITY REVIEW
5	12-08-22	CITY REVIEW
6	1-09-23	CITY REVIEW
7	3-10-23	CITY REVIEW
8	5-17-23	CITY REVIEW
9	6-30-23	CITY REVIEW

NOTE:  
Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in the drawings, bidder should not assume the least expensive option will meet the project requirements.



**MAVERIK INC. STORE**  
**LINCOLN AVE. AND DRANSFELDT RD.**  
**PARKER, CO**  
**SITE PLAN**

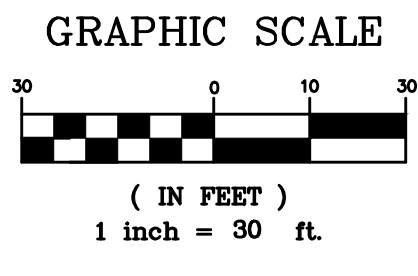


**LEGEND:**

- NEW CEMENT CONCRETE
- NEW MOUNTABLE CURB
- NEW CATCH/SPILL CURB AND GUTTER
- CURB & GUTTER TRANSITION
- NEW RETAINING WALL
- PEDESTRIAN/ADA ACCESS ROUTE NOT TO EXCEED 4.5% RUNNING SLOPE AND 1.5% CROSS SLOPE
- ADA COMPLIANT AREA NOT TO EXCEED 1.5% IN ANY DIRECTION (NO STRIPING)

**BASIS OF BEARING**

BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN. AS MONUMENTED AT BOTH THE NORTHWEST QUARTER CORNER AND THE NORTH QUARTER CORNER BY 3.25" ALUMINUM CAPS, ASSUMED TO BEAR SOUTH 89°29'00" WEST.



**CONTRACTOR NOTE:**

ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEYS FURNISHED BY OTHERS. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEYS. CONTACT THE UTILITY OWNER/AGENCY FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION.



HORIZONTAL CONTROL PLAN

Plot Date: 2023-06-30 File Location: O:\2020-Denver\DC-Civil\Projects\2021\21-122-0001\Maverik Lincoln and Dransfeldt\21-122-0001 SITE.dwg



# LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1 MAVERIK INC. STORE SITE PLAN

SITUATED IN THE NORTHWEST ¼ OF SECTION 15,  
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER

21-122-0001

ISSUE DATE:

JUNE 30, 2023

REVISIONS:

No.	Date	Description
1	5-24-22	CITY REVIEW
2	7-13-22	CITY REVIEW
3	10-19-22	CITY REVIEW
4	10-26-22	CITY REVIEW
5	12-08-22	CITY REVIEW
6	1-09-23	CITY REVIEW
7	3-10-23	CITY REVIEW
8	5-17-23	CITY REVIEW
9	6-30-23	CITY REVIEW

NOTE:  
Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in the drawings, bidder shall not assume the least expensive option will meet the project requirements.



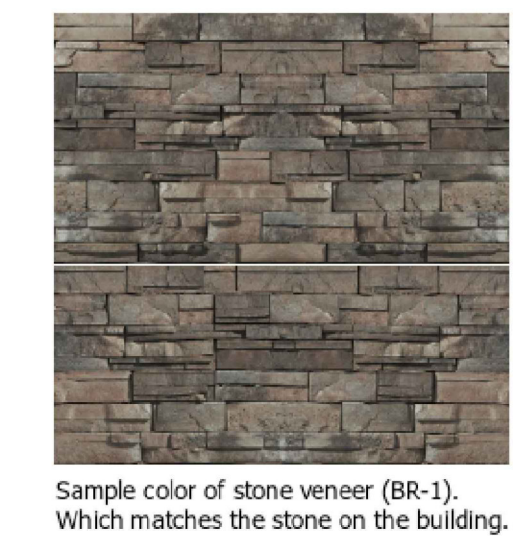
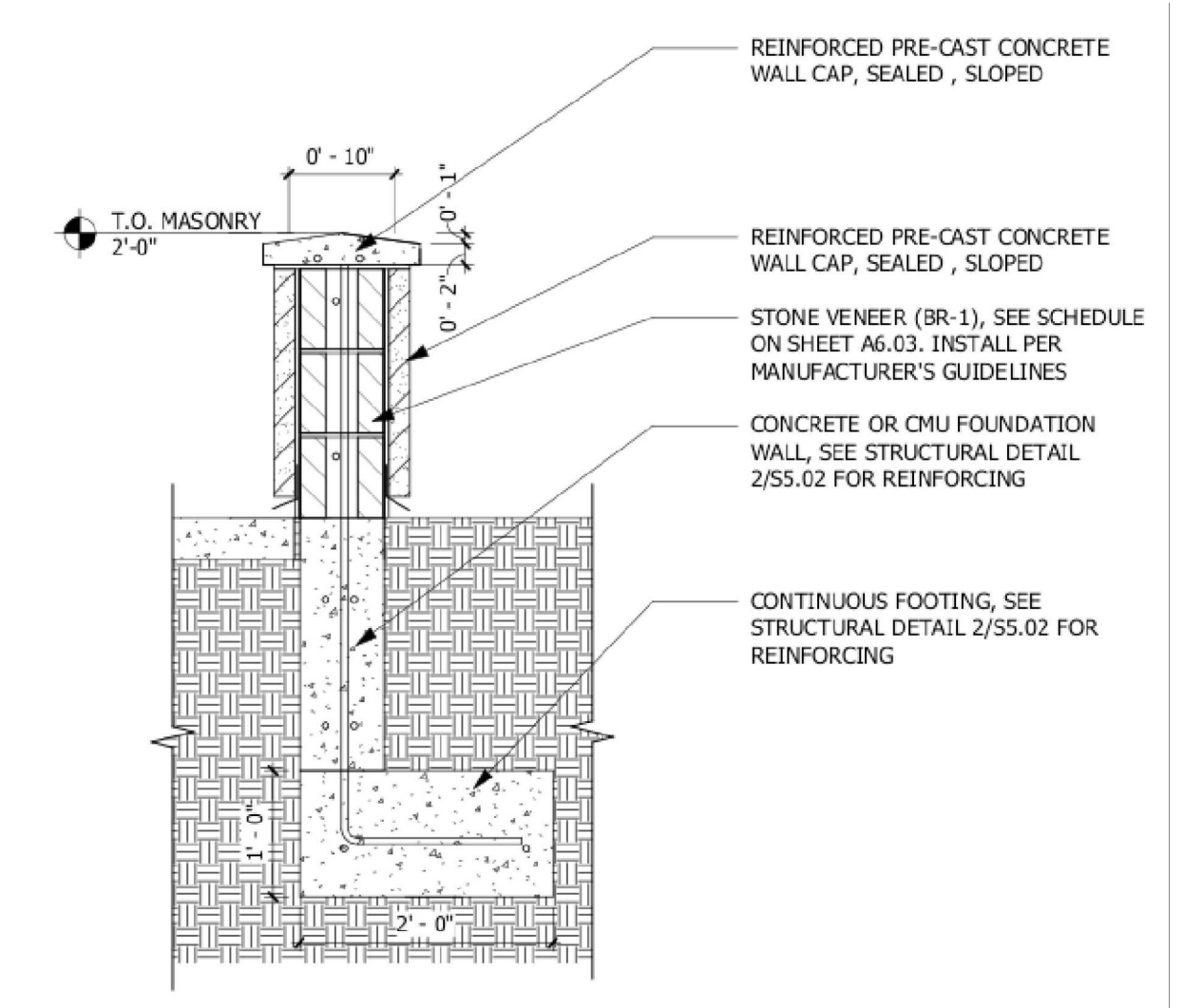
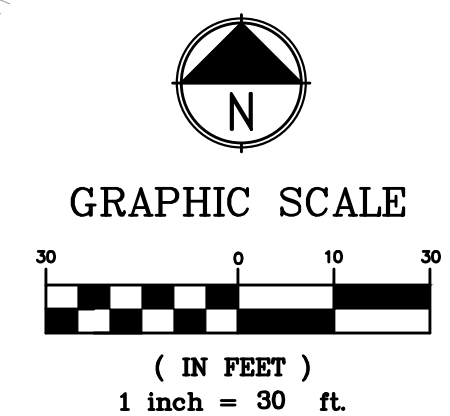
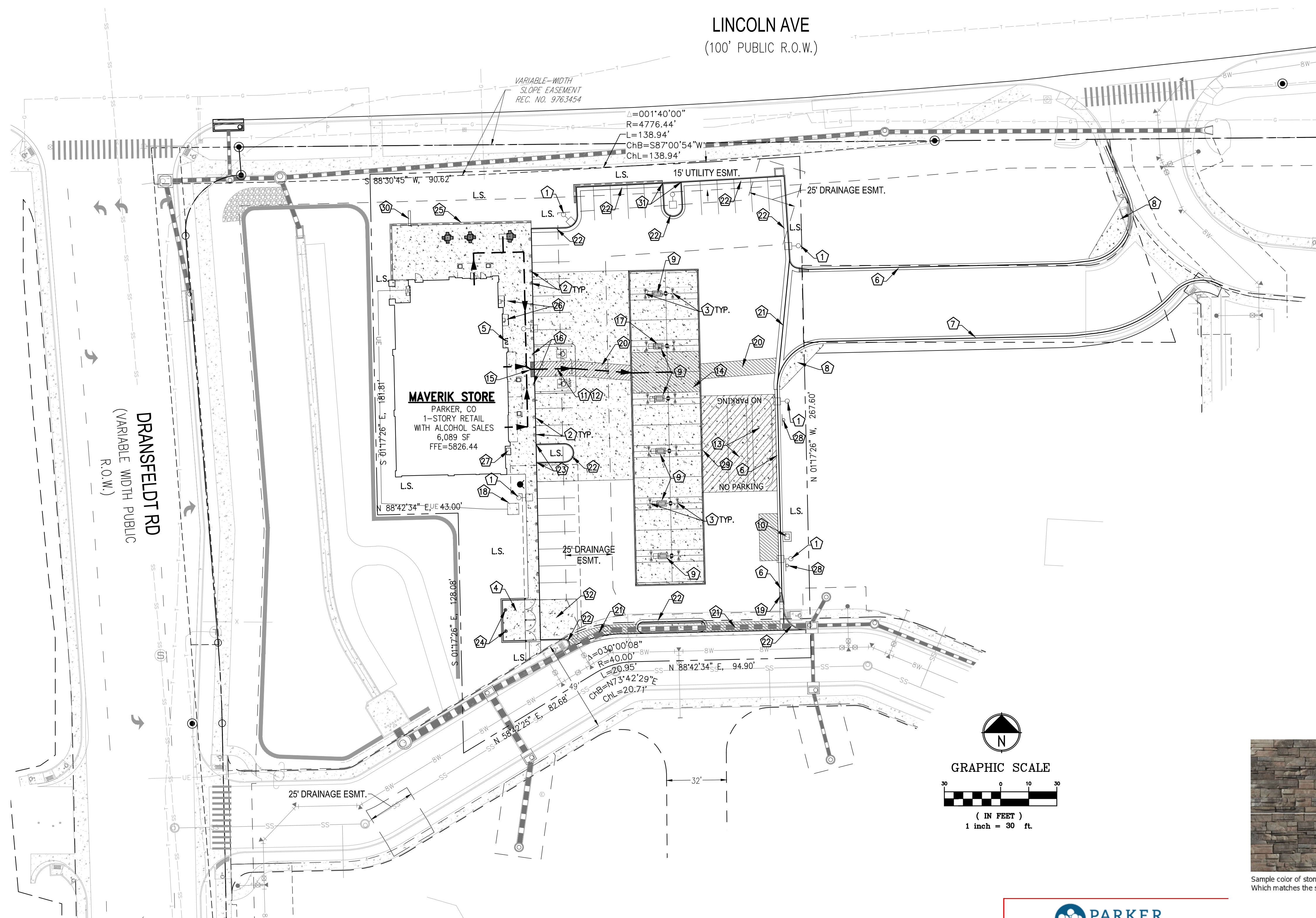
**MAVERIK INC. STORE**  
**LINCOLN AVE. AND DRANSFELDT RD.**  
**PARKER, CO**  
**SITE PLAN**

**EDCI ENGINEERS**  
 1331 17TH STREET • SUITE 605  
 DENVER, COLORADO 80202  
 PHONE: (720) 439-4700  
 WEBSITE: www.edci-engineers.com  
 CIVIL / STRUCTURAL  
© Copyright 2023 EDCI Engineers Inc. All Rights Reserved.

SITE PLAN

### KEYED NOTES:

- 1 NEW LIGHT POLE AND BASE PER MAVERIK STANDARD DETAIL SF-7, SHEET 9
- 2 NEW REBOUNDING BOLLARDS IN FRONT OF EACH PARKING SPACE ALONG THE FACE OF BUILDING PER MAVERIK STANDARD DETAIL SF-5, SHEET 9
- 3 NEW HOOP BOLLARDS PER MAVERIK STANDARD DETAIL SF-2, SHEET 9
- 4 NEW TRASH ENCLOSURE PER ARCHITECTURAL PLANS AND INTERIOR PAD IS PER STRUCTURAL PLANS
- 5 NEW HI-ROLLER BIKE RACK PER MAVERIK STANDARD DETAIL SF-9, SHEET 10
- 6 NEW CATCH CURB AND GUTTER PER MAVERIK STANDARD DETAIL C-8, SHEET 8
- 7 NEW SPILL CURB AND GUTTER PER MAVERIK STANDARD DETAIL C-9, SHEET 8
- 8 NEW RUNOUT PAD PER C-12, SHEET 8 AND MOUNTABLE CURB PER MAVERIK STANDARD DETAIL C-10, SHEET 8
- 9 NEW FUEL DISPENSER BASE PER MAVERIK STANDARD DETAIL SF-8, SHEET 10
- 10 NEW XACTAIR STATION FOUNDATION PER MAVERIK STANDARD DETAIL SF-10, SHEET 10
- 11 NEW ADA PARKING PER MAVERIK STANDARD DETAIL SF-12, SHEET 10. ADA PARKING AREA GRADES SHALL NOT EXCEED 1.5% IN ANY DIRECTION WITH BOLLARD PER DETAIL SF-6, SHEET 9
- 12 PAINTED ADA PARKING SYMBOL PER MAVERIK STANDARD DETAIL SF-13, SHEET 10 (MAX. SLOPES OF 2%)
- 13 NEW UNDERGROUND STORAGE TANKS. TANK PAD AND HOLE DIMENSIONS PER FUELING PLANS
- 14 NEW FUEL CANOPY AND FUEL DISPENSERS - STACKED FORECOURT PER ARCHITECTURAL PLANS
- 15 NEW TRUNCATED DOMES W/ REBOUNDING BOLLARD CENTERED IN PAD PER DETAIL SF-1B AND SF-1C, SHEET 9
- 16 ADA ADJUSTABLE SIGNAGE SLEEVE IN BOLLARD PER DETAIL SF-1B AND SF-1C, SHEET 9
- 17 ADA FUEL DISPENSER WITH SIGN
- 18 NEW CONCRETE PAD FOR ELECTRICAL TRANSFORMER
- 19 5 FOOT CURB TRANSITION FROM MOUNTABLE TO VERTICAL CURB
- 20 ADA PATH TO ADA ACCESSIBLE FUEL PUMP (MAX. SLOPES OF 1.5%) SHOWN ON PLAN AS REFERENCE ONLY. NO PAVEMENT STRIPING
- 21 NEW 4' WIDE CONCRETE VALLEY GUTTER PER DETAIL 3, SHEET 8
- 22 NEW MOUNTABLE CURB PER MAVERIK STANDARD DETAIL C-10, SHEET 8
- 23 TRANSITION CURB TO FLUSH CURB AT SIDEWALK
- 24 6" PIPE BOLLARD FOR EACH DUMPSTER
- 25 18" TALL DECORATIVE PROTECTIVE WALL, FINISH CMU OR CAST STONE TO MATCH EXTERIOR STONE ON BUILDING. SEE DETAIL THIS SHEET
- 26 NEW ICE STORAGE
- 27 NEW PROPANE CAGES
- 28 "NO PARKING-FIRE LANE" SIGN
- 29 FUEL TRENCH WIDTH AND ROUTE ARE PER FUELING PLANS
- 30 NEW MONUMENT SIGN
- 31 CURB OPENING
- 32 TRASH ENCLOSURE ACCESS PAD PER DETAIL C-5, SHEET 10



Sample color of stone veneer (BR-1). Which matches the stone on the building.

DECORATIVE PATIO WALL DETAIL

**PARKER COLORADO**  
 Final Document  
 Subject To Conditions In Approval Letter  
 APPROVED DATE: 11/17/2023  
 Planning Approval By: S. Nerger

### CONTRACTOR NOTE:

ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEYS FURNISHED BY OTHERS. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEYS. CONTACT THE UTILITY OWNER/AGENCY FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION.



Plot Date: 2023-06-30 File Location: O:\2020-Denver\DC-Civil\Projects\2021\21-122-0001\Maverik Lincoln and Dransfeldt\21-122-0001 SITE.dwg



# LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1 MAVERIK INC. STORE SITE PLAN

SITUATED IN THE NORTHWEST ¼ OF SECTION 15,  
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

LINCOLN AVE  
(100' PUBLIC R.O.W.)



Final Document  
Subject To Conditions In Approval Letter

APPROVED DATE: 11/17/2023

Planning Approval By: S. Nerger

PROJECT NUMBER

21-122-0001

ISSUE DATE:

JUNE 30, 2023

REVISIONS:

No.	Date	Description
1	5-24-22	CITY REVIEW
2	7-13-22	CITY REVIEW
3	10-19-22	CITY REVIEW
4	10-26-22	CITY REVIEW
5	12-08-22	CITY REVIEW
6	1-09-23	CITY REVIEW
7	3-10-23	CITY REVIEW
8	5-17-23	CITY REVIEW
9	6-30-23	CITY REVIEW

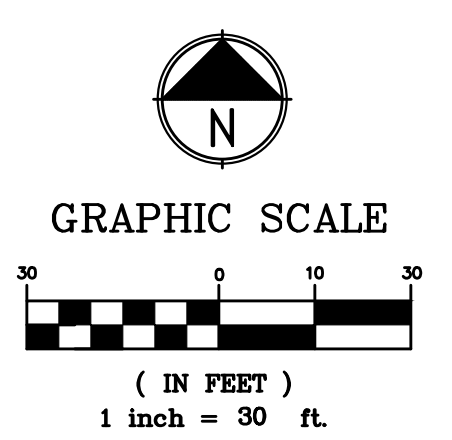
NOTE:  
Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in the drawings, bidder shall not assume the least expensive option will meet the project requirements.



MAVERIK INC. STORE  
LINCOLN AVE. AND DRANSFELDT RD.  
PARKER, CO  
SITE PLAN

**VERTICAL DATUM/BENCHMARK:**  
BENCHMARK IS THE NW CORNER SECTION 15, T6S S R66W, BEING A 3.5" ALUMINUM CAP LS 19003 1999 IN RANGE BOX,  
ELEVATION=5806.79' NAVD 88.



**EDCI ENGINEERS**  
1331 17TH STREET • SUITE 605  
DENVER, COLORADO 80202  
PHONE: (720) 439-4700  
WEBSITE: www.edci-engineers.com  
CIVIL / STRUCTURAL  
© Copyright 2023 EDCI Engineers Inc. All Rights Reserved.

GRADING PLAN



**CONTRACTOR NOTE:**  
ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEYS FURNISHED BY OTHERS. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEYS. CONTACT THE UTILITY OWNER/AGENCY FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION.

Plot Date: 2023-06-30 File Location: O:\2020-Denver\DC-Civil\Projects\2021\122-0001\Maverik Lincoln and Dransfeldt\122-0001 SITE.dwg



# LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1 MAVERIK INC. STORE SITE PLAN

SITUATED IN THE NORTHWEST 1/4 OF SECTION 15,  
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



Final Document  
Subject To Conditions In Approval Letter

APPROVED DATE: 11/17/2023

Planning Approval By: S. Nerger

PROJECT NUMBER

21-122-0001

ISSUE DATE:

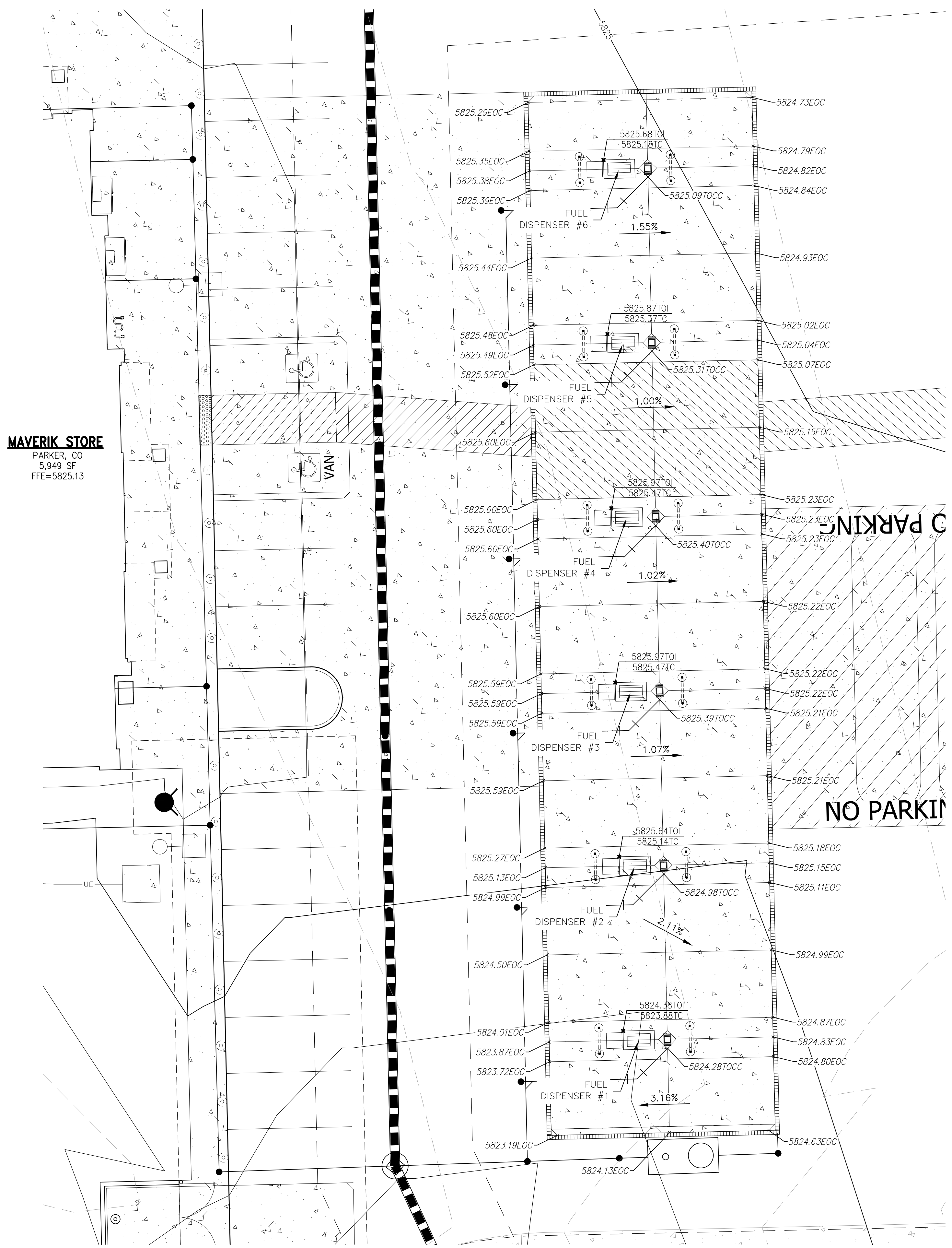
JUNE 30, 2023

REVISIONS:

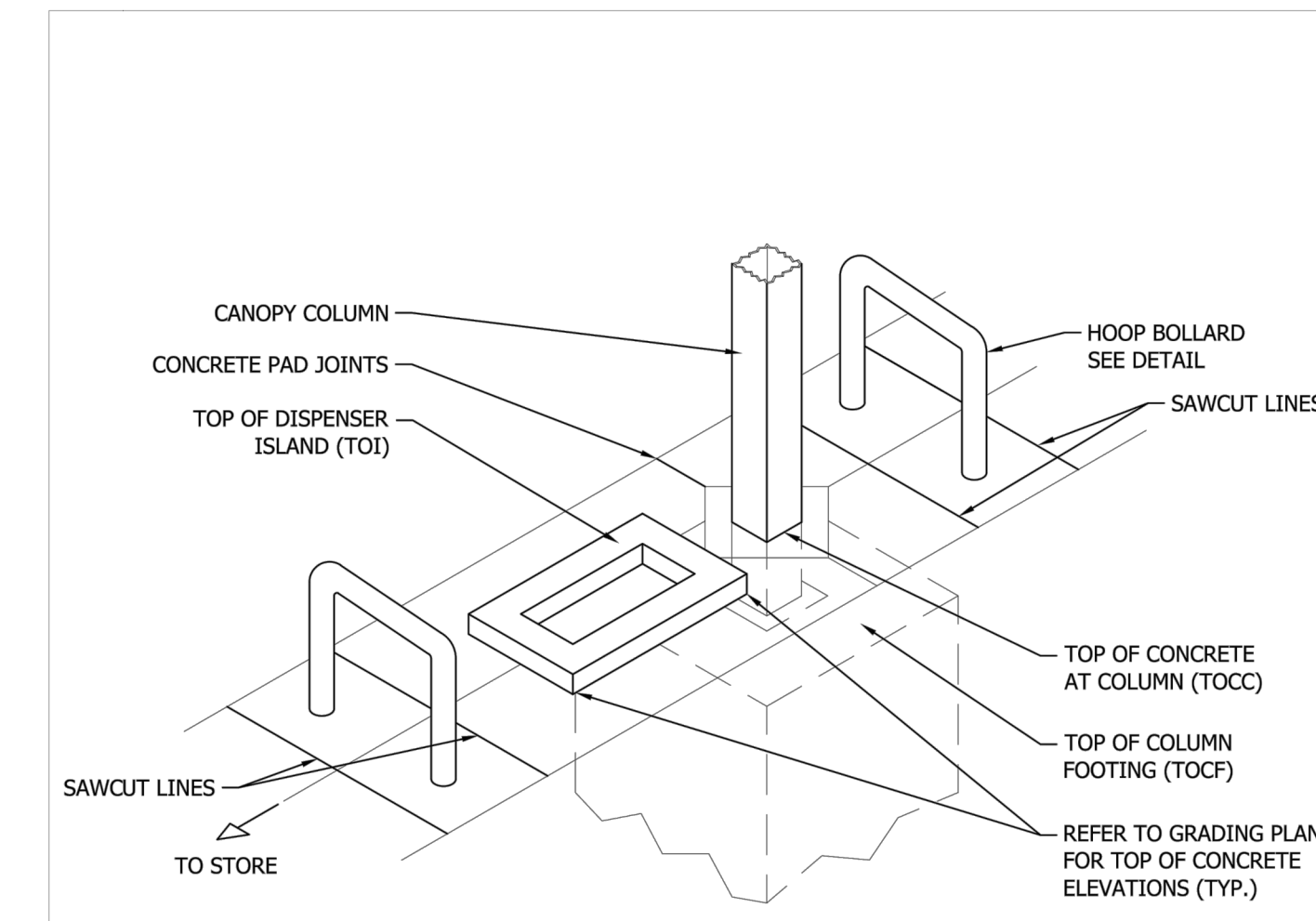
No.	Date	Description
1	5-24-22	CITY REVIEW
2	7-13-22	CITY REVIEW
3	10-19-22	CITY REVIEW
4	10-26-22	CITY REVIEW
5	12-08-22	CITY REVIEW
6	1-09-23	CITY REVIEW
7	3-10-23	CITY REVIEW
8	5-17-23	CITY REVIEW
9	6-30-23	CITY REVIEW

NOTE:  
Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in the drawings, bidder should not assume the least expensive option will meet the project requirements.



FUEL DISPENSER	TOP OF ISLAND	T.O.C. @ COLUMN	TOP OF COL. FTG.
#1	5823.53	5823.08	NOTE: TOP OF CONCRETE TO TOP OF COLUMN FOOTING SEPARATION IS 36" MINIMUM. SEE SITE SPECIFIC CANOPY STRUCTURAL DESIGN PLANS.
#2	5824.45	5823.82	
#3	5824.70	5824.13	
#4	5824.64	5824.08	
#5	5824.47	5823.88	



- NOTES:
1. TOP OF CONCRETE TO TOP OF SPOT & SPREAD FOOTING SEPARATION IS 36"
  2. 6" RAISED VERTICAL CONCRETE ISLAND WITH 1/4" INCH TOOLED EDGES AND CORNERS TO BE POURED FIRST 5'-0" x 3'-0" CONCRETE ISLAND (NO METAL FORM - VERIFY SIZE WITH DISPENSER MANUFACTURER)
  3. AFTER THE 5'-0" x 3'-0" FUEL ISLAND HAS BEEN POURED, SLOPE CONCRETE AWAY FROM ISLAND IN ALL (4) DIRECTIONS
  4. EVERY OTHER DISPENSER TO BE EQUIPPED WITH A FIRE EXTINGUISHER

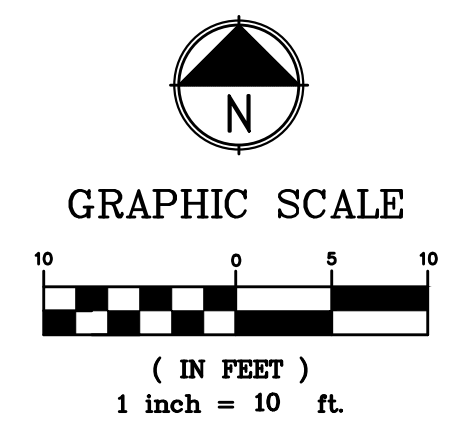
Detail: **FUEL DISPENSER BASE**

SCALE: NTS

DETAIL NO: SF-8

Standards Issue: 22\_02  
185 S. State Street  
Salt Lake City, Utah 84111

**VERTICAL DATUM/BENCHMARK:**  
BENCHMARK IS THE NW CORNER SECTION 15, T6S S R66W, BEING A 3.5" ALUMINUM CAP LS 19003 1999 IN RANGE BOX,  
ELEVATION=5806.79' NAVD 88.



**CONTRACTOR NOTE:**  
ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEYS FURNISHED BY OTHERS. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEYS. CONTACT THE UTILITY OWNER/AGENCY FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION.



**MAVERIK INC. STORE**  
LINCOLN AVE. AND DRANSFELDT RD.  
PARKER, CO  
SITE PLAN

**EDCI ENGINEERS**  
1331 17TH STREET • SUITE 605  
DENVER, COLORADO 80202  
PHONE: (720) 439-4700  
WEBSITE: www.edci-engineers.com  
CIVIL / STRUCTURAL  
© Copyright 2023 EDCI Engineers Inc. All Rights Reserved.

FUEL AREA  
GRADING  
DETAIL

Plot Date: 2023-06-30 File Location: O:\2020-Denver\DC-Civil\Projects\2021\122-0001\Maverik Lincoln and Dransfeldt\122-0001 SITE.dwg



# LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1 MAVERIK INC. STORE SITE PLAN

SITUATED IN THE NORTHWEST ¼ OF SECTION 15,  
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



Final Document  
Subject To Conditions In Approval Letter

APPROVED DATE: 11/17/2023

Planning Approval By: S. Nerger

PROJECT NUMBER

21-122-0001

ISSUE DATE:

JUNE 30, 2023

REVISIONS:

No.	Date	Description
1	5-24-22	CITY REVIEW
2	7-13-22	CITY REVIEW
3	10-19-22	CITY REVIEW
4	10-26-22	CITY REVIEW
5	12-08-22	CITY REVIEW
6	1-09-23	CITY REVIEW
7	3-10-23	CITY REVIEW
8	5-17-23	CITY REVIEW
9	6-30-23	CITY REVIEW

NOTE:  
Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in the drawings, bidder should not assume the least expensive option will meet the project requirements.

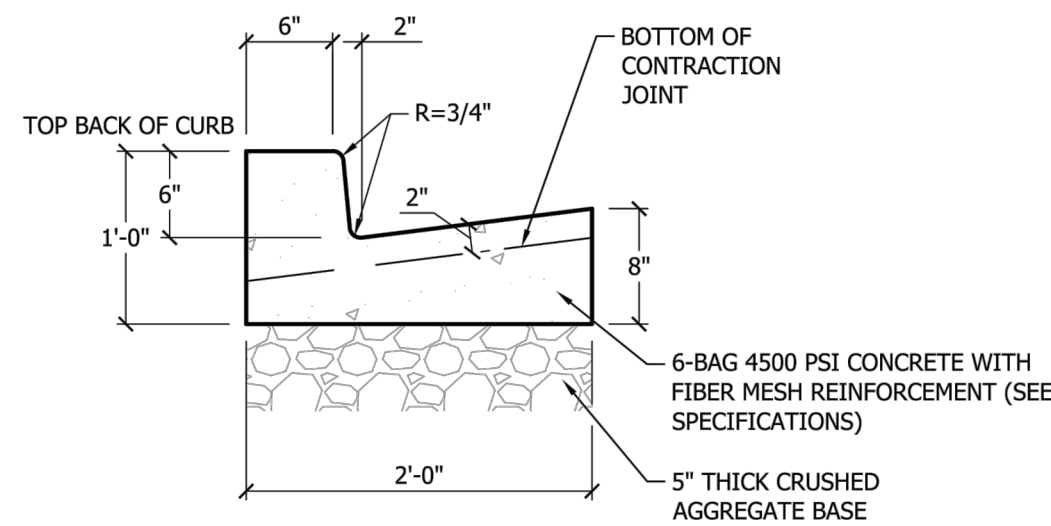


MAVERIK INC. STORE  
LINCOLN AVE. AND DRANSFELDT RD.  
PARKER, CO  
SITE PLAN

**EDCI**  
ENGINEERS  
1331 17TH STREET SUITE 605  
DENVER, COLORADO 80202  
PHONE: (720) 439-4700  
WEBSITE: www.edci-engineers.com  
CIVIL / STRUCTURAL  
© Copyright 1983-2023 EDCI Engineers Inc. All Rights Reserved

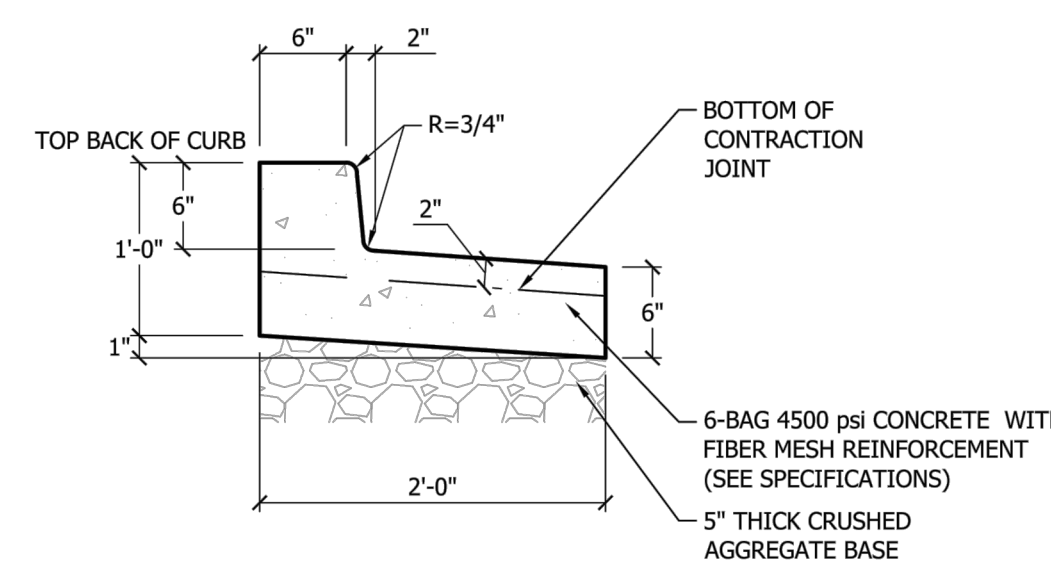
SITE DETAILS

8 OF 26



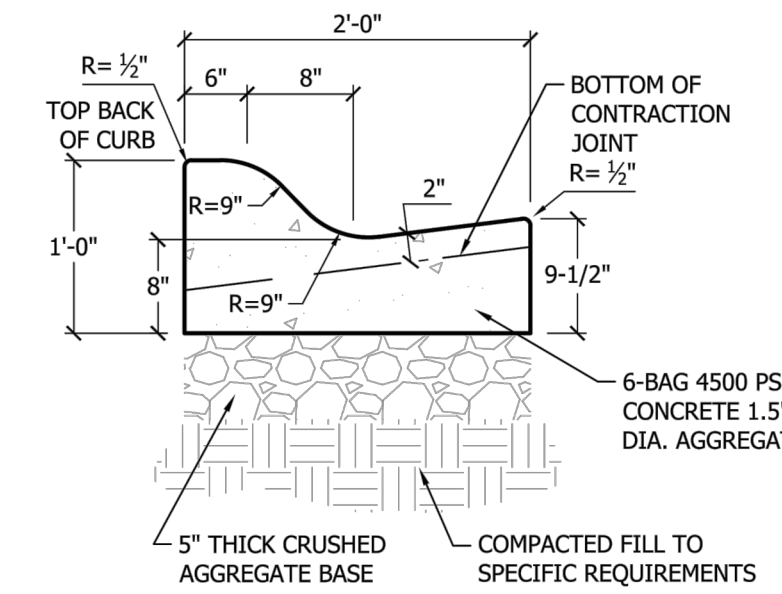
**CONCRETE CURB AND GUTTER SECTION & INSTALLATION NOTE:**  
1. MAVERIK TYPICAL CONCRETE CURB AND GUTTER SECTION PROVIDED AS A MINIMUM STANDARD FOR INSTALLATION. CONTRACTOR TO REFER TO SITE SPECIFIC GEOTECHNICAL REPORT CONCRETE SECTION RECOMMENDATION AND INSTALL MOST STRINGENT. CONTRACTOR TO COMPLY WITH ALL SUBBASE PREPARATION REQUIREMENTS AS NOTED WITHIN SITE SPECIFIC GEOTECHNICAL REPORT.  
2. ADD EXPANSION JOINTS EVERY +25 FEET ALONG CURB. SEE TYPICAL ON-SITE CONCRETE JOINT DETAIL. SEE SITE SPECIFICATIONS

Detail: **ON-SITE CATCH TYPE CURB & GUTTER**  
SCALE: NTS  
DETAIL NO: C-8  
MAVERIK  
Standards Issue: 22\_02  
185 S. State Street  
Salt Lake City, Utah 84111



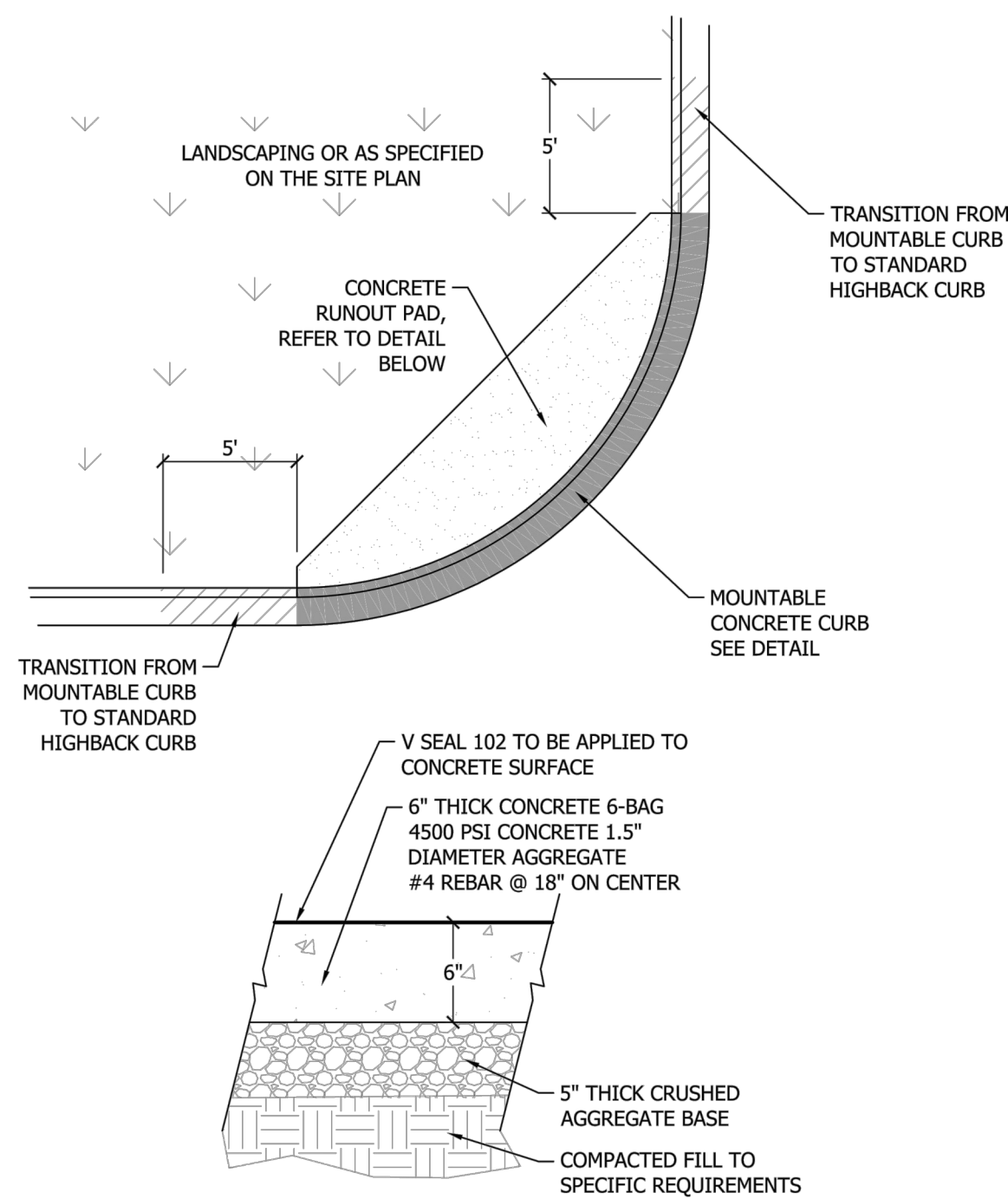
**CONCRETE CURB AND GUTTER SECTION & INSTALLATION NOTE:**  
1. MAVERIK TYPICAL CONCRETE CURB AND GUTTER SECTION PROVIDED AS A MINIMUM STANDARD FOR INSTALLATION. CONTRACTOR TO REFER TO SITE SPECIFIC GEOTECHNICAL REPORT CONCRETE SECTION RECOMMENDATION AND INSTALL MOST STRINGENT. CONTRACTOR TO COMPLY WITH ALL SUBBASE PREPARATION REQUIREMENTS AS NOTED WITHIN SITE SPECIFIC GEOTECHNICAL REPORT.  
2. ADD EXPANSION JOINTS EVERY +25 FEET ALONG CURB. SEE TYPICAL ON-SITE CONCRETE JOINT DETAIL. SEE SITE SPECIFICATIONS

Detail: **ON-SITE SPILL TYPE CURB & GUTTER**  
SCALE: NTS  
DETAIL NO: C-9  
MAVERIK  
Standards Issue: 22\_02  
185 S. State Street  
Salt Lake City, Utah 84111



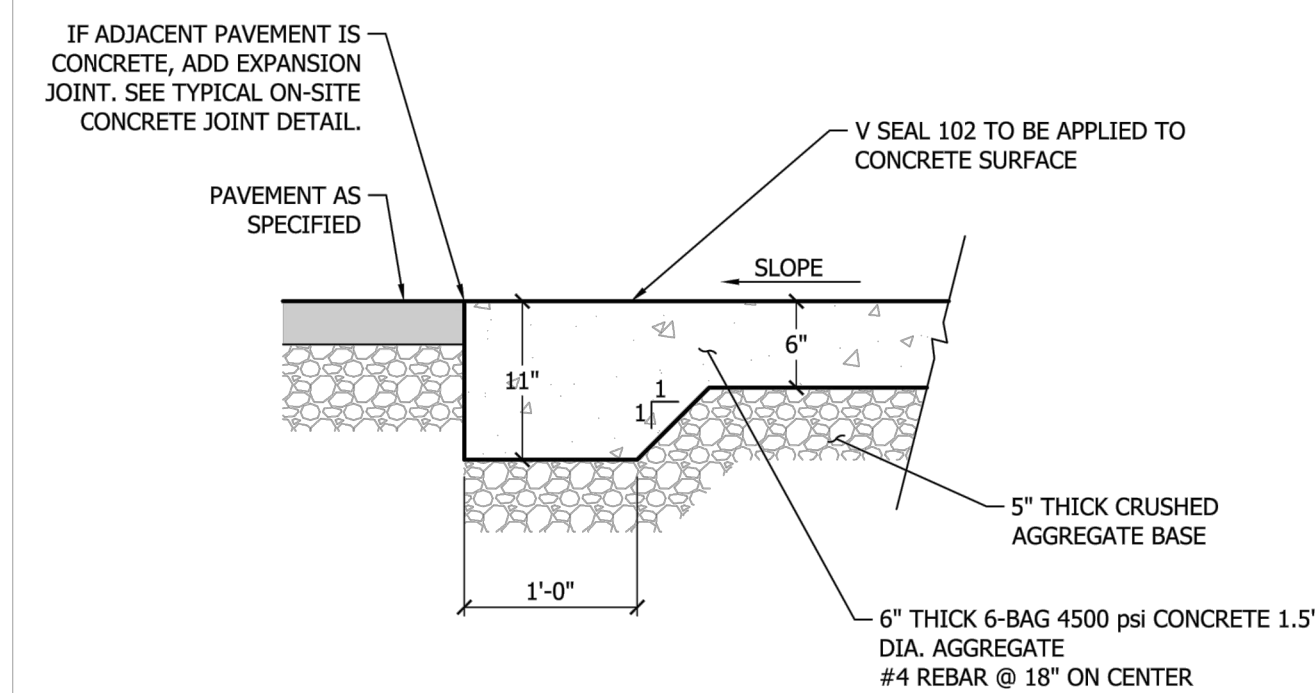
**CONCRETE CURB AND GUTTER SECTION & INSTALLATION NOTE:**  
1. MAVERIK TYPICAL CONCRETE CURB AND GUTTER SECTION PROVIDED AS A MINIMUM STANDARD FOR INSTALLATION. CONTRACTOR TO REFER TO SITE SPECIFIC GEOTECHNICAL REPORT CONCRETE SECTION RECOMMENDATION AND INSTALL MOST STRINGENT. CONTRACTOR TO COMPLY WITH ALL SUBBASE PREPARATION REQUIREMENTS AS NOTED WITHIN SITE SPECIFIC GEOTECHNICAL REPORT.  
2. ADD EXPANSION JOINTS EVERY +25 FEET ALONG CURB. SEE TYPICAL ON-SITE CONCRETE JOINT DETAIL. SEE SITE SPECIFICATIONS

Detail: **ON-SITE CATCH TYPE MOUNTABLE CURB & GUTTER**  
SCALE: NTS  
DETAIL NO: C-10  
MAVERIK  
Standards Issue: 22\_02  
185 S. State Street  
Salt Lake City, Utah 84111



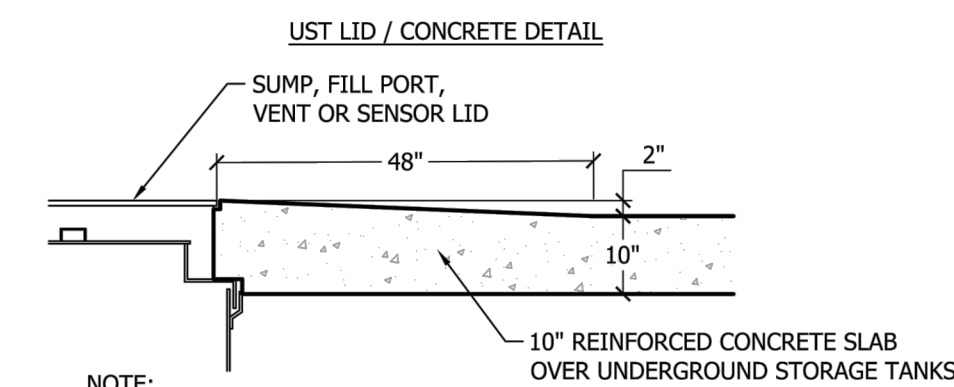
**CONCRETE SECTION & INSTALLATION NOTE:**  
1. MAVERIK TYPICAL CONCRETE SECTION PROVIDED AS A MINIMUM STANDARD FOR INSTALLATION. CONTRACTOR TO REFER TO SITE SPECIFIC GEOTECHNICAL REPORT CONCRETE SECTION RECOMMENDATION AND INSTALL MOST STRINGENT. CONTRACTOR TO COMPLY WITH ALL SUBBASE PREPARATION REQUIREMENTS AS NOTED WITHIN SITE SPECIFIC GEOTECHNICAL REPORT.

Detail: **CONCRETE RUNOUT PAD**  
SCALE: NTS  
DETAIL NO: C-12  
MAVERIK  
Standards Issue: 22\_02  
185 S. State Street  
Salt Lake City, Utah 84111

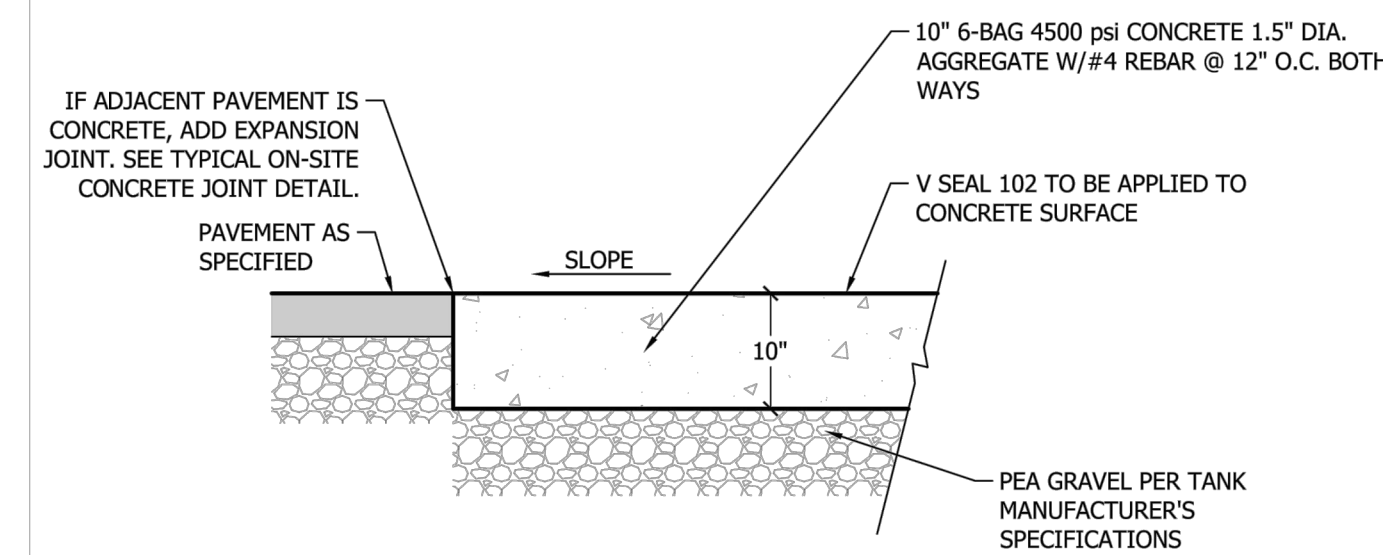


**CONCRETE SECTION & INSTALLATION NOTE:**  
1. MAVERIK TYPICAL CONCRETE SECTION PROVIDED AS A MINIMUM STANDARD FOR INSTALLATION. CONTRACTOR TO REFER TO SITE SPECIFIC GEOTECHNICAL REPORT CONCRETE SECTION RECOMMENDATION AND INSTALL MOST STRINGENT. CONTRACTOR TO COMPLY WITH ALL SUBBASE PREPARATION REQUIREMENTS AS NOTED WITHIN SITE SPECIFIC GEOTECHNICAL REPORT.  
2. THICKEN SLAB @ ALL OUTSIDE EDGES.  
3. 12-INCH CHAMFER AT EACH CONCRETE CORNER.

Detail: **CONCRETE PAD UNDER FUEL CANOPY**  
SCALE: NTS  
DETAIL NO: C-15  
MAVERIK  
Standards Issue: 22\_02  
185 S. State Street  
Salt Lake City, Utah 84111

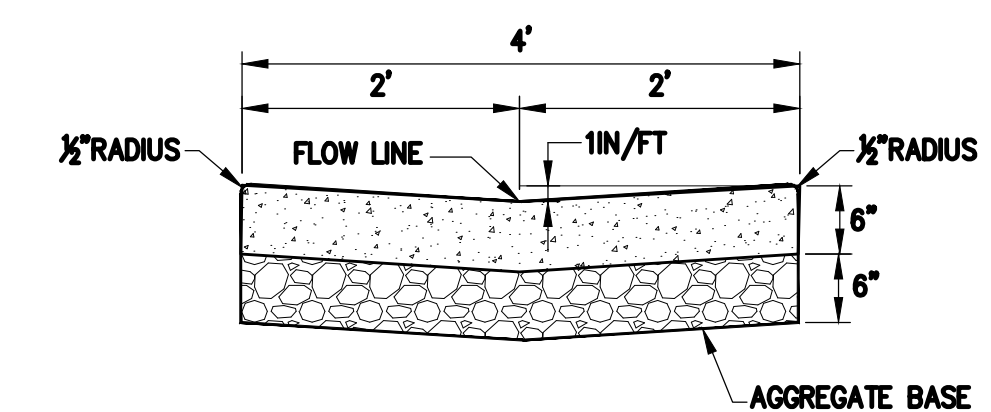


**NOTE:**  
1. MAVERIK AND PETROLEUM REPRESENTATIVE MUST BE PRESENT AT TIME OF TANK SLAB CONCRETE POUR.



**CONCRETE SECTION & INSTALLATION NOTE:**  
1. MAVERIK TYPICAL CONCRETE SECTION PROVIDED AS A MINIMUM STANDARD FOR INSTALLATION. CONTRACTOR TO REFER TO SITE SPECIFIC GEOTECHNICAL REPORT CONCRETE SECTION RECOMMENDATION AND INSTALL MOST STRINGENT. CONTRACTOR TO COMPLY WITH ALL SUBBASE PREPARATION REQUIREMENTS AS NOTED WITHIN SITE SPECIFIC GEOTECHNICAL REPORT.  
2. 12-INCH CHAMFER AT EACH CONCRETE CORNER.  
3. PAD TO EXTEND 3-FEET MIN. BEYOND TANKS IN ALL DIRECTIONS.

Detail: **CONCRETE PAD OVER UNDERGROUND FUEL TANKS**  
SCALE: NTS  
DETAIL NO: C-16  
MAVERIK  
Standards Issue: 22\_02  
185 S. State Street  
Salt Lake City, Utah 84111



4' WIDE CONCRETE VALLEY GUTTER

SCALE: NTS

3









# LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1 MAVERIK INC. STORE SITE PLAN

SITUATED IN THE NORTHWEST 1/4 OF SECTION 15,  
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



Final Document  
Subject To Conditions In Approval Letter

APPROVED DATE: 11/17/2023

Planning Approval By: S. Nerger

PROJECT NUMBER

21-122-0001

ISSUE DATE:

JUNE 30, 2023

REVISIONS:

No.	Date	Description
1	5-24-22	CITY REVIEW
2	7-13-22	CITY REVIEW
3	10-19-22	CITY REVIEW
4	10-26-22	CITY REVIEW
5	12-08-22	CITY REVIEW
6	1-09-23	CITY REVIEW
7	3-10-23	CITY REVIEW
8	5-17-23	CITY REVIEW
9	6-30-23	CITY REVIEW

NOTE:  
Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in the drawings, bidder shall not assume the least expensive option will meet the project requirements.

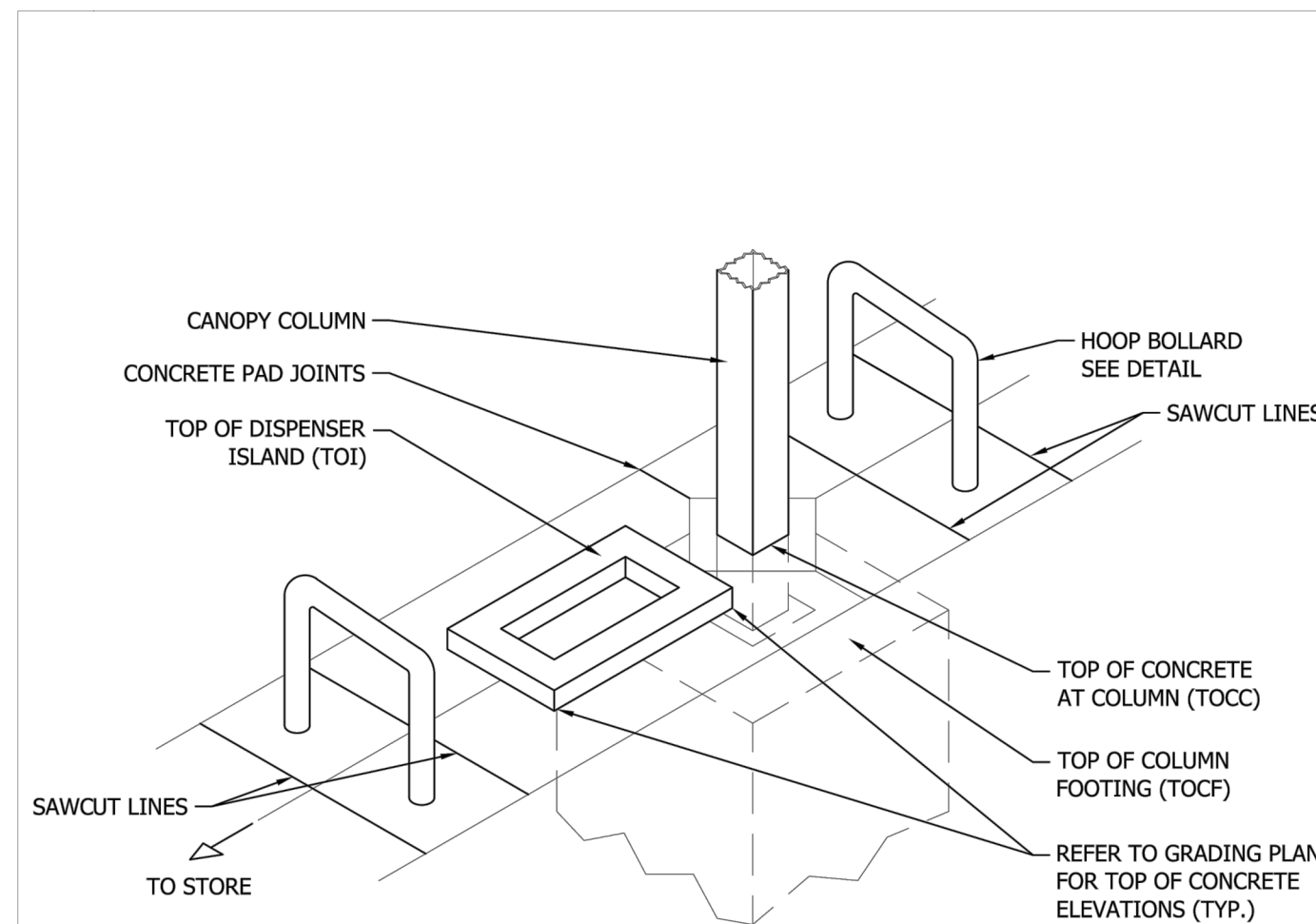


MAVERIK INC. STORE  
LINCOLN AVE. AND DRANSFELDT RD.  
PARKER, CO  
SITE PLAN

**EDCI**  
ENGINEERS  
1331 17TH STREET • SUITE 605  
DENVER, COLORADO 80202  
PHONE: (720) 439-4700  
WEBSITE: www.edci-engineers.com  
CIVIL / STRUCTURAL  
© Copyright 2023 EDCI Engineers, Inc. All Rights Reserved.

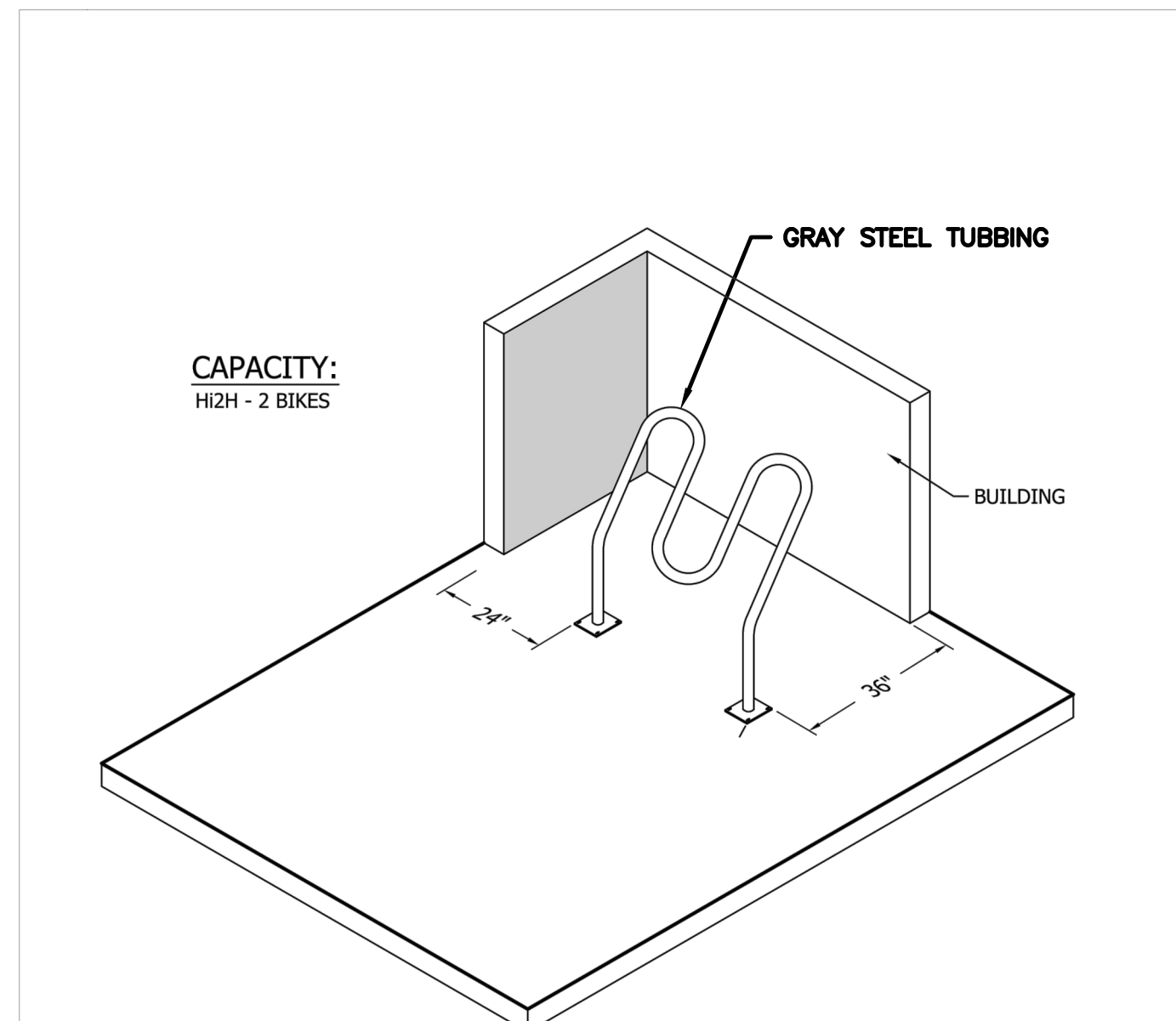
SITE DETAILS

10 OF 26



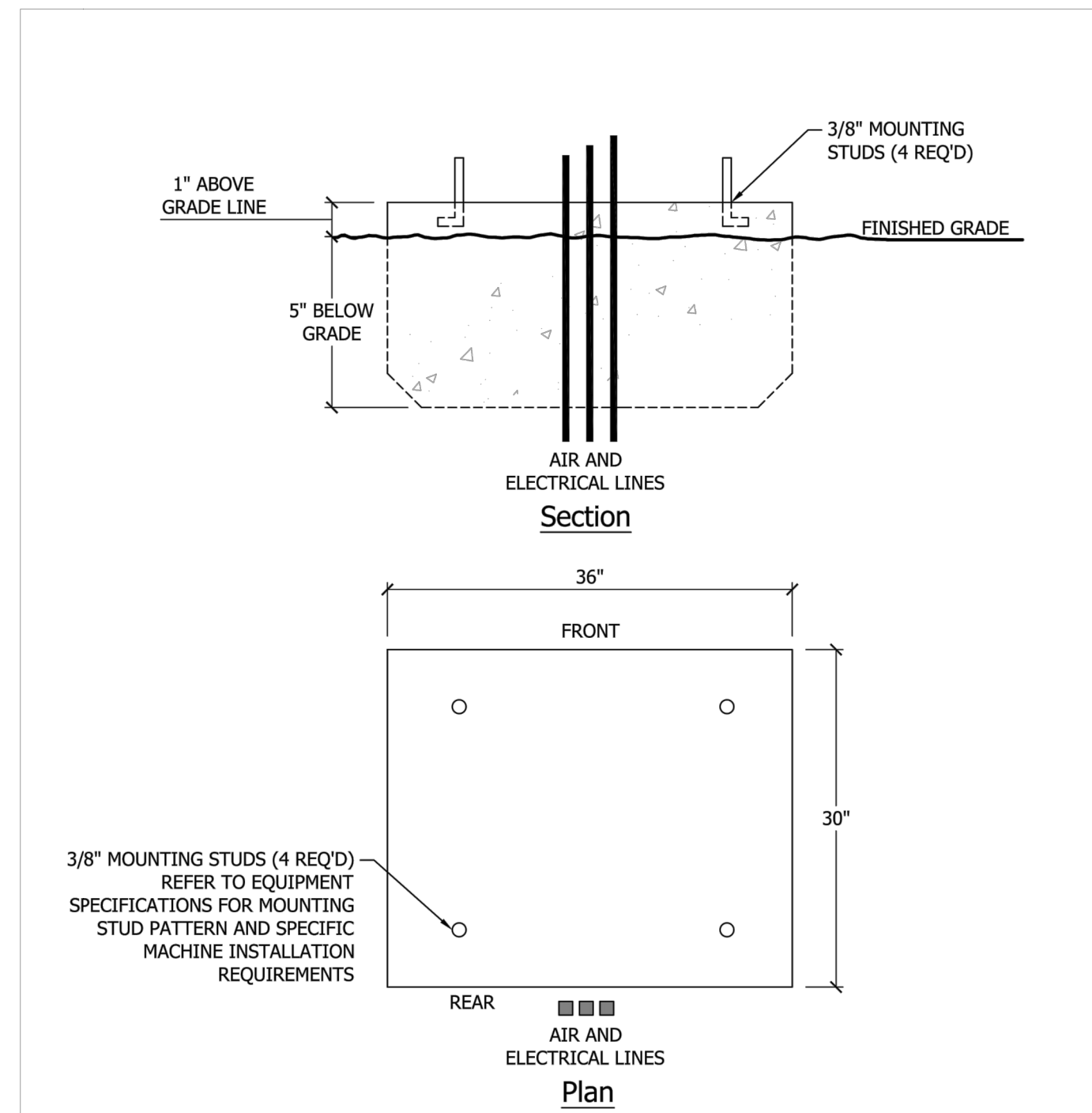
- NOTES:
1. TOP OF CONCRETE TO TOP OF SPOT & SPREAD FOOTING SEPARATION IS 36"
  2. 6" RAISED VERTICAL CONCRETE ISLAND WITH 1 1/4" TOOLED EDGES AND CORNERS TO BE POURED FIRST 5'-0" x 3'-0" CONCRETE ISLAND (NO METAL FORM - VERIFY SIZE WITH DISPENSER MANUFACTURER)
  3. AFTER THE 5'-0" x 3'-0" FUEL ISLAND HAS BEEN POURED, SLOPE CONCRETE AWAY FROM ISLAND IN ALL (4) DIRECTIONS
  4. EVERY OTHER DISPENSER TO BE EQUIPPED WITH A FIRE EXTINGUISHER

Detail: **FUEL DISPENSER BASE**  
SCALE: NTS  
DETAIL NO: SF-8  
MAVERIK Standards Issue: 22\_02 185 S. State Street Salt Lake City, Utah 84111



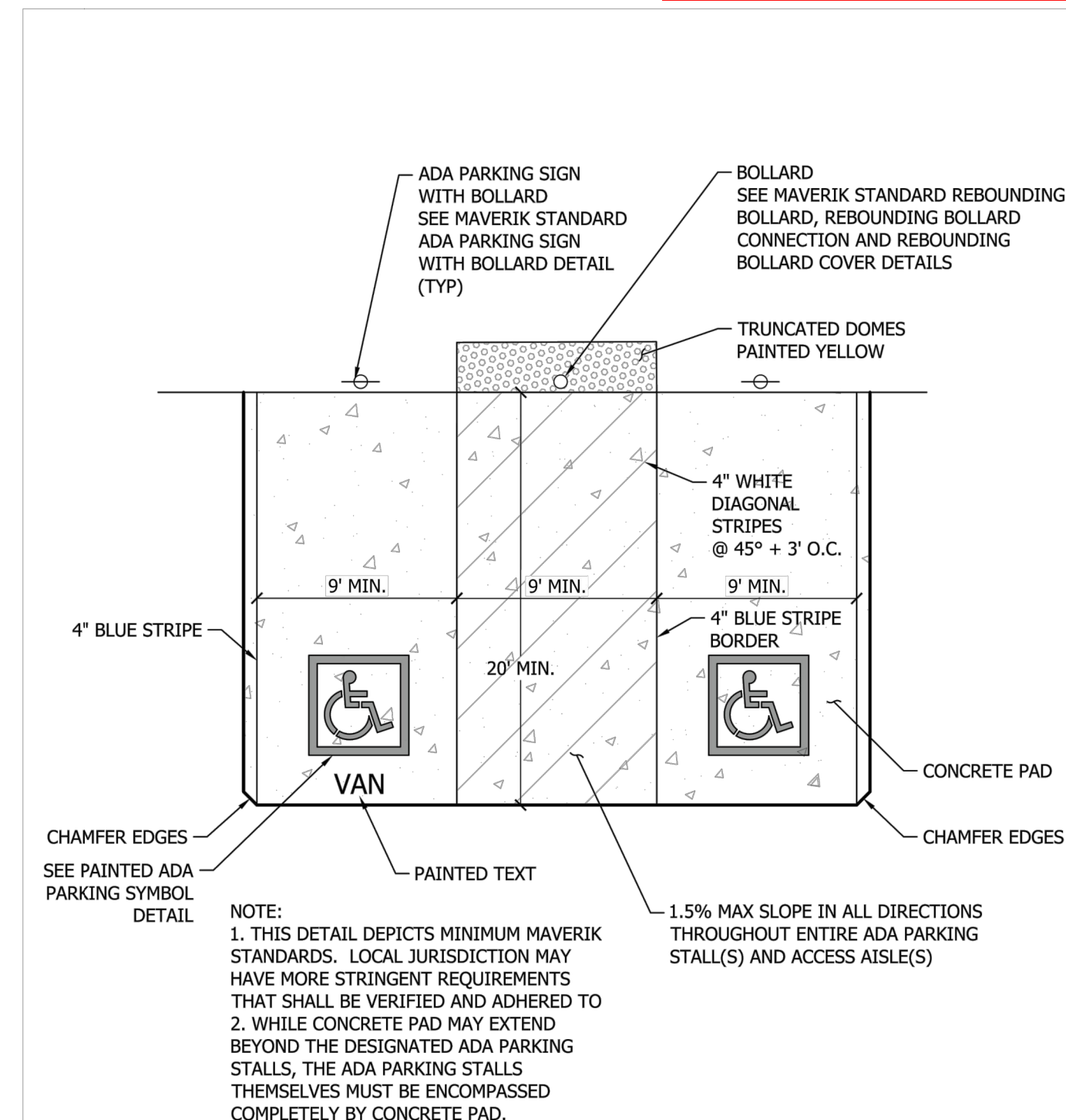
- NOTES:
1. IF STORAGE OF MORE THAN 2 BICYCLES IS REQUIRED, PLACE ADDITIONAL BIKE RACKS, AS NECESSARY.

Detail: **"HI-ROLLER" BIKE RACK**  
SCALE: NTS  
DETAIL NO: SF-9  
MAVERIK Standards Issue: 22\_02 185 S. State Street Salt Lake City, Utah 84111



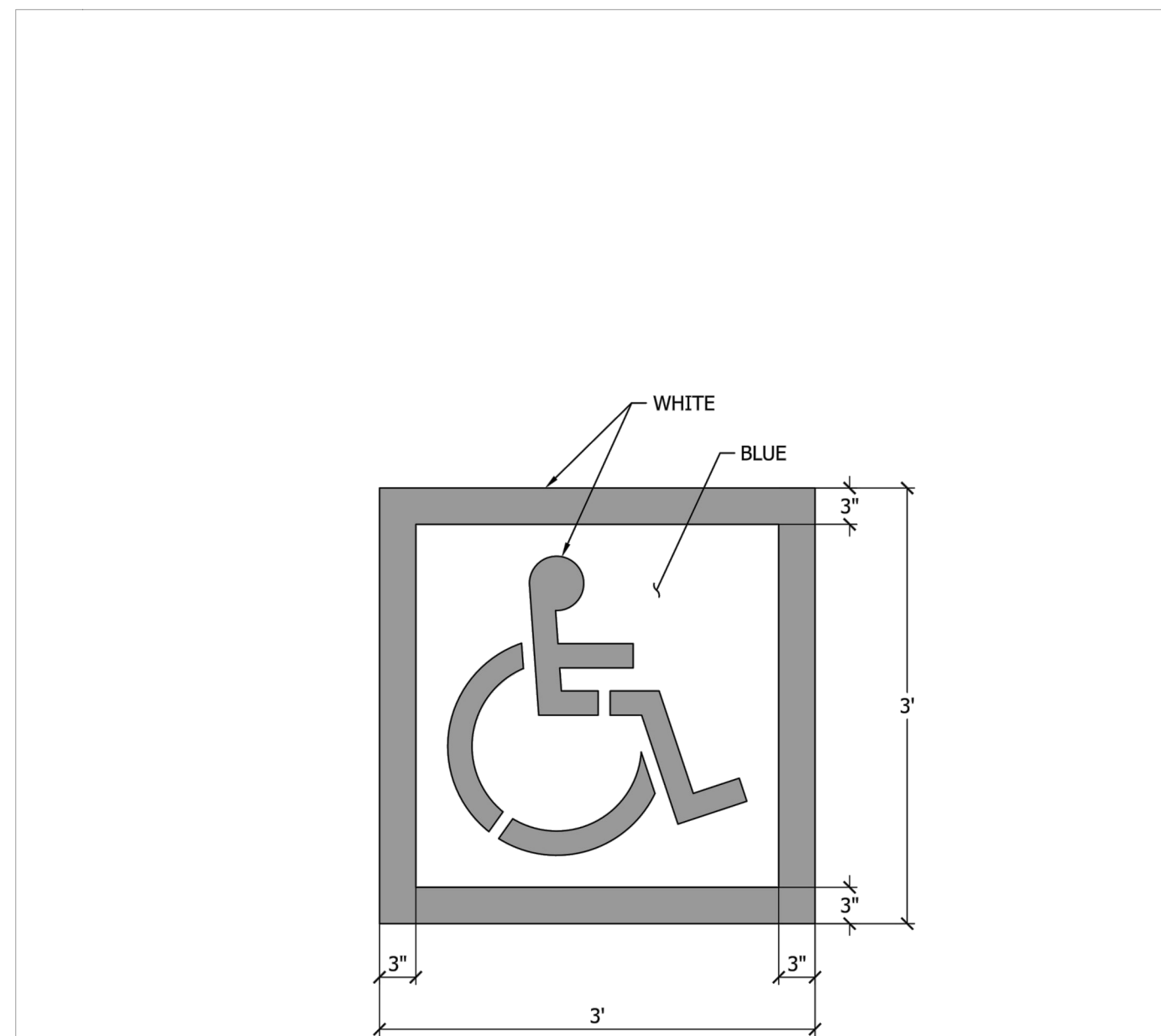
UTILITY REQUIREMENTS: OUTDOOR APPROVED ELECTRICAL CONDUIT. REFER TO ELECTRICAL SPECIFICATIONS INFORMATION ON SPECIFIC MACHINE INSTALLATION REQUIREMENTS.  
FOR REFERENCE ONLY. CONTRACTOR TO VERIFY ALL CONSTRUCTION WITH MANUFACTURER'S SPECIFICATIONS.

Detail: **XACTAIR AIR STATION FOUNDATION**  
SCALE: NTS  
DETAIL NO: SF-10  
MAVERIK Standards Issue: 22\_02 185 S. State Street Salt Lake City, Utah 84111



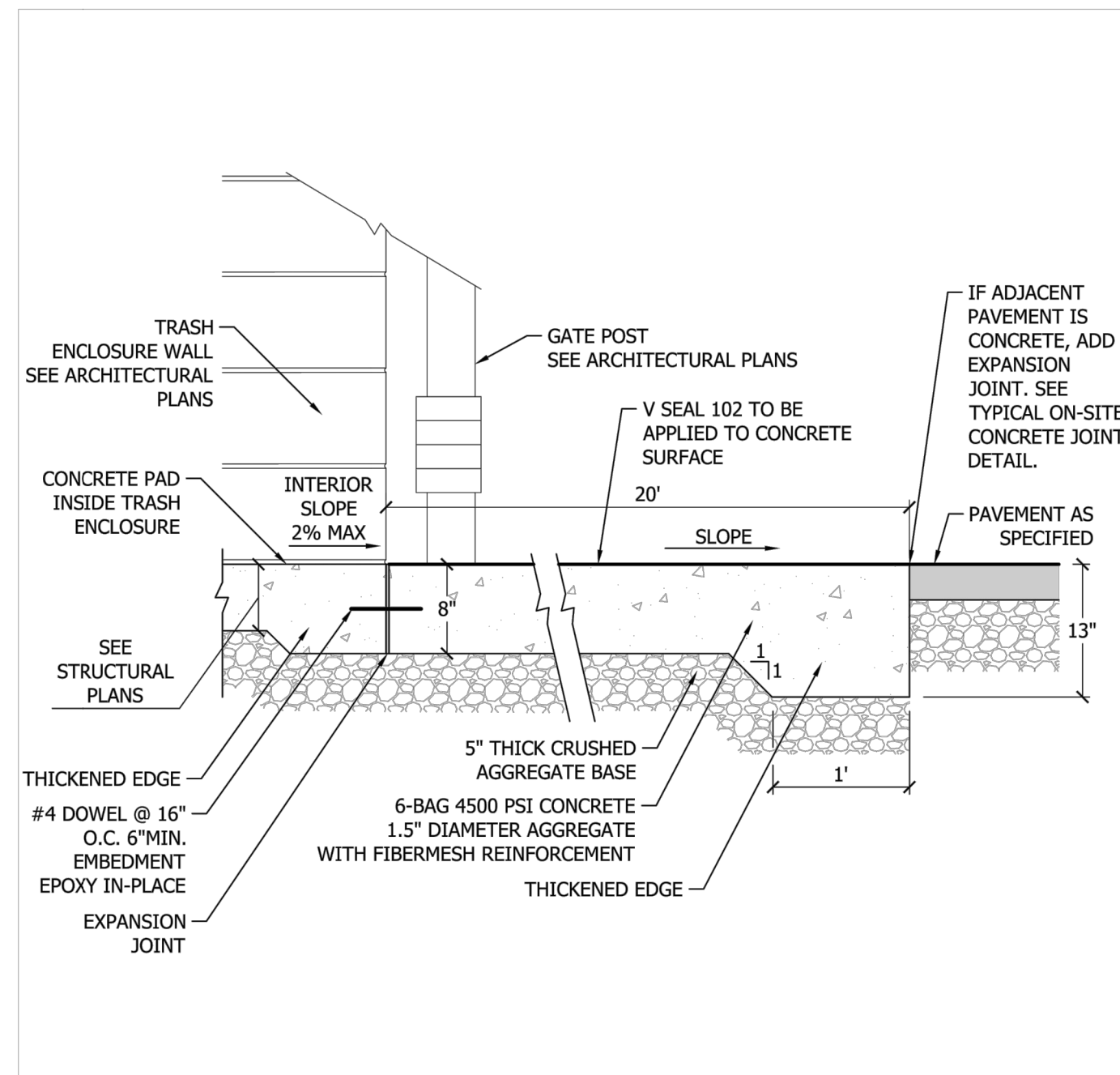
- NOTE:
1. THIS DETAIL DEPICTS MINIMUM MAVERIK STANDARDS. LOCAL JURISDICTION MAY HAVE MORE STRINGENT REQUIREMENTS THAT SHALL BE VERIFIED AND ADHERED TO
  2. WHILE CONCRETE PAD MAY EXTEND BEYOND THE DESIGNATED ADA PARKING STALLS, THE ADA PARKING STALLS THEMSELVES MUST BE ENCOMPASSED COMPLETELY BY CONCRETE PAD.

Detail: **ADA PARKING**  
SCALE: NTS  
DETAIL NO: SF-12  
MAVERIK Standards Issue: 22\_02 185 S. State Street Salt Lake City, Utah 84111



- NOTES:
1. THIS DETAIL DEPICTS MINIMUM MAVERIK STANDARDS. LOCAL JURISDICTION MAY HAVE MORE STRINGENT REQUIREMENTS THAT SHALL BE VERIFIED AND ADHERED TO
  2. PROVIDE TWO COATS OF PAINT
  3. BLUE BACKGROUND WITH WHITE SYMBOL

Detail: **PAINTED ADA PARKING SYMBOL**  
SCALE: NTS  
DETAIL NO: SF-13  
MAVERIK Standards Issue: 22\_02 185 S. State Street Salt Lake City, Utah 84111



- CONCRETE SECTION & INSTALLATION NOTES:
1. MAVERIK TYPICAL CONCRETE SECTION PROVIDED AS A MINIMUM STANDARD FOR INSTALLATION. CONTRACTOR TO REFER TO SITE SPECIFIC GEOTECHNICAL REPORT CONCRETE SECTION RECOMMENDATION AND INSTALL MOST STRINGENT. CONTRACTOR TO COMPLY WITH ALL SUBBASE PREPARATION REQUIREMENTS AS NOTED WITHIN SITE SPECIFIC GEOTECHNICAL REPORT.
  2. THICKEN SLAB @ ALL OUTSIDE EDGES.

Detail: **TRASH ENCLOSURE ACCESS PAD**  
SCALE: NTS  
DETAIL NO: C-5  
MAVERIK Standards Issue: 22\_02 185 S. State Street Salt Lake City, Utah 84111



Plot Date: 2023-06-30 File Location: O:\2020-Denver\DC-Civil\Projects\2023\21-122-0001\Maverik Lincoln and Dransfeldt\21-122-0001 SITE.dwg



# LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1 MAVERIK INC. STORE SITE PLAN

SITUATED IN THE NORTHWEST 1/4 OF SECTION 15,  
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



Final Document  
Subject To Conditions In Approval Letter

APPROVED DATE: 11/17/2023

Planning Approval By: S. Nerger

PROJECT NUMBER

21-122-0001

ISSUE DATE:

JUNE 30, 2023

REVISIONS:

No.	Date	Description
1	5-24-22	CITY REVIEW
2	7-13-22	CITY REVIEW
3	10-19-22	CITY REVIEW
4	10-26-22	CITY REVIEW
5	12-08-22	CITY REVIEW
6	1-09-23	CITY REVIEW
7	3-10-23	CITY REVIEW
8	5-17-23	CITY REVIEW
9	6-30-23	CITY REVIEW

NOTE:  
Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in the drawings, bidder shall not assume the least expensive option will meet the project requirements.



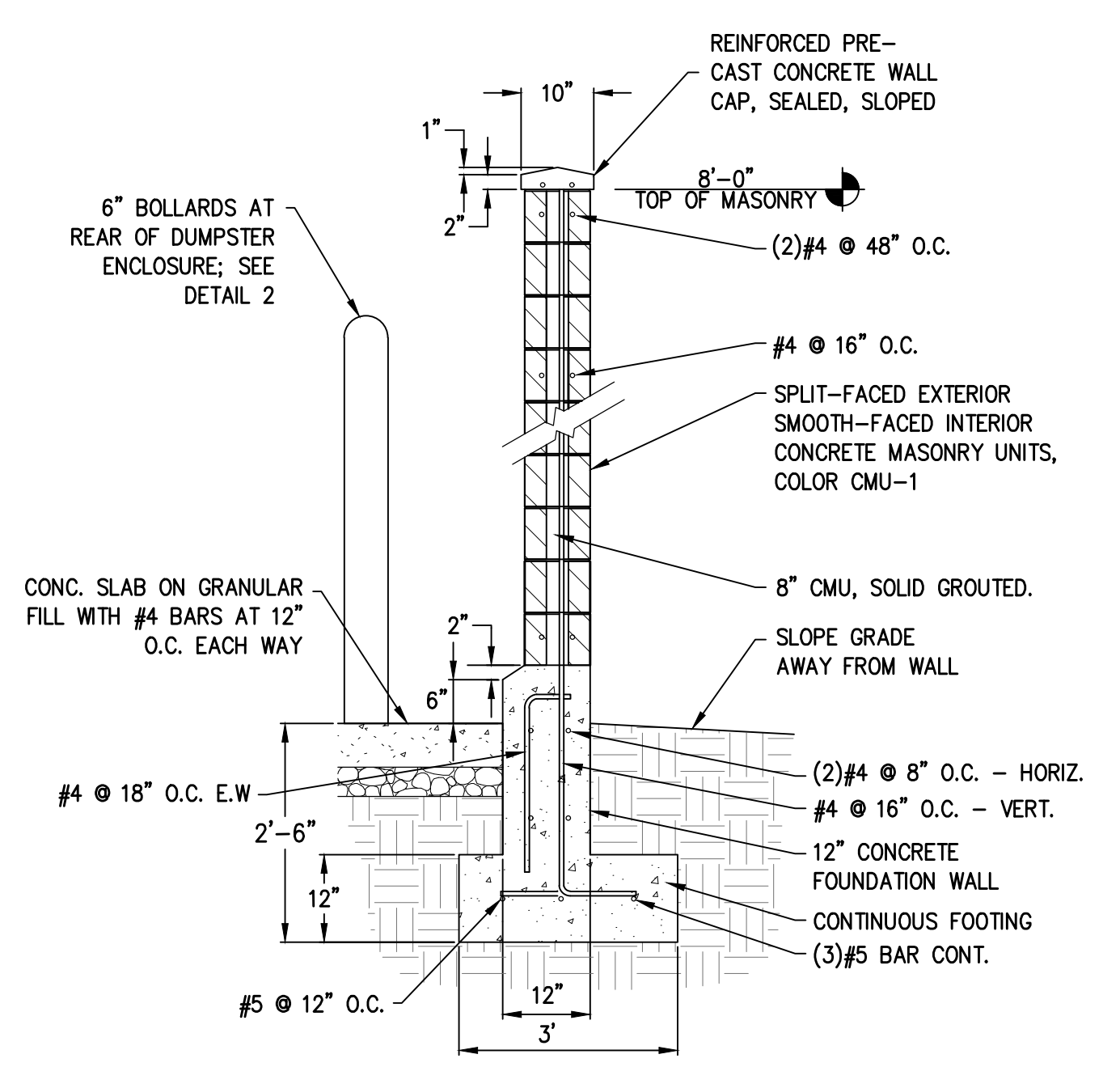
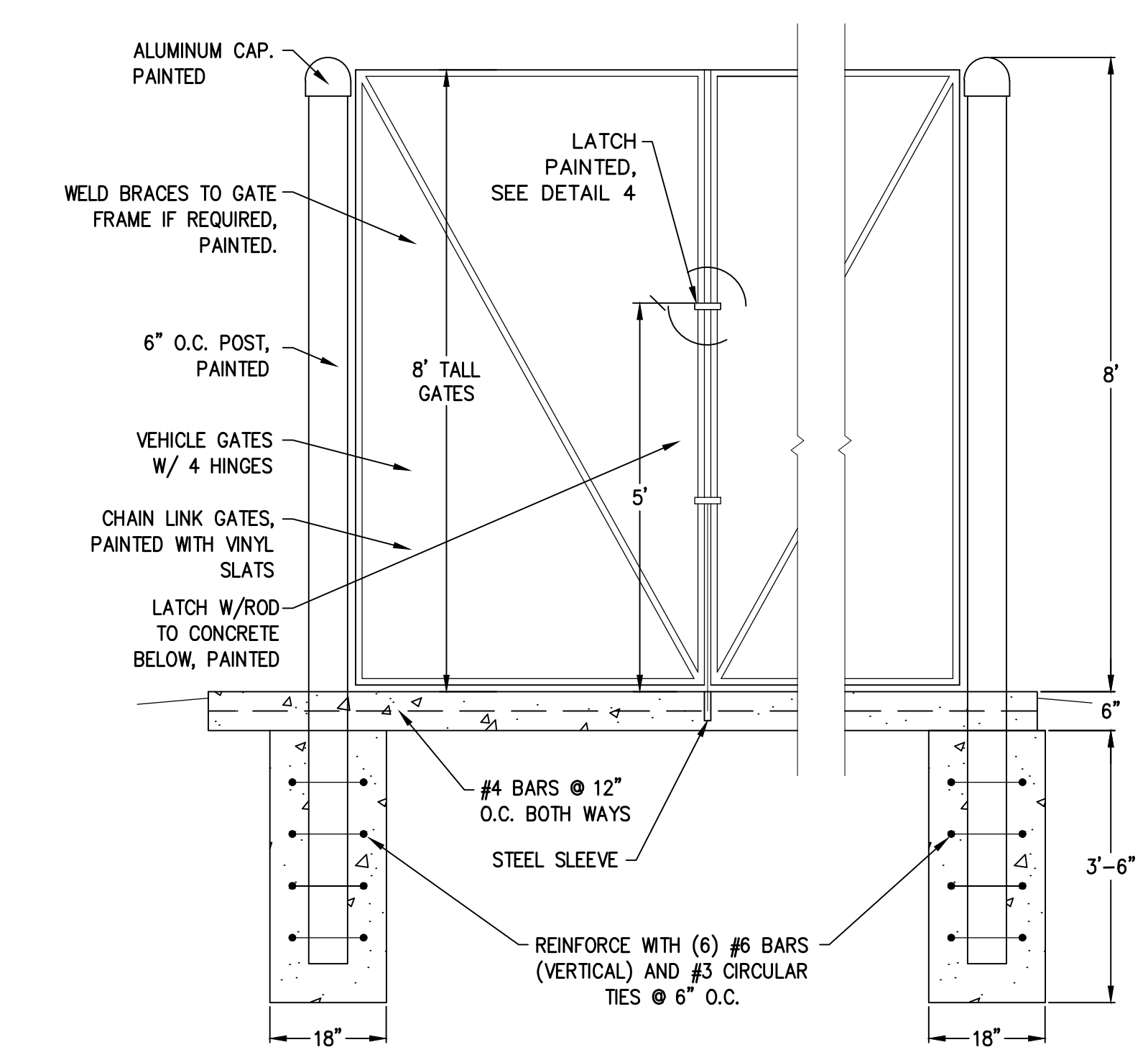
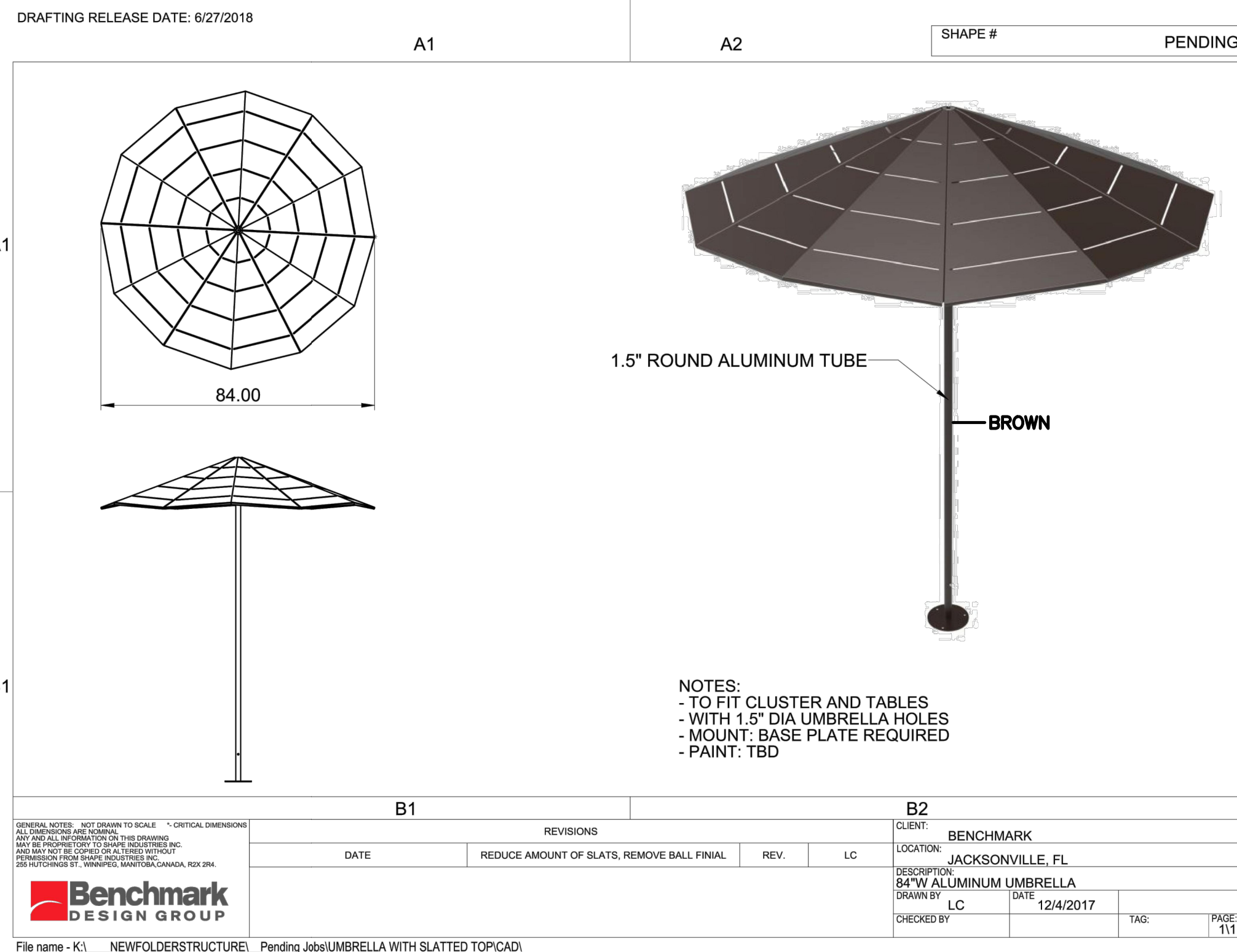
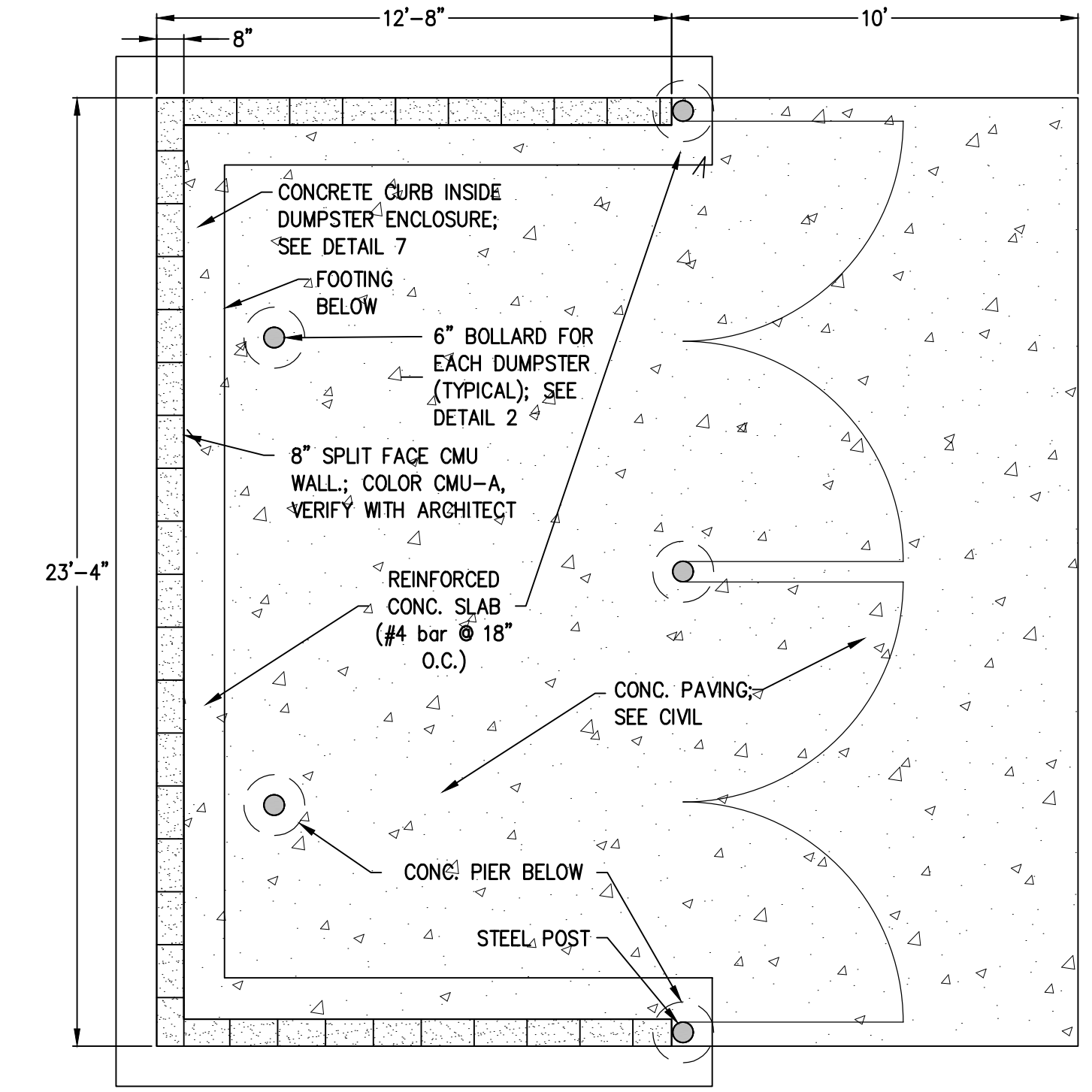
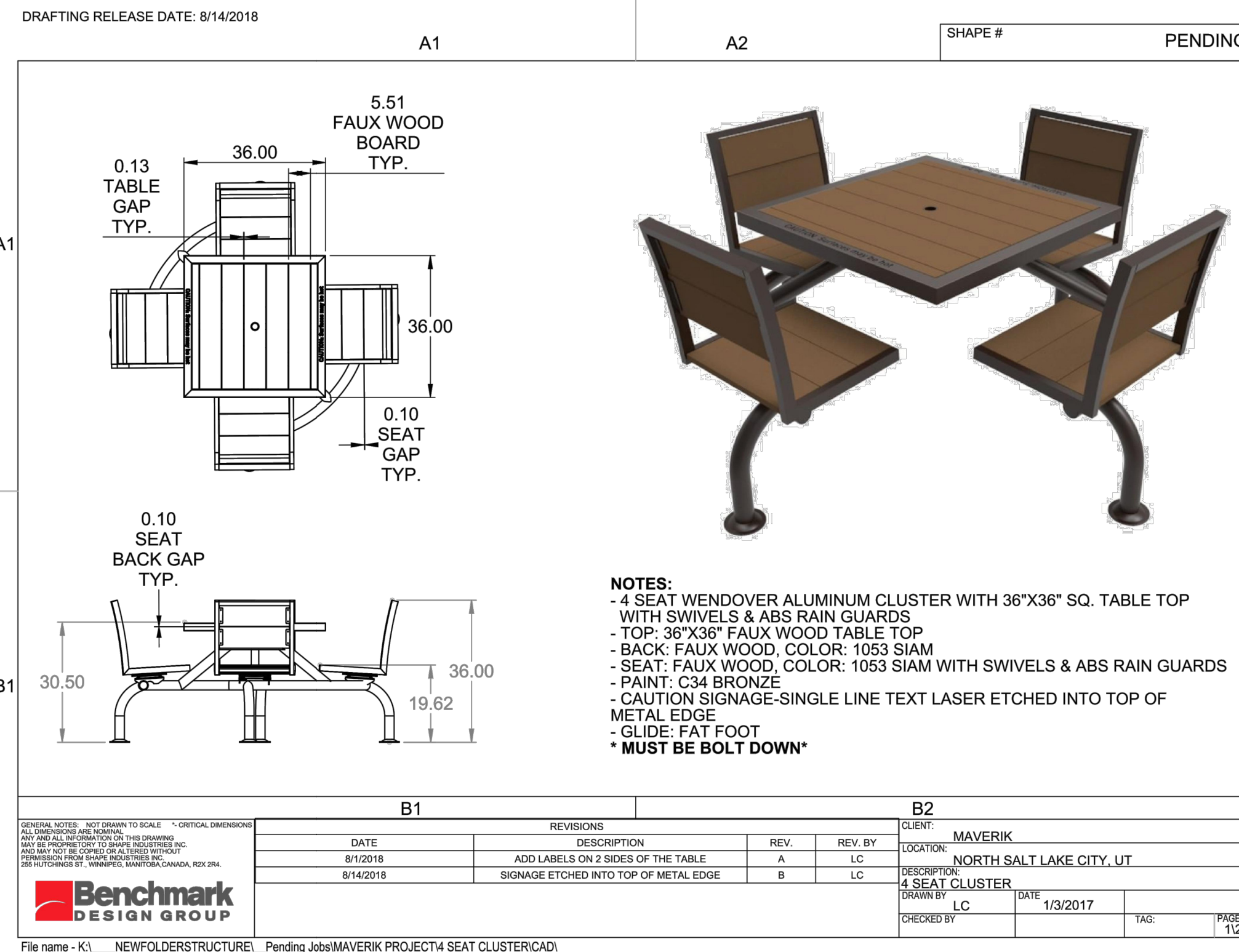
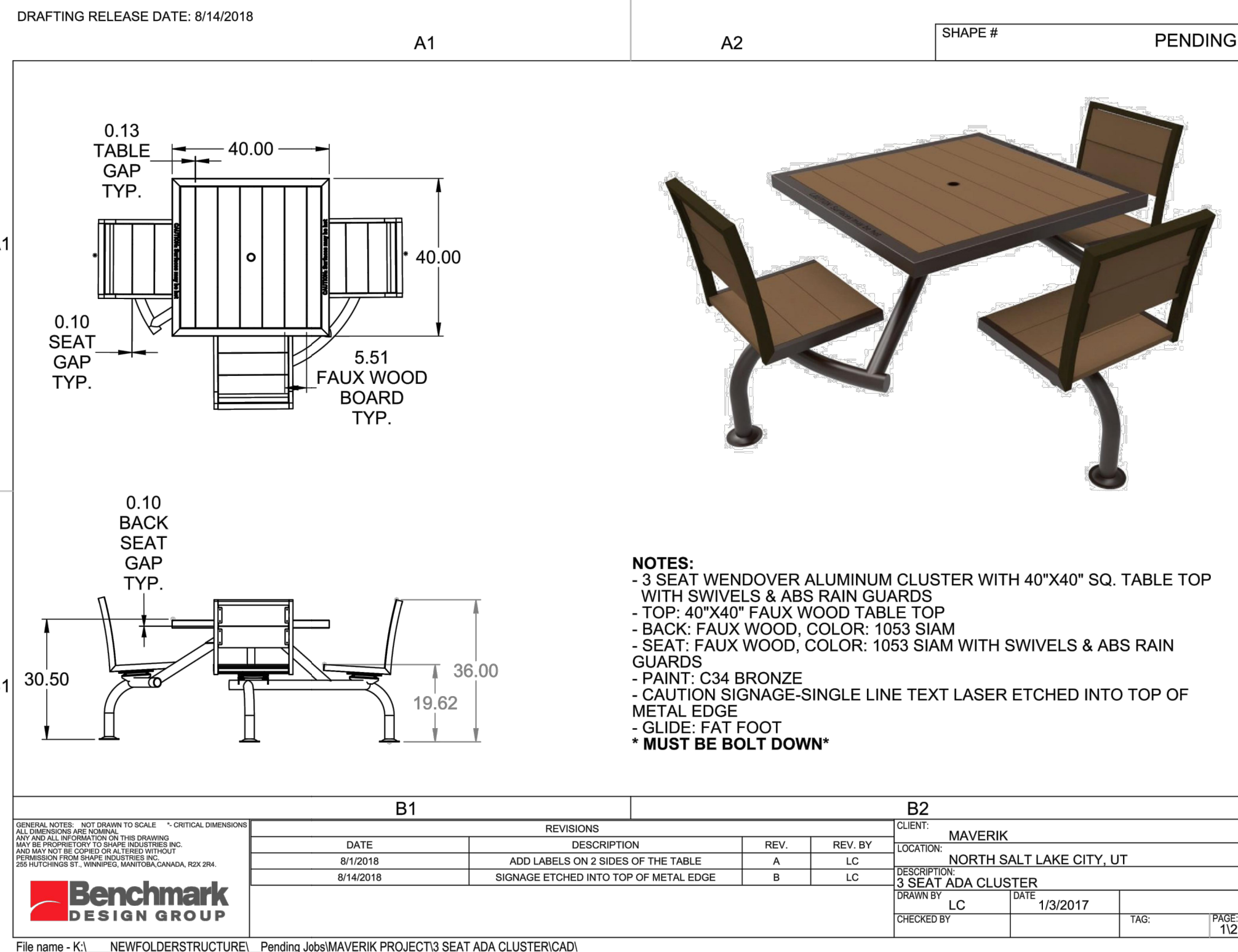
MAVERIK INC. STORE  
LINCOLN AVE. AND DRANSFELDT RD.  
PARKER, CO  
SITE PLAN



EDCI ENGINEERS  
1331 17TH STREET SUITE 605  
DENVER, COLORADO 80202  
PHONE: (720) 439-4700  
WEBSITE: www.edci-engineers.com  
CIVIL / STRUCTURAL  
© Copyright 2023. All Rights Reserved.

SITE DETAILS

11 OF 26





# LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1 MAVERIK INC. STORE SITE PLAN

SITUATED IN THE NORTHWEST 1/4 OF SECTION 15,  
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



Final Document  
Subject To Conditions In Approval Letter

APPROVED DATE: 11/17/2023

Planning Approval By: S. Nerger

PROJECT NUMBER

21-122-0001

ISSUE DATE:

March 10, 2022

REVISIONS:

No.	Date	Description
1	5-24-22	CITY REVIEW
2	7-13-22	CITY REVIEW
3	10-19-22	CITY REVIEW
4	10-26-22	CITY REVIEW
5	12-08-22	CITY REVIEW
6	1-09-23	CITY REVIEW

NOTE:  
Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in the drawings, bidder should not assume the least expensive option will meet the project requirements.

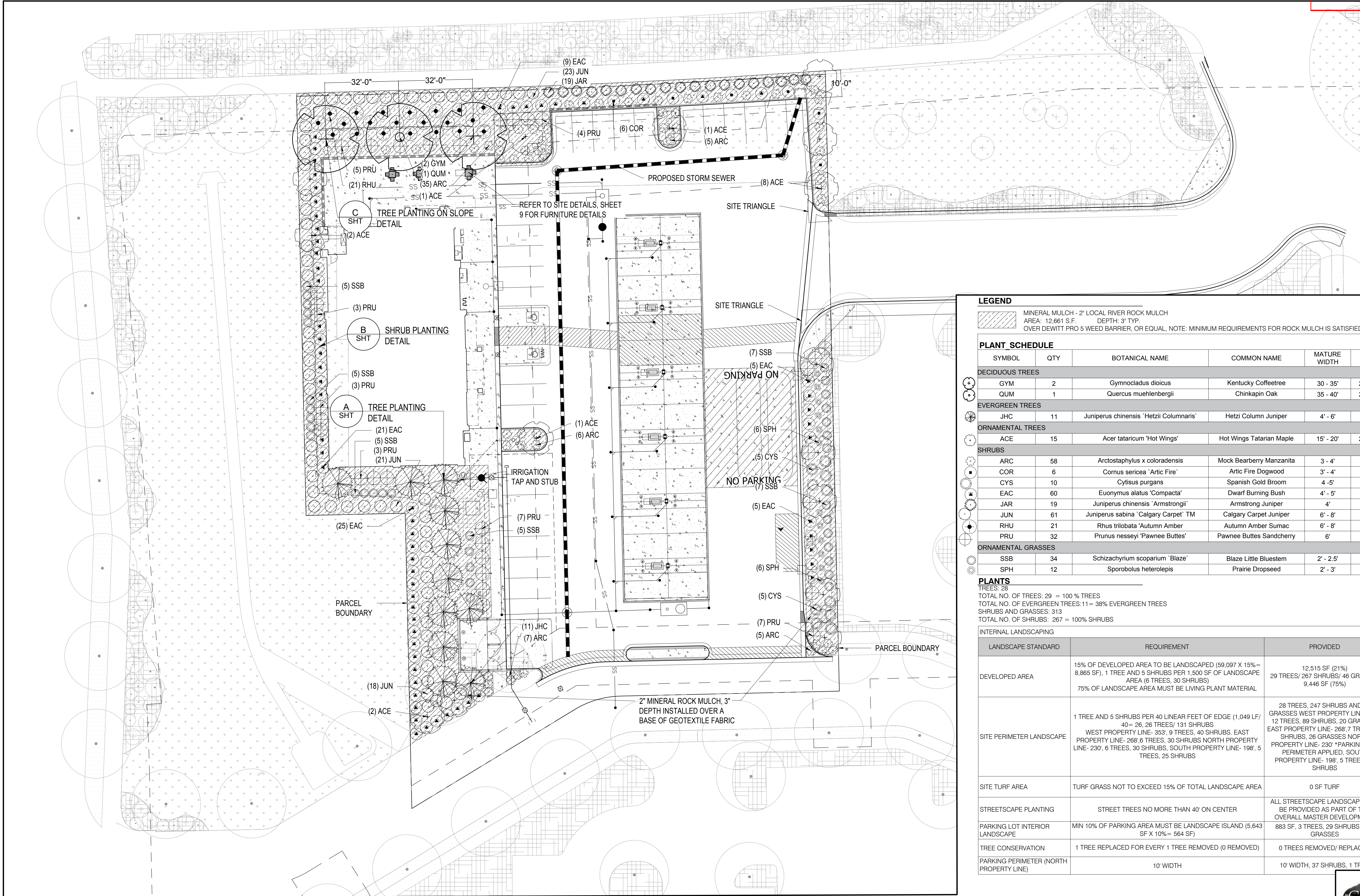


MAVERIK INC. STORE  
LINCOLN AVE. AND DRANSFELDT RD.  
PARKER, CO  
SITE PLAN



DCI ENGINEERS  
1331 11TH STREET • SUITE 605  
DENVER, COLORADO 80202  
PHONE: (720) 438-4700  
WEBSITE: www.dci-engineers.com  
© CIVIL & STRUCTURAL  
© Copyright 2022. All Rights Reserved.

LANDSCAPE PLAN



### LEGEND

MINERAL MULCH - 2" LOCAL RIVER ROCK MULCH  
AREA: 12,661 SF.  
DEPTH: 3" TYP.  
OVER DEWITT PRO 5 WEED BARRIER, OR EQUAL. NOTE: MINIMUM REQUIREMENTS FOR ROCK MULCH IS SATISFIED

### PLANT SCHEDULE

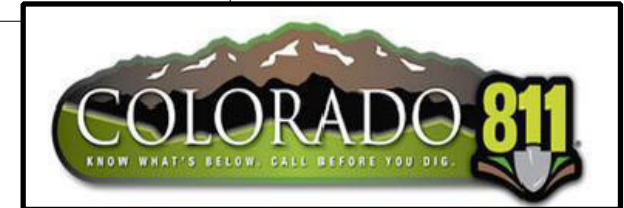
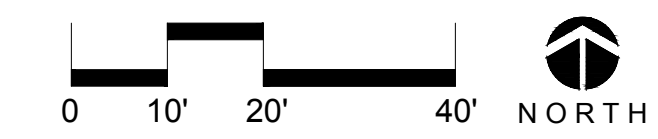
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	MATURE WIDTH	SIZE	SPACING	REMARKS
<b>DECIDUOUS TREES</b>							
GYM	2	Gymnocladus dioica	Kentucky Coffeetree	30 - 35'	2" cal.	As Shown	B&B
QUM	1	Quercus muehlenbergii	Chinkapin Oak	35 - 40'	2" cal.	As Shown	B&B
<b>EVERGREEN TREES</b>							
JHC	11	Juniperus chinensis 'Hetzii Columnaris'	Hetzi Column Juniper	4' - 6'	6'-8"	As Shown	Cont.
<b>ORNAMENTAL TREES</b>							
ACE	15	Acer tataricum 'Hot Wings'	Hot Wings Tatarian Maple	15' - 20'	2" cal.	As Shown	B&B
<b>SHRUBS</b>							
ARC	58	Arctostaphylos x coloradensis	Mock Bearberry Manzanita	3 - 4'	5 gal	48" o.c.	Cont.
COR	6	Cornus sericea 'Artic Fire'	Artic Fire Dogwood	3' - 4'	5 gal	60" o.c.	Cont.
CYS	10	Cytisus purgans	Spanish Gold Broom	4 - 5'	5 gal	60" o.c.	Cont.
EAC	60	Euonymus alatus 'Compacta'	Dwarf Burning Bush	4' - 5'	5 gal.	60" o.c.	Cont.
JAR	19	Juniperus chinensis 'Armstrongii'	Armstrong Juniper	4'	7 gal	As Shown	Cont.
JUN	61	Juniperus sabina 'Calgary Carpet' TM	Calgary Carpet Juniper	6' - 8'	5 gal	60" o.c.	Cont.
RHU	21	Rhus trilobata 'Autumn Amber'	Autumn Amber Sumac	6' - 8'	5 gal	60" o.c.	Cont.
PRU	32	Prunus nesseyi 'Pawnee Buttes'	Pawnee Buttes Sandcherry	6'	5 gal	60" o.c.	Cont.
<b>ORNAMENTAL GRASSES</b>							
SSB	34	Schizachyrium scoparium 'Blaze'	Blaze Little Bluestem	2' - 2.5'	5 gal	48" o.c.	Cont.
SPH	12	Sporobolus heterolepis	Prairie Dropseed	2' - 3'	5 gal	48" o.c.	Cont.

### PLANTS

TREES: 28  
TOTAL NO. OF TREES: 29 = 100% TREES  
TOTAL NO. OF EVERGREEN TREES: 11 = 38% EVERGREEN TREES  
SHRUBS AND GRASSES: 313  
TOTAL NO. OF SHRUBS: 267 = 100% SHRUBS

### INTERNAL LANDSCAPING

LANDSCAPE STANDARD	REQUIREMENT	PROVIDED
DEVELOPED AREA	15% OF DEVELOPED AREA TO BE LANDSCAPED (59,097 X 15% = 8,865 SF), 1 TREE AND 5 SHRUBS PER 1,500 SF OF LANDSCAPE AREA (6 TREES, 30 SHRUBS) 75% OF LANDSCAPE AREA MUST BE LIVING PLANT MATERIAL	12,515 SF (21%) 29 TREES/ 267 SHRUBS/ 46 GRASSES 9,446 SF (75%)
SITE PERIMETER LANDSCAPE	1 TREE AND 5 SHRUBS PER 40 LINEAR FEET OF EDGE (1,049 LF/ 40 = 26, 26 TREES/ 131 SHRUBS WEST PROPERTY LINE- 353', 9 TREES, 40 SHRUBS, EAST PROPERTY LINE- 268', 6 TREES, 30 SHRUBS NORTH PROPERTY LINE- 230', 6 TREES, 30 SHRUBS, SOUTH PROPERTY LINE- 198', 5 TREES, 25 SHRUBS	28 TREES, 247 SHRUBS AND 34 GRASSES WEST PROPERTY LINE- 353', 12 TREES, 89 SHRUBS, 20 GRASSES, EAST PROPERTY LINE- 268', 7 TREES, 37 SHRUBS, 26 GRASSES NORTH PROPERTY LINE- 230' *PARKING LOT PERIMETER APPLIED, SOUTH PROPERTY LINE- 198', 5 TREES, 25 SHRUBS
SITE TURF AREA	TURF GRASS NOT TO EXCEED 15% OF TOTAL LANDSCAPE AREA	0 SF TURF
STREETSCAPE PLANTING	STREET TREES NO MORE THAN 40' ON CENTER	ALL STREETSCAPE LANDSCAPE WILL BE PROVIDED AS PART OF THE OVERALL MASTER DEVELOPMENT
PARKING LOT INTERIOR LANDSCAPE	MIN 10% OF PARKING AREA MUST BE LANDSCAPE ISLAND (5,643 SF X 10% = 564 SF)	883 SF, 3 TREES, 29 SHRUBS AND GRASSES
TREE CONSERVATION	1 TREE REPLACED FOR EVERY 1 TREE REMOVED (0 REMOVED)	0 TREES REMOVED/ REPLACED
PARKING PERIMETER (NORTH PROPERTY LINE)	10' WIDTH	10' WIDTH, 37 SHRUBS, 1 TREE









# LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1 MAVERIK INC. STORE SITE PLAN

SITUATED IN THE NORTHWEST ¼ OF SECTION 15,  
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



Final Document  
Subject To Conditions In Approval Letter

APPROVED DATE: 11/17/2023

Planning Approval By: S. Nerger

PROJECT NUMBER

21-122-0001

ISSUE DATE:

March 10, 2022

REVISIONS:

No.	Date	Description
1	5-24-22	CITY REVIEW
2	7-13-22	CITY REVIEW
3	10-19-22	CITY REVIEW
4	10-26-22	CITY REVIEW

NOTE:  
Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

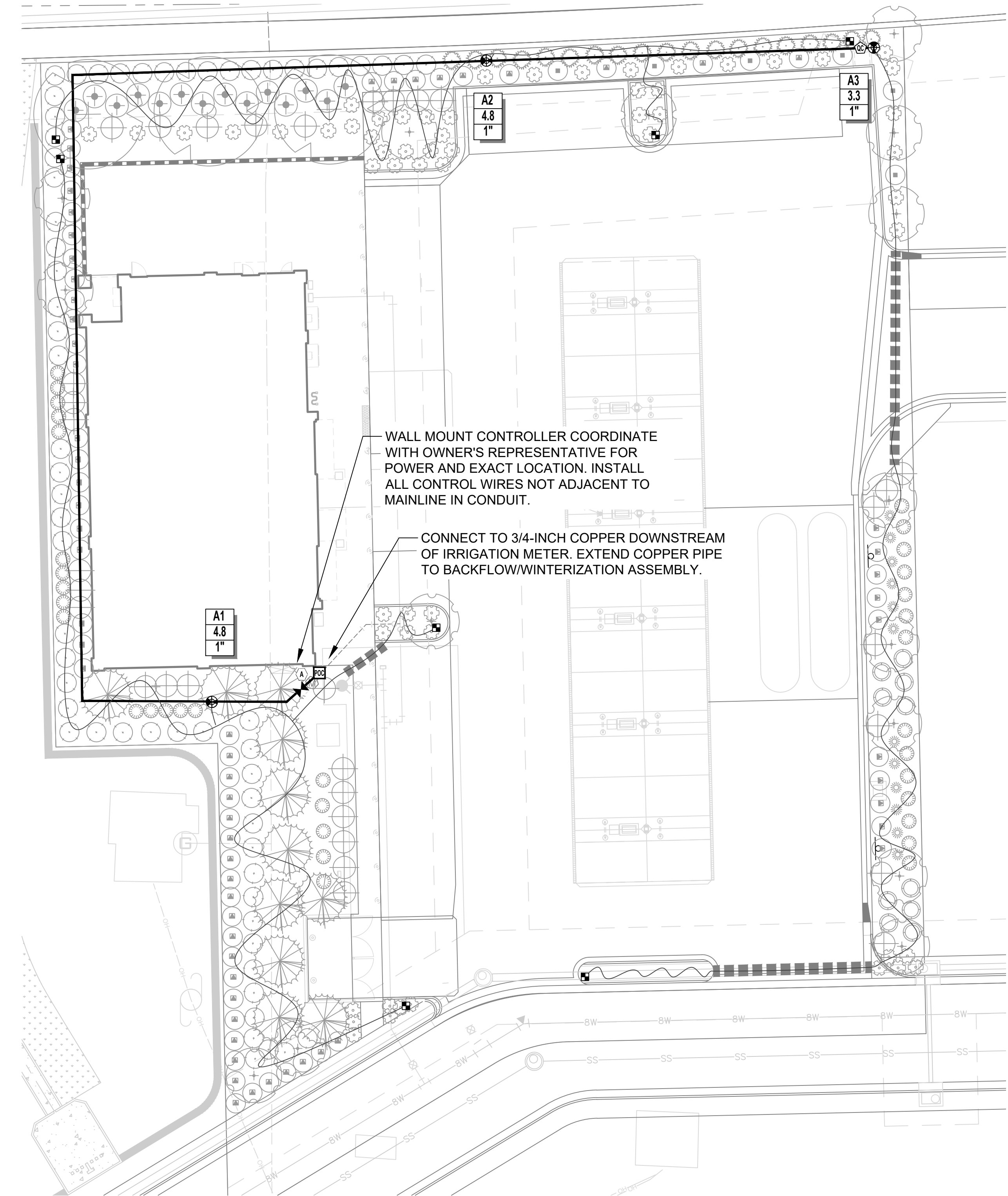
Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in the drawings, bidder should not assume the least expensive option will meet the project requirements.

## NOTES

- INSTALL SYSTEM TO IRRIGATE NEW LANDSCAPING. SPRINKLERS IRRIGATE SOD AREAS. DRIP WILL IRRIGATE NEW TREE AND SHRUB PLANTINGS IN PLANTING BEDS. TEMPORARY SPRINKLER IRRIGATION IS PROVIDED FOR ESTABLISHMENT OF NATIVE SEED AREAS. WATER SOURCE WILL BE TO IRRIGATION SERVICE LINE AT LOCATION INDICATED. IRRIGATION BACKFLOW IS LOCATED IN WATER ENTRY ROOM.
- SYSTEM IS DESIGNED FOR A DYNAMIC PRESSURE OF 65 PSI AT 12 GPM. VERIFY DYNAMIC PRESSURE ONSITE BEFORE INSTALLATION OF SYSTEM.
- CONTROL WILL BE VIA NEW IRRIGATION CONTROLLER WALL MOUNTED ON ENCLOSURE ADJACENT TO THE POINT OF CONNECTION. CONTROL WILL BE VIA TWO WIRE PATH. INSTALL DECODERS AND GROUNDING PER MANUFACTURER'S RECOMMENDATION. INSTALL CONTROL CABLE NOT ADJACENT TO MAINLINE IN CONDUIT.
- THE ENTIRE INSTALLATION SHALL FULLY COMPLY WITH ALL LOCAL AND STATE LAWS AND ORDINANCES AND WITH ALL THE ESTABLISHED APPLICABLE CODES.
- UTILITY LOCATES ("CALL BEFORE YOU DIG"): ARRANGE FOR AND COORDINATE WITH GENERAL CONTRACTOR AND LOCAL AUTHORITIES THE LOCATION OF ALL UNDERGROUND UTILITIES. CALL 1-800-849-2476.
- WARRANTY IRRIGATION SYSTEM FOR ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE OF WORK.
- DO NOT PROCEED WITH THE INSTALLATION OF IRRIGATION COMPONENTS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS OR GRADE DIFFERENCES EXIST THAT WERE NOT CONSIDERED IN THE ENGINEERING. IF DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS EXIST, BRING THEM TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
- SLEEVING WILL BE INSTALLED BY THE IRRIGATION CONTRACTOR. SLEEVES ARE REQUIRED FOR BOTH PIPING AND CONTROL WIRING AT EACH HARDSCAPE CROSSING. SIZE SLEEVES TO BE TWICE THE SIZE OF THE PIPE OR WIRE BUNDLE THAT IS CARRIED IN SAID SLEEVE.
- MAINLINE PIPE:
  - USE CLASS 200 SDR 21 NSF APPROVED RIGID PVC PIPE.
  - USE SOLVENT WELD PIPE.
  - USE SCHEDULE 40, TYPE 1, PVC SOLVENT WELD FITTINGS. USE PRIMER APPROVED BY THE PIPE MANUFACTURER.
  - MAINLINE PIPE IS 1.5" NOMINAL SIZE UNLESS INDICATED OTHERWISE.
  - CONDUCT A MAINLINE PRESSURE TEST AT AVAILABLE PRESSURE OVER ONE HOUR. ALLOWABLE PRESSURE DROP IS 5 PSI.
  - MAINLINE PIPE TO BE BURIED WITH 24-INCHES OF COVER.
- DRIP TUBING:
  - USE U.V. RESISTANT POLYETHYLENE RATED FOR 60 PSI.
  - USE COMPRESSION FITTINGS PER MANUFACTURER RECOMMENDATION.
  - DRIP TUBING TO BE BURIED WITH 4-INCHES OF COVER.
- COMPACT TRENCHES IN 6-INCH LIFTS TO 90% PROCTOR DENSITY. PUDDLING OF TRENCHES IS NOT ALLOWED.
- PROVIDE TWO (2) OPERATING KEYS FOR EACH TYPE OF MANUALLY OPERATED VALVE.
- FURNISH ACCURATE REPRODUCIBLE "AS-BUILT" DRAWINGS SHOWING FIELD CHANGES IN LAYOUT AND EQUIPMENT INSTALLATION. AS-BUILT DRAWINGS TO BE PLOTTED OUT FULL SCALE ALSO INCLUDE AN ELECTRONIC COPIES IN AUTOCAD AND ADOBE ADOBE (PDF) FORMAT.
- CLEAN UP ALL DEBRIS RELATED TO THE JOB, AND LEAVE THE SITE IN A CLEAN TIDY CONDITION.
- TEST AND DEMONSTRATE TO THE OWNER'S REPRESENTATIVE THE SATISFACTORY OPERATION OF THE SYSTEM.

## IRRIGATION LEGEND

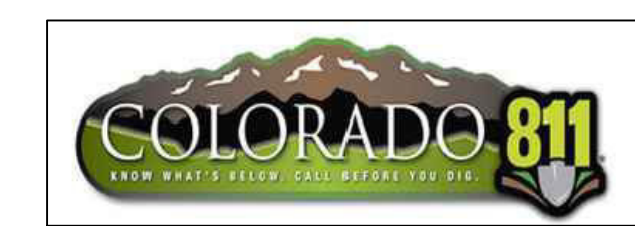
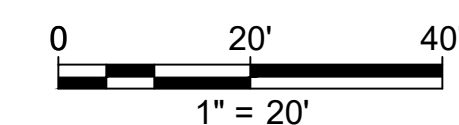
- MAINLINE: CL200 PVC, 1-INCH
- DRIP TUBING: U.V. RESISTANT HDPE, 60PSI, 0.75-INCH
- SLEEVING: CL200 PVC, 2X NOMINAL SIZE OF CONTAINED PIPE OR WIRE BUNDLE
- POINT OF CONNECTION
- BACKFLOW PREVENTION/ WINTERIZATION ASSEMBLY
- QUICK COUPLER ASSEMBLY
- DRIP REMOTE CONTROL VALVE: RAIN BIRD XCZ-100-PRB-LC
- DRIP FLUSH CAP
- IRRIGATION CONTROLLER: RAIN BIRD ESP-LXD-IQ4



Irrigation Schedule  
Maverik Store, Parker CO

Station	Plant Type	Flow (GPM)	Area (Sq.Ft.)	Application Rate (In/Hr)	Daily Runtime (min)
A1	Trees/Shrubs	4.8	6351	0.07	20*
A2	Trees/Shrubs	4.8	4045.7	0.11	20*
A3	Trees/Shrubs	3.3	2484.8	0.13	20*

\* DRIP ZONES TO RUN 20 MINUTES DAILY FOR ESTABLISHMENT ONLY. AFTER PLANTS ARE ESTABLISHED, SCHEDULE DRIP ZONES TO RUN 45 MINUTES, TWICE A WEEK.



MAVERIK INC. STORE  
LINCOLN AVE. AND DRANSFELDT RD.  
PARKER, CO  
SITE PLAN

**EDCI**  
ENGINEERS  
1331 17TH STREET • SUITE 605  
DENVER, COLORADO 80202  
PHONE: (720) 458-4700  
WEBSITE: www.edci-engineers.com

CIVIL / STRUCTURAL

© Copyright 10/2022. All Rights Reserved.

IRRIGATION  
PLAN



# LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1 MAVERIK INC. STORE SITE PLAN

SITUATED IN THE NORTHWEST 1/4 OF SECTION 15,  
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



Final Document  
Subject To Conditions In Approval Letter

APPROVED DATE: 11/17/2023

Planning Approval By: S. Nerger

PROJECT NUMBER

21-122-0001

ISSUE DATE:

March 10, 2022

REVISIONS:

No.	Date	Description
1	5-24-22	CITY REVIEW
2	7-13-22	CITY REVIEW
3	10-19-22	CITY REVIEW
4	10-22	CITY REVIEW

NOTE:  
Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in the drawings, bidder should not assume the least expensive option will meet the project requirements.



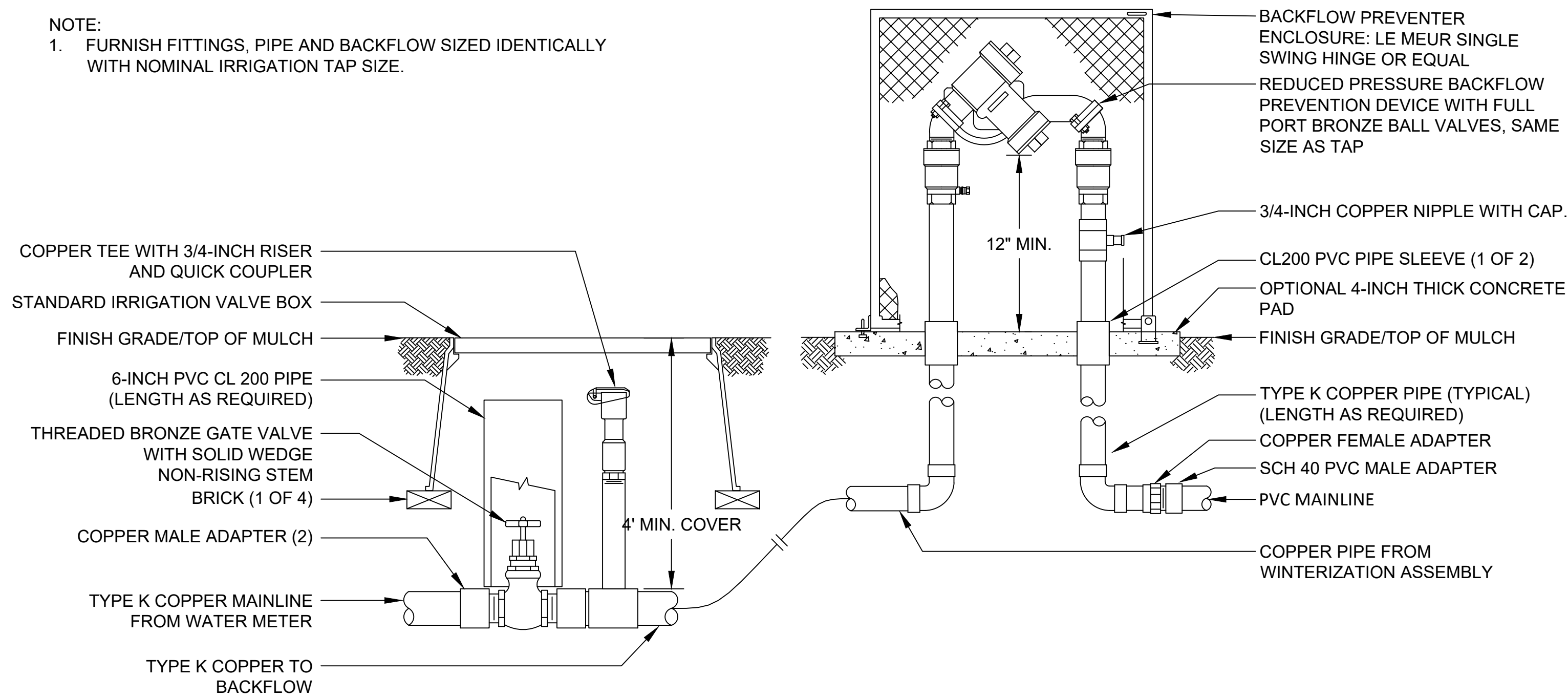
MAVERIK INC. STORE  
LINCOLN AVE. AND DRANSFELDT RD.  
PARKER, CO  
SITE PLAN

**EDCI**  
ENGINEERS  
1331 17TH STREET • SUITE 605  
DENVER, COLORADO 80202  
PHONE: (720) 439-4700  
WEBSITE: www.edciengineers.com  
CIVIL / STRUCTURAL  
© Copyright 1992-2022. All Rights Reserved.

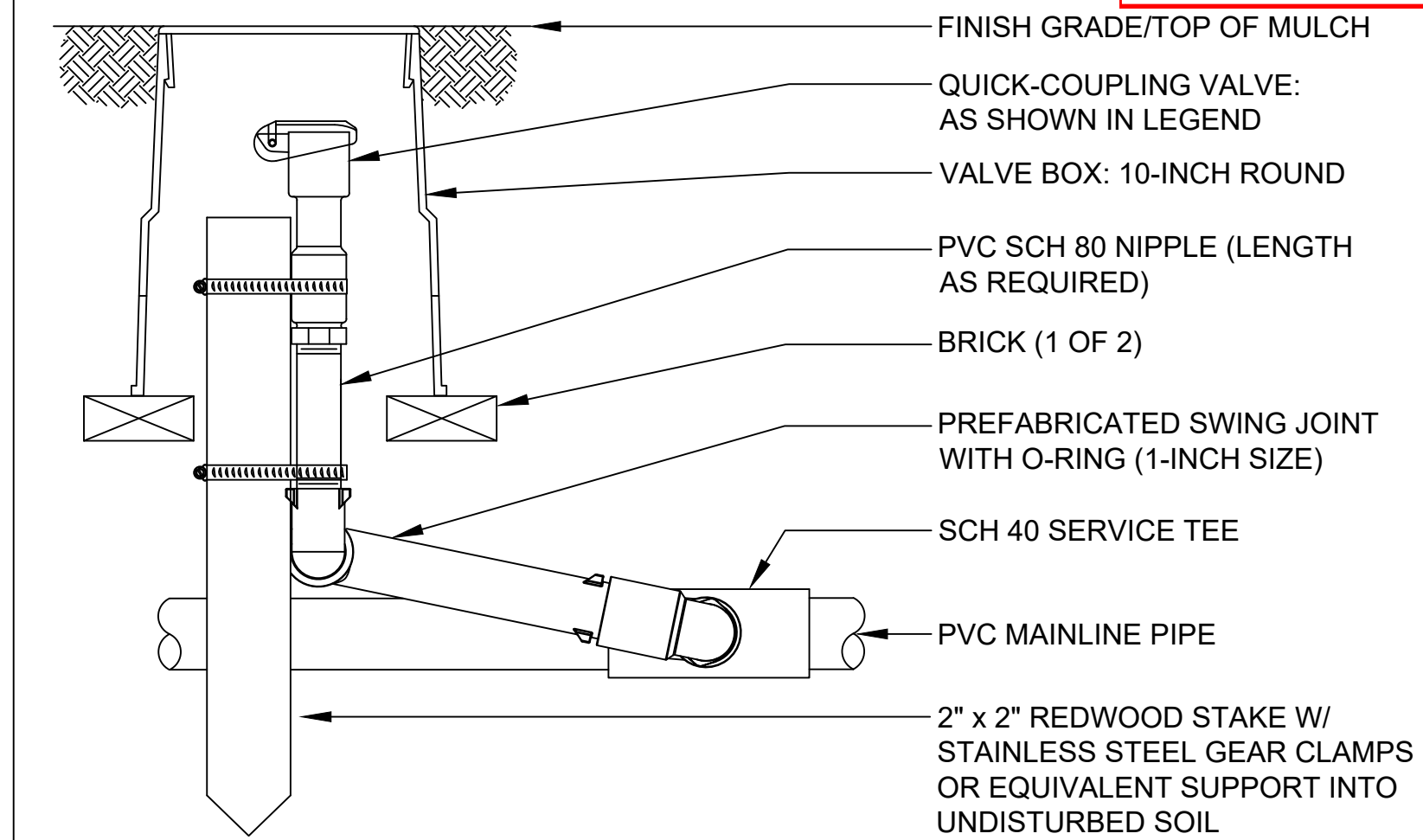
IRRIGATION  
DETAILS

15 OF 26

NOTE:  
1. FURNISH FITTINGS, PIPE AND BACKFLOW SIZED IDENTICALLY WITH NOMINAL IRRIGATION TAP SIZE.

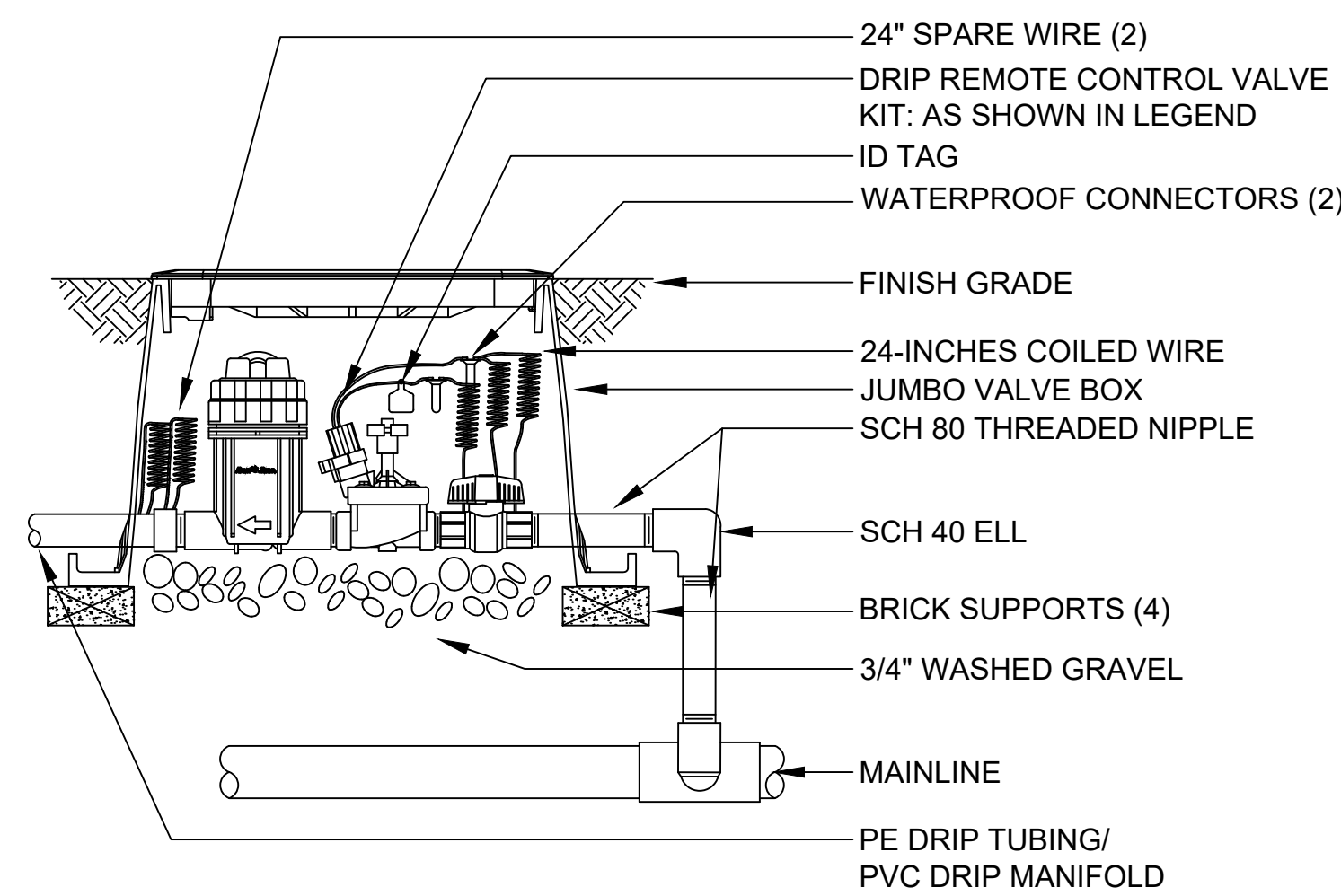


1 BACKFLOW PREVENTION ASSEMBLY

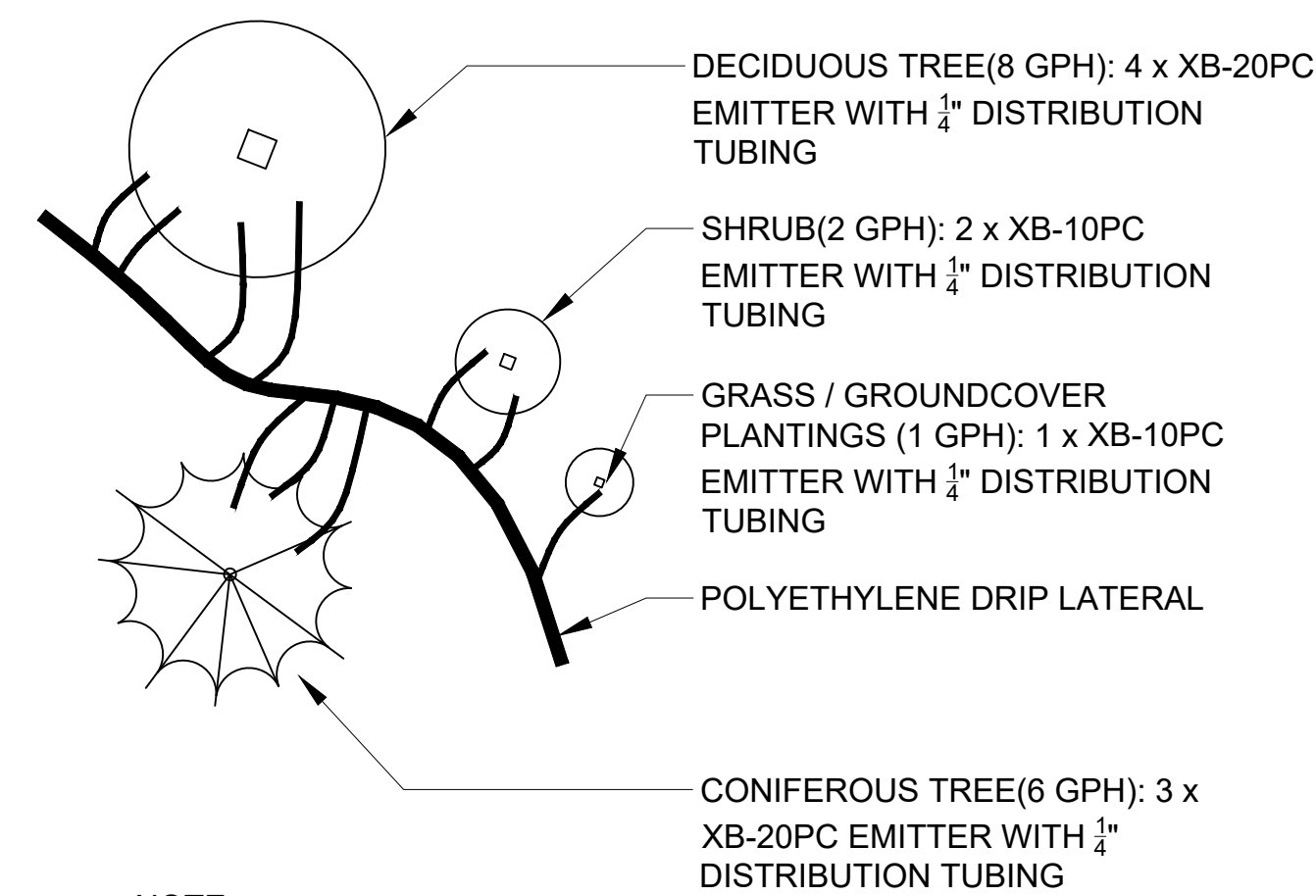


NOTE:  
1. FURNISH FITTINGS AND PIPING NOMINALLY SIZED IDENTICAL TO NOMINAL QUICK COUPLING VALVE INLET SIZE.

2 QUICK COUPLING VALVE ASSEMBLY

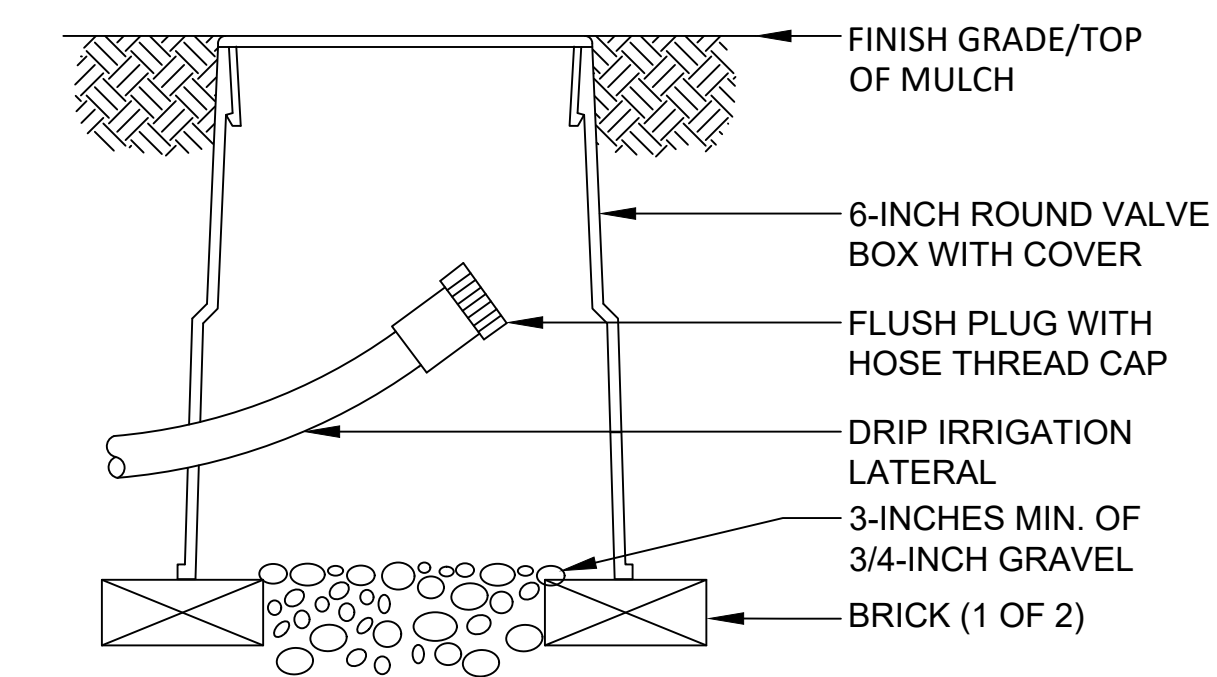


3 DRIP REMOTE CONTROL VALVE ASSEMBLY

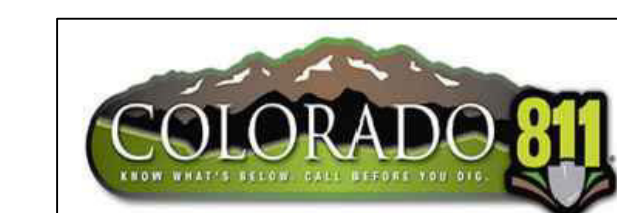


NOTE:  
1. MAXIMUM LENGTH OF 1/4" DISTRIBUTION TUBING IS 5- FEET  
2. STAKE ENDS OF DISTRIBUTION TUBING ON UPHILL SIDE OF PLANT.

4 TYPICAL EMITTER PLACEMENT & SCHEDULE



5 DRIP FLUSH CAP ASSEMBLY





**LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1  
MAVERIK INC. STORE SITE PLAN**

SITUATED IN THE NORTHWEST CORNER OF SECTION 15,  
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



Final Document  
Subject To Conditions In Approval Letter

APPROVED DATE: 11/17/2023

Planning Approval By: S. Nerger

PROJECT NUMBER

21-122-0001

ISSUE DATE:

March 10, 2022

REVISIONS:

No. Date Description

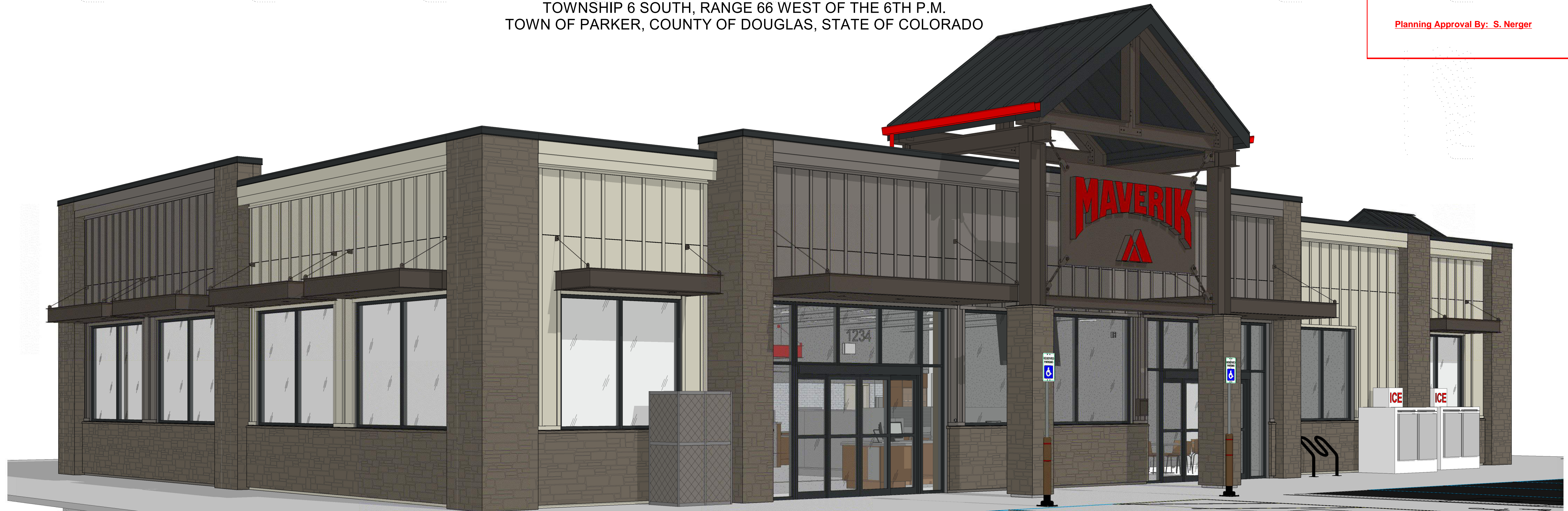
NOTE:  
Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in the drawings, bidder should not assume the least expensive option will meet the project requirements.



185 S. State Street  
Salt Lake City, Utah 84111

**MAVERIK INC. STORE**  
PARKER, COLORADO



**2** SOUTHEAST BUILDING PERSPECTIVE  
SCALE:



**1** NORTHWEST BUILDING PERSPECTIVE  
SCALE:

**EDCI**  
ENGINEERS  
1331 17TH STREET SUITE 605  
DENVER, COLORADO 80202  
PHONE: (720) 439-4700  
WEBSITE: www.edci-engineers.com  
CIVIL / STRUCTURAL

© Copyright 2023 EDCI Engineers, Inc. All Rights Reserved.  
This document and the ideas and designs herein are the sole and exclusive property of EDCI Engineers, Inc. No part of this document may be reproduced, stored in a retrieval system, or transmitted, in any form or by any means, without the prior written permission of EDCI Engineers, Inc.

**PERSPECTIVE  
VIEWS**



# LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1 MAVERIK INC. STORE SITE PLAN

SITUATED IN THE NORTHWEST CORNER OF SECTION 15,  
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

### KEYED NOTES

- 04.05 NATURAL STONE
- 05.01 PRE-FINISHED GUTTER AND DOWNSPOUT, BRITISH RED, C-2
- 05.03 STEEL, PAINTED, SHERWIN WILLIAMS SW 7020 - BLACK FOX
- 05.06 MCCI PRE-FINISHED METAL ROOF, 1 3/4" STANDING SEAM, MIDNIGHT BRONZE, C-1
- 05.69 STEEL AWNING, COLOR SHERWIN WILLIAMS SW 7020 - BLACK FOX
- 06.04 FIBER CEMENT BOARD & BATTEN SIDING, PAINTED, SHERWIN WILLIAMS SW 7019 - GAUNTLET GRAY, BB-2
- 06.05 FIBER CEMENT BOARD & BATTEN SIDING, PAINTED, SHERWIN WILLIAMS SW 7043 - WORLDLY GRAY, BB-1
- 06.06 FIBER CEMENT TRIM, PAINTED, SHERWIN WILLIAMS SW 7043 - WORLDLY GRAY
- 06.30 HORIZONTAL JOINT IN SIDING
- 08.02 ALUMINUM STOREFRONT SYSTEM, DARK BRONZE
- 08.04 HOLLOW METAL DOOR AND FRAME, PAINTED AGED PEWTER
- 08.26 STOREFRONT SYSTEM WITH CLEAR GLAZING
- 26.10 MAIN DISTRIBUTION PANEL, PAINTED TO MATCH BUILDING

PROJECT NUMBER

21-122-0001

ISSUE DATE:

March 10, 2022

REVISIONS:

No. Date Description

NOTE: Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in the drawings, bidder should not assume the least expensive option will meet the project requirements.



**Final Document**  
Subject To Conditions In Approval Letter

APPROVED DATE: 11/17/2023

Planning Approval By: S. Nerger



185 S. State Street  
Salt Lake City, Utah 84111



MAVERIK INC. STORE  
PARKER, COLORADO



DCI ENGINEERS  
1331 17TH STREET SUITE 605  
DENVER, COLORADO 80202  
PHONE: (720) 439-4700  
WEBSITE: www.dci-engineers.com  
CIVIL / STRUCTURAL

EXTERIOR ELEVATIONS







# LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1 MAVERIK INC. STORE SITE PLAN

SITUATED IN THE NORTHWEST OF SECTION 15,  
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

### KEYED NOTES

- 04.05 NATURAL STONE
- 05.05 MBCI PRE-FINISHED ROOF, COLOR C-1, 1-3/4" STANDING SEAM
- 05.12 ALUMINUM COMPOSITE METAL PANEL, WORLDLY GRAY
- 05.68 ALUMINUM COMPOSITE METAL PANEL, WHITE
- 10.49 4A-40 BC FIRE EXTINGUISHER W/ CASE, LOCATE WITHIN 75' OF ALL PUMPS, DISPENSERS, OR STORAGE TANK. LOCATION TO BE FINALIZED BY FIRE MARSHAL
- 11.06 DISPENSING STATION (BY OTHERS)
- 26.07 ALL LIGHT FIXTURES (NOT SHOWN) TO BE FLUSH MOUNTED WITHIN THE DECK PANEL SOFFIT (SOFFIT COLOR P-7). SEE ELECTRICAL AND FUEL DISPENSING DRAWINGS
- 32.03 4" DIAMETER "U" BOLLARD, SET AND FILLED W/ CONCRETE, SEE CIVIL DRAWINGS. PAINTED P-4

PROJECT NUMBER

21-122-0001

ISSUE DATE:

March 10, 2022

REVISIONS:

No.	Date	Description



**Final Document**  
Subject To Conditions In Approval Letter

APPROVED DATE: 11/17/2023

Planning Approval By: S. Nergler

NOTE:  
Bid documents should not be separated or issued as partial sets to subcontractors. bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in the drawings, bidder should not assume the least expensive option will meet the project requirements.



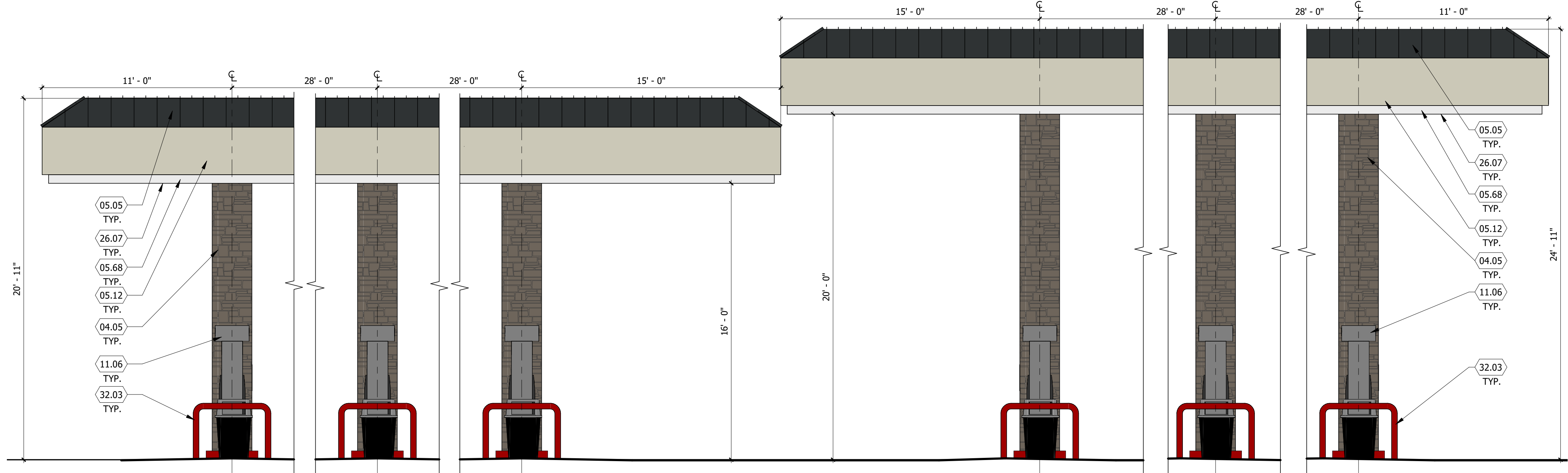
185 S. State Street  
Salt Lake City, Utah 84111

MAVERIK INC. STORE  
PARKER, COLORADO

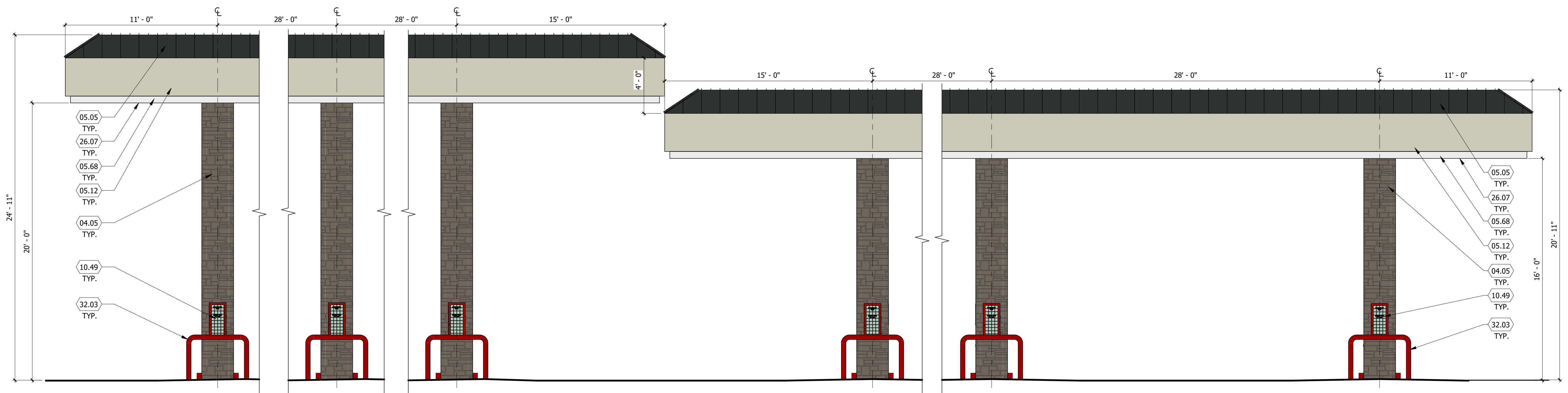


1331 17TH STREET, SUITE 605  
DENVER, COLORADO 80202  
PHONE: (720) 439-4700  
WEBSITE: www.dci-engineers.com  
CIVIL / STRUCTURAL

CANOPY ELEVATIONS



**2** FUEL DISPENSING CANOPY - BUILDING SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



**1** FUEL DISPENSING CANOPY - STREET SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

**NOTE:**  
FUEL CANOPY DRAWINGS PROVIDED ARE CONCEPTUAL, AND MAY VARY FROM SITE TO SITE.



# LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1 MAVERIK INC. STORE SITE PLAN

SITUATED IN THE NORTHWEST CORNER OF SECTION 15,  
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



Final Document  
Subject To Conditions In Approval Letter

APPROVED DATE: 11/17/2023

Planning Approval By: S. Nerger

PROJECT NUMBER

21-122-0001

ISSUE DATE:

March 10, 2022

REVISIONS:

No.	Date	Description

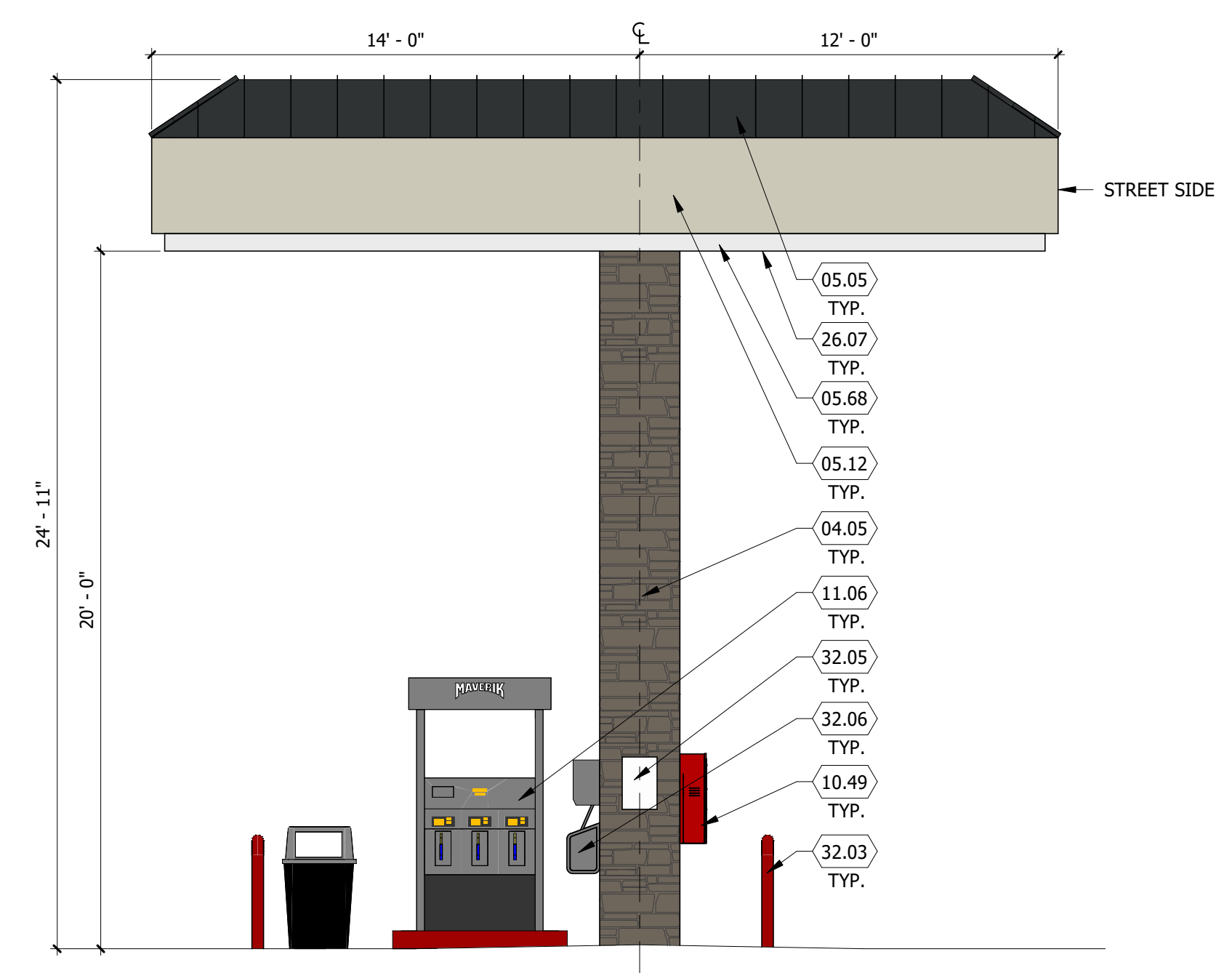
NOTE:  
Bid documents should not be separated or issued as partial sets to subcontractors. bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. in the event of a conflict in the drawings, bidder should not assume the least expensive option will meet the project requirements.

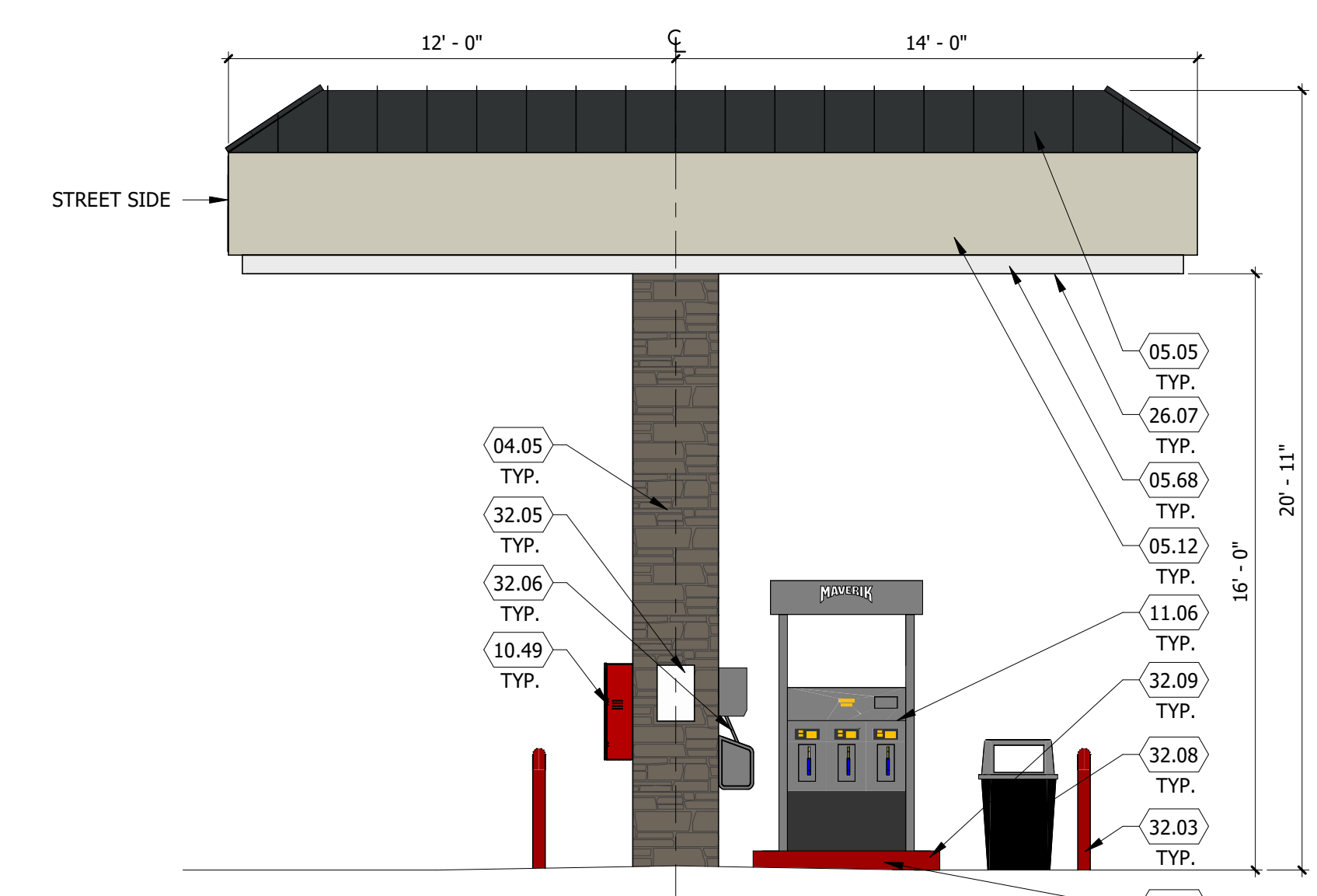


185 S. State Street  
Salt Lake City, Utah 84111

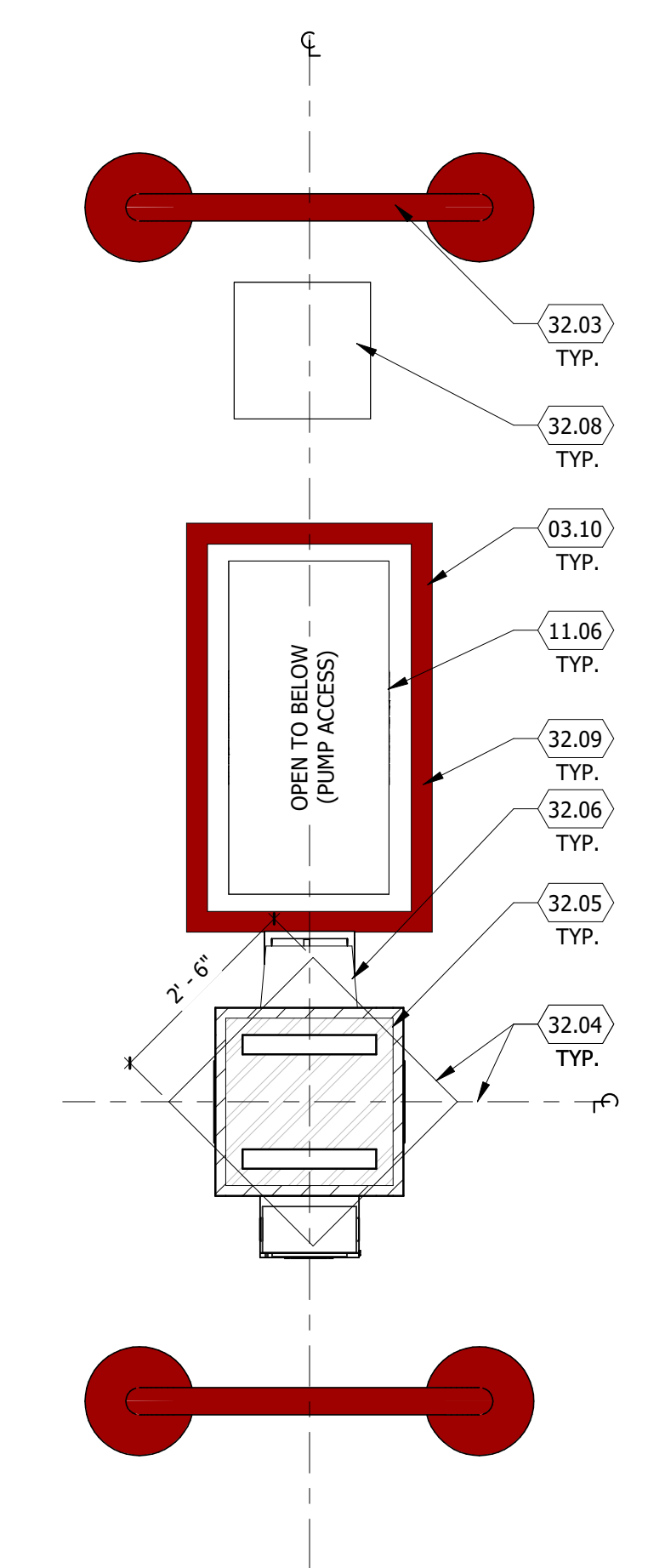
MAVERIK INC. STORE  
PARKER, COLORADO



**3** FUEL DISPENSING CANOPY - END ELEVATION  
SCALE: 1/4" = 1'-0"



**2** FUEL DISPENSING CANOPY - END ELEVATION  
SCALE: 1/4" = 1'-0"



**1** CANOPY COLUMN PLAN  
SCALE: 1/2" = 1'-0"

**DCI**  
ENGINEERS  
1331 17TH STREET, SUITE 605  
DENVER, COLORADO 80202  
PHONE: (720) 439-4700  
WEBSITE: www.dci-engineers.com  
CIVIL / STRUCTURAL

CANOPY  
ELEVATIONS



# LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1 MAVERIK INC. STORE SITE PLAN

SITUATED IN THE NORTHWEST OF SECTION 15,  
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

## KEYED NOTES

- 03.08 CONCRETE FOOTINGS AND FOUNDATIONS, SEE STRUCTURAL DRAWINGS
- 03.13 CONCRETE PIER FOUNDATION, SEE STRUCTURAL DRAWINGS
- 04.05 NATURAL STONE
- 04.06 NATURAL STONE CAP
- 04.10 SPLIT FACE CAP
- 06.05 FIBER CEMENT BOARD & BATTEN SIDING, PAINTED, SHERWIN WILLIAMS SW 7043 - WORLDLY GRAY, BB-1
- 10.38 WELD BRACES TO GATE AS REQUIRED
- 10.39 POST, PAINTED P-9
- 10.40 CHAIN LINK GATE WITH SLATS TO MATCH P-9, W/ (4) HINGES, PAINTED P-9
- 10.41 LATCH W/ ROD TO CONCRETE, PAINTED P-9, W/ (4) HINGES, PAINTED P-9
- 10.42 STEEL SLEEVE

PROJECT NUMBER

21-122-0001

ISSUE DATE:

March 10, 2022

REVISIONS:

No.	Date	Description

NOTE:  
Bid documents should not be separated or issued as partial sets to subcontractors. bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

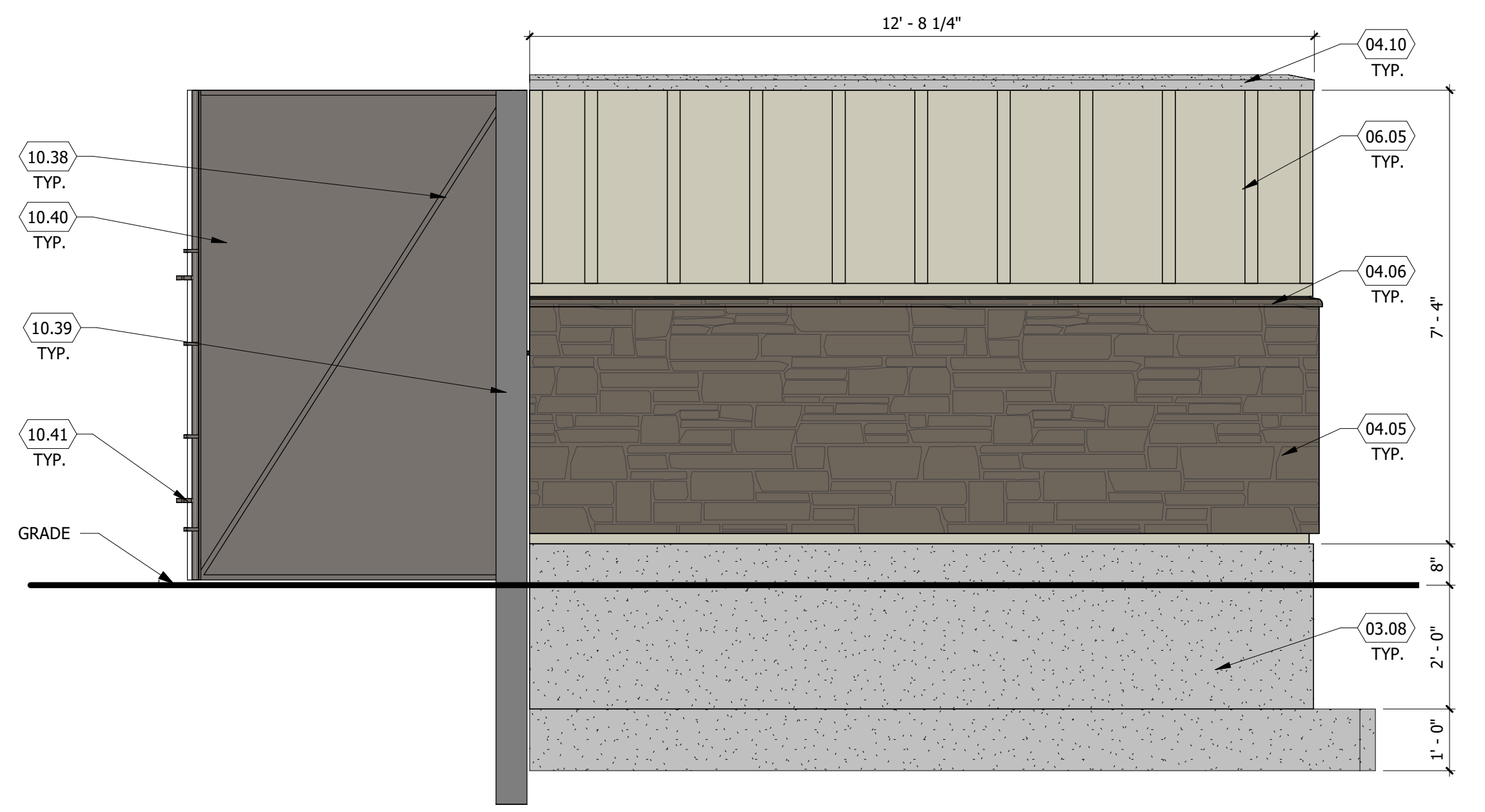
Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. in the event of a conflict in the drawings, bidder should not assume the least expensive option will meet the project requirements.



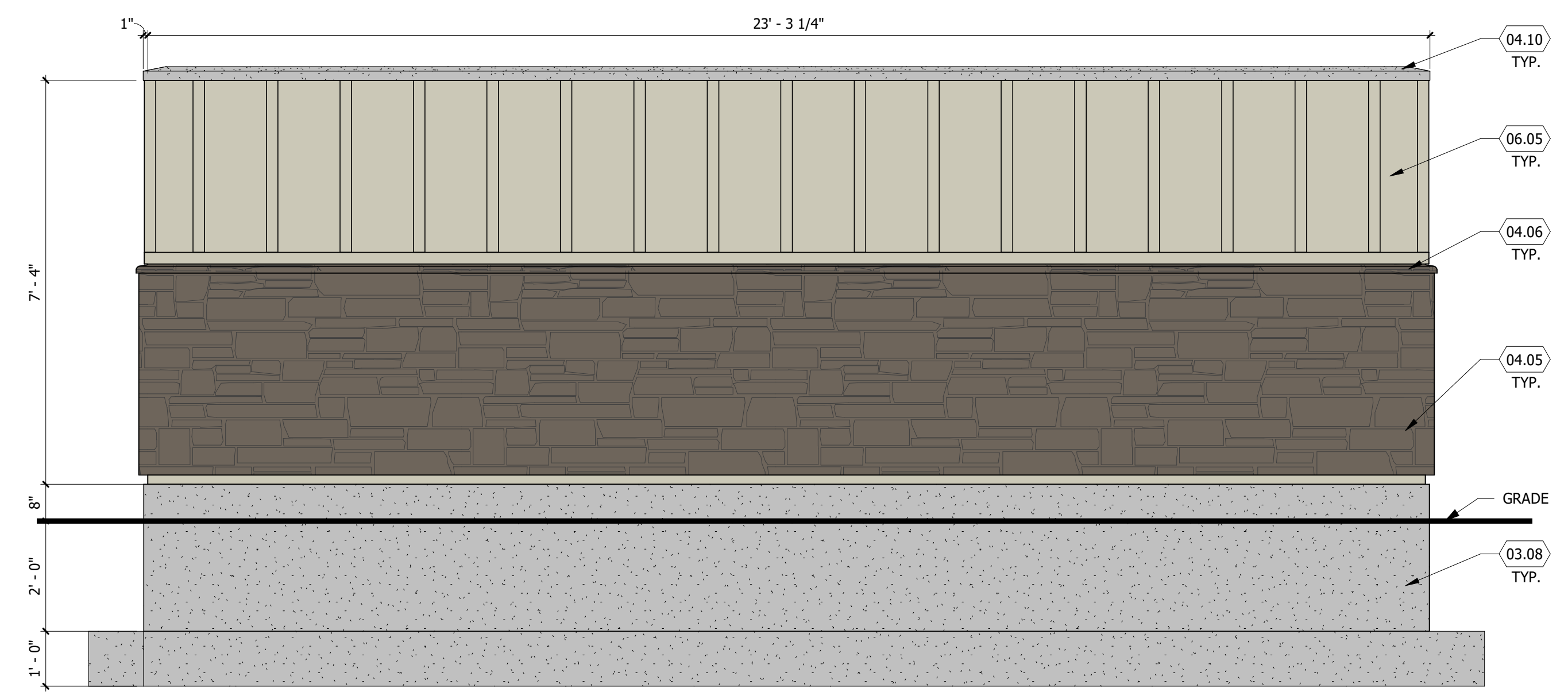
**Final Document**  
**Subject To Conditions In Approval Letter**

**APPROVED DATE: 11/17/2023**

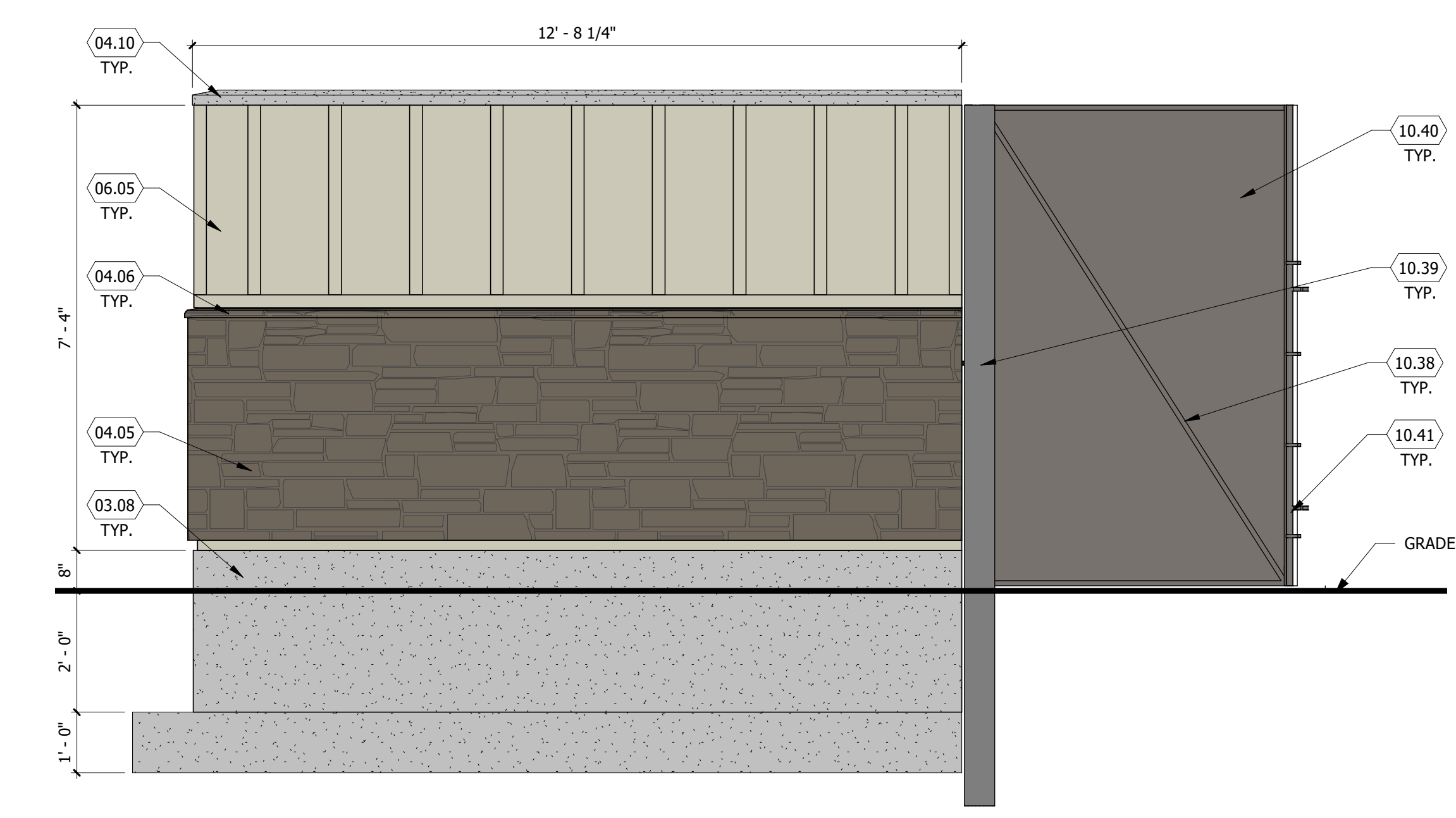
**Planning Approval By: S. Nergler**



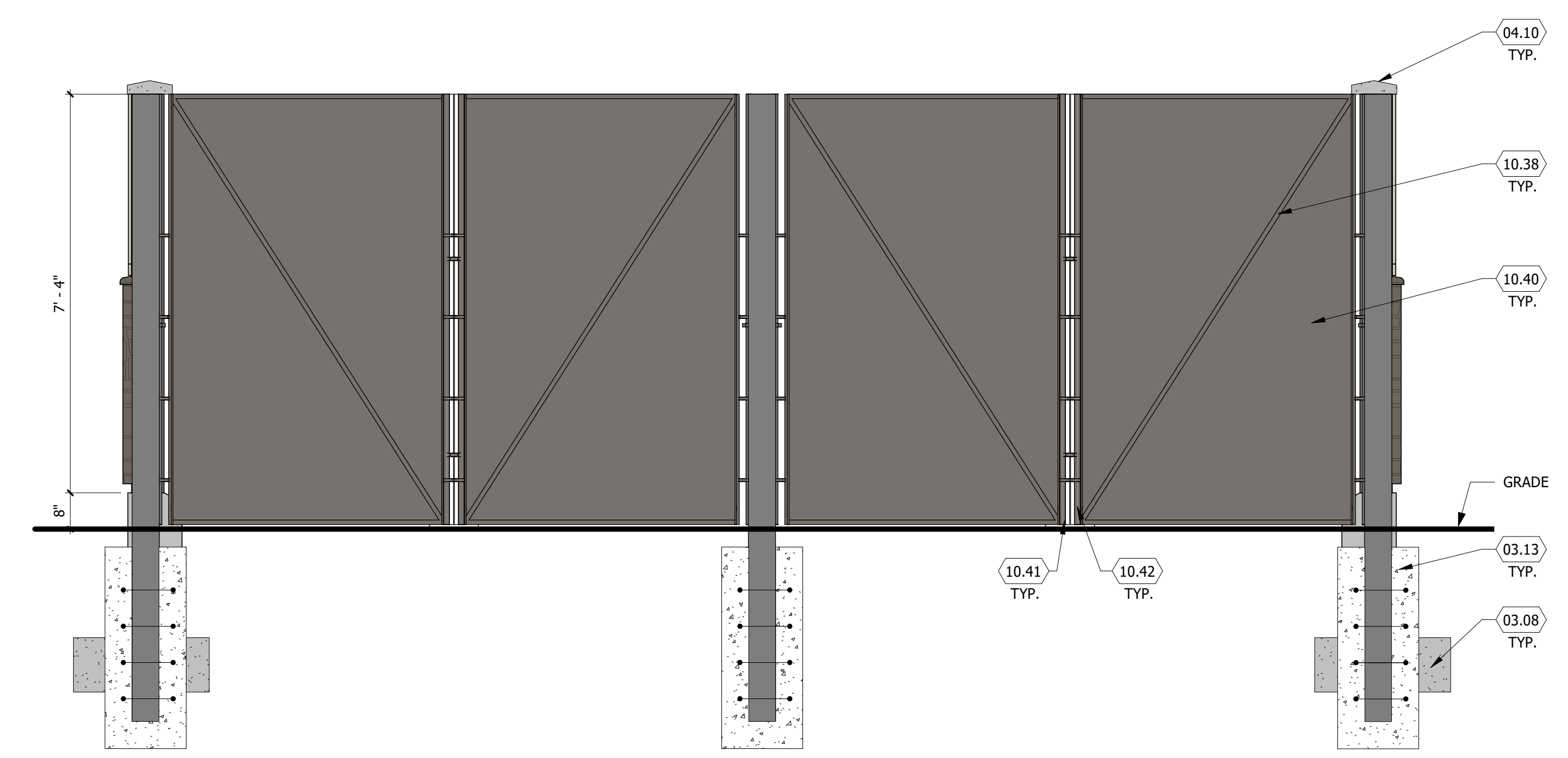
**4 TRASH ENCLOSURE - LEFT ELEVATION**  
SCALE: 1/2" = 1'-0"



**3 TRASH ENCLOSURE - BACK ELEVATION**  
SCALE: 1/2" = 1'-0"



**2 TRASH ENCLOSURE - RIGHT ELEVATION**  
SCALE: 1/2" = 1'-0"



**1 TRASH ENCLOSURE - FRONT ELEVATION**  
SCALE: 1/2" = 1'-0"



**MAVERIK INC. STORE**  
PARKER, COLORADO



**TRASH ENCLOSURE ELEVATIONS**



# LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1 MAVERIK INC. STORE SITE PLAN

SITUATED IN THE NORTHWEST OF SECTION 15,  
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



Final Document  
Subject To Conditions In Approval Letter

APPROVED DATE: 11/17/2023

Planning Approval By: S. Nerger

PROJECT NUMBER

21-122-0001

ISSUE DATE:

March 10, 2022

REVISIONS:

No.	Date	Description
-----	------	-------------

NOTE:  
Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in the drawings, bidder should not assume the least expensive option will meet the project requirements.



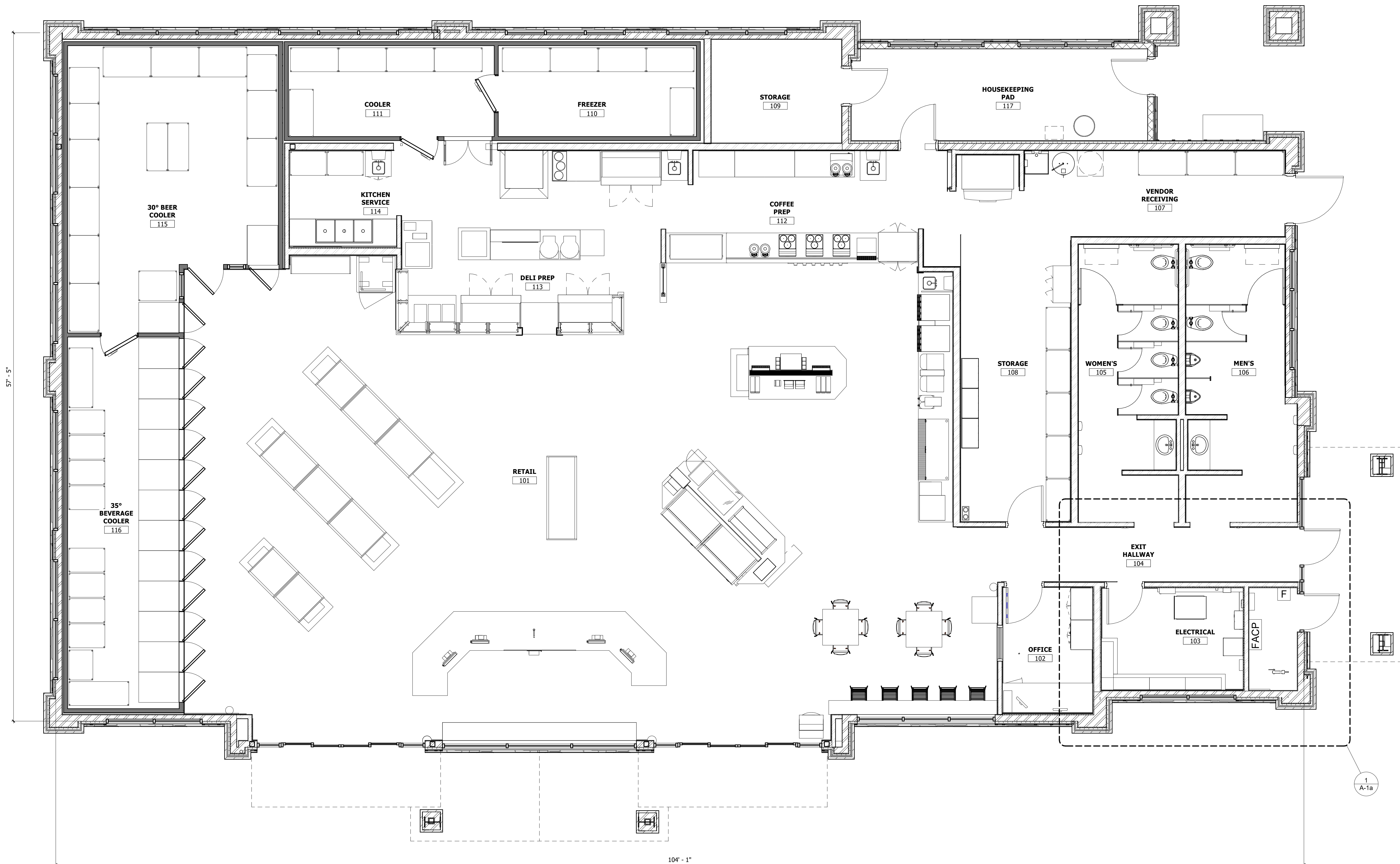
185 S. State Street  
Salt Lake City, Utah 84111

MAVERIK INC. STORE  
PARKER, COLORADO

**DCI**  
ENGINEERS  
1331 17TH STREET SUITE 605  
DENVER, COLORADO 80202  
PHONE: (720) 439-4700  
WEBSITE: www.dci-engineers.com  
CIVIL / STRUCTURAL

Copyright © 2022 DCI Engineers Inc. All Rights Reserved. No part of this document may be reproduced without the written permission of DCI Engineers Inc. Bidders are responsible for the construction code.

FLOOR PLAN



**1 FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

D:\Lincoln\122\122-0001\122-0001\_Parker\_Maverik\_Store.dwg



# LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1 MAVERIK INC. STORE SITE PLAN

SITUATED IN THE NORTHWEST OF SECTION 15,  
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



Final Document  
Subject To Conditions In Approval Letter

APPROVED DATE: 11/17/2023

Planning Approval By: S. Nerger

PROJECT NUMBER

21-122-0001

ISSUE DATE:

March 10, 2022

REVISIONS:

No.	Date	Description

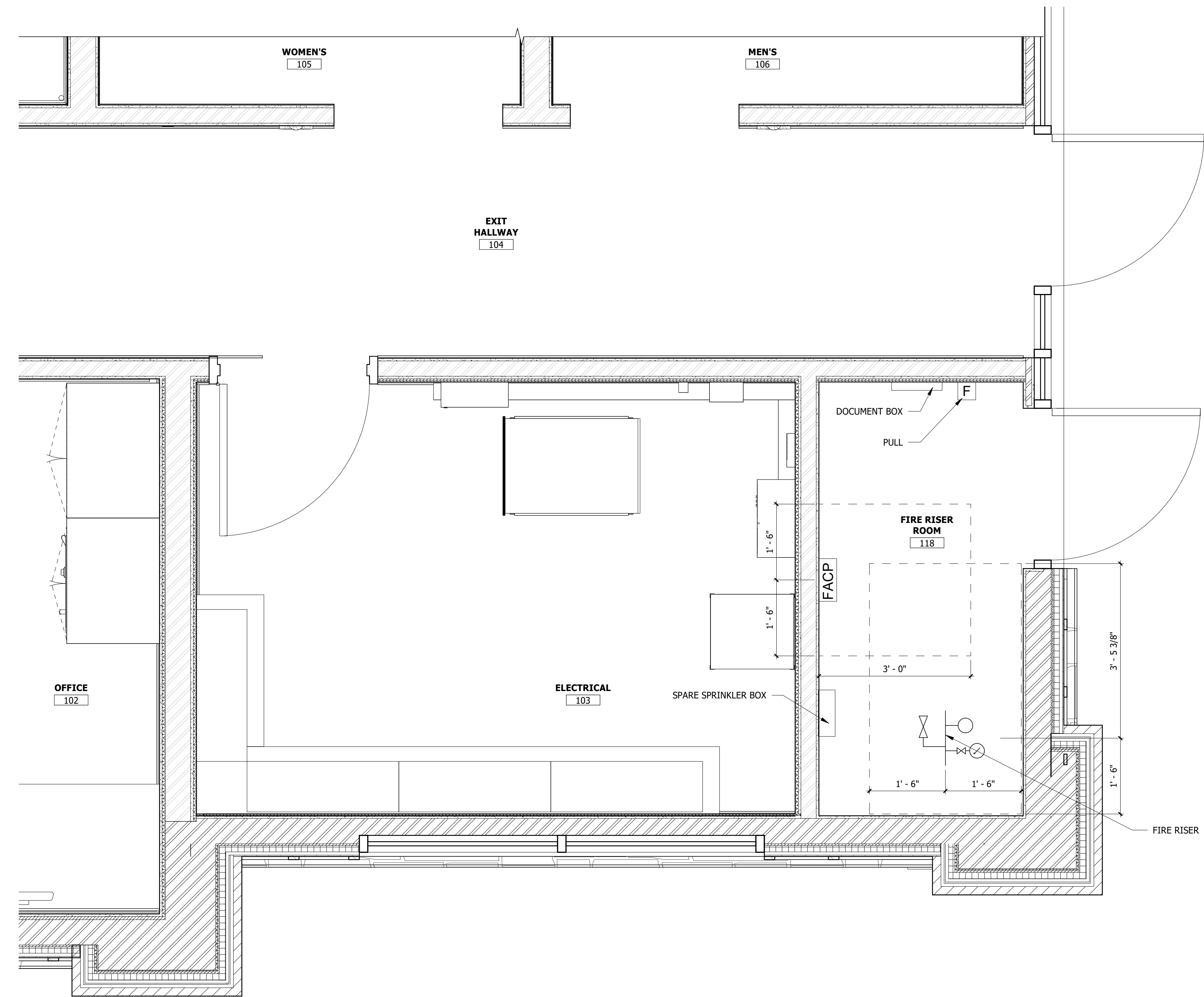
NOTE:  
Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in the drawings, bidder should not assume the least expensive option will meet the project requirements.



185 S. State Street  
Salt Lake City, Utah 84111

MAVERIK INC. STORE  
PARKER, COLORADO



**1** ENLARGED FIRE RISER ROOM  
SCALE: 3/4" = 1'-0"

**DCI**  
ENGINEERS  
1331 17TH STREET, SUITE 605  
DENVER, COLORADO 80202  
PHONE: (720) 439-4700  
WEBSITE: www.dci-engineers.com  
CIVIL / STRUCTURAL

ENLARGED  
FIRE RISER  
ROOM



# LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1 MAVERIK INC. STORE SITE PLAN

SITUATED IN THE NORTHWEST OF SECTION 15,  
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



Final Document  
Subject To Conditions In Approval Letter

APPROVED DATE: 11/17/2023

Planning Approval By: S. Nerger

PROJECT NUMBER

21-122-0001

ISSUE DATE:

March 10, 2022

REVISIONS:

No.	Date	Description

NOTE:  
Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

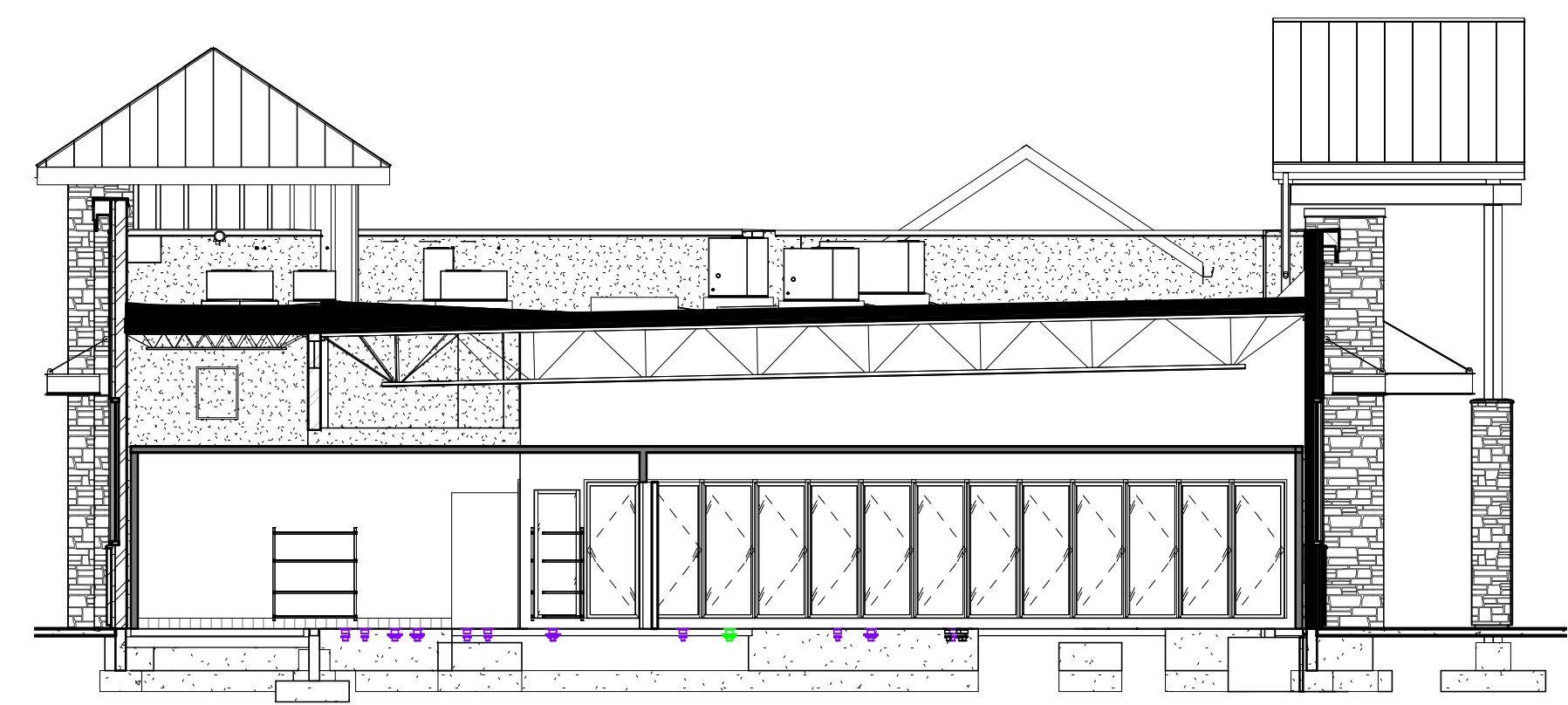
Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in the drawings, bidder should not assume the least expensive option will meet the project requirements.



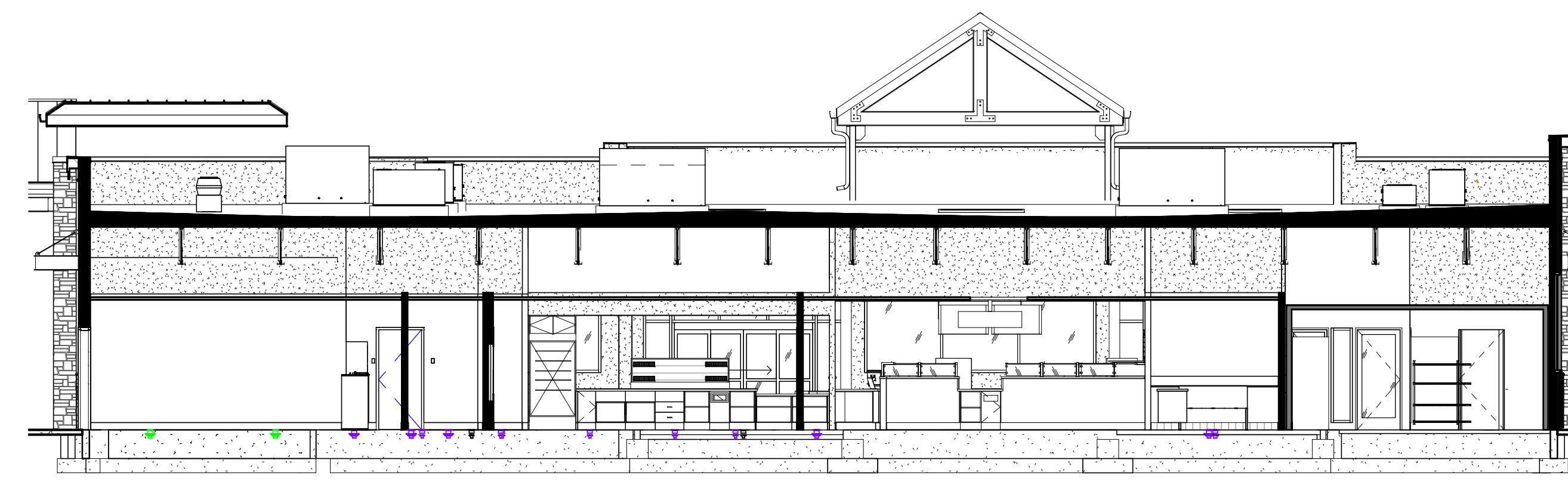
185 S. State Street  
Salt Lake City, Utah 84111

MAVERIK INC. STORE  
PARKER, COLORADO

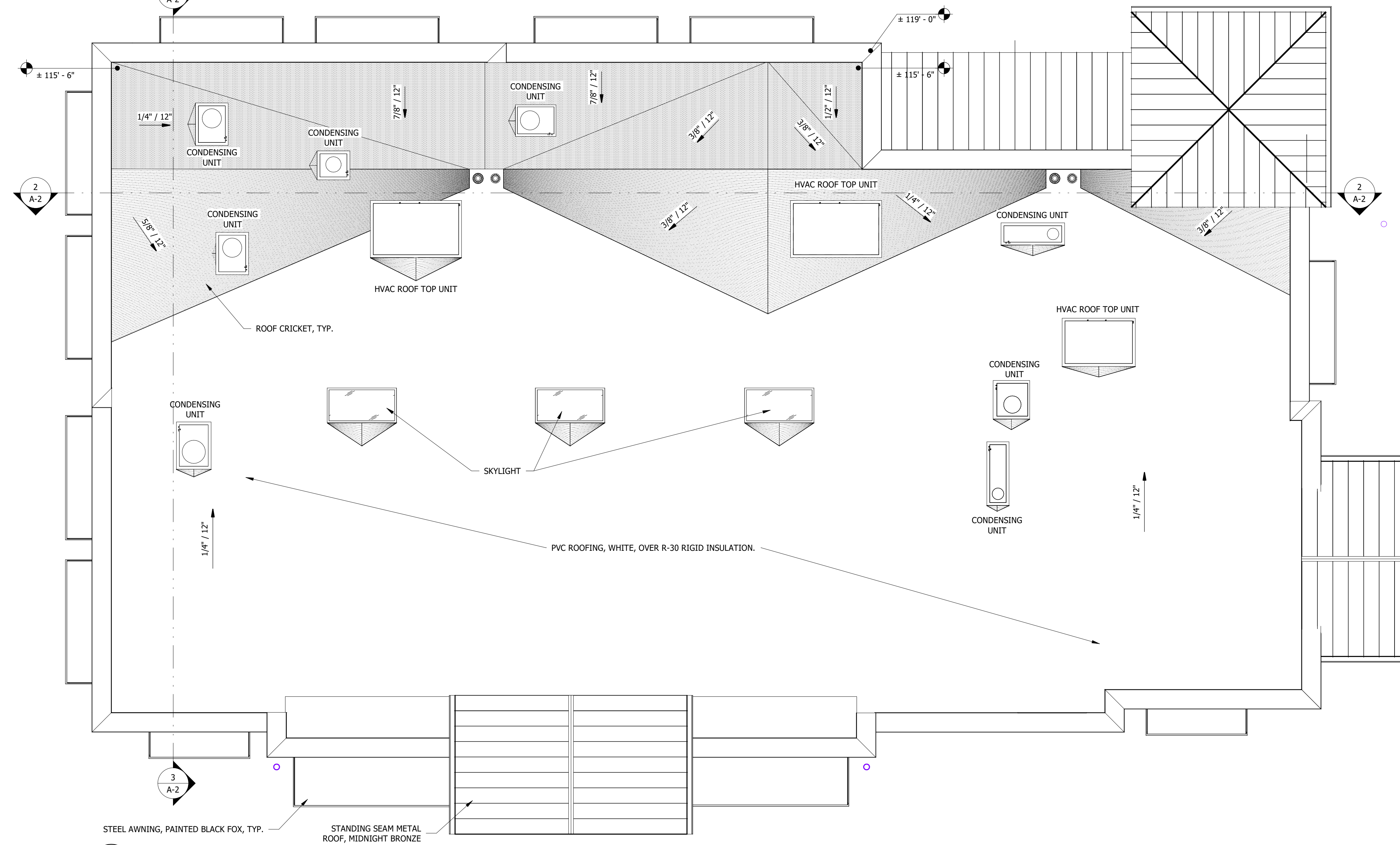
**DCI**  
ENGINEERS  
1331 17TH STREET SUITE 605  
DENVER, COLORADO 80202  
PHONE: (720) 439-4700  
WEBSITE: www.dci-engineers.com  
CIVIL / STRUCTURAL



**3 BUILDING SECTION**  
SCALE: 1/8" = 1'-0"



**2 BUILDING SECTION**  
SCALE: 1/8" = 1'-0"



**1 ROOF PLAN**  
SCALE: 3/16" = 1'-0"

ROOF PLAN

24 OF 26

D:\Lincoln\122\122-0001\122-0001\_Parker\_Maverik\_Store.dwg



**LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1  
MAVERIK INC. STORE SITE PLAN**

SITUATED IN THE NORTHWEST OF SECTION 15,  
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



Final Document  
Subject To Conditions In Approval Letter

APPROVED DATE: 11/17/2023

Planning Approval By: S. Nerger

PROJECT NUMBER

21-122-0001

ISSUE DATE:

March 10, 2022

REVISIONS:

No.	Date	Description

NOTE:  
Bid documents should not be separated or issued as partial sets to subcontractors. bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. in the event of a conflict in the drawings, bidder should not assume the least expensive option will meet the project requirements.



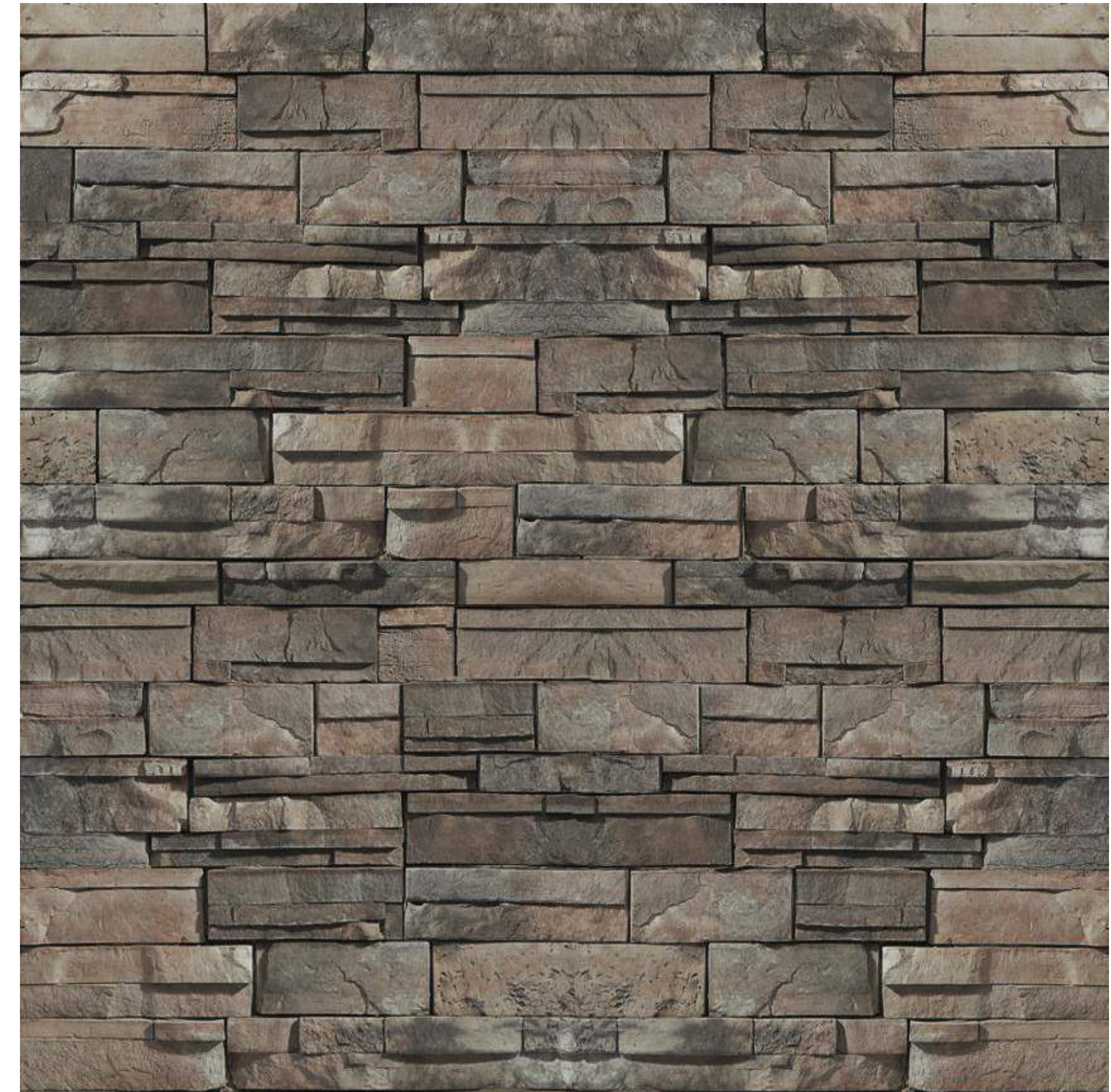
185 S. State Street  
Salt Lake City, Utah 84111

**MAVERIK INC. STORE**  
PARKER, COLORADO



BB-1 Fiberboard -  
Worldly Gray

BB-2 Fiberboard -  
Gauntlet Gray



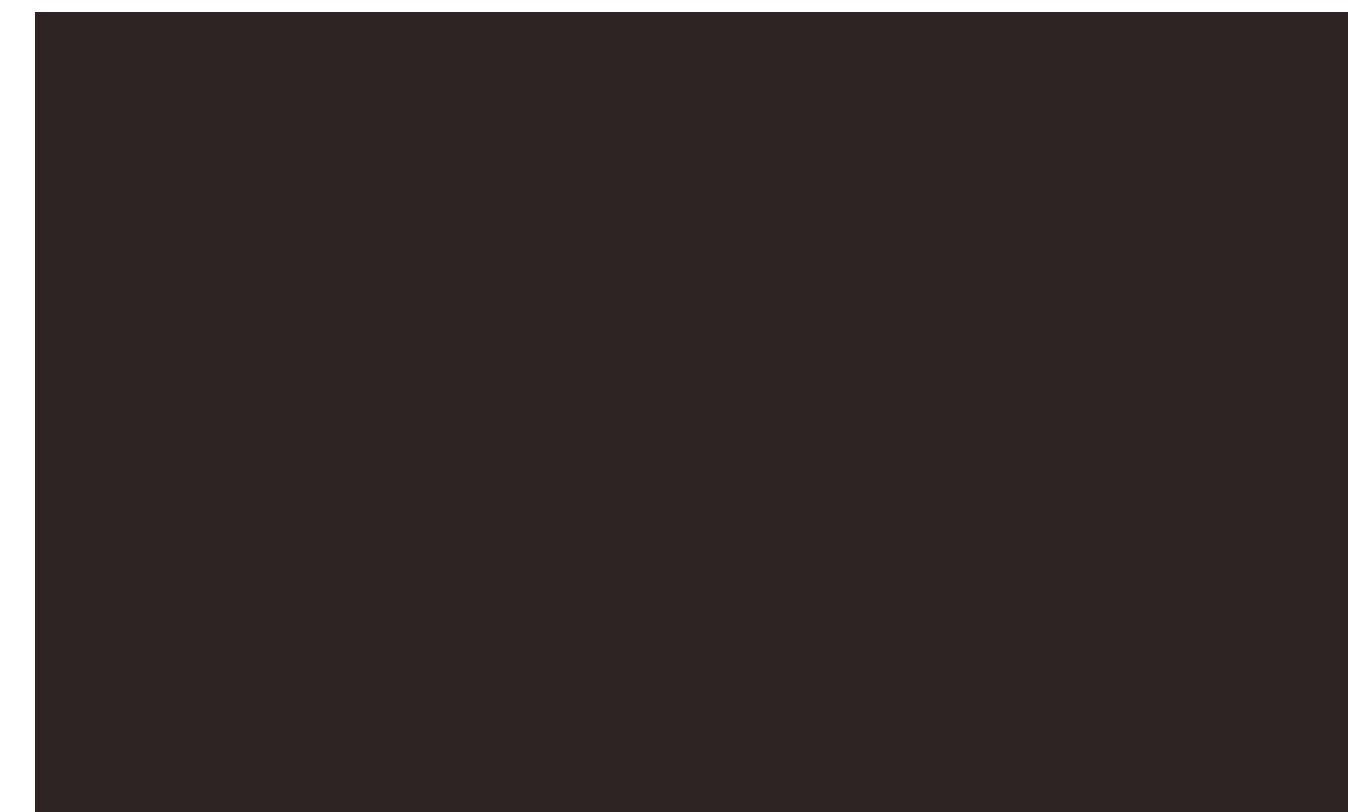
Natural Stone - to match, Skyline, Country LedgeStone



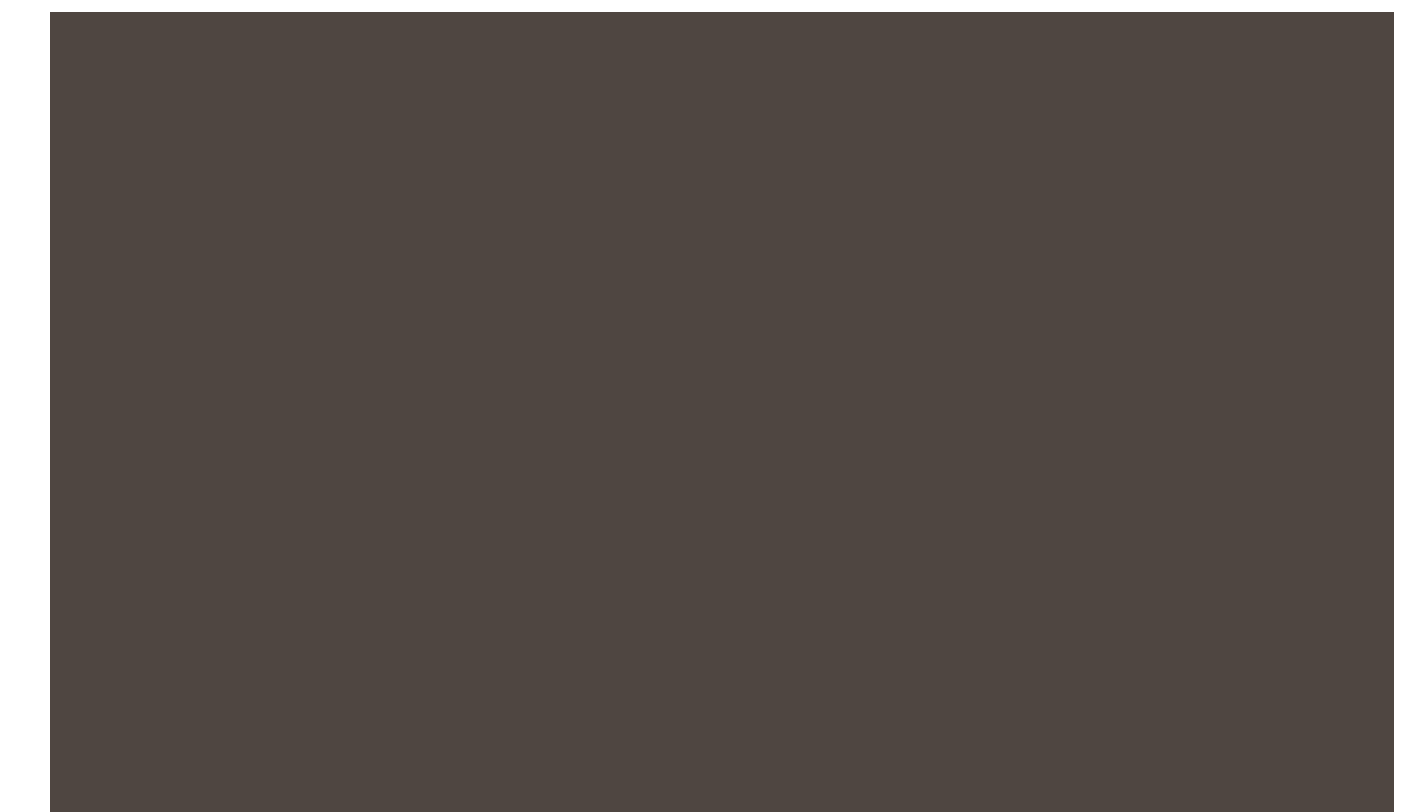
C-1 MCI Midnight Bronze



C-2 MCI Brite Red



Anodized - Dark Bronze



Paint - Black Fox

**DCI**  
ENGINEERS  
1331 17TH STREET SUITE 605  
DENVER, COLORADO 80202  
PHONE: (720) 439-4700  
WEBSITE: www.dci-engineers.com  
CIVIL / STRUCTURAL

© Copyright 2022 DCI Engineers, Inc. All Rights Reserved.  
This document and the data and drawings herein are the property of DCI Engineers, Inc. and are not to be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of DCI Engineers, Inc. Bidders are responsible for the construction.

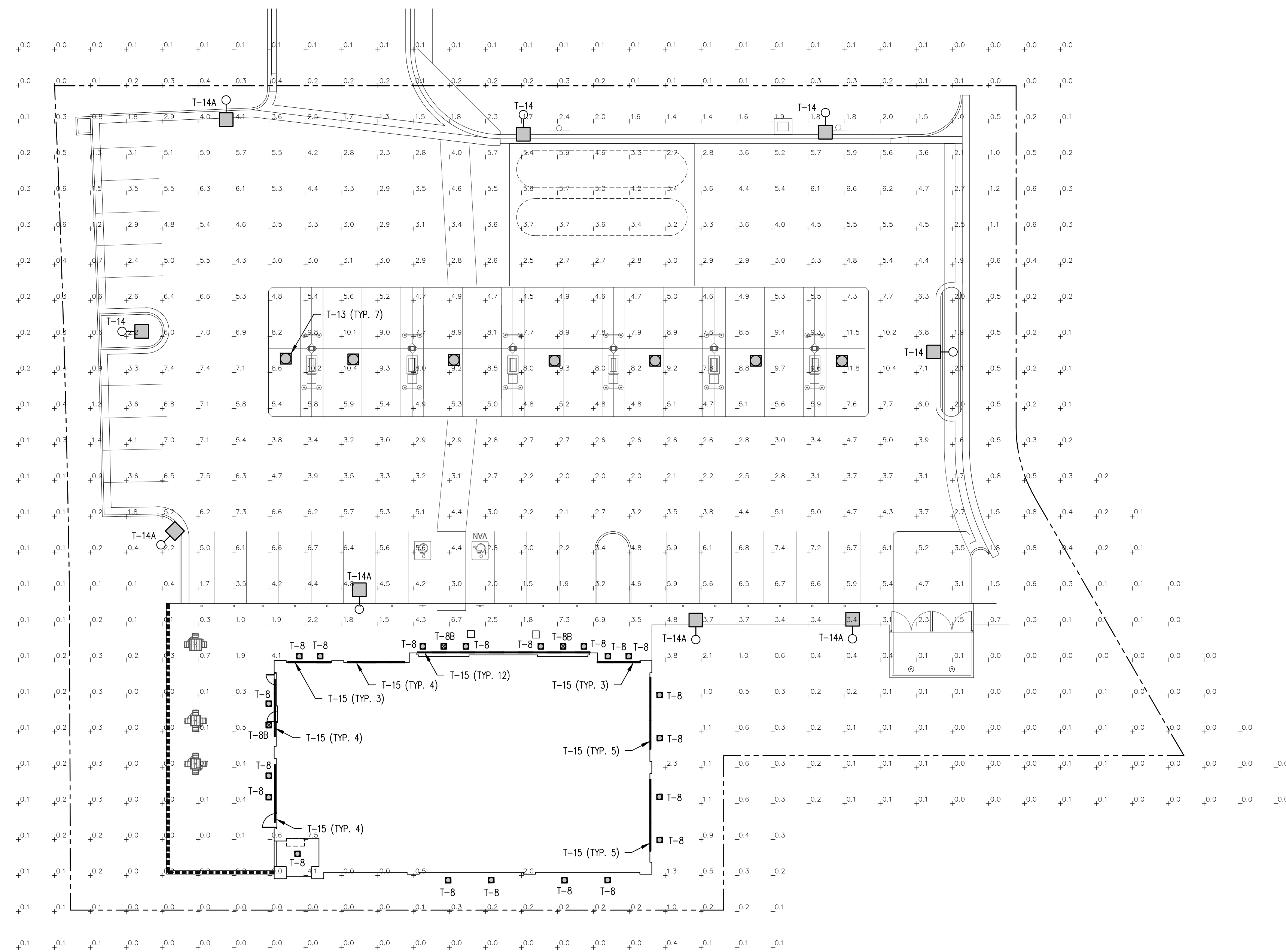
**EXTERIOR  
MATERIALS  
BOARD**

D:\Lincoln Professional Park\15-001\_Parker\_Park\15-001\_Parker\_Park.dwg



# LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1 MAVERIK INC. STORE SITE PLAN

SITUATED IN THE NORTHWEST 1/4 OF SECTION 15,  
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO



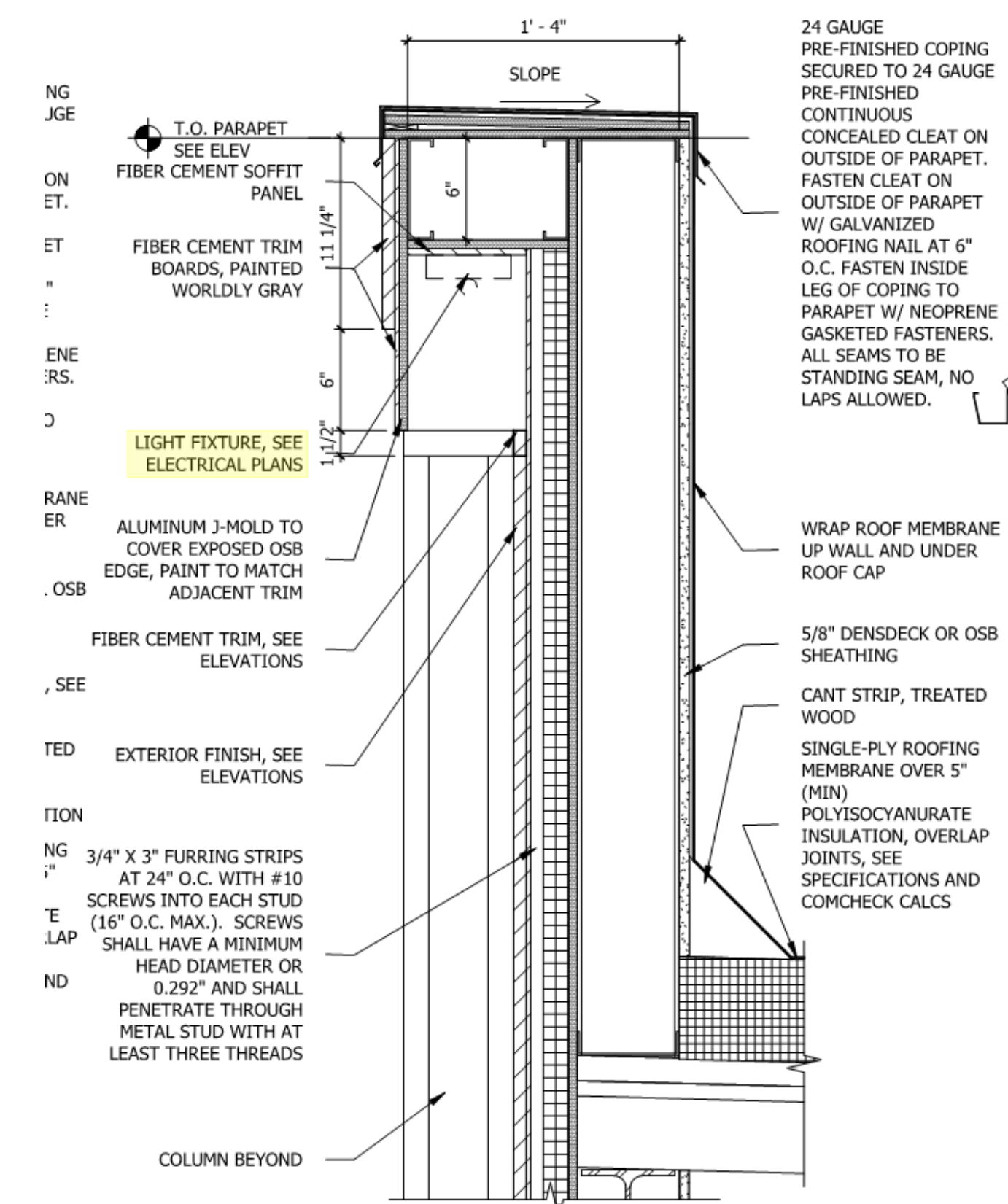
**1 SITE PHOTOMETRIC PLAN**  
E-1.2 SCALE: 1"=20'-0"

MASTER LUMINAIRE SCHEDULE									
TYPE	MANUFACTURER	CATALOG NUMBER	VOLTS	MOUNTING	LAMPS	BALLAST	WATTS	IMAGE	
DESCRPT: RECESSED BLACK LED DOWNLIGHT 8" APERTURE, 2900 LUMENS, 4K									
T-8	LOTUS LED	LD8R-40K-HO-BR-BT	120	RECESSED	INCLUDED		30		
T-8B	SAME AS T-8 EXCEPT WITH EMERGENCY BATTERY							30	
DESCRPT: WHITE, CANOPY MOUNTED, CUTOFF LUMINAIRE, 103W LED, FLAT LENS, FOR SINGLE DECK CANOPIES (10,209 LUMENS)									
T-13	LSI	SCV LED 10L SC UNV DIM 40 WHT	UNV	CANOPY	INCLUDED		67		
DESCRPT: POLE MOUNTED, DARK BRONZE CUTOFF LUMINAIRE SINGLE HEAD, INTEGRAL LOUVER, LED, 18,930 LUMENS, 17.5FT SQUARE POLE (4", 11 GA.), 4K									
T-14	LSI	SLM LED 18L SIL 3 UNV 40 70 CRI BRZ IL	208	17'-6" POLE	INCLUDED		135		
T-14A	SAME AS T-14 EXCEPT WITH TYPE IV DISTRIBUTION (FORWARD THROW)							135	
DESCRPT: 4FT LED STRIP LUMINAIRE, FULLY RECESSED IN EXTERIOR COVE, WHITE, COLD WEATHER (0F), 2000 LUMENS, DAMP LISTED, LENS, 4K									
T-15	LSI	AST 4 4L SA UNV 840	UNV	EXTERIOR COVE	INCLUDED		20		

\*LUMINAIRES ARE PROVIDED BY OWNER, INSTALLED BY E.C. (REFERENCE SCHEDULE ON E-4.0)

CALCULATION SUMMARY								
AREA NAME	GRID / TYPE	SPAC	GROUP	AVE	MAX	MIN	MAX/MIN	AVE/MIN
OVERALL	0'-0" / H-H	10.00	<>	2.5	11.8	0.00	N/A	N/A
PARKING	0'-0" / H-H	10.00	<>	4.5	11.2	1.5	7.5:1	3.0:1

ENCLOSURE: SEE THE ARCHITECTURAL DRAWINGS FOR DETAILS.



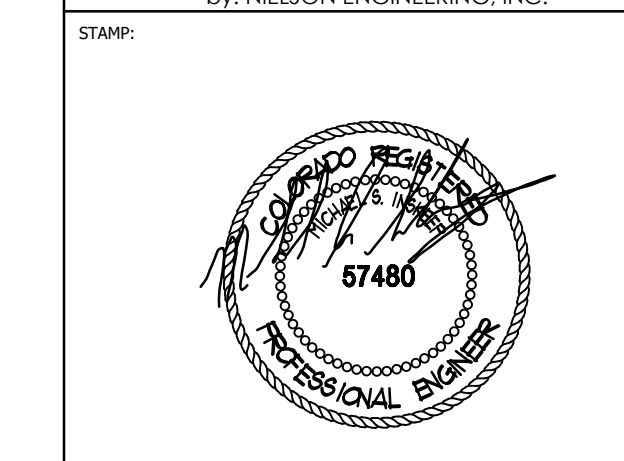
**2 CORNICE DETAIL W/ LIGHT**  
SCALE: 1 1/2" = 1'-0"



185 S. State Street  
Salt Lake City, Utah 84111

ARCHITECT:  
Nelson Engineering, Inc.  
156 North Twelfth Avenue  
P.O. Box 18301  
Ph (208) 232-2577 FAX  
(208) 234-0918

ENGINEER:  
Nelson Engineering, Inc.  
156 North Twelfth Avenue  
P.O. Box 18301  
Ph (208) 232-2577 FAX  
(208) 234-0918



MAVERIK, INC.  
STORE #  
LINCOLN AVENUE AND  
DRANSFELDT ROAD  
PARKER, CO

REVISIONS	
DESCRIPTION	DATE

DESIGNED BY: MJE DRAWN BY: MJE  
REVIEWED BY: MJE APPROVED BY: MSI  
PROTOTYPE VERSION: 50  
DRAWING ISSUE  
DATE: 12-6-22  
PROJECT NUMBER: 21337

SHEET NAME  
**PHOTOMETRIC PLAN**  
SHEET NUMBER

26.0 OF 26

**PARKER COLORADO**  
Final Document  
Subject To Conditions In Approval Letter  
APPROVED DATE: 11/17/2023  
Planning Approval By: S. Nergler

FOR REVIEW AND PERMIT • FOR REVIEW AND PERMIT • FOR REVIEW AND PERMIT







