

MAVERIK INC. STORE

SITUATED IN THE NORTHWEST 1/4 OF SECTION 15,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

UTILITY PLANS

SHOW PROPOSED PLATTED UTILITY EASEMENTS

LINCOLN AVE
(100' PUBLIC R.O.W.)

RELOCATE
STORM FROM
PROPOSED
PLATTED 15' UE

ROW DEDICATION

FOUND #5 REBAR WITH
ORANGE PLASTIC CAP
#285

119 LF-3" PVC SDR
@ 1.00%

128 LF-4" PVC SDR
@ 1.00%

75 LF-4" PVC SDR
@ 1.77%

SS XING
4" SS I.E.=5820.40
10" SD TOP=5818.76
Δ=1.64'±

PRIVATE GREASE INTERCEPTOR
RIM=5824.109
INV IN(N)=5820.22
INV OUT(S)=5820.12

SS MH-1
RIM=5824.38
INV IN(W)=5820.17
INV OUT(S)=5819.97
CUT=4.4'±

SS MH-1
RIM=5824.38
INV IN(W)=5820.17
INV OUT(S)=5819.97
CUT=4.4'±

PRIVATE SEWER
218 LF-6" PVC SDR @ 4.24%

802 LF-1" TYPE "K" COPPER

SHOW TRANSFORMER LOCATION
AND EUSERC CABINET LOCATION

MAVERIK STORE
PARKER, CO
4,425 SF
FFE=5825.00

NO PARKING

NO PARKING

ROW DEDICATION

DRANSFELDT RD
(VARIABLE WIDTH PUBLIC
R.O.W.)

103 LF-DOMESTIC SERVICE
2" TYPE "K" COPPER

96 LF-FIRE SERVICE
4" C-900 PVC DR-14

43 LF-DOMESTIC SERVICE
2" TYPE "K" COPPER

43 LF-FIRE SERVICE
4" C-900 PVC DR-14

92 LF-DOMESTIC SERVICE
2" TYPE "K" COPPER

94 LF-FIRE SERVICE
4" C-900 PVC DR-14

8 LF-DOMESTIC SERVICE
2" TYPE "K" COPPER

7 LF-FIRE SERVICE
4" C-900 PVC DR-14

P.O.C. DOMESTIC SERVICE
REMOVE EX. 2" PLUG AND INSTALL
2" WATER METER IN PIT

CONNECT TO EXISTING SAN MH
RIM=5821.84
INV IN(N)=5810.71
INV IN(E)=5810.71
INV OUT(SW)=5810.51
CUT=11.3'±

DOMESTIC WATER NOTES:

- 1 NEW 2" DOMESTIC WATER LINE CONNECTION TO EXISTING 2" STUB PER HARRIS KOCHER SMITH CONSTRUCTION DOCUMENTS FOR LINCOLN AND DRANSFELDT
- 2 NEW 2" TYPE K COPPER. TRENCHING AND BEDDING
- 3 NEW 2" DOMESTIC WATER METER IN METER PIT
- 4 NEW 1" TYPE "K" COPPER DOMESTIC WATER SERVICE TO YARD HYDRANT
- 5 NEW 1" BALL VALVE INSIDE VALVE BOX
- 6 NEW 1" FROST PROOF YARD HYDRANT WITH 3/4" FEMALE BRASS CONNECTION WITH RED HANDLE.

FIRE WATER NOTES:

- 20 NEW 4" FIRE LINE CONNECTION TO EXISTING 4" STUB PER HARRIS KOCHER SMITH CONSTRUCTION DOCUMENTS FOR LINCOLN AND DRANSFELDT
- 21 NEW 4" BACKFLOW PREVENTION DEVICE ASSEMBLY INSIDE BUILDING RISER ROOM
- 22 NEW 4" C-900 PVC DR-14 FIRE SERVICE FOR BUILDING SPRINKLERS.

PRIVATE SANITARY SEWER NOTES:

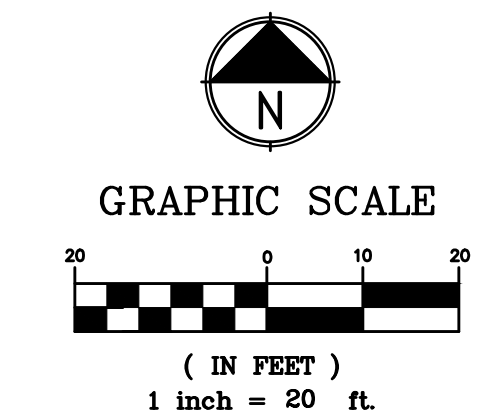
- 31 CONNECT NEW 6" PVC BUILDING SEWER TO EXISTING SEWER MANHOLE PER MASTER DEVELOPER (HKS ENGINEERING).
- 32 NEW 48" SANITARY SEWER TYPICAL MANHOLE PER PARKER WATER AND SANITATION DISTRICT STANDARDS.
- 33 NEW 4" PVC SANITARY SEWER LINE. TRENCH AND BEDDING PER PARKER WATER AND SANITATION DISTRICT STANDARDS.
- 34 NEW SANITARY SEWER CLEANOUT PER PARKER WATER AND SANITATION DISTRICT STANDARD.
- 35 NEW 1,500 GAL GREASE INTERCEPTOR UNIT (SEE PLUMBING PLANS FOR ADDITIONAL DETAIL).
- 36 NEW SAMPLING MANHOLE (SEE PLUMBING PLANS FOR ADDITIONAL DETAIL).
- 37 NEW 3" GREASE INTERCEPTOR VENTS (SEE PLUMBING PLANS FOR ADDITIONAL DETAIL).

NOTES:

1. ALL DOMESTIC, IRRIGATION, AND FIRE SERVICES REQUIRE BACKFLOW PREVENTION DEVICES.
2. EXCEPT WHERE CONNECTING TO EXISTING PIPE, ALL FITTINGS REQUIRING RESTRAINT SHALL USE JOINT RESTRAINTS.

CONTRACTOR NOTE:

ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEYS FURNISHED BY OTHERS. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEYS. CONTACT THE UTILITY OWNER/AGENCY FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION.



AR DP XX-XXXX

PROJECT NUMBER

21-122-0001

ISSUE DATE:

June 18, 2021

REVISIONS:

No.	Date	Description

NOTE:
Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in the drawings, bidder should not assume the least expensive option will meet the project requirements.



MAVERIK INC. STORE
LINCOLN AVE. AND DRANSFELDT RD.
PARKER, CO

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UTILITY
PLAN

No.	Date	Description

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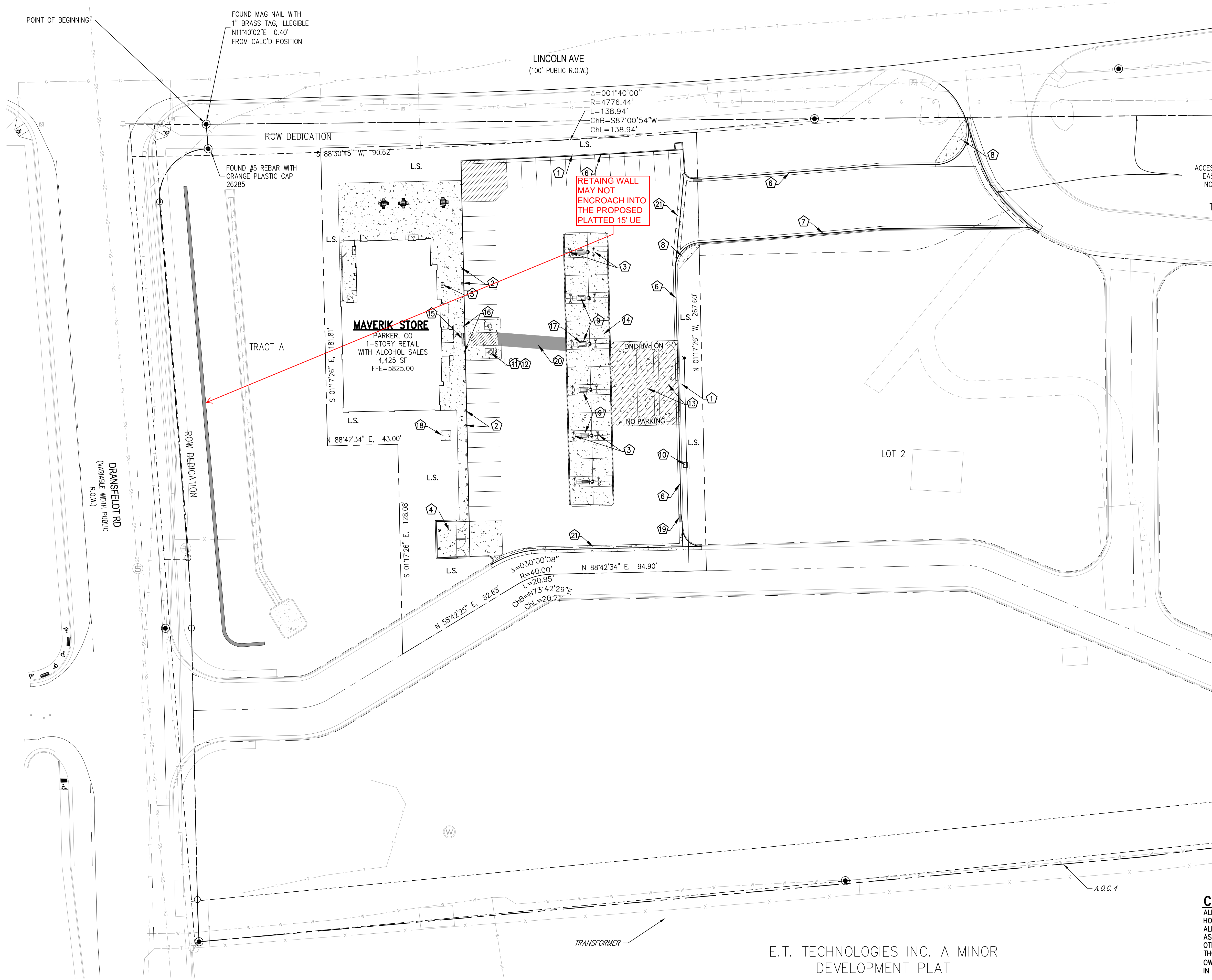
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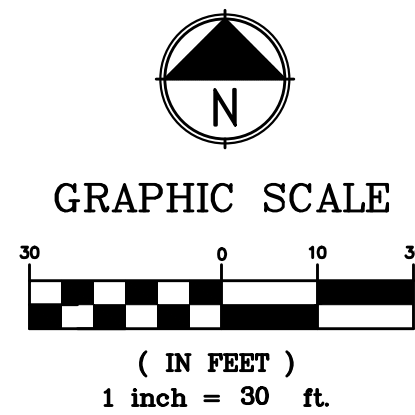
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SHOW TRANSFORMER LOCATION AND EUSERC CABINET LOCATION



KEYED NOTES:

- 1 NEW LIGHT POLE AND BASE PER MAVERIK STANDARD DETAIL SF-6/SHEET 30
- 2 NEW REBOUNDING BOLLARDS IN FRONT OF EACH PARKING SPACE ALONG THE FACE OF BUILDING PER MAVERIK STANDARD DETAIL SF-4/SHEET 30
- 3 NEW HOOP BOLLARDS PER MAVERIK STANDARD DETAIL SF-2/SHEET 30
- 4 NEW TRASH ENCLOSURE PER DETAILS 1-3/SHEET 27
- 5 NEW HI-ROLLER BIKE RACK PER MAVERIK STANDARD DETAIL SF-8/SHEET 31
- 6 NEW CATCH CURB AND GUTTER PER MAVERIK STANDARD DETAIL C-6/SHEET 29
- 7 NEW SPILL CURB AND GUTTER PER MAVERIK STANDARD DETAIL C-7/SHEET 29
- 8 NEW RUNOUT PAD AND MOUNTABLE CURB PER MAVERIK STANDARD DETAIL C-8/SHEET 29
- 9 NEW FUEL DISPENSER BASE PER MAVERIK STANDARD DETAIL SF-7/SHEET 29
- 10 NEW XACTAIR STATION FOUNDATION PER MAVERIK STANDARD DETAIL SF-9/SHEET 30
- 11 NEW ADA PARKING PER MAVERIK STANDARD DETAIL SF-11/SHEET 31
- 12 PAINTED ADA PARKING SYMBOL PER MAVERIK STANDARD DETAIL SF-12/SHEET 31
- 13 NEW UNDERGROUND STORAGE TANKS
- 14 NEW FUEL CANOPY AND FUEL DISPENSERS - STACKED FORECOURT PER MAVERIK STANDARD DETAIL ST-6/SHEET 32
- 15 NEW TRUNCATED DOMES
- 16 ADA ADJUSTABLE SIGNAGE SLEEVE IN BOLLARD
- 17 ADA FUEL DISPENSER WITH SIGN
- 18 NEW CONCRETE PAD FOR ELECTRICAL TRANSFORMER
- 19 5 FOOT CURB TRANSITION FROM MOUNTABLE TO VERTICAL CURB
- 20 ADA PATH TO ADA ACCESSIBLE FUEL PUMP (REFERENCE ONLY NO STRIPPING)
- 21 NEW 4' WIDE CROSSSPAN PER _____



THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

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AR DP XX-XXXX

E.T. TECHNOLOGIES INC. A MINOR DEVELOPMENT PLAT

