

# HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

## LOT 2, BLOCK 1, HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

### A PARCEL OF LAND LOCATED IN THE SE 1/4 OF SECTION 28, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN

## SITE PLAN REVIEW

### LEGAL DESCRIPTION

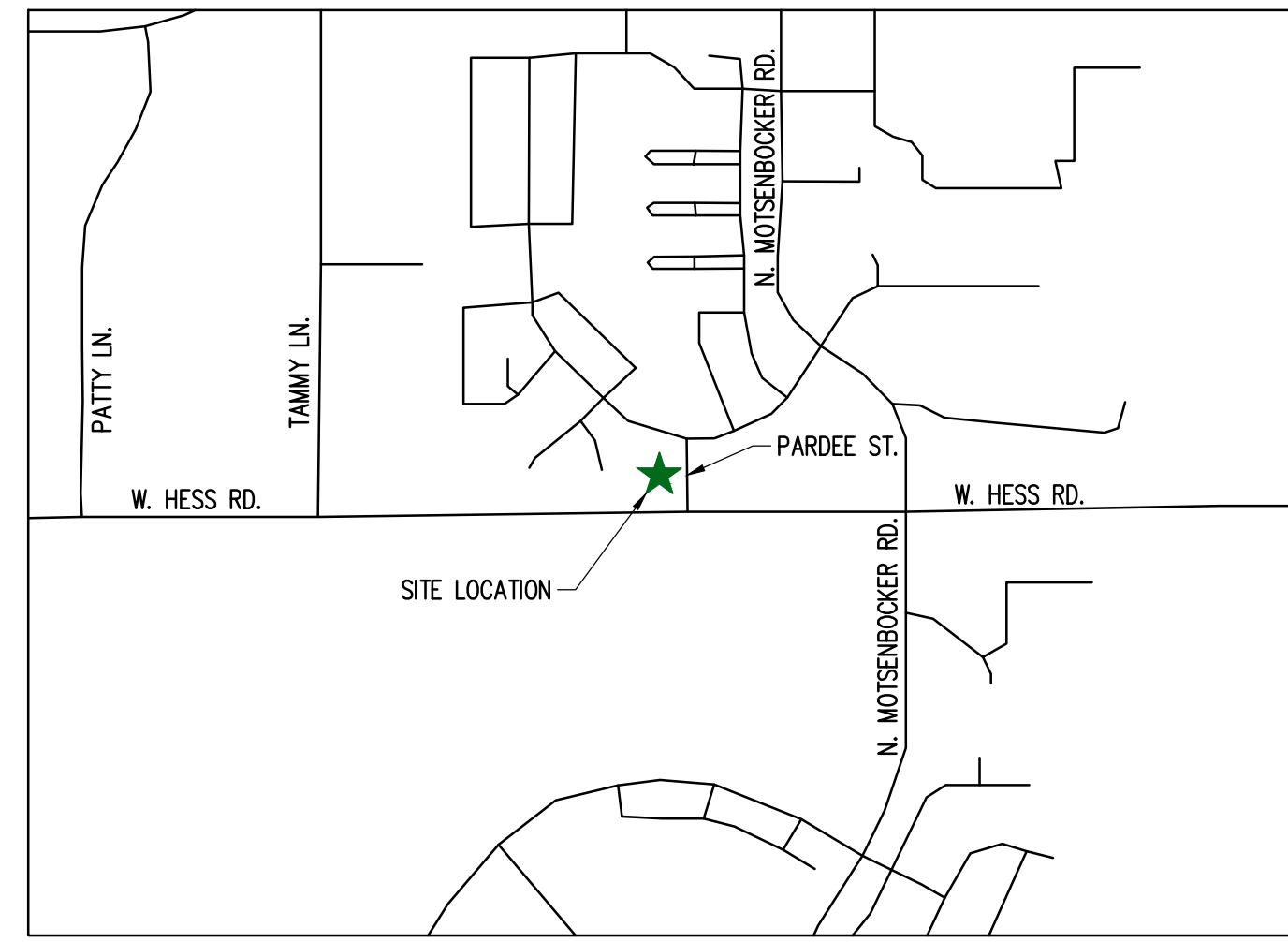
LOT 2, BLOCK 1, HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

A PARCEL OF LAND LOCATED IN THE SE 1/4 OF SECTION 28, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN

CONTAINING 41,493 SF (0.953 AC), MORE OR LESS.

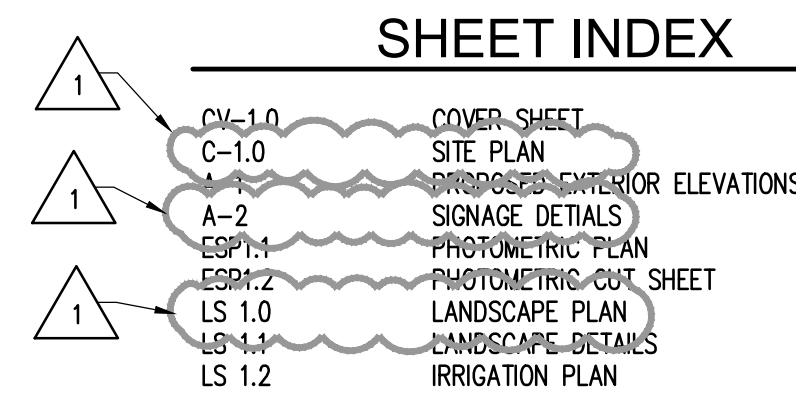
### TOWN OF PARKER - CONSTRUCTION NOTES

- ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE LATEST EDITION OF THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT. THE TOWN RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- A PRECONSTRUCTION MEETING SHALL BE SCHEDULED A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. A PRECONSTRUCTION MEETING WILL NOT BE SCHEDULED UNTIL THE GRADING PERMIT AND ALL OTHER NECESSARY PERMITS HAVE BEEN OBTAINED.
- A TOWN INSPECTOR SHALL BE CONTACTED A MINIMUM OF 24 HOURS PRIOR TO A NECESSARY INSPECTION. IF A TOWN INSPECTOR IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE PERMITTEE MAY COMMENCE WORK IN THE DEVELOPMENT REVIEW ENGINEER'S ABSENCE. HOWEVER, TOWN OF PARKER RESERVES THE RIGHT TO REJECT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
- LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION. FOR INFORMATION CONTACT: DENVER INTER-UTILITY GROUP, 303-534-6700 OR 1-800-922-1987. THE CONTRACTOR SHALL FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS, APPROVED BY THE TOWN OF PARKER PUBLIC WORKS DIRECTOR, AND ONE (1) COPY OF THE ROADWAY DESIGN AND CONSTRUCTION CRITERIA AT THE JOB SITE AT ALL TIMES.
- ALL PROPOSED STREET CUTS TO EXISTING PAVEMENTS FOR UTILITIES, STORM SEWER OR FOR OTHER PURPOSES ARE LISTED AND REFERENCED BELOW:  
EXAMPLES: WATER TIE-IN SHEET 3  
STORM SEWER CONNECTION SHEET 6
- A PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE SUBMITTED TO THE TOWN OF PARKER FOR ACCEPTANCE WITH THE RIGHT-OF-WAY PERMIT USE APPLICATION. A PERMIT WILL NOT BE ISSUED WITHOUT AN APPROVED TRAFFIC CONTROL PLAN FOR USE DURING CONSTRUCTION.
- ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED AND THE SAFETY OF WORKERS PROVIDED FOR AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION.
- COMPACTION OF ALL TRENCHES MUST BE ATTAINED AND COMPACTION TEST RESULTS SUBMITTED TO THE DEVELOPMENT REVIEW ENGINEER IN PRELIMINARY FORM PRIOR TO PAVING AND IN FINAL FORM PRIOR TO PROBATIONARY ACCEPTANCE.
- THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE PLAN MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH APPROVAL FROM THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION.
- PLANS ARE APPROVED FOR PERIOD OF 1 (ONE) YEAR FROM THE DATE SHOWN ON THE TOWN OF PARKER SIGNATURE BLOCK. PLANS SHALL BE RESUBMITTED TO THE TOWN FOR APPROVAL AFTER 1 YEAR. THE COST OF THE PLAN RE-REVIEW AND RE-ACCEPTANCE WILL BE CHARGED BACK TO THE DEVELOPER INCLUDING ALL TIME AND EXPENSES OF THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
- REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS OR LANDSCAPING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
- ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY." FOR INFORMATION, PLEASE CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, WQCD-PE-B2, 4300 CHERRY DRIVE SOUTH, DENVER, COLORADO 80222-1530. ATTENTION: PERMITS AND ENFORCEMENT SECTION. PHONE (303) 692-3500.
- IF DEWATERING IS REQUIRED, A STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT IS REQUIRED FOR DISCHARGES TO A STORM SEWER, CHANNEL, IRRIGATION DITCH, ANY STREET THAT IS TRIBUTARY TO THE AFOREMENTIONED FACILITIES, OR ANY WATER OF THE UNITED STATES.
- ALL REFERENCES TO BOOKS, PAGES, MAPS, AND RECEPTION NUMBER ARE PUBLIC DOCUMENTS ON FILE WITH THE COUNTY CLERK AND RECORDER'S OFFICE.



SCALE 1:1000

VICINITY MAP



### PROJECT CONTACTS:

**PROPERTY OWNER**  
BRYTAR COMPANIES  
8117 PRESTON ROAD, #300  
DALLAS, TX 75225  
(214) 632-4860  
CONTACT: SCOTT REMPHREY

**PARKER PUBLIC WORKS**  
ASSOCIATE PLANNER  
20120 E. MAIN STREET  
PARKER, CO 80138  
(303) 805-3199  
CONTACT: STACEY NERGER

**APPLICANT**  
BRYTAR COMPANIES  
8117 PRESTON ROAD, #300  
DALLAS, TX 75225  
(214) 632-4860  
CONTACT: SCOTT REMPHREY

**GAS**  
XCEL ENERGY  
180 LARIMER ST.  
DENVER, CO 80202  
(800) 895-2999

**CIVIL ENGINEER**  
RIDGETOP ENGINEERING AND CONSULTING, LLC  
541 E. GARDEN DRIVE, UNIT N  
WINDSOR, CO 80550  
(970) 663-4552  
CONTACT: MIKE BEACH, P.E.

**SOUTH METRO FIRE RESCUE AUTHORITY**  
9195 E. MINERAL AVE.  
CENTENNIAL, CO 80112  
(720) 488-7200  
CONTACT: RANDY CAPRA

**ARCHITECT**  
ROGUE ARCHITECTURE  
4100 WADSWORTH BLVD, SUITE 300  
WHEAT RIDGE, CO 80033  
(720) 599-3330  
CONTACT: SCOTT BODUCH

**INTERNATIONAL RURAL ELECTRIC ASSOC.**  
5496 NORTH US HWY 85  
P.O. BOX DRAWER A  
SEDALIA, CO 80135  
(303) 688-3100  
CONTACT: BROOK KAUFMAN

**SURVEYOR**  
P.L.S. GROUP  
532 WEST 66TH STREET  
LOVELAND, CO 80538  
(970) 669-2100  
CONTACT: BRYAN SHORT

### SITE DATA

BUILDING:	4,713 SF (0.11 AC)
LANDSCAPE:	15,471 SF (0.35 AC)
SIDEWALK:	2,041 SF (0.05 AC)
PAVED:	19,187 SF (0.44 AC)
TOTAL:	41,412 SF (0.95 AC)

USE:	RESTAURANT/RETAIL
BUILDINGS:	4,713 SF
ZONE:	PLANNED DEVELOPMENT

REQUIRED PARKING  
RETAIL: 1 PER 300 SF  
3356/300 = 10.7 OR 11 STALLS  
RESTAURANT: 1 PER 100 SF  
1500/100 = 15 STALLS

STANDARD PARKING PROVIDED	25
HC STALLS	2
TOTAL PARKING PROVIDED	27

BICYCLE PARKING: 7

STANDARD STALL DIMENSIONS: 9' X 19'  
STALLS NEXT TO LANDSCAPE: 10' X 19'

DRIVE AISLE WIDTH: 25'

### BUILDING DATA

RESTAURANT (DRIVE THROUGH)	= 1,500 SF
RETAIL	= 3,213 SF
TOTAL	= 4,713 SF

### SIGHT DISTANCE CERTIFICATION:

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE PROPOSED SUBDIVISION, THE BIG TOOL BOX, IS DESIGNED IN ACCORDANCE WITH THE TOWN OF PARKER SIGHT DISTANCE CRITERIA AND WITH AASHTO POLICY ON GEOMETRIC DESIGN OF HIGHWAY & STREETS.

MICHAEL R. BEACH, PE #45088

### ENGINEER'S CERTIFICATION:

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE PROPOSED SUBDIVISION, THE BIG TOOL BOX, IS DESIGNED IN ACCORDANCE WITH THE LATEST EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, THE LATEST EDITION OF THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.

MICHAEL R. BEACH, PE #45088

The Town of Parker review constitutes general compliance with the Town's Standards and approved variances, subject to these plans being stamped, signed, and dated by the professional engineer of record. Review by the Town does not constitute approval of the plan design or accuracy and correctness of engineering calculations. Errors in the design or calculations remain the responsibility of the registered professional engineer whose stamp and signature are affixed to this document.

This review does not constitute approval of any private on-site improvements which may be shown. Construction cannot commence until all required drainage/traffic report(s), final development plan(s), special review(s), grading permit, and/or other permits are complete, approved and on file with the Town of Parker.

Town of Parker, Director of Engineering

Date

LOGO



SEAL

PROJECT TITLE

RETAIL

12225 PARDEE ST.  
PARKER, CO 80134

PREPARED FOR

BRYTAR  
COMPANIES

8117 PRESTON RD. #300  
DALLAS, TX 75225

SUBMITTAL

SITE PLAN REVIEW

DRAWN BY: BSA

CHECKED BY: MRB

PROJECT NO.: 18-075-001

REVISIONS

2ND SUBMITTAL 10/31/2019

3RD SUBMITTAL 02/18/2020

4TH SUBMITTAL 04/01/2020

AMENDMENT 1 02/28/2022

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\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

DATE

02/28/2022

SHEET TITLE

COVER SHEET

SHEET INFORMATION

CV-1

1 of 2



NEW CONSTRUCTION:

# PARKER MIXED-USE RETAIL

HESS ROAD & PARDEE  
STREET  
PARKER, COLORADO



8111 Preston Road, Suite 300  
Dallas, Texas 75225

DATE:	ISSUE:
05.22.2019	PROGRESS REVIEW
05.28.2019	SITE PLAN SUBMITTAL
10.30.2019	2nd SITE PLAN SUBMITTAL
02.18.2020	3rd SITE PLAN SUBMITTAL
03.27.2020	4th SITE PLAN SUBMITTAL
01.12.2022	SITE PLAN AMENDMENT
03.04.2022	SITE PLAN AMENDMENT

**4100**  
Wadsworth Boulevard  
Suite 300  
Wheat Ridge  
CO 80033  
720-599-3330 - P  
303-987-2304 - X

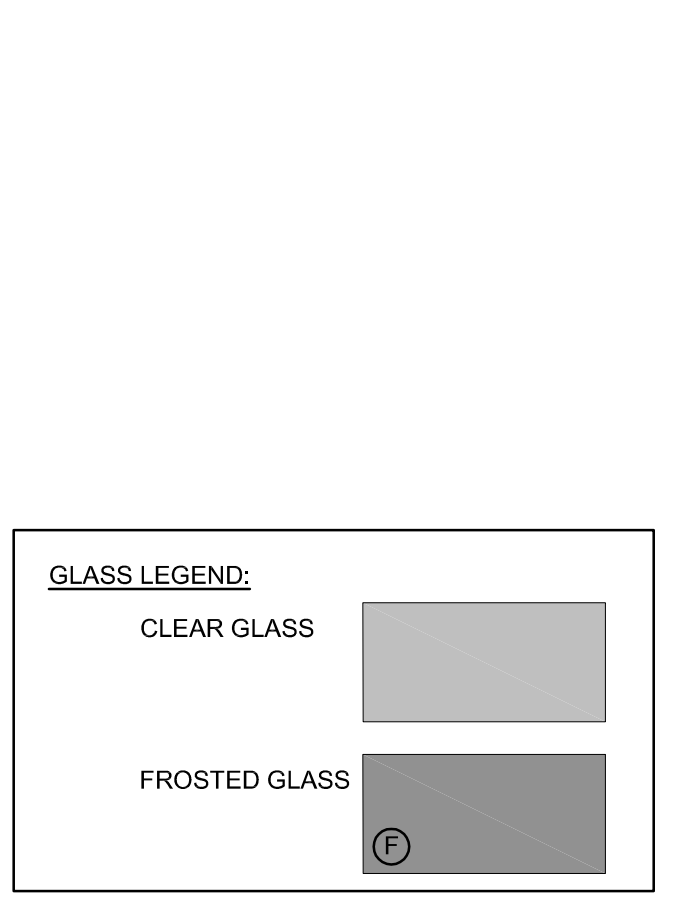
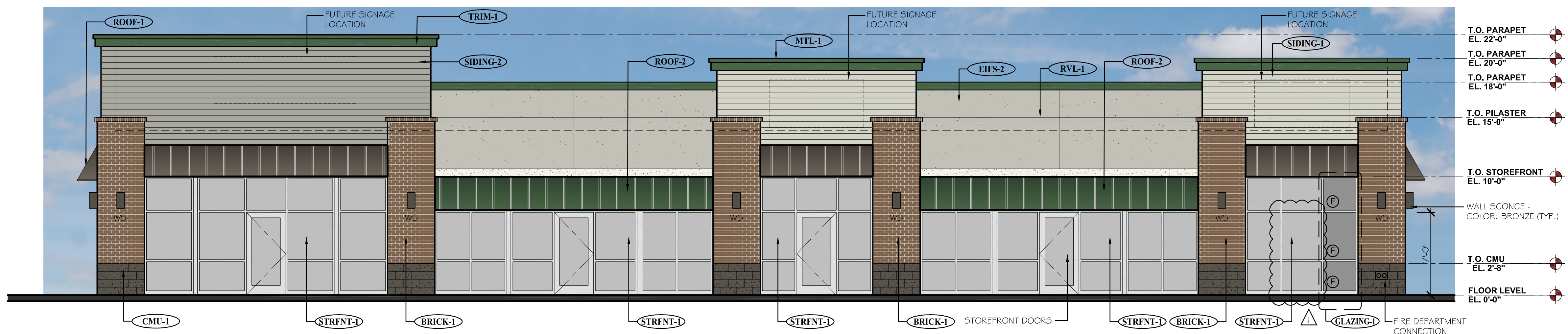
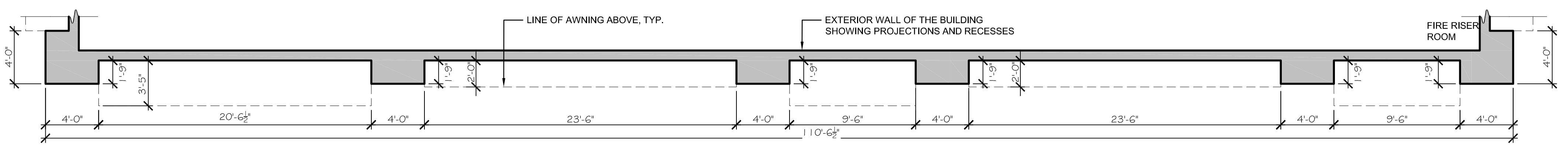
**ROGUE**  
ARCHITECTURE  
CHALLENGING THE STATUS QUO

DATE:	05.28.19
DRAWN:	ROGUE
CHECKED:	SAB
ROGUE PROJECT NO.:	2019.30

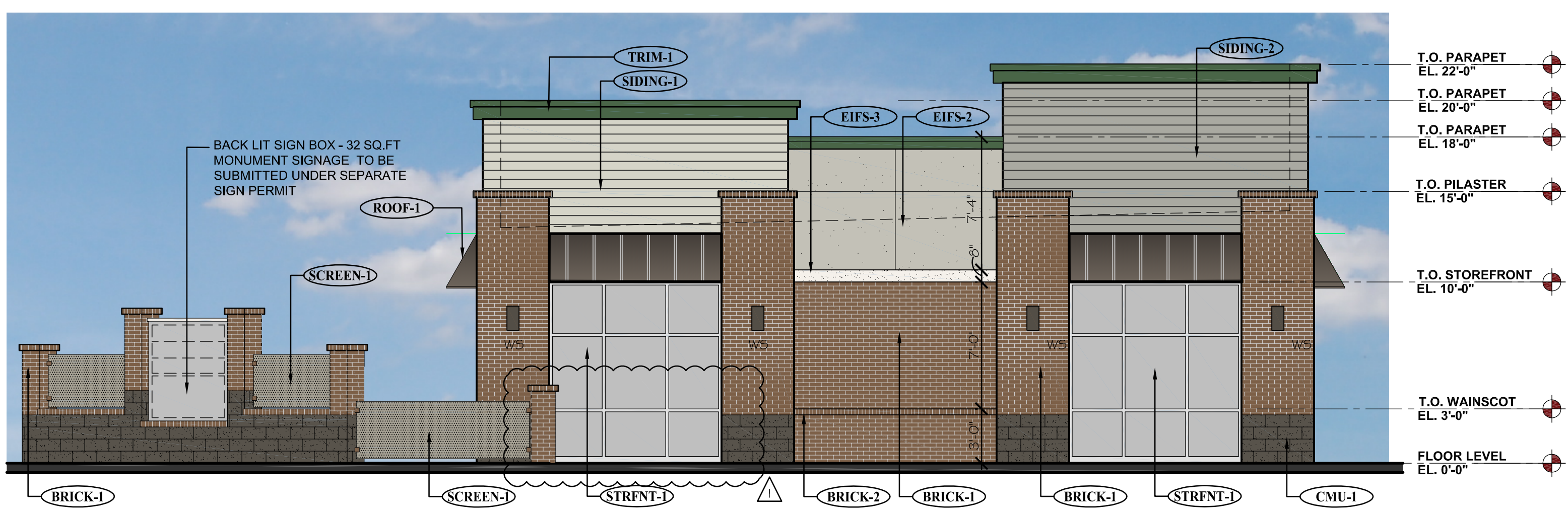
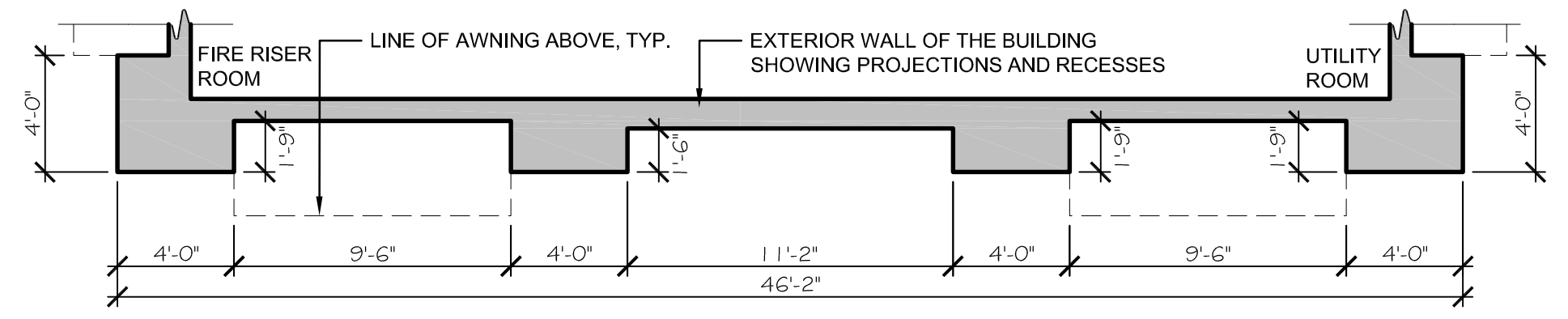
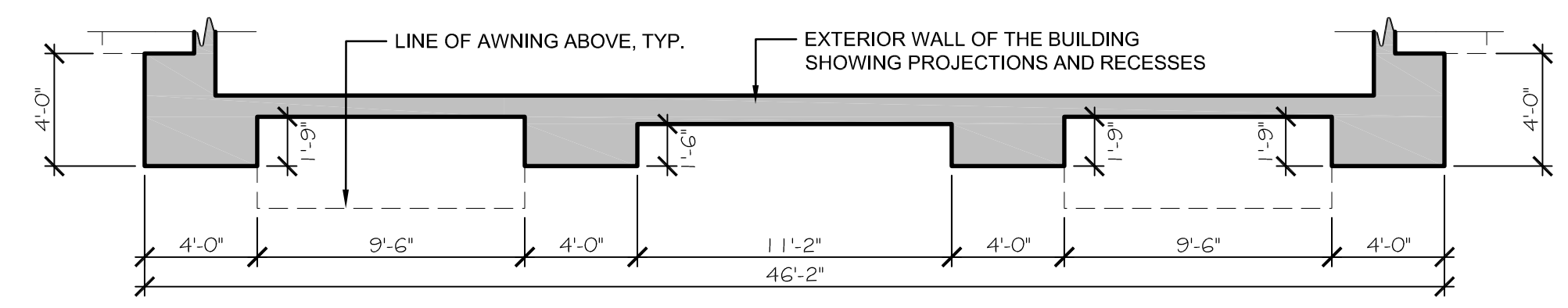
PROPOSED EXTERIOR  
ELEVATIONS

SHEET: **A-1**

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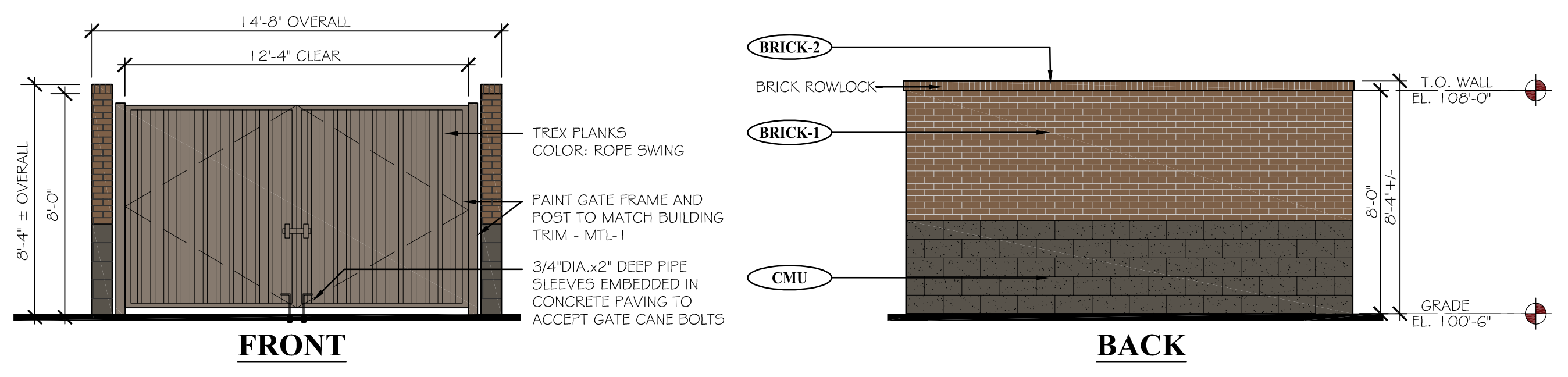


**1**  
A-1  
**PROPOSED NORTH ELEVATION (FRONT)**  
SCALE: 3/16" = 1'-0"



**2**  
A-1  
**PROPOSED EAST ELEVATION (LEFT SIDE)**  
SCALE: 3/16" = 1'-0"

**3**  
A-1  
**PROPOSED WEST ELEVATION (RIGHT SIDE)**  
SCALE: 3/16" = 1'-0"

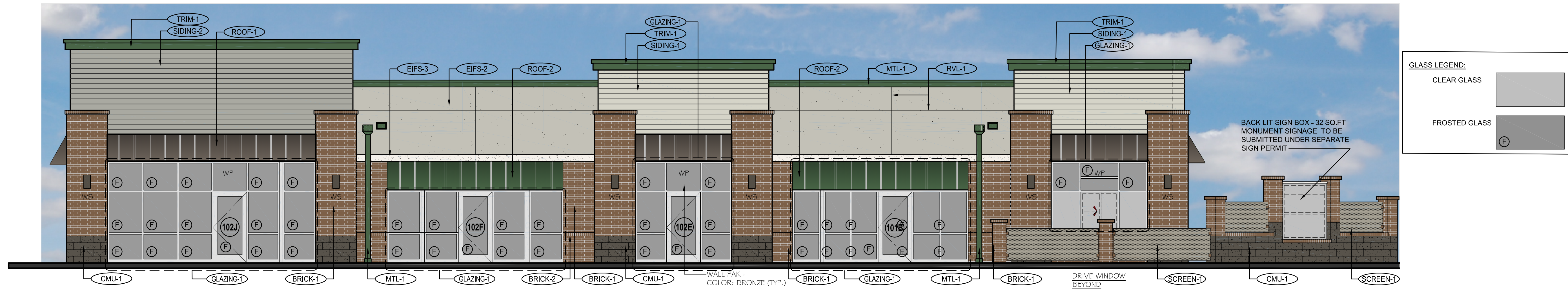
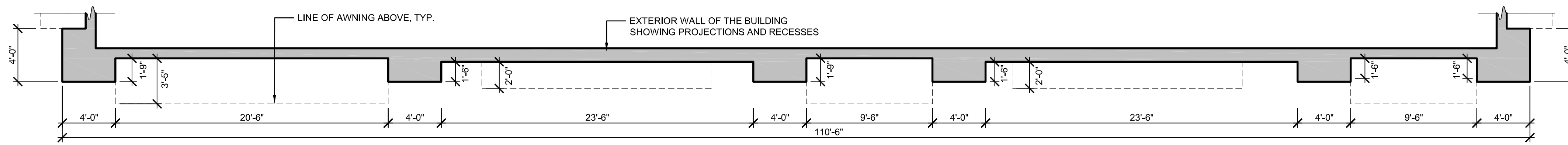


**4**  
A-1  
**PROPOSED TRASH ENCLOSURE ELEVATIONS**  
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIAL SCHEDULE				EXTERIOR MATERIAL SCHEDULE			
LABEL	MANUFACTURER	SIZE/TYPE	FINISH COLOR	LABEL	MANUFACTURER	SIZE/TYPE	FINISH COLOR
STRENT-1	KAWNEER	TRIFAB 451	CLEAR ANODIZED W/ CLEAR GLASS	SIDING-1	JAMES HARDIE	HARDIEPLANK LAP SIDING PRODUCT: CEDARMILL	COLOR: BENJAMIN MOORE FEATHER GRAY 21 27-60
BRICK-1	SUMMIT BRICK (OR EQUIV.)	MODULAR	GRAPHITE GRAIN	SIDING-2	JAMES HARDIE	HARDIEPLANK LAP SIDING PRODUCT: CEDARMILL	COLOR: COBBLESTONE
BRICK-2	SUMMIT BRICK (OR EQUIV.)	ROWLOCK SILL	GRAPHITE GRAIN	TRIM-1	JAMES HARDIE	HARDIETRIM BOARDS	PRODUCT: 5/4 SMOOTH COLOR: SW #704-B URBANE BRONZE
CMU-1	BASALITE (OR EQUIV.)	INTEGRAL COLOR W/ ASSOCIATED CAP	CHARCOAL #605 SPLIT-FACE	ROOF-1	MBCI	AWNING	BURNISHED SLATE
EIFS-1	DRYVIT OR SIMILAR	FIELD (DARK)	DRYVIT, SUEDE # 105 PEBBLE TEXTURE	ROOF-2	MBCI	AWNING	HUNTER GREEN
EIFS-2	DRYVIT OR SIMILAR	BANDING (LIGHT)	DRYVIT LIGHT SERENITY #300 PEBBLE TEXTURE	MTL-1	MBCI	METAL TRIM # DOWNSPOUTS	HUNTER GREEN
EIFS-3	DRYVIT OR SIMILAR	FIELD (MEDIUM)	DRYVIT PRAIRIE CLAY # 111 PEBBLE TEXTURE	PAINT-1	BENJAMIN MOORE	DOORS & FRAMES	SHERWIN WILLIAMS #6073 PERFECT GREIGE
RVL-1	DRYVIT OR SIMILAR	3/4" ROUTED REVEAL	COLOR TO MATCH ADJACENT FINISH	SCREEN-1	ACCURATE PERFORATING (OR EQUIV.)	R5234	BENJAMIN MOORE #2108-05 SILVER FOX
GLAZING-1	---	SEE STOREFRONT NOTE THIS PAGE	---				

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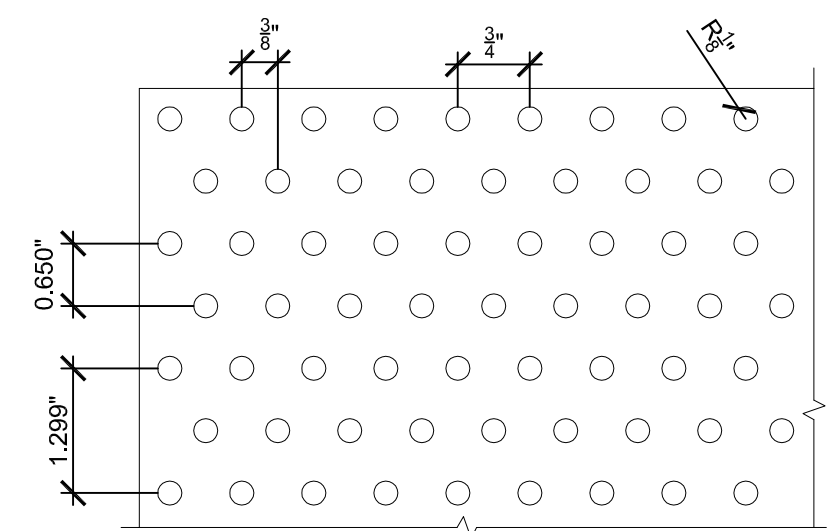
SITE PLAN AMENDMENT 03.04.2022



**4 A-2 PROPOSED SOUTH ELEVATION (REAR)**

SCALE: 3/16" = 1'-0"

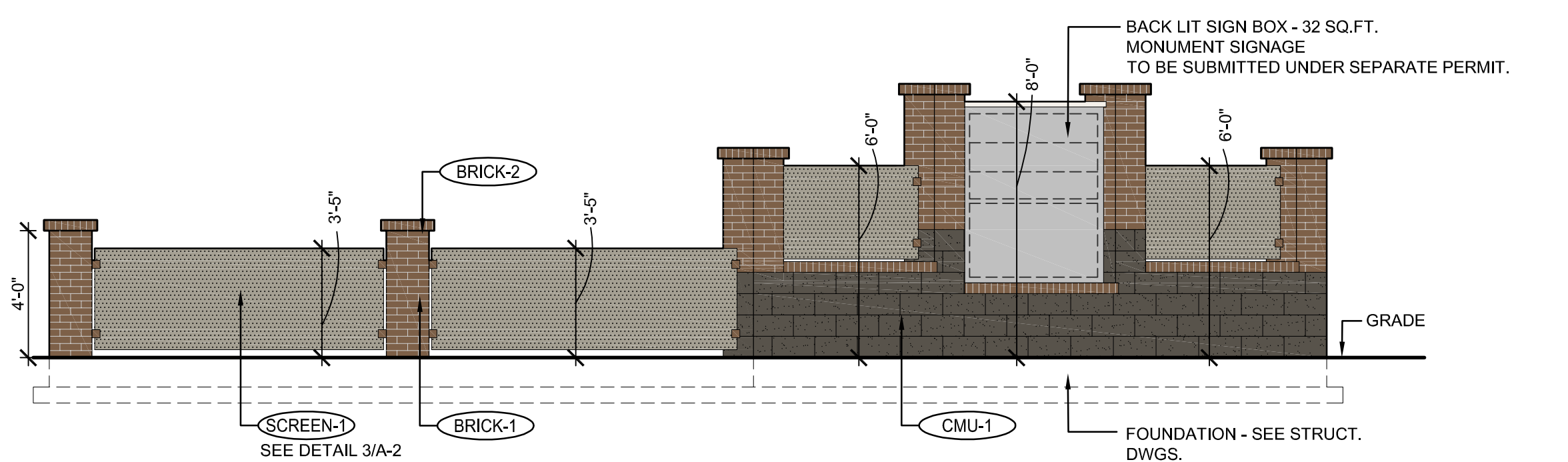
NOTE: THE SOUTH ELEVATION TO MEET FENESTRATION REQUIREMENTS IN SECTION X.A.2.B AND C WHICH REQUIRED 30% OF THE FENESTRATION PROVIDED TO BE CLEAR FENESTRATION PROVIDED ON THE ELEVATION EXCEED THE REQUIREMENT AT 35%.



**3 A-2 MONUMENT SIGNAGE/SCREEN WALL METAL SCREEN PERFORATION PATTERN**

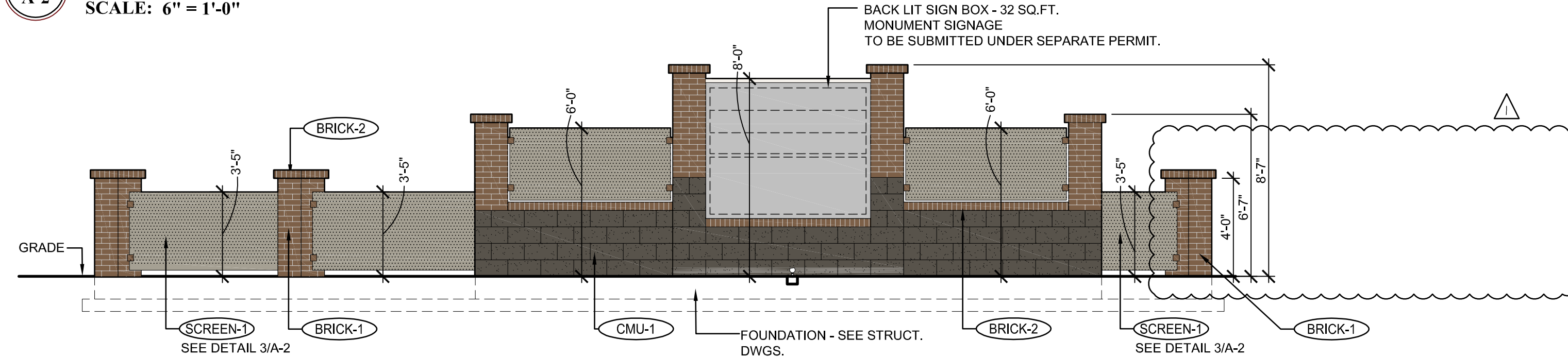
SCALE: 6" = 1'-0"

NOTE: SIGNAGE TO BE SUBMITTED UNDER A SEPARATE PERMIT.



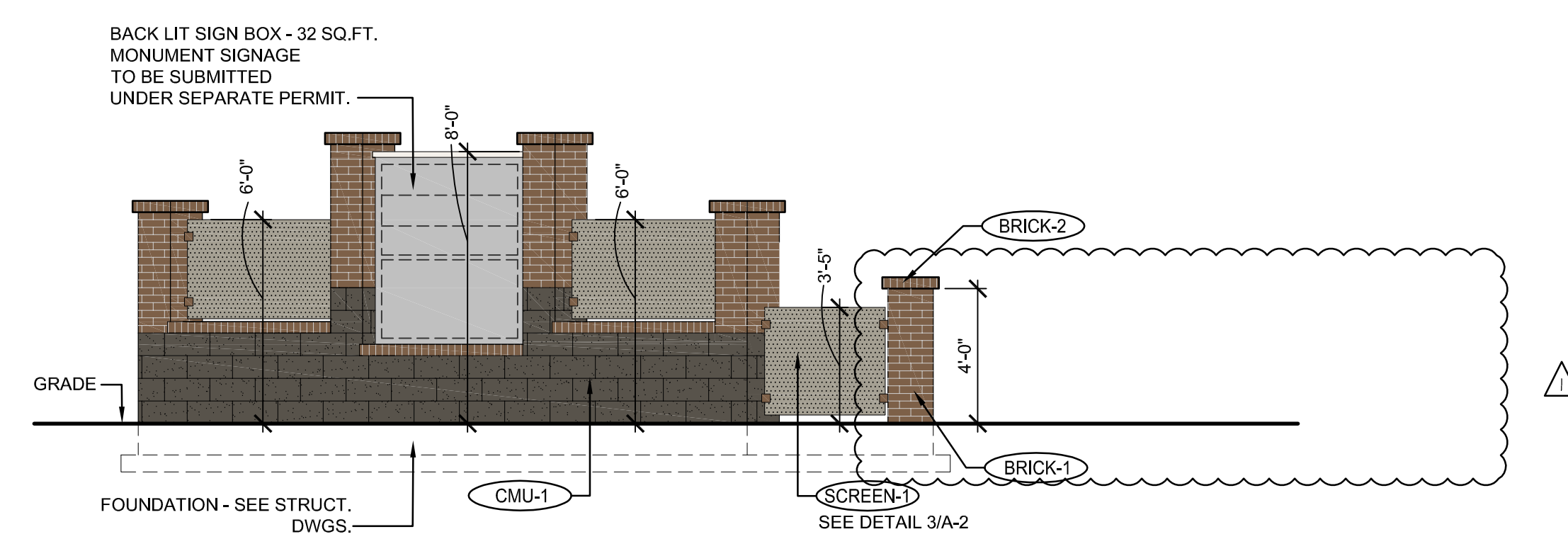
**5 A-2 MONUMENT SIGNAGE/SCREENWALL - SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"



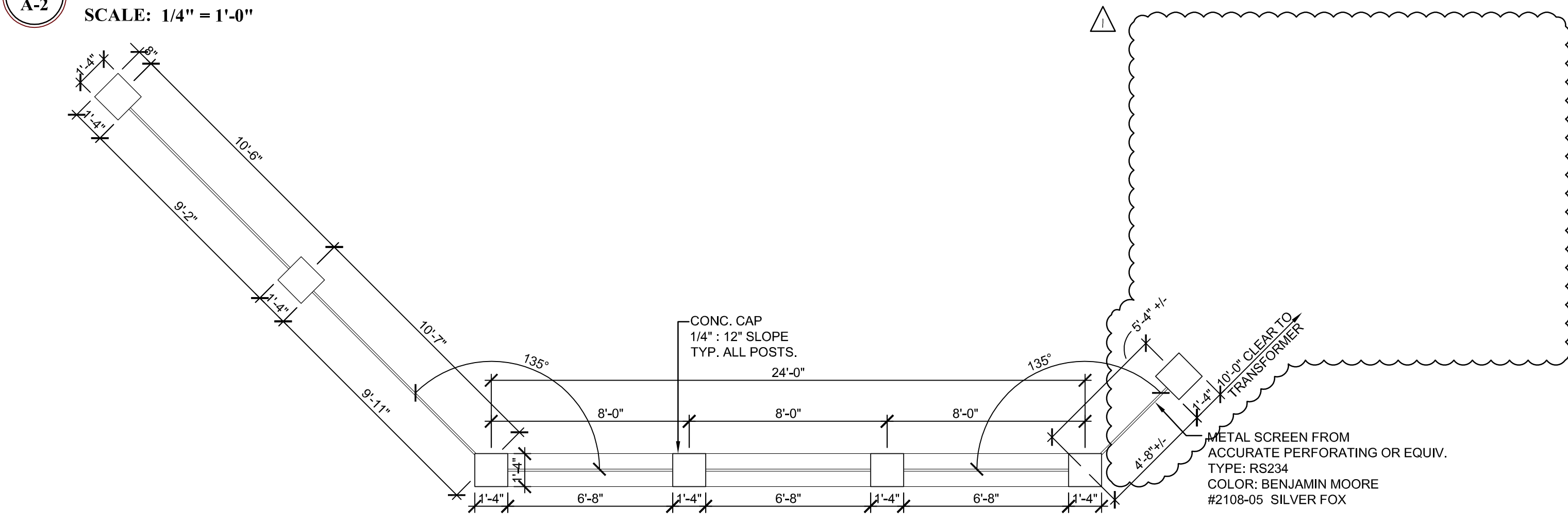
**2 A-2 MONUMENT SIGNAGE/SCREENWALL - SOUTH EAST CORNER ELEVATION**

SCALE: 1/4" = 1'-0"



**6 A-2 MONUMENT SIGNAGE/SCREENWALL - EAST ELEVATION**

SCALE: 1/4" = 1'-0"



**1 A-2 MONUMENT SIGNAGE/SCREENWALL AT SOUTH EAST CORNER - PLAN**

SCALE: 1/4" = 1'-0"

NEW CONSTRUCTION:

**PARKER MIXED-USE RETAIL**

HESS ROAD & PARDEE STREET  
PARKER, COLORADO



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720-599-3330 - P  
303-987-2304 - X

**ROGUE**  
ARCHITECTURE  
CHALLENGING THE STATUS QUO

DATE:	05.28.19
DRAWN:	ROGUE
CHECKED:	SIGNAGE SAB
ROGUE PROJECT NO:	DETAILS 2019.30

SHEET: **A-2**

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SITE PLAN AMENDMENT 03.04.2022

