



## Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

### MEMORANDUM

**TO:** Tasha Bolivar, Galloway and Company  
**FROM:** Amber Wood Hicken, Planner I  
**DATE:** 5/25/23  
**SUBJECT:** Parker and Pine F1 L1 – In-n-Out Burger, Site Plan  
Review Comments 02

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

**TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER:** Amber Wood Hicken

**EMAIL:** ahicken@parkeronline.org

**PHONE:** 303.805.3338

#### GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at:  
[Parker 2035 Master Plan](#)  
[Development Design Standards](#)  
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**
6. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKiT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not refer the application out with this naming convention.  
Example: "02" or "Second Submittal"

7. **Prairie Dog Management:** The Town’s current land development ordinance section 13.10.250 - Prairie Dog Management requires applicants/developers to make a good faith effort to have any prairie dogs on site relocated. Documentation of this effort will be a condition of the land use application approval/site development and a certificate of compliance will be required prior to issuance of the grading permit. If relocation of the prairie dogs is not available, humane extermination may be considered. Prairie Dog management should begin as early as possible during the review process. Please coordinate with staff.

**Site Plan and Project Details**

1. Please see the attached redlines for all comments.

Comment Addressed:  Yes  No

Response:

**OUTSIDE REFERRAL AGENCY COMMENTS**

The following reviews in eTRAKiT have “Advisory Comments” or “Revisions Required:”

- Fire Life Safety
- Parker water and sanitation

*Please keep an eye out in eTRAKiT for the comment to the following reviews:*

- Construction plans – civil
- Site plan – civil
- Site plan – stormwater
- Traffic impact study

These comments are available on eTRAKiT. Please address accordingly.

Comment(s) Addressed:  Yes  No

Response:

\_\_\_\_\_  
Property Owner

\_\_\_\_\_  
Date

\_\_\_\_\_  
Project Representative

\_\_\_\_\_  
Date

# CIRCLE K SITE DEVELOPMENT PLAN

~~SE CORNER OF COMMERCIAL LOT 1- PHASE II, FILING NO. 3B OF BRADBURY RANCH~~  
LOCATED IN THE NORTHEAST ¼ OF THE SOUTHEAST ¼ OF SECTION 20, TOWNSHIP 6 SOUTH,  
RANGE 66 WEST OF THE 6TH P.M.,  
TOWN OF PARKER, STATE OF COLORADO

Please change title to  
legal description -  
Auburn Hills Centre L4



Know what's below.  
Call before you dig.



2435 RESEARCH PARKWAY, SUITE 300  
COLORADO SPRINGS, CO 80920  
PHONE: (719) 575-0100  
FAX: (719) 575-0208



LAND DEVELOPMENT  
CONSULTANTS, LLC

950 S. CHERRY STREET, SUITE 512  
DENVER, CO 80246

OWNER/DEVELOPER:

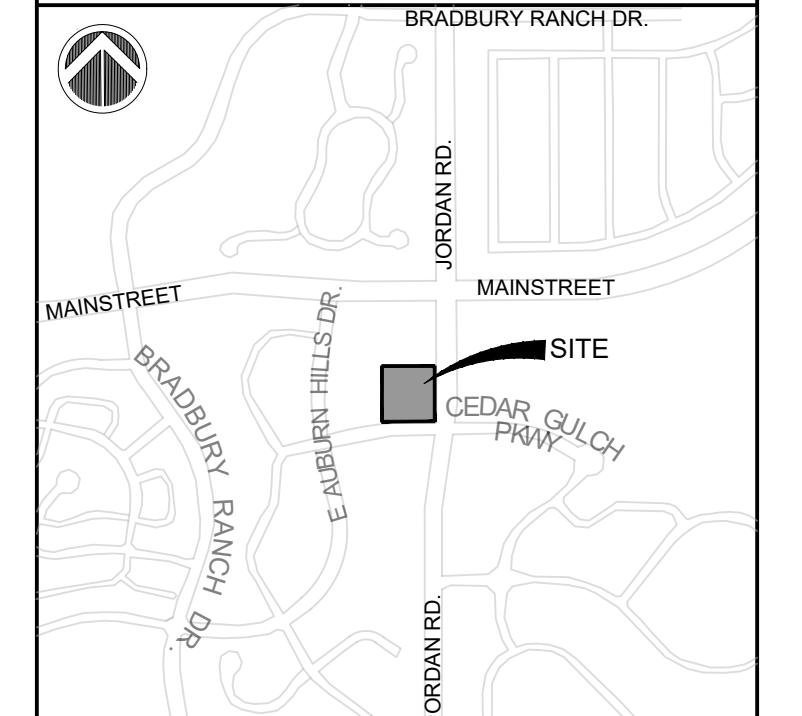


ROCKY MOUNTAINS DIVISION  
5500 S QUEBEC STREET, SUITE 100  
GREENWOOD VILLAGE, CO 80111

SEAL

FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC

VICINITY MAP: SCALE: NTS



PROJECT:

**CIRCLE K STORES INC.**

**SITE DEVELOPMENT PLAN**

MAINSTREET & JORDAN  
TOWN OF PARKER, CO

REVISION HISTORY:

| NO. | DATE | DESCRIPTION | BY |
|-----|------|-------------|----|
|     |      |             |    |
|     |      |             |    |
|     |      |             |    |
|     |      |             |    |

DRAWING INFORMATION:

PROJECT NO: 21.1207.030

DRAWN BY: KMZ

CHECKED BY: NMS

DESIGNED BY: KMZ

SHEET TITLE:

COVER SHEET

CS01

SHEET 1 OF 10

DATE: OCTOBER 2022

CIRCLE K SDP

## GENERAL COVER SHEET NOTES

- FENCES, WALLS, SIGNS AND ACCESSORY STRUCTURES ARE SUBJECT TO SEPARATE REVIEWS AND PERMITS.
- ANGLES NOT SHOWN ARE EITHER 90 DEGREES OR A SUPPLEMENT OF THE ANGLE INDICATED.
- PRIVATE ROADWAYS WILL BE POSTED WITH "FIRE LANE" SIGNS AS REQUIRED BY THE SOUTH METRO FIRE RESCUE.
- PARKING SPACES FOR PERSONS WITH DISABILITIES WILL BE CLEARLY DELINEATED WITH UPRIGHT SIGNS.
- APPROVAL FOR THIS PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH ADA REQUIREMENTS.
- SITE(S) SHALL BE LANDSCAPED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY (CO) DURING THE GROWING SEASON OF APRIL 1ST TO OCTOBER 1ST, AT ALL OTHER TIMES THE INDIVIDUAL SITES SHALL BE LANDSCAPED WITHIN 45 (FORTY-FIVE) DAYS OF THE START OF THE FOLLOWING GROWING SEASON.
- AN ACCESS EASEMENT FOR EMERGENCY SERVICES IS HEREBY GRANTED ON AND ACROSS ALL AREAS FOR POLICE, FIRE, MEDICAL AND OTHER EMERGENCY VEHICLES AND FOR THE PROVISION OF EMERGENCY SERVICES.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. TREES, SHRUBS, AND DECORATIVE GRASSES WILL BE IRRIGATED BY A SEPARATE ZONE FROM SOD/GRASS; THIS INCLUDES TREES PLANTED IN SOD/GRASS AREA. THE IRRIGATION SYSTEM IS TO HAVE A RAIN SENSOR SHUTOFF INSTALLED.
- PRIVATE ROADWAYS ARE NON-DEDICATED STREETS AND WILL NOT BE MAINTAINED BY THE TOWN OF PARKER.

## NOTES

- SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS, AND PRECISE BUILDING DIMENSIONS

## BEARING

BEARINGS: BASED ON THE NORTH LINE OF THE SOUTHEAST ¼ OF SECTION 20 ASSUMED TO BEAR N89°25'39"E BETWEEN MONUMENTS FOUND AND DESCRIBED ON THE ALTA/NSPS LAND TITLE SURVEY BY RUBINO SURVEYING DATED 06/08/2020

## NOTICE TO BIDDERS

ALL QUESTIONS REGARDING THE PREPARATION OF THE GENERAL CONTRACTOR'S BID SHALL BE DIRECTED TO THE OWNER'S CONSTRUCTION DEPARTMENT AT (602) 850-8101. SUBCONTRACTORS MUST DIRECT THEIR QUESTIONS THROUGH THE GENERAL CONTRACTOR. THE CONSULTING ARCHITECT AND/OR THE CONSULTING ENGINEER SHALL NOT BE CONTACTED DIRECTLY WITHOUT PRIOR AUTHORIZATION FROM THE OWNER/DEVELOPER

## FLOOD ZONE INFORMATION

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) RATE MAP COMMUNITY PANEL NO. 08035C0068G, DATED MARCH 16, 2016, THIS PROPERTY IS IN FLOOD HAZARD ZONE X "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN"

## LEGAL DESCRIPTION

A PORTION OF THAT PARCEL OF LAND KNOWN AS BRADBURY RANCH COMMERCIAL LOT 1 AND A PORTION OF THAT RIGHT-OF-WAY DESCRIBED AS PARCEL IV IN SPECIAL WARRANTY DEED RECORDED ON OCTOBER 14, 1987 IN BOOK 755, PAGE 617 OF THE RECORDS OF DOUGLAS COUNTY, BEING SITUATE IN THE SOUTHEAST QUARTER (SE1/4) OF SECTION TWENTY (20), TOWNSHIP SIX SOUTH (T.6S.), RANGE SIXTY-SIX WEST (R.66W.) OF THE SIXTH PRINCIPAL MERIDIAN (6TH P.M.), TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST QUARTER CORNER OF SAID SECTION 20 AND ASSUMING THE EAST LINE OF SAID SE 1/4 AS BEARING SOUTH 00°21'15" EAST, BEING A GRID BEARING OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983, WITH ALL OTHER BEARINGS CONTAINED HEREIN BEING RELATIVE THERETO,

THE LINEAL DIMENSIONS AS CONTAINED HEREIN ARE BASED UPON THE "U.S. SURVEY FOOT."

THENCE SOUTH 00°21'15" EAST A DISTANCE OF 70.00 FEET TO THE SOUTH LINE OF BRADBURY RANCH SUBDIVISION FILING NO. 2K RECORDED OCTOBER 1, 1997 AT RECEPTION NO. 9754676 OF THE RECORDS OF DOUGLAS COUNTY;  
THENCE SOUTH 88°58'38" WEST ALONG SAID SOUTH LINE A DISTANCE OF 94.78 FEET; THENCE SOUTH 45°37'01" EAST A DISTANCE OF 43.32 FEET;  
THENCE SOUTH 00°21'15" EAST A DISTANCE OF 187.00 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING SOUTH 00°21'15" EAST A DISTANCE OF 108.63 FEET;  
THENCE SOUTH 00°05'09" EAST A DISTANCE OF 34.05 FEET TO A POINT ON A CURVE (POC); THENCE ALONG THE ARC OF A CURVE CONCAVE TO THE WEST AND BEING NON-TANGENT TO THE AFORESAID LINE A DISTANCE OF 96.74 FEET; SAID CURVE HAS A RADIUS OF 898.98 FEET, A DELTA OF 6°09'57", AND IS SUBTENDED BY A CHORD BEARING SOUTH 01°58'23" WEST A DISTANCE OF 96.70 FEET;

THENCE SOUTH 48°27'30" WEST NON-TANGENT FROM THE AFORESAID CURVE A DISTANCE OF 55.70 FEET TO THE NORTH RIGHT-OF-WAY LINE OF EAST AUBURN HILLS PLACE PER BRADBURY RANCH SUBDIVISION FILING NO. 3B RECORDED JULY 5, 2000 AT RECEPTION NO. 00046286 OF THE RECORDS OF DOUGLAS COUNTY AND TO A POC;

THENCE ALONG SAID NORTH RIGHT-OF-WAY LINE AND ALONG THE ARC OF A CURVE CONCAVE TO THE SOUTH AND BEING NON-TANGENT TO THE AFORESAID LINE A DISTANCE OF 207.70 FEET; SAID CURVE HAS A RADIUS OF 1537.50 FEET, A DELTA OF 07°44'25", AND IS SUBTENDED BY A CHORD BEARING SOUTH 85°28'16" WEST A DISTANCE OF 207.54 FEET;

THENCE NORTH 00°21'15" WEST A DISTANCE OF 233.96 FEET; THENCE NORTH 10°22'55" EAST A DISTANCE OF 58.14 FEET;

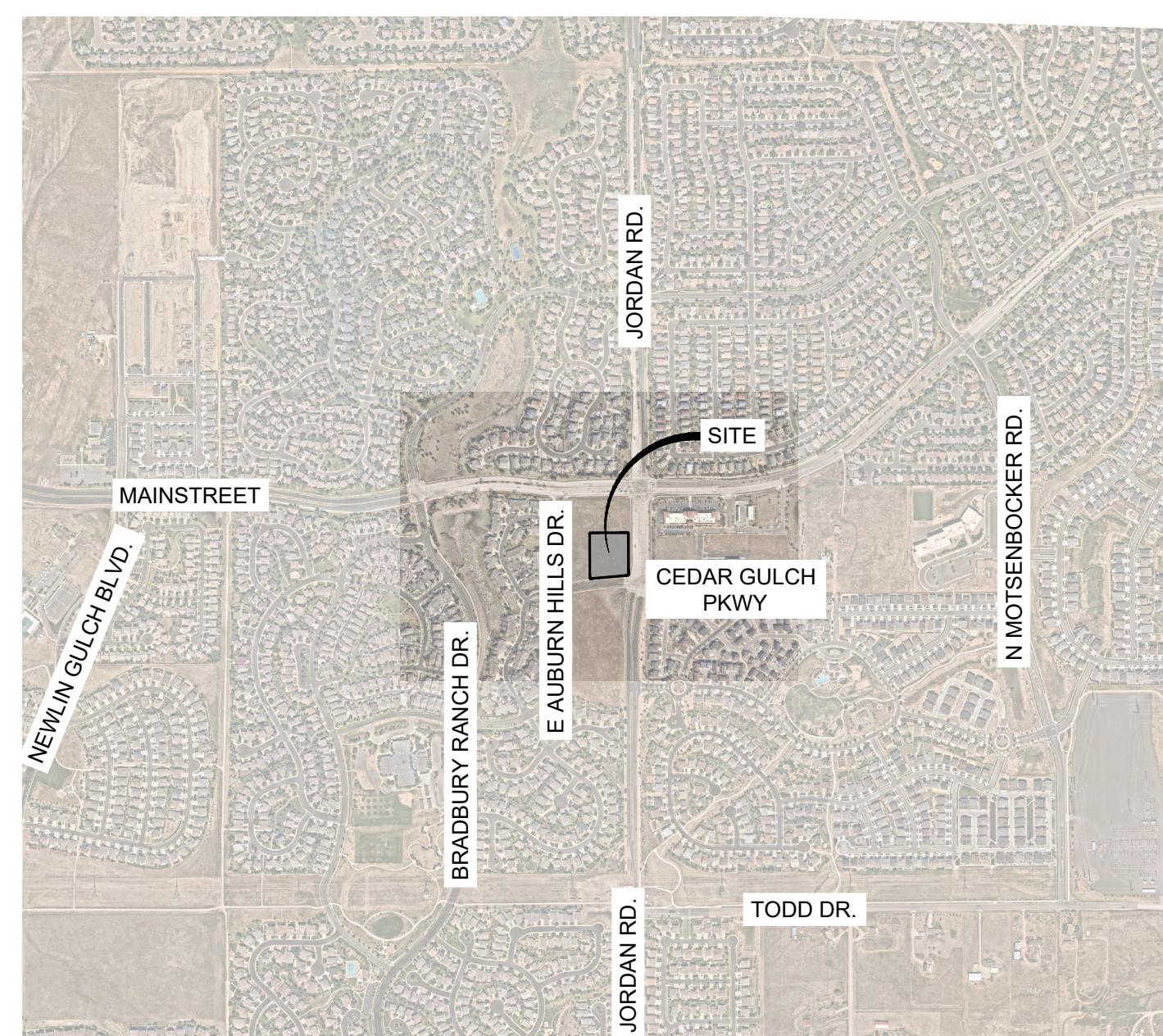
THENCE NORTH 89°38'45" EAST A DISTANCE OF 242.16 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 1.597 ACRES OR 69,547 SQ. FT. MORE OR LESS (+/-), AND IS SUBJECT TO ANY RIGHTS- OF-WAY OR OTHER EASEMENTS OF RECORD AS NOW EXISTING ON SAID DESCRIBED PARCEL OF LAND.

| SHEET INDEX                  |              |
|------------------------------|--------------|
| SHEET DESCRIPTION            | SHEET NUMBER |
| COVER SHEET                  | 1            |
| SITE PLAN                    | 2            |
| LANDSCAPE PLAN               | 3            |
| LANDSCAPE DETAILS            | 4            |
| BUILDING EXTERIOR ELEVATIONS | 5            |
| FUEL CANOPY ELEVATIONS       | 6            |
| PHOTOMETRIC PLAN             | 7            |
| LIGHTING FIXTURES            | 8            |
| SITE DETAILS                 | 9            |
| SITE DETAILS                 | 10           |

| ZONING  | PD-BRADBURY RANCH PA-7            |                      |
|---|-----------------------------------|----------------------|
| PROPOSED USE  | CONVENIENCE SERVICE ESTABLISHMENT |                      |
| NUMBER OF BUILDINGS                                     | 1                                 |                      |
| GENERAL ZONE LOT INFORMATION                            | SQ. FT.                           | ACRES                |
| ZONE LOT SIZE   | 69,547                            | 1.597                |
| GROSS FLOOR AREA  | 5,200                             |                      |
| FLOOR AREA RATIO  | MAXIMUM: 0.25                     | PROVIDED: 0.07       |
| MAX HEIGHT OF STRUCTURES PER ZONING                     | 45' MAX                           |                      |
| MAX BUILDING HEIGHT PROVIDED                            | 28'-8"                            |                      |
| MAX CANOPY HEIGHT PROVIDED                              | 27'-10"                           |                      |
|   | MINIMUM / MAXIMUM                 | PROVIDED             |
| GROUND COVERAGE BY ALL PRIMARY AND ACCESSORY STRUCTURES | 50% / 34,773 S.F. MAX             | 14.10% / 9,808 S.F.  |
| GROUND COVERAGE BY ALL LANDSCAPING                      | 20% / 13,909 S.F. MIN             | 28.96% / 20,139 S.F. |
| PARKING   | REQUIRED                          | PROVIDED             |
| STANDARD SPACES (1 PER 250 S.F. NLA) (NLA=5200 S.F.)    | 21                                | 21                   |
| FUEL STATION SPACES                                     | 0                                 | 14                   |
| COMPACT SPACES  | 0                                 | 0                    |
| ACCESSIBLE  | 1 (VAN)                           | 1                    |
| TOTAL PARKING SPACES PROVIDED                           | 35                                |                      |
| BICYCLE SPACES  | 2                                 | 2                    |
| LOADING SPACES  | 0                                 | 0                    |
| BUILDING SETBACKS                                       | REQUIRED                          | PROVIDED             |
| JORDAN ROAD (FRONT)                                     | 25'                               | 25'                  |
| CEDAR GULCH PARKWAY (SIDE)                              | 15'                               | 15'                  |

LDO only requires  
15% landscaping



VICINITY MAP  
1" = 1000'

APPROVAL STAMP:



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CONSULTANTS:

**Matrix**  
Excellence by Design

2435 RESEARCH PARKWAY, SUITE 300  
COLORADO SPRINGS, CO 80920  
PHONE: (719) 575-0100  
FAX: (719) 575-0208

**LAND DEVELOPMENT**  
CONSULTANTS, LLC

950 S. CHERRY STREET, SUITE 512  
DENVER, CO 80246

OWNER/DEVELOPER:

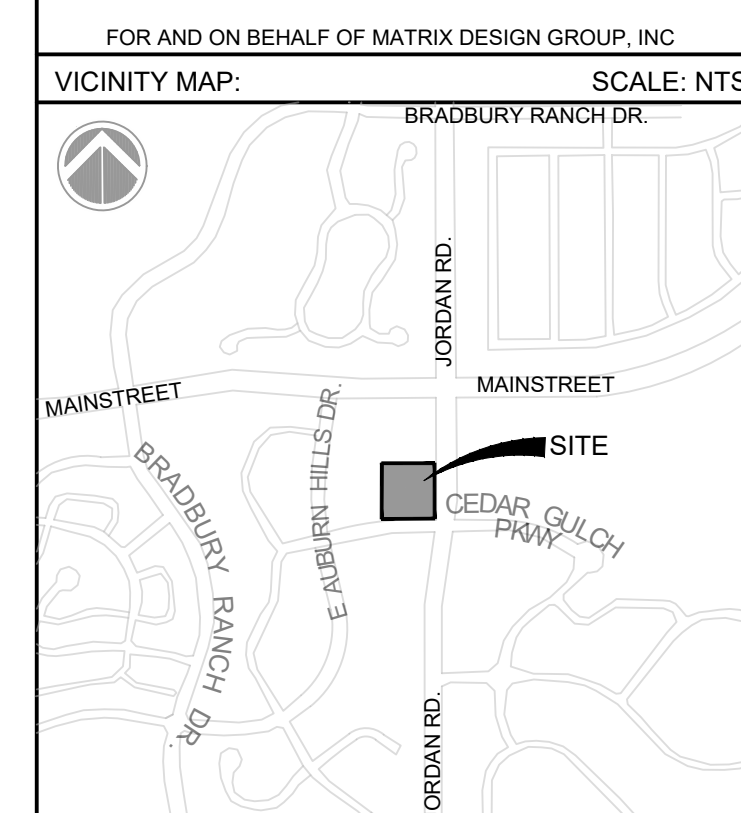
**CIRCLE K**

ROCKY MOUNTAINS DIVISION  
5500 S QUEBEC STREET, SUITE 100  
GREENWOOD VILLAGE, CO 80111

SEAL

FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC

VICINITY MAP: SCALE: NTS



PROJECT:  
**CIRCLE K STORES INC.**

**SITE DEVELOPMENT PLAN**

MAINSTREET & JORDAN  
TOWN OF PARKER, CO

REVISION HISTORY:

| NO. | DATE | DESCRIPTION | BY |
|-----|------|-------------|----|
|     |      |             |    |
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DRAWING INFORMATION:

PROJECT NO: 21.1207.030  
DRAWN BY: KMZ  
CHECKED BY: NMS  
DESIGNED BY: KMZ

SHEET TITLE:  
**SITE PLAN**

**SP01**  
**SHEET 2 OF 10**

DATE: OCTOBER 2022

### SITE NOTES

- 01 LANDSCAPE AREA (PER LANDSCAPE PLANS)
- 02 TRANSFORMER PAD (PER ELEC CO AND / OR ARCH PLANS)
- 03 TRASH ENCLOSURE (PER ARCH PLANS)
- 04 FUEL CANOPY 192' x 24' SG-7 (TYP PER ARCH PLANS)
- 05 FUEL PUMPS (PER ARCH PLANS)
- 06 PROPERTY MONUMENT SIGN (BY OTHERS)
- 07 PROPOSED SIGN (PER ARCH PLANS)
- 08 UNDERGROUND FUEL TANKS (PER ARCH PLANS)
- 09 AIR UNIT (PER ARCH PLANS)
- 10 VAN ACCESSIBLE PARKING STALL, ISA SYMBOL AND SIGNAGE (PER ARCH PLANS)
- 11 PIPE BOLLARDS (PER ARCH PLANS)
- 12 CONVENIENCE STORE (5,200 SF)(SEE ARCHITECTURAL PLANS)
- 13 PROPOSED LIGHT POLE (PER ARCH PLANS)
- 14 ADA ACCESSIBLE RAMP (BY OTHERS)
- 15 BIKE RACK WITH 2 SPACES (PER ARCH PLANS)
- 16 CO2 ENCLOSURE (PER ARCH PLANS)
- 17 DIRECTIONAL ARROW PAVEMENT MARKING
- 18 2' CONCRETE GUTTER PAN
- 19 TABLES
- 20 VENT PIPES (PER ARCH PLANS)
- 21 METERED DOMESTIC WATER SERVICE ENTRY (PER ARCH PLANS)
- 22 SANITARY SERVICE ENTRY (PER ARCH PLANS)
- 23 GREASE INTERCEPTOR (PER ARCH PLANS)
- 24 CONNECT TO EXISTING WATER MAIN
- 25 CONNECT TO EXISTING SANITARY MAIN
- 26 FIRE SPRINKLER CONTROL VALVE ROOM
- 27 CONNECT UNDERGROUND FIRE LINE TO EXISTING WATER MAIN
- 28 DECORATIVE KNEE WALL (2.5'-3' HEIGHT)

Add a note stating this sign will not be approved as part of this site plan process

Please provide detail sheet - colors, materials

Need sidewalk connection to existing detached sidewalks on Jordan Rd, Main street, Cedar Gulch

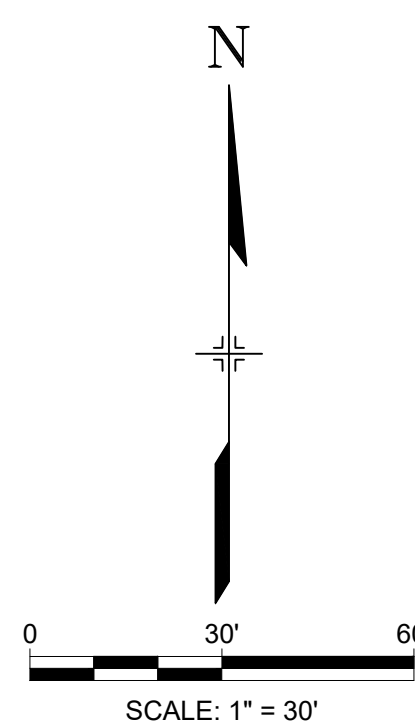
How wide is this sidewalk?

### LEGEND

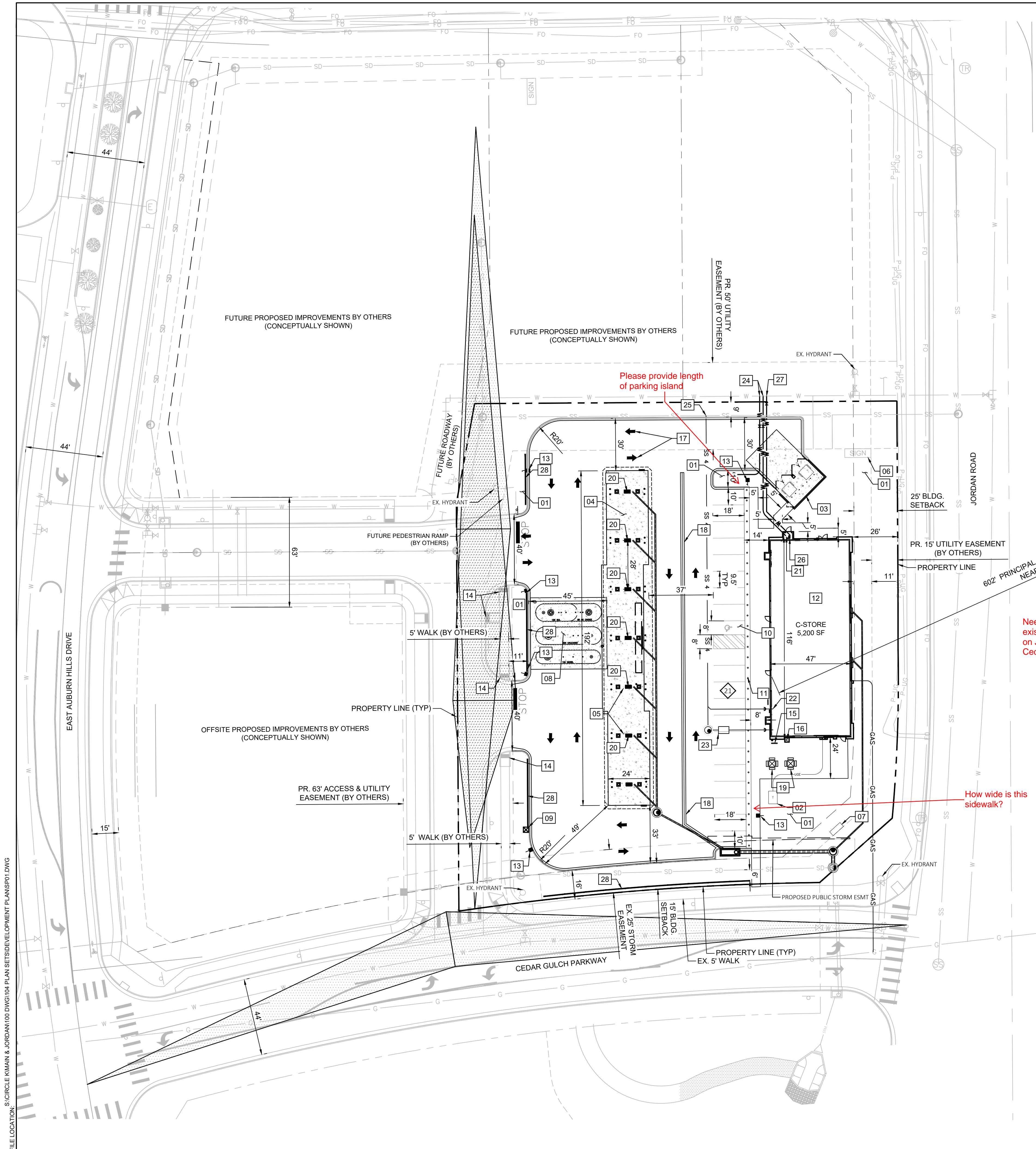
- PROPERTY LINE
- ==== CATCH CONCRETE CURB & GUTTER
- ==== SPILL CONCRETE CURB & GUTTER
- ==== EXISTING CURB & GUTTER
- ▲ AASHTO DEPARTURE SIGHT TRIANGLE
- # PARKING COUNT

### SITE TRIANGLE NOTES:

- CORNER SIGHT DISTANCE MEASURED FROM A POINT ON THE MINOR STREET AT "D" OF 15 FEET BACK FROM THE EDGE OF THE MAJOR STREET PAVEMENT (FLOWLINE) AND MEASURED FROM HEIGHT OF EYE AT 3.5' ON THE MINOR STREET TO A HEIGHT OF OBJECT AT 3.5' ON THE MAJOR STREET.
- AT LOCAL-LOCAL STREET INTERSECTIONS ONLY, THE "D" DISTANCE SHALL BE 10'.
- INTERSECTION SIGHT DISTANCE ANALYSIS SHALL ACCOUNT FOR COMBINED HORIZONTAL AND VERTICAL ALIGNMENTS.
- WITHIN THE INTERSECTION SIGHT DISTANCE TRIANGLE, LIMITED LANDSCAPING SHALL BE ALLOWED BUT NO SOLID STRUCTURES. SOLID STRUCTURES SHALL INCLUDE, BUT NOT BE LIMITED TO, FENCES, UTILITY BOXES AND TREE TRUNKS. SHRUBS AND PLANTING WILL BE NO TALLER THAN 2 FEET AND TREE CANOPIES WILL BE NO LOWER THAN 8 FEET. LANDSCAPING WITHIN THIS AREA WILL BE MAINTAINED BY THE LANDOWNER OR HOMEOWNERS ASSOCIATION.



APPROVAL STAMP:



FILE LOCATION: S:\CIRCLE K\MAIN & JORDAN\100 DWG\104 PLAN SETS\DEVELOPMENT PLANS\01.DWG



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Call before you dig.



2435 RESEARCH PARKWAY, SUITE 300  
COLORADO SPRINGS, CO 80920  
PHONE: (719) 575-0100  
FAX: (719) 575-0208



950 S. CHERRY STREET, SUITE 512  
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OWNER/DEVELOPER:

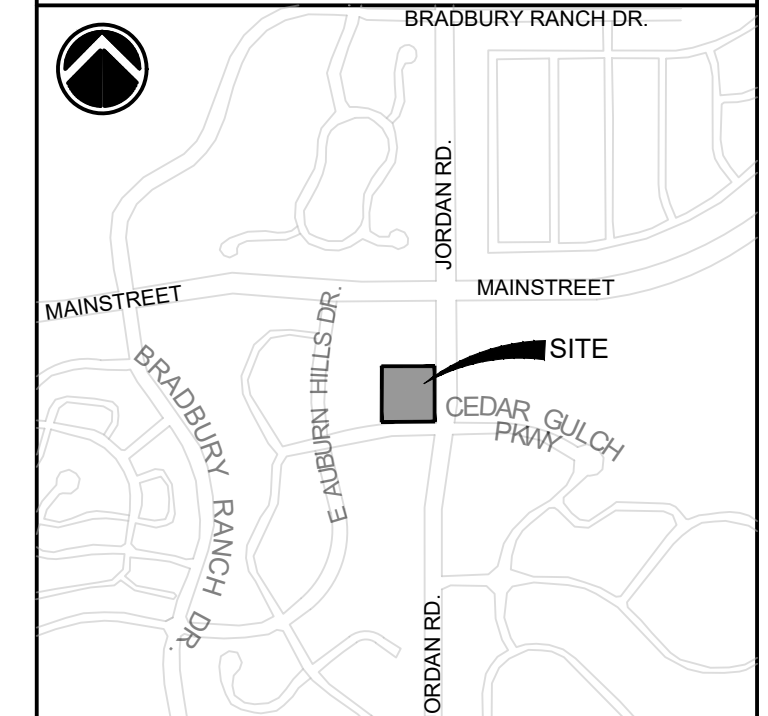


ROCKY MOUNTAINS DIVISION  
5500 S. QUEBEC STREET, SUITE 100  
GREENWOOD VILLAGE, CO 80111

SEAL

FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC

VICINITY MAP: SCALE: NTS



PROJECT:

**CIRCLE K STORES INC.**

**SITE DEVELOPMENT PLAN**

**MAINSTREET & JORDAN  
TOWN OF PARKER, CO**

REVISION HISTORY:

| NO. | DATE | DESCRIPTION | BY |
|-----|------|-------------|----|
| ##  | ##   | ##          | ## |
| ##  | ##   | ##          | ## |
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| ##  | ##   | ##          | ## |
| ##  | ##   | ##          | ## |
| ##  | ##   | ##          | ## |

DRAWING INFORMATION:

PROJECT NO: 21.1207.030

DRAWN BY: KMM

CHECKED BY: JRA

DESIGNED BY: KMM

SHEET TITLE:

**LANDSCAPE PLAN**

**LS01**

**SHEET 3 OF 10**

DATE: OCTOBER 2022

CIRCLE K SDP

**LANDSCAPE REQUIREMENTS**

**SITE DATA:**  
 AREA OF PARCEL: 69,547 SF  
 APPLICABLE INTERNAL AREA: 60,801  
 (SANS BLDG (5,200 SF) AND REQ PRK (3,546))  
 EAST BOUNDARY: 267 LF  
 SOUTH BOUNDARY: 235 LF  
 NORTH BOUNDARY: 242  
 WEST BOUNDARY: 292  
 PARKING: 23 SPACES

Add calculations for streetscape - need to be included as part of this site plan

| LANDSCAPE AREA                 | REQ.      | PROV.             |
|--------------------------------|-----------|-------------------|
| LANDSCAPE AREA (15% SITE AREA) | 10,432 SF | 16,291 SF (23.4%) |

| REQUIRED TREES                              | REQ. | PROV. |
|---|------|-------|
| SITE PERIMETER:                             |      |       |
| EAST BOUNDARY (1 PER 40 LF)-JR              | 7    | 7     |
| SOUTH BOUNDARY (1 PER 40 LF)-CG             | 6    | 4**   |
| NORTH BOUNDARY (1 PER 40 LF)-NB             | 7    | 5**   |
| WEST BOUNDARY (1 PER 40 LF)-WB              | 8    | 8     |
| SUBTOTAL                                    | 28   | 23    |
| MINIMUM TREES REQUIRED (1 PER 1,500 SF)     | 41   | **    |
| ADDITIONAL TO MEET MIN. (1 PER 1,500 SF)-IN | 13   | 13    |
| TOTAL TREES                                 | 41   | 36**  |

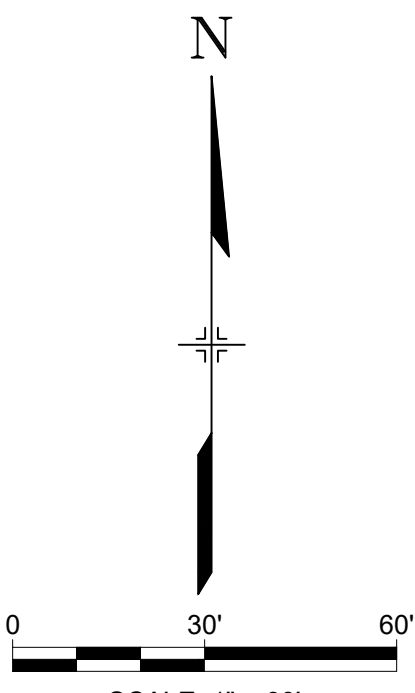
| REQUIRED EVERGREEN TREES   | REQ. | PROV. |
|----------------------------|------|-------|
| SITE PERIMETER:            |      |       |
| EAST BOUNDARY (40-60%)-JR  | 3-4  | 3     |
| SOUTH BOUNDARY (40-60%)-CG | 3    | 0**   |
| NORTH BOUNDARY (40-60%)-NB | 3-4  | 3     |
| WEST BOUNDARY (40-60%)-WB  | 4-5  | 4     |
| TOTAL (25-50%)-IN          | 9-18 | 18    |

| REQUIRED SHRUBS                          | REQ. | PROV. |
|--|------|-------|
| SITE PERIMETER:                          |      |       |
| EAST BOUNDARY (1 PER 40 LF)              | 34   | 34    |
| SOUTH BOUNDARY (1 PER 40 LF)             | 30   | 30    |
| NORTH BOUNDARY (1 PER 40 LF)             | 31   | 31    |
| WEST BOUNDARY (1 PER 40 LF)              | 37   | 37    |
| SUBTOTAL                                 | 132  | 132   |
| MINIMUM SHRUBS REQUIRED (5 PER 1,500 SF) | 203  | 203   |
| ADDITIONAL TO MEET MIN. (5 PER 1,500 SF) | 71   | 71    |
| SHRUB SUBSTITUTION (10 PER TREE)         | 50   | 50    |
| TOTAL SHRUBS                             | 253  | 253   |

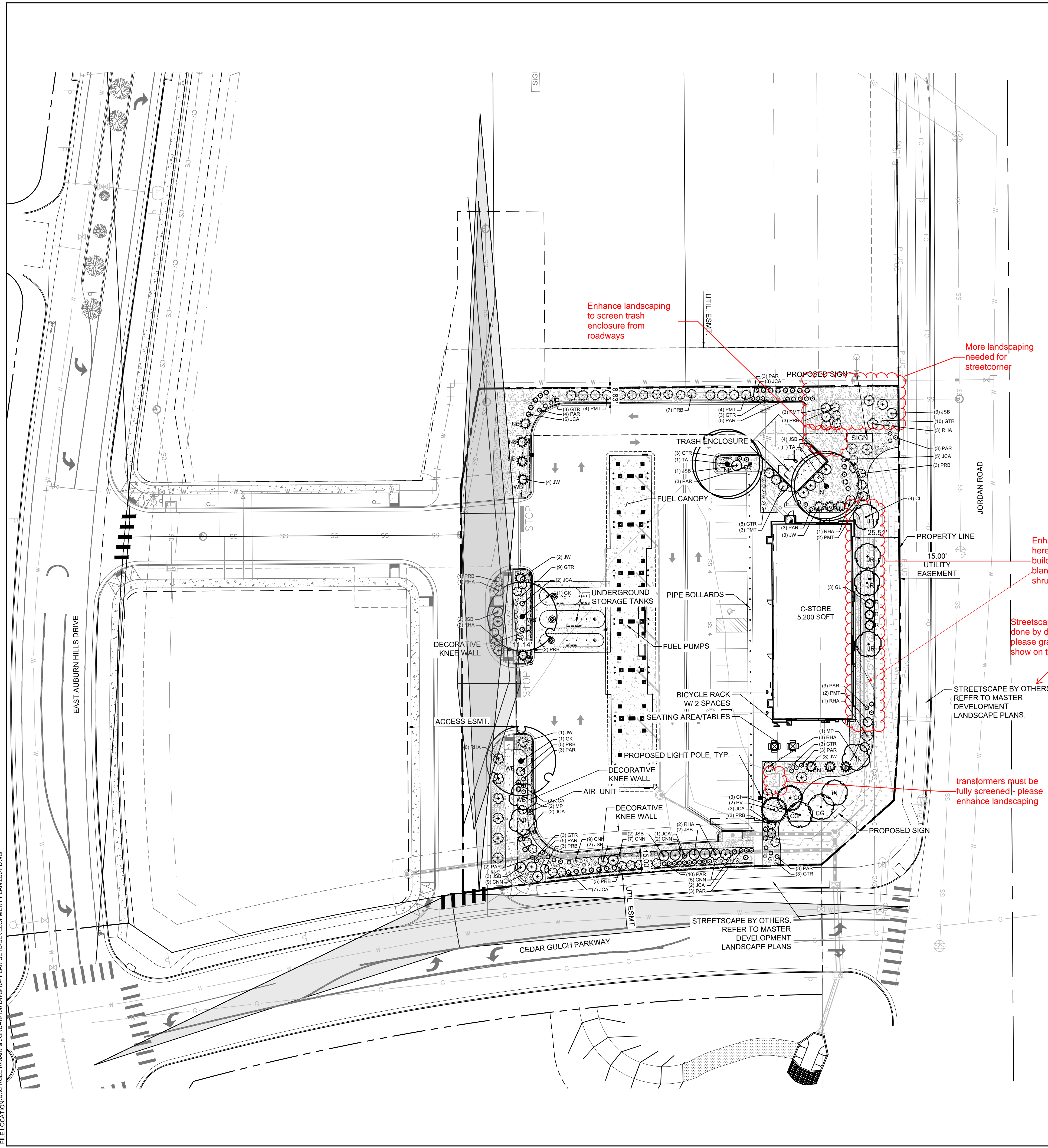
\*\* REQUIREMENT PROVIDED OUTSIDE OF UTILITY EASEMENT OR SUBSTITUTED WITH SHRUBS (10 SHRUBS PER 1 TREE)

**LEGEND**

- NATIVE SEED-LOW  
MIX NAME: TOWN OF PARKER SEED MIX 2  
REFER TO TOWN OF PARKER CONSTRUCTION SPECIFICATION AND DESIGN CONSIDERATIONS FOR PARKS, TRAILS, AND STREETSAPES MANUAL OR APPROVED EQUAL  
5,199 SF
- 3/4" ROCK  
TYPE:  
3/4" CHEYENNE GREY  
SUPPLIER: PIONEER  
DEPTH: 3" MINIMUM  
OR APPROVED EQUAL  
10,865 SF
- 2-4" COBBLE  
TYPE:  
2-4" HORIZON COBBLESTONE  
SUPPLIER: PIONEER  
DEPTH: 3-4" MINIMUM  
OR APPROVED EQUAL  
2,410 SF
- AASHTO DEPARTURE SIGHT TRIANGLE



APPROVAL STAMP:



Enhance landscaping to screen trash enclosure from roadways

More landscaping needed for streetscoper

Enhance landscaping here to screen back of building - especially in blank area without shrubs / trees

Streetscape will be done by developer, but please gray back and show on this plan

transformers must be fully screened - please enhance landscaping

FILE LOCATION: S:\CIRCLE KWARK & JORDAN\100 DWG\104 PLAN SETS\DEVELOPMENT PLAN\LS01.DWG

**ENTITLEMENT NOTES**

- NO SUBSTANTIAL CHANGE FROM THE APPROVED LANDSCAPE PLAN MAY OCCUR WITHOUT PRIOR REVIEW OF THE PARKER WATER AND SANITATION DISTRICT, WHICH MAY REQUIRE ADDITIONAL IRRIGATION TAPS FOR CHANGES DUE TO MORE WATER INTENSIVE LANDSCAPING.
- WITHIN THE INTERSECTION SIGHT DISTANCE TRIANGLE, LIMITED LANDSCAPING SHALL BE ALLOWED BUT NO SOLID STRUCTURES. SOLID STRUCTURES SHALL INCLUDE, BUT NOT BE LIMITED TO, FENCES, UTILITY BOXES AND TREE TRUNKS. SHRUBS AND PLANTING WILL BE NO TALLER THAN 2 FEET AND TREE CANOPIES WILL BE NO LOWER THAN 8 FEET. LANDSCAPING WITHIN THIS AREA WILL BE MAINTAINED BY THE LANDOWNER OR HOMEOWNERS ASSOCIATION.

**SOIL AMENDMENT NOTES**

- PER SOIL TEST RESULT, THE SITE CONSISTS OF CLAY LOAM SOILS.
- CONTRACTOR TO APPLY TO ALL AREAS 3 CY 1,000 SF ORGANIC MATTER COMPOST OR AS RECOMMENDED BY LOCAL JURISDICTION. TILL INTO TOP 6-8" OF SOIL. COMPOST TO CONSIST OF 1-YEAR OLD ORGANIC MATERIAL AND SHALL NOT INCLUDE CHICKEN MANURE.
- CONTRACTOR IS TO APPLY FERTILIZERS AS RECOMMENDED BY A SOILS ANALYSIS.

**GENERAL NOTES**

- CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL PROPOSED LANDSCAPING IS INSTALLED IN ACCORDANCE WITH PLANS, DETAILS, SPECIFICATIONS (IF APPLICABLE) AND ALL LOCAL CODES AND REQUIREMENTS.
- CONTRACTOR TO INSPECT SITE AND VERIFY CONDITIONS AND DIMENSIONING PRIOR TO PROCEEDING WITH WORK DESCRIBED HERE IN. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING ANY CONSTRUCTION.
- QUANTITIES PROVIDED IN THE PLANT LIST ARE FOR GENERAL USE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL PLANT AND LANDSCAPE MATERIAL QUANTITIES. SYMBOL COUNT ON PLAN TAKES PRECEDENCE OVER TABLE QUANTITIES.
- IMMEDIATELY AFTER AWARD OF CONTRACT, NOTIFY THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT OF UNAVAILABILITY OF SPECIFIED PLANT MATERIAL FROM COMMERCIAL NURSERIES. THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT WILL PROVIDE ALTERNATE PLANT MATERIAL SELECTIONS IF UNAVAILABILITY OCCURS. SUCH CHANGES SHALL NOT ALTER THE ORIGINAL BID PRICE UNLESS A CREDIT IS DUE TO THE OWNER.
- ALL PLANT MATERIALS TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
- CONTAINER GROWN STOCK SHOULD HAVE GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER.
- ANY PLANT SUBSTITUTIONS, RELOCATION, OR REQUIRED CHANGE SHALL REQUIRE THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER.
- THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT RESERVE THE RIGHT TO REFUSE ANY MATERIAL THEY DEEM UNACCEPTABLE.
- COORDINATE WITH PROJECT REPRESENTATIVE FOR DISTURBED SITE TREATMENTS OUTSIDE LANDSCAPE IMPROVEMENTS. SEE CIVIL PLANS FOR SOIL STABILIZATION FOR EROSION CONTROL.
- IF REQUIRED, CONTRACTOR TO ENSURE THAT AN AUTOMATED IRRIGATION SYSTEM THAT PROVIDES COMPLETE COVERAGE OF THE SITE IS INSTALLED PRIOR TO INSTALLING TREES/PALMS (SEE IRRIGATION PLAN SHEET IF PROVIDED). IF NO PLAN IS PROVIDED THE CONTRACTOR SHALL SUBMIT A PROPOSED DESIGN TO THE LANDSCAPE ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO INSTALLATION. THE PROPOSED DESIGN MUST HAVE AN APPROVED BACKFLOW DEVICE AND RAIN SENSOR INSTALLED TO STOP IRRIGATION DURING RAIN EVENTS. CONTRACTOR SHALL ENSURE THAT THERE IS POSITIVE DRAINAGE AND NO PONDING OF WATER AT ROOT AREA.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION AT NO COST TO THE OWNER.
- WEED BARRIER FABRIC IS REQUIRED UNDER ALL ROCK MULCH AND COBBLE AS SPECIFIED.
- SOLID STEEL EDGING WITH ROLLED TOP TO BE INSTALLED BETWEEN ALL ROCK MULCH, WOOD MULCH, COBBLE, AND SOD/NATIVE SEED. STEEL EDGING SHALL NOT BE INSTALLED BETWEEN SOD AND NATIVE AREAS.
- ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
- IF A SWPPP PLAN IS PROVIDED THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN, AS NEEDED, TO MAXIMIZE THE EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE.
- ALL DISTURBED AREAS AS DESIGNATED ON THE GRADING PLAN SHALL COVERED PER PLAN.
- ALL PLANT MATERIAL IN TREE HOLDING AREAS SHALL BE MANUALLY WATERED/IRRIGATED TO KEEP MOIST UNTIL PLANTED.

**PLANT GUARANTEE, REPLACEMENT AND MAINTENANCE NOTES**

- GUARANTEE:**  
ACCEPTANCE OF GRADING SHALL BE BY LANDSCAPE ARCHITECT AND/OR OWNER. THE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, RESEEDING AND OTHER OPERATIONS NECESSARY TO KEEP ALL LAWN AREAS IN A THRIVING CONDITION. UPON FINAL ACCEPTANCE, OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES.
- REPLACEMENT:**  
ANY PLANT UNDER THIS SPEC WHICH IS DEAD, MISSING, UNHEALTHY, OR OTHERWISE NOT ACCEPTABLE AND NOT IN SATISFACTORY GROWING CONDITION DURING CONSTRUCTION MAINTENANCE PERIOD, OR AT THE END OF THE GUARANTEE PERIOD, SHALL BE REMOVED FROM SITE AND REPLACED WITH SUITABLE, ACCEPTABLE PLANT AS SPECIFIED, WITHIN FIVE (5) DAYS.
- MAINTENANCE:**  
GENERAL CONTRACTOR SHALL PROVIDE ONE YEAR OF LANDSCAPE MAINTENANCE, FROM THE TIME THE PROJECT RECEIVES THE CERTIFICATE OF OCCUPANCY AND THEREAFTER, FOR ALL NEW LANDSCAPE. IF EXISTING LANDSCAPE EXISTS ON-SITE, GENERAL CONTRACTOR IS TO PROVIDE THE OPTION OF MAINTENANCE FOR THE OWNER'S REVIEW.

**HERBICIDES NOTES**

- APPLICATION OF HERBICIDES SHALL BE IN COMPLIANCE WITH STATE PESTICIDES REGULATIONS. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO CONSULT WITH THE REGULATORY AGENCIES FOR LOCAL HERBICIDES APPLICATION REQUIREMENTS.
- IF THERE IS A DISCREPANCY BETWEEN STATE REGULATIONS AND ADDITIONAL REQUIREMENTS BELOW, MOST STRINGENT SHALL RULE.
- NO AERIAL APPLICATION OF HERBICIDES IS PERMITTED ON SITE.
- CARCINOGENS AND EPA TOXIC CATEGORY I AND II ARE PROHIBITED TO USE ON SITE.

**PLANTING NOTES**

- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING ALL PLANTED AREAS. ALL DELETERIOUS MATERIALS SUCH AS ROCK, TRASH, CONSTRUCTION DEBRIS, AGGREGATE BASE MATERIAL, ASPHALT, ETC. SHALL BE REMOVED PRIOR TO ANY FILL OPERATIONS. FILL ALL PLANTING AREAS WITH CLEAN EARTHEN FILL. SOIL SHALL BE FREE OF HEAVY, STIFF CLAY AND ANY DELETERIOUS MATERIAL OVER ONE INCH IN SIZE. THE TOP SIX INCHES OF FILL MATERIAL STRIPPED FROM SITE MAY BE UTILIZED FOR PLANTER OR TOPSOIL FILL IF PRIOR APPROVAL HAS BEEN OBTAINED FROM THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.
- FINISH GRADE OF LANDSCAPE AREAS (TOP OF TURF AND MULCH) MUST BE GRADED TO 3" BELOW ADJACENT PAVEMENT SURFACES.
- LOCATE SHRUBS A DISTANCE OF HALF OF THEIR AVERAGE MATURE SPREAD AWAY FROM WALKS, STRUCTURES, CONCRETE PADS, ETC. LOCATE GROUND COVER PLANTINGS A MINIMUM OF 2" FROM WALKS, STRUCTURES, CONCRETE PADS, ETC.
- TREES PLANTED ADJACENT TO PUBLIC ROADS AND PEDESTRIAN SIDEWALKS SHALL BE PRUNED SUFFICIENTLY TO AVOID VISUAL BLOCKS TO INTERSECTING VEHICULAR ACCESS OR INTERFERENCE WITH PEDESTRIAN WALKWAYS. TREES WITH A 4" OR LARGER CALIPER SHALL BE PRUNED UP TO 6'-0" ABOVE PAVEMENTS.
- ALL TREES WITHIN 4' OF PAVED SURFACES (SUCH AS CURBS, WALLS, BUILDINGS AND SIDEWALKS) SHALL BE PROVIDED WITH A DEEP ROOT BARRIER CONTROL DEVICE OR EQUAL. INSTALL PER MFR'S SPECIFICATIONS.
- TOPSOIL DEPTH SHALL BE AS FOLLOWS: PLANTER BEDS - 12" MINIMUM, NATIVE SEED - 12" MINIMUM
- THE LANDSCAPE CONTRACTOR SHALL WATER TEST ALL PLANTING HOLE PRIOR TO PLANTING. IF HOLES DO NOT DRAIN PROPERLY, EXCAVATE FURTHER UNTIL IMPERMEABLE LAYER IS BREACHED. EXCAVATED PLANT PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS (WHEN FULLY FLOODED WITH WATER) SHALL DRAIN WITHIN 1 HOUR OF FILLING. ENSURE THAT ALL PLANT PITS HAVE POSITIVE DRAINAGE.
- ALL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE. PRE-EMERGENT HERBICIDE SHALL BE APPLIED PER MANUFACTURER'S RECOMMENDATIONS AND SHALL OCCUR AFTER TOPSOIL PLACEMENT AND PRIOR TO INSTALLATION OF PLANT MATERIALS AND MULCH.
- FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH A TIME RELEASE FERTILIZER PER BRAND'S SPECIFIED APPLICATION RATES.
- ALL PLANTING BED SOILS SHALL BE AMENDED WITH 2" OF ORGANIC COMPOST AND TILLED INTO FIRST 4" OF SOIL.
- ANY ROPE OR WIRE BINDING THE BALL SHALL BE CUT PRIOR TO PREVENT GIRDLING OF THE TREE. REMOVE WIRE, TWINE, AND BURLAP FROM THE TOP HALF OF ALL B&B PLANT MATERIAL.
- IF A NON-BIODEGRADABLE MATERIAL IS USED AROUND THE BALL, IT SHALL BE COMPLETELY REMOVED PRIOR TO BACKFILLING.
- PRIOR TO INSTALLATION, THE ROOTS OF CONTAINER GROWN STOCK SHALL BE SEPARATED OR SPLIT TO ENSURE PROPER ROOT DEVELOPMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING TO MAINTAIN HEALTHY PLANT CONDITIONS.
- ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS. TREES & SHRUBS SHALL BE PLANTED AS SOON AS POSSIBLE AFTER DELIVERY.
- ALL TREES MUST BE STRAIGHT-TRUNKED, FULL-HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- ALL TREES MUST BE STAKED AS SHOWN IN THE DETAILS.
- NO SUBSTITUTIONS OR ALTERNATIVES WILL BE ALLOWED FOR GROUND SURFACE MATERIALS UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT OR OWNER.
- MAINTAIN 5 MIN. HORIZONTAL SEPARATION BETWEEN TREE PLANTINGS AND ALL UTILITIES UNLESS OTHERWISE SPECIFIED.
- A THREE INCH (3") TOP DRESSING/MULCHING SHALL BE PLACED IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL HAVE TOP DRESSING TO THE OUTSIDE EDGE OF THE MANUFACTURED EDGING OR LANDSCAPE ISLAND. (SEE PLANTING DETAILS) TOP DRESSING CAN BE WOOD MULCH, ROCK, OR ANY OTHER DECORATIVE MATERIAL SPECIFIED ON PLANS. SEE LANDSCAPE PLAN FOR TYPE.
- THE FOLLOWING PLANTING SEASONS ARE RECOMMENDED:  
EVERGREEN SHRUBBERY: LATE APRIL-EARLY OCTOBER  
DECIDUOUS SHRUBBERY & TREES: LATE APRIL-EARLY OCTOBER  
EVERGREEN TREES: LATE APRIL-EARLY OCTOBER

**SEEDING NOTES**

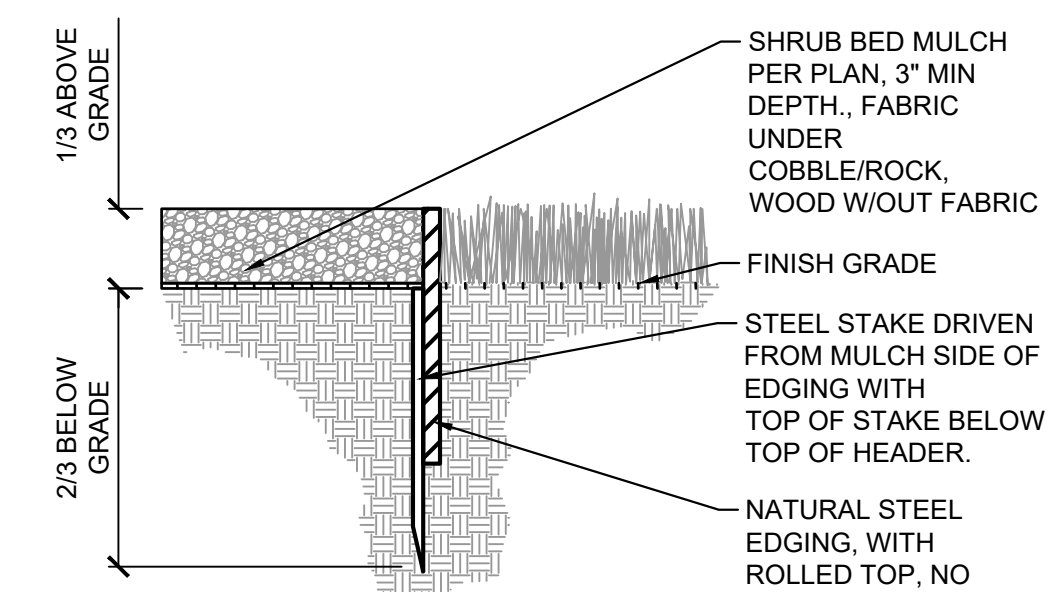
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EXISTING EROSION CONTROL MEASURES DURING THE DURATION
- ALL AREAS TO BE SEEDED SHALL BE TILLED AS SPECIFIED AND THEN HARROWED, RAKED OR ROLLED TO PRODUCE A FIRM SEED BED FOR PLANTING. IMPORTED TOPSOIL MAY BE REQUIRED TO PROVIDE AN ACCEPTABLE PLANTING MEDIUM. LARGE ROCKS (1 INCH DIAMETER) AND DEBRIS THAT MAY IMPED SEEDING SHALL BE CLEARED FROM THE SITE. ANY REQUIRED EROSION CONTROL FEATURES (E.G. WATER BARS, BERMS, BASINS, TURNOUTS) SHALL BE CONSTRUCTED PRIOR TO SEEDING. SITES THAT ARE NOT ADEQUATELY PREPARED PRIOR TO SEEDING (E.G. COMPACTED SOIL, INSUFFICIENT TOPSOIL, ROCKY, ERODED SURFACE, ETC.) SHALL BE REJECTED.
- ALL SPECIFIED SEED MIXES SHALL CONSIST OF CERTIFIED SEED VARIETIES THAT ARE FREE OF NOXIOUS WEEDS AND HAVE BEEN TESTED FOR PURITY AND GERMINATION WITHIN SIX MONTHS OF THE PLANTING DATE. CERTIFICATION LABELS WHICH INDICATE THE SPECIES, PURITY, GERMINATION, WEED CONTENT, ORIGIN, AND TEST DATE SHALL BE SUBMITTED FOR ALL SEED MATERIALS.
- SEEDING SHALL OCCUR DEPENDING ON THE PROJECT SCHEDULE. IT IS PREFERABLE THAT SEEDING OCCUR DURING THE FALL (SEPTEMBER-NOVEMBER) OR SPRING (MARCH-MAY) TO MAXIMIZE SUCCESS. IF THE PROJECT SCHEDULE DOES NOT COINCIDE WITH THE PREFERRED SEEDING PERIODS, OR IF THERE ARE UNSUITABLE SITE CONDITIONS (I.E. FROZEN GROUND), THEN SOIL STABILIZATION AND/OR STORM WATER BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED TO STABILIZE THE AREA UNTIL THE NEXT APPROPRIATE SEEDING DATE. ANY SEEDING CONDUCTED OUTSIDE THE PREFERRED MONTHS SHALL BE APPROVED BY THE OWNER.
- SEEDING METHOD: DRILL SEEDING OR BROADCAST SEEDING SHALL BE USED. AS OUTLINED BELOW, THE SIZE AND SLOPE OF THE SEEDED AREA SHALL DETERMINE WHICH SEEDING METHOD(S) IS APPROPRIATE AND ACCEPTABLE. REFER TO MANUFACTURER'S SPECIFICATIONS FOR ADJUSTING SEEDING RATES FOR APPLICATIONS DIFFERING FROM THE SEED MIX TABLE.
  - SLOPES LESS THAN 3:1 - SEED SHALL BE PLANTED USING A RANGELAND DRILL. SEEDING SHALL BE ACCOMPLISHED USING BI-DIRECTIONAL DRILLING AND FOLLOWING THE SLOPE CONTOUR. THE DRILL EQUIPMENT SHALL BE CALIBRATED EACH DAY OR WHENEVER THERE IS A CHANGE IN THE SEED MIX TO ENSURE PROPER SEED DISTRIBUTION AND RATE.
  - SLOPES GREATER THAN 3:1 OR AREAS LESS THAN 0.10 ACRE - SEED SHALL BE BROADCAST BY HAND OR MECHANICAL SPREADER. BROADCAST SEEDED AREAS SHALL BE RAKED OR HARROWED TO INCORPORATE THE SEED INTO THE SOIL AT A DEPTH NOT EXCEEDING 0.75 INCHES.
  - BROADCAST SEEDING SHALL BE AVOIDED WHEN WIND SPEED EXCEEDS 15 MILES PER HOUR.
  - ALTERNATIVE METHODS TO BE REVIEWED AND APPROVED BY OWNER OR LANDSCAPE ARCHITECT.
- FINE GRADE SEED TO LIMINATE IRREGULARITIES ON THE SURFACE. ROLL OR PERFORM ADDITIONAL FINE GRADING. SEED AREAS BY MEANS OF APPROVED BROADCAST OR HYDRAULIC-TYPE SPREADERS. DO NOT SEED DURING WINDY WEATHER.
- WEED-FREE NATIVE HAY, WEED-FREE STRAW, OR VIRGIN WOOD FIBER HYDRO-MULCH SHALL BE USED PER NOTES BELOW TO CONTROL EROSION AND PROMOTE SEED GERMINATION AND PLANT ESTABLISHMENT. NATIVE HAY, STRAW, OR HYDRO-MULCH SHALL BE APPLIED PER SEED SUPPLIER'S RECOMMENDATIONS FOR OPTIMAL GROWTH PER SEED MIX TYPE AND SLOPE.
  - HYDRO-MULCHING: ALL IRRIGATED SEEDING SHALL BE HYDRO MULCHED. ORGANIC TACKIFIER SHALL BE USED. MULCH SEEDED AREAS WITHIN 24 HOURS OF SEEDING. HYDRO-MULCH SHALL BE APPLIED USING A COLOR DYE AND THE MANUFACTURER'S RECOMMENDED RATE OF AN ORGANIC TACKIFIER.
  - STRAW CRIMPING: ALL NON-IRRIGATED OR TEMPORARILY IRRIGATED TO BE NATIVE HAY OR STRAW CRIMPED INTO THE SOIL TO A DEPTH OF AT LEAST 3 INCHES, AND SHALL PROTRUDE ABOVE THE GROUND AT LEAST 3 INCHES.
  - ALTERNATIVE METHODS TO BE REVIEWED AND APPROVED BY OWNER OR LANDSCAPE ARCHITECT.
  - EROSION CONTROL BLANKETS ARE TO BE APPLIED ON SLOPES 3:1 AND GREATER.
- IF A WATER HOOK-UP IS AVAILABLE A SPRINKLER SYSTEM MAY BE USED TO PROMOTE RAPID PLANT ESTABLISHMENT. GENERALLY, WATERING AT 0.75-1.0 INCHES/WEK IS RECOMMENDED DURING THE APRIL-OCTOBER GROWING SEASON DEPENDING ON NATURAL RAINFALL. THE USE OF WATER TRUCKS FOR IRRIGATION IS PROHIBITED DUE TO TRAFFIC IMPACTS ON THE SEEDED AREAS AND TYPICAL POOR WATER DISTRIBUTION OBSERVED WITH THIS TYPE OF WATERING.
- APPROVAL OF SEEDED TURF AREAS SHALL BE BASED UPON THE SEED PRODUCERS GUARANTEED SEEDING GERMINATION RATE FOR A ONE SQUARE FOOT AREA. IF GUARANTEED GERMINATION RATE IS NOT ACHIEVED, THE CONTRACTOR SHALL OVERSEED UNTIL THE GERMINATION RATE IS ACHIEVED. REVEGETATION SHALL HAVE AT LEAST 3 NATIVE GRASS SEEDLINGS/SQUARE FOOT AND NO BARE AREAS EXCEEDING ONE SQUARE METER AFTER THE SECOND GROWING SEASON. FOR DRILL SEEDED AREAS, PLANTING ROWS SHALL BE NOTICEABLE BY THE END OF THE FIRST FULL GROWING SEASON. IF A PARTIAL OR TOTAL SEEDING FAILURE IS APPARENT AFTER THE SECOND GROWING SEASON, POORLY VEGETATED AREAS SHALL BE RESEEDED IN THE SAME MANNER DESCRIBED ABOVE. APPROPRIATE SITE PREPARATION PRACTICES SHALL BE USED TO CREATE A SUITABLE SEEDED FOR PLANTING, BUT ANY ESTABLISHED NATIVE VEGETATION SHALL BE UNDISTURBED TO THE EXTENT POSSIBLE. AREAS THAT ERODE BEFORE GERMINATION AND ESTABLISHMENT CAN OCCUR SHALL BE REPAIRED AND IMMEDIATELY RESEEDED DURING THE SAME SEASON.
- ALL BARE AREAS TO BE RESEEDED WITH PROPER REMOVAL OF WEEDS. ALL NATIVE SEED AREAS ARE TO MEET STANDARD LOCAL JURISDICTION REQUIREMENTS FOR GERMINATION AND ESTABLISHMENT.

**PLANT SCHEDULE**

| DECIDUOUS TREES  | CODE | QTY | BOTANICAL / COMMON NAME   | PLANT SIZE | CONTAINER | MAT. H. | MAT. W. |
|------------------|------|-----|---|------------|-----------|---------|---------|
|                  | GK   | 2   | GYMNOCLADUS DIOICA<br>KENTUCKY COFFEETREE                                 | 2" CAL.    | B&B       | 50'     | 40'     |
|                  | TA   | 2   | TILIA AMERICANA<br>AMERICAN LINDEN  | 2" CAL.    | B&B       | 60'     | 40'     |
| EVERGREEN TREES  | CODE | QTY | BOTANICAL / COMMON NAME   | PLANT SIZE | CONTAINER | MAT. H. | MAT. W. |
|                  | JW   | 13  | JUNIPERUS SCOPULORUM 'WICHITA BLUE'<br>WICHITA BLUE JUNIPER               | 6' HT.     | B&B       | 15'     | 6'      |
|                  | GL   | 3   | PICEA GLAUCA 'NORTH STAR'<br>NORTH STAR SPRUCE                            | 6' HT.     | B&B       | 12'     | 6'      |
|                  | PV   | 2   | PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'<br>VANDERWOLF'S PYRAMID LIMBER PINE | 6' HT.     | B&B       | 40'     | 20'     |
| ORNAMENTAL TREES | CODE | QTY | BOTANICAL / COMMON NAME   | PLANT SIZE | CONTAINER | MAT. H. | MAT. W. |
|                  | CI   | 7   | CRATAEGUS CRUS-GALLI INERMIS<br>THORNLESS COCKSPUR HAWTHORN               | 1.5" CAL.  | B&B       | 20'     | 15'     |
|                  | MP   | 3   | MALUS X 'PRAIRIFIRE'<br>PRAIRIFIRE CRABAPPLE                              | 1.5" CAL.  | B&B       | 15'     | 15'     |
| DECIDUOUS SHRUBS | CODE | QTY | BOTANICAL / COMMON NAME   | PLANT SIZE | CONTAINER | MAT. H. | MAT. W. |
|                  | CNN  | 32  | CHRYSOTHAMNUS NAUSEOSUS NAUSEOSUS<br>DWARF BLUE RABBITBRUSH               | #5 CONT.   | CONT.     | 2'      | 2'      |
|                  | GTR  | 43  | GENISTA TINCTORIA 'ROYAL GOLD'<br>ROYAL GOLD DYER'S BROOM                 | #5 CONT.   | CONT.     | 2'      | 2.5'    |
|                  | PAR  | 53  | PEROVSKIA ATRIPLICIFOLIA<br>RUSSIAN SAGE                                  | #5 CONT.   | CONT.     | 3'      | 3'      |
|                  | PRB  | 32  | PRUNUS BESSEYI<br>SAND CHERRY   | #5 CONT.   | CONT.     | 5'      | 5'      |
|                  | RHA  | 19  | RHUS AROMATICA 'GRO-LOW'<br>GRO-LOW FRAGRANT SUMAC                        | #5 CONT.   | CONT.     | 2'      | 6'      |
| EVERGREEN SHRUBS | CODE | QTY | BOTANICAL / COMMON NAME   | PLANT SIZE | CONTAINER | MAT. H. | MAT. W. |
|                  | JCA  | 37  | JUNIPERUS CHINENSIS 'ARMSTRONGII'<br>ARMSTRONG JUNIPER                    | #5 CONT.   | CONT.     | 3'      | 3'      |

**TOTAL COUNTS:**

DECIDUOUS TREES: 4  
 EVERGREEN TREES: 18  
 ORNAMENTAL TREES: 10  
 DECIDUOUS SHRUBS: 179  
 EVERGREEN SHRUBS: 37



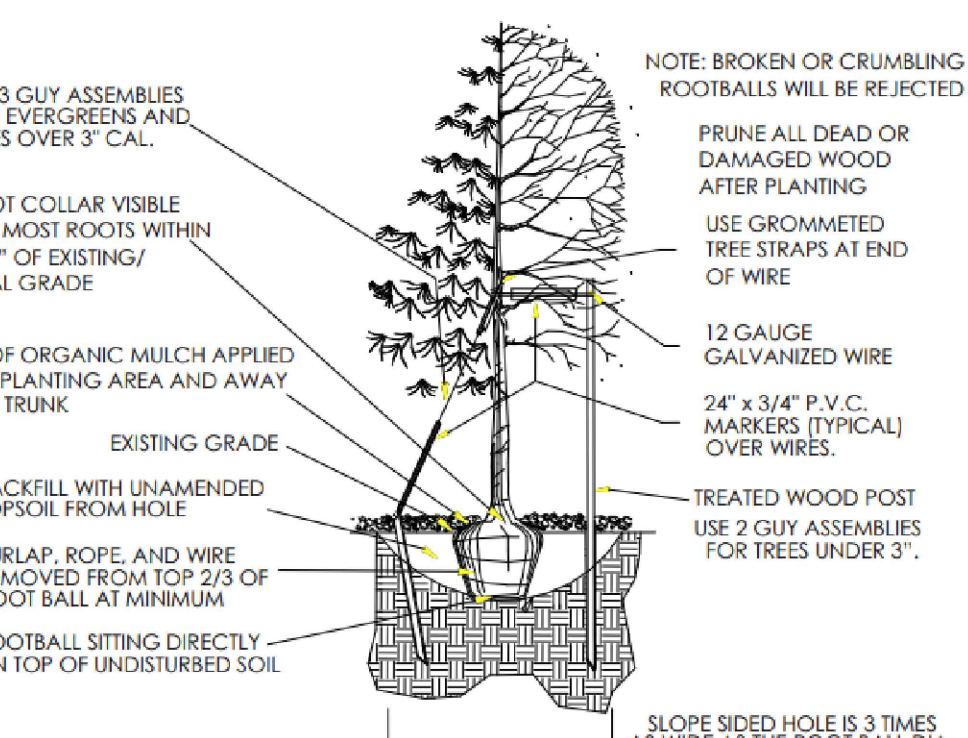
NOTE: ALL SHRUB BEDS COVERED WITH WOOD MULCH AND/OR ROCK MULCH (UP TO 6" SIZE) ARE TO BE ENCLOSED WITH STEEL EDGING TO SEPARATE BEDS FROM SOD AND SEED. NO EDGING NEEDED BETWEEN SOD AND NATIVE SEED OR BETWEEN TWO MULCH TYPES UNLESS OTHERWISE SPECIFIED.

**4 STEEL EDGING**  
NTS MS-STD-LS-12

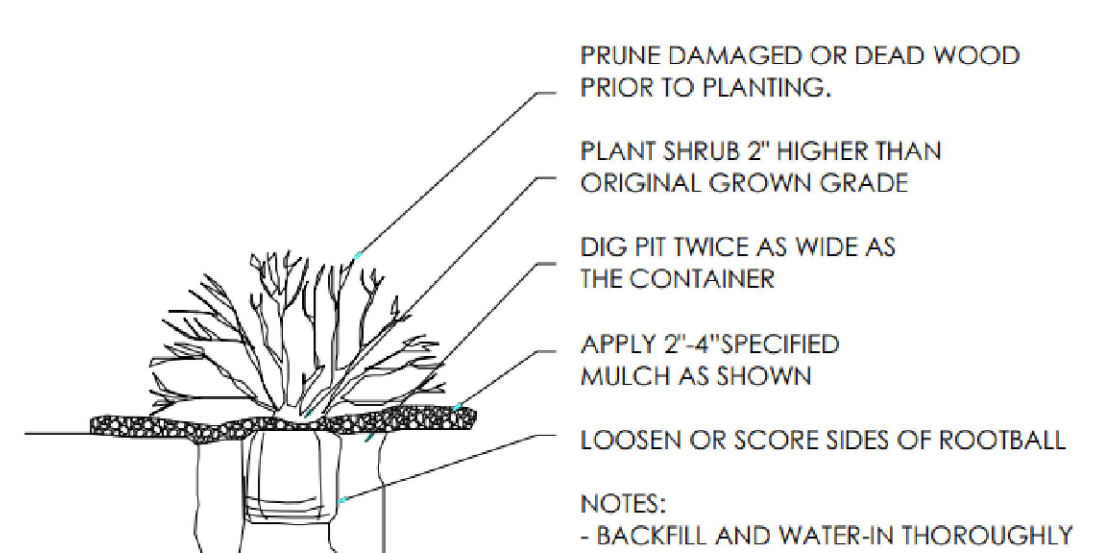
APPROVAL STAMP:

FILE LOCATION: C:\CIRCLE K\MAIN & JORDAN\100 DIVISION\4 PLAN SETS\DEVELOPMENT\PLAN\LS02.DWG

**1 TREE**  
NTS



**2 SHRUBS**  
NTS



**3 SOIL PREP FOR ALL AREAS**  
NTS MS-STD-LS-05

- NOTES:
- BACKFILL AND WATER-IN THOROUGHLY - BROKEN ROOTBALLS WILL BE REJECTED
  - TOPSOIL TO CONSIST OF DARK, LIGHT LOAM SOIL FREE OF ROCKS, ROOTS, AND FOREIGN MATERIALS.
  - COMPOST TO BE TYPE I CONSISTING OF OF 1-YEAR OLD ORGANIC MATERIAL AND SHOULD NOT INCLUDE CHICKEN MANURE.
  - FROZEN MATERIALS OR MATERIALS GREATER THAN 1" DIA. SHOULD BE REMOVED.

CONSULTANTS:



2435 RESEARCH PARKWAY, SUITE 300  
 COLORADO SPRINGS, CO 80920  
 PHONE: (719) 575-0100  
 FAX: (719) 575-0208



950 S. CHERRY STREET, SUITE 512  
 DENVER, CO 80246

OWNER/DEVELOPER:

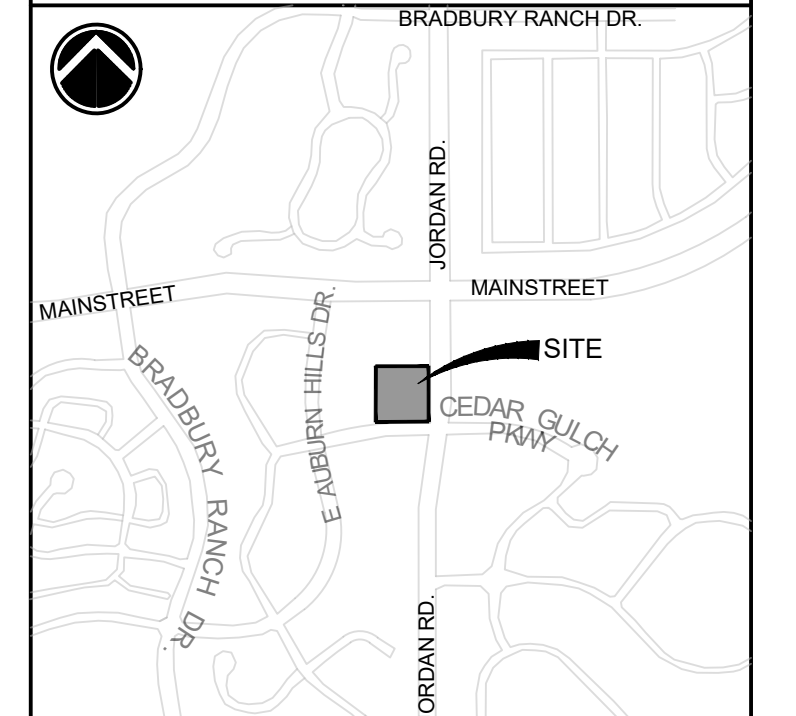


ROCKY MOUNTAINS DIVISION  
 5500 S QUEBEC STREET, SUITE 100  
 GREENWOOD VILLAGE, CO 80111

SEAL

FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC

VICINITY MAP: SCALE: NTS



PROJECT:

**CIRCLE K STORES INC.**

**SITE DEVELOPMENT PLAN**

MAINSTREET & JORDAN  
 TOWN OF PARKER, CO

REVISION HISTORY:

| NO. | DATE | DESCRIPTION | BY |
|-----|------|-------------|----|
| ##  | ##   | ##          | ## |
| ##  | ##   | ##          | ## |
| ##  | ##   | ##          | ## |
| ##  | ##   | ##          | ## |
| ##  | ##   | ##          | ## |

DRAWING INFORMATION:

PROJECT NO: 21.1207.030

DRAWN BY: KMM

CHECKED BY: JRA

DESIGNED BY: KMM

SHEET TITLE:

**LANDSCAPE DETAILS**

LS02

SHEET 4 OF 10

DATE: OCTOBER 2022

CIRCLE K SDP

**KEY NOTES**

- STEEL COLUMN WRAP WITH BREAK METAL
- LINE OF CANOPY / SOFFIT
- DARK BRONZE ANODIZED WINDOW FRAME W/ GRAY TINTED GLASS WINDOW SYSTEM
- INTERNALLY ILLUMINATED SIGN (UNDER SEPARATE PERMIT)
- DARK BRONZE ANODIZED DOOR W/ GRAY TINTED GLASS STOREFRONT SYSTEM
- SERVICE DOOR, PAINT TO MATCH SURROUNDING WALL
- PRE-FINISHED METAL COPING
- NICHHA FIBER CEMENT WALL PANEL SYSTEM
- WALL MOUNTED LIGHT FIXTURE, COLOR: BLACK
- CT ENCLOSURE LOCATION
- ROOF LINE AND HVAC UNITS
- 1-1/2" STAINLESS STEEL CORNER KEY EDGE, TYP. TO ALL CORNERS
- DOWNSPOUT
- ADDRESSING LOCATION: 8" TALL INCH BLACK NUMBERS. FINAL AREA LOCATION TO BE DETERMINED BY FIRE DEPARTMENT
- 1 3/8" THK. X 6" NICHHA KURASTONE HIGH FIBER CEMENT WAINSCOT
- 1-1/2" HIGH NICHHA FIBER CEMENT CAP INSTALL PER MFR. SPECS
- NICHHA ESSENTIAL "OVERHANG" FLASHING
- PARAPET WALL BEYOND
- (KNOX) KEY-BOX AT 6'-0" AFF (IF REQUIRED BY FIRE DEPARTMENT)
- FIRE DEPARTMENT CONNECTION (IF REQUIRED)
- ALUMINUM AWNING WITH SUPPORT RODS ABOVE THE SIDE ENTRY DOOR BY CIRCLE K VENDOR. PROVIDE BLOCKING IN EXTERIOR WALL FOR AWNING AND SUPPORTS
- EMERGENCY FUEL SHUT-OFF SWITCH
- INSULATED METAL DOOR
- NICHHA ESSENTIAL "STARTER" FLASHING
- CO2 TANK WITH METAL LOUVERED CONTAINER
- EXTERIOR FINISH TO EXTEND ABOVE SIDEWALK/GRADE
- FOAM TRIM
- LINE OF ROOF BEYOND
- METAL ROOF ACCESS LADDER WITH SECURITY DOOR LADDER GUARD MODEL # LG6 C1 P2 BY COTTERMAN
- CONTROL/EXPANSION JOINT "E.J." LOCATION
- HARDSOFFIT FIBER CEMENT PANELS
- STOREFRONT WITH DOUBLE EXTERIOR WALL
- STANDING SEAM METAL ROOF - FIRESTONE UNA CLAD
- VINYL RAFTER TAIL
- FIRE RISER ROOM. POST SIGN ON DOOR WITH WORDS "FIRE RISER ROOM"

**FINISH SCHEDULE**

- A - \*\*\*NICHHA TUFF BLOCK - COLOR TO MATCH #SW 6095 TOASTY
- B - \*\*\*NICHHA TUFF BLOCK - COLOR TO MATCH #SW 6115 TOTALLY TAN
- C - 1" INSULATED, DOUBLE PANED GRAY TINTED GLASS
- D - \*SHERWIN WILLIAMS #SW 4081 - \*\*SAFETY RED
- E - \*SHERWIN WILLIAMS #SW 7005 - CIRCLE K WHITE
- F - \*\*\*NICHHA CHISELED SILL TAN
- G - \*\*\*NICHHA LEDGESTONE BLUFF
- H - \*SHERWIN WILLIAMS #SW 6090 - JAVA - FIRESTONE MANSARD BROWN SR (USE FOR PRE-FINISHED METAL COPING)
- I - CIRCLE K ORANGE #PMS 144
- J - FIRESTONE KYNAR - MANSARD BROWN SR - "UC-14"

\* USE SHERWIN WILLIAMS MANUFACTURER ONLY  
\*\* COLOR TO BE PRE-ORDERED TO ENSURE AVAILABILITY AT TIME OF CONSTRUCTION  
\*\*\* PURCHASED BY CIRCLE K/INSTALLED BY G.C.  
G.C. TO COORDINATE WITH CK PM AND OWNER'S REP circlek@nichha.com

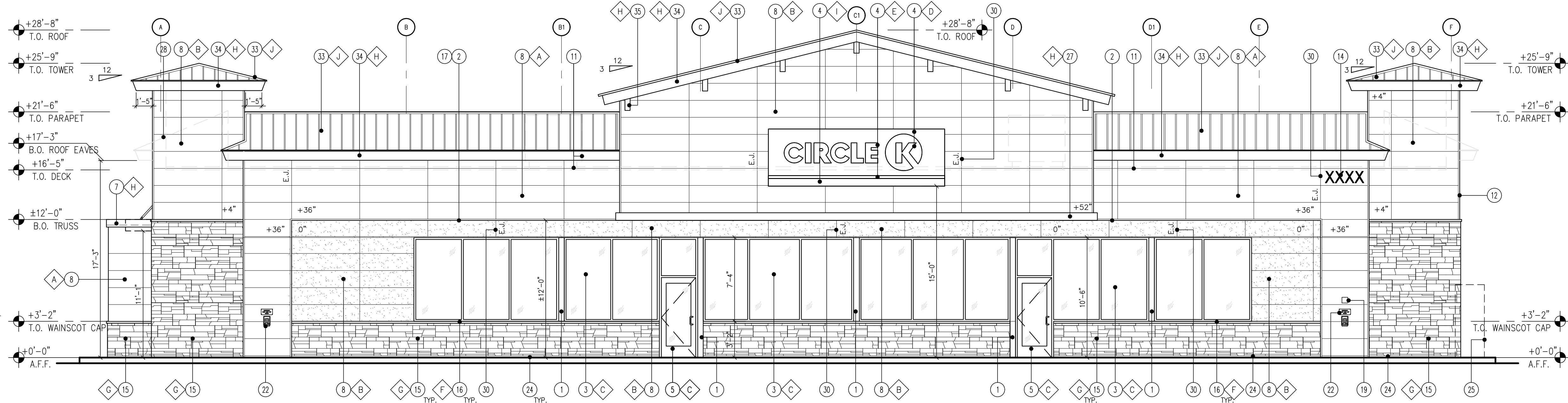
**STOREFRONT %**

**SOUTH ELEVATION WINDOW CALCULATION**  
-STOREFRONT - 123 SQ. FT.  
-WALL UP TO CEILING - 525 SQ. FT.  
-STOREFRONT PERCENTAGE OF WALL IS 23%

**NORTH ELEVATION WINDOW CALCULATION**  
-STOREFRONT - 111 SQ. FT.  
-WALL UP TO CEILING - 526 SQ. FT.  
-STOREFRONT PERCENTAGE OF WALL IS 21%

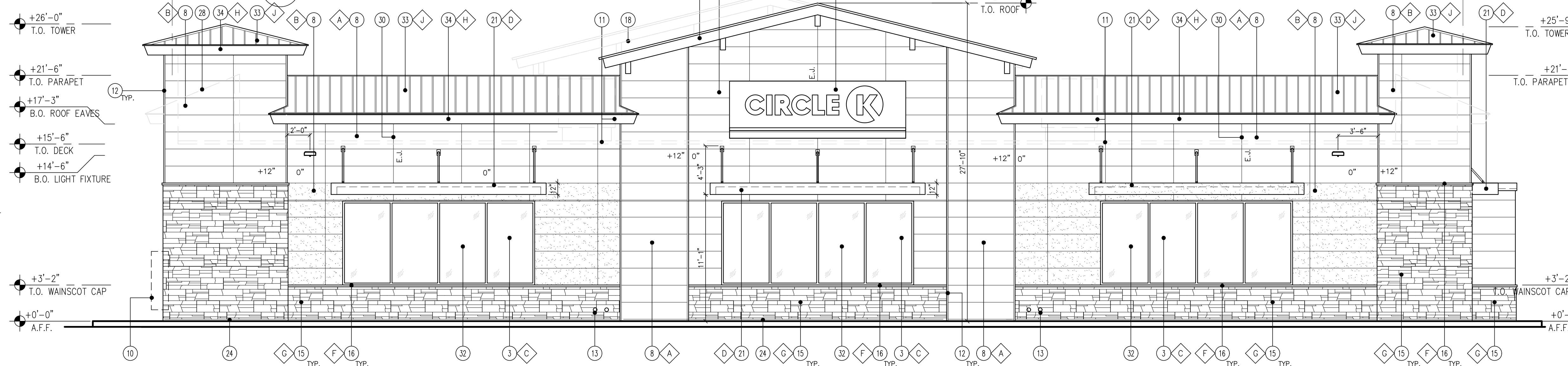
**EAST ELEVATION WINDOW CALCULATION**  
-STOREFRONT - 345 SQ. FT.  
-WALL UP TO CEILING - 1204 SQ. FT.  
-STOREFRONT PERCENTAGE OF WALL IS 29%

**WEST ELEVATION WINDOW CALCULATION**  
-STOREFRONT - 560 SQ. FT.  
-WALL UP TO CEILING - 1204 SQ. FT.  
-STOREFRONT PERCENTAGE OF WALL IS 47%



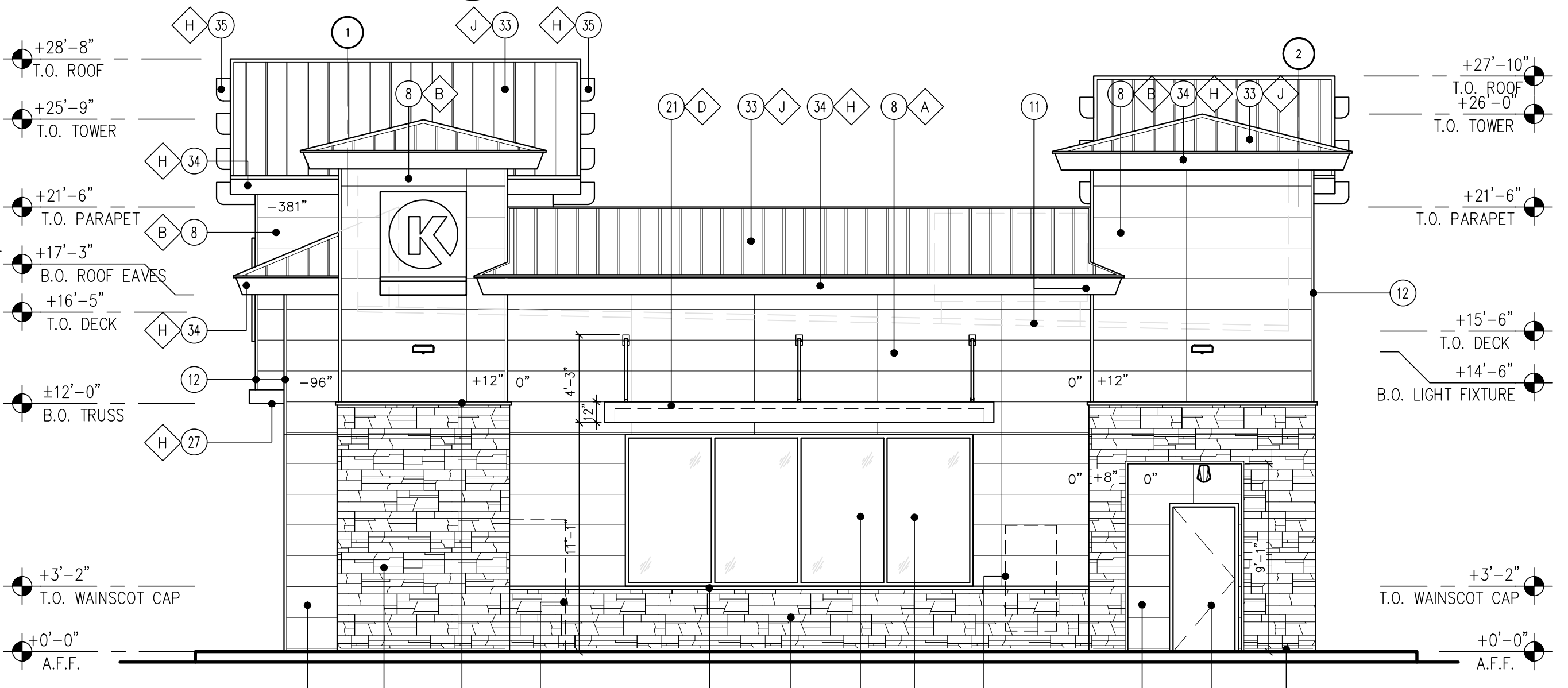
**1 WEST - FRONT ELEVATION**

SCALE: 3/16" = 1'-0"



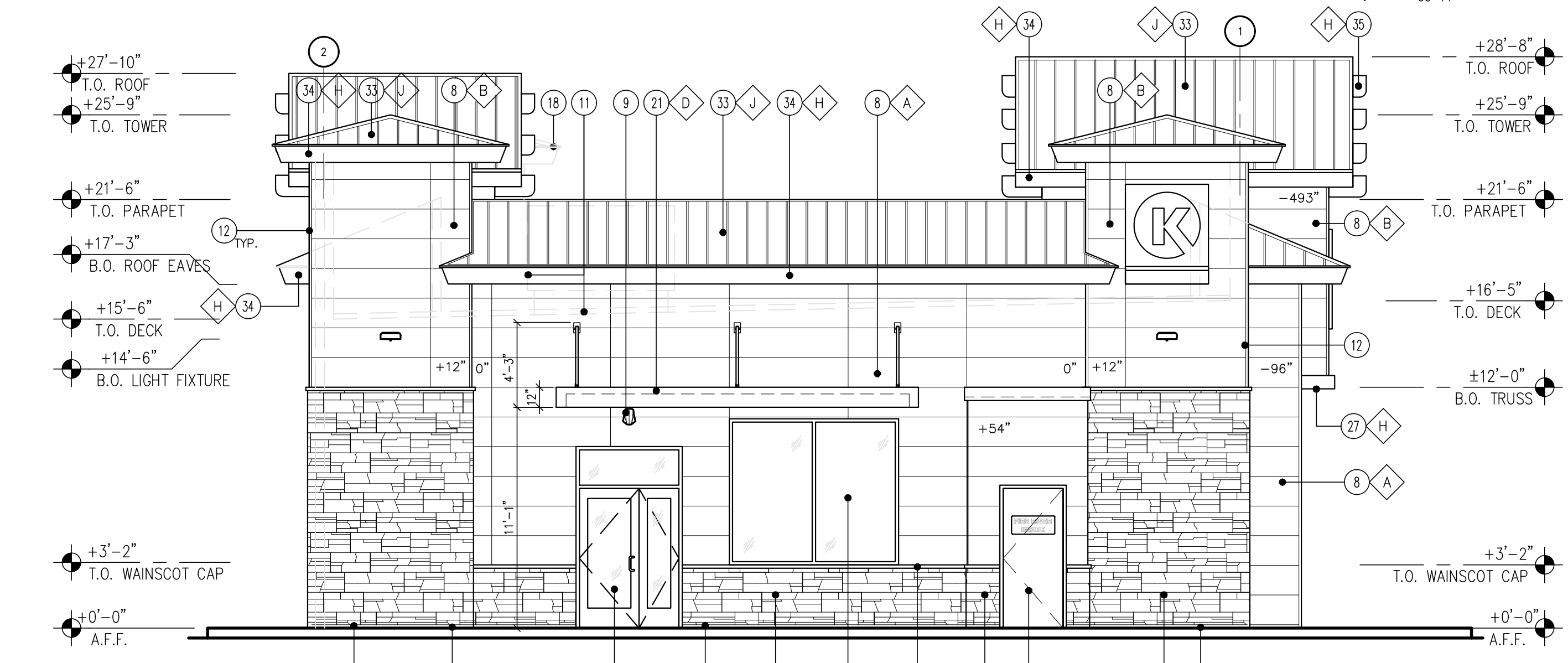
**2 EAST - BACK ELEVATION**

SCALE: 3/16" = 1'-0"



**3 SOUTH - SIDE ELEVATION**

SCALE: 3/16" = 1'-0"



**4 NORTH - SIDE ELEVATION**

SCALE: 3/16" = 1'-0"



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DATE DESCRIPTION  
07/18/22 SDP SUBMITAL  
09/30/22 SDP RESUBMITAL

**PROFESSIONAL SEAL**

**PROFESSIONAL IN CHARGE**  
DOUG COUPER

**PROJECT MANAGER**  
AAB

**QUALITY CONTROL**  
AAB

**DRAWN BY**  
AAB

**PROJECT NAME**

**CIRCLE K STORES INC.**

**PARKER**  
MAIN ST. & JORDAN RD.  
PARKER ,CO



LAND DEVELOPMENT  
CONSULTANTS, LLC  
950 S. CHERRY ST., STE #512  
DENVER, CO 80246



CIRCLE K STORES INC.

**PROJECT NUMBER**  
20210744.0

**SHEET TITLE**

**FUEL CANOPY  
EXTERIOR  
ELEVATIONS (SG07)**

**SHEET NUMBER**

**6 of 10**

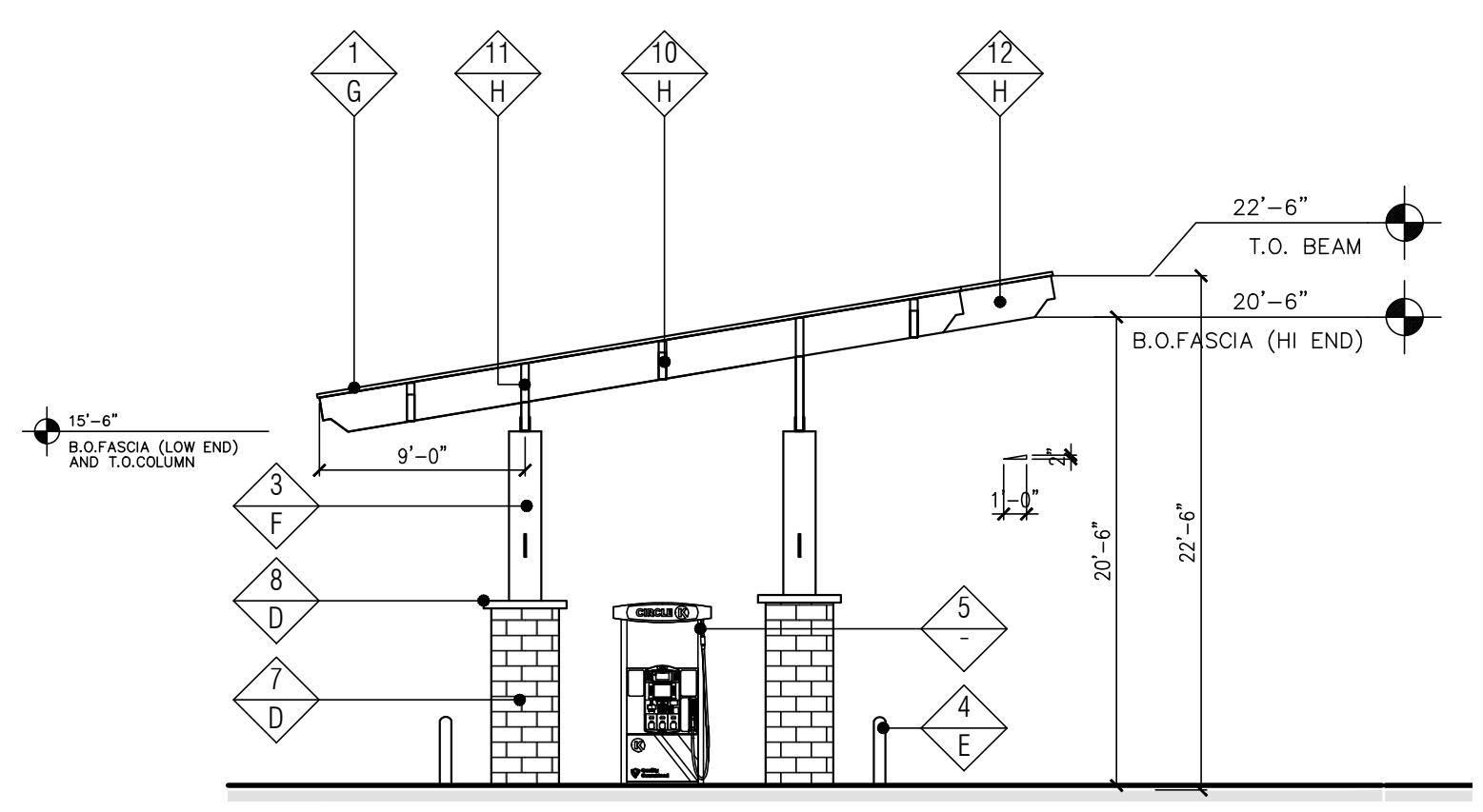
**FINISH SCHEDULE**

| FINISH MATERIAL |   |
|-----------------|---|
| 1               | STANDING SEAM METAL ROOF ON METAL DECK                    |
| 2               | COLUMN FLAGS BY SIGNAGE VENDOR                            |
| 3               | STEEL COLUMN WITH PAINT FINISH                            |
| 4               | 6" Ø BOLLARD, 36" HIGH                                    |
| 5               | FUEL PUMP   |
| 6               | POTENTIAL SIGN LOCATION (UNDER SEPARATE PERMIT)           |
| 7               | 4X8X16 CMU VENEER, SPLIT FACE, GROUTED TO MATCH CMU COLOR |
| 8               | 4X8X16 SOLID CMU CAP, INSTALL PER MFR. SPECS.             |
| 9               | STANDING SEAM METAL ROOF                                  |
| 10              | STEEL BEAM  |
| 11              | STEEL GIRDER  |
| 12              | STEEL BEAM BEYOND   |

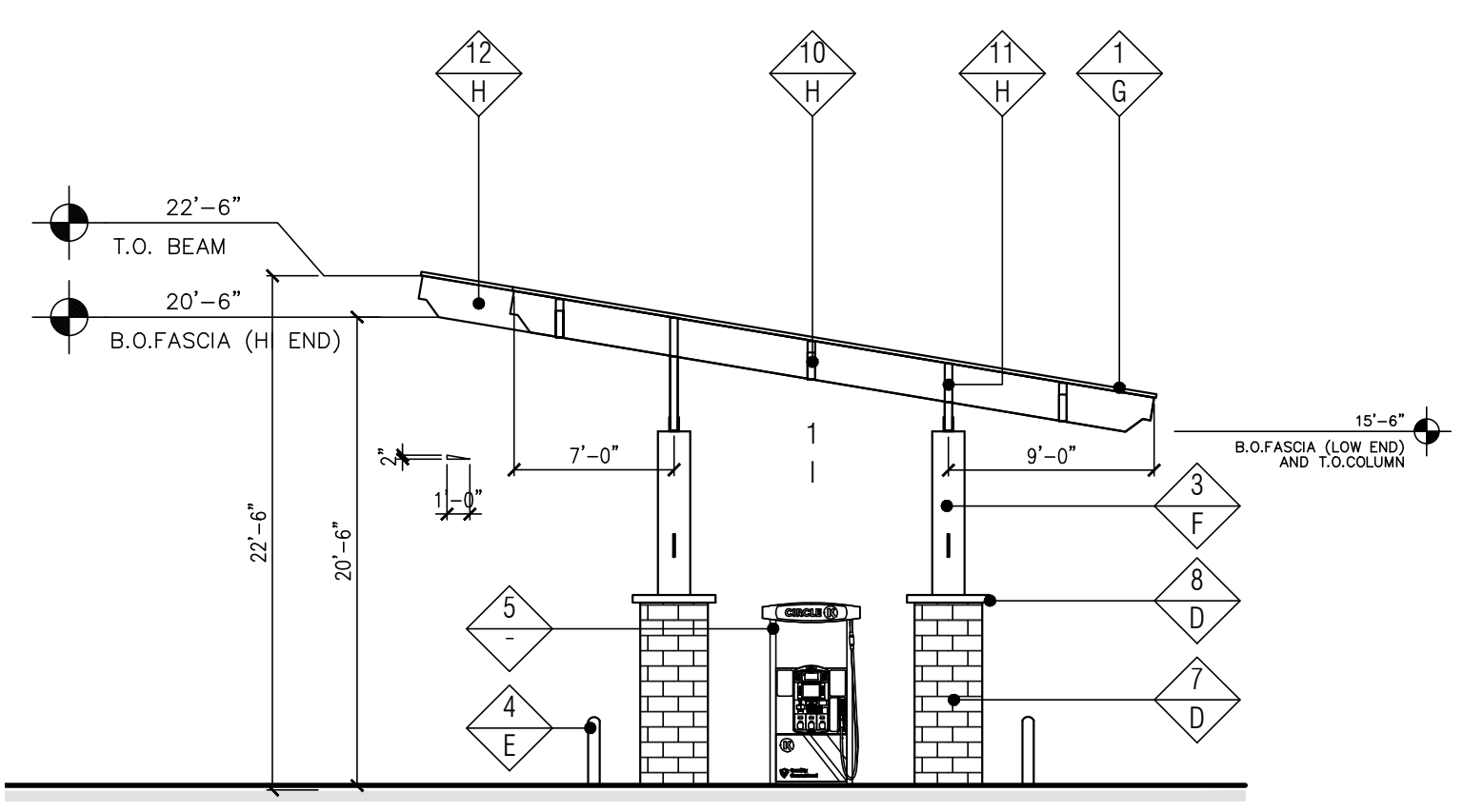
  

| FINISH COLOR |  |
|--------------|--|
| A            | CIRCLE K RED #PMS 485                        |
| B            | CIRCLE K WHITE                               |
| C            | CIRCLE K ORANGE #PMS 144                     |
| D            | SUPERLITE BLOCK SPLITFACE CMU - "BOOT BROWN" |
| E            | PVC BOLLARD SLEEVE "DARK GRAY"               |
| F            | SHERWIN WILLIAMS - SW6095 - TOASTY           |
| G            | FIRESTONE KYNAR - MANSARD BROWN SR - "UC-14" |
| H            | SHERWIN WILLIAMS - SW6090 - JAVA             |

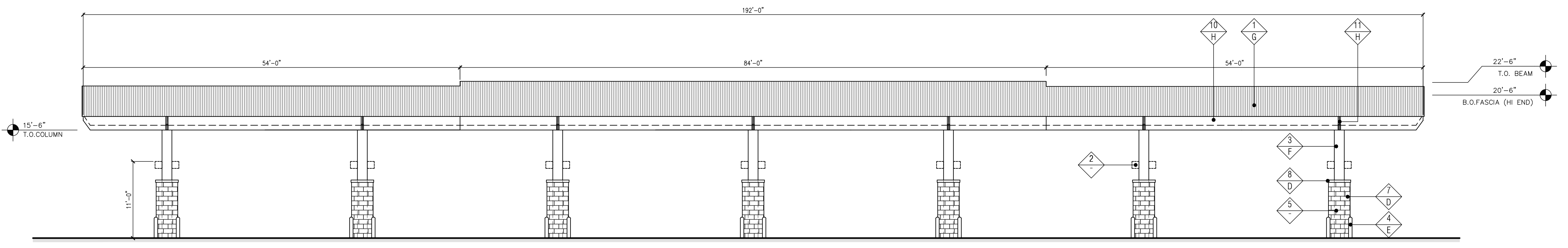
Notes:  
1. Colors shown on these elevations are for illustration purposes only. For actual colors, refer to manufacturer's samples.  
2. All signs require a separate submittal.  
3. All lighting on canopy to be flush mounted with fascia



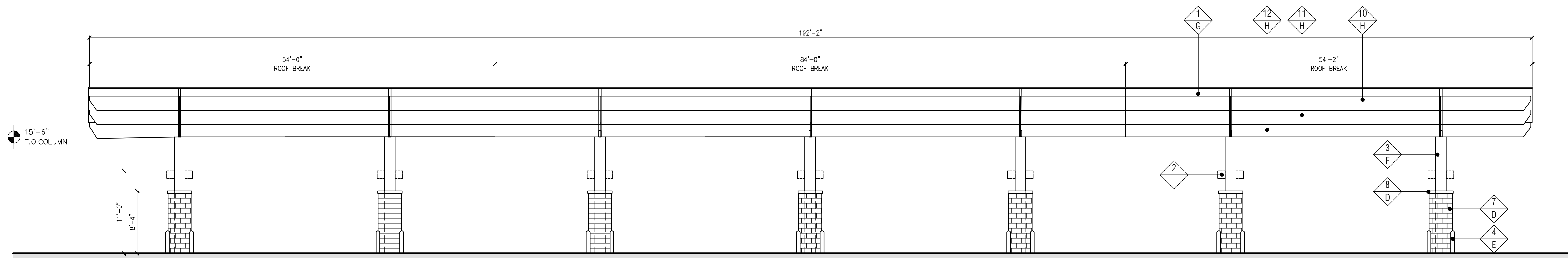
**3 "SIDE" ELEVATION (SOUTH)**  
SCALE: 1/8" = 1'-0"



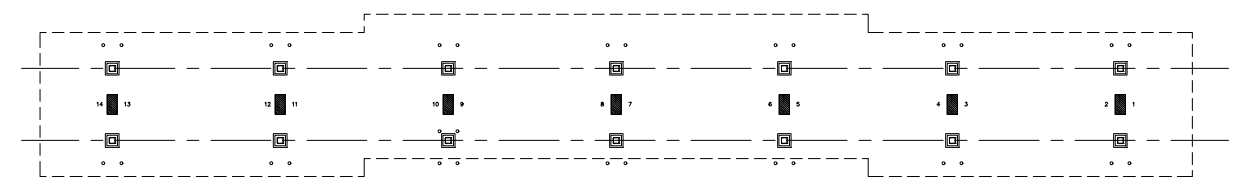
**4 "SIDE" ELEVATION (NORTH)**  
SCALE: 1/8" = 1'-0"



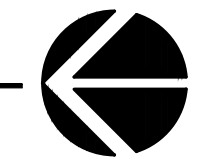
**2 "FRONT" ELEVATION (WEST)**  
SCALE: 1/8" = 1'-0"



**1 "REAR" ELEVATION (EAST)**  
SCALE: 1/8" = 1'-0"



**A FLOOR KEY PLAN**



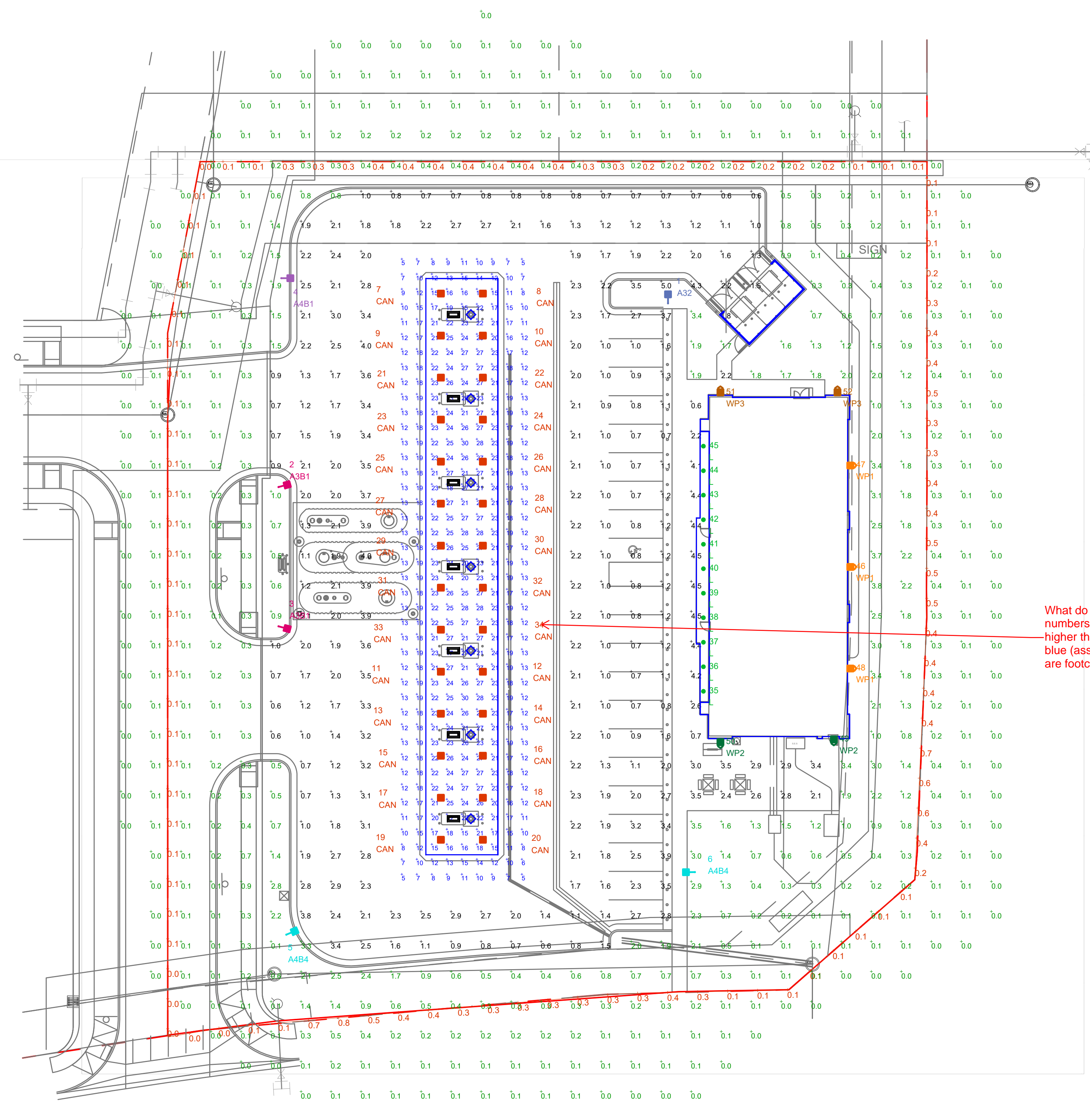
| LUMINAIRE LOCATION SUMMARY |       |          |
|----------------------------|-------|----------|
| LUM NO.                    | LABEL | MTG. HT. |
| 1                          | A32   | 18       |
| 2                          | A3B1  | 18       |
| 3                          | A3B1  | 18       |
| 4                          | A4B1  | 18       |
| 5                          | A4B4  | 18       |
| 6                          | A4B4  | 18       |
| 7                          | CAN   | 17.5     |
| 8                          | CAN   | 17.5     |
| 9                          | CAN   | 17.5     |
| 10                         | CAN   | 17.5     |
| 11                         | CAN   | 17.5     |
| 12                         | CAN   | 17.5     |
| 13                         | CAN   | 17.5     |
| 14                         | CAN   | 17.5     |
| 15                         | CAN   | 17.5     |
| 16                         | CAN   | 17.5     |
| 17                         | CAN   | 17.5     |
| 18                         | CAN   | 17.5     |
| 19                         | CAN   | 17.5     |
| 20                         | CAN   | 17.5     |
| 21                         | CAN   | 17.5     |
| 22                         | CAN   | 17.5     |
| 23                         | CAN   | 17.5     |
| 24                         | CAN   | 17.5     |
| 25                         | CAN   | 17.5     |
| 26                         | CAN   | 17.5     |
| 27                         | CAN   | 17.5     |
| 28                         | CAN   | 17.5     |
| 29                         | CAN   | 17.5     |
| 30                         | CAN   | 17.5     |
| 31                         | CAN   | 17.5     |
| 32                         | CAN   | 17.5     |
| 33                         | CAN   | 17.5     |
| 34                         | CAN   | 17.5     |
| 35                         | L     | 12       |
| 36                         | L     | 12       |
| 37                         | L     | 12       |
| 38                         | L     | 12       |
| 39                         | L     | 12       |
| 40                         | L     | 12       |
| 41                         | L     | 12       |
| 42                         | L     | 12       |
| 43                         | L     | 12       |
| 44                         | L     | 12       |
| 45                         | L     | 12       |
| 46                         | WP1   | 14.5     |
| 47                         | WP1   | 14.5     |
| 48                         | WP1   | 14.5     |
| 49                         | WP2   | 14.5     |
| 50                         | WP2   | 14.5     |
| 51                         | WP3   | 14.5     |
| 52                         | WP3   | 14.5     |

ILLUMINATION LEVELS ARE THE RESULT OF CONDITIONS OR REQUESTS BY OTHERS  
RED LEONARD ASSOCIATES IS NOT RESPONSIBLE FOR INCIDENTS CAUSED BY INSUFFICIENT LIGHTING AND DOES NOT RECOMMEND THESE LEVELS FOR SECURITY AND SAFETY REASONS

NOTE:  
- ALL AREA LIGHTS ON NEW 15 FT. POLE MOUNTED ON 3 FT. CONCRETE BASE  
- ALL LUMINAIRES HAVE ZERO LUMENS ABOVE 90 DEGREES

| FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES |       |     |     |         |         |
|--|-------|-----|-----|---------|---------|
| LABEL  | AVG   | MAX | MIN | AVG/MIN | MAX/MIN |
| PAVED AREA   | 1.94  | 5.0 | 0.6 | 3.23    | 8.33    |
| PROPERTY LINE  | 0.24  | 0.8 | 0.0 | N.A.    | N.A.    |
| UNDEFINED  | 0.43  | 3.8 | 0.0 | N.A.    | N.A.    |
| UNDER CANOPY   | 18.48 | 30  | 5   | 3.70    | 6.00    |

| SYMBOL   | QTY | LABEL | ARRANGEMENT | LUMENS | LATF  | DIMMING LUMEN MULTIPLIER | LLF   | BUG RATING | WATTS/LUMINAIRE | TOTAL WATTS | MANUFACTURER           | CATALOG LOGIC   |
|----------|-----|-------|-------------|--------|-------|--------------------------|-------|------------|-----------------|-------------|------------------------|---|
| [Symbol] | 1   | A32   | SINGLE      | 7275   | 1.040 | 1.000                    | 1.040 | B1-U0-G2   | 44              | 44          | Cree Lighting          | OSQ-ML-B-XX-XX + OSQM-B-11L-57K7-3M-UL-NM-XX-Q2             |
| [Symbol] | 2   | A3B1  | SINGLE      | 1930   | 1.040 | 1.000                    | 1.040 | B0-U0-G1   | 16              | 32          | Cree Inc               | OSQ-ML-B-XX-XX + OSQM-B-4L-57K7-3M-UL-NM-XX-Q1 + OSQ-BLSMF  |
| [Symbol] | 1   | A4B1  | SINGLE      | 4720   | 1.040 | 1.000                    | 1.040 | B1-U0-G1   | 37              | 37          | Cree Inc               | OSQ-ML-B-XX-XX + OSQM-B-11L-57K7-4M-UL-NM-XX-Q1 + OSQ-BLSMF |
| [Symbol] | 2   | A4B4  | SINGLE      | 6849   | 1.040 | 1.000                    | 1.040 | B1-U0-G2   | 54              | 108         | Cree Inc               | OSQ-ML-B-XX-XX + OSQM-B-11L-57K7-4M-UL-NM-XX-Q4 + OSQ-BLSMF |
| [Symbol] | 28  | CAN   | SINGLE      | 10847  | 1.040 | 0.700                    | 0.728 | B3-U0-G1   | 63.36           | 1774.08     | BETALED, A DIVISION OF | CAN-228-SL-RM-06-E-UL-XX-525-57K (SET DIAL @ 4)             |
| [Symbol] | 11  | L     | SINGLE      | 650    | 1.040 | 1.000                    | 1.040 | B1-U0-G0   | 7.5             | 82.5        | Cree Lighting          | LR6X-7L-40K-120V  |
| [Symbol] | 3   | WP1   | SINGLE      | 2490   | 1.040 | 1.000                    | 1.040 | B1-U0-G1   | 19              | 57          | Cree Inc               | XSPW-B-WM-2ME-2L-40K-UL-XX                                  |
| [Symbol] | 2   | WP2   | SINGLE      | 4270   | 1.040 | 1.000                    | 1.040 | B1-U0-G1   | 31              | 62          | Cree Inc               | XSPW-B-WM-4ME-4L-40K-UL-XX                                  |
| [Symbol] | 2   | WP3   | SINGLE      | 2490   | 1.040 | 1.000                    | 1.040 | B1-U0-G1   | 19              | 38          | Cree Inc               | XSPW-B-WM-4ME-2L-40K-UL-XX                                  |



What do the orange numbers mean? Much higher than what's in blue (assuming both are footcandles)

Please include luminaire colors

CEAR GULCH PARKWAY

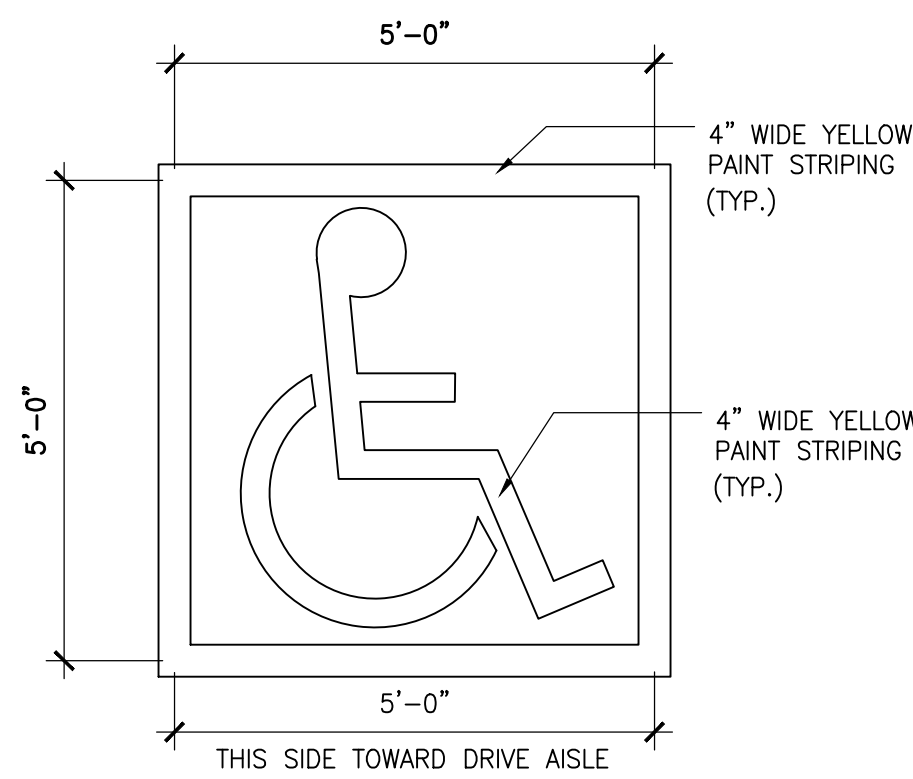
JORDAN ROAD

| REV. | BY  | DATE    | DESCRIPTION                   |
|------|-----|---------|-------------------------------|
| R1   | FNE | 5/26/22 | REVISED PER UPDATED SITE PLAN |

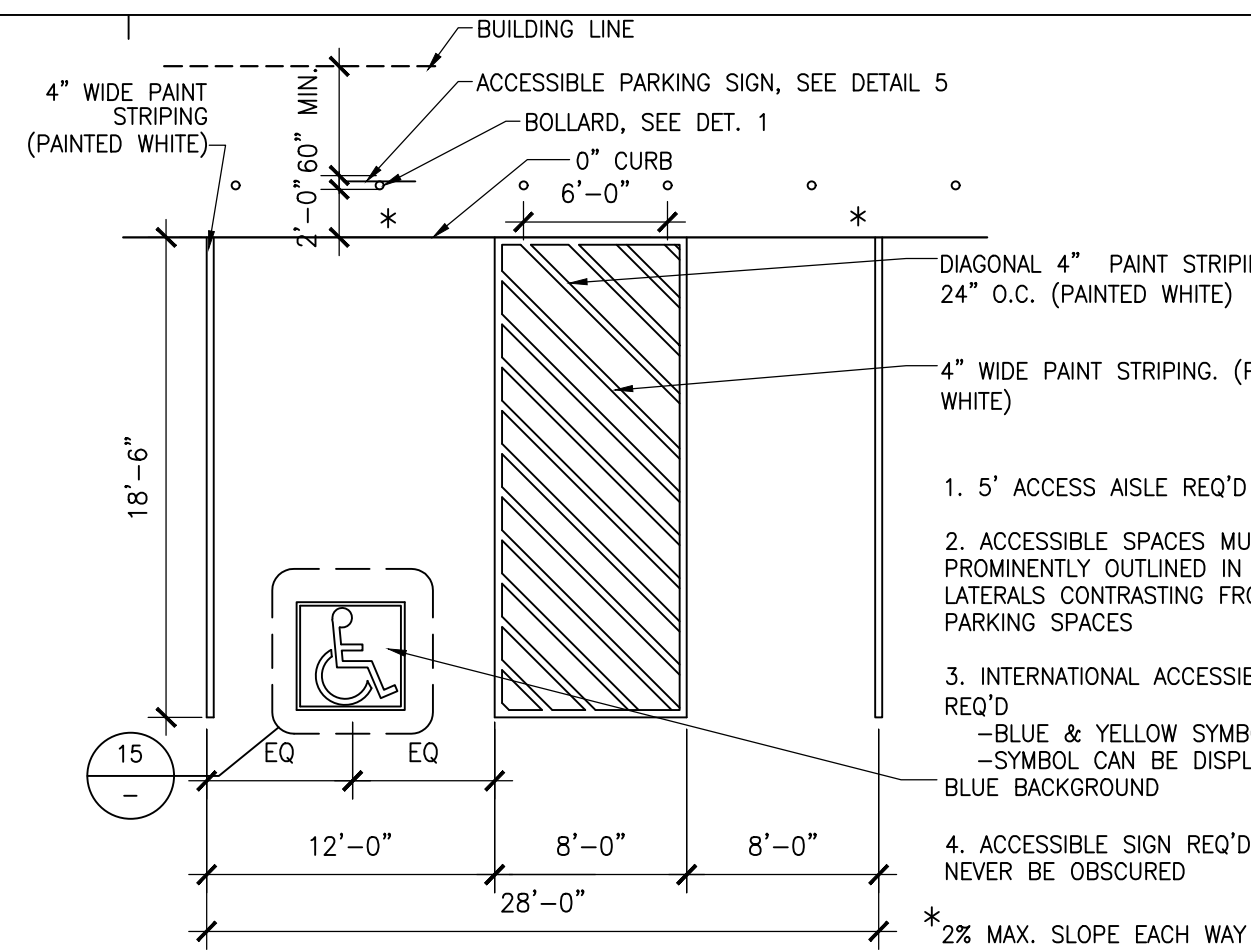
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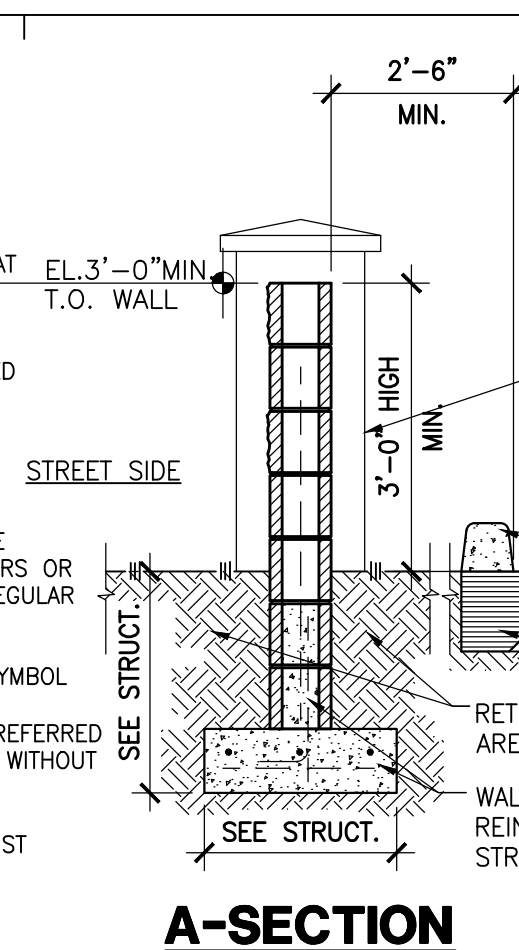




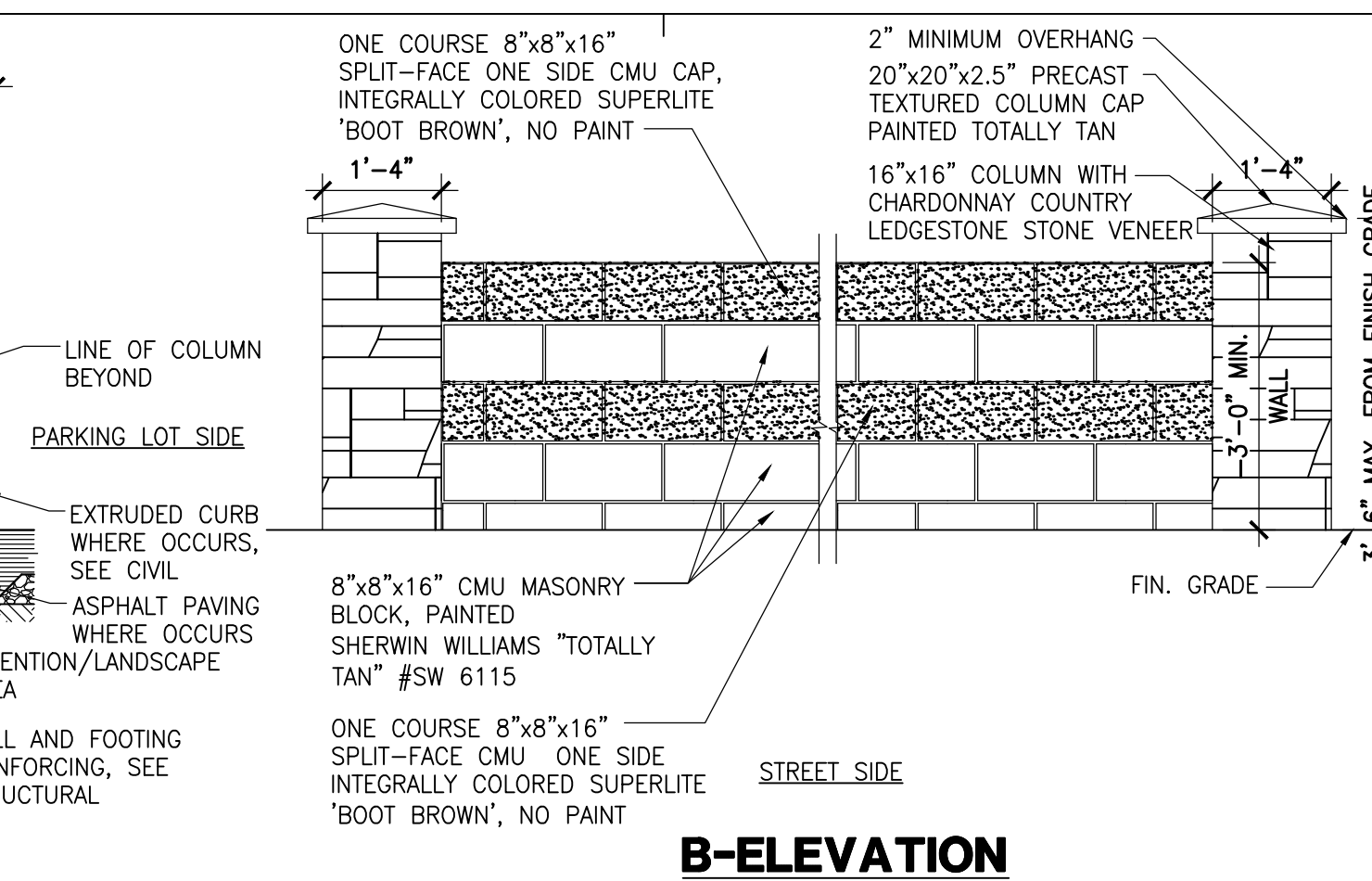
**15** ACCESSIBLE PARKING SYMBOL  
1/2"=1'-0"



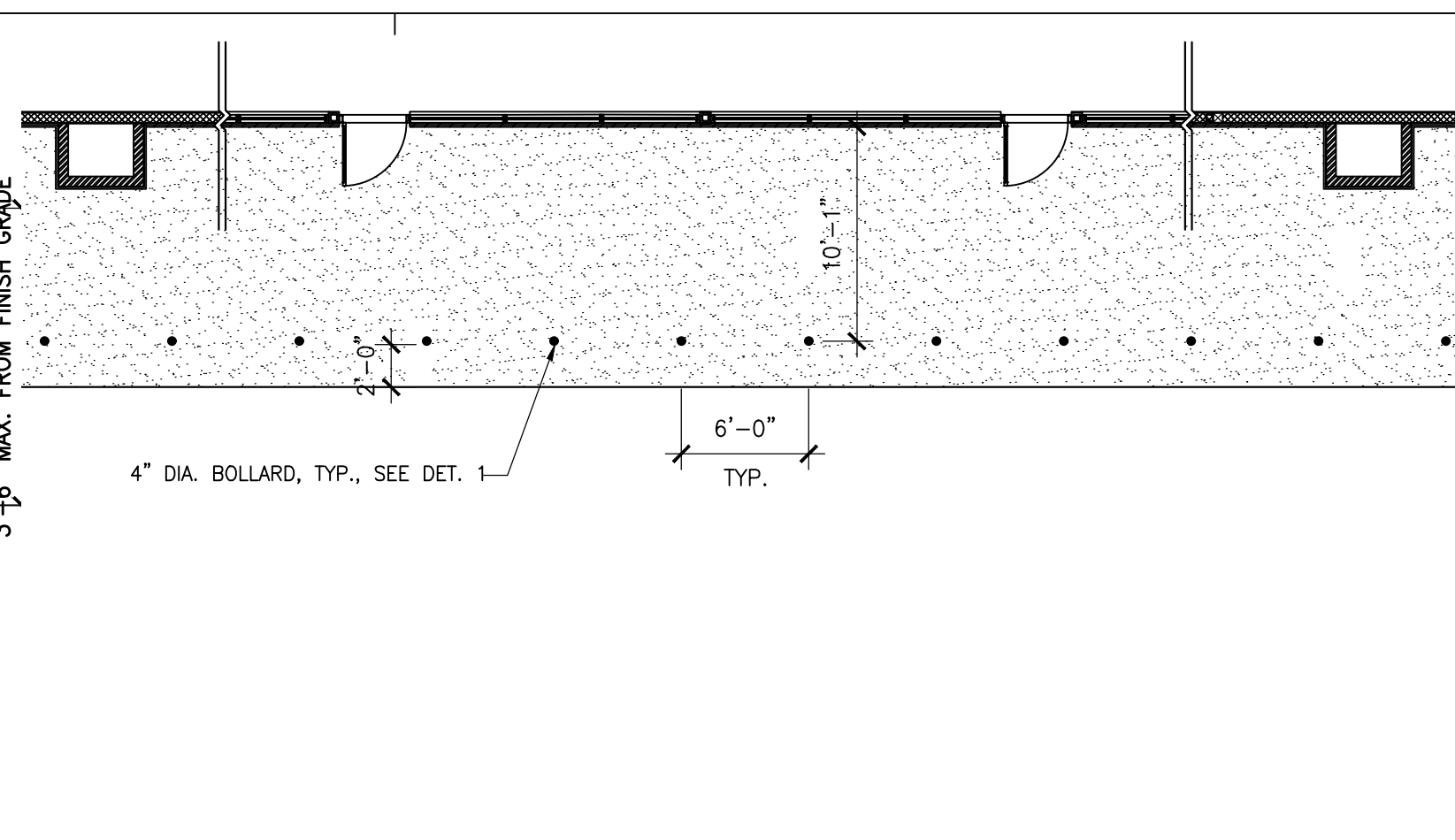
**12** ACCESSIBLE PARKING STALL  
1/8"=1'-0"



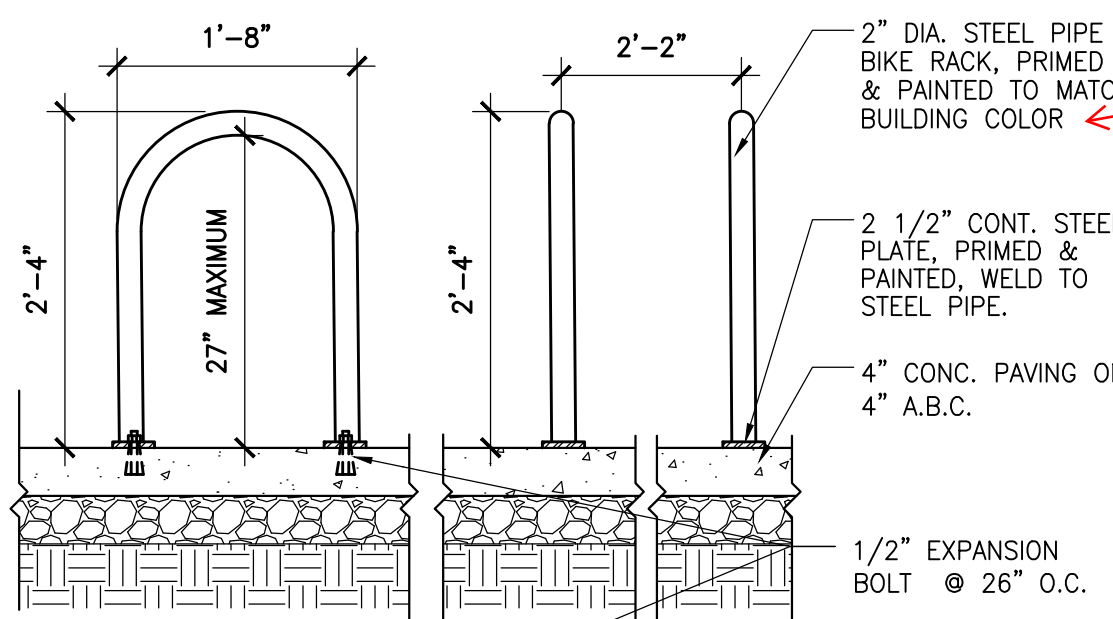
**7** SCREEN WALL  
1/2"=1'-0"



**B-ELEVATION**

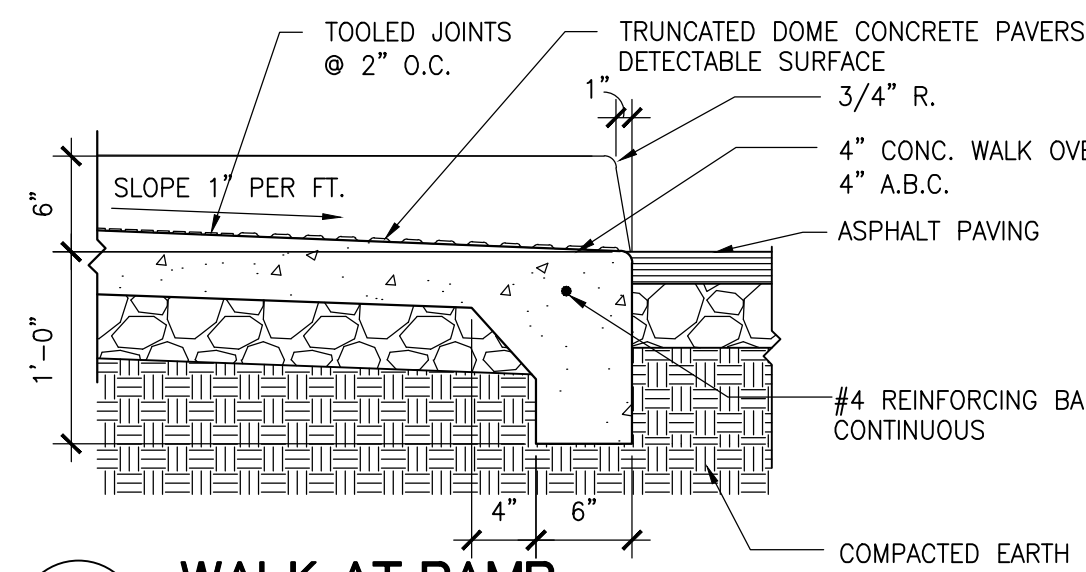


**4** TYP. FRONT CONCRETE SIDEWALK + BOLLARD  
1/8"=1'-0"

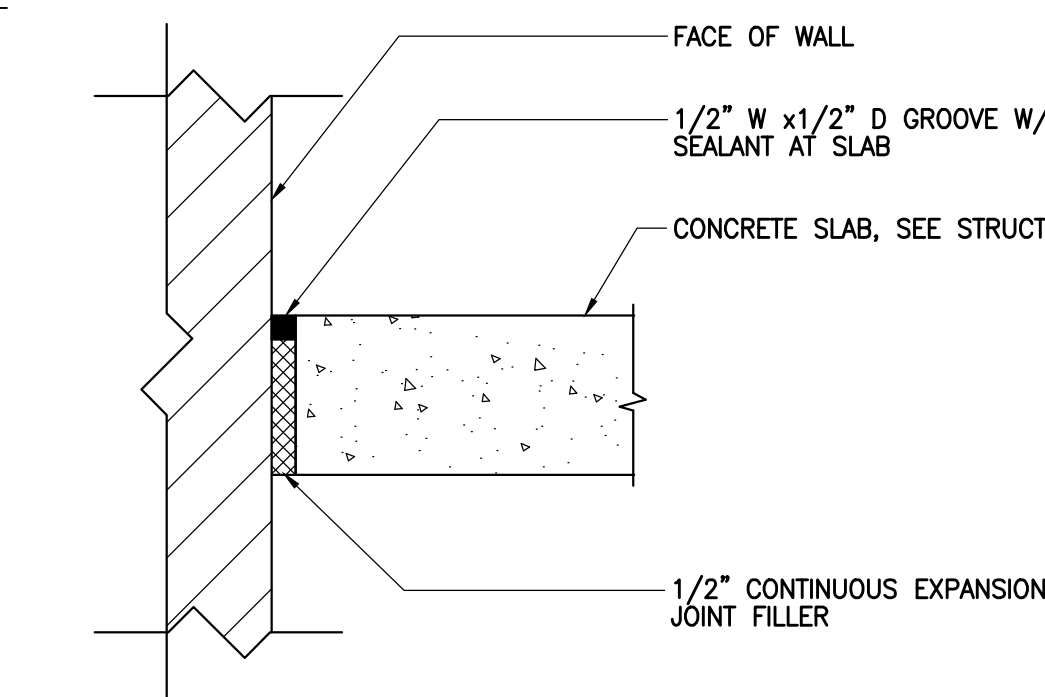


Please provide paint color

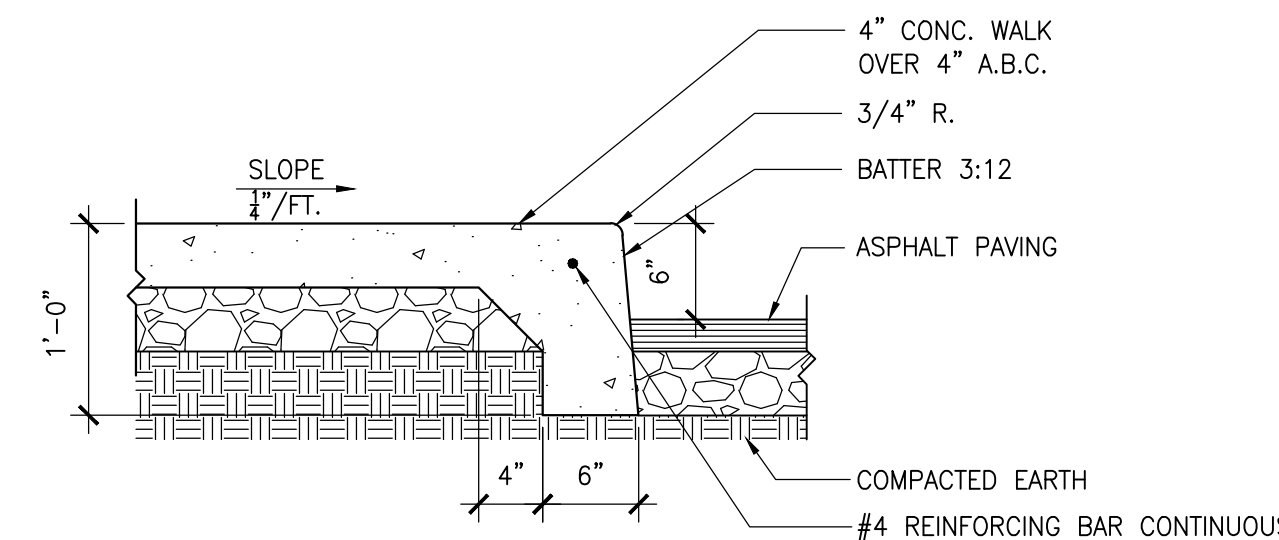
**14** BIKE RACK DETAIL (TYPICAL OF 2)  
3/4"=1'-0"



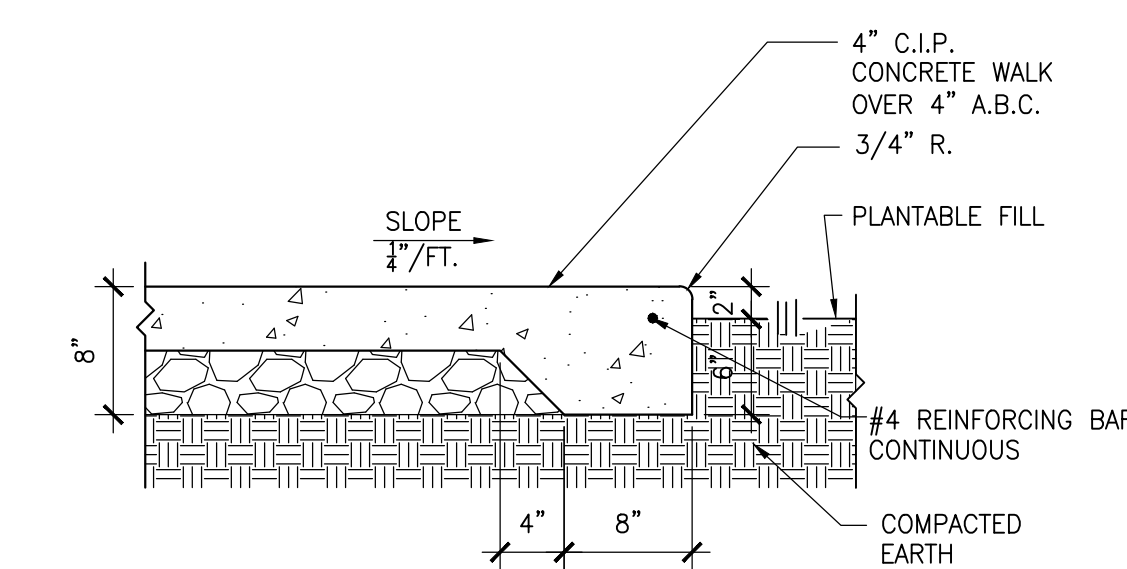
**10** WALK AT RAMP  
1"=1'-0"



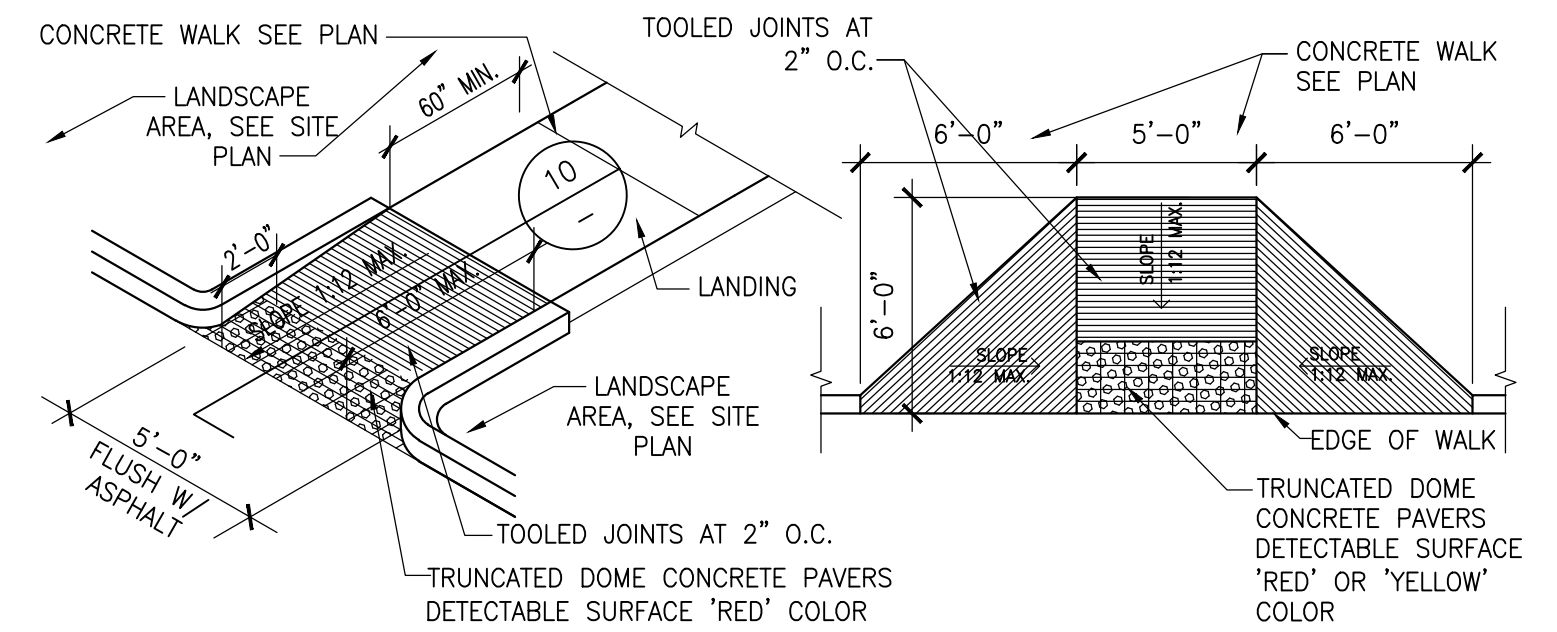
**13** TYPICAL SLAB AT GRADE  
3"=1'-0"



**9** SIDEWALK TURNDOWN  
1"=1'-0"

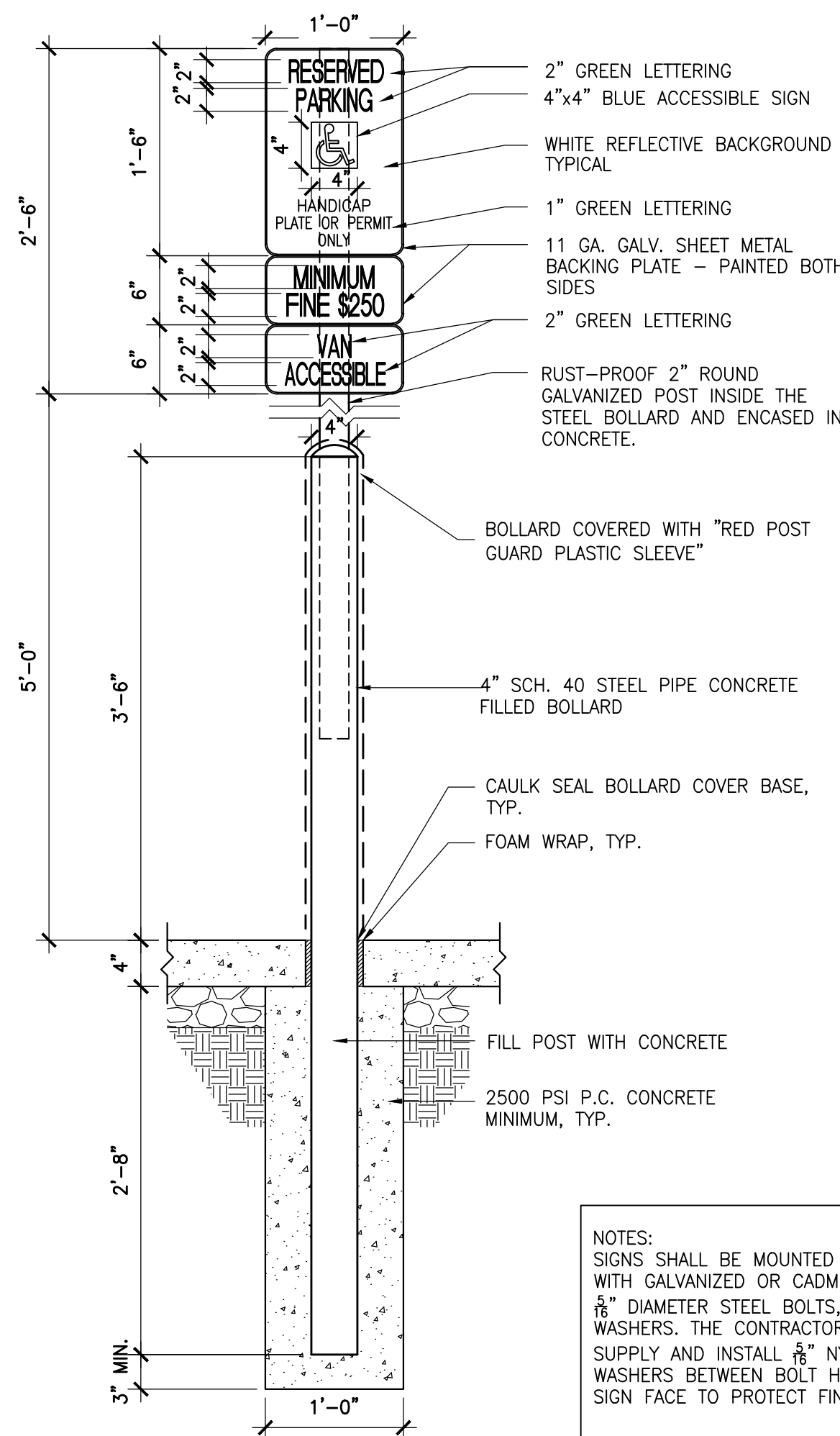


**8** EDGE OF WALK AT PLANTER  
1"=1'-0"



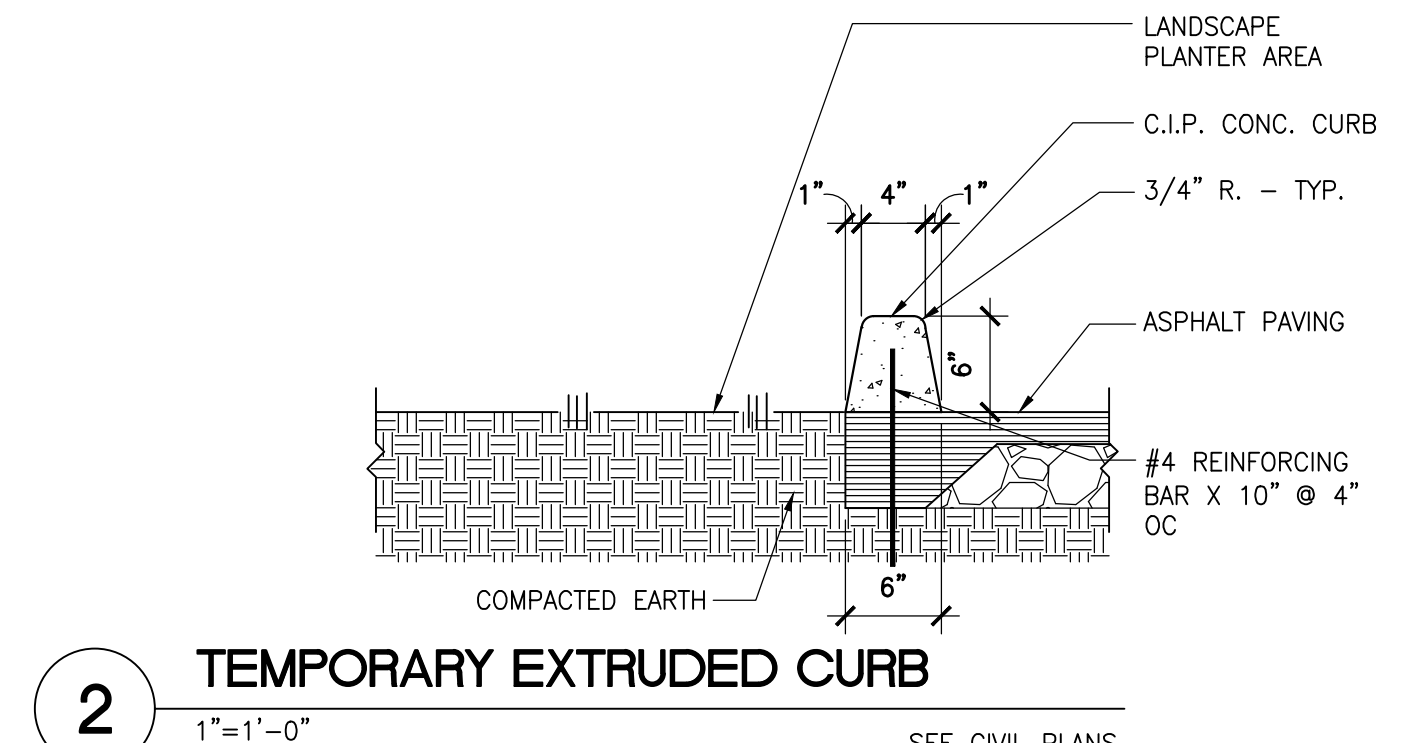
**6** ACCESSIBLE RAMPS  
3/16"=1'-0"

NOTE: ALL A.D.A. REQUIREMENTS TO BE INSTALLED PER APPROVED ARCHITECT'S PLANS

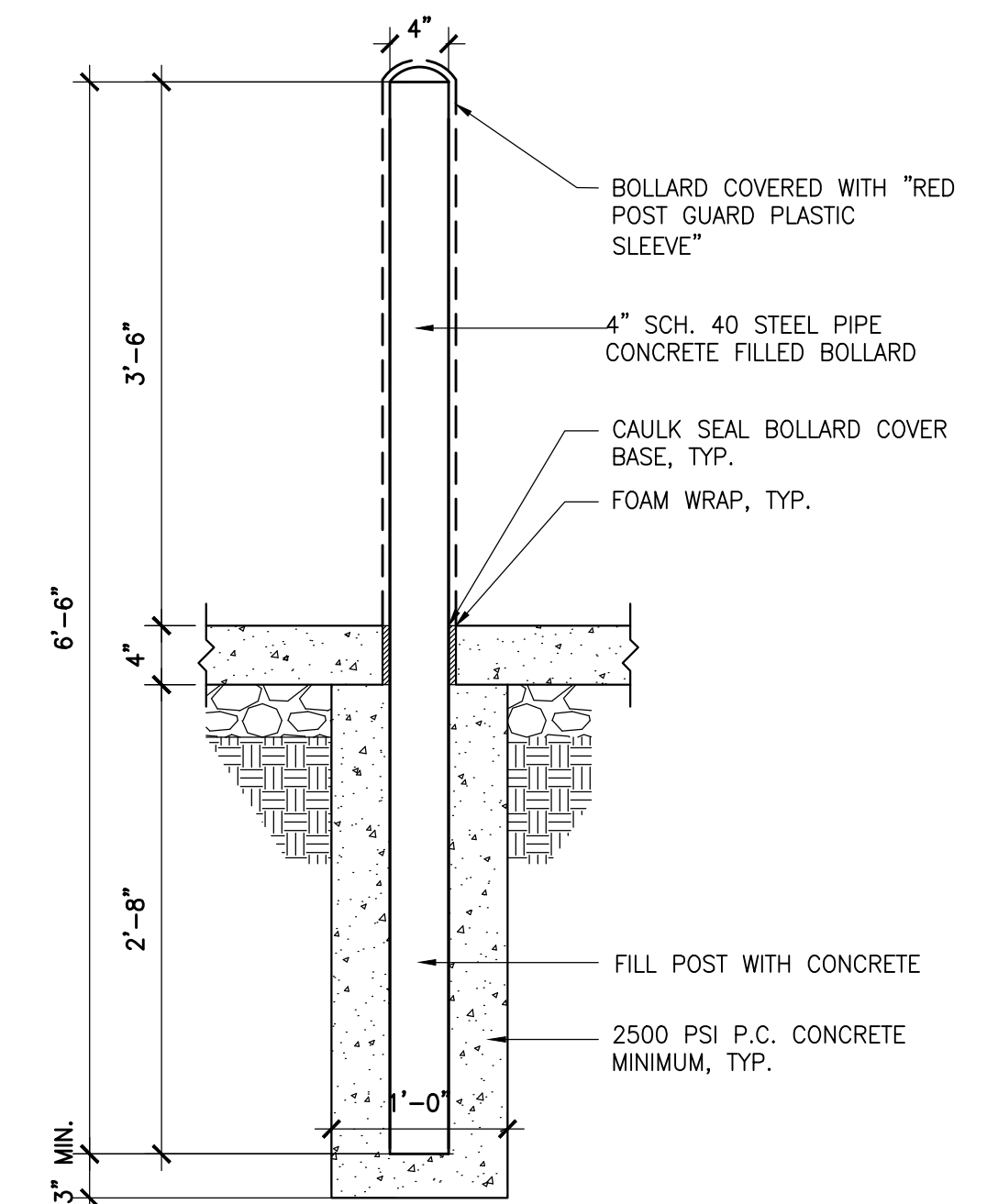


**5** HANDICAP ACCESSIBLE SIGN  
1"=1'-0"

NOTES:  
SIGNS SHALL BE MOUNTED TO POST WITH GALVANIZED OR CADMIUM PLATE 5/8" DIAMETER STEEL BOLTS, NUTS AND WASHERS. THE CONTRACTOR SHALL SUPPLY AND INSTALL 1/2" NYLON WASHERS BETWEEN BOLT HEADS AND SIGN FACE TO PROTECT FINISH.



**2** TEMPORARY EXTRUDED CURB  
1"=1'-0"



**1** GUARD POST  
1"=1'-0"



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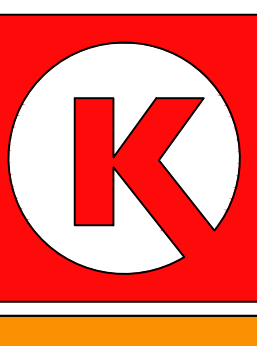
**PROFESSIONAL SEAL**

**PROFESSIONAL IN CHARGE**  
DOUG COUPER  
AAB  
**PROJECT MANAGER**  
AAB  
**QUALITY CONTROL**  
AAB  
**DRAWN BY**  
AAB

**PROJECT NAME**  
**CIRCLE K STORES INC.**  
**PARKER**  
MAIN ST. & JORDAN RD.  
PARKER, CO



LAND DEVELOPMENT  
CONSULTANTS, LLC  
950 S. CHERRY ST., STE #512  
DENVER, CO 80246



CIRCLE K STORES INC.

**PROJECT NUMBER**  
20210744.0  
**SHEET TITLE**

**SITE DETAILS**

**SHEET NUMBER**

**9 of 10**





# Project Reviews Town of Parker

**Project Number: SP21-138**

Description: **Auburn Hills Centre L4 - Circle K**

Applied: **11/9/2021**

Approved:

Site Address:

Closed:

Expired:

City, State Zip Code: ,

Status: **UNDER REVIEW 3**

Applicant: **Land Development Consultants**

Parent Project: **Z22-009**

Owner: **Wall Development Group**

Contractor: **<NONE>**

Details:

**The applicant, Circle K, is proposing a Site Plan for a 5,200 sq. ft. convenience store and gas station. The site is located southwest of the intersection of Mainstreet and Jordan Road.**

### LIST OF REVIEWS

| SENT DATE | RETURNED DATE | DUE DATE | TYPE | CONTACT | STATUS | REMARKS |
|-----------|---------------|----------|------|---------|--------|---------|
|-----------|---------------|----------|------|---------|--------|---------|

Review Group: ALL

|          |          |           |                     |              |           |  |
|----------|----------|-----------|---------------------|--------------|-----------|--|
| 4/5/2022 | 4/7/2022 | 4/21/2022 | COMPLETENESS REVIEW | Julia Duncan | COMPLETED |  |
|----------|----------|-----------|---------------------|--------------|-----------|--|

Notes:

From: Duncan, Julia <jduncan@parkeronline.org>  
 Sent: Thursday, April 7, 2022 11:20 AM  
 To: sofia@ldcaz.com  
 Subject: Z22-009 & SP21-138 Completeness Reviews

Good afternoon,

Staff has received the site plan application for SP21-138 and SP22-009. I will be the case manager for these applications. I have finalized the completeness review for this application and have determined the several items are required in order to be deemed complete:

- Site Plan: A number of items. See checklist
- Zoning: See checklist.
- Pay the review fees for both cases, which include a credit card convenience fee (fees can be paid online or send/delivered to the address below). Please wait to pay the fees until the Engineering fees have been added. I will send a separate email when those fess have been adjusted.
- I will connect you with the Town’s public notice sign posting vendor once fees have been paid.

Please see the attached completeness review checklist for more information. Once all of the above information has been uploaded to the projects’ files on TRAKiT, please email me so I can take the appropriate next steps.  
 Let me know if you have any questions in the meantime.

Thank you.

Outstanding items received.

|           |  |           |  |            |  |              |
|-----------|--|-----------|--|------------|--|--------------|
| 4/21/2022 |  | 5/19/2022 | CLARK FARMS HOME OWNERS ASSOCIATION 20 | Trina Hann |  | 01 Review 20 |
|-----------|--|-----------|--|------------|--|--------------|

Notes:



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# Project Reviews Town of Parker



|           |  |           |  |            |  |              |
|-----------|--|-----------|--|------------|--|--------------|
| 8/22/2022 |  | 9/13/2022 | CLARK FARMS HOME OWNERS ASSOCIATION 20 | Trina Hann |  | 02 REVIEW 15 |
|-----------|--|-----------|--|------------|--|--------------|

Notes:

Review Group: AUTO

|           |  |  |                            |              |  |  |
|-----------|--|--|----------------------------|--------------|--|--|
| 11/9/2021 |  |  | ENGINEERING ADMINISTRATIVE | Tom Williams |  |  |
|-----------|--|--|----------------------------|--------------|--|--|

Notes:

|           |          |            |                              |               |           |  |
|-----------|----------|------------|------------------------------|---------------|-----------|--|
| 11/9/2021 | 2/8/2022 | 11/24/2021 | LAND USE COMPLETENESS REVIEW | Alex Mestdagh | COMPLETED |  |
|-----------|----------|------------|------------------------------|---------------|-----------|--|

Notes:

Review Group: SP 1ST 20

|           |           |           |             |             |                   |           |
|-----------|-----------|-----------|-------------|-------------|-------------------|-----------|
| 4/21/2022 | 4/21/2022 | 5/19/2022 | BUILDING 20 | Randy Capra | ADVISORY COMMENTS | See Notes |
|-----------|-----------|-----------|-------------|-------------|-------------------|-----------|

Notes:

Two separate permits will be required for this project once submitted to building; a building permit for the C-Store/In-line Building and a building permit for the Canopy. The canopy will be required to have its own address (i.e. 12345 Bldg B) while the C-Store Bldg will be 12345 Bldg A. Suite numbers are required if more than one suite is envisioned for this site.

We highly encourage a Building pre-application meeting before applying for the permit to discuss construction type, occupancy, allowable areas, MEP's, energy, structural, fire, etc.... Please visit our website for all plan submittal requires: Plan Review | Town of Parker - Official Website ([parkeronline.org](http://parkeronline.org)), and our most current code adoptions.

Building and/or Fire Life Safety permit application will not be accepted/reviewed until the associated site plan is approved or otherwise discussed. All plans submitted for Building's review must meet the 2021 I-Codes, the 2020 NEC, and the referenced NFPA editions noted in the applicable codes (i.e. 2021 IFC references the 2019 edition of NFPA 72) if received by December 31, 2021. NFRC certificates, interior/exterior lighting along with the mechanical and envelope compliance path must be included with the original submittal. All Fire Permit applications and inspections will be handled through the Parker Building Division. All land use applications and the associated Grading Permit must be approved/issued per Planning and Public Works prior to the Building Permit being approved/issued.

Retaining walls greater than 4' from base of footing or bottom course requires separate building permits and plans must be stamped by qualified professional. Tiered/staggered/stepped back retaining walls all require permits no matter the height of individual wall.

Please show compliance with Title 9-5 of the Colorado Statute in concern to the Standards for Accessible Housing, specifically 9-5-105 and 9-5-106. You will also need to comply with the 2021 IBC chapter 11 for Type A and B units as well as accessibility parking requirements for residents and the public and the ICC A117.1-2009 ANSI. Please provide written response and verification on site plan when resubmitting documents.

|           |           |           |                               |             |  |                |
|-----------|-----------|-----------|-------------------------------|-------------|--|----------------|
| 4/21/2022 | 5/19/2022 | 5/19/2022 | CENTURYLINK COMMUNICATIONS 20 | CenturyLink |  | 01 Review 2022 |
|-----------|-----------|-----------|-------------------------------|-------------|--|----------------|

Notes:



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# Project Reviews Town of Parker



|           |           |           |   |                |                      |           |
|-----------|-----------|-----------|---|----------------|----------------------|-----------|
| 4/21/2022 | 5/11/2022 | 5/19/2022 | CHERRY CREEK BASIN<br>WATER QUALITY<br>AUTHORITY 20 | Rich Borchardt | ADVISORY<br>COMMENTS | See Notes |
|-----------|-----------|-----------|---|----------------|----------------------|-----------|

Notes:  
 1. The Authority's Control Regulation 72 requires construction and post-construction Best Management Practices (BMPs).  
 2. No exceptions taken with the proposed post construction BMPs.  
 3. When the Construction BMP plan is available, please provide for our review and comment.

|           |  |           |            |              |  |                |
|-----------|--|-----------|------------|--------------|--|----------------|
| 4/21/2022 |  | 5/19/2022 | COMCAST 20 | Butch Buster |  | 01 Review 2022 |
|-----------|--|-----------|------------|--------------|--|----------------|

Notes:

|           |           |           |                                |                |                       |           |
|-----------|-----------|-----------|--------------------------------|----------------|-----------------------|-----------|
| 4/21/2022 | 5/10/2022 | 5/19/2022 | CONST PLANS -<br>ENVIRONMENTAL | Michael Walton | REVISIONS<br>REQUIRED | See Notes |
|-----------|-----------|-----------|--------------------------------|----------------|-----------------------|-----------|

Notes:  
 Provide CBMP Drawings specific to this site plan for review. The "initial" CBMP Drawing shall show the existing conditions and contours along with the proposed grading as the base. Please show the initial CBMP's for the site plan on that drawing. The "interim" and "final" CBMP drawings shall show the proposed site development along with proposed grading and ultimate site stabilization.

|           |           |           |                             |                |                       |           |
|-----------|-----------|-----------|-----------------------------|----------------|-----------------------|-----------|
| 4/21/2022 | 5/10/2022 | 5/19/2022 | CONST PLANS -<br>STORMWATER | Michael Walton | REVISIONS<br>REQUIRED | See Notes |
|-----------|-----------|-----------|-----------------------------|----------------|-----------------------|-----------|

Notes:  
 Provide construction plans for all proposed stormwater infrastructure for the site.

|           |           |           |                               |                |                       |           |
|-----------|-----------|-----------|-------------------------------|----------------|-----------------------|-----------|
| 4/21/2022 | 6/17/2022 | 5/19/2022 | CONSTRUCTION PLANS -<br>CIVIL | Michael Walton | REVISIONS<br>REQUIRED | See Notes |
|-----------|-----------|-----------|-------------------------------|----------------|-----------------------|-----------|

Notes:  
 A comprehensive engineering review will be provided following receipt of construction plans.

|           |           |           |                                       |                 |            |                |
|-----------|-----------|-----------|---------------------------------------|-----------------|------------|----------------|
| 4/21/2022 | 5/19/2022 | 5/19/2022 | DOUGLAS COUNTY<br>ASSESSORS OFFICE 20 | Marian Woodward | NO COMMENT | 01 Review 2022 |
|-----------|-----------|-----------|---------------------------------------|-----------------|------------|----------------|

Notes:

|           |  |           |  |              |  |                |
|-----------|--|-----------|--|--------------|--|----------------|
| 4/21/2022 |  | 5/19/2022 | DOUGLAS COUNTY<br>ENGINEERING DIVISION<br>20 | DC Referrals |  | 01 Review 2022 |
|-----------|--|-----------|--|--------------|--|----------------|

Notes:

|           |           |           |  |              |                      |                |
|-----------|-----------|-----------|--|--------------|----------------------|----------------|
| 4/21/2022 | 5/11/2022 | 5/19/2022 | DOUGLAS COUNTY<br>PLANNING SERVICES<br>DIVISION 20 | DC Referrals | ADVISORY<br>COMMENTS | 01 Review 2022 |
|-----------|-----------|-----------|--|--------------|----------------------|----------------|

Notes:  
 The proposed address for the park is 16846 EAST AUBURN HILLS DRIVE. This address is not to be used for any purpose other than for plan review until after this project is approved. Proposed addresses are subject to changes as necessary for 911 dispatch and life safety purposes. Addresses are recorded by Douglas County following all necessary approvals. Send confirmation of project approval to this office by email.

Contact DCAddressing@douglas.co.us or 303.660.7411 with questions.



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# Project Reviews Town of Parker



|   |           |           |                                       |                |                    |                |
|---|-----------|-----------|---------------------------------------|----------------|--------------------|----------------|
| 4/21/2022   |           | 5/19/2022 | DOUGLAS COUNTY SCHOOL DISTRICT RE1 20 | Steve Ormiston |                    | 01 Review 2022 |
| Notes:  |           |           |                                       |                |                    |                |
| 4/21/2022   | 7/5/2022  | 5/19/2022 | DRAINAGE REPORT - CIVIL               | Alex Mestdagh  | REVISIONS REQUIRED |                |
| Notes:  |           |           |                                       |                |                    |                |
| 4/21/2022   | 5/10/2022 | 5/19/2022 | DRAINAGE REPORT - STORMWATER          | Michael Walton | REVISIONS REQUIRED | See Notes      |
| Notes:  |           |           |                                       |                |                    |                |
| 1. Provide inlet capacity calculations for the existing inlet at design point 4-b.<br>2. Please directly state that the Town's Tier 3 water quality requirements are met by the two existing ponds somewhere in the water quality and detention section of the narrative.                           |           |           |                                       |                |                    |                |
| 4/21/2022   | 4/21/2022 | 5/19/2022 | FIRE LIFE SAFETY 20                   | Randy Capra    | REVISIONS REQUIRED | See Notes      |
| Notes:  |           |           |                                       |                |                    |                |
| See response letter, uploaded to this application and named "SP21-138 Auburn Hills Centre L4 Circle K Gas Station and Conv Store [1] Fire Life Safety Response Ltr 042122", for all comments.   |           |           |                                       |                |                    |                |
| 4/21/2022   | 6/8/2022  | 5/19/2022 | FLOODPLAIN DEVELOPMENT PLAN           | Alex Mestdagh  | NOT APPLICABLE     | 01 Review 2022 |
| Notes:  |           |           |                                       |                |                    |                |
| 4/21/2022   | 5/13/2022 | 5/19/2022 | IREA 20                               | Brooks Kaufman | REVISIONS REQUIRED | 01 Review 2022 |
| Notes:  |           |           |                                       |                |                    |                |
| The applicant will required to show all platted utility easements on the SP. The proposed sign is not permitted within the 15-foot utility easement. The proposed landscaping does not meet CORE transformer clearances. Lat item the applicant will be require to provide EUSERC cabinet location. |           |           |                                       |                |                    |                |
| 4/21/2022   | 6/8/2022  | 5/19/2022 | PLAT - CIVIL                          | Alex Mestdagh  | NOT APPLICABLE     | 01 Review 2022 |
| Notes:  |           |           |                                       |                |                    |                |
| 4/21/2022   |           | 5/19/2022 | POLICE 20                             | Greg Epp       |                    | 01 Review 2022 |
| Notes:  |           |           |                                       |                |                    |                |
| 4/21/2022   |           | 5/19/2022 | PSCO RESIDENTIAL SUBDIVISIONS 20      | Xcel Energy    |                    | 01 Review 2022 |
| Notes:  |           |           |                                       |                |                    |                |



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# Project Reviews Town of Parker



|           |           |           |                                       |              |                   |               |
|-----------|-----------|-----------|---------------------------------------|--------------|-------------------|---------------|
| 4/21/2022 | 5/20/2022 | 5/19/2022 | PUBLIC SERVICE COMPANY OF COLORADO 20 | Donna George | ADVISORY COMMENTS | see New Notes |
|-----------|-----------|-----------|---------------------------------------|--------------|-------------------|---------------|

Notes:  
The property owner/developer/contractor must complete the application process for any new natural gas service, or modification to existing facilities via [xcelenergy.com/InstallAndConnect](http://xcelenergy.com/InstallAndConnect). It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details.

|           |           |           |                   |                |            |           |
|-----------|-----------|-----------|-------------------|----------------|------------|-----------|
| 4/21/2022 | 6/17/2022 | 5/19/2022 | SITE PLAN - CIVIL | Michael Walton | NO COMMENT | See Notes |
|-----------|-----------|-----------|-------------------|----------------|------------|-----------|

Notes:  
A comprehensive engineering review will be provided following receipt of construction plans.

|           |           |           |                        |                |                    |           |
|-----------|-----------|-----------|------------------------|----------------|--------------------|-----------|
| 4/21/2022 | 5/10/2022 | 5/19/2022 | SITE PLAN - STORMWATER | Michael Walton | REVISIONS REQUIRED | See Notes |
|-----------|-----------|-----------|------------------------|----------------|--------------------|-----------|

Notes:  
Provide a minimum of 7-feet from any existing or proposed tree to any existing or proposed storm sewer infrastructure.

|           |           |           |              |              |                    |                |
|-----------|-----------|-----------|--------------|--------------|--------------------|----------------|
| 4/21/2022 | 5/19/2022 | 5/19/2022 | SITE PLAN 20 | Julia Duncan | REVISIONS REQUIRED | 01 Review 2022 |
|-----------|-----------|-----------|--------------|--------------|--------------------|----------------|

Notes:  
From: Duncan, Julia <[jduncan@parkeronline.org](mailto:jduncan@parkeronline.org)>  
Sent: Thursday, May 19, 2022 8:24 AM  
To: [sofia@ldcaz.com](mailto:sofia@ldcaz.com)  
Subject: SP21-138 STAFF COMMENTS REVIEW 01

Good Morning,  
Staff has completed the review for sp21-138. Attached are the Planning Division's comments and redlines for the first round of review. A copy of these documents are also available in the project file in eTRAKiT. Please note, all other reviews referenced within the comment letter can be found in eTRAKiT. If you would like to schedule time to discuss these comments in detail, please email me with times you are available, and we will get something on the calendar. If you prefer to just address the comments and resubmit, please email me when your resubmittal is made so that I can send the information out for the next review cycle. Please let me know if you have any questions.

Sincerely,  
Julia

|           |  |           |                     |                  |  |                |
|-----------|--|-----------|---------------------|------------------|--|----------------|
| 4/21/2022 |  | 5/19/2022 | SOUTH METRO FIRE 20 | South Metro Fire |  | 01 Review 2022 |
|-----------|--|-----------|---------------------|------------------|--|----------------|

Notes:

|           |          |           |                              |               |                    |           |
|-----------|----------|-----------|------------------------------|---------------|--------------------|-----------|
| 4/21/2022 | 7/5/2022 | 5/19/2022 | TRAFFIC IMPACT STUDY - CIVIL | Alex Mestdagh | REVISIONS REQUIRED | See Notes |
|-----------|----------|-----------|------------------------------|---------------|--------------------|-----------|

Notes:  
This use was assumed in master traffic study. Confirm that project is within those assumptions.

|           |           |           |                                     |       |            |                |
|-----------|-----------|-----------|-------------------------------------|-------|------------|----------------|
| 4/21/2022 | 5/20/2022 | 5/19/2022 | URBAN DRAINAGE AND FLOOD CONTROL 20 | UDFCD | NO COMMENT | 01 Review 2022 |
|-----------|-----------|-----------|-------------------------------------|-------|------------|----------------|

Notes:  
No eligible features proposed at this time.



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# Project Reviews Town of Parker



Review Group: SP 1ST 20 ADD

|           |           |           |   |                   |                    |                |
|-----------|-----------|-----------|---|-------------------|--------------------|----------------|
| 4/21/2022 | 4/21/2022 | 5/19/2022 | PARKER WATER AND SANITATION DISTRICT 20 | Drayton Sanderson | REVISIONS REQUIRED | 01 Review 2022 |
|-----------|-----------|-----------|---|-------------------|--------------------|----------------|

Notes:  
PWSD requires a dedicated set of PWSD utility plans to be submitted and reviewed prior to project approval. Please refer to uploaded documents, PWSD checklist and PWSD Documents and fees due prior to plan approval. Please note infrastructure plans must be approved prior to approval of Circle K utility plans.

Review Group: SP GRP 10

|           |           |           |                               |             |  |              |
|-----------|-----------|-----------|-------------------------------|-------------|--|--------------|
| 8/22/2022 | 9/13/2022 | 9/13/2022 | CENTURYLINK COMMUNICATIONS 10 | CenturyLink |  | 02 REVIEW 15 |
|-----------|-----------|-----------|-------------------------------|-------------|--|--------------|

Notes:

|           |           |           |                                |                |                    |                     |
|-----------|-----------|-----------|--------------------------------|----------------|--------------------|---------------------|
| 8/22/2022 | 9/23/2022 | 9/13/2022 | CONST PLANS - ENVIRONMENTAL 10 | Michael Walton | REVISIONS REQUIRED | See Stormwater Memo |
|-----------|-----------|-----------|--------------------------------|----------------|--------------------|---------------------|

Notes:

|           |           |           |                             |                |                    |                     |
|-----------|-----------|-----------|-----------------------------|----------------|--------------------|---------------------|
| 8/22/2022 | 9/23/2022 | 9/13/2022 | CONST PLANS - STORMWATER 10 | Michael Walton | REVISIONS REQUIRED | See Stormwater Memo |
|-----------|-----------|-----------|-----------------------------|----------------|--------------------|---------------------|

Notes:

|           |           |           |                               |               |                    |           |
|-----------|-----------|-----------|-------------------------------|---------------|--------------------|-----------|
| 8/22/2022 | 9/29/2022 | 9/13/2022 | CONSTRUCTION PLANS - CIVIL 10 | Alex Mestdagh | REVISIONS REQUIRED | See Notes |
|-----------|-----------|-----------|-------------------------------|---------------|--------------------|-----------|

Notes:  
Show roof drain connection for the building, and ensure that it drains to the site/stormwater rather than the right-of-way.

|           |           |           |                              |                |                    |                     |
|-----------|-----------|-----------|------------------------------|----------------|--------------------|---------------------|
| 8/22/2022 | 9/23/2022 | 9/13/2022 | DRAINAGE REP - STORMWATER 10 | Michael Walton | REVISIONS REQUIRED | See Stormwater Memo |
|-----------|-----------|-----------|------------------------------|----------------|--------------------|---------------------|

Notes:

|           |           |           |                            |               |            |                    |
|-----------|-----------|-----------|----------------------------|---------------|------------|--------------------|
| 8/22/2022 | 9/29/2022 | 9/13/2022 | DRAINAGE REPORT - CIVIL 10 | Alex Mestdagh | NO COMMENT | Defer to M. Walton |
|-----------|-----------|-----------|----------------------------|---------------|------------|--------------------|

Notes:

|           |           |           |                     |             |                    |           |
|-----------|-----------|-----------|---------------------|-------------|--------------------|-----------|
| 8/22/2022 | 8/24/2022 | 9/13/2022 | FIRE LIFE SAFETY 10 | Randy Capra | REVISIONS REQUIRED | See Notes |
|-----------|-----------|-----------|---------------------|-------------|--------------------|-----------|

Notes:  
See response letter named SP21-138 Auburn Hills Centre L4 Circle K Gas Station and Conv Store [2] Fire Life Safety Response Ltr 082422"" for all comments

|           |           |           |         |                |                    |              |
|-----------|-----------|-----------|---------|----------------|--------------------|--------------|
| 8/22/2022 | 9/13/2022 | 9/13/2022 | IREA 10 | Brooks Kaufman | REVISIONS REQUIRED | 02 REVIEW 15 |
|-----------|-----------|-----------|---------|----------------|--------------------|--------------|

Notes:  
The proposed knee wall is not allowed to encroach into the utility easement. On the south side of the building CORE will require vehicle access to the proposed transformer location to allow a crane to remove and set the transformer.



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# Project Reviews Town of Parker



|           |           |           |                              |                |                       |                     |
|-----------|-----------|-----------|------------------------------|----------------|-----------------------|---------------------|
| 8/22/2022 | 9/23/2022 | 9/13/2022 | SITE PLAN -<br>STORMWATER 10 | Michael Walton | REVISIONS<br>REQUIRED | See Stormwater Memo |
|-----------|-----------|-----------|------------------------------|----------------|-----------------------|---------------------|

Notes:

|           |           |           |              |              |                       |              |
|-----------|-----------|-----------|--------------|--------------|-----------------------|--------------|
| 8/22/2022 | 9/16/2022 | 9/13/2022 | SITE PLAN 10 | Julia Duncan | REVISIONS<br>REQUIRED | 02 REVIEW 15 |
|-----------|-----------|-----------|--------------|--------------|-----------------------|--------------|

Notes:

From: Duncan, Julia <jduncan@parkeronline.org>  
 Sent: Friday, September 16, 2022 8:25 AM  
 To: sofia@ldcaz.com  
 Subject: SP21-138 Staff Comments Review 02

Good Morning,  
 Staff has completed the review for sp21-138. Attached are the Planning Division’s comments and redlines for the second round of review. A copy of these documents are also available in the project file in eTRAKiT. Please note, all other reviews referenced within the comment letter can be found in eTRAKiT. If you would like to schedule time to discuss these comments in detail, please email me and we will get something on the calendar. If you prefer to just address the comments and resubmit, please email me when your resubmittal is made so that I can send the information out for the next review cycle. Please let me know if you have any questions.

Sincerely,  
 Julia

|           |           |           |                                    |               |            |              |
|-----------|-----------|-----------|------------------------------------|---------------|------------|--------------|
| 8/22/2022 | 9/29/2022 | 9/13/2022 | TRAFFIC IMPACT STUDY -<br>CIVIL 10 | Alex Mestdagh | NO COMMENT | 02 REVIEW 15 |
|-----------|-----------|-----------|------------------------------------|---------------|------------|--------------|

Notes:

|           |           |           |                                   |               |                       |   |
|-----------|-----------|-----------|-----------------------------------|---------------|-----------------------|---|
| 5/11/2023 | 5/24/2023 | 5/25/2023 | CONST PLANS -<br>ENVIRONMENTAL 10 | Robert Seacat | REVISIONS<br>REQUIRED | 03 Review 10 See<br>Engineering Memo and<br>Notes |
|-----------|-----------|-----------|-----------------------------------|---------------|-----------------------|---|

Notes:

SP21-130 - Auburn Hills Centre L4 Circle K – 2nd ENVIRONMENTAL REVIEW, 5-24-23

**GENERAL COMMENTS**

Please note that a CBMP Estimate will be required and reviewed with the Grading Permit after all CBMP comments have been addressed and the final site plan is near approval.

1. Please provide the Town of Parker’s complete 3-page Legend of CBMP Keys/Symbols to correspond to the 27 CBMP Details directly before the Erosion Control CBMP General Notes on page C4.2.  
 Link: <http://parkeronline.org/532/Construction-Best-Management-Practices>

**INITIAL CBMP PLANS**

2. Please add a note to the initial CBMP Plan Sheet stating – “ANY ONSITE BULK FUEL STORAGE REQUIRES A FIRE LIFE SAFETY PERMIT FROM THE TOWN OF PARKER PRIOR TO INSTALLATION”. Contact Randy Capra at 303-805-3136 or rcapra@parkeronline.org for FLS Permit questions.

3. Please provide ALL existing stormwater infrastructure on the Initial CBMP plan sheet.

|           |  |           |                                  |                |  |              |
|-----------|--|-----------|----------------------------------|----------------|--|--------------|
| 5/11/2023 |  | 5/25/2023 | CONSTRUCTION PLANS -<br>CIVIL 10 | Michael Walton |  | 03 Review 10 |
|-----------|--|-----------|----------------------------------|----------------|--|--------------|

Notes:



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# Project Reviews Town of Parker



|  |           |           |   |                   |                    |              |
|--|-----------|-----------|---|-------------------|--------------------|--------------|
| 5/11/2023  |           | 5/25/2023 | DRAINAGE REPORT - CIVIL 10              | Michael Walton    |                    | 03 Review 10 |
| Notes:   |           |           |   |                   |                    |              |
| 5/11/2023  | 5/16/2023 | 5/25/2023 | FIRE LIFE SAFETY 10                     | Randy Capra       | REVISIONS REQUIRED | See Notes    |
| Notes:<br>Not satisfied; applicant has not provided the required response to this letter (for a third time). In not responding, the applicant further delays approval for this project. This project will need to now go to another review. When resubmitting, provide the required response letter as well as address all comments for each item not previously addressed!  |           |           |   |                   |                    |              |
| 5/11/2023  | 5/22/2023 | 5/25/2023 | IREA 10                                 | Brooks Kaufman    | APPROVED           | 03 Review 10 |
| Notes:<br>CORE will require an easement for the transformer location at electrical design.   |           |           |   |                   |                    |              |
| 5/11/2023  |           | 5/25/2023 | SITE PLAN - STORMWATER 10               | Michael Walton    |                    | 03 Review 10 |
| Notes:   |           |           |   |                   |                    |              |
| 5/11/2023  |           | 5/25/2023 | SITE PLAN 10                            | Amber Wood Hicken |                    | 03 Review 10 |
| Notes:   |           |           |   |                   |                    |              |
| Review Group: SP GRP 10 ADD  |           |           |   |                   |                    |              |
| 8/22/2022  | 8/30/2022 | 9/13/2022 | PARKER WATER AND SANITATION DISTRICT 10 | Drayton Sanderson | ADVISORY COMMENTS  | 02 REVIEW 15 |
| Notes:<br>PWSD uploaded to most resent comment letter based on the Utility Plans uploaded. PWSD has been working directly with the developer. Items in comment letter will need to be addressed prior to plan approval.<br>PWSD has no further design comments. Please pay engineering review fees, irrigation review fees and tap fees. Once fees are paid, please upload PDF final construction utility plans and have Randy Capra sign the plans. |           |           |   |                   |                    |              |
| 5/11/2023  | 5/22/2023 | 5/25/2023 | PARKER WATER AND SANITATION DISTRICT 10 | Drayton Sanderson | REVISIONS REQUIRED | 03 Review 10 |
| Notes:<br>Due to Parker Life Safety's request to add a hydrant revised utility plans will be needed for PWSD to review.  |           |           |   |                   |                    |              |