

LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1 MAVERIK INC. STORE SITE PLAN

SITUATED IN THE NORTHWEST ¼ OF SECTION 15,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER

21-122-0001

ISSUE DATE:

March 10, 2022

REVISIONS:

No.	Date	Description
1	5-24-22	CITY REVIEW
2	7-13-22	CITY REVIEW

NOTE:
Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

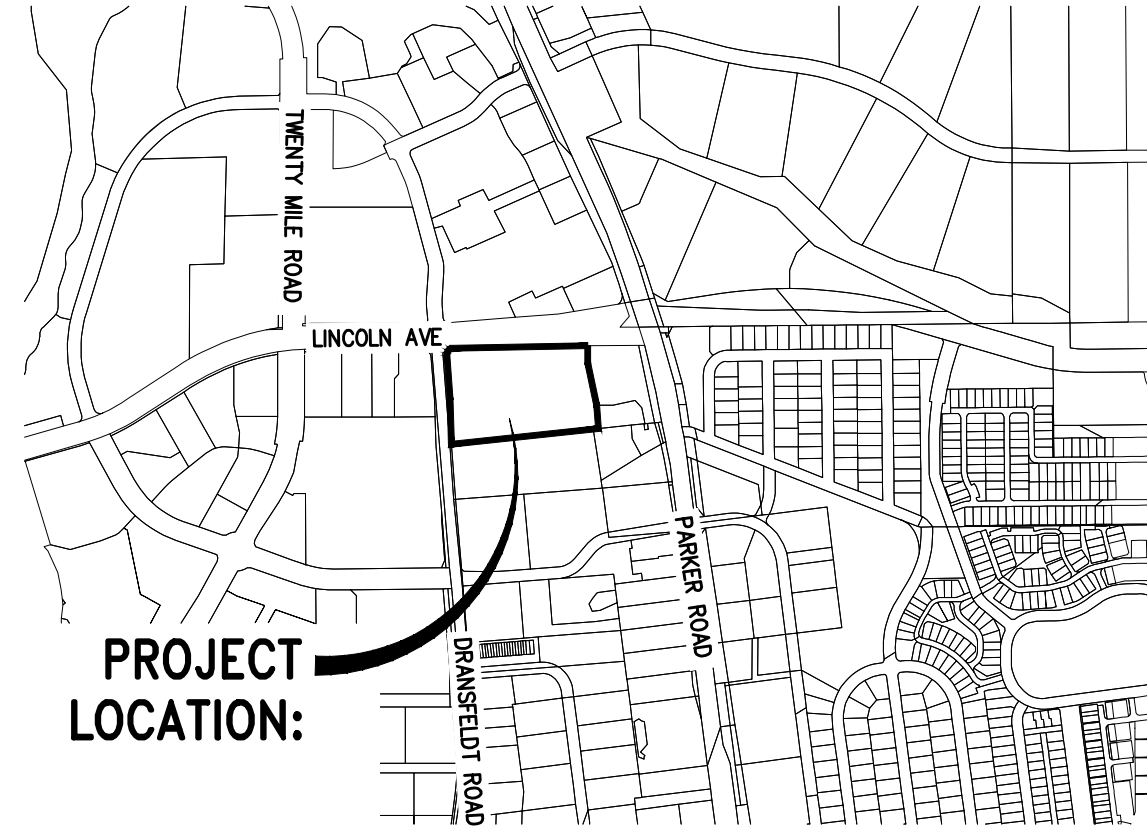
Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in drawings, bidder should not assume the least expensive option will meet the project requirements.

LEGEND:

NEW SANITARY SEWER LINE	
EXT. SANITARY SEWER LINE	
NEW STORM DRAIN LINE	
EXT. STORM DRAIN LINE	
NEW WATER LINE	
EXIST. WATER LINE	
NEW & EXIST. CATCH BASIN	
NEW & EXIST. AREA DRAIN	
STORM DRAIN MANHOLE	
SANITARY SEWER MANHOLE	
NEW & EXIST. CLEANOUT (SD & SSWR)	
NEW ROOF DOWNSPOUT	
NEW & EXIST. GAS METER	
NEW & EXIST. FIRE HYDRANT	
NEW & EXIST. WATER METER	
NEW & EXIST. WATER VALVE	
FITTING WITH THRUST BLOCK	
SURFACE WATER & PIPE DIRECTION FLOW	
EXISTING CONTOUR	
NEW CONTOUR	
EXISTING SURFACE ELEVATION	
FINISHED SURFACE ELEVATION	
TOP OF WALL/TOE OF WALL	
RIP RAP	
NEW CEMENT CONCRETE	
COORDINATES, & LEADERS	
NEW CONCRETE CURB	
NEW CONCRETE CURB & GUTTER	

ABBREVIATIONS:

ACP	ASPHALT CONCRETE PAVEMENT	GV	GATE VALVE
AD	AREA DRAIN	HDPE	HIGH DENSITY POLYETHYLENE
BLDG	BUILDING	HYD	HYDRANT
BM	BENCHMARK	I.E.	INVERT ELEVATION
BNDRY	BOUNDARY	INV	INVERT
BOW	BOTTOM OF WALL	IRR	IRRIGATION WATER
CTV	CABLE TV	LF	LINEAR FEET
C&G	CURB AND GUTTER	MH	MANHOLE
CB	CATCH BASIN	MJ	MECHANICAL JOINT
CL	CLASS	P	POWER
CL	CENTER LINE	PIV	POST INDICATOR VALVE
CMP	CORRUGATED METAL PIPE	PP	POWER POLE
CONC.	CONCRETE	PL	PROPERTY LINE
CPEP	CORRUGATED POLYETHYLENE PIPE	RAD (R)	RADIUS
CTR	CENTER(ED)	RCP	REINFORCED CONCRETE PIPE
DCVA	DOUBLE CHECK VALVE ASSEMBLY	RD	ROAD
DDCV	DOUBLE DETECTOR CHECK VALVE	RET	RETAINING
D.I.	DUCTILE IRON	ROW	RIGHT OF WAY
DIA (ø)	DIAMETER	SD	STORM DRAIN
DIM	DIMENSION	S.F.	SQUARE FEET
DS	DOWN SPOUT	SS	SANITARY SEWER
EL.=	ELEVATION	STA	STATION
EOP	EDGE OF PAVEMENT	TOE	TOE OF WALL, OR SLOPE
FD	FLOOR DRAIN	T	TELEPHONE WIRE
FDC	FIRE DEPARTMENT CONNECTION	TBM	TEMPORARY BENCH MARK
FFE	FINISH FLOOR ELEVATION	T.C.	TOP OF CURB
FH	FIRE HYDRANT FL FLANGED	TG	TOP OF GRATE
G	GAS MAIN	TOP	TOP OF SLOPE
GB	GRADE BREAK	TOW	TOP OF WALL
GM	GAS METER	TV	TELEVISION WIRE
GRD	GRADE		



VICINITY MAP
SCALE: 1"=1000'

SHEET INDEX

COVER SHEET	1
NOTES	2
EXISTING CONDITIONS	3
HORIZONTAL CONTROL PLAN	4
SITE PLAN	5
GRADING PLAN	6
SITE DETAILS	7-9
LANDSCAPE PLAN	10
LANDSCAPE DETAILS	11
IRRIGATION PLAN	12
IRRIGATION DETAILS	13
BUILDING ELEVATIONS	14
BUILDING FLOOR PLAN	15
BUILDING MATERIALS	16
PHOTOMETRICS	17

LEGAL DESCRIPTION

LINCOLN PROFESSIONAL PARK FILING 1, LOT 1

BASIS OF BEARING

BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN. AS MONUMENTED AT BOTH THE NORTHWEST QUARTER CORNER AND THE NORTH QUARTER CORNER BY 3.25" ALUMINUM CAPS, ASSUMED TO BEAR SOUTH 89°29'00" WEST.

VERTICAL DATUM/BENCHMARK:

BENCHMARK IS THE NW CORNER SECTION 15, T6S S R66W, BEING A 3.5" ALUMINUM CAP LS 19003 1999 IN RANGE BOX.

ELEVATION=5806.79' NAVD 88.

SITE DATA:

ZONING: COMMERCIAL			
LAND USE	(SF)	(AC)	(% TOTAL)
BUILDING AREA	6,089	0.14	10.30%
FUEL CANOPY	4,290	0.10	7.26%
INTERNAL DRIVES/PARKING	26,875	0.62	45.48%
CONCRETE/SIDEWALKS	9,326	0.21	15.78%
LANDSCAPE	12,515	0.29	21.18%
TOTAL	59,095	1.36	100.00%
PARKING		REQUIRED	PROVIDED
VEHICLE STALLS		24	29
(1 PARKING SPACE/250 SF OF BLDG SPACE)			
ADA/VAN ACCESSIBLE STALLS		2	2
TOTAL STALLS		26	31
BICYCLE PARKING		2	2

PROJECT TEAM:

DEVELOPER/APPLICANT:

MAVERIK INC.
185 S. STATE STREET, SUITE 800
SALT LAKE CITY, UT 84111
CONTACT: CASSIE YOUNGER
PHONE: (801) 936-5557

CIVIL ENGINEER:

DCI ENGINEERS
1331 17TH STREET SUITE 605
DENVER, CO 80202
CONTACT: MANNY NUNO, P.E.
PHONE: (720) 464-7728

LANDSCAPE ARCHITECT:

RUSSELL MILLS STUDIO
2245 CURTIS STREET SUITE 100
DENVER, CO 80205
CONTACT: MATE STARK, R.L.A.
PHONE: (303) 709-0704

APPLICANT:

DCI ENGINEERS
1331 17TH STREET, SUITE 605
DENVER, COLORADO 80202
MANUEL NUNO P.E. (720) 439-4700

CONTRACTOR NOTE:

ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEYS FURNISHED BY OTHERS. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEYS. CONTACT THE UTILITY OWNER/AGENCY FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION.



MAVERIK INC. STORE
LINCOLN AVE. AND DRANSFELDT RD.
PARKER, CO
SITE PLAN

DCI ENGINEERS
1331 17TH STREET • SUITE 605
DENVER, COLORADO 80202
PHONE: (720) 439-4700
WEBSITE: www.dci-engineers.com
CIVIL / STRUCTURAL
© Copyright 2022 DCI ENGINEERS, Inc. All Rights Reserved.

COVER SHEET

LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1 MAVERIK INC. STORE SITE PLAN

SITUATED IN THE NORTHWEST 1/4 OF SECTION 15,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER

21-122-0001

ISSUE DATE:

March 10, 2022

REVISIONS:

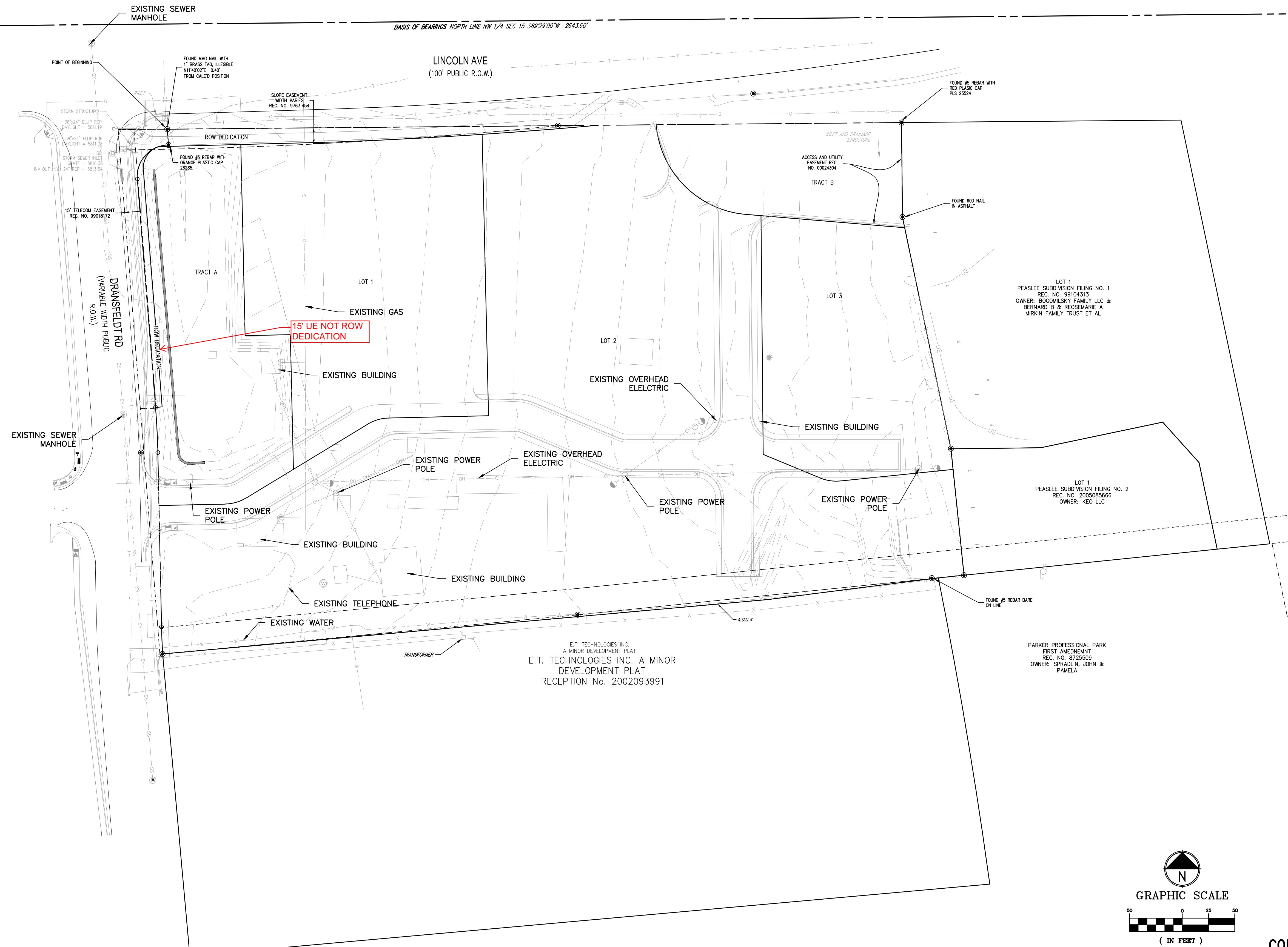
No.	Date	Description
1	5-24-22	CITY REVIEW
2	7-13-22	CITY REVIEW

NOTE:
Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in the drawings, bidder should not assume the least expensive option will meet the project requirements.



MAVERIK INC. STORE
LINCOLN AVE. AND DRANSFELDT RD.
PARKER, CO
SITE PLAN



LEGAL DESCRIPTION

LINCOLN PROFESSIONAL PARK FILING 1, LOT 1

BASIS OF BEARING

BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN. AS MONUMENTED AT BOTH THE NORTHWEST QUARTER CORNER AND THE NORTH QUARTER CORNER BY 3.25" ALUMINUM CAPS, ASSUMED TO BEAR SOUTH 89°29'00" WEST.

VERTICAL DATUM/BENCHMARK:

BENCHMARK IS THE NW CORNER SECTION 15, T6S S R66W, BEING A 3.5" ALUMINUM CAP LS 19003 1999 IN RANGE BOX.

ELEVATION=5806.79' NAVD 88.

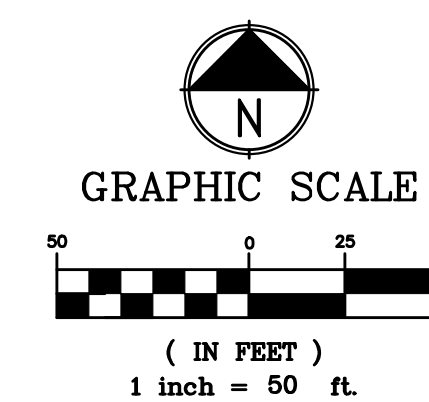
SURVEY PREPARED BY:

HARRIS KOCHER SMITH
1120 LINCOLN STREET, SUITE 1000
DENVER, CO 80203
PHONE: 303-623-6300
BRANDON E. ANDERSON, PLS 38484

DATE OF SURVEY: AUGUST 11, 2021

CONTRACTOR NOTE:

ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEYS FURNISHED BY OTHERS. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEYS. CONTACT THE UTILITY OWNER/AGENCY FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION.



EXISTING CONDITION BASED ON SURVEY INFO PROVIDED BY ROSENBERG AND ASSOCIATES MAY 4, 2020

EXISTING CONDITIONS



LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1 MAVERIK INC. STORE SITE PLAN

SITUATED IN THE NORTHWEST 1/4 OF SECTION 15,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER

21-122-0001

ISSUE DATE:

March 10, 2022

REVISIONS:

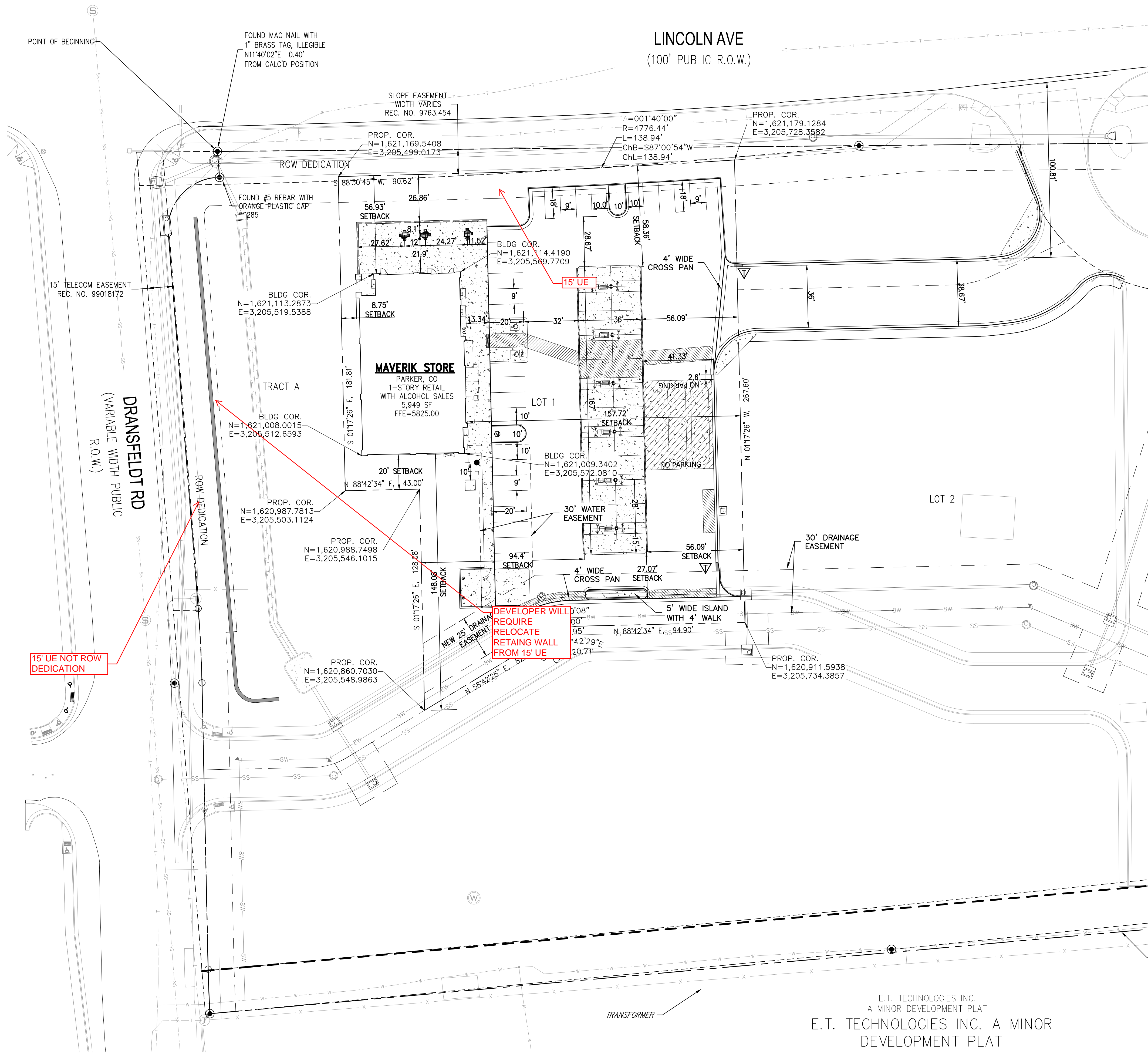
No.	Date	Description
1	5-24-22	CITY REVIEW
2	7-13-22	CITY REVIEW

NOTE:
Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in the drawings, bidder should not assume the least expensive option will meet the project requirements.



MAVERIK INC. STORE
LINCOLN AVE. AND DRANSFELDT RD.
PARKER, CO
SITE PLAN

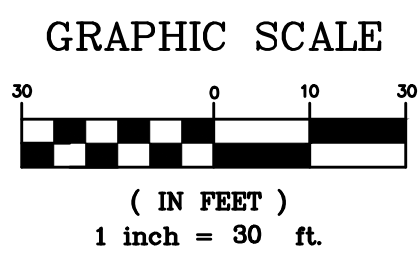


LEGEND:

- NEW CEMENT CONCRETE
- NEW MOUNTABLE CURB
- NEW CATCH/SPILL CURB AND GUTTER
- CURB & GUTTER TRANSITION
- NEW RETAINING WALL
- PEDESTRIAN/ADA ACCESS ROUTE

BASIS OF BEARING

BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN. AS MONUMENTED AT BOTH THE NORTHWEST QUARTER CORNER AND THE NORTH QUARTER CORNER BY 3.25" ALUMINUM CAPS, ASSUMED TO BEAR SOUTH 89°29'00" WEST.



EDCI
ENGINEERS
 1331 17TH STREET • SUITE 605
 DENVER, COLORADO 80202
 PHONE: (720) 439-4700
 WEBSITE: www.edci-engineers.com
 CIVIL / STRUCTURAL
© Copyright 2022 EDCI Engineers Inc. All Rights Reserved.

CONTRACTOR NOTE:

ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEYS FURNISHED BY OTHERS. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEYS. CONTACT THE UTILITY OWNER/AGENCY FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION.



HORIZONTAL CONTROL PLAN

E.T. TECHNOLOGIES INC.
 A MINOR DEVELOPMENT PLAT
 E.T. TECHNOLOGIES INC. A MINOR
 DEVELOPMENT PLAT

LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1 MAVERIK INC. STORE SITE PLAN

SITUATED IN THE NORTHWEST ¼ OF SECTION 15,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NUMBER

21-122-0001

ISSUE DATE:

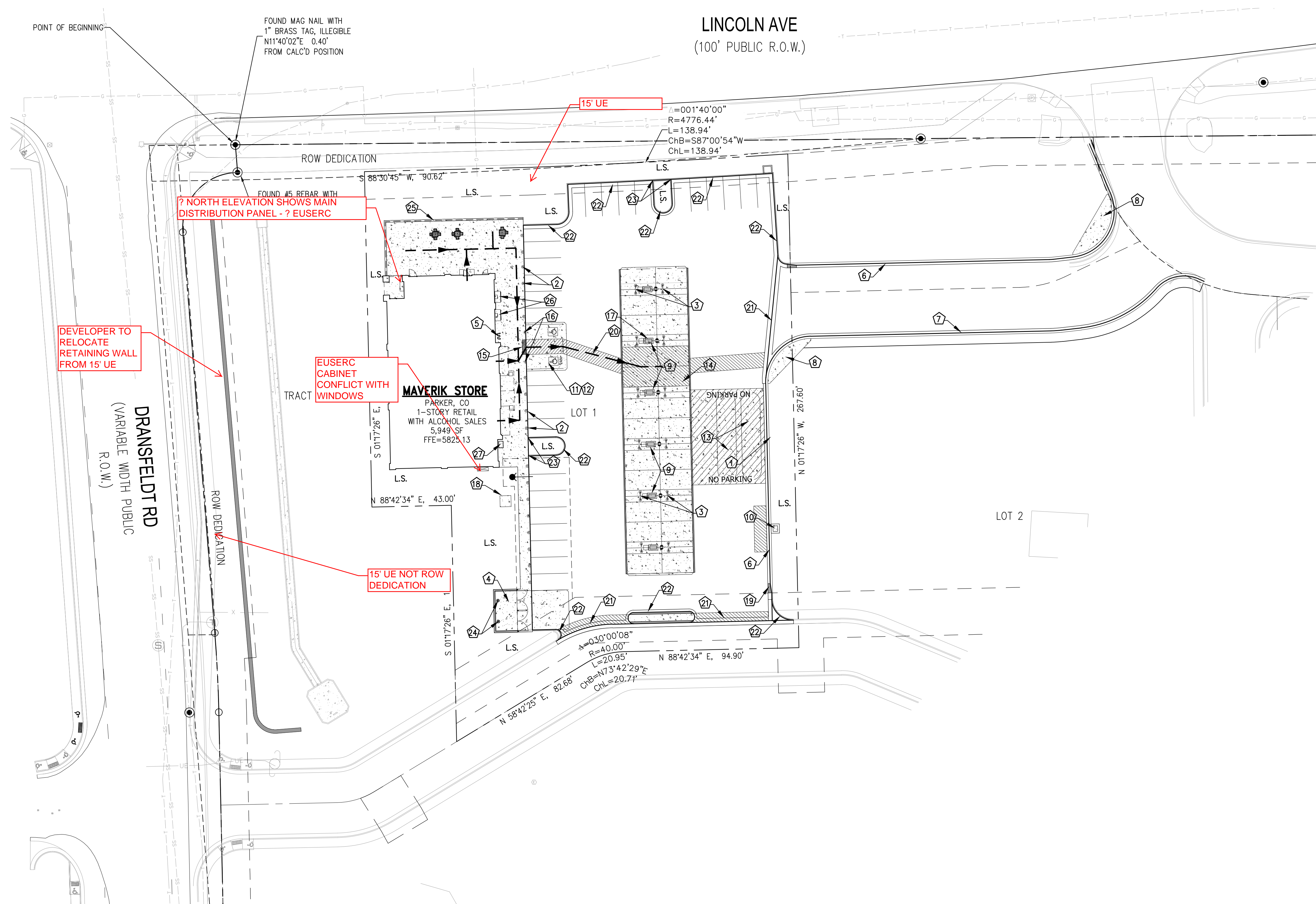
March 10, 2022

REVISIONS:

No.	Date	Description
1	5-24-22	CITY REVIEW
2	7-13-22	CITY REVIEW

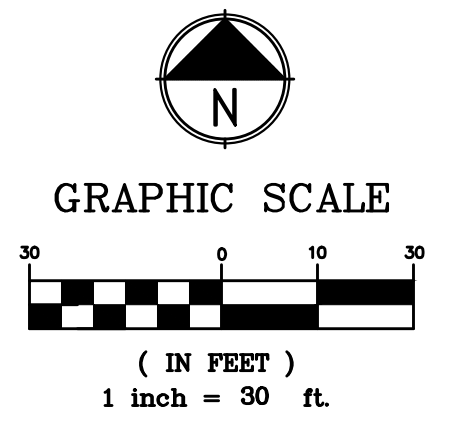
NOTE:
Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in drawings, bidder should not assume the least expensive option will meet the project requirements.



KEYED NOTES:

- 1 NEW LIGHT POLE AND BASE PER MAVERIK STANDARD DETAIL SF-6, SHEET 8
- 2 NEW REBOUNDING BOLLARDS IN FRONT OF EACH PARKING SPACE ALONG THE FACE OF BUILDING PER MAVERIK STANDARD DETAIL SF-4, SHEET 8
- 3 NEW HOOP BOLLARDS PER MAVERIK STANDARD DETAIL SF-2, SHEET 8
- 4 NEW TRASH ENCLOSURE PER ARCHITECTURAL PLANS AND INTERIOR PAD IS PER STRUCTURAL PLANS.
- 5 NEW HI-ROLLER BIKE RACK PER MAVERIK STANDARD DETAIL SF-8, SHEET 9
- 6 NEW CATCH CURB AND GUTTER PER MAVERIK STANDARD DETAIL C-6, SHEET 7
- 7 NEW SPILL CURB AND GUTTER PER MAVERIK STANDARD DETAIL C-7, SHEET 7
- 8 NEW RUNOUT PAD AND MOUNTABLE CURB PER MAVERIK STANDARD DETAIL C-8, SHEET 7
- 9 NEW FUEL DISPENSER BASE PER MAVERIK STANDARD DETAIL SF-7, SHEET 8
- 10 NEW XACTAIR STATION FOUNDATION PER MAVERIK STANDARD DETAIL SF-9, SHEET 8
- 11 NEW ADA PARKING PER MAVERIK STANDARD DETAIL SF-11, SHEET 8
- 12 PAINTED ADA PARKING SYMBOL PER MAVERIK STANDARD DETAIL SF-12, SHEET 9 (MAX. SLOPES OF 2%)
- 13 NEW UNDERGROUND STORAGE TANKS. TANK PAD AND HOLE HOLE DIMENSIONS PER FUELING PLANS.
- 14 NEW FUEL CANOPY AND FUEL DISPENSERS - STACKED FORECOURT PER ARCHITECTURAL PLANS
- 15 NEW TRUNCATED DOMES
- 16 ADA ADJUSTABLE SIGNAGE SLEEVE IN BOLLARD
- 17 ADA FUEL DISPENSER WITH SIGN
- 18 NEW CONCRETE PAD FOR ELECTRICAL TRANSFORMER
- 19 5 FOOT CURB TRANSITION FROM MOUNTABLE TO VERTICAL CURB
- 20 ADA PATH TO ADA ACCESSIBLE FUEL PUMP (MAX. SLOPES OF 2%)
- 21 NEW 4' WIDE CONCRETE VALLEY GUTTER PER DETAIL 3, SHEET 7
- 22 NEW MOUNTABLE CURB PER MAVERIK STANDARD DETAIL C-8, SHEET 7
- 23 TRANSITION CURB TO FLUSH CURB AT SIDEWALK
- 24 6" BOLLARD FOR EACH DUMPSTER
- 25 18" TALL FREE STANDING PROTECTIVE WALL PER REDIROCK DETAIL, SHEET 9
- 26 NEW ICE STORAGE
- 27 NEW PROPANE CAGES



CONTRACTOR NOTE:

ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEYS FURNISHED BY OTHERS. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEYS. CONTACT THE UTILITY OWNER/AGENCY FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION.



MAVERIK INC. STORE
LINCOLN AVE. AND DRANSFELDT RD.
PARKER, CO
SITE PLAN

EDCI
ENGINEERS
 1331 17TH STREET • SUITE 605
 DENVER, COLORADO 80202
 PHONE: (720) 439-4700
 WEBSITE: www.edci-engineers.com
 CIVIL / STRUCTURAL
© Copyright 2022. All Rights Reserved.

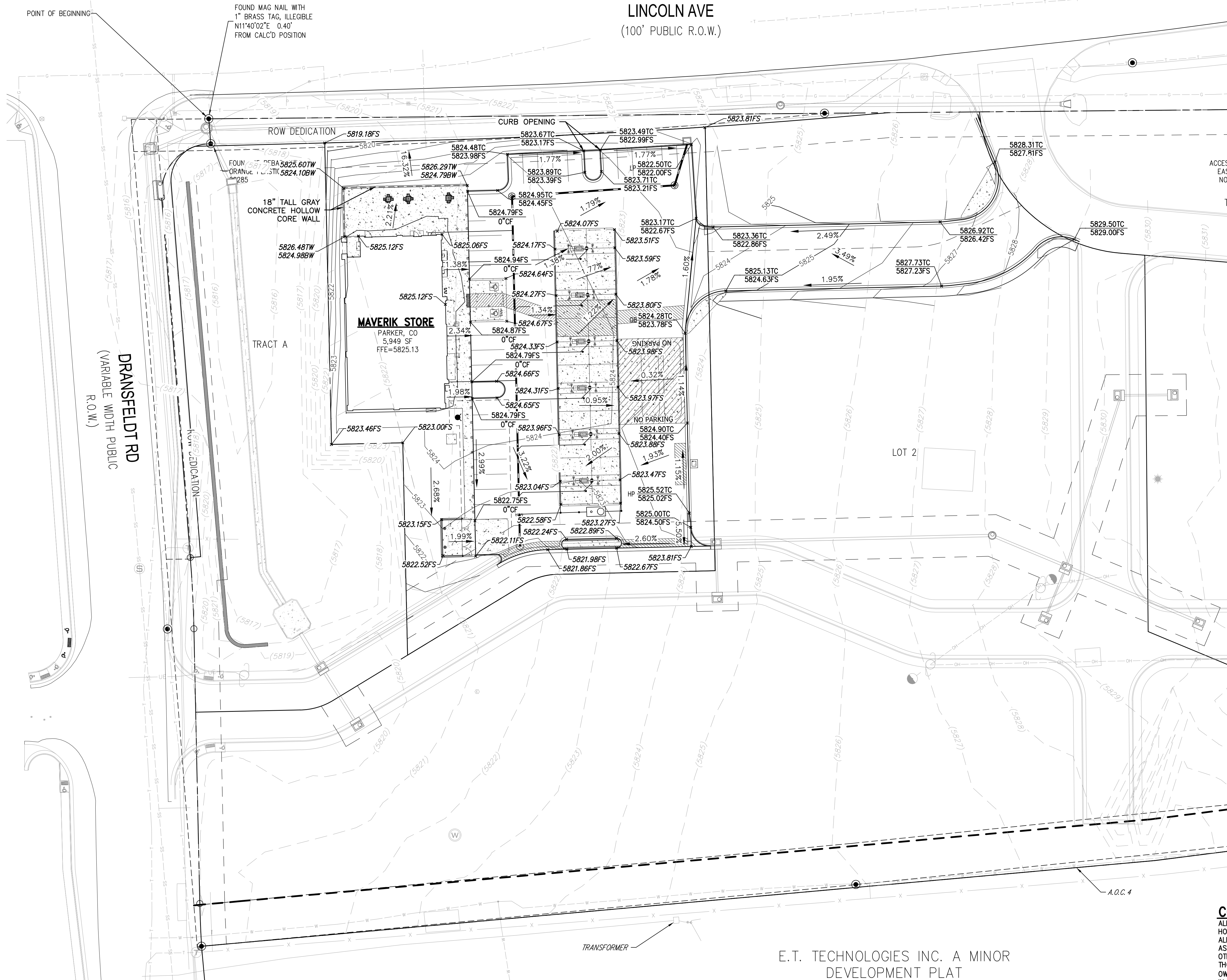
SITE PLAN

Plot Date: 2022-08-26 File Location: O:\2020-Denver\DC-Civil\Projects\2021\21-122-0001\Maverik Lincoln and Dransfeldt\21-122-0001 SITE.dwg

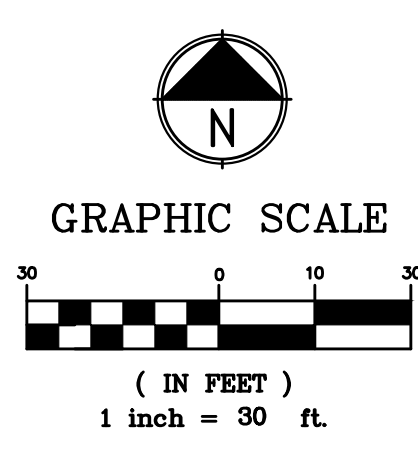
LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1 MAVERIK INC. STORE SITE PLAN

SITUATED IN THE NORTHWEST ¼ OF SECTION 15,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

LINCOLN AVE
(100' PUBLIC R.O.W.)



VERTICAL DATUM/BENCHMARK:
BENCHMARK IS THE NW CORNER SECTION 15, T6S S R66W, BEING A 3.5\"/>



CONTRACTOR NOTE:
ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE VERIFIED
HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION.
ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN
AS INDICATED ON RECORD MAPS AND SURVEYS FURNISHED BY
OTHERS. WE ASSUME NO LIABILITY FOR THE ACCURACY OF
THOSE RECORDS AND SURVEYS. CONTACT THE UTILITY
OWNER/AGENCY FOR THE FINAL LOCATION OF EXISTING UTILITIES
IN AREAS CRITICAL TO CONSTRUCTION.



PROJECT NUMBER
21-122-0001

ISSUE DATE:
March 10, 2022

REVISIONS:

No.	Date	Description
1	5-24-22	CITY REVIEW
2	7-13-22	CITY REVIEW

NOTE:
Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.

Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in the drawings, bidder should not assume the least expensive option will meet the project requirements.



MAVERIK INC. STORE
LINCOLN AVE. AND DRANSFELDT RD.
PARKER, CO
SITE PLAN

EDCI ENGINEERS
1331 17TH STREET • SUITE 605
DENVER, COLORADO 80202
PHONE: (720) 439-4700
WEBSITE: www.edci-engineers.com
CIVIL / STRUCTURAL
Copyright 2022. All Rights Reserved.

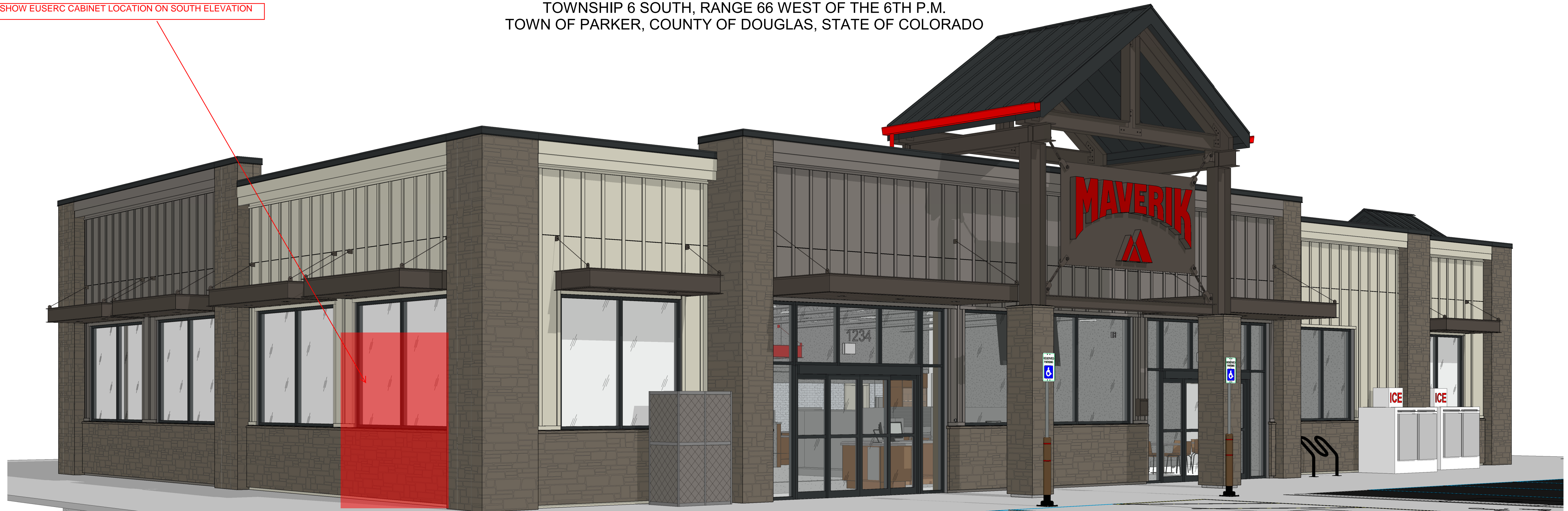
GRADING PLAN

Plot Date: 2022-08-26 File Location: O:\2020-Denver\DC-Civil\Projects\2021\122-0001\Maverik Lincoln and Dransfeldt\122-0001 SITE.dwg

**LINCOLN PROFESSIONAL PARK FILING NO. 1 LOT 1
MAVERIK INC. STORE SITE PLAN**

SITUATED IN THE NORTHWEST OF SECTION 15,
TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

SHOW EUSERC CABINET LOCATION ON SOUTH ELEVATION



2 SOUTHEAST BUILDING PERSPECTIVE
SCALE:



1 NORTHWEST BUILDING PERSPECTIVE
SCALE:

PROJECT NUMBER
21-122-0001

ISSUE DATE:
March 10, 2022

REVISIONS:

No.	Date	Description

NOTE:
Bid documents should not be separated or issued as partial sets to subcontractors. Bidders are responsible for all portions of the documents that pertain to work covered by sub-bids. Bidder assumes full responsibility for error or misinterpretations resulting from partial sets of Bidding Documents by itself or any sub-bidder.
Conflicting information or errors found in the construction documents should be brought to the attention of the architect immediately. In the event of a conflict in the drawings, bidder should not assume the least expensive option will meet the project requirements.



MAVERIK INC. STORE
PARKER, COLORADO



PERSPECTIVE VIEWS

