



Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

MEMORANDUM

TO: Land Development Consultants
FROM: Julia Duncan, Associate Planner
DATE: May 19, 2022
SUBJECT: SP21-138; Auburn Hills Centre L4 - Circle K
Review Comments 01

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER: Julia Duncan

EMAIL: jduncan@parkeronline.org

PHONE: 303.805.3334

GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at:
[Parker 2035 Master Plan](#)
[Development Design Standards](#)
[Land Development Ordinance](#) Noted, thank you.
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project. Noted
3. Please contact the referral agencies if you have questions regarding their review comment(s). Noted
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum. Noted
5. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.** Noted
6. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKIT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not refer the application out with this naming convention.
Example: "02" or "Second Submittal" Noted

7. **Prairie Dog Management:** The Town’s current land development ordinance section 13.10.250 - Prairie Dog Management requires applicants/developers to make a good faith effort to have any prairie dogs on site relocated. Documentation of this effort will be a condition of the land use application approval/site development and a certificate of compliance will be required prior to issuance of the grading permit. If relocation of the prairie dogs is not available, humane extermination may be considered. Prairie Dog management should begin as early as possible during the review process. Please coordinate with staff.

Noted

Site Plan and Project Details

1. Please see the attached redlines for additional information.
2. Please deliver a physical materials board

Comment Addressed: Yes No

Response:

Materials board will be provided by arch.

OUTSIDE REFERRAL AGENCY COMMENTS

Please address all outside referral agency comments with a written response. The following agencies have provided comments for review:

- Town of Parker – Environmental (Construction Plans)
- Town of Parker – Building
- Cherry Creek Basin Water Quality Authority
- Town of Parker – Stormwater (Construction Plans)
- Douglas County Planning
- Town of Parker – Stormwater (Drainage Report)
- Fire Life Safety
- IREA
- Parker Water and Sanitation
- Town of Parker – Civil (Plat)
- Town of Parker – Stormwater

Please keep an eye out in eTRAKiT for the comment to the following reviews:

- Town of Parker – Civil (Construction Plans)
- Douglas County Assessor’s Office
- Town of Parker – Civil (Drainage Report)
- Town of Parker – Civil (Site Plan)
- Town of Parker – Civil (Traffic Impact Study)
- Clark Farms Homeowners’ Association

Staff Comments 01
SP21-138; Auburn Hills Centre L4
Circle K
May 19, 2022

These comments are available on eTRAKiT. Please address accordingly.

Comment(s) Addressed: Yes No

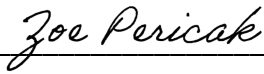
Response:



Property Owner

07-14-2022

Date



Project Representative

07-14-2022

Date

CIRCLE K SITE DEVELOPMENT PLAN

SE CORNER OF COMMERCIAL LOT 1- PHASE II, FILING NO. 3B OF BRADBURY RANCH
LOCATED IN THE NORTHEAST ¼ OF THE SOUTHEAST ¼ OF SECTION 20, TOWNSHIP 6 SOUTH,
RANGE 66 WEST OF THE 6TH P.M.,
TOWN OF PARKER, STATE OF COLORADO



Know what's below.
Call before you dig.

CONSULTANTS:
2435 RESEARCH PARKWAY, SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
FAX: (719) 575-0208

LAND DEVELOPMENT
CONSULTANTS, LLC
950 S. CHERRY STREET, SUITE 512
DENVER, CO 80246

CONTACT LIST

OWNER
CIRCLE K STORES, INC.
5500 S. QUEBEC STREET, SUITE 100
GREENWOOD VILLAGE, CO 80111
PHONE: (720) 758-6223

DEVELOPER
LAND DEVELOPMENT CONSULTANTS, LLC
950 S. CHERRY STREET, SUITE 512
DENVER, CO 80246
SOFIA HERNANDEZ
PHONE: (303) 717-3305

CIVIL ENGINEER/ LANDSCAPE ARCHITECT
MATRIX DESIGN GROUP
2435 RESEARCH PARKWAY, SUITE 300
COLORADO SPRINGS, CO 80920
NICOLE SCHANEL/ JASON ALWINE
PHONE: (719) 575-0100

**TOWN OF PARKER -
COMMUNITY DEVELOPMENT DEPARTMENT**
20120 E. MAIN STREET
PARKER, CO 80138
JOHN FUSSA
PHONE: (303) 841-2332

PARKER WATER & SANITATION
18100 E WOODMAN DR, PARKER, CO 80134
PHONE: (303) 841-4627

SOUTH METRO FIRE RESCUE
PHONE: (720) 989-2000

XCEL ENERGY
PHONE: 1-800-895-4999

CORE ELECTRIC COOPERATIVE
PHONE: (800) 332-9540

GENERAL COVER SHEET NOTES

- FENCES, WALLS, SIGNS AND ACCESSORY STRUCTURES ARE SUBJECT TO SEPARATE REVIEWS AND PERMITS.
- ANGLES NOT SHOWN ARE EITHER 90 DEGREES OR A SUPPLEMENT OF THE ANGLE INDICATED.
- PRIVATE ROADWAYS WILL BE POSTED WITH "FIRE LANE" SIGNS AS REQUIRED BY THE SOUTH METRO FIRE RESCUE.
- PARKING SPACES FOR PERSONS WITH DISABILITIES WILL BE CLEARLY DELINEATED WITH UPRIGHT SIGNS.
- APPROVAL FOR THIS PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH ADA REQUIREMENTS.
- SITE(S) SHALL BE LANDSCAPED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY (CO) DURING THE GROWING SEASON OF APRIL 1ST TO OCTOBER 1ST, AT ALL OTHER TIMES THE INDIVIDUAL SITES SHALL BE LANDSCAPED WITHIN 45 (FORTY-FIVE) DAYS OF THE START OF THE FOLLOWING GROWING SEASON.
- AN ACCESS EASEMENT FOR EMERGENCY SERVICES IS HEREBY GRANTED ON AND ACROSS ALL AREAS FOR POLICE, FIRE, MEDICAL AND OTHER EMERGENCY VEHICLES AND FOR THE PROVISION OF EMERGENCY SERVICES.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH UNDERGROUND AUTOMATIC IRRIGATION SYSTEM, TREES, SHRUBS, AND DECORATIVE GRASSES WILL BE IRRIGATED BY A SEPARATE ZONE FROM SOD/GRASS; THIS INCLUDES TREES PLANTED IN SOD/GRASS AREA. THE IRRIGATION SYSTEM IS TO HAVE A RAIN SENSOR SHUTOFF INSTALLED.
- PRIVATE ROADWAYS ARE NON-DEDICATED STREETS AND WILL NOT BE MAINTAINED BY THE TOWN OF PARKER.

NOTES

- SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS, AND PRECISE BUILDING DIMENSIONS

BEARING

BEARINGS: BASED ON THE NORTH LINE OF THE SOUTHEAST ¼ OF SECTION 20 ASSUMED TO BEAR N89°25'39"E BETWEEN MONUMENTS FOUND AND DESCRIBED ON THE ALTA/NSPS LAND TITLE SURVEY BY RUBINO SURVEYING DATED 06/08/2020

NOTICE TO BIDDERS

ALL QUESTIONS REGARDING THE PREPARATION OF THE GENERAL CONTRACTOR'S BID SHALL BE DIRECTED TO THE OWNER'S CONSTRUCTION DEPARTMENT AT (602) 850-8101. SUBCONTRACTORS MUST DIRECT THEIR QUESTIONS THROUGH THE GENERAL CONTRACTOR. THE CONSULTING ARCHITECT AND/OR THE CONSULTING ENGINEER SHALL NOT BE CONTACTED DIRECTLY WITHOUT PRIOR AUTHORIZATION FROM THE OWNER/DEVELOPER

FLOOD ZONE INFORMATION

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) RATE MAP COMMUNITY PANEL NO. 08035C0068G, DATED MARCH 16, 2016, THIS PROPERTY IS IN FLOOD HAZARD ZONE X "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN"

LEGAL DESCRIPTION

A PORTION OF THAT PARCEL OF LAND KNOWN AS BRADBURY RANCH COMMERCIAL LOT 1 AND A PORTION OF THAT RIGHT-OF-WAY DESCRIBED AS PARCEL IV IN SPECIAL WARRANTY DEED RECORDED ON OCTOBER 14, 1987 IN BOOK 753, PAGE 617 OF THE RECORDS OF DOUGLAS COUNTY, BEING SITUATE IN THE SOUTHEAST QUARTER (SE¼) OF SECTION TWENTY (20), TOWNSHIP SIX SOUTH (T.6S.), RANGE SIXTY-SIX WEST (R.66W.) OF THE SIXTH PRINCIPAL MERIDIAN (6TH P.M.), TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST QUARTER CORNER OF SAID SECTION 20 AND ASSUMING THE EAST LINE OF SAID SE¼ AS BEARING SOUTH 00°21'15" EAST, BEING A GRID BEARING OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983, WITH ALL OTHER BEARINGS CONTAINED HEREIN BEING RELATIVE THERETO,

THE LINEAL DIMENSIONS AS CONTAINED HEREIN ARE BASED UPON THE "U.S. SURVEY FOOT."

THENCE SOUTH 00°21'15" EAST A DISTANCE OF 70.00 FEET TO THE SOUTH LINE OF BRADBURY RANCH SUBDIVISION FILING NO. 2K RECORDED OCTOBER 1, 1997 AT RECEPTION NO. 9754676 OF THE RECORDS OF DOUGLAS COUNTY;
THENCE SOUTH 88°58'38" WEST ALONG SAID SOUTH LINE A DISTANCE OF 94.78 FEET; THENCE SOUTH 45°37'01" EAST A DISTANCE OF 43.32 FEET;
THENCE SOUTH 00°21'15" EAST A DISTANCE OF 187.00 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING SOUTH 00°21'15" EAST A DISTANCE OF 108.63 FEET;
THENCE SOUTH 00°05'09" EAST A DISTANCE OF 34.05 FEET TO A POINT ON A CURVE (POC); THENCE ALONG THE ARC OF A CURVE CONCAVE TO THE WEST AND BEING NON-TANGENT TO THE AFORESAID LINE A DISTANCE OF 96.74 FEET, SAID CURVE HAS A RADIUS OF 898.98 FEET, A DELTA OF 6°09'57", AND IS SUBTENDED BY A CHORD BEARING SOUTH 01°58'23" WEST A DISTANCE OF 96.70 FEET;

THENCE SOUTH 48°27'30" WEST NON-TANGENT FROM THE AFORESAID CURVE A DISTANCE OF 55.70 FEET TO THE NORTH RIGHT-OF-WAY LINE OF EAST AUBURN HILLS PLACE PER BRADBURY RANCH SUBDIVISION FILING NO. 3B RECORDED JULY 5, 2000 AT RECEPTION NO. 00046286 OF THE RECORDS OF DOUGLAS COUNTY AND TO A POC;
THENCE ALONG SAID NORTH RIGHT-OF-WAY LINE AND ALONG THE ARC OF A CURVE CONCAVE TO THE SOUTH AND BEING NON-TANGENT TO THE AFORESAID LINE A DISTANCE OF 207.70 FEET, SAID CURVE HAS A RADIUS OF 1537.50 FEET, A DELTA OF 07°44'25", AND IS SUBTENDED BY A CHORD BEARING SOUTH 85°28'16" WEST A DISTANCE OF 207.54 FEET;

THENCE NORTH 00°21'15" WEST A DISTANCE OF 233.96 FEET; THENCE NORTH 10°22'55" EAST A DISTANCE OF 58.14 FEET;
THENCE NORTH 89°38'45" EAST A DISTANCE OF 242.16 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 1.597 ACRES OR 69.547 SQ. FT. MORE OR LESS (+/-), AND IS SUBJECT TO ANY RIGHTS- OF-WAY OR OTHER EASEMENTS OF RECORD AS NOW EXISTING ON SAID DESCRIBED PARCEL OF LAND.

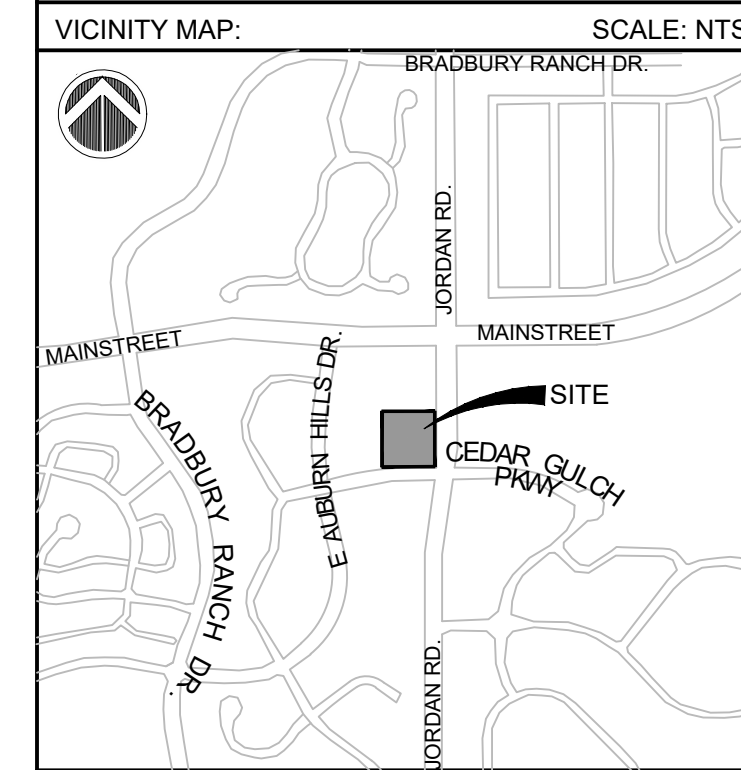
EXISTING LEGEND

SYMBOL LEGEND	
FOUND CONTROL POINT	●
CROSSWALK LIGHT	▲
SET 1/2" REBAR W/CAP 6085	○
SANITARY SEWER MANHOLE	⊗
WATER VALVE	⊕
POWER POLE	⊗
LIGHT POLE	⊕
GUY WIRE	⊕
ELECTRIC PULL BOX	⊗
TELEPHONE BOX	⊕
GAS VALVE	⊕
TRAFFIC SIGN	⊕
TRAFFIC SIGNAL BOX	⊕
MAIL BOX	⊕

OWNER/DEVELOPER:

ROCKY MOUNTAINS DIVISION
5500 S QUEBEC STREET, SUITE 100
GREENWOOD VILLAGE, CO 80111

FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC
VICINITY MAP: SCALE: NTS



PROJECT:
CIRCLE K STORES INC.
SITE DEVELOPMENT PLAN
MAINSTREET & JORDAN
TOWN OF PARKER, CO

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY

DRAWING INFORMATION:
PROJECT NO: 21.1207.030
DRAWN BY: KMZ
CHECKED BY: NMS
DESIGNED BY: KMZ

SHEET TITLE:
COVER SHEET

CS01
SHEET 1 OF 4
TOWN FILE NO.:

- Maximum F.A.R. = 0.25
 - Maximum Building Coverage = 50%
 - Minimum Open Space = 20%
 - Minimum building setbacks:
 - Adjacent to residential uses = min. 1 ft. setback for every 1 ft. of building height but never less than 30 ft.
 - Adjacent to arterial roadway = 25 feet
 - Corner lots (other than arterial roadways) = 25 feet for designated front yard and 15 feet for side yard
- All other conditions:
Front = 20 feet
Side = 0 feet
Rear = 0 feet

Thank you for providing

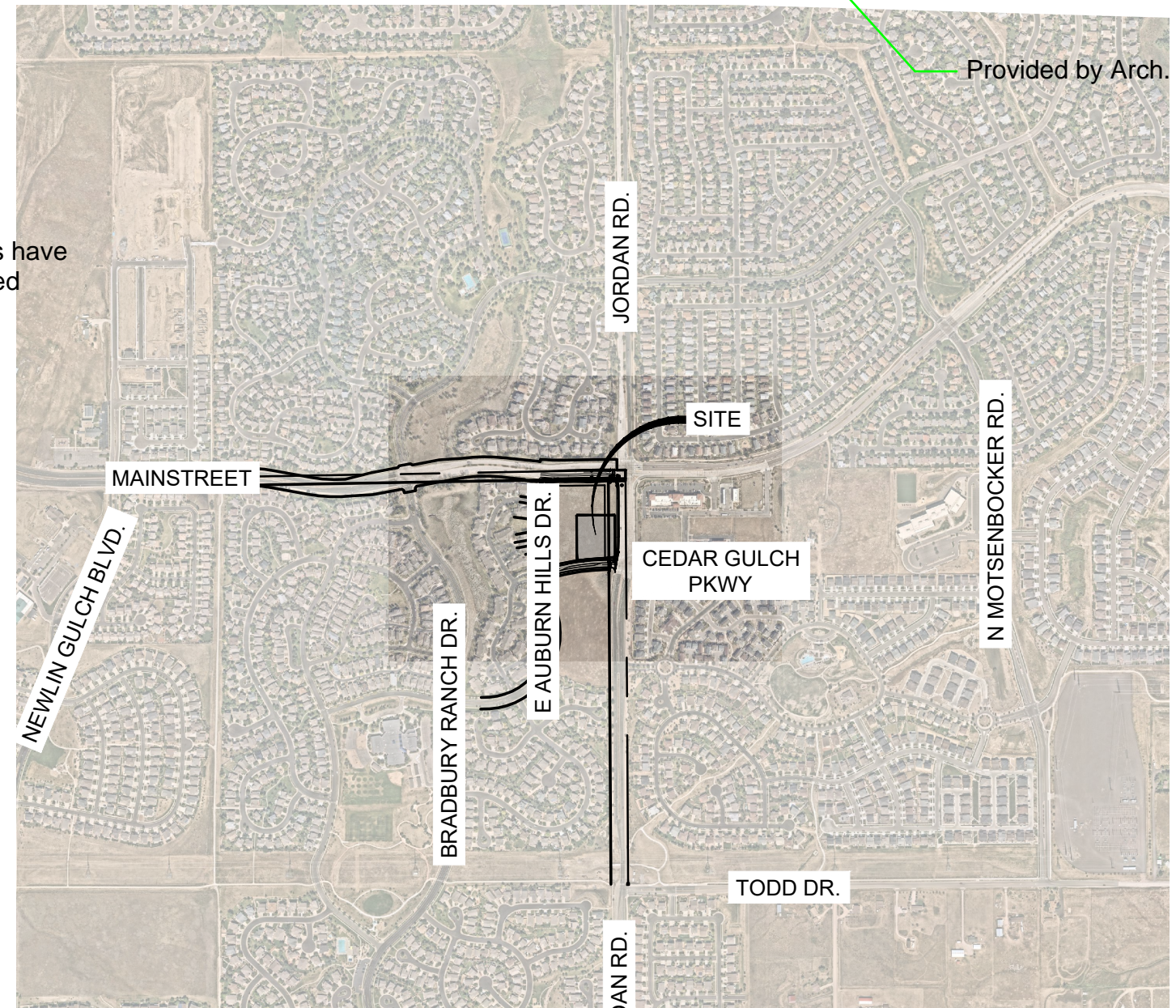
Reference for required standards column

There are only four sheets-please include all sheets in one pdf, including elevations...etc.

SDP sheets will be combined for next submittal

SHEET INDEX	
SHEET DESCRIPTION	SHEET NUMBER
COVER SHEET	1
SITE PLAN	3
LANDSCAPE PLAN	4
LANDSCAPE DETAILS	5
BUILDING EXTERIOR ELEVATIONS	6
FUEL CANOPY ELEVATIONS	7
PHOTOMETRIC PLAN	8
LIGHTING FIXTURES	9
SITE DETAILS	10
SITE DETAILS	11

ZONING	PD-BRADBURY RANCH PA-7	
PROPOSED USE	CONVENIENCE SERVICE ESTABLISHMENT	
NUMBER OF BUILDINGS	1	
GENERAL ZONE LOT INFORMATION	SQ. FT.	ACRES
ZONE LOT SIZE	69547	1.597
AREA TO BE SET ASIDE FOR ADDITIONAL RIGHT-OF-WAY	0	0
NET PROJECT AREA AFTER DEDUCTION OF ANY REQUIRED PUBLIC RIGHT OF WAY	0	0
PERMITTED USE	5,200	
MAX HEIGHT OF STRUCTURES PER ZONING	45' MAX	
	SQ. FT.	%
GROUND COVERAGE BY ALL PRIMARY AND ACCESSORY STRUCTURES	5,763	6.93%
IMPERVIOUS GROUND COVERAGE	46,578	67.0%
GROUND COVERAGE BY ALL LANDSCAPING	22,987	33.0%
PARKING	REQUIRED	PROVIDED
STANDARD SPACES	21	22
FUEL STATION SPACES	0	14
COMPACT SPACES	0	0
ACCESSIBLE	1 (VAN)	1
TOTAL PARKING SPACES PROVIDED		37
BICYCLE SPACES	2	2
LOADING SPACES	0	0



VICINITY MAP
1" = 1000'

This information has been removed

Building and canopy heights added

Areas have been updated

This sum exceeds your gross lot area

Include ratio being used

1 space per 250 s.f. NLA. C Store sf = 5200/250 = 21 spaces.

Break all rows down like what you do in the below chart with Required/Maximums and Provided columns. I.e. required FAR and provided %

Max Coverage and provided...etc.

Where are these percentages coming from?
5763/69547=8.2%

percentages have been updated

in addition to delivering a physical materials board please include a sheet in the site plan for materials, screen shots or example I, etc.

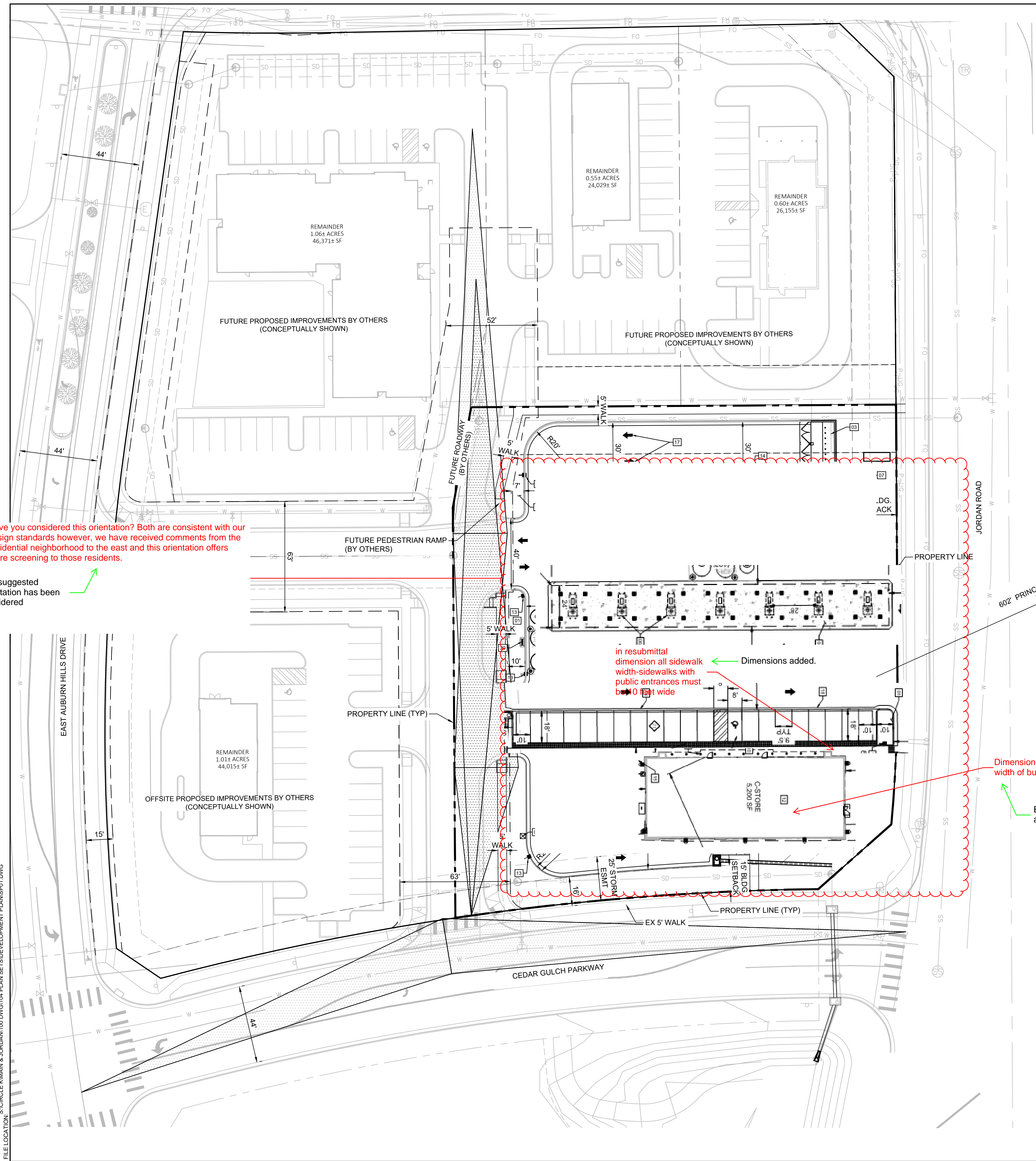
Site information updated

Provided by Arch.

Add required and provided yards. Along Jordan-25 feet. North, west, and east elevations are front yards. South is side yard. Cedar Gulch is side and has required 15 foot setback

Required and provided setback are now shown

S:\CIRCLE K\MAIN & JORDAN\100 DIV\104 PLAN SETS\DEVELOPMENT PLANS\CS01.DWG



SITE NOTES

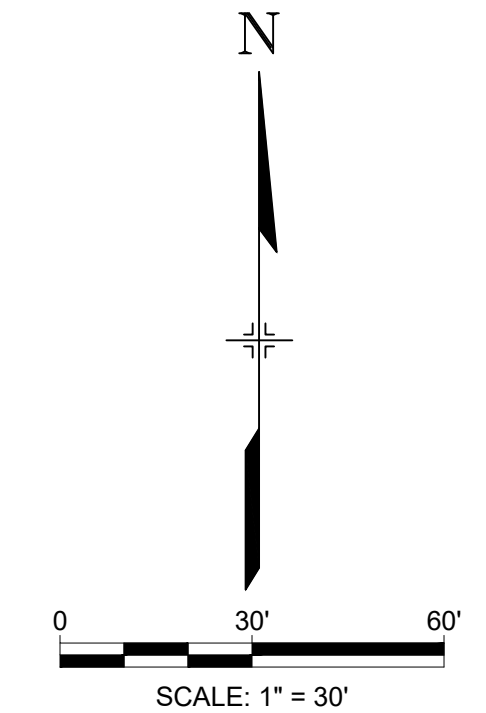
- 01 LANDSCAPE AREA (PER LANDSCAPE PLANS)
- 02 TRANSFORMER PAD (PER ELEC CO AND / OR ARCH PLANS)
- 03 TRASH ENCLOSURE (PER ARCH PLANS)
- 04 FUEL CANOPY 192' x 24' SG-7 (TYP PER ARCH PLANS)
- 05 2'-WIDE DETECTABLE WARNING, ADA SOLUTION INC. OR APPROVED EQUAL
- 06 FUEL PUMPS (PER ARCH PLANS)
- 07 PROPOSED SIGN (PER ARCH PLANS)
- 08 UNDERGROUND FUEL TANKS (PER ARCH PLANS)
- 09 AIR UNIT (PER ARCH PLANS)
- 10 VAN ACCESSIBLE PARKING STALL, ISA SYMBOL AND SIGNAGE (PER ARCH PLANS)
- 11 PIPE BOLLARDS (PER ARCH PLANS)
- 12 CONVENIENCE STORE (5,200 SF)(SEE ARCHITECTURAL PLANS)
- 13 PROPOSED LIGHT POLE (PER ARCH PLANS)
- 14 ADA ACCESSIBLE RAMP
- 15 BIKE RACK WITH 2 SPACES (PER ARCH PLANS)
- 16 CO2 ENCLOSURE (PER ARCH PLANS)
- 17 DIRECTIONAL ARROW PAVEMENT MARKING
- 18 2' GUTTER PAN
- 19 TABLES
- 20 VENT PIPES (PER ARCH PLANS)

LEGEND

- PROPERTY LINE
- ==== CATCH CONCRETE CURB & GUTTER
- ==== SPILL CONCRETE CURB & GUTTER
- ==== EXISTING CURB & GUTTER
- ▲ AASHTO DEPARTURE SIGHT TRIANGLE
- ◆ # PARKING COUNT

SITE TRIANGLE NOTES:

1. CORNER SIGHT DISTANCE MEASURED FROM A POINT ON THE MINOR STREET AT "D" OF 15 FEET BACK FROM THE EDGE OF THE MAJOR STREET PAVEMENT (FLOWLINE) AND MEASURED FROM HEIGHT OF EYE AT 3.5' ON THE MINOR STREET TO A HEIGHT OF OBJECT AT 3.5' ON THE MAJOR STREET.
2. AT LOCAL-LOCAL STREET INTERSECTIONS ONLY, THE "D" DISTANCE SHALL BE 10'.
3. INTERSECTION SIGHT DISTANCE ANALYSIS SHALL ACCOUNT FOR COMBINED HORIZONTAL AND VERTICAL ALIGNMENTS.
4. WITHIN THE INTERSECTION SIGHT DISTANCE DISTANCE TRIANGLE, LIMITED LANDSCAPING SHALL BE ALLOWED BUT NO SOLID STRUCTURES. SOLID STRUCTURES SHALL INCLUDE, BUT NOT BE LIMITED TO, FENCES, UTILITY BOXES AND TREE TRUNKS. SHRUBS AND PLANTING WILL BE NO TALLER THAN 2 FEET AND TREE CANOPIES WILL BE NO LOWER THAN 8 FEET. LANDSCAPING WITHIN THIS AREA WILL BE MAINTAINED BY THE LANDOWNER OR HOMEOWNERS ASSOCIATION.



CONSULTANTS:
 2435 RESEARCH PARKWAY, SUITE 300
 COLORADO SPRINGS, CO 80920
 PHONE: (719) 575-0100
 FAX: (719) 575-0208

LAND DEVELOPMENT
 CONSULTANTS, LLC

950 S. CHERRY STREET, SUITE 512
 DENVER, CO 80246

OWNER/DEVELOPER:



FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC

VICINITY MAP: SCALE: NTS

PROJECT:
CIRCLE K STORES INC.

SITE DEVELOPMENT PLAN

MAINSTREET & JORDAN
 TOWN OF PARKER, CO

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
##	##	##	##
##	##	##	##
##	##	##	##
##	##	##	##
##	##	##	##
##	##	##	##

DRAWING INFORMATION:
 PROJECT NO: 21.1207.030
 DRAWN BY: ---
 CHECKED BY: ---
 DESIGNED BY: ---
 SHEET TITLE:

SITE PLAN

SP01

SHEET 2 OF 4

TOWN FILE NO.:

APPROVAL STAMP:

Have you considered this orientation? Both are consistent with our design standards however, we have received comments from the residential neighborhood to the east and this orientation offers more screening to those residents.

The suggested orientation has been considered

in resubmittal dimension all sidewalk width-sidewalks with public entrances must be 10 feet wide

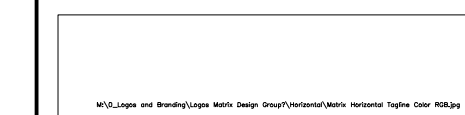
Dimension length and width of building added.

S:\CIRCLE K\MAIN & JORDAN\100 DWG\104 PLAN SETS\DEVELOPMENT PLANS\SP01.DWG



Know what's below.
Call before you dig.

CONSULTANTS:



2435 RESEARCH PARKWAY, SUITE 300
COLORADO SPRINGS, CO 80920
PHONE: (719) 575-0100
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950 S. CHERRY STREET, SUITE 512
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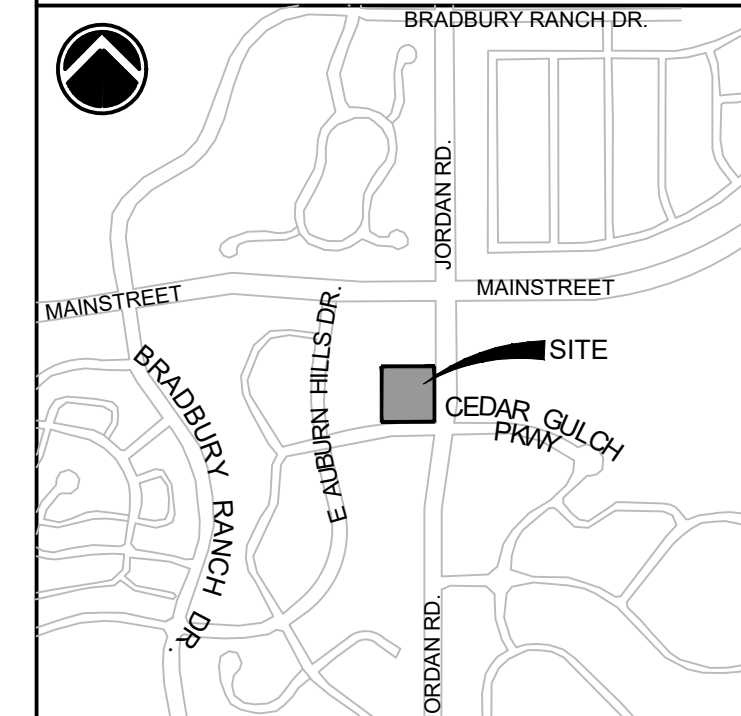
ROCKY MOUNTAINS DIVISION
5500 S. QUEBEC STREET, SUITE 100
GREENWOOD VILLAGE, CO 80111

SEAL

Provided as shrub
substitutes

FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC

VICINITY MAP: SCALE: NTS



PROJECT:

CIRCLE K STORES INC.

SITE DEVELOPMENT PLAN

MAINSTREET & JORDAN
TOWN OF PARKER, CO

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
##	##	##	##
##	##	##	##
##	##	##	##
##	##	##	##
##	##	##	##
##	##	##	##

DRAWING INFORMATION:

PROJECT NO: 21.1207.030

DRAWN BY: KMM

CHECKED BY: JRA

DESIGNED BY: KMM

SHEET TITLE:

LANDSCAPE PLAN

LS01
SHEET 3 OF 4
TOWN FILE NO.:

APPROVAL STAMP:

LANDSCAPE REQUIREMENTS

SITE DATA:
 AREA OF PARCEL: 69,547 SF
 APPLICABLE INTERNAL AREA: 60,801
 (SANS BLDG (5,200 SF) AND REQ PRK (3,546))
 JORDAN FRONTAGE: 267 LF
 CEDAR GULCH FRONTAGE: 235 LF
 NORTH BOUNDARY: 242
 WEST BOUNDARY: 292
 PARKING: 23 SPACES

LANDSCAPE AREA	REQ.	PROV.
LANDSCAPE AREA (15% SITE AREA)	10,432 SF	16,291 SF (23.4%)

REQUIRED TREES	REQ.	PROV.
SITE PERIMETER:		
JORDAN ROAD (1 PER 40 LF)-JR	7	7
CEDAR GULCH PARKWAY (1 PER 40 LF)-CG	6	6
NORTH BOUNDARY (1 PER 40 LF)-NB	7	1*
WEST BOUNDARY (1 PER 40 LF)-WB	8	8
MINIMUM TOTAL TREES (1 PER 1,500 SF)-IN	(+13) 41	(+13) 35

REQUIRED EVERGREEN TREES	REQ.	PROV.
SITE PERIMETER:		
JORDAN ROAD (40-60%)-JR	3-4	3
CEDAR GULCH PARKWAY (40-60%)-CG	3	3
NORTH BOUNDARY (40-60%)-NB	3-4	0*
WEST BOUNDARY (40-60%)-WB	4	4
TOTAL (25-50%)-IN	11-20	14

REQUIRED SHRUBS	REQ.	PROV.
SITE PERIMETER:		
JORDAN ROAD (1 PER 40 LF)	34	30+4(12 ORN GRASSES)
CEDAR GULCH PARKWAY (1 PER 40 LF)	30	27+3(9 ORN GRASSES)
NORTH BOUNDARY (1 PER 40 LF)	31	26+5(15 ORN GRASSES)
WEST BOUNDARY (1 PER 40 LF)	37	35+2(6 ORN GRASSES)
MINIMUM TOTAL SHRUBS (5 PER 1,500 SF)	(+71) 203	184+19(57 ORN GRASSES)

*NOT MET DUE TO 50' UTILITY EASEMENT ALONG THE NORTHERN PROPERTY BOUNDARY

Jordan Road and Cedar Gulch requirements now provided per separate master developer set

Cannot not provide-must make up elsewhere on site and meet 41 minimum

Cannot not provide-must make up elsewhere on site

Site revised to provide 8' Dimension added to landscape plan

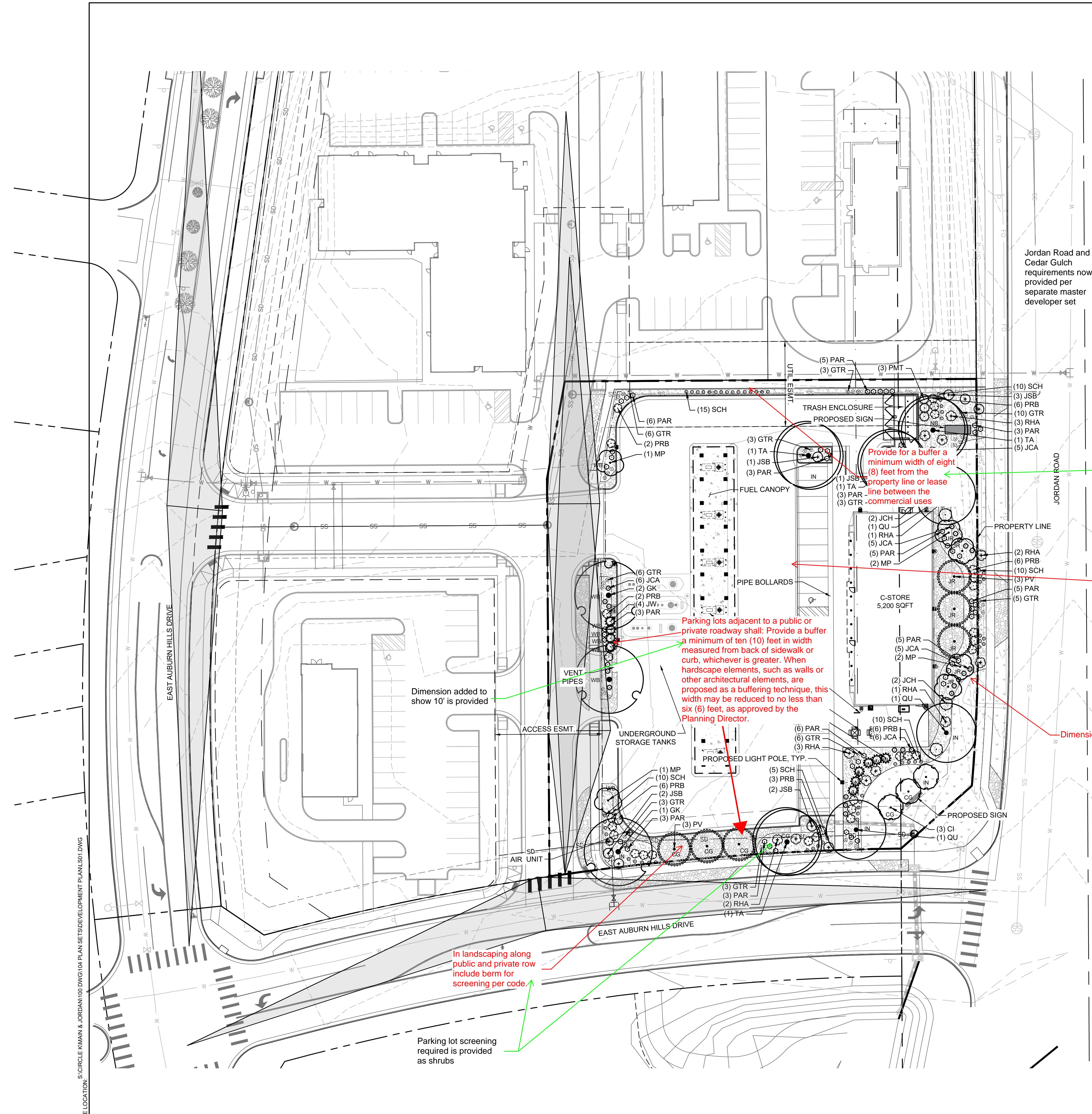
LEGEND

- LOW DOWN OF PARKER SEED 7,639 SF
- EQUAL 8,409 SF
- NE GREY SUPPLIER: PIONEER DEPTH: 3" MINIMUM OR APPROVED EQUAL 5,659 SF
- 2-4" COBBLE TYPE: 2-4" HORIZON COBBLESTONE SUPPLIER: PIONEER DEPTH: 3-4" MINIMUM OR APPROVED EQUAL
- AASHTO DEPARTURE SIGHT TRIANGLE

minimum area equal to ten percent (10%) of the total area covered by the parking lot shall be allocated to landscaped islands. The area covered by the parking lot shall include parking stalls and circulation aisles with parking stall access, but exclude access drives, loading areas and similar access features.

Dimension this buffer

Dimension added



Provide for a buffer a minimum width of eight (8) feet from the property line or lease line between the -commercial uses

Parking lots adjacent to a public or private roadway shall: Provide a buffer a minimum of ten (10) feet in width measured from back of sidewalk or curb, whichever is greater. When hardscape elements, such as walls or other architectural elements, are proposed as a buffering technique, this width may be reduced to no less than six (6) feet, as approved by the Planning Director.

Dimension added to show 10' is provided

In landscaping along public and private row include berm for screening per code

Parking lot screening required is provided as shrubs

FILE LOCATION: S:\CIRCLE K\MAIN & JORDAN\100 DWG\104 PLAN SETS\DEVELOPMENT PLAN\LS01.DWG



CONSULTANTS:
 2435 RESEARCH PARKWAY, SUITE 300
 COLORADO SPRINGS, CO 80920
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LAND DEVELOPMENT CONSULTANTS, LLC
 950 S. CHERRY STREET, SUITE 512
 DENVER, CO 80246

OWNER/DEVELOPER:



FOR AND ON BEHALF OF MATRIX DESIGN GROUP, INC.
 VICINITY MAP: SCALE: NTS

PROJECT:
CIRCLE K STORES INC.
SITE DEVELOPMENT PLAN
 MAINSTREET & JORDAN
 TOWN OF PARKER, CO

REVISION HISTORY:

NO.	DATE	DESCRIPTION	BY
##	##	##	##
##	##	##	##
##	##	##	##
##	##	##	##
##	##	##	##

DRAWING INFORMATION:
 PROJECT NO: 21.1207.030
 DRAWN BY: KMM
 CHECKED BY: JRA
 DESIGNED BY: KMM

LANDSCAPE DETAILS
 LS02
 SHEET 4 OF 4
 TOWN FILE NO#

ENTITLEMENT NOTES

- NO SUBSTANTIAL CHANGE FROM THE APPROVED LANDSCAPE PLAN MAY OCCUR WITHOUT PRIOR REVIEW OF THE PARKER WATER AND SANITATION DISTRICT, WHICH MAY REQUIRE ADDITIONAL IRRIGATION TAPS FOR CHANGES DUE TO MORE WATER INTENSIVE LANDSCAPING.
- WITHIN THE INTERSECTION SIGHT DISTANCE TRIANGLE, LIMITED LANDSCAPING SHALL BE ALLOWED BUT NO SOLID STRUCTURES, SOLID STRUCTURES SHALL INCLUDE, BUT NOT BE LIMITED TO, FENCES, UTILITY BOXES AND TREE TRUNKS. SHRUBS AND PLANTING WILL BE NO TALLER THAN 2 FEET AND TREE CANOPIES WILL BE NO LOWER THAN 8 FEET. LANDSCAPING WITHIN THIS AREA WILL BE MAINTAINED BY THE LANDOWNER OR HOMEOWNERS ASSOCIATION.

SOIL AMENDMENT NOTES

- PER SOIL TEST RESULT, THE SITE CONSISTS OF CLAY LOAM SOILS.
- CONTRACTOR TO APPLY TO ALL AREAS 3 CY/1,000 SF ORGANIC MATTER COMPOST OR AS RECOMMENDED BY LOCAL JURISDICTION. TILL INTO TOP 6-8" OF SOIL. COMPOST TO CONSIST OF 1-YEAR OLD ORGANIC MATERIAL AND SHALL NOT INCLUDE CHICKEN MANURE.
- CONTRACTOR IS TO APPLY FERTILIZERS AS RECOMMENDED PER A SOILS ANALYSIS.

GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL PROPOSED LANDSCAPING IS INSTALLED IN ACCORDANCE WITH PLANS, DETAILS, SPECIFICATIONS (IF APPLICABLE) AND ALL LOCAL CODES AND REQUIREMENTS.
- CONTRACTOR TO INSPECT SITE AND VERIFY CONDITIONS AND DIMENSIONING PRIOR TO PROCEEDING WITH WORK DESCRIBED HERE IN. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING ANY CONSTRUCTION.
- QUANTITIES PROVIDED IN THE PLANT LIST ARE FOR GENERAL USE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL PLANT AND LANDSCAPE MATERIAL QUANTITIES. SYMBOL COUNT ON PLAN TAKES PRECEDENCE OVER TABLE QUANTITIES.
- IMMEDIATELY AFTER AWARD OF CONTRACT, NOTIFY THE OWNER'S REPRESENTATIVE AND/OR THE LANDSCAPE ARCHITECT OF UNAVAILABILITY OF SPECIFIED PLANT MATERIAL FROM COMMERCIAL NURSERIES. THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT WILL PROVIDE ALTERNATE PLANT MATERIAL SELECTIONS IF UNAVAILABILITY OCCURS. SUCH CHANGES SHALL NOT ALTER THE ORIGINAL BID PRICE UNLESS A CREDIT IS DUE TO THE OWNER.
- ALL PLANT MATERIALS TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
- CONTAINER GROWN STOCK SHOULD HAVE GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER.
- ANY PLANT SUBSTITUTIONS, RELOCATION, OR REQUIRED CHANGE SHALL REQUIRE THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER.
- THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT RESERVE THE RIGHT TO REFUSE ANY MATERIAL THEY DEEM UNACCEPTABLE.
- COORDINATE WITH PROJECT REPRESENTATIVE FOR DISTURBED SITE TREATMENTS OUTSIDE LANDSCAPE IMPROVEMENTS. SEE CIVIL PLANS FOR SOIL STABILIZATION FOR EROSION CONTROL.
- IF REQUIRED, CONTRACTOR TO ENSURE THAT AN AUTOMATED IRRIGATION SYSTEM THAT PROVIDES COMPLETE COVERAGE OF THE SITE IS INSTALLED PRIOR TO INSTALLING TREES/PALMS (SEE IRRIGATION PLAN SHEET IF PROVIDED). IF NO PLAN IS PROVIDED THE CONTRACTOR SHALL SUBMIT A PROPOSED DESIGN TO THE LANDSCAPE ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO INSTALLATION. THE PROPOSED DESIGN MUST HAVE AN APPROVED BACKFLOW DEVICE AND RAIN SENSOR INSTALLED TO STOP IRRIGATION DURING RAIN EVENTS. CONTRACTOR SHALL ENSURE THAT THERE IS POSITIVE DRAINAGE AND NO PONDING OF WATER AT ROOT AREA.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDDED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION AT NO COST TO THE OWNER.
- WEED BARRIER FABRIC IS REQUIRED UNDER ALL ROCK MULCH AND COBBLE AS SPECIFIED.
- SOLID STEEL EDGING WITH ROLLED TOP TO BE INSTALLED BETWEEN ALL ROCK MULCH, WOOD MULCH, COBBLE, AND SOD/NATIVE SEED. STEEL EDGING SHALL NOT BE INSTALLED BETWEEN SOD AND NATIVE AREAS.
- ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
- IF A SWPPP PLAN IS PROVIDED THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN, AS NEEDED, TO MAXIMIZE THE EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE.
- ALL DISTURBED AREAS AS DESIGNATED ON THE GRADING PLAN SHALL COVERED PER PLAN.
- ALL PLANT MATERIAL IN TREE HOLDING AREAS SHALL BE MANUALLY WATERED/IRRIGATED TO KEEP MOIST UNTIL PLANTED.

PLANTING NOTES

- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING ALL PLANTED AREAS. ALL DELETERIOUS MATERIALS SUCH AS ROCK, TRASH, CONSTRUCTION DEBRIS, AGGREGATE BASE MATERIAL, ASPHALT, ETC. SHALL BE REMOVED PRIOR TO ANY PLANT OPERATIONS. FILL ALL PLANTING AREAS WITH CLEAN EARTHEN FILL. SOIL SHALL BE FREE OF HEAVY, STIFF CLAY AND ANY DELETERIOUS MATERIAL OVER ONE INCH IN SIZE. THE TOP SIX INCHES OF FILL MATERIAL STRIPPED FROM SITE MAY BE UTILIZED FOR PLANTER OR TOPSOIL FILL IF PRIOR APPROVAL HAS BEEN OBTAINED FROM THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.
- FINISH GRADE OF LANDSCAPE AREAS (TOP OF TURF AND MULCH) MUST BE GRADED TO 3" BELOW ADJACENT PAVEMENT SURFACES.
- LOCATE SHRUBS A DISTANCE OF HALF OF THEIR AVERAGE MATURE SPREAD AWAY FROM WALKS, STRUCTURES, CONCRETE PADS, ETC. LOCATE GROUND COVER PLANTINGS A MINIMUM OF 2' FROM WALKS, STRUCTURES, CONCRETE PADS, ETC.
- TREES PLANTED ADJACENT TO PUBLIC ROADS AND PEDESTRIAN SIDEWALKS SHALL BE PRUNED SUFFICIENTLY TO AVOID VISUAL BLOCKS TO INTERSECTING VEHICULAR ACCESS OR INTERFERENCE WITH PEDESTRIAN WALKWAYS. TREES WITH A 4" OR LARGER CALIPER SHALL BE PRUNED UP TO 6'-0" ABOVE PAVEMENTS.
- ALL TREES WITHIN 4' OF PAVED SURFACES (SUCH AS CURBS, WALLS, BUILDINGS AND SIDEWALKS) SHALL BE PROVIDED WITH A DEEP ROOT BARRIER CONTROL DEVICE OR EQUAL. INSTALL PER MFR'S SPECIFICATIONS.
- TOPSOIL DEPTH SHALL BE AS FOLLOWS: PLANTER BEDS - 12" MINIMUM, NATIVE SEED - 12" MINIMUM
- BACKFILL ALL TREES, SHRUBS, GROUND COVER WITH A MIXTURE OF 2 PARTS NATIVE SOIL AND 1 PART SOIL CONDITIONING WITH WOOD MULCH.
- THE LANDSCAPE CONTRACTOR SHALL WATER TEST ALL PLANTING HOLE PRIOR TO PLANTING. IF HOLES DO NOT DRAIN PROPERLY, EXCAVATE FURTHER UNTIL IMPERMEABLE LAYER IS BREACHED. EXCAVATED PLANT PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS WHEN FULLY FLOODED WITH WATER SHALL DRAIN WITHIN 1 HOUR OF FILLING. ENSURE THAT ALL PLANT PITS HAVE POSITIVE DRAINAGE.
- ALL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE. PRE-EMERGENT HERBICIDE SHALL BE APPLIED PER MANUFACTURER'S RECOMMENDATIONS AND SHALL OCCUR AFTER TOPSOIL PLACEMENT AND PRIOR TO INSTALLATION OF PLANT MATERIALS AND MULCH.
- FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH A TIME RELEASE FERTILIZER PER BRAND'S SPECIFIED APPLICATION RATES.
- ALL PLANTING BED SOILS SHALL BE AMENDED WITH 2" OF ORGANIC COMPOST AND TILLED INTO FIRST 4" OF SOIL.
- ALL TREES AND SHRUBS SHALL BE PLANTED IN SUCH A MANNER AS TO ENSURE THEIR SURVIVAL.
- ANY ROPE OR WIRE BINDING THE BALL SHALL BE CUT PRIOR TO PREVENT GIRDLING OF THE TREE. REMOVE WIRE, TWINE, AND BURLAP FROM THE TOP HALF OF ALL B&B PLANT MATERIAL.
- IF A NON-BIODEGRADABLE MATERIAL IS USED AROUND THE BALL, IT SHALL BE COMPLETELY REMOVED PRIOR TO BACKFILLING.
- PRIOR TO INSTALLATION, THE ROOTS OF CONTAINER GROWN STOCK SHALL BE SEPARATED OR SPLIT TO ENSURE PROPER ROOT DEVELOPMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING TO MAINTAIN HEALTHY PLANT CONDITIONS.
- ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS. TREES & SHRUBS SHALL BE PLANTED AS SOON AS POSSIBLE AFTER DELIVERY.
- ALL TREES MUST BE STRAIGHT-TRUNKED, FULL-HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- ALL TREES MUST BE STAKED AS SHOWN IN THE DETAILS.
- NO SUBSTITUTIONS OR ALTERNATIVES WILL BE ALLOWED FOR GROUND SURFACE MATERIALS UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT OR OWNER.
- MAINTAIN 5' MIN. HORIZONTAL SEPARATION BETWEEN TREE PLANTINGS AND ALL UTILITIES UNLESS OTHERWISE SPECIFIED.
- A THREE INCH (3") TOP DRESSING/MULCHING SHALL BE PLACED IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL HAVE TOP DRESSING TO THE OUTSIDE EDGE OF THE MANUFACTURED EDGING OR LANDSCAPE ISLAND. (SEE PLANTING DETAILS) TOP DRESSING CAN BE WOOD MULCH, ROCK, OR ANY OTHER DECORATIVE MATERIAL SPECIFIED ON PLANS. SEE LANDSCAPE PLAN FOR TYPE.
- THE FOLLOWING PLANTING SEASONS ARE RECOMMENDED:
 EVERGREEN SHRUBBERY: LATE APRIL-EARLY OCTOBER
 DECIDUOUS SHRUBBERY & TREES: LATE APRIL-EARLY OCTOBER
 EVERGREEN TREES: LATE APRIL-EARLY OCTOBER

PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	PLANT SIZE	CONTAINER	MAT. H.	MAT. W.
	GK	3	GYMNOCLADUS DIOICA KENTUCKY COFFEETREE	2" CAL.	B&B	50"	40"
	QU	3	QUERCUS ROBUR ENGLISH OAK	2" CAL.	B&B	50"	35"
	TA	4	TILIA AMERICANA AMERICAN LINDEN	2" CAL.	B&B	60"	40"
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	PLANT SIZE	CONTAINER	MAT. H.	MAT. W.
	JW	10	JUNIPERUS SCOPULORUM 'WICHITA BLUE' WICHITA BLUE JUNIPER	6" HT.	B&B	15'	6'
	PV	6	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' VANDERWOLF'S PYRAMID LIMBER PINE	6" HT.	B&B	40"	20"
ORNAMENTAL TREES	CODE	QTY	BOTANICAL / COMMON NAME	PLANT SIZE	CONTAINER	MAT. H.	MAT. W.
	CI	3	CRATAEGUS CRUS-GALLI INERMIS THORNLESS COCKSPUR HAWTHORN	1.5" CAL.	B&B	20"	15"
	MP	6	MALUS X 'PRAIRIFIRE' PRAIRIFIRE CRABAPPLE	1.5" CAL.	B&B	15'	15'
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	PLANT SIZE	CONTAINER	MAT. H.	MAT. W.
	GTR	48	GENISTA TINCTORIA 'ROYAL GOLD' ROYAL GOLD DYER'S BRUARD	#5 CONT.	CONT.	2'	2.5'
	PAR	50	PEROVSKIA ATRIPLICIFOLIA RUSSIAN SAGE	#3 CONT.	CONT.	3'	3'
	PRB	31	PRUNUS BESSEYI SAND CHERRY	#5 CONT.	CONT.	5'	5'
	RHA	12	RHUS AROMATICA 'GRO-LOW' GRO-LOW FRAGRANT SUMAC	#5 CONT.	CONT.	2'	6'
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	PLANT SIZE	CONTAINER	MAT. H.	MAT. W.
	JCA	27	JUNIPERUS CHINENSIS 'ARMSTRONGII' ARMSTRONG JUNIPER	#5 CONT.	CONT.	3'	3'
	JCH	4	JUNIPERUS CHINENSIS 'HOLBERT' HOLBERT JUNIPER	#5 CONT.	CONT.	2'	8'
	JSB	9	JUNIPERUS SABINA 'BROADMOOR' BROADMOOR JUNIPER	#5 CONT.	CONT.	1.5'	6'
	PMT	3	PINUS MUGO 'TANNENBAUM' MUGO PINE	#5 CONT.	CONT.	10'	6'
ORNAMENTAL GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	PLANT SIZE	CONTAINER	MAT. H.	MAT. W.
	SCH	60	SCHIZACHYRIUM SCOPARIUM 'BLAZE' BLAZE LITTLE BLUESTEM	#1 CONT.	CONT.	4'	2'

PLANT GUARANTEE, REPLACEMENT AND MAINTENANCE NOTES

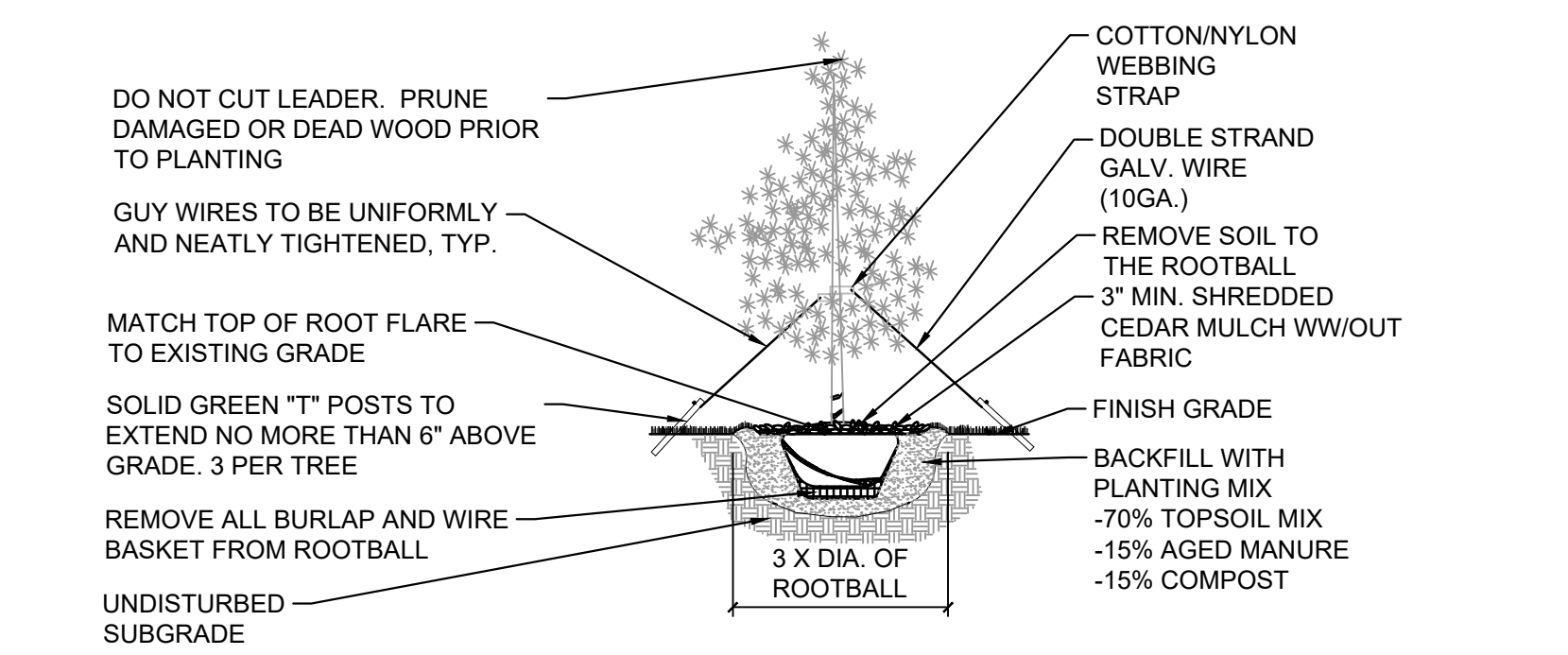
A. GUARANTEE:
 ACCEPTANCE OF GRADING SHALL BE BY LANDSCAPE ARCHITECT AND/OR OWNER. THE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, RESEEDING AND OTHER OPERATIONS NECESSARY TO KEEP ALL LAWN AREAS IN A THRIVING CONDITION. UPON FINAL ACCEPTANCE, OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES.

B. REPLACEMENT:
 ANY PLANT UNDER THIS SPEC WHICH IS DEAD, MISSING, UNHEALTHY, OR OTHERWISE NOT ACCEPTABLE AND NOT IN SATISFACTORY GROWING CONDITION DURING CONSTRUCTION MAINTENANCE PERIOD, OR AT THE END OF THE GUARANTEE PERIOD, SHALL BE REMOVED FROM SITE AND REPLACED WITH SUITABLE, ACCEPTABLE PLANT AS SPECIFIED, WITHIN FIVE (5) DAYS.

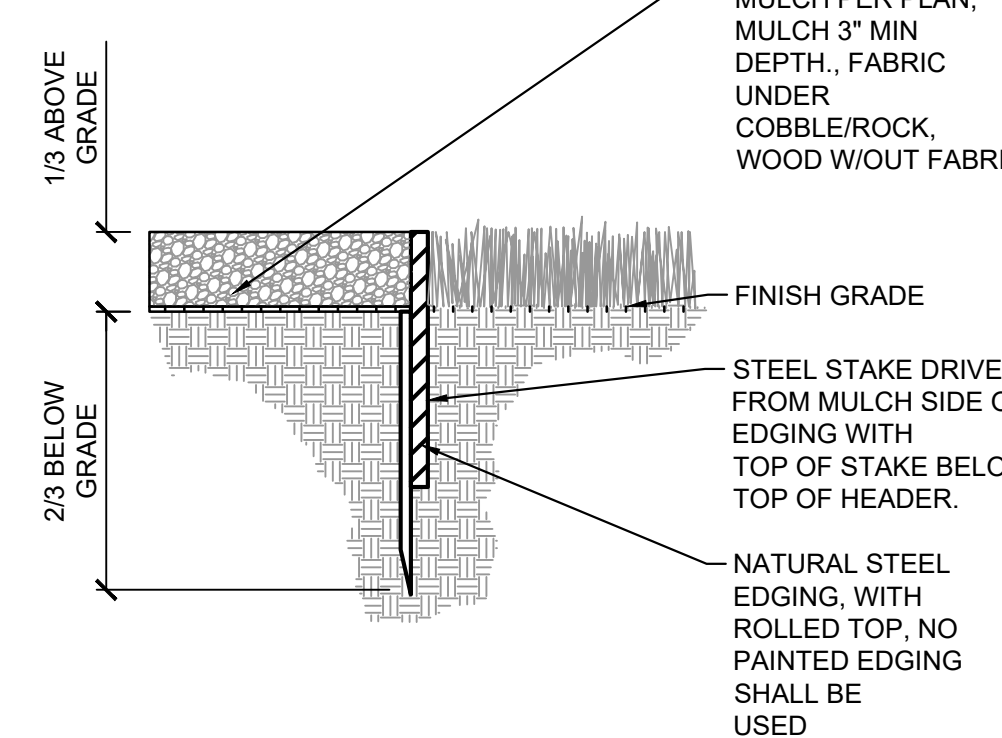
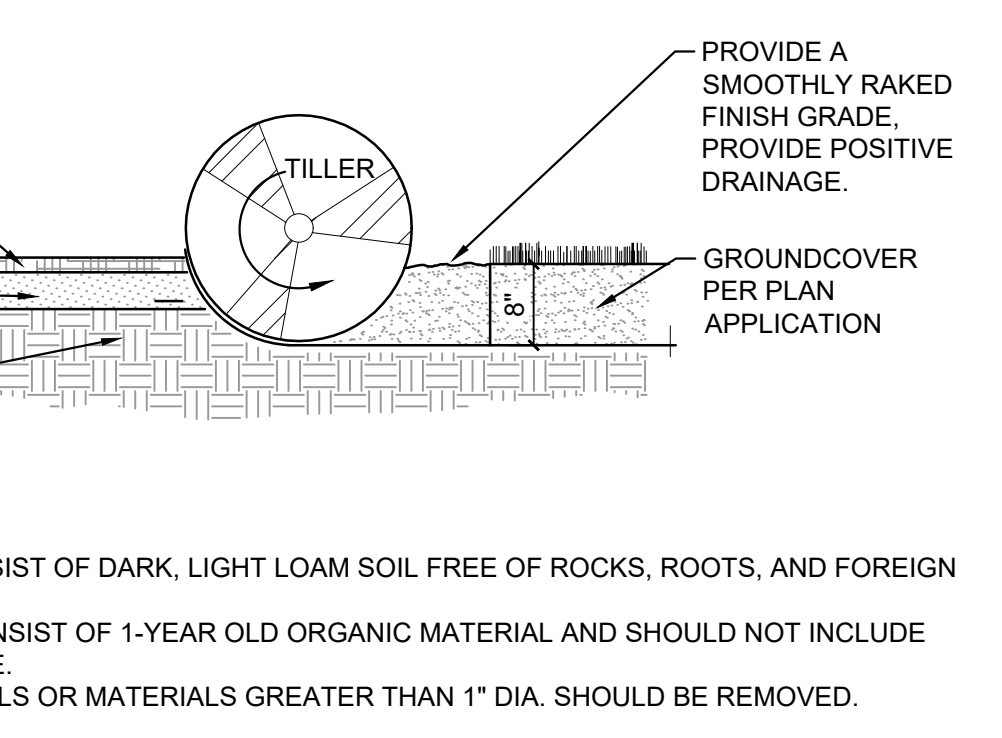
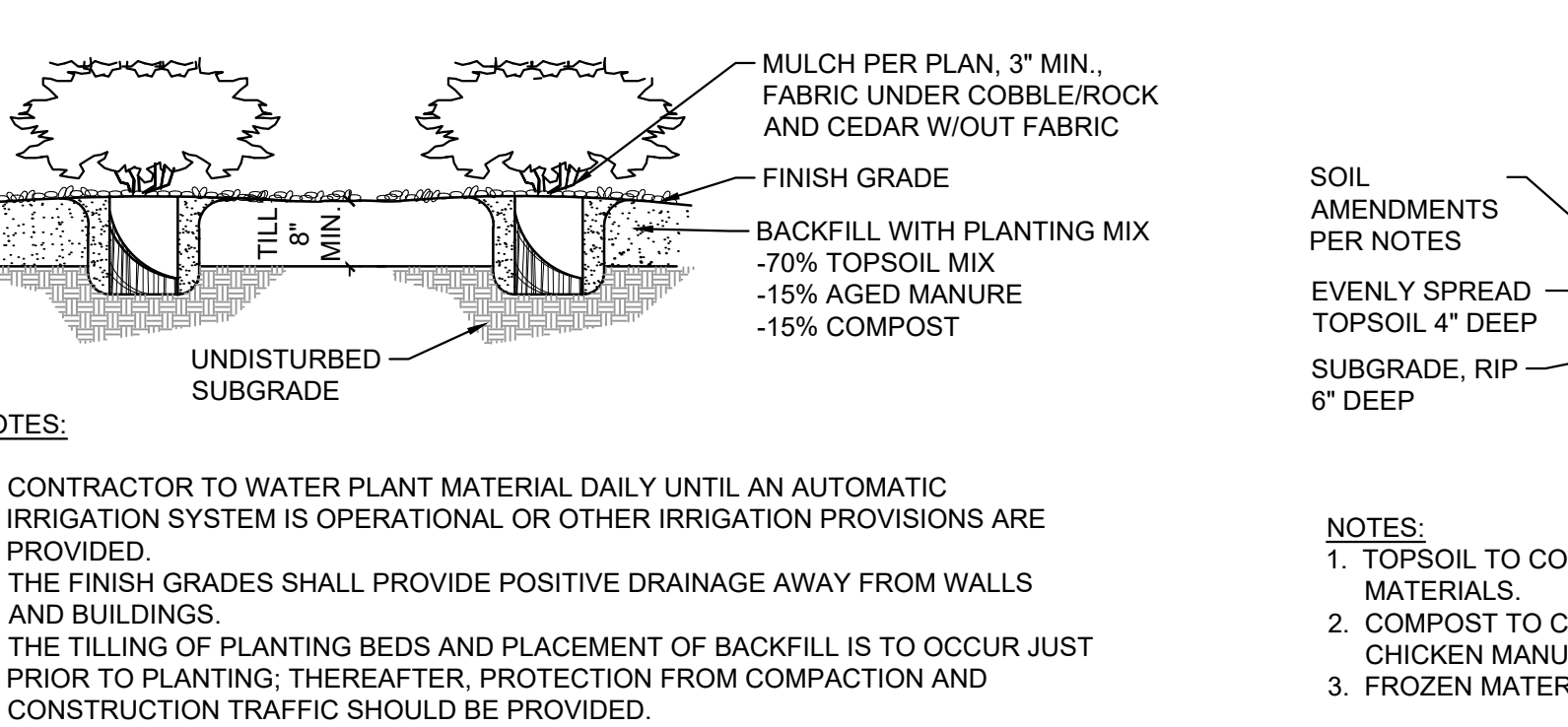
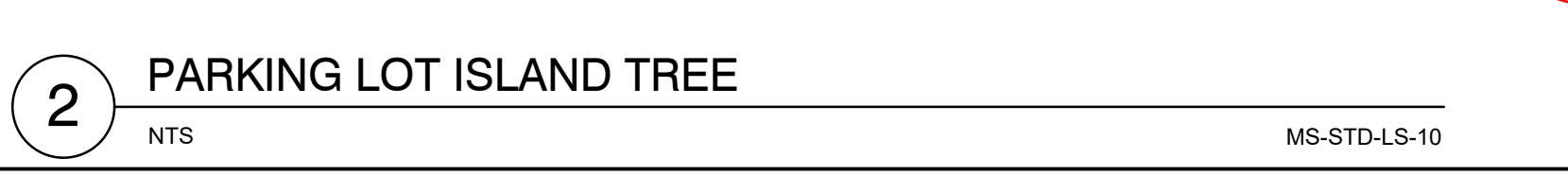
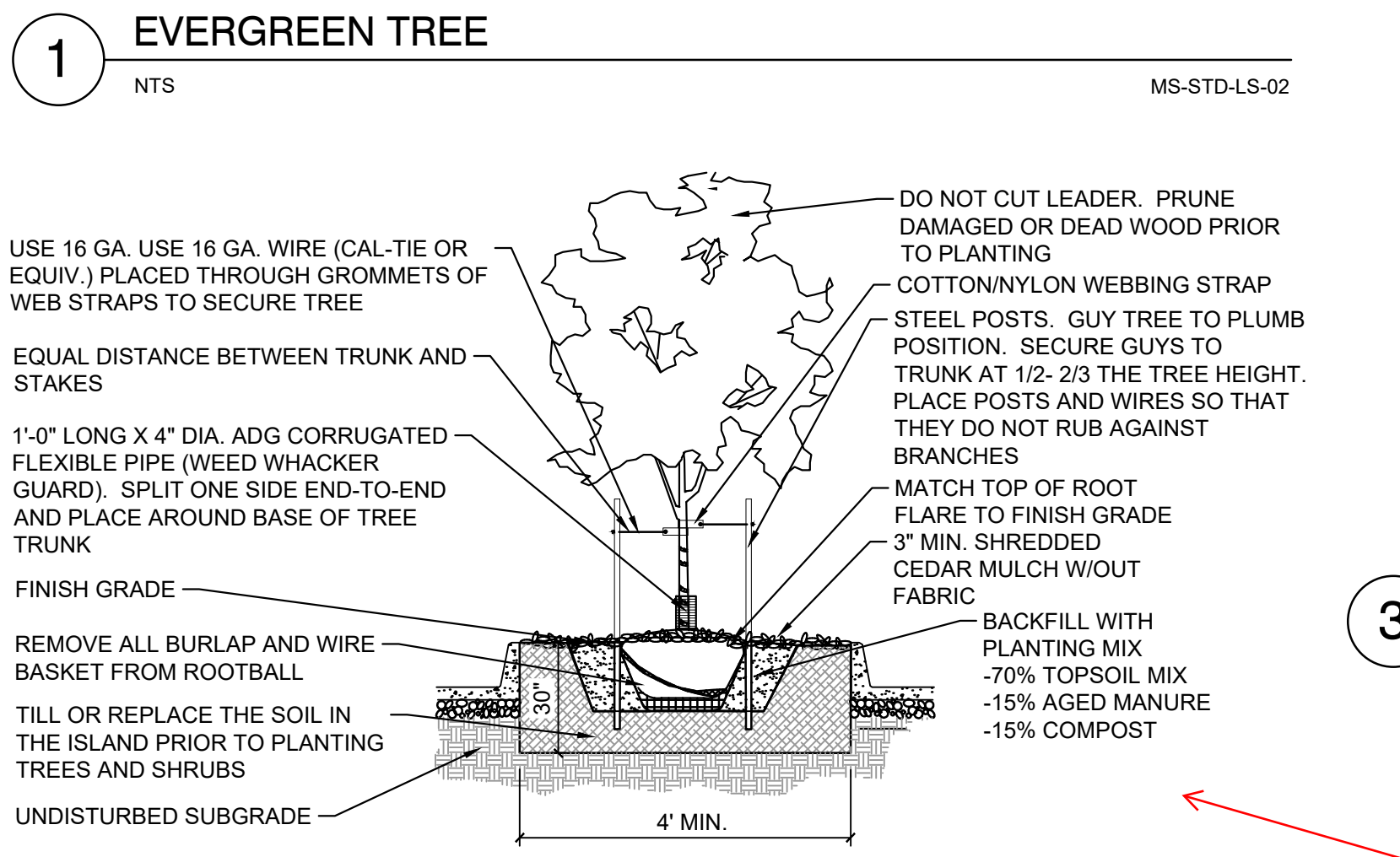
C. MAINTENANCE:
 GENERAL CONTRACTOR SHALL PROVIDE ONE YEAR OF LANDSCAPE MAINTENANCE, FROM THE TIME THE PROJECT RECEIVES THE CERTIFICATE OF OCCUPANCY AND THEREAFTER, FOR ALL NEW LANDSCAPE. IF EXISTING LANDSCAPE EXISTS ON-SITE, GENERAL CONTRACTOR IS TO PROVIDE THE OPTION OF MAINTENANCE FOR THE OWNER'S REVIEW.

HERBICIDES NOTES

- APPLICATION OF HERBICIDES SHALL BE IN COMPLIANCE WITH STATE PESTICIDES REGULATIONS. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO CONSULT WITH THE REGULATORY AGENCIES FOR LOCAL HERBICIDES APPLICATION REQUIREMENTS.
- IF THERE IS A DISCREPANCY BETWEEN STATE REGULATIONS AND ADDITIONAL REQUIREMENTS BELOW, MOST STRINGENT SHALL RULE.
- NO AERIAL APPLICATION OF HERBICIDES IS PERMITTED ON SITE.
- CARCINOGENS AND EPA TOXIC CATEGORY I AND II ARE PROHIBITED TO USE ON SITE.



* NOTE: ALL TREE PLANTINGS TO HAVE A 36" DIAMETER TREE RING WITH WOOD MULCH

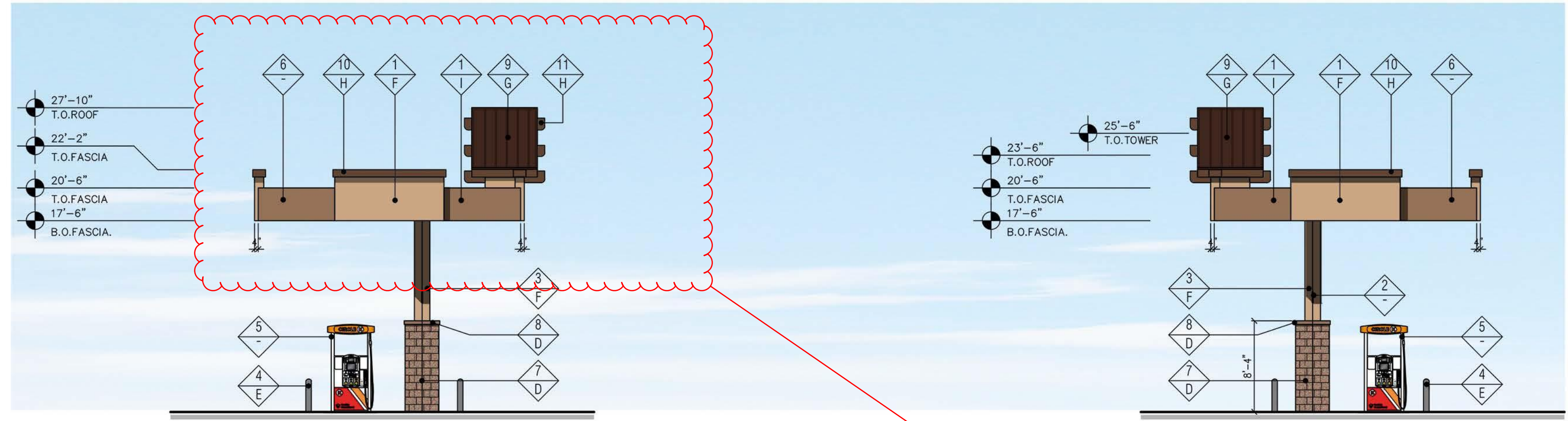


APPROVAL STAMP:

Must use Town of Parker planting standards for trees and shrubs verbatim: <http://parkeronline.org/DocumentCenter/View/400/Construction-Specifications?bidId=>

← Replaced

FILE LOCATION: S:\CIRCLE K\MAIN & JORDAN\100 DIVISION\PLAN SETS\DEVELOPMENT\LANDSCAPE\LS02.DWG



3 "SIDE" ELEVATION (SOUTH)
SCALE: 1/8" = 1'-0"

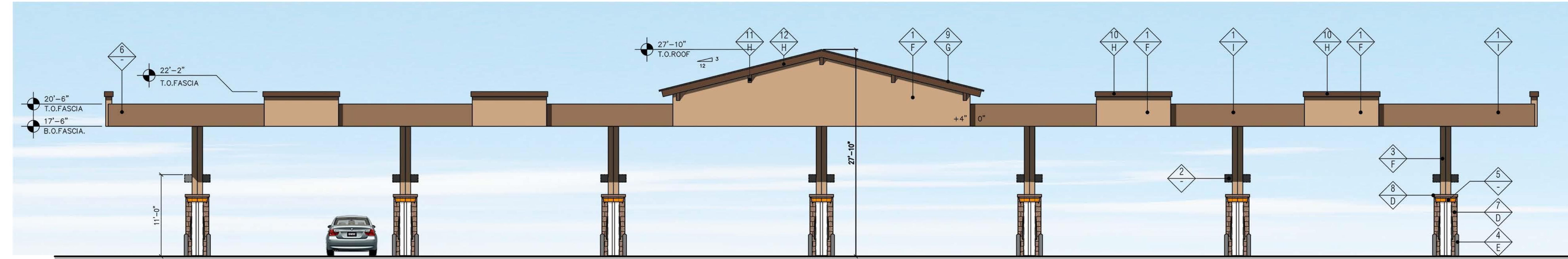
4 "SIDE" ELEVATION (NORTH)
SCALE: 1/8" = 1'-0"

The North and South elevations present oddly-consider adding a similar pitched roof to seem more cohesive

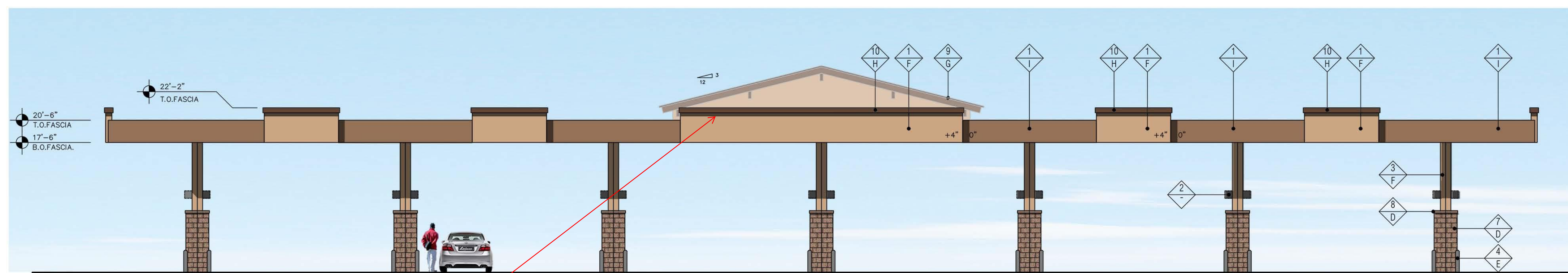
Response: Added pitched roof for both North & South elevations. See revised fuel canopy elevations

FINISH SCHEDULE	
▲	FINISH MATERIAL
1	ACM PANEL "TEX-COTE"
2	COLUMN FLAGS BY SIGNAGE VENDOR
3	STEEL COLUMN WITH PAINT FINISH
4	6" Ø BOLLARD, 36" HIGH
5	FUEL PUMP
6	POTENTIAL SIGN LOCATION (UNDER SEPARATE PERMIT)
7	4X8X16 CMU VENEER, SPLIT FACE, GROUTED TO MATCH CMU COLOR
8	4X8X16 SOLID CMU CAP, INSTALL PER MFR. SPECS.
9	STANDING SEAM METAL ROOF
10	METAL COPING
11	VINYL RAFTER TAIL
12	VINYL FASCIA
▼	FINISH COLOR
A	CIRCLE K RED #PMS 485
B	CIRCLE K WHITE
C	CIRCLE K ORANGE #PMS 144
D	SUPERLITE BLOCK SPLITFACE CMU - "BOOT BROWN"
E	PVC BOLLARD SLEEVE "DARK GRAY"
F	SHERWIN WILLIAMS - SW6115 - TOTALLY TAN
G	FIRESTONE KYMAR - MANSARD BROWN SR - "UC-14"
H	SHERWIN WILLIAMS - SW6090 - JAVA
I	SHERWIN WILLIAMS - SW6095 - TOASTY

Notes:
1. Colors shown on these elevations are for illustration purposes only. For actual colors, refer to manufacturer's samples.
2. The fascia panels are pre-finished by signage vendor
3. All signs require a separate submittal.
4. All lighting on canopy to be flush mounted with fascia



2 "FRONT" ELEVATION (WEST)
SCALE: 1/8" = 1'-0"



Should mimic West elevation

Response: Added gable roof to similar to West elevation. See revised fuel canopy exterior elevation.

1 "REAR" ELEVATION (EAST)
SCALE: 1/8" = 1'-0"



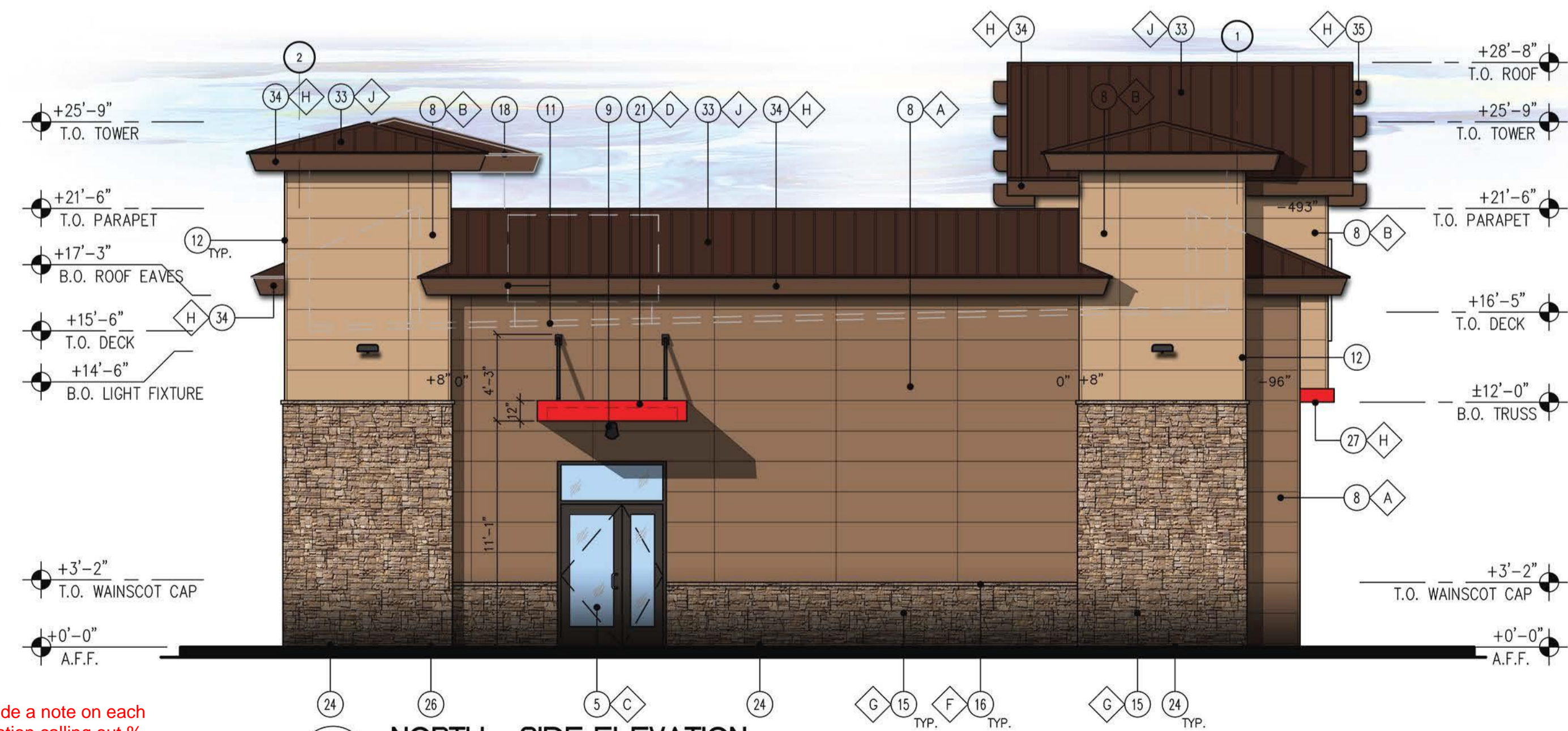
1 WEST - FRONT ELEVATION
SCALE: 3/16" = 1'-0"



2 EAST - BACK ELEVATION
SCALE: 3/16" = 1'-0"



3 SOUTH - SIDE ELEVATION
SCALE: 3/16" = 1'-0"



4 NORTH - SIDE ELEVATION
SCALE: 3/16" = 1'-0"

Include a note on each elevation calling out % of transparency as calculated off the total facade of the building and the percentage that falls between 2 and 8 feet

Response: Added % of transparency calculation at the bottom right corner

- KEY NOTES**
- STEEL COLUMN WRAP WITH BREAK METAL
 - LINE OF CANOPY / SOFFIT
 - DARK BRONZE ANODIZED WINDOW FRAME W/ GRAY TINTED GLASS WINDOW SYSTEM
 - INTERNALLY ILLUMINATED SIGN (UNDER SEPARATE PERMIT)
 - DARK BRONZE ANODIZED DOOR W/ GRAY TINTED GLASS STOREFRONT SYSTEM
 - SERVICE DOOR, PAINT TO MATCH SURROUNDING WALL
 - PRE-FINISHED METAL COPING
 - NICHHA FIBER CEMENT WALL PANEL SYSTEM
 - WALL MOUNTED LIGHT FIXTURE, COLOR: BLACK
 - CT ENCLOSURE LOCATION
 - ROOF LINE AND HVAC UNITS
 - 1-1/2" STAINLESS STEEL CORNER KEY EDGE, TYP. TO ALL CORNERS
 - DOWNSPOUT
 - ADDRESSING LOCATION: 8" TALL INCH BLACK NUMBERS. FINAL AREA LOCATION TO BE DETERMINED BY FIRE DEPARTMENT
 - 1 3/8" THK. X 6" NICHHA KURASTONE HIGH FIBER CEMENT WAINSCOT
 - 1-1/2" HIGH NICHHA FIBER CEMENT CAP INSTALL PER MFR. SPECS.
 - NICHHA ESSENTIAL "OVERHANG" FLASHING
 - PARAPET WALL BEYOND
 - (KNOX) KEY-BOX AT 6'-0" AFF (IF REQUIRED BY FIRE DEPARTMENT)
 - FIRE DEPARTMENT CONNECTION (IF REQUIRED)
 - ALUMINUM AWNING WITH SUPPORT RODS ABOVE THE SIDE ENTRY DOOR BY CIRCLE K VENDOR. PROVIDE BLOCKING IN EXTERIOR WALL FOR AWNING AND SUPPORTS
 - EMERGENCY FUEL SHUT-OFF SWITCH
 - INSULATED METAL DOOR
 - NICHHA ESSENTIAL "STARTER" FLASHING
 - CO2 TANK WITH METAL LOUVERED CONTAINER
 - EXTERIOR FINISH TO EXTEND ABOVE SIDEWALK/GRADE
 - FOAM TRIM
 - LINE OF ROOF BEYOND
 - METAL ROOF ACCESS LADDER WITH SECURITY DOOR LADDER GUARD MODEL # LGG C1 P2 BY COTTERMAN
 - CONTROL/EXPANSION JOINT "E.J." LOCATION
 - HARDSOFT FIBER CEMENT PANELS
 - FAUX STOREFRONT WINDOW
 - STANDING SEAM METAL ROOF - FIRESTONE UNA CLAD
 - VINYL FASCIA BOARD
 - VINYL RAFTER TAIL

- FINISH SCHEDULE**
- A - ***NICHHA TUFF BLOCK - COLOR TO MATCH #SW 6095 TOASTY
 - B - ***NICHHA TUFF BLOCK - COLOR TO MATCH #SW 6115 TOTALLY TAN
 - C - 1" INSULATED, DOUBLE PANED GRAY TINTED GLASS
 - D - *SHERWIN WILLIAMS #SW 4081 - **SAFETY RED
 - E - *SHERWIN WILLIAMS #SW 7005 - CIRCLE K WHITE
 - F - ***NICHHA CHISELED SILL TAN
 - G - ***NICHHA LEDGESTONE BLUFF
 - H - *SHERWIN WILLIAMS #SW 6090 - JAVA - FIRESTONE MANSARD BROWN SR (USE FOR PRE-FINISHED METAL COPING)
 - I - CIRCLE K ORANGE #PMS 144
 - J - FIRESTONE KYNAR - MANSARD BROWN SR - "UC-14"
- * USE SHERWIN WILLIAMS MANUFACTURER ONLY
 ** COLOR TO BE PRE-ORDERED TO ENSURE AVAILABILITY AT TIME OF CONSTRUCTION
 *** PURCHASED BY CIRCLE K/INSTALLED BY G.C. G.C. TO COORDINATE WITH CK PM AND OWNER'S REP circlek@nichha.com