

April 13th, 2022

Stacey Nerger
20120 E. Mainstreet
Parker, Colorado 80138

Re: Lincoln Professional Park L1 - Maverik
2nd Submittal
T.O.P. Project #SP21-133
PWSD Project 2021-397

Dear Ms. Nerger:

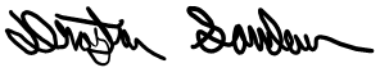
Thank you for forwarding the referral request for the above-mentioned project. After a review of the documents submitted, the Parker Water & Sanitation District has the following comments:

- Due to the addition of the fire hydrant, Submit an executed Standard Improvement Agreement with all required exhibits.
- A wet stamped and signed Engineers Estimate with a 20% contingency must be submitted for verification and District approval. The approved document will be an Exhibit for the Standard Improvement Agreement and Letter of Credit.
- Please note the Lincoln & Dransfeldt infrastructure project must have PWSD construction approval prior to approval of this project.
- All easements must be called out and shown on the plans as well as the Plat. The District requires single utility easements to be 30-foot exclusive PWSD easements and multiple utilities to be 50-foot non-exclusive PWSD easements (with 10-feet separation between any utility). ALL easements must be done by separate document (on the District's standard Easement Agreement) regardless if they are done by Plat.
 - o All PWSD fire hydrants require 20ft PWSD exclusive easements, (10ft to each side and 5ft behind the hydrant).
- There are no trees or structures, including but not limited to light poles, retaining walls and trash enclosures permitted in any Parker Water & Sanitation District easement. Any proposed or existing structures must be clearly called out on plans.
 - o PWSD will not allow any water, sanitary sewer main or fire hydrant lateral to run under a trash enclosure, please redesign.
 - o The Transformer must be 10 ft away from the fire hydrant.

- PWSD does not allow bends in fire hydrant laterals please redesign.
 - o Please consider adding an 8" water main with a 30ft exclusive easement that runs to the fire hydrant and also taping it for the 2" domestic service(see redline plans)
- Please note, Improvement agreement (SIA), Engineers cost estimate, domestic tap fees and Irrigation tap fees are required to be paid prior to plan approval.
- Easement documents with PWSD agreement signed and attached are required to be submitted prior to plan approval.
- Please note, engineering inspection/review fees are required to be paid prior to plan approval.
- Please respond to this comment letter with a response letter.

Please let us know if you have any question on the above comments. We look forward to the final submittal on this project.

Sincerely,
Parker Water & Sanitation District

A handwritten signature in black ink, appearing to read "Drayton Sanderson", written in a cursive style.

Drayton Sanderson
Engineering Technician II