

File: RE - CD - ROP000C.dwg Path: P:\Colorado\Parker\Brytar\Parker.TL 18-075-001\2 Drawings\ Printed by: acanston Date: 10-Mar-22 3:57:15pm

HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

LOT 2, BLOCK 1, HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT
A PARCEL OF LAND LOCATED IN THE SE 1/4 OF SECTION 28, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN

LEGAL DESCRIPTION

LOT 2, BLOCK 1, HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

A PARCEL OF LAND LOCATED IN THE SE 1/4 OF SECTION 28, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN

CONTAINING 41,493 SF (0.953 AC), MORE OR LESS.

TOWN OF PARKER - CONSTRUCTION NOTES

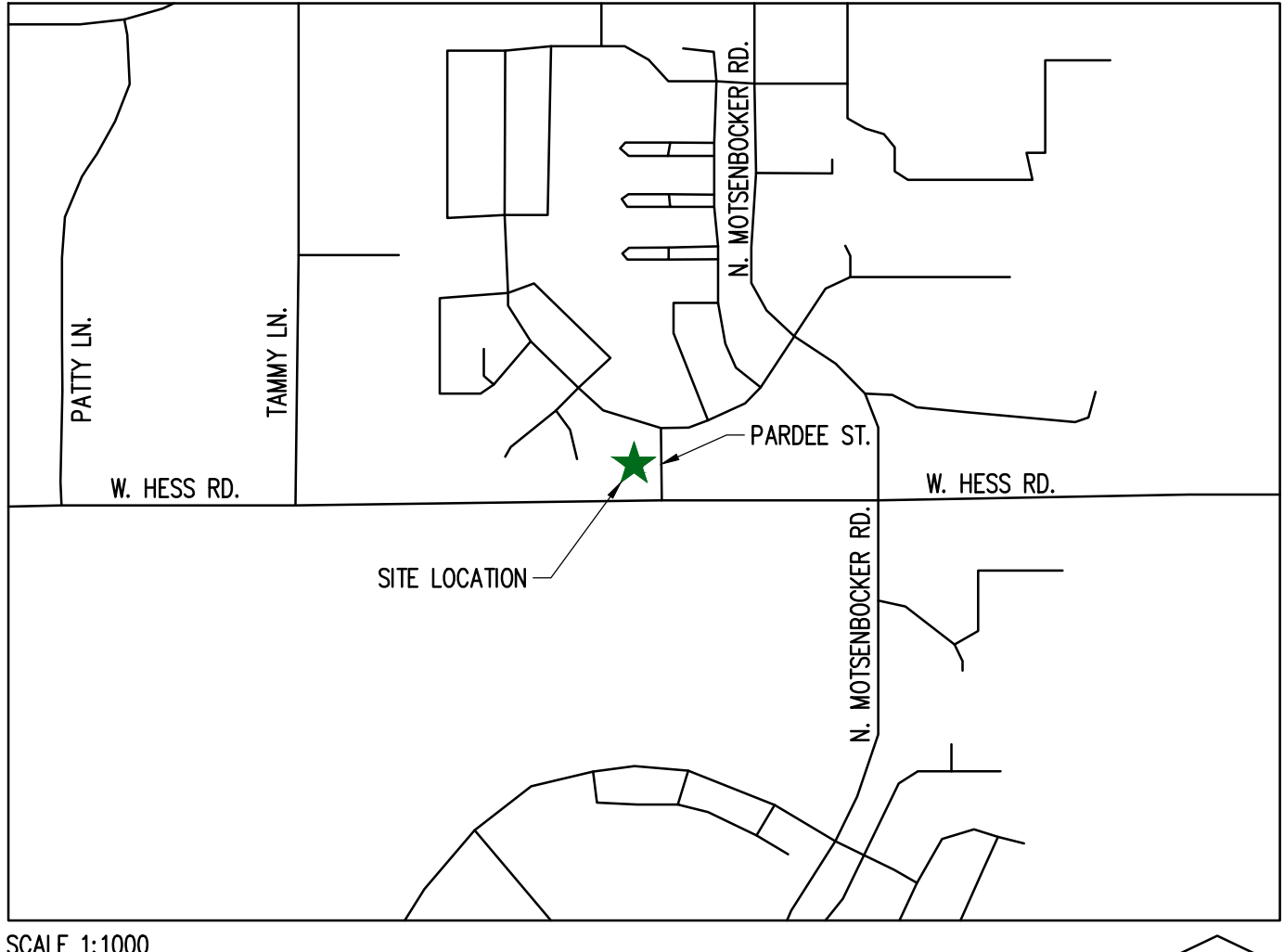
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION; THE LATEST EDITION OF THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT. THE TOWN RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- A PRECONSTRUCTION MEETING SHALL BE SCHEDULED A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. A PRECONSTRUCTION MEETING WILL NOT BE SCHEDULED UNTIL THE GRADING PERMIT AND ALL OTHER NECESSARY PERMITS HAVE BEEN OBTAINED.
- A TOWN INSPECTOR SHALL BE CONTACTED A MINIMUM OF 24 HOURS PRIOR TO A NECESSARY INSPECTION. IF A TOWN INSPECTOR IS NOT AVAILABLE AFTER PROPER NOTICE OF CONSTRUCTION ACTIVITY HAS BEEN PROVIDED, THE PERMITEE MAY COMMENCE WORK IN THE DEVELOPMENT REVIEW ENGINEER'S ABSENCE. HOWEVER, TOWN OF PARKER RESERVES THE RIGHT TO REJECT THE IMPROVEMENT IF SUBSEQUENT TESTING REVEALS AN IMPROPER INSTALLATION.
- LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ACTUAL CONSTRUCTION. FOR INFORMATION CONTACT: DENVER INTER-UTILITY GROUP, 303-534-6700 OR 1-800-922-1987. THE CONTRACTOR SHALL FIELD VERIFY SIZE AND HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION, AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE PLANS, APPROVED BY THE TOWN OF PARKER PUBLIC WORKS DIRECTOR, AND ONE (1) COPY OF THE ROADWAY DESIGN AND CONSTRUCTION CRITERIA AT THE JOB SITE AT ALL TIMES.
- ALL PROPOSED STREET CUTS TO EXISTING PAVEMENTS FOR UTILITIES, STORM SEWER OR FOR OTHER PURPOSES ARE LISTED AND REFERENCED BELOW:
EXAMPLES: WATER TIE-IN SHEET 3
STORM SEWER CONNECTION SHEET 6
- A PLAN FOR TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE SUBMITTED TO THE TOWN OF PARKER FOR ACCEPTANCE WITH THE RIGHT-OF-WAY PERMIT USE APPLICATION. A PERMIT WILL NOT BE ISSUED WITHOUT AN APPROVED TRAFFIC CONTROL PLAN FOR USE DURING CONSTRUCTION.
- ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED AND THE SAFETY OF WORKERS PROVIDED FOR AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION.
- COMPACTION OF ALL TRENCHES MUST BE ATTAINED AND COMPACTION TEST RESULTS SUBMITTED TO THE DEVELOPMENT REVIEW ENGINEER IN PRELIMINARY FORM PRIOR TO PAVING AND IN FINAL FORM PRIOR TO PROBATIONARY ACCEPTANCE.
- THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE PLAN MAY BE MODIFIED AS FIELD CONDITIONS WARRANT WITH APPROVAL FROM THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION.
- PLANS ARE APPROVED FOR PERIOD OF 1 (ONE) YEAR FROM THE DATE SHOWN ON THE TOWN OF PARKER SIGNATURE BLOCK. PLANS SHALL BE RESUBMITTED TO THE TOWN FOR APPROVAL AFTER 1 YEAR. THE COST OF THE PLAN RE-REVIEW AND RE-ACCEPTANCE WILL BE CHARGED BACK TO THE DEVELOPER INCLUDING ALL TIME AND EXPENSES OF THE TOWN OF PARKER PUBLIC WORKS DEPARTMENT.
- REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS OR LANDSCAPING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
- ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY." FOR INFORMATION, PLEASE CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, WOOD-PE-B2, 4300 CHERRY DRIVE SOUTH, DENVER, COLORADO 80222-1530. ATTENTION: PERMITS AND ENFORCEMENT SECTION. PHONE (303) 692-3500.
- IF DEWATERING IS REQUIRED, A STATE CONSTRUCTION DEWATERING DISCHARGE PERMIT IS REQUIRED FOR DISCHARGES TO A STORM SEWER, CHANNEL, IRRIGATION DITCH, ANY STREET THAT IS TRIBUTARY TO THE AFOREMENTIONED FACILITIES, OR ANY WATER OF THE UNITED STATES.
- ALL REFERENCES TO BOOKS, PAGES, MAPS, AND RECEPTION NUMBER ARE PUBLIC DOCUMENTS ON FILE WITH THE COUNTY CLERK AND RECORDER'S OFFICE.

SIGNAGE AND STRIPING NOTES:

- ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MOST RECENT VERSION OF THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), COLORADO SUPPLEMENTAL MUTCD, AND THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL. FURTHER SPECIFICATIONS AND ILLUSTRATIONS ARE LOCATED IN THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) M AND S STANDARDS.
- A FIELD INSPECTION OF LOCATION AND INSTALLATION OF ALL SIGNS AND MARKINGS SHALL BE PERFORMED BY THE TOWN OF PARKER.
- THE CONTRACTOR INSTALLING SIGNS SHALL BE RESPONSIBLE FOR THE LOCATING AND PROTECTING OF ALL UNDERGROUND UTILITIES.
- TYPE III (LIGHTED) BARRICADES SHALL BE SET AT THE ENDS OF ROADWAYS SEPARATING FINISHED (AND/OR ACCEPTED) AND UNFINISHED CONSTRUCTION AREAS AND SHALL BE MAINTAINED BY THE CONTRACTOR/DEVELOPER. A "ROAD CLOSED AHEAD" AND "TO BE EXTENDED" WARNING SIGNS SHALL BE INSTALLED APPROPRIATELY IN ADVANCE OF THE TYPE III BARRICADES.
- SPECIAL CARE SHALL BE TAKEN IN SIGN LOCATIONS TO ENSURE AN UNOBSTRUCTED VIEW OF EACH SIGN.
- WHERE STOP SIGN CONTROL IS APPROPRIATE, 36 INCH STOP SIGNS SHALL BE USED FOR APPROACHES TO ANY ROADWAY THAT IS CLASSIFIED AS A COLLECTOR OR GREATER.
- A 7 FOOT MINIMUM POST LENGTH SHALL BE MAINTAINED FROM THE BOTTOM OF THE SIGN PANEL TO THE GROUND. THIS REQUIREMENT FOR VERTICAL CLEARANCE IS FOR ALL SIGNS.
- DELINEATION OF ROADWAYS SHALL BE AS SPECIFIED IN THE COLORADO DEPARTMENT OF TRANSPORTATION M AND S STANDARDS.
- RAISED MEDIAN ISLAND NOSES SHALL HAVE R4-7 SIGNS AT EACH END AND A 4"X12" HIGH INTENSITY YELLOW SIGN BLANK LOCATED MIDWAY BETWEEN THE R4-7 SIGN AND FINISHED GRADE ON EACH POST.
- SIGNAGE AND STRIPING HAS BEEN DETERMINED BY INFORMATION AVAILABLE AT THE TIME OF REVIEW. PRIOR TO THE INITIATION OF ANY WARRANTY PERIOD, THE TOWN OF PARKER RESERVES THE RIGHT TO REQUIRE MODIFICATIONS TO EXISTING, OR INSTALLATION OF, ADDITIONAL SIGNAGE AND/OR PAVEMENT MARKING IF IT IS DETERMINED THAT CONDITIONS WARRANT SUCH MODIFICATION ACCORDING TO THE MUTCD OR THE CDOT M AND S STANDARDS. ALL SIGNAGE AND STRIPING SHALL FALL UNDER THE REQUIREMENTS OF THE TWO YEAR WARRANTY PERIOD FOR NEW CONSTRUCTION. ADDITIONALLY, ALL PAVEMENT MARKINGS SHALL NOT LIFT OR PEEL DURING THE FIRST YEAR AFTER INSTALLATION.
- DIAMOND GRADE MATERIAL SHALL BE USED ON ALL STOP SIGNS AND OVERHEAD SIGNS. ALL OTHER ROADSIDE TRAFFIC CONTROL DEVICES SHALL USE HIGH INTENSITY GRADE SHEETING. NO FLUORESCENT YELLOW GREEN SHEETING SHALL BE USED UNLESS SPECIFICALLY APPROVED BY THE TOWN OF PARKER.
- ALL STREET NAME SIGNS SHALL BE HIGH INTENSITY, EXTRUDED, GREEN AND WHITE BLADES. ARTERIAL AND COLLECTOR STREET NAME SIGNS SHALL BE 9 INCH BLADES AND HAVE MIXED CASE LETTERING. LOCAL STREET NAME SIGNS SHALL BE 6 INCHES BLADES WITH MIXED CASE LETTERING.
- ALL LAYOUTS FOR INTERNALLY ILLUMINATED STREET NAME SIGNS SHALL BE SUBMITTED TO THE TOWN FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- ALL REMOVED SIGNS SHALL BE RETURNED TO THE TOWN OF PARKER.
- CROSSWALKS:
 - SHALL BE CONSTRUCTED USING PREFORMED THERMO-PLASTIC OR AN APPROVED EQUAL.
 - SHALL BE LONGITUDINAL 2 FEET BY 10 FEET (CONTINENTAL) TYPE OR OTHER APPROVED BY THE TOWN OF PARKER.
 - SHALL LINE UP WITH HANDICAP RAMPS.
 - SHALL BE CENTERED WITHIN LANES AND PLACED ON LANE AND CURB LINES SO AS TO AVOID VEHICLE WHEEL PATHS.
- ALL PAVEMENT MARKING MATERIAL (INCLUDING WORDS AND SYMBOLS) SHALL BE AS FOLLOWS:
 - FOR CONCRETE SURFACE:
 - LONG LINE MARKINGS (CHANNELIZATION LINES, SKIPS, ETC.) SHALL BE EPOXY PAINT.
 - OTHER PAINT MAY BE USED FOR TEMPORARY APPLICATION ONLY WHEN APPROVED BY THE TOWN OF PARKER.
 - WORDS, SYMBOLS, AND CROSSWALKS/STOP BARS SHALL BE METHYL-MYTHACRALATE, PREFORMED THERMOPLASTIC (90 MIL), PREFORMED PLASTIC (90 MIL), INLAYED TAPE (STAMARK), OR AS SPECIFIED.
 - (SAND OR WATER BLAST CURING COMPOUND PRIOR TO INSTALLATION OF MARKINGS.)
 - FOR ASPHALT SURFACE:
 - LONG LINE MARKINGS (CHANNELIZATION LINES, SKIPS, ETC.) SHALL BE EPOXY PAINT.
 - OTHER PAINT MAY BE USED FOR TEMPORARY APPLICATION ONLY WHEN APPROVED BY THE TOWN OF PARKER.
 - WORDS, SYMBOLS, AND CROSSWALKS/STOP BARS SHALL BE HOT APPLIED THERMOPLASTIC (90 MIL), PREFORMED PLASTIC (90 MIL), INLAYED TAPE (STAMARK), METHYL-MYTHACRALATE, OR AS SPECIFIED.
- INSPECTION AND APPROVAL OF STRIPING AND CROSSWALK LAYOUT TO BE DONE BY TOWN OF PARKER DEVELOPMENT REVIEW ENGINEER (CALL 303-840-9546) PRIOR TO APPLICATION OF FINAL STRIPING.

HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

LOT 2, BLOCK 1, HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT
A PARCEL OF LAND LOCATED IN THE SE 1/4 OF SECTION 28, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN



SCALE 1:1000

VICINITY MAP

SHEET INDEX

CV-1.0	COVER SHEET
ER-1.0	INITIAL BMP PLAN
ER-1.1	FINAL BMP PLAN
ER-2.0	BMP DETAILS
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ER-2.2	BMP DETAILS
ER-2.3	BMP DETAILS
ER-2.4	BMP DETAILS
ER-2.5	BMP DETAILS
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ER-2.10	BMP DETAILS
C-1.0	SITE PLAN
C-1.1	HORIZONTAL CONTROL
C-2.0	GRADING PLAN
C-4.0	DETAILS
C-4.1	DETAILS

PROJECT CONTACTS:

PROPERTY OWNER
BRYTAR COMPANIES
8117 PRESTON ROAD, #300
DALLAS, TX 75225
(214) 632-4860
CONTACT: SCOTT REMPHREY

APPLICANT
BRYTAR COMPANIES
8117 PRESTON ROAD, #300
DALLAS, TX 75225
(214) 632-4860
CONTACT: SCOTT REMPHREY

CIVIL ENGINEER
RIDGETOP ENGINEERING AND CONSULTING, LLC
541 E. GARDEN DRIVE, UNIT N
WINDSOR, CO 80550
(970) 663-4552
CONTACT: MIKE BEACH, P.E.

ARCHITECT
ROGUE ARCHITECTURE
4100 WADSWORTH BLVD., SUITE 300
WHEAT RIDGE, CO 80033
(720) 599-3330
CONTACT: SCOTT BODUCH

SURVEYOR
P.L.S GROUP
532 WEST 66TH STREET
LOVELAND, CO 80538
(970) 669-2100
CONTACT: BRYAN SHORT

PARKER PUBLIC WORKS
ASSOCIATE PLANNER
20120 E. MAIN STREET
PARKER, CO 80138
(303) 805-3199
CONTACT: STACEY NERGER

GAS
XCEL ENERGY
180 LARIMER ST.
DENVER, CO 80202
(800) 895-2999

SOUTH METRO FIRE RESCUE AUTHORITY
9195 E. MINERAL AVE.
CENTENNIAL, CO 80112
(720) 488-7200
CONTACT: RANDY CAPRA


INTERNATIONAL RURAL ELECTRIC ASSOC.
5496 NORTH US HWY 85
P.O. BOX DRAWER A
SEDALIA, CO 80135
(303) 688-3100
CONTACT: BROOK KAUFMAN

STORM DRAINAGE INFRASTRUCTURE NOTES:

- ALL STORM DRAINAGE IMPROVEMENTS ARE SUBJECT TO COMPLIANCE WITH THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, M & S STANDARDS, AND ALL STANDARD SPECIAL PROVISIONS CURRENTLY USED BY CDOT, WITH THE MODIFICATIONS SET FORTH IN THE TOWN OF PARKER'S STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL (SDECM), AS AMENDED.
- THE CONTRACTOR SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8 CRS), THE "PROTECTION OF FISHING STREAMS" TITLE 33, ARTICLE 5, CRS), THE "CLEAN WATER ACT" (33 USC 1344), CHERRY CREEK RESERVOIR CONTROL REGULATION NO. 72" (5 CCR 1002-72), THE REGULATION PROMULGATED, CERTIFICATION OR PERMITS ISSUES, AND THE REQUIREMENTS PRESENTED IN THE SDECM REVISION TO SECTION 107 AND THE CONSTRUCTION BMP PLAN. IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND WATER QUALITY CONTROL LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, OR STATE AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- INSPECTIONS: CONSTRUCTION SHALL NOT BEGIN UNTIL A GRADING PERMIT HAS BEEN ISSUED FOR THE PROJECT. THE CONTRACTOR SHALL NOTIFY THE TOWN OF PARKER ENGINEERING DEPARTMENT (PUBLIC WORKS) TO SCHEDULE INSPECTIONS A MINIMUM OF 48 HOURS PRIOR TO THE CONSTRUCTION OF ALL DRAINAGE INFRASTRUCTURE (STORM SEWERS, INLETS, MANHOLES, FLOW DISSIPATORS, RIPRAP, GROUTED BOULDERS, DETENTION POND OUTLET STRUCTURES, FOREBAYS, TRICKLE CHANNELS, ETC). FAILURE TO NOTIFY THE ENGINEERING DEPARTMENT FOR INSPECTIONS MAY RESULT IN NON-ACCEPTANCE OF THE INFRASTRUCTURE BY THE TOWN. URBAN DRAINAGE AND FLOOD CONTROL DISTRICT MUST ALSO BE NOTIFIED IN A SIMILAR MANNER FOR ALL MAINTENANCE ELIGIBLE DRAINAGE INFRASTRUCTURES (CONSULT WITH STORMWATER ENGINEERING DIVISION).
- STRUCTURAL BACKFILL (CDOT CLASS 1) SHALL BE COMPACTED TO CONFORM TO CDOT STANDARD SPECIFICATION 203.03. STRUCTURAL BACKFILL (CDOT CLASS 2) SHALL CONFORM TO CDOT STANDARD SPECIFICATION 203.07. AT THE CONTRACTOR'S OPTION, STRUCTURAL BACKFILL (SQUEEGEE) MEETING THE GRADATION REQUIREMENTS CONTAINED IN REVISION OF SECTION 206 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM, MAY BE SUBSTITUTED FOR STRUCTURE BACKFILL (CLASS 1) OR CLASS 2) FOR BACKFILLING OF CULVERT PIPES, STORM SEWER PIPES, MANHOLES AND INLET STRUCTURES; HOWEVER, THE TOP 2 FEET BELOW SUBGRADE ELEVATION SHALL BE THE REQUIRED EMBANKMENT MATERIAL.
- ALL EXCAVATIONS SHALL MEET OSHA REQUIREMENTS.
- TESTING: PROBATIONARY ACCEPTANCE OF STORM DRAINAGE IMPROVEMENTS WILL BE CONTINGENT UPON SATISFACTORY TESTING RESULTS. IN ALL CASES WHERE TESTS INDICATE COMPACTION LESS THAN THAT REQUIRED BY TOWN SPECIFICATIONS, ADDITIONAL COMPACTION AND TESTS WILL BE REQUIRED UNTIL THE SPECIFICATIONS ARE MET. FREQUENCY OF TESTING WILL BE AS FOLLOWS:
 - 1 TEST FOR SUBGRADE AND 1 TEST FOR BACKFILL AT EVERY ABOVE GROUND APPURTENANCE (MANHOLES, INLETS, ETC)
 - 1 TEST EVERY 200 LF OF MAINLINE TRENCH EVERY 1 FOOT OF BACKFILL LIFT AND WITHIN 1 FOOT FROM ALL STRUCTURES.
- ALLOWABLE STORM SEWER CONDUIT MATERIAL WITHIN THE TOWN OF PARKER SHALL BE LIMITED TO REINFORCED CONCRETE PIPE (RCP) CONFORMING TO CDOT STANDARD SPECIFICATION 706.02.
- JOINT RESTRAINTS AND TOE-WALLS, CONFORMING TO CDOT M&S STANDARD PLAN NO. M-601-11 SHALL BE USED ON ALL RCP FLARED END SECTION OUTFALLS.
- EPOXY COATED REBAR SHALL BE USED AS REINFORCING STEEL ON ALL STORM INLETS AND STRUCTURES. REFERENCE CDOT M&S STANDARD PLAN NO. M-604-10, 11, 12, AND 13.
- CDOT CLASS D CONCRETE SHALL BE USED FOR ALL CONCRETE DRAINAGE STRUCTURES.
- PRE-CAST INLETS AND MANHOLE BASES SHALL NOT BE USED WITHIN THE TOWN OF PARKER RIGHT-OF-WAY, WITH THE EXCEPTION OF CDOT TYPE C AND D INLETS.
- TWO- (2) MANHOLE ACCESS POINTS ARE REQUIRED ON ALL TYPE "R" CURB INLETS GREATER THAN OR EQUAL TO TEN (10) FEET IN LENGTH AS PRESENTED IN CDOT M&S STANDARD PLAN NO. M-604-12.
- ALL GROUTING (BOULDERS, RIPRAP) SHALL BE IN ACCORDANCE WITH THE REVISION OF SECTION 506 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM.
- ALL BOULDERS AND RIPRAP SHALL BE SELECTED AND PLACED IN ACCORDANCE WITH THE REVISION OF SECTION 506 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM.
- CONTRACTOR SHALL REFER TO THE TOWN OF PARKER'S CONSTRUCTION BEST MANAGEMENT PRACTICES DETAILS AND NOTES FOR ALL REQUIREMENTS RELATING TO RE-VEGETATION, SEDIMENT AND EROSION CONTROL REQUIREMENTS FOR CONSTRUCTION ACTIVITIES.
- PIPE BELLS SHALL NOT BE CAST INTO MANHOLE BASES OR INLETS.

SIGHT DISTANCE CERTIFICATION:

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE PROPOSED SUBDIVISION, HORSESHOE RIDGE 1ST AMENDMENT, IS DESIGNED IN ACCORDANCE WITH THE TOWN OF PARKER SIGHT DISTANCE CRITERIA AND WITH AASHTO POLICY ON GEOMETRIC DESIGN OF HIGHWAY & STREETS.


MICHAEL R. BEACH, PE #45088

ENGINEER'S CERTIFICATION:

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE PROPOSED SUBDIVISION, HORSESHOE RIDGE 1ST AMENDMENT, IS DESIGNED IN ACCORDANCE WITH THE LATEST EDITION OF THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, THE LATEST EDITION OF THE TOWN OF PARKER ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL, AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.


MICHAEL R. BEACH, PE #45088

The Town of Parker review constitutes general compliance with the Town's Standards and approved variances, subject to these plans being stamped, signed, and dated by the professional engineer of record. Review by the Town does not constitute approval of the plan design or accuracy and correctness of engineering calculations. Errors in the design or calculations remain the responsibility of the registered professional engineer whose stamp and signature are affixed to this document.

This review does not constitute approval of any private on-site improvements which may be shown. Construction cannot commence until all required drainage/traffic report(s), final development plan(s), special review(s), grading permit, and/or other permits are complete, approved and on file with the Town of Parker.

Town of Parker, Director of Engineering

Date

LOGO



SEAL



PROJECT TITLE

RETAIL

LOT 2, BLOCK 1
HORSESHOE RIDGE
PARKER, CO 80134

PREPARED FOR

BRYTAR
COMPANIES

8117 PRESTON RD. #300
DALLAS, TX 75225

SUBMITTAL

CONSTRUCTION DOCS.

DRAWN BY: BSA
CHECKED BY: MRB
PROJECT NO.: 18-075-001

REVISIONS

2ND SUBMITTAL	10/30/2019
3RD SUBMITTAL	02/18/2020
4TH SUBMITTAL	04/01/2020

2 REV 2 - DETAIL CHANGE 3/10/22

DATE

01/04/2022

SHEET TITLE

COVER SHEET

SHEET INFORMATION

CV-1.0

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HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

LOT 2, BLOCK 1, HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

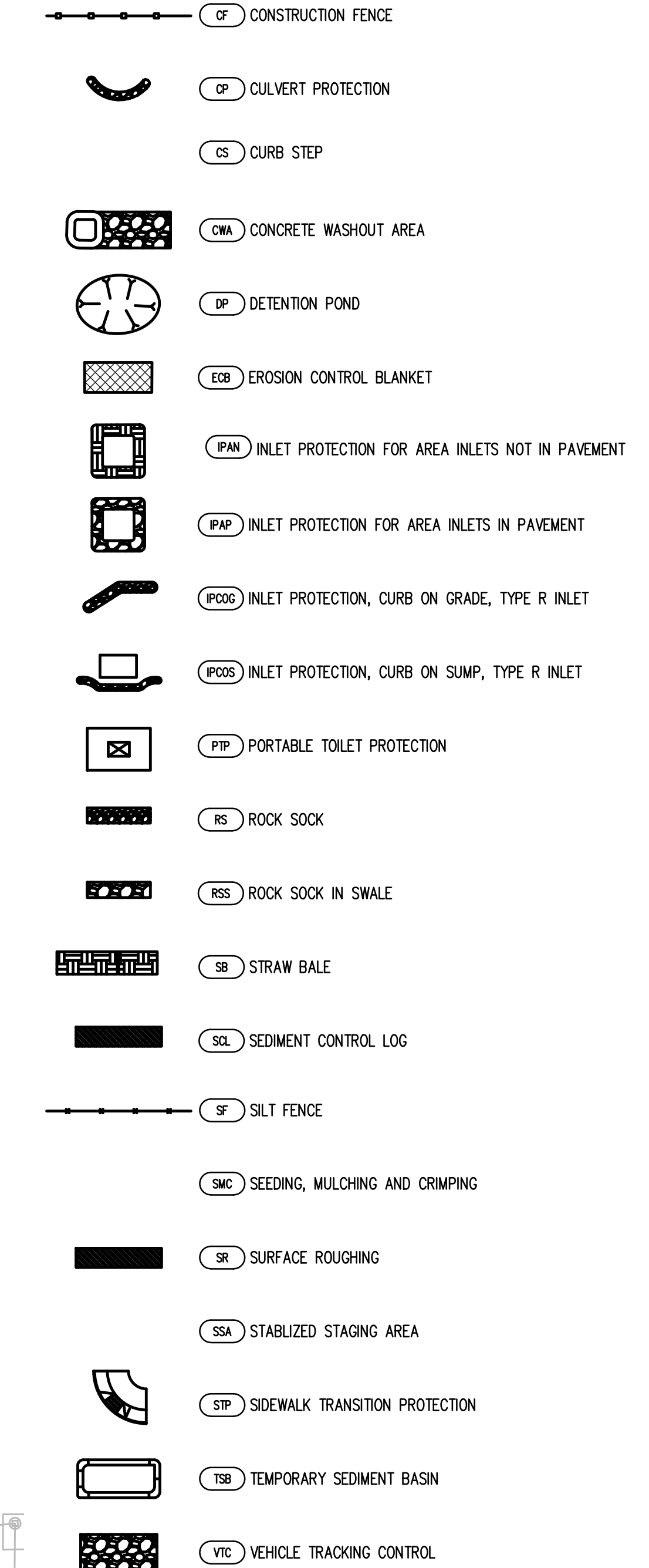
A PARCEL OF LAND LOCATED IN THE SE 1/4 OF SECTION 28, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN

CONSTRUCTION DOCUMENTS

LEGEND

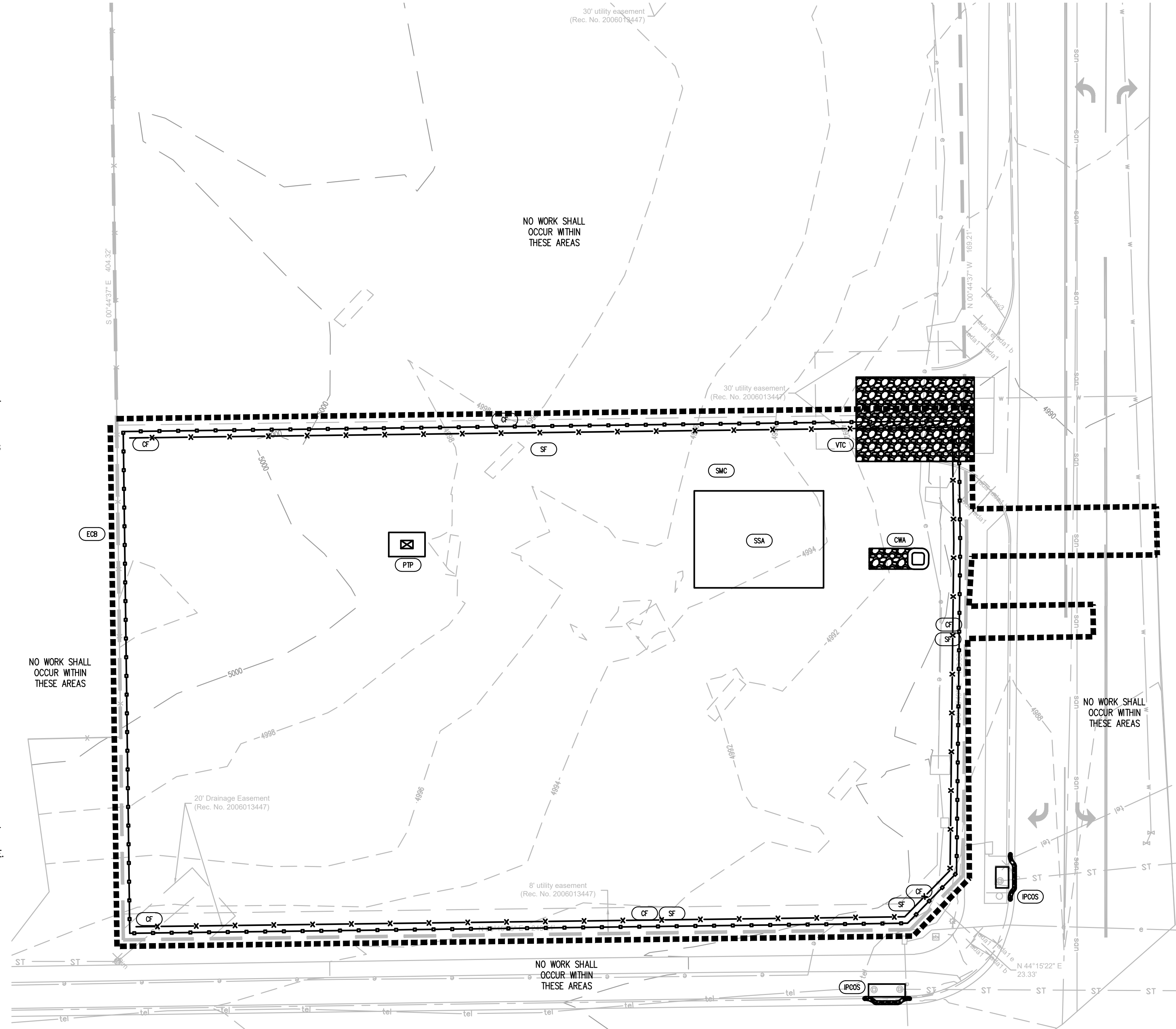


EROSION DETAILS



GENERAL EROSION CONTROL NOTES


- THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THE PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE EXISTING CONDITIONS SHOWN ON THIS PLAN SHEET ARE BASED UPON THE SURVEY PREPARED BY PLS GROUP, DATED 1-15-2019. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED SITEWORK IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITEWORK WHICH WOULD BE AFFECTED. IF CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CAUTION - NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE MOST CURRENT APPLICABLE LOCAL, STATE, AND FEDERAL STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES FOR PREVENTING SILT-LADEN RUNOFF FROM DISCHARGING FROM THE PROJECT SITE. FAILURE BY THE CONTRACTOR CAN RESULT IN A FINE. THE DESIGNATED TEMPORARY CONTACT PERSON NOTED ON THIS PLAN MUST BE AVAILABLE FOR CONTACT BY TELEPHONE ON A 24 HOUR BASIS THROUGHOUT CONSTRUCTION AND UNTIL THE PROJECT HAS BEEN COMPLETED AND APPROVED BY THE GOVERNMENTAL AGENCY WITH JURISDICTION.
- THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR FROM THE BEGINNING OF CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED BY THE GOVERNMENTAL AGENCY WITH JURISDICTION AND THE SITE IS STABILIZED.
- THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED AND INSPECTED BY THE LOCAL JURISDICTION PRIOR TO ANY CLEARING OR CONSTRUCTION TAKING PLACE. DURING CONSTRUCTION, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE OWNER AND/OR CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED.
- THE EROSION AND SEDIMENTATION CONTROL FACILITIES SHOWN ON THIS PLAN ARE TO BE CONSIDERED ADEQUATE BASIC REQUIREMENTS FOR THE ANTICIPATED SITE CONDITIONS. DURING CONSTRUCTION, DEVIATIONS FROM THIS PLAN MAY BE NECESSARY IN ORDER TO MAINTAIN WATER QUALITY.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED BY THE CONTRACTOR ON A FREQUENT BASIS AND IMMEDIATELY AFTER EACH RAINFALL, AND MAINTAINED AS NECESSARY TO INSURE THEIR CONTINUED FUNCTIONING. ALL SEDIMENT MUST BE REMOVED FROM SILT FENCES, STRAW BALES, SEDIMENT PONDS, ETC. PRIOR TO THE SEDIMENT REACHING 1/2 ITS MAXIMUM POTENTIAL DEPTH.
- AT NO TIME SHALL CONCRETE, CONCRETE BYPRODUCTS, VEHICLE FLUIDS, PAINT, CHEMICALS, OR OTHER POLLUTING MATTER BE PERMITTED TO DISCHARGE TO THE TEMPORARY OR PERMANENT DRAINAGE SYSTEM, OR TO DISCHARGE FROM THE PROJECT SITE.
- THE CONTRACTOR PERFORMING THE WORK SHALL MAINTAIN A SET OF THE APPROVED CONSTRUCTION DRAWINGS ON SITE AT ALL TIMES WHILE CONSTRUCTION IS IN PROGRESS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR PERFORMING THE WORK TO OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION PRIOR TO COMMENCING ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR PERFORMING THE WORK SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE TRAFFIC CONTROL AT ALL TIMES DURING CONSTRUCTION ALONGSIDE OR WITHIN ALL PUBLIC ROADWAYS.
- THIS APPROVED "TEMPORARY EROSION AND SEDIMENTATION CONTROL PLAN" MUST BE IMPLEMENTED PRIOR TO ANY SITE WORK. SEE THE PLANS AND DETAILS FOR FURTHER INFORMATION.
- THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER IN THE EVENT OF DISCOVERY OF POOR SOILS, GROUNDWATER OR DISCREPANCIES IN THE EXISTING CONDITIONS AS NOTED ON THE PLANS. MAXIMUM SLOPES SHALL BE 2:1 HORIZ:VERT FOR FILL SLOPES, AND 2:1 HORIZ:VERT FOR CUT SLOPES.
- ROCKERIES OR OTHER RETAINING FACILITIES EXCEEDING 4' IN HEIGHT REQUIRE A SEPARATE PERMIT.
- SLOPE STABILIZATION, CUT AND FILL SLOPES SHALL BE CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. ROUGHENED SOIL SURFACES ARE PREFERRED TO SMOOTH SURFACES. INTERCEPTORS SHOULD BE CONSTRUCTED AT THE TOP OF LONG, STEEP SLOPES WHICH HAVE SIGNIFICANT AREAS ABOVE THAT CONTRIBUTE RUNOFF. CONCENTRATED RUNOFF SHOULD NOT BE ALLOWED TO FLOW DOWN THE FACE OF A CUT OR FILL SLOPE UNLESS CONTAINED WITHIN AN ADEQUATE CHANNEL OR PIPE SLOPE DRAIN. WHEREVER A SLOPE FACE CROSSES A WATER SEEPAGE PLANE, ADEQUATE DRAINAGE OR OTHER PROTECTION SHOULD BE PROVIDED. IN ADDITION, SLOPES SHOULD BE STABILIZED IN ACCORDANCE WITH ITEM (17) ABOVE.
- STORM DRAIN INLET PROTECTION: ALL STORM DRAIN INLETS MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT STORMWATER RUNOFF SHALL NOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
- REFER TO PROJECT SPECIFICATIONS FOR SURFACE WATER POLLUTION PREVENTION PLAN (SWPPP) NARRATIVE.



The Town of Parker review constitutes general compliance with the Town's Standards and approved variances, subject to these plans being stamped, signed, and dated by the professional engineer of record. Review by the Town does not constitute approval of the plan design or accuracy and correctness of engineering calculations. Errors in the design or calculations remain the responsibility of the registered professional engineer whose stamp and signature are affixed to this document.


This review does not constitute approval of any private on-site improvements which may be shown. Construction cannot commence until all required drainage/traffic report(s), final development plan(s), special review(s), grading permit, and/or other permits are complete, approved and on file with the Town of Parker.

Town of Parker, Director of Engineering _____ Date _____



RIDGETOP
ENGINEERING & SURVEYING
541 E. Garden Drive, Windsor, CO 80550
T 970.665.4652
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SEAL



COLORADO LICENSE
BOBET W. PARKER
5-19-20
PROFESSIONAL ENGINEER
45088

PROJECT TITLE

RETAIL

LOT 2, BLOCK 1
HORSESHOE RIDGE
PARKER, CO 80134

PREPARED FOR

BRYTAR COMPANIES

8117 PRESTON RD. #300
DALLAS, TX 75225

SUBMITTAL

CONSTRUCTION DOCS.

DRAWN BY: BSA
CHECKED BY: MRB
PROJECT NO.: 18-075-001

REVISIONS

NO.	DATE	DESCRIPTION
2ND SUBMITTAL	10/30/2019	
3RD SUBMITTAL	02/18/2020	
4TH SUBMITTAL	04/01/2020	
1	REV 1 - ADA RAMP	1/3/22

DATE

01/04/2022

SHEET TITLE

BMP PLAN

SHEET INFORMATION

ER-1.0

2 of 19

File: RE - CD - ROPA010ER.dwg Path: P:\Colorado\Parker\Brytar\Parker TLE - 18-075-001\2 Drawings\ Plotted by: acoriston Date: 10-Mar-22 3:57:21pm

GENERAL EROSION CONTROL NOTES

1. THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THE PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE EXISTING CONDITIONS SHOWN ON THIS PLAN SHEET ARE BASED UPON THE SURVEY PREPARED BY PLS GROUP, DATED 1-15-2019. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED SITWORK IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITWORK WHICH WOULD BE AFFECTED. IF CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
2. **CAUTION - NOTICE TO CONTRACTOR**
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
3. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE MOST CURRENT APPLICABLE LOCAL, STATE, AND FEDERAL STANDARDS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES FOR PREVENTING SILT-LADEN RUNOFF FROM DISCHARGING FROM THE PROJECT SITE. FAILURE BY THE CONTRACTOR CAN RESULT IN A FINE. THE DESIGNATED TEMPORARY CONTACT PERSON NOTED ON THIS PLAN MUST BE AVAILABLE FOR CONTACT BY TELEPHONE ON A 24 HOUR BASIS THROUGHOUT CONSTRUCTION AND UNTIL THE PROJECT HAS BEEN COMPLETED AND APPROVED BY THE GOVERNMENTAL AGENCY WITH JURISDICTION.
5. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR FROM THE BEGINNING OF CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED BY THE GOVERNMENTAL AGENCY WITH JURISDICTION AND THE SITE IS STABILIZED.
6. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED AND INSPECTED BY THE LOCAL JURISDICTION PRIOR TO ANY CLEARING OR CONSTRUCTION TAKING PLACE. DURING CONSTRUCTION, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE OWNER AND/OR CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED.
7. THE EROSION AND SEDIMENTATION CONTROL FACILITIES SHOWN ON THIS PLAN ARE TO BE CONSIDERED ADEQUATE BASIC REQUIREMENTS FOR THE ANTICIPATED SITE CONDITIONS. DURING CONSTRUCTION, DEVIATIONS FROM THIS PLAN MAY BE NECESSARY IN ORDER TO MAINTAIN WATER QUALITY.
8. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED BY THE CONTRACTOR ON A FREQUENT BASIS AND IMMEDIATELY AFTER EACH RAINFALL, AND MAINTAINED AS NECESSARY TO INSURE THEIR CONTINUED FUNCTIONING. ALL SEDIMENT MUST BE REMOVED FROM SILT FENCES, STRAW BALES, SEDIMENT POND, ETC. PRIOR TO THE SEDIMENT REACHING 1/2 ITS MAXIMUM POTENTIAL DEPTH. AT NO TIME SHALL CONCRETE, CONCRETE BYPRODUCTS, VEHICLE FLUIDS, PAINT, CHEMICALS, OR OTHER POLLUTING MATTER BE PERMITTED TO DISCHARGE TO THE TEMPORARY OR PERMANENT DRAINAGE SYSTEM, OR TO DISCHARGE FROM THE PROJECT SITE.
9. THE EROSION AND SEDIMENTATION CONTROL FACILITIES SHOWN ON THIS PLAN ARE TO BE CONSIDERED ADEQUATE BASIC REQUIREMENTS FOR THE ANTICIPATED SITE CONDITIONS. DURING CONSTRUCTION, DEVIATIONS FROM THIS PLAN MAY BE NECESSARY IN ORDER TO MAINTAIN WATER QUALITY.
10. THE CONTRACTOR PERFORMING THE WORK SHALL MAINTAIN A SET OF THE APPROVED CONSTRUCTION DRAWINGS ON SITE AT ALL TIMES WHILE CONSTRUCTION IS IN PROGRESS.
11. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR PERFORMING THE WORK TO OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION PRIOR TO COMMENCING ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
12. THE CONTRACTOR PERFORMING THE WORK SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE TRAFFIC CONTROL AT ALL TIMES DURING CONSTRUCTION ALONGSIDE OR WITHIN ALL PUBLIC ROADWAYS.
13. THIS APPROVED "TEMPORARY EROSION AND SEDIMENTATION CONTROL PLAN" MUST BE IMPLEMENTED PRIOR TO ANY SITE WORK. SEE THE PLANS AND DETAILS FOR FURTHER INFORMATION.
14. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER IN THE EVENT OF DISCOVERY OF POOR SOILS, GROUNDWATER OR DISCREPANCIES IN THE EXISTING CONDITIONS AS NOTED ON THE PLANS. MAXIMUM SLOPES SHALL BE 2:1 HORIZ:VERT FOR FILL SLOPES, AND 2:1 HORIZ:VERT FOR CUT SLOPES. ROCKY OR OTHER RETAINING FACILITIES EXCEEDING 4' IN HEIGHT REQUIRE A SEPARATE PERMIT.
15. SLOPE STABILIZATION. CUT AND FILL SLOPES SHALL BE CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. ROUGHENED SOIL SURFACES ARE PREFERRED TO SMOOTH SURFACES. INTERCEPTORS SHOULD BE CONSTRUCTED AT THE TOP OF LONG, STEEP SLOPES WHICH HAVE SIGNIFICANT AREAS ABOVE THAT CONTRIBUTE RUNOFF. CONCENTRATED RUNOFF SHOULD NOT BE ALLOWED TO FLOW DOWN THE FACE OF A CUT OR FILL SLOPE UNLESS CONTAINED WITHIN AN ADEQUATE CHANNEL OR PIPE SLOPE DRAIN. WHEREVER A SLOPE FACE CROSSES A WATER SEEPAGE PLANE, ADEQUATE DRAINAGE OR OTHER PROTECTION SHOULD BE PROVIDED. IN ADDITION, SLOPES SHOULD BE STABILIZED IN ACCORDANCE WITH ITEM (17) ABOVE.
16. STORM DRAIN INLET PROTECTION. ALL STORM DRAIN INLETS MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT STORMWATER RUNOFF SHALL NOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
17. REFER TO PROJECT SPECIFICATIONS FOR SURFACE WATER POLLUTION PREVENTION PLAN (SWPPP) NARRATIVE.

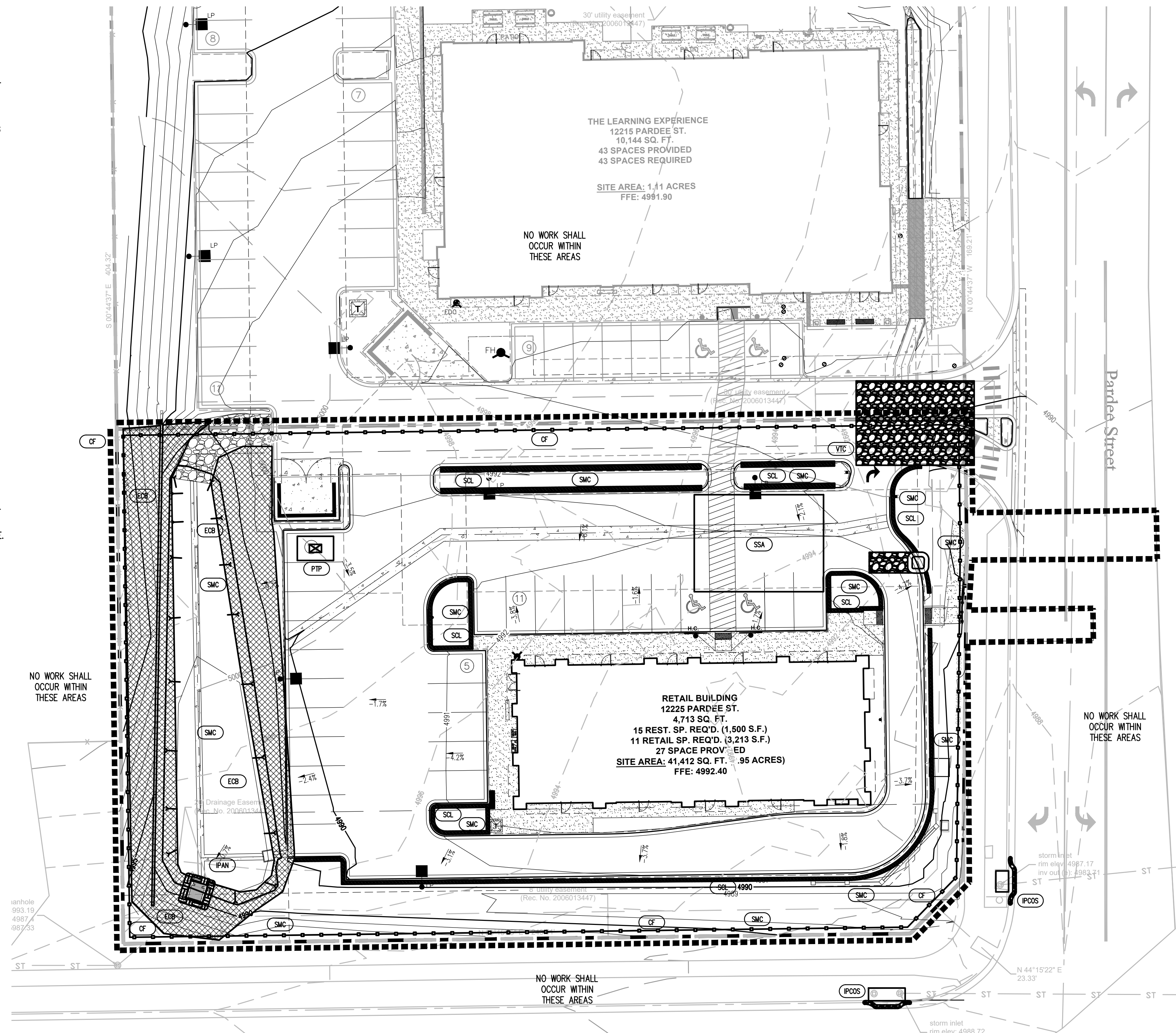
NOTE

1. TO REDUCE THE POTENTIAL FOR CLOGGING OF DEBRIS GRATES, NO STRAW MULCH SHALL BE USED WITHIN THE EXCESS URBAN RUNOFF VOLUME OF A DETENTION BASIN. INSTEAD, EROSION CONTROL BLANKET SHALL BE INSTALLED FOR A WIDTH OF AT LEAST 6- FEET ON BOTH SIDES OF THE CONCRETE LOW FLOW CHANNELS OR UP TO A DEPTH OF 1-FOOT IN SOIL RIPRAP OR BENCHED LOW FLOW CHANNELS. ADDITIONALLY, HYDRAULICALLY-APPLIED WOOD FIBER MULCH, STABILIZED FIBER MATRIX, BONDED FIBER MATRIX, OR FLEXIBLE GROWTH MEDIUM SHALL BE USED IN ALL OTHER AREAS WITHIN THE EXCESS URBAN RUNOFF VOLUME OF THE DETENTION BASIN. THE BLANKET AND HYDRAULICALLY-APPLIED MULCH SHALL COMPLY WITH THE MATERIALS AND INSTALLATION REQUIREMENTS FOR EROSION CONTROL BLANKETS AS REQUIRED BY THE TOWN'S CBMP PROGRAM, AND WHERE APPLICABLE, THE PRODUCT MANUFACTURER.
2. LOT PROTECTION (LP) IS REQUIRED ON COMMERCIAL LOTS WHEN LANDSCAPING IS NOT POSSIBLE.

HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

LOT 2, BLOCK 1, HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT
A PARCEL OF LAND LOCATED IN THE SE 1/4 OF SECTION 28, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN

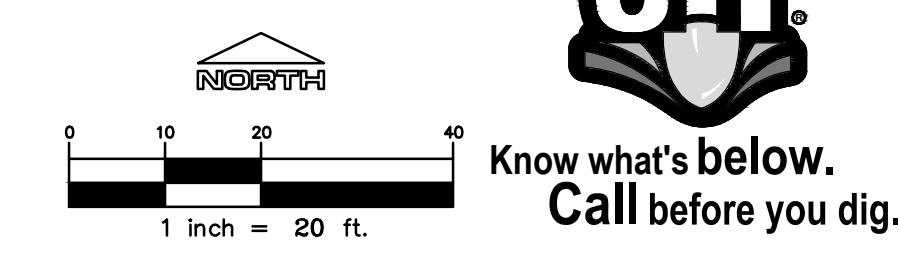
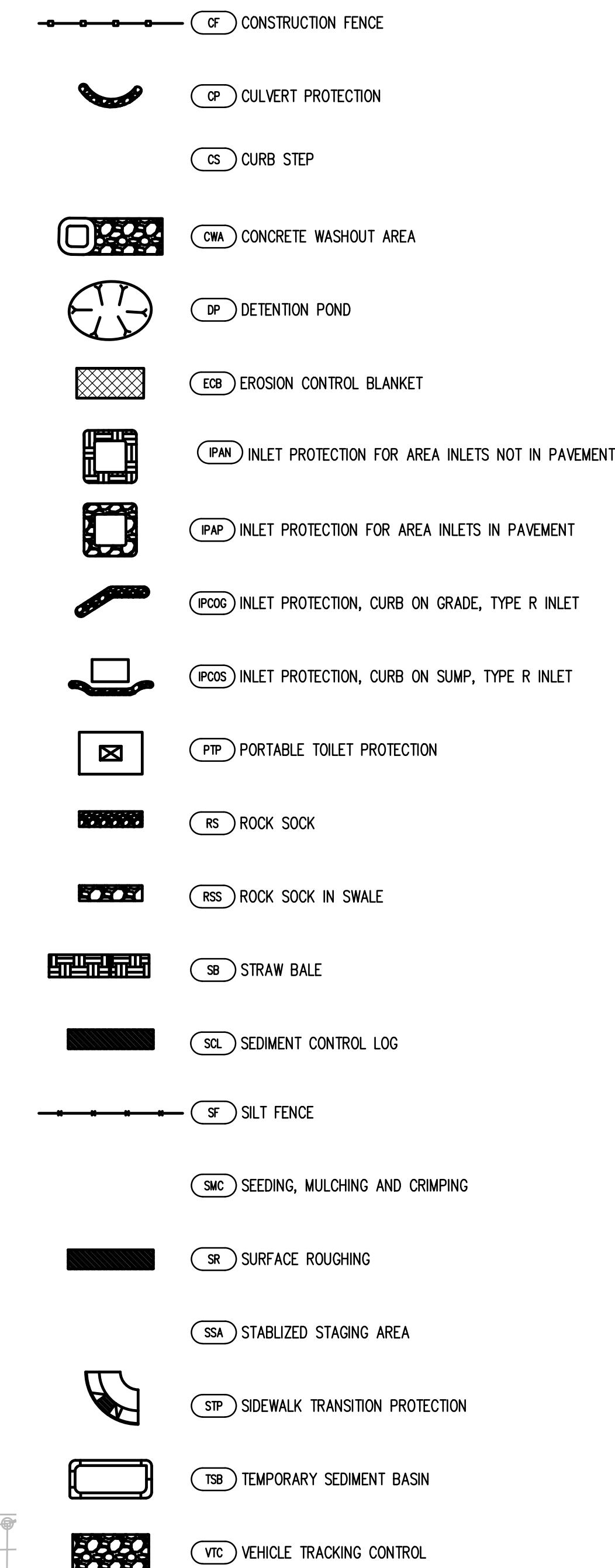
CONSTRUCTION DOCUMENTS



LEGEND



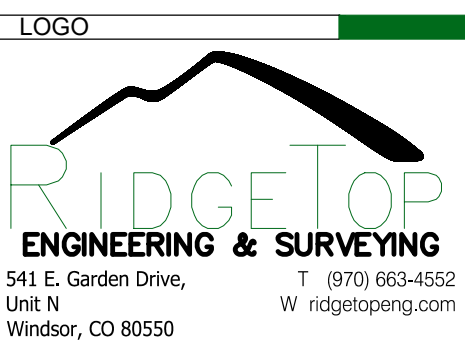
EROSION DETAILS



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Town of Parker, Director of Engineering Date



PROJECT TITLE

RETAIL

LOT 2, BLOCK 1
HORSESHOE RIDGE
PARKER, CO 80134

PREPARED FOR

BRYTAR
COMPANIES

8117 PRESTON RD. #300
DALLAS, TX 75225

SUBMITTAL CONSTRUCTION DOCS.

DRAWN BY:	BSA
CHECKED BY:	MRB
PROJECT NO.:	18-075-001
REVISIONS	
2ND SUBMITTAL	10/30/2019
3RD SUBMITTAL	02/18/2020
4TH SUBMITTAL	04/01/2020
REV 2 - DETAIL CHANGE	3/10/22

DATE 01/04/2022

SHEET TITLE

FINAL BMP PLAN

SHEET INFORMATION

ER-1.1

SEAL



PROJECT TITLE

RETAIL

LOT 2, BLOCK 1
 HORSESHOE RIDGE
 PARKER, CO 80134

PREPARED FOR

BRYTAR
 COMPANIES

8117 PRESTON RD. #300
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REVISIONS	
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4TH SUBMITTAL	04/01/2020

2 REV 2 - DETAIL CHANGE 3/10/22

DATE

01/04/2022

SHEET TITLE

BMP DETAILS

SHEET INFORMATION

ER-2.0

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

- GRADING, DRILLING, CLEARING, EXCAVATING, BACK-FILLING, SOIL STRIPPING, SOIL IMPORTING EXPORTING OR ANY OTHER FORM OF SOIL DISTURBANCE SHALL NOT COMMENCE UNTIL A TOWN OF PARKER GRADING/EXCAVATION PERMIT HAS BEEN ISSUED.
- THE TOWN OF PARKER GRADING/EXCAVATION PERMIT IS VALID FOR A PERIOD OF 2 YEARS FROM THE DATE OF ISSUANCE. ANY LAPSE IN PERMIT COVERAGE MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER AND/OR FINES.
- ALL EROSION AND SEDIMENT CONTROL BMPs SHALL BE INSTALLED ACCORDING TO THE CBMP PLAN INSTALLATION NOTES AND DETAILS AND/OR PERMITTED VARIANCES. ALL MATERIALS, WORKMANSHIP AND INSTALLATION METHODS ARE SUBJECT TO INSPECTION BY THE TOWN'S INSPECTOR. THE TOWN OF PARKER RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS, WORKMANSHIP AND/OR INSTALLATION METHODS THAT DO NOT CONFORM TO THE CBMP PLAN AND/OR PERMITTED VARIANCES.
- THE EROSION CONTROL SUPERVISOR SHALL REVISE OR MODIFY THE EROSION AND SEDIMENT CONTROL MEASURES IF IT BECOMES APPARENT THAT THE ORIGINAL PLAN IS INADEQUATE, OR AS A RESULT OF DEFICIENCIES IDENTIFIED DURING INSPECTIONS PERFORMED BY THE TOWN'S INSPECTOR.
- THE INSTALLATION OF ADDITIONAL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) MAY BE REQUIRED OF THE EROSION CONTROL SUPERVISOR, PROPERTY OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS AT ANY TIME THROUGHOUT THE DURATION OF THE PROJECT CONSTRUCTION AND/OR SUBSEQUENT REVEGETATION PERIOD.
- THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE SITE REMAINS IN COMPLIANCE WITH THE NOTICE OF NOISANCE REPORTS (i.e., CONSTRUCTION SITE RUNOFF CONTROL INSPECTION REPORTS), APPROVED CBMP PLAN(S) AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
- THE EROSION CONTROL SUPERVISOR SHALL BE READILY AVAILABLE TO DISCUSS AND CORRECT ANY PROBLEMS THAT MAY ARISE RELATING TO GRADING, EROSION AND SEDIMENT CONTROL.
- IF IT IS ANTICIPATED THAT ALL OR A PORTION OF THE PROJECT WILL OCCUR DURING SEASONS SUSCEPTIBLE TO SNOWFALL, THE USE OF CERTAIN EROSION AND SEDIMENT CONTROL BMPs ADJACENT TO PUBLIC ROADWAYS MAY NEED TO BE RECONSIDERED DUE TO THE NATURE OF SNOW REMOVAL OPERATIONS. AN APPROVED ALTERNATIVE MAY BE NECESSARY TO MINIMIZE DAMAGE FROM THESE OPERATIONS. THE TOWN OF PARKER ASSUMES NO RESPONSIBILITY FOR DAMAGE TO ANY BMPs AS A RESULT OF SNOW PLOWING AND SNOW REMOVAL.
- AREAS OF LAND DISTURBANCE EQUAL TO 40 ACRES OR GREATER SHALL NOT BE EXPOSED FOR MORE THAN 30 CONSECUTIVE DAYS WITHOUT TEMPORARY OR PERMANENT STABILIZATION.
- AUTHORIZED EXEMPTIONS MAY BE ALLOWED TO THE 40-ACRE LIMIT FOR REMOVAL AND STORAGE OF CUT MATERIAL WHERE (A) GEOTECHNICAL LIMITATIONS RESTRICT THE USE OF TEMPORARY OR PERMANENT STABILIZATION OF THE STORED MATERIAL (E.G., SWELLING SOILS, ROCK) AND (B) WHEN THE OWNER CAN DEMONSTRATE THAT THE 40-ACRE LIMIT IS PHYSICALLY AND/OR FINANCIALLY IMPRACTICABLE. FOR SITES GRANTED THIS EXEMPTION, A PHASING AND EARTHWORK QUANTITIES PLAN SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT AND APPROVED PRIOR TO THE COMMENCEMENT OF LAND DISTURBANCE ACTIVITIES. SUBMITTAL REQUIREMENTS INCLUDE:
 - PHASING PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
 - EARTHWORK QUANTITY PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
 - BMP PLAN SHOWING SPECIFIC EROSION AND SEDIMENT CONTROLS FOR EACH PHASE.

	CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES	GEN NOTES 1 OF 4 Oct. 2013
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- ANY EROSION AND SEDIMENT CONTROL BMPs THAT ARE DAMAGED OR IN NEED OF MAINTENANCE OR REPLACEMENT SHALL BE CORRECTED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
- ALL DEFICIENCIES LISTED ON THE NOTICE OF NOISANCE FORM SHALL BE COMPLETED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES. ALL REQUIRED ACTIONS MUST BE IN THE CORRECTED FORM DURING THE FOLLOW-UP INSPECTION.
- THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR ENSURING THAT ALL STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, ALLEYS, TRICKLE CHANNELS, AND/OR OTHER IMPERVIOUS SURFACES IMPACTED BY CONSTRUCTION ACTIVITIES ARE THOROUGHLY CLEANED THROUGHOUT THE DAY IF THEY BECOME SOILED. THESE AREAS MUST ALSO BE THOROUGHLY CLEAN BEFORE THE END OF THE WORK DAY.
- BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS.
- ALL TRASH RECEPTACLES ON SITE SHALL BE FREE OF HOLES, CRACKS, GAPS, AND/OR OTHER PERMEABLE AREAS THAT MAY ALLOW FOR THE DISCHARGE OF POLLUTANTS.
- ALL TRASH RECEPTACLES ON SITE SHALL BE EMPTIED AT A FREQUENCY AS TO ENSURE THAT THE TRASH REMAINS CONFINED TO THE RECEPTACLE.
- ALL LOOSE TRASH AND LITTER ASSOCIATED WITH THE PROJECT MUST BE REMOVED AND PROPERLY DISCARDED ON A DAILY BASIS.
- ALL PORTABLE TOILETS SHALL BE STAKED DOWN AT ALL TIMES USING U-SHAPED REBAR STAKES. THE PORTABLE TOILETS SHALL ALSO BE PLACED A MINIMUM DISTANCE OF 10 FEET FROM ALL IMPERVIOUS SURFACES, INCLUDING, BUT NOT LIMITED TO STREETS CURBS, GUTTERS, SIDEWALKS AND PARKING LOTS.
- THE EROSION CONTROL SUPERVISOR SHALL MAINTAIN STRICT ADHERENCE TO THE LIMITS OF CONSTRUCTION AND PROPERTY LIMITS FOR ALL MATERIALS, VEHICLES AND EQUIPMENT. FAILURE TO ABIDE BY THIS REQUIREMENT MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER.
- ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE THROUGH THE APPROVED ACCESS POINT(S). A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL APPROVED ACCESS POINTS TO THE SITE. EXCEPTIONS MAY BE CONSIDERED FOR CONSTRUCTION ACTIVITY OCCURRING IMMEDIATELY ADJACENT TO PAVED AREAS AND WHERE ALTERNATIVE BMPs ARE IMPLEMENTED. SUCH ACTIVITY MAY INCLUDE, BUT NOT BE LIMITED TO RESIDENTIAL CONSTRUCTION, UTILITY CONSTRUCTION, ETC.
- NO PERMANENT SLOPES GREATER THAN 3:1 ARE ALLOWED.
- ALL PERMANENT SLOPES STEEPER THAN 4:1 (HORIZONTAL TO VERTICAL) SHALL REQUIRE EROSION CONTROL BLANKET(S). TEMPORARY SLOPES IN TEMPORARY SEDIMENT BASINS THAT ARE STEEPER THAN 4:1 MAY REQUIRE EROSION CONTROL BLANKETS.
- THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ADVERSE IMPACTS THAT OCCUR TO NEIGHBORING PROPERTIES. THE EROSION CONTROL SUPERVISOR MUST OBTAIN PERMISSION FROM LAND OWNERS PRIOR TO ENTERING SUCH PROPERTY.
- A WATER SOURCE SHALL BE AVAILABLE ONSITE DURING CONSTRUCTION ACTIVITIES, AND UTILIZED TO MINIMIZE FUGITIVE DUST. ALTERNATIVE BMPs MAY BE REQUIRED IF INITIAL ATTEMPTS TO SUPPRESS DUST ARE UNSUCCESSFUL.

	CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES	GEN NOTES 2 OF 4 Oct. 2013
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NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

- ALL CHEMICAL OR HAZARDOUS MATERIAL SPILLS, INCLUDING CONCRETE WASHOUT WATER, WHICH MAY ENTER WATERS OF THE STATE OF COLORADO, WHICH INCLUDES BUT ARE NOT LIMITED TO, SURFACE WATER, GROUND WATER, DRY GULLIES OR STORM SEWERS LEADING TO SURFACE WATER, SHALL BE IMMEDIATELY REPORTED TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) PER 25-8-601, AND THE TOWN OF PARKER. RELEASES OF PETROLEUM PRODUCTS AND CERTAIN HAZARDOUS SUBSTANCES LISTED UNDER THE FEDERAL CLEAN WATER ACT (40 CFR PART 116) MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER AND THE CDPHE. SPILLS THAT POSE AN IMMEDIATE SAFETY HAZARD SHALL BE REPORTED TO 911.
- THE CLEANING OF CONCRETE TRUCKS AND EQUIPMENT IS RESTRICTED TO THE APPROVED CONCRETE WASHOUT LOCATION ON THE JOB SITE. CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO STATE WATERS OR STORM SEWER SYSTEMS.
- VEHICLE AND EQUIPMENT DEGREASING IS PROHIBITED ON THE JOB SITE.
- ALL DEWATERING ON SITE SHALL BE COORDINATED WITH THE TOWN'S INSPECTOR. A STATE PERMIT MAY BE REQUIRED FOR DEWATERING. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR OBTAINING AND ADHERING TO ALL APPLICABLE PERMITS.
- HYDRAULIC SEEDING AND/OR HYDRAULIC MULCHING ARE ONLY ALLOWED IN AREAS UNDER TEMPORARY OR PERMANENT IRRIGATION OR FOR THE PURPOSE OF TEMPORARY SOIL STABILIZATION.
- APPLICABLE CONSTRUCTION BMPs SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL ALL LANDSCAPING HAS BEEN INSTALLED AND THE DESIRABLE VEGETATION HAS REACHED A POINT IN WHICH EROSION AND SEDIMENTATION IS NO LONGER A CONCERN AS DETERMINED BY THE TOWN'S INSPECTOR.
- GRADING SECURITY RELEASE REQUIREMENTS:
 - DEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H OR ITEM I (BELOW).
 - ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
 - UNIFORM PERENNIAL VEGETATION COVER HAS BEEN ESTABLISHED WITH AN INDIVIDUAL PLANT DENSITY OF AT LEAST SEVENTY PERCENT (70%) OF PRE-DISTURBANCE LEVELS.
 - ALL CBMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
 - IF ANY EROSION IS PRESENT, IT IS INSIGNIFICANT AND IS NOT LEAVING THE SITE AND/OR LEADING INTO ANY ON-SITE DRAINAGE INFRASTRUCTURE THAT MAY CONVEY SURFACE WATER OFF SITE.
 - WEEDS REPRESENT NO MORE THAN FIFTY PERCENT (50%) OF THE TOTAL VEGETATION ON THE SITE.
 - NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
 - A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR ASSIGNMENT AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION AT THE TIME OF CLOSING TO ENSURE THAT THE NEW SITE OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.

	CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES	GEN NOTES 3 OF 4 Oct. 2013
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- NONDEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H AND J, OR ITEMS I AND J (BELOW).
 - ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
 - ALL CBMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
 - EROSION IS NEGLIGIBLE, IF EVEN PRESENT.
 - THE VEGETATION REPRESENTS A PERENNIAL STAND OF A DENSE, UNIFORM SURFACE OF GRASS WITH NO AREA GREATER THAN ONE (1) SQUARE FOOT THAT IS BARREN OF DESIRABLE VEGETATION, INFREQUENT, WIDELY SCATTERED AREAS WHERE NATIVE VEGETATION HAS NOT YET TAKEN HOLD MAY QUALIFY FOR ACCEPTANCE AT THE DISCRETION OF THE TOWN.
 - WEEDS REPRESENT NO MORE THAN TEN PERCENT (10%) OF THE TOTAL VEGETATION ON SITE.
 - NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
 - A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR THE GRADING PERMIT HAS BEEN ASSIGNED AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION, AT THE TIME OF CLOSING ON THE SALE OF A SITE THAT IS SUBJECT TO A GRADING PERMIT TO ENSURE THAT THE NEW PROPERTY OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.
 - ALL KNOWN DRAINAGE ISSUES ASSOCIATED WITH THE PROJECT HAVE BEEN MITIGATED AND A SUFFICIENT AMOUNT OF TIME HAS PASSED TO ENSURE THAT SUCH ISSUES HAVE BEEN CORRECTED. THIS REQUIREMENT DOES NOT INCLUDE THOSE DRAINAGE ISSUES ORIGINATING ON RESIDENTIAL LOTS.
- (D) NOXIOUS WEEDS MUST BE CONTROLLED AS PROVIDED UNDER STATE LAW AND SECTION 6.01.260 OF THE TOWN OF PARKER MUNICIPAL CODE. FAILURE TO CONTROL NOXIOUS WEEDS ON THE SITE MAY CONSTITUTE A NUISANCE, SUBJECT TO THE PENALTIES CONTAINED IN THE CODE.
- DEFINITIONS:**
DEVELOPABLE PROPERTY MEANS ANY LAND THAT HAS BEEN GRADED AND IS PART OF A PLATTED LOT OR PLATTED TRACT OF RECORD, THAT WAS PLATTED FOR FUTURE DEVELOPMENT, INCLUDING RESIDENTIAL HOME CONSTRUCTION OR PUBLIC IMPROVEMENTS.
NONDEVELOPABLE PROPERTY MEANS LAND THAT HAS BEEN GRADED AND WILL NOT BE FURTHER DISTURBED AS PART OF ANY FUTURE DEVELOPMENT. EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO: PARKS, OPEN SPACE, HOMEOWNER ASSOCIATION OR BUSINESS ASSOCIATION PLATTED TRACTS, DETENTION PONDS AND DRAINAGEWAYS.
 32. FAILURE TO COMPLY WITH ANY OF THE REQUIREMENTS DESCRIBED IN THIS SECTION MAY RESULT IN THE ISSUANCE OF: A NOTICE OF INTENT TO ISSUE A STOP WORK ORDER, A STOP WORK ORDER AND/OR THE REMEDIES/PENALTIES DESCRIBED IN CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE.
 33. ANY PERSON CONVICTED OF VIOLATING ANY PROVISION OF THE TOWN OF PARKER, GRADING & EARTH MOVEMENT SECTION OF THE MUNICIPAL CODE SHALL BE GUILTY OF A MISDEMEANOR AND, UPON CONVICTION, BE PUNISHED BY A FINE OF NOT MORE THAN FOUR HUNDRED NINETY NINE DOLLARS (\$499.00) FOR EACH SEPARATE OFFENSE. EACH DAY A VIOLATION CONTINUES SHALL CONSTITUTE A SEPARATE OFFENSE. THE TOWN ALSO MAY SEEK IN MUNICIPAL COURT AN INJUNCTION, ABATEMENT, RESTITUTION OR ANY OTHER REMEDY TO PREVENT, ENJOIN, ABATE OR REMOVE THE VIOLATION. A PERSON CONVICTED OF VIOLATING CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE SHALL BE LIABLE FOR THE ACTUAL COST OF REHABILITATING THE PROPERTY. THE COSTS MAY BE RECOVERED AS RESTITUTION IN MUNICIPAL COURT PROCEEDINGS OR IN A SEPARATE CIVIL ACTION.
 34. THE TOWN OF PARKER RESERVES THE RIGHT TO ALLOW MODIFICATIONS AND SUBSTITUTIONS TO THE CBMP NOTES AND DETAILS WHEN SUCH MODIFICATIONS AND SUBSTITUTIONS OFFER THE SAME LEVEL OF PROTECTION AS THE STANDARD REQUIREMENTS BASED UPON THE SPECIFIC SITUATION, AS DETERMINED BY TOWN STAFF. DUE TO THE INSIGNIFICANCE AND REGULARITY OF SUCH MODIFICATIONS AND SUBSTITUTIONS, THE APPROVAL OF SUCH VARIATIONS MAY NOT BE DOCUMENTED BY TOWN STAFF.

	CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES	GEN NOTES 4 OF 4 Oct. 2013
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NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

- | | | |
|--|-------|--|
| | CD | CHECK DAM |
| | CF | CONSTRUCTION FENCE |
| | CP | CULVERT PROTECTION |
| | CWA | CONCRETE WASHOUT AREA |
| | D | DEWATERING |
| | DD | DIVERSION DITCH |
| | DP | DETENTION POND PROTECTION |
| | DTC | DEBRIS TRASH CONTROL |
| | ECB | EROSION CONTROL BLANKET |
| | IPAN | INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT |
| | IPAP | INLET PROTECTION FOR AREA INLETS IN PAVEMENT |
| | IPCOG | INLET PROTECTION, CURB ON-GRADE, TYPE R INLET |
| | IPCOS | INLET PROTECTION, CURB ON SUMP, TYPE R INLET |

	CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES	LEGEND 1 OF 3 Oct. 2013
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NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

- | | | |
|--|------|--------------------------------|
| | LP | LOT PROTECTION |
| | MWP | MASONRY WORK PROTECTION |
| | PTP | PORTABLE TOILET PROTECTION |
| | RCSC | ROUGH CUT STREET CONTROL |
| | RS | ROCK SOCK |
| | RSS | ROCK SOCK IN SWALE |
| | SB | STRAW BALE |
| | SCL | SEDIMENT CONTROL LOGS |
| | SF | SILT FENCE |
| | SMC | SEEDING, MULCHING AND CRIMPING |
| | SR | SURFACE ROUGHING |
| | SSA | STABILIZED STAGING AREA |
| | STP | SIDEWALK TRANSITION PROTECTION |

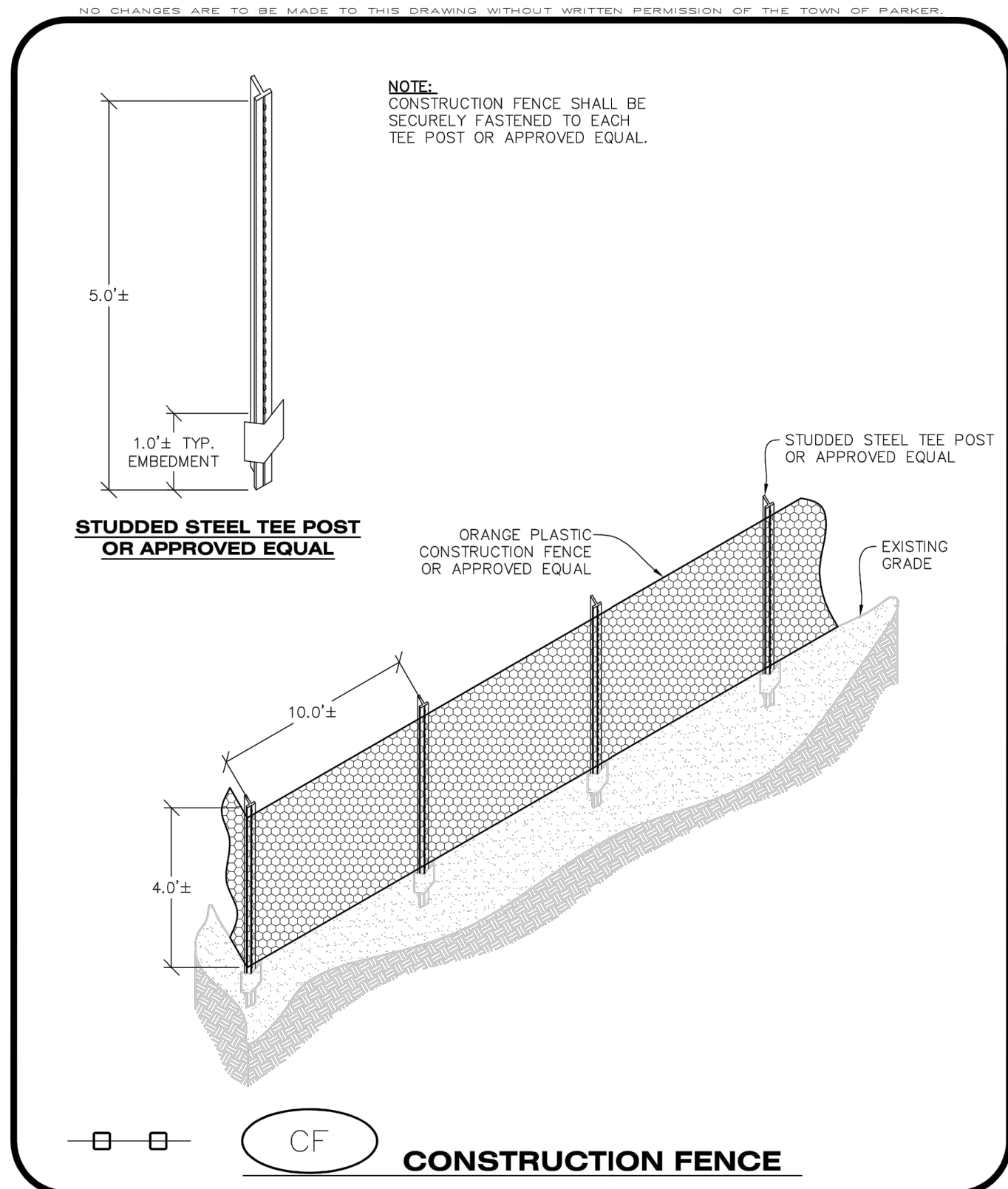
	CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES	LEGEND 2 OF 3 Oct. 2013
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NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

- | | | |
|--|-----|--------------------------|
| | TI | TEMPORARY IRRIGATION |
| | TSB | TEMPORARY SEDIMENT BASIN |
| | VTC | VEHICLE TRACKING CONTROL |

	CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES	LEGEND 3 OF 3 Oct. 2013
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CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **CF** 1 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

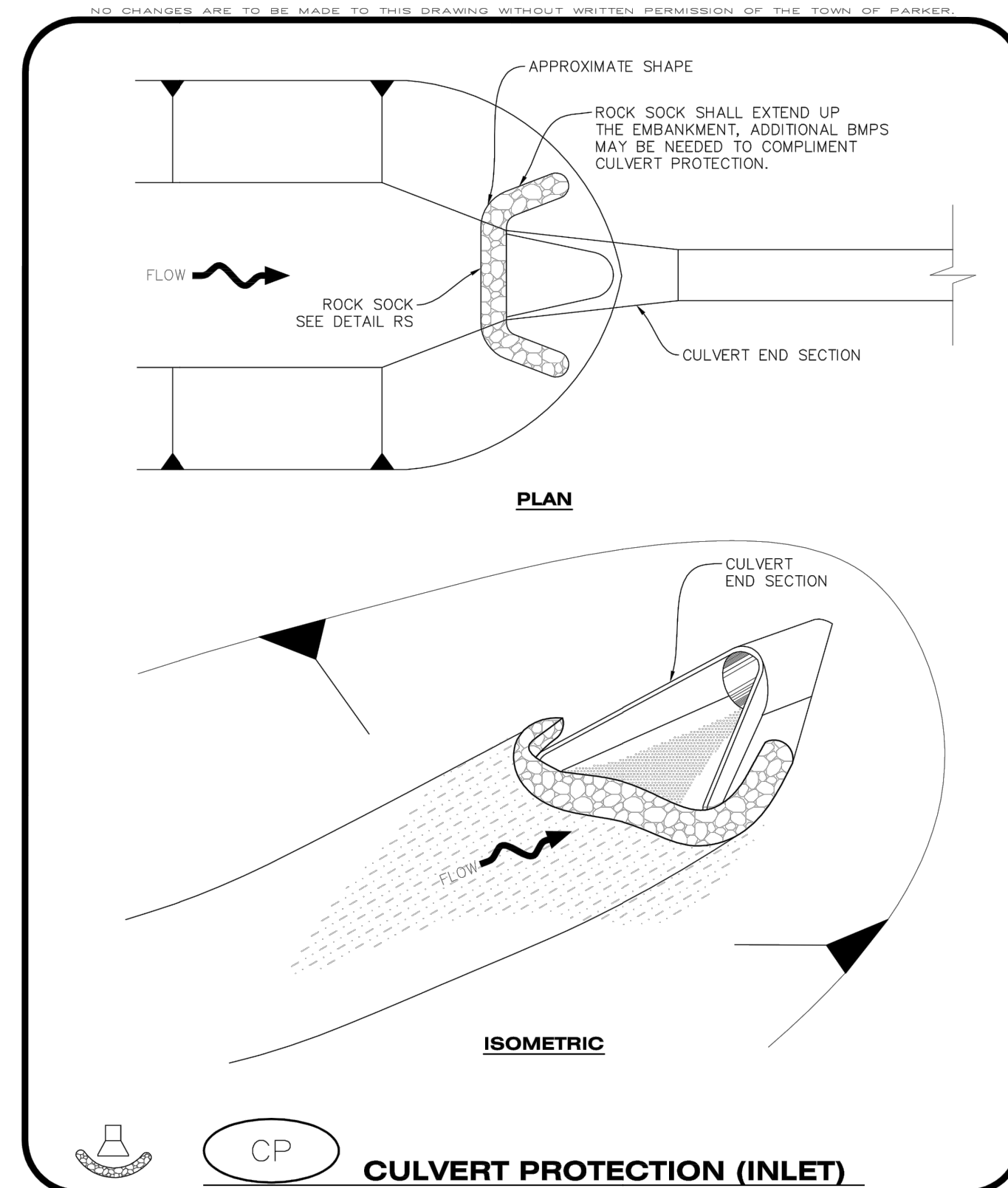
CONSTRUCTION FENCE INSTALLATION NOTES

1. THE CONSTRUCTION FENCE SHALL BE SECURELY FASTENED TO EACH POST OR APPROVED EQUAL.

CONSTRUCTION FENCE INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CONSTRUCTION FENCE AND MAKE ANY NECESSARY REPAIRS.
2. CONSTRUCTION FENCE SHALL BE REPAIRED WHEN THE FENCING MATERIAL FALLS OUT OF COMPLIANCE WITH THE NOTES AND DETAILS.

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **CF** 2 OF 2 Oct. 2013



CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **CP** 1 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

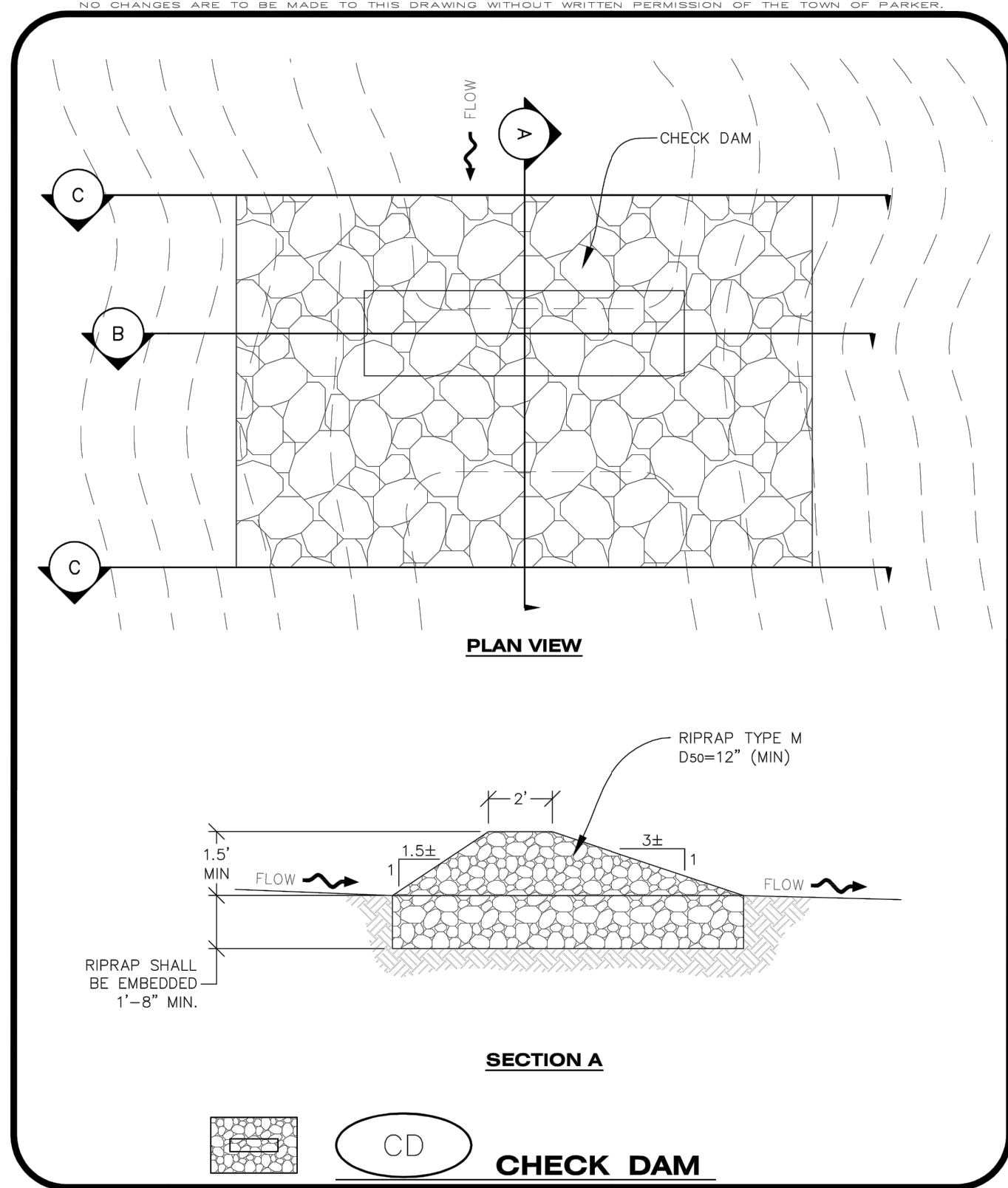
CULVERT PROTECTION (INLET) INSTALLATION NOTES

1. SEE PLAN VIEW FOR LOCATION(S) OF CULVERT PROTECTION (INLET).
2. ROCK SOCK SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL (SEE DETAIL RS).
3. ROCK SOCK SHALL BE APPROXIMATELY 12" IN DIAMETER.
4. ROCK SOCK SHALL EXTEND ABOVE THE FLOW LINE ELEVATION ON BOTH SIDES OF THE CULVERT END SECTION.

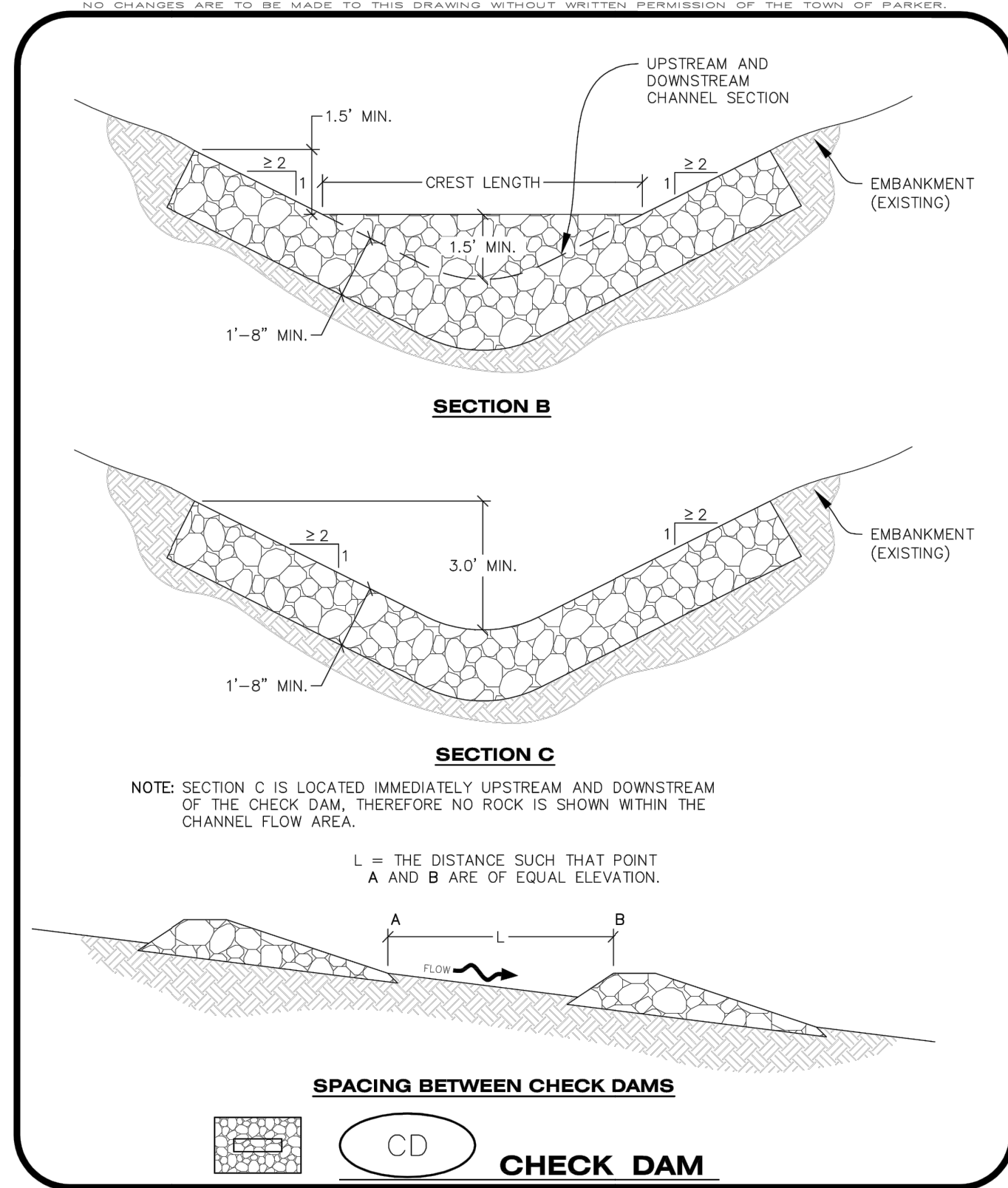
CULVERT PROTECTION (INLET) INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CULVERT PROTECTION (INLET).
2. AT A MINIMUM, ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE ROCK SOCK.
3. CULVERT PROTECTION (INLET) IS TO REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
4. WHEN THE CULVERT INLET PROTECTION IS REMOVED, THE TOWN'S INSPECTOR MAY REQUIRE ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE CULVERT INLET PROTECTION TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **CP** 2 OF 2 Oct. 2013



CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **CD** 1 OF 3 Oct. 2013



CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **CD** 2 OF 3 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

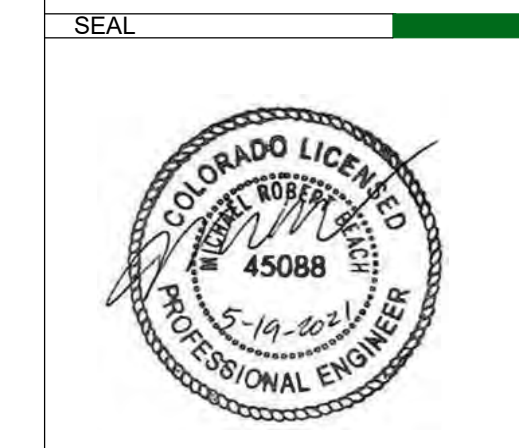
CHECK DAM INSTALLATION NOTES

1. SEE PLAN VIEW FOR LOCATION(S) OF CHECK DAMS.
2. CHECK DAMS SHOWN ON CBMP PLAN SHALL BE INSTALLED WHEN DIRECTED BY THE TOWN'S INSPECTOR.
3. RIPRAP UTILIZED FOR CHECK DAMS SHALL HAVE A D₅₀ MEDIAN STONE SIZE OF 12".
4. RIPRAP PAD SHALL BE TRENCHED INTO THE GROUND A MINIMUM OF 1'-8".
5. THE MAXIMUM SPACING BETWEEN CHECK DAMS SHOULD BE SUCH THAT THE BOTTOM OF THE UPSTREAM DAM IS AT THE SAME ELEVATION AS THE TOP OF THE DOWNSTREAM DAM AS SHOWN IN THE DETAIL.

CHECK DAM INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CHECK DAMS.
2. ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE CREST OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
3. CHECK DAMS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
4. WHEN CHECK DAMS ARE REMOVED, THE TOWN'S INSPECTOR MAY REQUIRE EXCAVATIONS TO BE FILLED WITH SUITABLE COMPACTED TOPSOIL AND ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE CHECK DAMS BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
5. IN SOME INSTANCES, CHECK DAMS MAY REMAIN IN PLACE PERMANENTLY.

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **CD** 3 OF 3 Oct. 2013



PROJECT TITLE

RETAIL

LOT 2, BLOCK 1
HORSESHOE RIDGE
PARKER, CO 80134

PREPARED FOR

BRYTAR COMPANIES

8117 PRESTON RD. #300
DALLAS, TX 75225

SUBMITTAL

CONSTRUCTION DOCS.

DRAWN BY:	BSA
CHECKED BY:	MRB
PROJECT NO.:	18-075-001
REVISIONS	
2ND SUBMITTAL	10/30/2019
3RD SUBMITTAL	02/18/2020
4TH SUBMITTAL	04/01/2020

2 REV 2 - DETAIL CHANGE 3/10/22

DATE

01/04/2022

SHEET TITLE

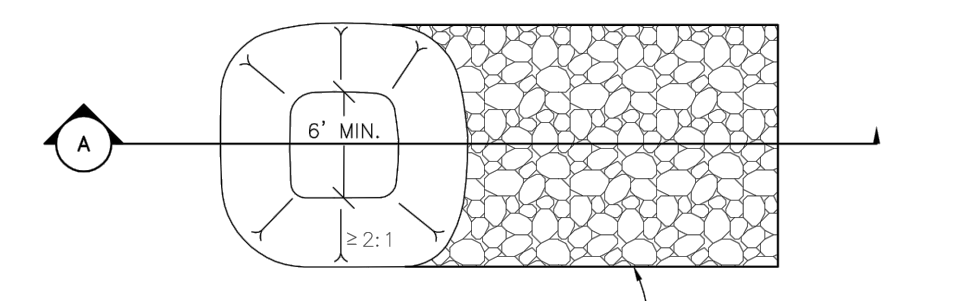
BMP DETAILS

SHEET INFORMATION

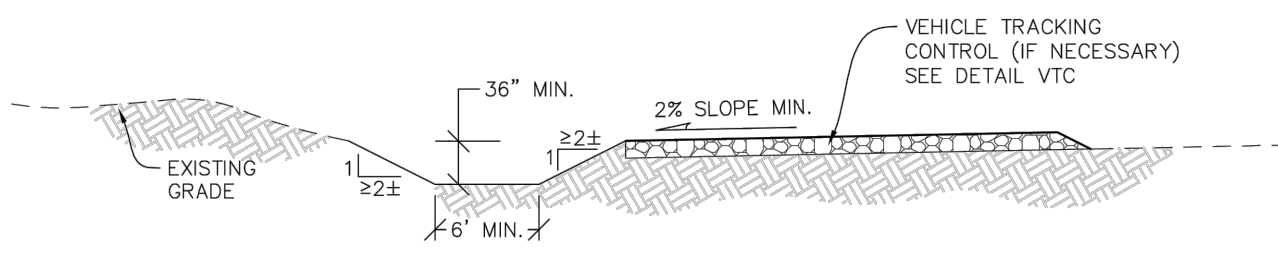
ER-2.1

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

NOTE:
A VTC PAD IS NOT NECESSARY IF THERE IS ANOTHER VTC PAD IN BETWEEN THE CWA AND ROADWAY, PARKING LOT, DRIVE AISLES, ETC.



PLAN VIEW



SECTION A



CONCRETE WASHOUT AREA

Logo for Town of Parker Colorado, CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES, CWA 1 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

CONCRETE WASHOUT AREA INSTALLATION NOTES

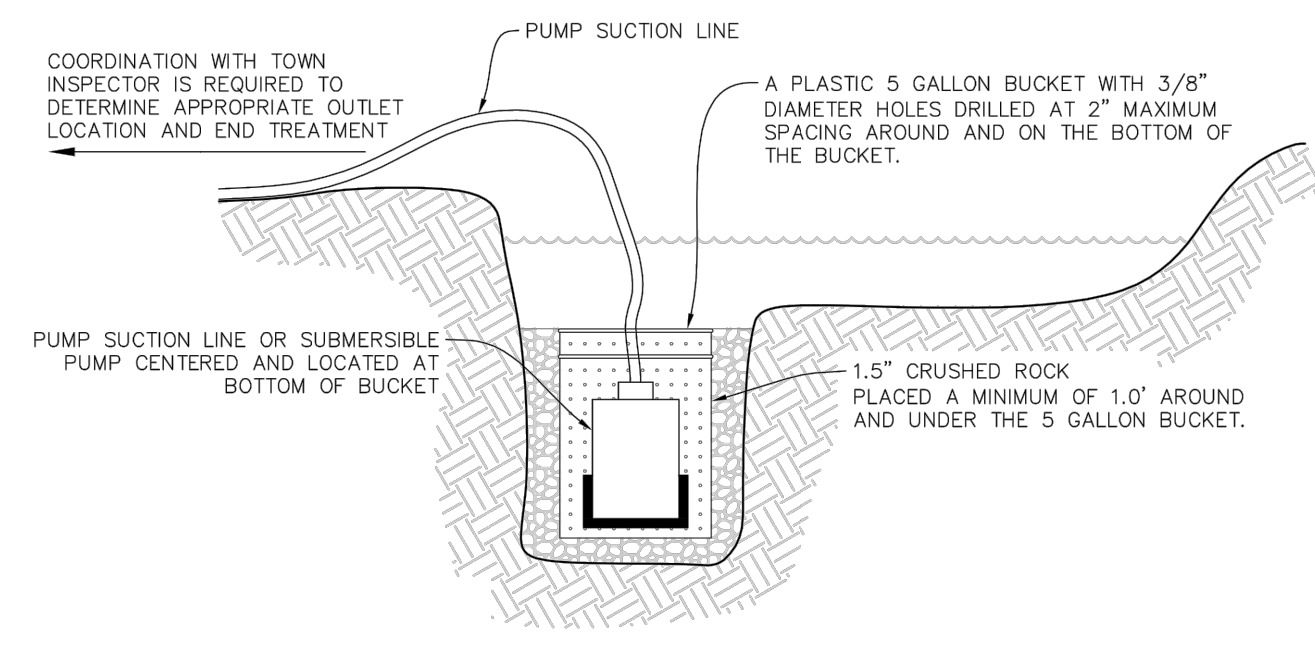
- 1. CONCRETE WASHOUT AREAS SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
2. A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT THE ACCESS POINT TO ALL CONCRETE WASHOUT AREAS WHEN NO OTHER VTC PAD EXISTS IN BETWEEN THE CWA AND THE ROADWAY.
3. IF GROUNDWATER IS ENCOUNTERED WHEN DIGGING THE PIT, A NEW LOCATION SHOULD BE SELECTED. IF NO OTHER LOCATION CAN BE FOUND, A ONE-PIECE IMPERVIOUS LINER SHALL BE REQUIRED ALONG THE BOTTOM AND SIDES OF THE SUBSURFACE PIT.

CONCRETE WASHOUT AREA INSPECTION AND MAINTENANCE NOTES

- 1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CONCRETE WASHOUT AREA.
2. CONCRETE WASHOUT MATERIALS SHALL BE REMOVED BEFORE ITS CAPACITY HAS BEEN REACHED.
3. CONCRETE WASHOUT AREAS SHALL BE ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE AND ASSOCIATED WASH WATER.
4. CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE AS NECESSARY TO ENSURE ADEQUATE CAPACITY.
5. CONCRETE WASHOUT AREAS SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
6. WHEN CONCRETE WASHOUT AREAS ARE REMOVED, THE TOWN'S INSPECTOR MAY REQUIRE EXCAVATIONS TO BE FILLED WITH SUITABLE COMPACTED BACKFILL AND TOPSOIL, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE CONCRETE WASHOUT AREAS SHALL BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

Logo for Town of Parker Colorado, CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES, CWA 2 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



TYPICAL DEWATERING SUMP

NOTE: IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE APPROPRIATE MEASURES TO PROTECT PUMPING EQUIPMENT AND MINIMIZE SEDIMENT. USE OF A PLASTIC 5 GALLON BUCKET IS SUGGESTED BUT NOT REQUIRED. THE CONTRACTOR SHALL NOT HOLD THE TOWN LIABLE FOR DAMAGE TO PUMPING EQUIPMENT REGARDLESS OF METHODS USED.



DEWATERING

Logo for Town of Parker Colorado, CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES, D 1 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

DEWATERING INSTALLATION NOTES

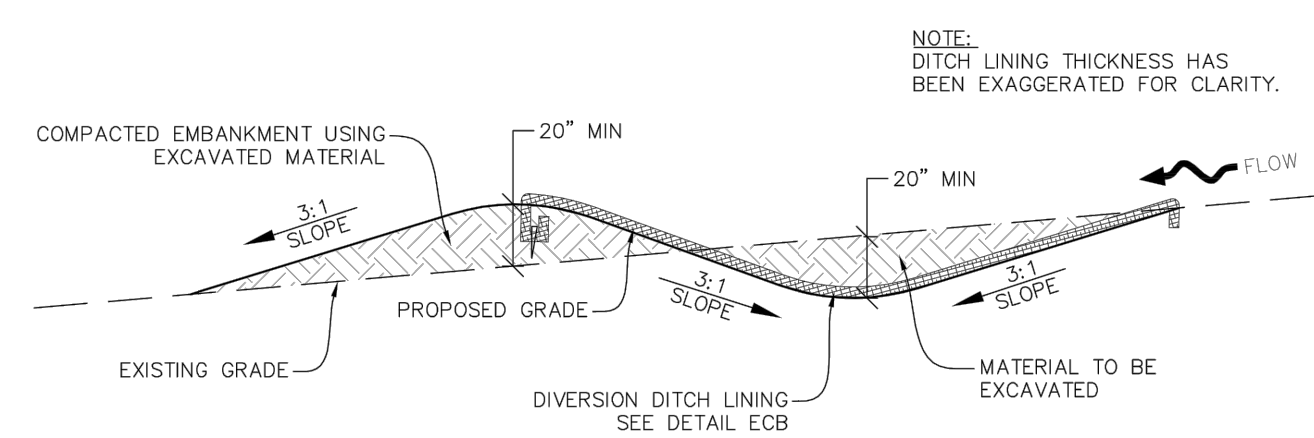
- 1. IT IS THE EROSION CONTROL SUPERVISOR'S RESPONSIBILITY TO ENSURE THAT ALL DEWATERING IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE).

DEWATERING MAINTENANCE NOTES

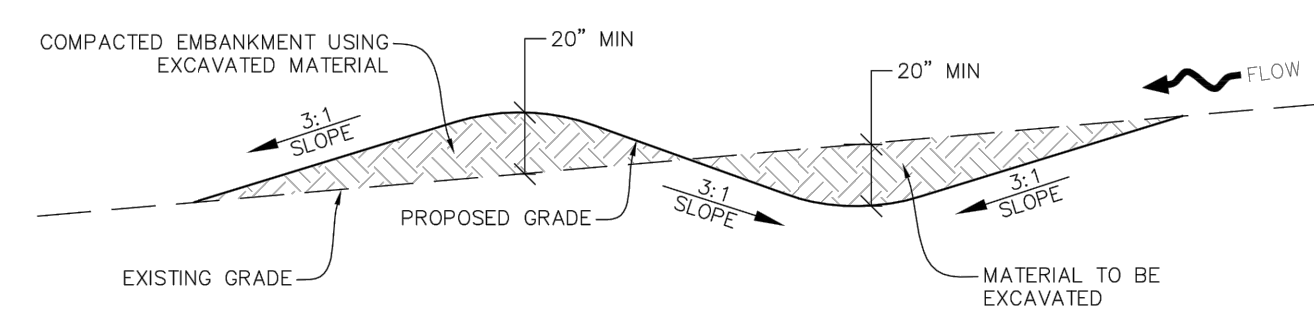
- 1. THE EROSION CONTROL SUPERVISOR SHALL INSPECT THE DEWATERING OPERATION TO ENSURE THAT THE DISCHARGE WATER IS DRAINING TO THE PROPER LOCATION(S) AND PERFORM ANY NECESSARY REPAIRS OR MAINTENANCE ON A FREQUENT BASIS.

Logo for Town of Parker Colorado, CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES, D 2 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



DIVERSION DITCH SECTION LINED CHANNEL



DIVERSION DITCH SECTION UNLINED CHANNEL



DIVERSION DITCH

Logo for Town of Parker Colorado, CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES, DD 1 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

DIVERSION DITCH INSTALLATION NOTES

- 1. SEE THE PLAN VIEW FOR THE LOCATION(S) OF THE DIVERSION DITCHES.
2. A PLASTIC LINER, RIPRAP, OR EROSION CONTROL BLANKET MAY BE NECESSARY TO PROTECT THE DIVERSION DITCH. THE REQUIRED LINING MATERIAL SHALL BE OBTAINED FROM THE CBMP PLANS VIA THE DESIGN ENGINEER.
3. ALL MATERIAL EXCAVATED FROM THE DITCH MAY BE USED TO CONSTRUCT THE BERM ON THE DOWNHILL SIDE OF THE DITCH.
4. THE DIVERSION DITCH SHALL BE A MINIMUM OF 20" DEEP WITH APPROX. 3:1 SIDE SLOPES. THE ADJACENT BERM SHALL BE A MINIMUM OF 20" IN HEIGHT WITH APPROX. 3:1 SIDE SLOPES. ALL EMBANKMENTS SHALL BE FIRMLY COMPACTED.
5. THE DISCHARGE FROM THE DIVERSION DITCH SHALL BE DIRECTED TOWARDS AN APPROPRIATELY SIZED TEMPORARY SEDIMENT BASIN OR OTHER APPROVED AREA.

DIVERSION DITCH INSPECTION AND MAINTENANCE NOTES

- 1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE DIVERSION DITCH.
2. ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE THE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 (10") THE CREST HEIGHT.
3. DIVERSION DITCHES SHALL BE RE-GRADED FOLLOWING THE SIGNS OF MODERATE OR MORE SOIL EROSION OR ANY DAMAGE.
4. DIVERSION DITCHES ARE TO REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR. ALTERNATIVELY, THE DIVERSION DITCHES MAY BE REMOVED WHEN THE SITE'S TOPOGRAPHY CHANGES SUCH THAT SIGNIFICANT RUNOFF IS NO LONGER POSSIBLE. IN SOME INSTANCES, THE DIVERSION DITCHES MAY REMAIN IN PLACE PERMANENTLY.

Logo for Town of Parker Colorado, CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES, DD 2 OF 2 Oct. 2013

File: RE - CD - ROPADDER.dwg Path: P:\Colorado Parker\Bryar\PARKER TILE - 18-075-001\2 Drawings\ Plotted by: acarlston Date: 10-Mar-22 3:57:47pm

CASE NUMBER: Z_____

Project information sidebar including logo for RIDGETOP ENGINEERING & SURVEYING, project title RETAIL, location LOT 2, BLOCK 1 HORSESHOE RIDGE PARKER, CO 80134, prepared for BRYTAR COMPANIES, address 8117 PRESTON RD. #300 DALLAS, TX 75225, and a table of revisions.



PROJECT TITLE
RETAIL

LOT 2, BLOCK 1
 HORSESHOE RIDGE
 PARKER, CO 80134

PREPARED FOR
BRYTAR COMPANIES

8117 PRESTON RD. #300
 DALLAS, TX 75225

SUBMITTAL
CONSTRUCTION DOCS.

DRAWN BY: BSA
 CHECKED BY: MRB
 PROJECT NO.: 18-075-001

REVISIONS

2ND SUBMITTAL	10/30/2019
3RD SUBMITTAL	02/18/2020
4TH SUBMITTAL	04/01/2020

2 REV 2 - DETAIL CHANGE 3/10/22

DATE

01/04/2022

SHEET TITLE

BMP DETAILS

SHEET INFORMATION

ER-2.3

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

DEBRIS CONTROL NOTES:

1. A COMBINATION OF SURFACE SCRAPING AND SWEEPING MAY BE NECESSARY TO PROPERLY CLEAN THESE AREAS.
2. ALL CHEMICAL SPILLS AND/OR STAINS ON THE SITE SHALL BE CLEANED TO THE MAXIMUM EXTENT PRACTICABLE. IN SOME CASES IT MAY BE NECESSARY TO USE PRESSURIZED WATER AND A VAC-TRUCK.
3. ON-SITE PERSONNEL, DELIVERY DRIVERS, ETC., SHOULD BE EDUCATED ON THE NEED FOR CONTINUAL DEBRIS AND TRASH CONTROL.

DTC **DEBRIS AND TRASH CONTROL**

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **DTC** 2 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

DETENTION POND PROTECTION INSTALLATION NOTES

1. DETENTION POND PROTECTION SHALL BE INSTALLED IMMEDIATELY FOLLOWING THE CONSTRUCTION OF THE TRICKLE CHANNEL AND FOREBAY.
2. CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
3. ROCK SOCK FOR OUTLET STRUCTURE AND FOREBAY PROTECTION SHALL BE ONE CONTINUOUS PIECE (SEE DETAIL RS).

DETENTION POND PROTECTION INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE OUTLET STRUCTURE PROTECTION.
2. ACCUMULATED SEDIMENT SHALL BE REMOVED IMMEDIATELY.
3. OUTLET STRUCTURE PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

DP **DETENTION POND PROTECTION**

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **DP** 2 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

EROSION CONTROL BLANKET INSTALLATION NOTES

1. SEE THE PLAN VIEW FOR THE LOCATION(S) OF THE EROSION CONTROL BLANKETS.
2. EROSION CONTROL BLANKETS USED FOR CHANNEL PROTECTION SHALL BE PROPERLY SELECTED BY THE DESIGN ENGINEER BASED ON CURRENT AND FUTURE FLOW RATES WITHIN THE CHANNEL. BASED ON THESE CALCULATIONS, TURF REINFORCEMENT MATTING OR RIPRAP MAY BE NECESSARY IN LIEU OF EROSION CONTROL BLANKETS.
3. IMMEDIATELY PRIOR TO BLANKET INSTALLATION, SOIL SURFACE SHALL BE SMOOTH, AND FREE OF ANY GAPS, VOIDS, WEEDS, ROCKS, STICKS, OR OTHER MISCELLANEOUS DEBRIS.
4. EROSION CONTROL BLANKET SHALL THEN BE INSTALLED ACCORDING TO THE DETAILED DRAWINGS.
5. ANY DAMAGED OR REMAINING STAPLES OR STAKES SHALL BE REMOVED FROM THE SITE.
6. ALL EROSION CONTROL BLANKETS FOR SLOPE PROTECTION INSTALLED IN THE TOWN SHALL BE DOUBLE NET, STRAW OR EXCELSIOR.

MANUFACTURER	PRODUCT NAME
NORTH AMERICAN GREEN	S150
APPROVED EQUAL	APPROVED EQUAL

7. IN MOST CASES, EROSION CONTROL BLANKETS FOR SLOPE PROTECTION ARE TO REMAIN IN PLACE PERMANENTLY.

EROSION CONTROL BLANKET MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE EROSION CONTROL BLANKETS AND MAKE ANY NECESSARY REPAIRS.

ECB **EROSION CONTROL BLANKET (SLOPE)**

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **ECB** 2 OF 3 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

EROSION CONTROL BLANKET (CHANNEL)

NOTES:

1. WOOD STAKES SHALL BE INSTALLED SUCH THAT ONLY 1" IS EXPOSED ABOVE THE GROUND.
2. WHEN NECESSARY, ALL SEEDING SHALL BE COMPLETED PRIOR TO THE PLACEMENT OF EROSION CONTROL BLANKETS. PLEASE SEE DETAIL SMC FOR SEEDING, MULCHING, AND CRIMPING REQUIREMENTS.

STAPLE PATTERN
 NOTE: STAPLES SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATION. IF MANUFACTURER INFO IS NOT AVAILABLE THEN ABOVE STAPLE PATTERN SHALL BE USED. WOODEN STAKES SHALL NOT BE USED FOR EROSION CONTROL BLANKET ON SLOPES.

ECB **EROSION CONTROL BLANKET (SLOPE)**

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **ECB** 1 OF 3 Oct. 2013



PROJECT TITLE
RETAIL

LOT 2, BLOCK 1
 HORSESHOE RIDGE
 PARKER, CO 80134

PREPARED FOR
BRYTAR COMPANIES

8117 PRESTON RD. #300
 DALLAS, TX 75225

SUBMITTAL
CONSTRUCTION DOCS.

DRAWN BY:	BSA
CHECKED BY:	MRB
PROJECT NO.:	18-075-001
REVISIONS	
2ND SUBMITTAL	10/30/2019
3RD SUBMITTAL	02/18/2020
4TH SUBMITTAL	04/01/2020

2 REV 2 - DETAIL CHANGE 3/10/22

DATE
01/04/2022

SHEET TITLE
BMP DETAILS

SHEET INFORMATION
ER-2.4

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

AREA INLET PROTECTION INSTALLATION NOTES

- SEE PLAN VIEW FOR LOCATION(S) OF AREA INLET PROTECTION.
- THE AREA INLET PROTECTION SHOWN ON CBMP PLANS SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE INSTALLATION OF NEW INLETS. AN INTERIM STYLE OF INLET PROTECTION MAY BE ALLOWED UNTIL THE INSTALLATION OF THE GUTTER AND/OR PAVEMENT.

AREA INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE AREA INLET PROTECTION.
- AREA INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- WHEN THE AREA INLET PROTECTION IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE AREA INLET PROTECTION MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
- ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.

IPAN
 INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT

Town of Parker COLORADO
CONSTRUCTION BEST MANAGEMENT PRACTICES
 1 OF 1
 Oct. 2013

THIS METHOD OF INLET PROTECTION SHALL NOT BE USED ON INLETS RECEIVING SIGNIFICANT FLOWS, SUCH AS IN CERTAIN SWALES/CHANNELS OR HIGHWAY MEDIANS. INLET PROTECTION FOR AREA INLETS IN PAVEMENT (SEE DETAIL IPAP) SHALL BE USED IN THESE CONDITIONS.

AREA INLET WITH CONCRETE APRON PLAN VIEW

AREA INLET PLAN VIEW

SECTION A

SECTION B

ISOMETRIC

IPAN
 INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT

Town of Parker COLORADO
CONSTRUCTION BEST MANAGEMENT PRACTICES
 1 OF 1
 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

AREA INLET PROTECTION INSTALLATION NOTES

- SEE PLAN VIEW FOR LOCATION(S) OF AREA INLET PROTECTION.
- THE AREA INLET PROTECTION SHOWN ON CBMP PLANS SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE INSTALLATION OF NEW INLETS. AN INTERIM STYLE OF INLET PROTECTION MAY BE ALLOWED UNTIL THE INSTALLATION OF THE GUTTER AND/OR PAVEMENT.

AREA INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE AREA INLET PROTECTION.
- AREA INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- WHEN THE AREA INLET PROTECTION IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE AREA INLET PROTECTION MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
- ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.

IPAP
 INLET PROTECTION FOR AREA INLETS IN PAVEMENT

Town of Parker COLORADO
CONSTRUCTION BEST MANAGEMENT PRACTICES
 1 OF 1
 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

AREA INLET WITH CONCRETE APRON PLAN VIEW

AREA INLET PLAN VIEW

SECTION A

SECTION B

ISOMETRIC

IPAP
 INLET PROTECTION FOR AREA INLETS IN PAVEMENT

Town of Parker COLORADO
CONSTRUCTION BEST MANAGEMENT PRACTICES
 1 OF 1
 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

PLAN VIEW

ISOMETRIC

PLAN VIEW FOR MULTIPLE ROCK SOCKS

IPCOG
 INLET PROTECTION, CURB ON-GRADE, TYPE R INLET

Town of Parker COLORADO
CONSTRUCTION BEST MANAGEMENT PRACTICES
 1 OF 3
 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

ELEVATION

BASE

TUBULAR TRAFFIC MARKER DETAIL

IPCOG
 INLET PROTECTION, CURB ON-GRADE, TYPE R INLET

Town of Parker COLORADO
CONSTRUCTION BEST MANAGEMENT PRACTICES
 2 OF 3
 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

INLET PROTECTION, CURB ON-GRADE INSTALLATION NOTES

- SEE CBMP PLAN FOR LOCATION(S) OF ON-GRADE INLET PROTECTION.
- CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
- ROCK SOCK FOR ON-GRADE INLET PROTECTION SHALL BE ONE CONTINUOUS PIECE.
- ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL, SIZED TO KEEP ROCK FROM SPILLING OUT.
- ROCK SOCK SHALL BE PLACED 5.0' UPHILL OF THE INLET OPENING.
- TUBULAR MARKER SHALL BE A MINIMUM OF 3.0' HIGH WITH REFLECTIVE BANDS AND OCTAGON SHAPED BASES.
- THE CURB INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE APPLICABLE INSTALLATION OF THE FIRST LIFT OF ASPHALT ON ROADWAYS DRAINING TO THE INLET.

ON-GRADE INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE ON-GRADE INLET PROTECTION.
- ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
- ON-GRADE INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

IPCOG
 INLET PROTECTION, CURB ON-GRADE, TYPE R INLET

Town of Parker COLORADO
CONSTRUCTION BEST MANAGEMENT PRACTICES
 3 OF 3
 Oct. 2013

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CASE NUMBER: Z_____



PROJECT TITLE
RETAIL

PREPARED FOR
BRYTAR COMPANIES

LOT 2, BLOCK 1
 HORSESHOE RIDGE
 PARKER, CO 80134

8117 PRESTON RD. #300
 DALLAS, TX 75225

SUBMITTAL
CONSTRUCTION DOCS.

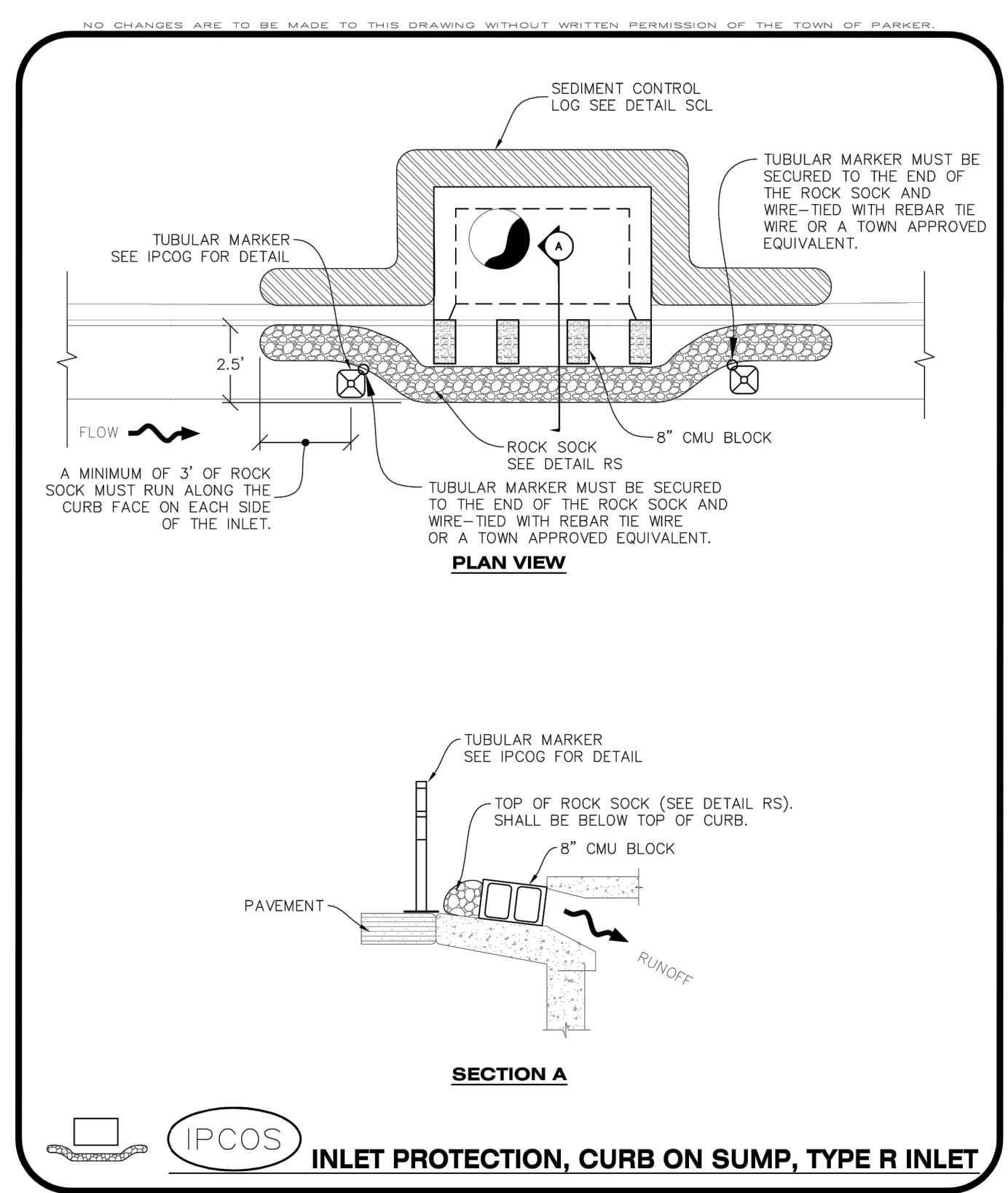
DRAWN BY: BSA
 CHECKED BY: MRB
 PROJECT NO.: 18-075-001

REVISIONS
 2ND SUBMITTAL 10/30/2019
 3RD SUBMITTAL 02/18/2020
 4TH SUBMITTAL 04/01/2020

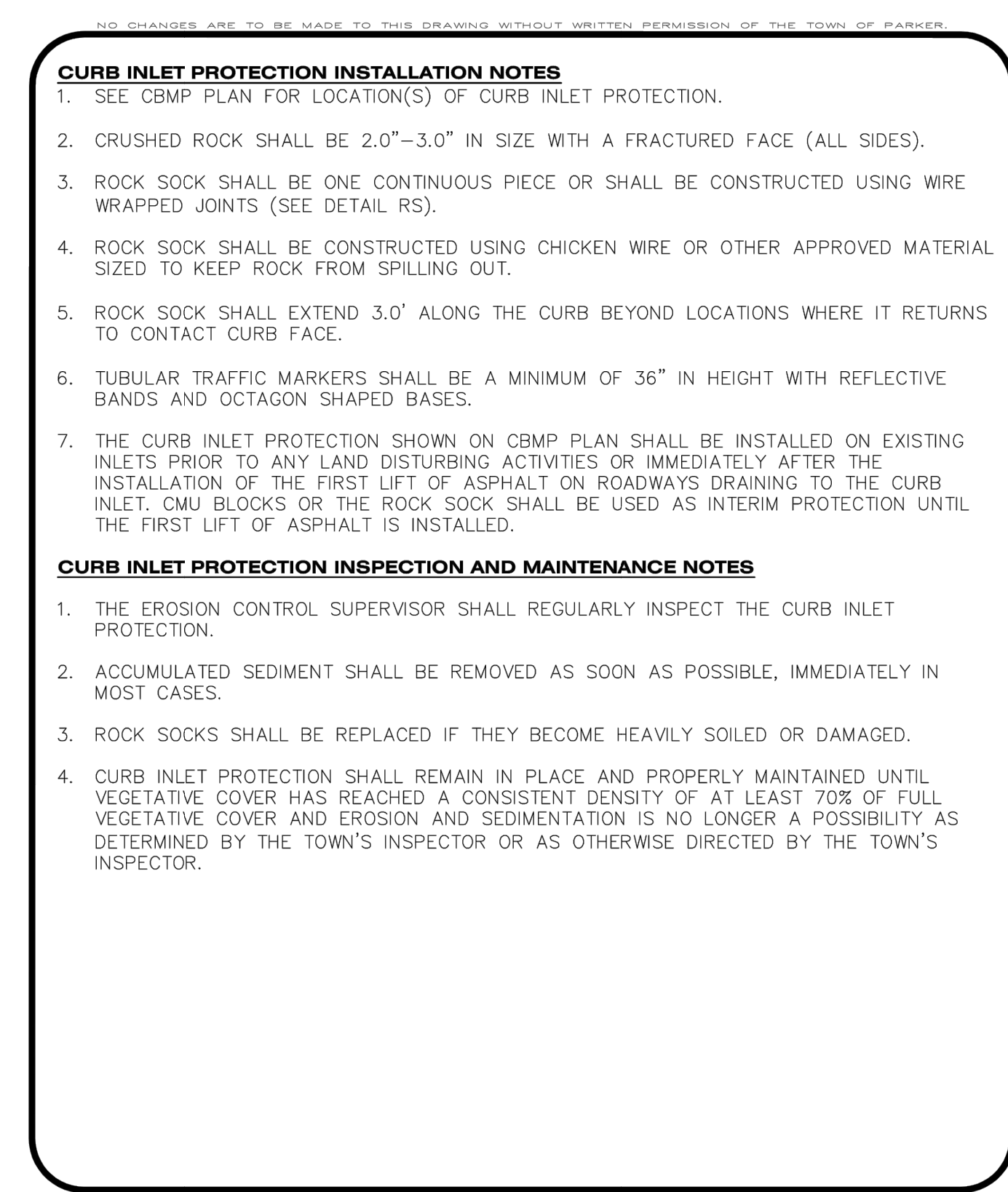
2 REV 2 - DETAIL CHANGE 3/10/22
 DATE
01/04/2022

SHEET TITLE
BMP DETAILS

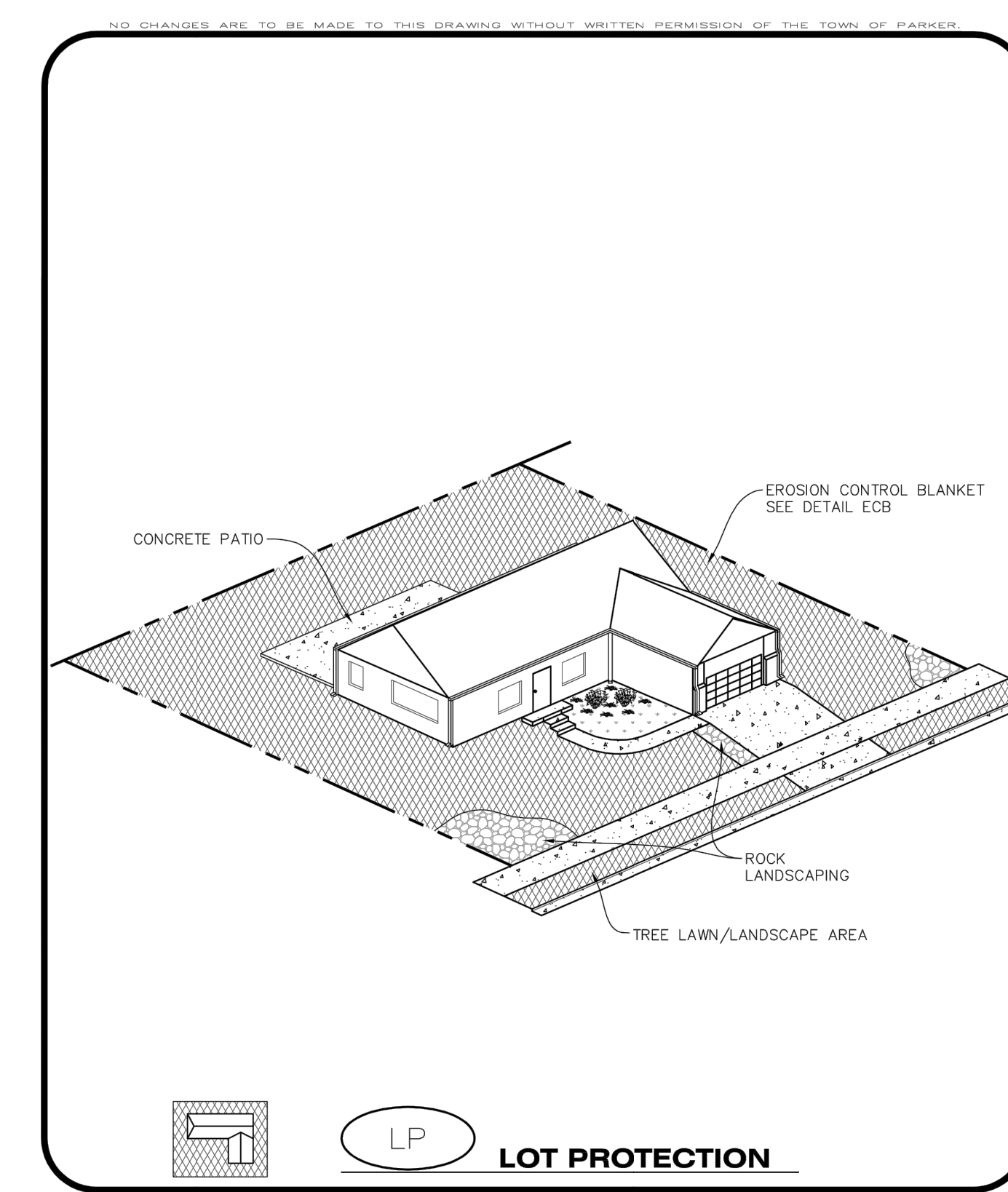
SHEET INFORMATION
ER-2.5



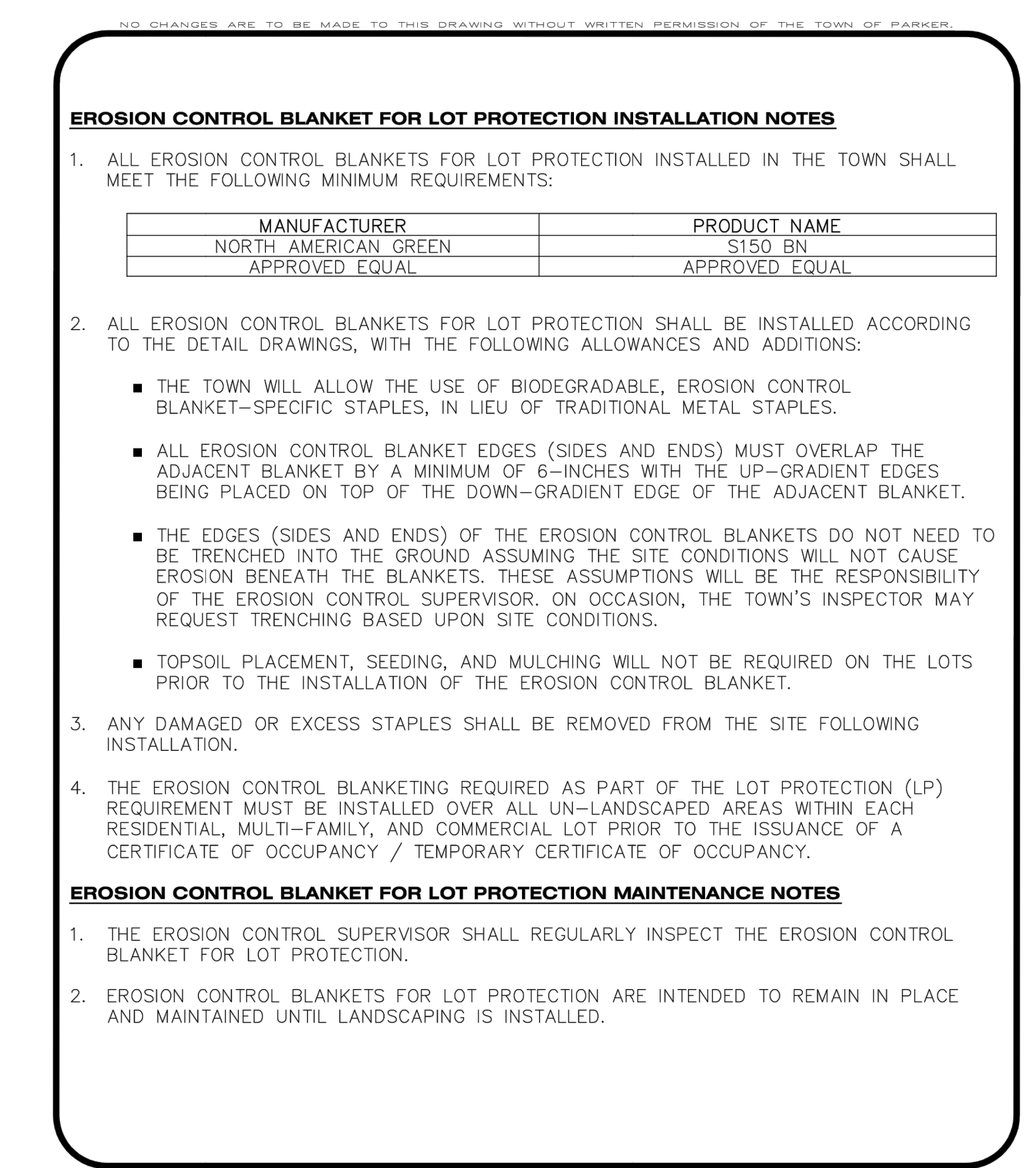
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 CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 2
 Oct. 2013



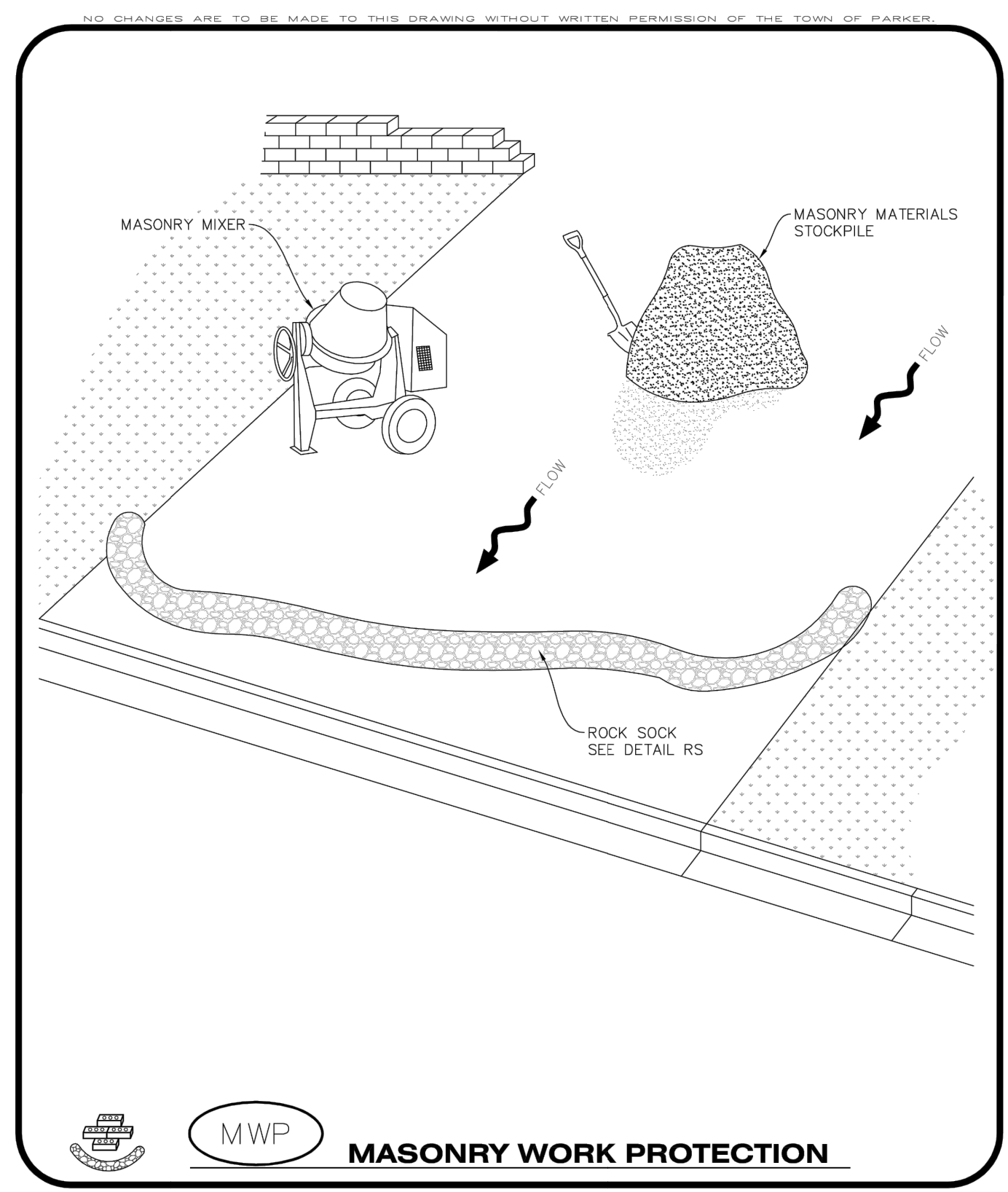
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 CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 2
 Oct. 2013



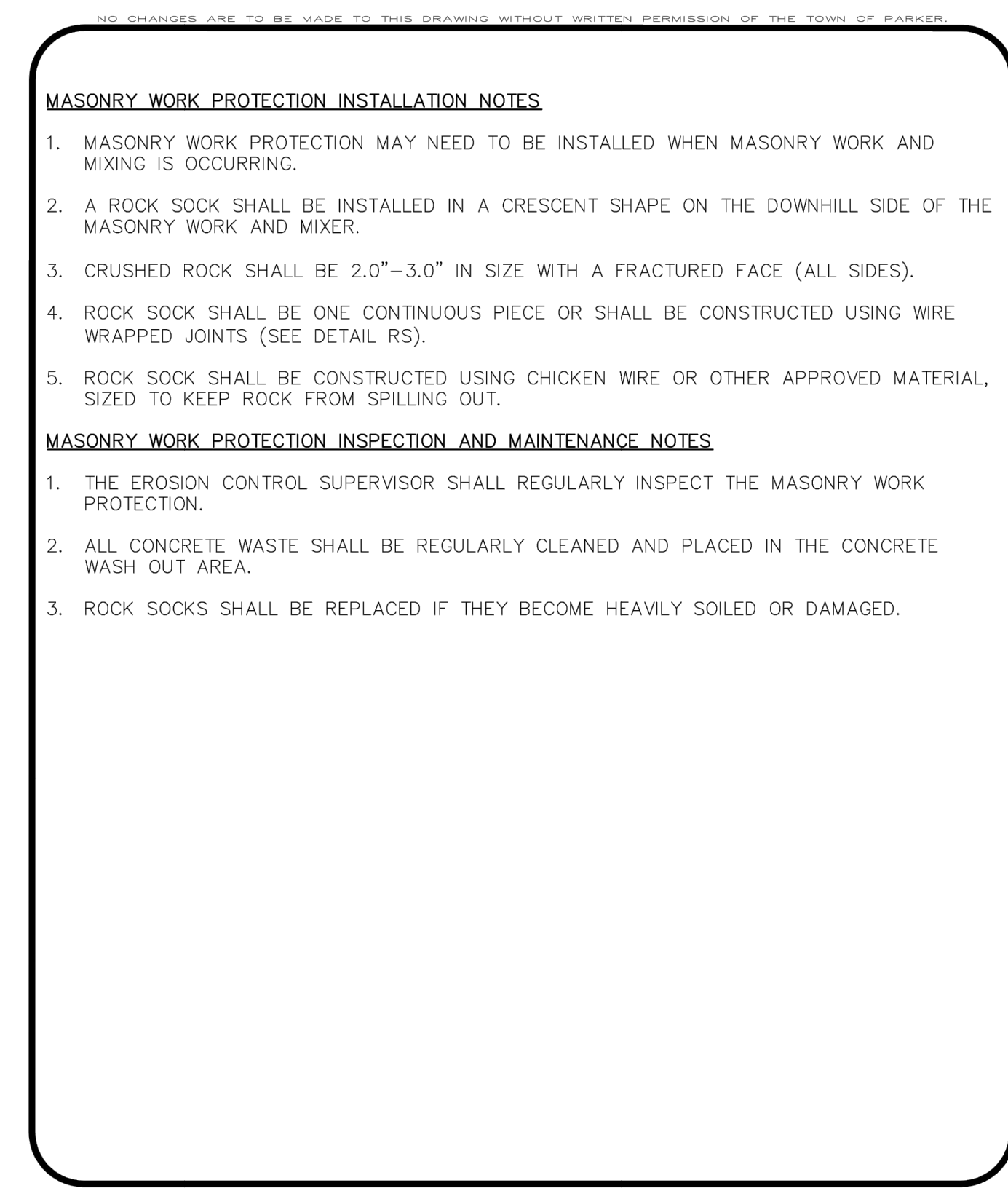
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 CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 2
 Oct. 2013



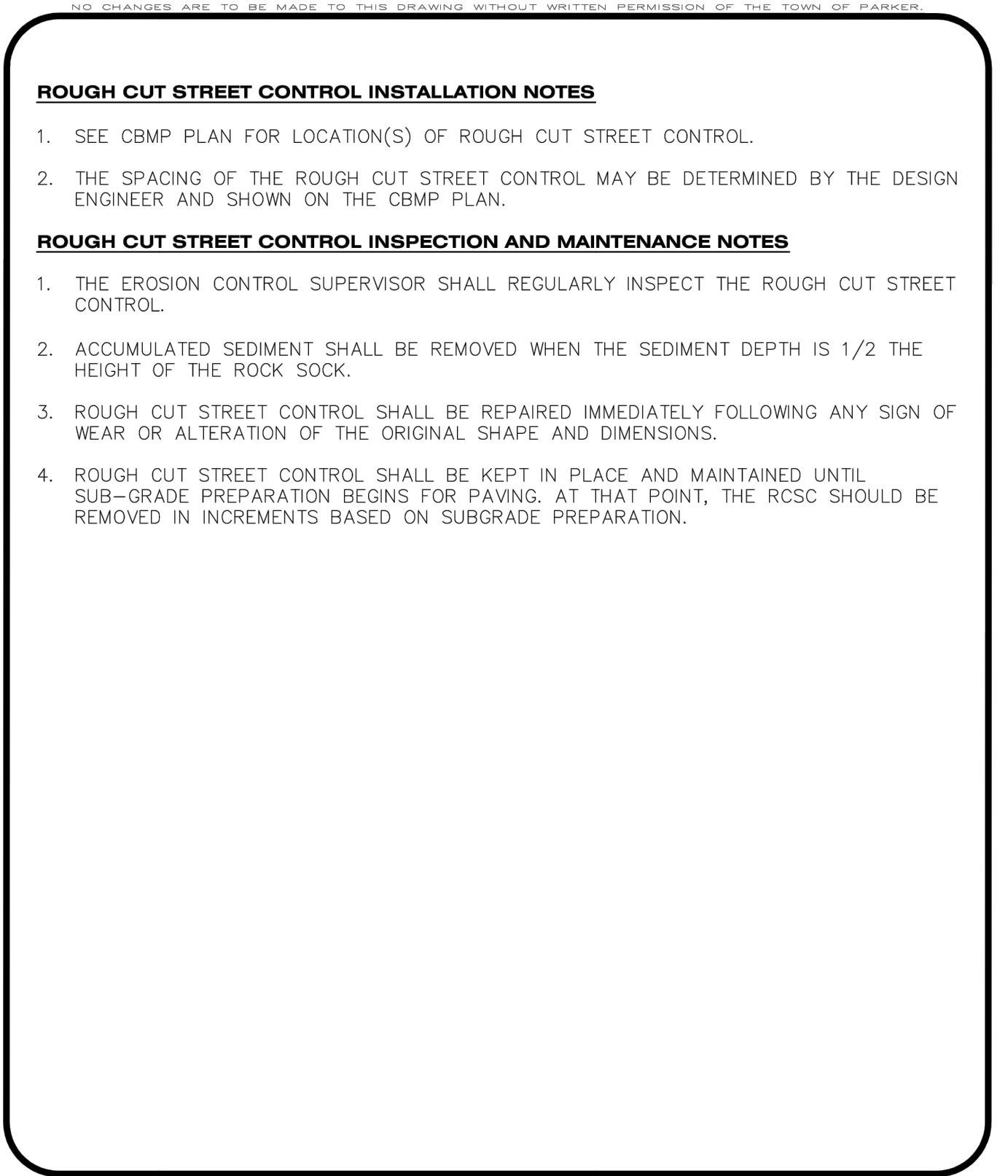
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 CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 2
 Oct. 2013



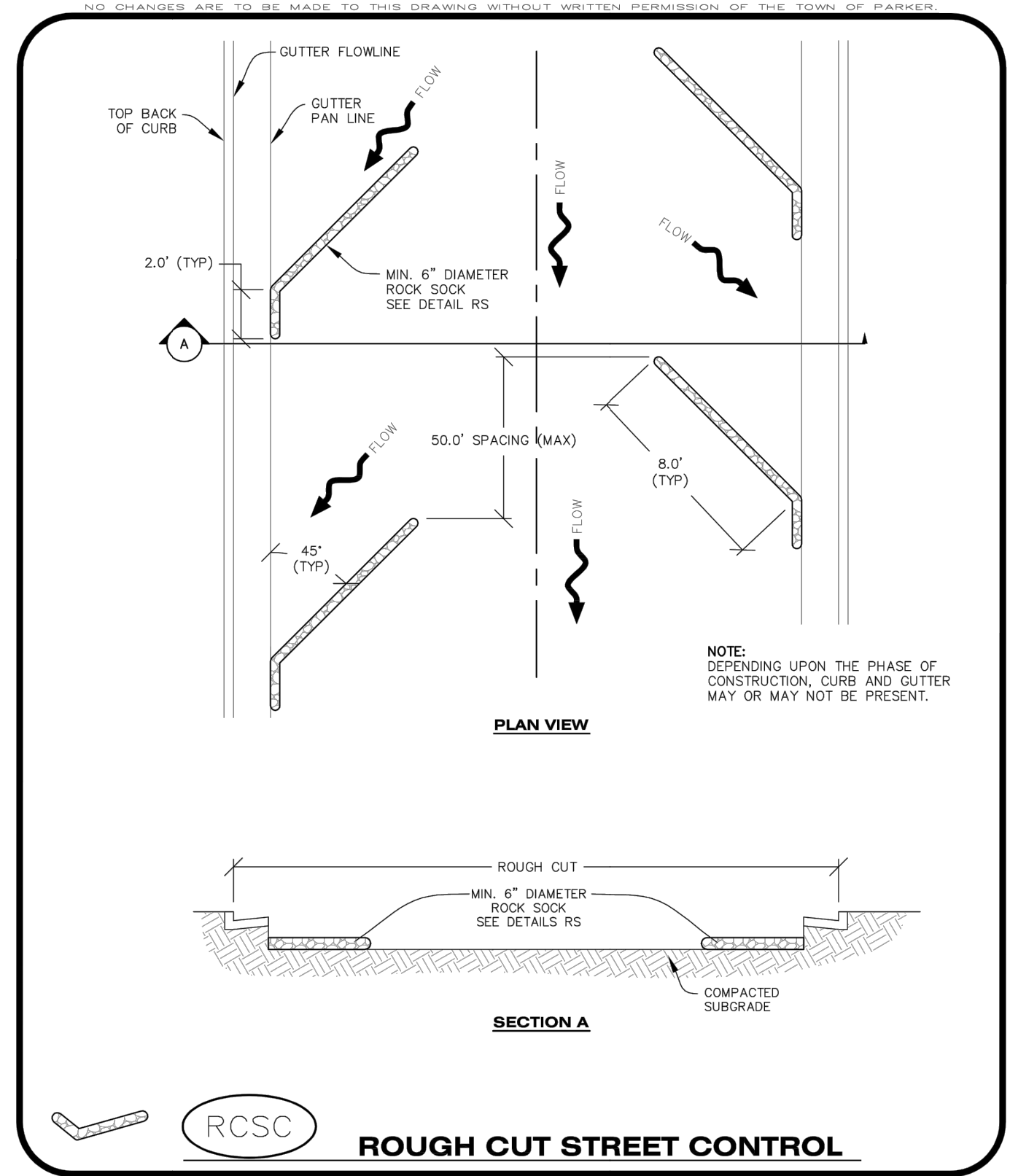
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 CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 2
 Oct. 2013



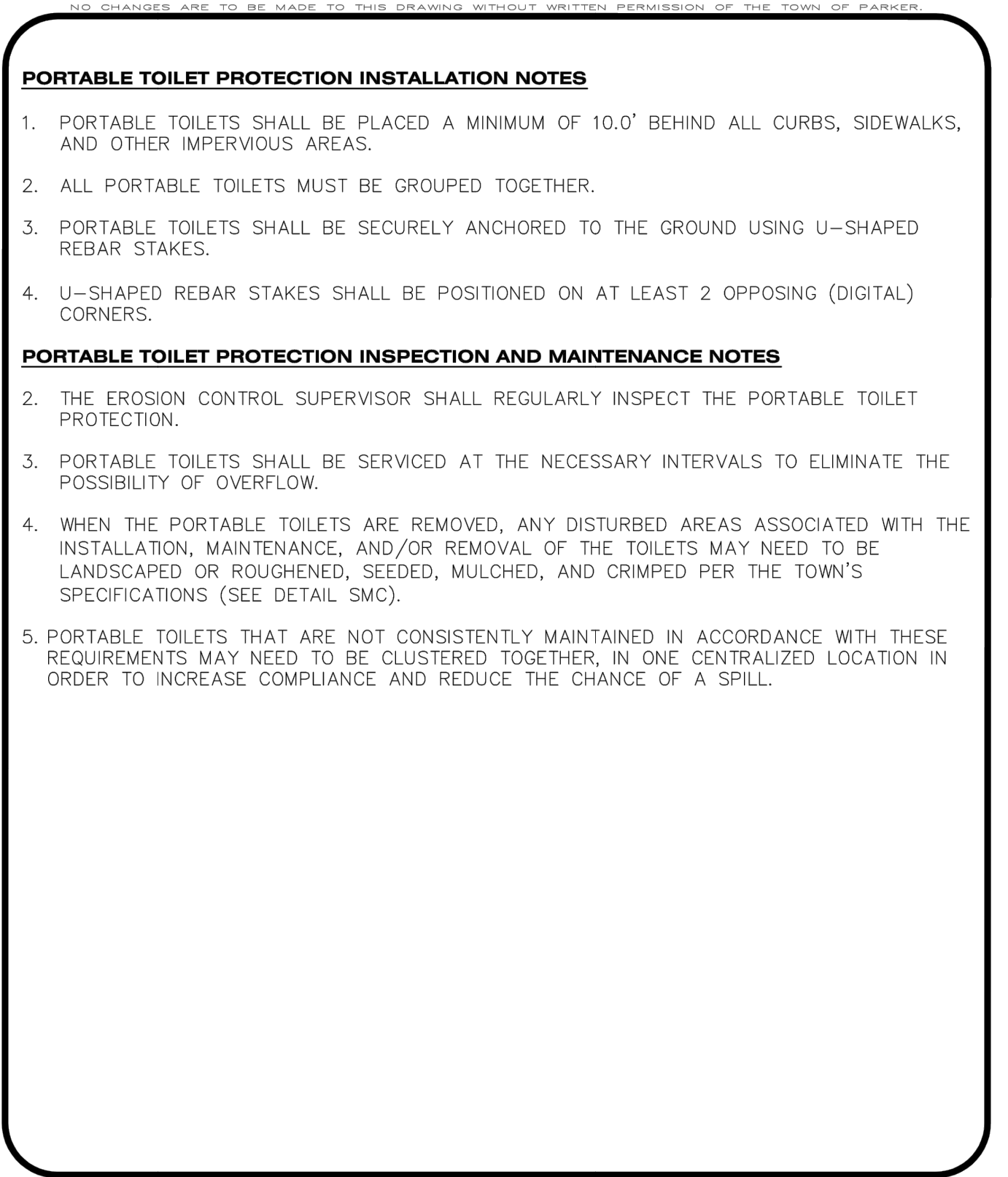
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 CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 2
 Oct. 2013



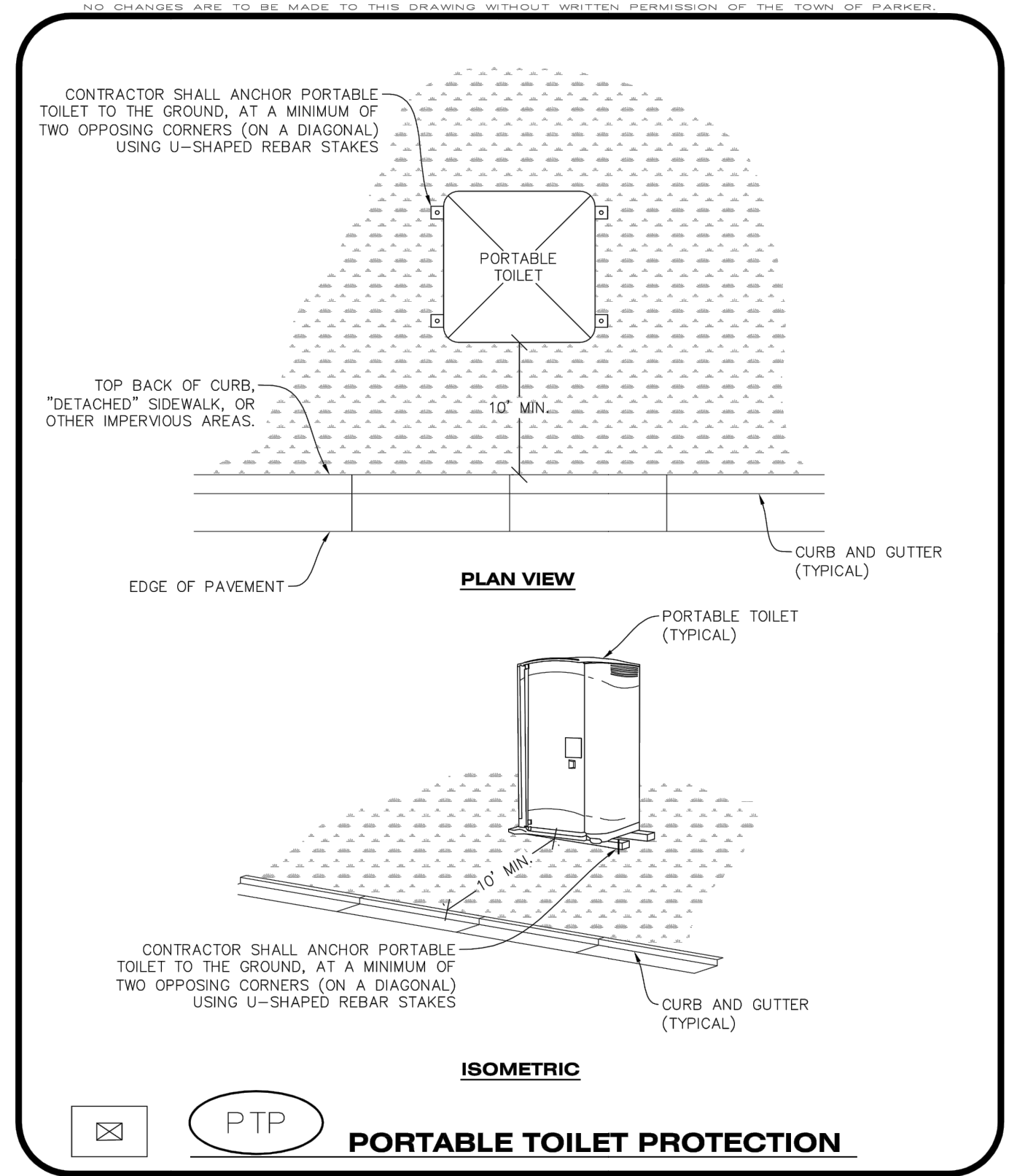
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 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
 Oct. 2013



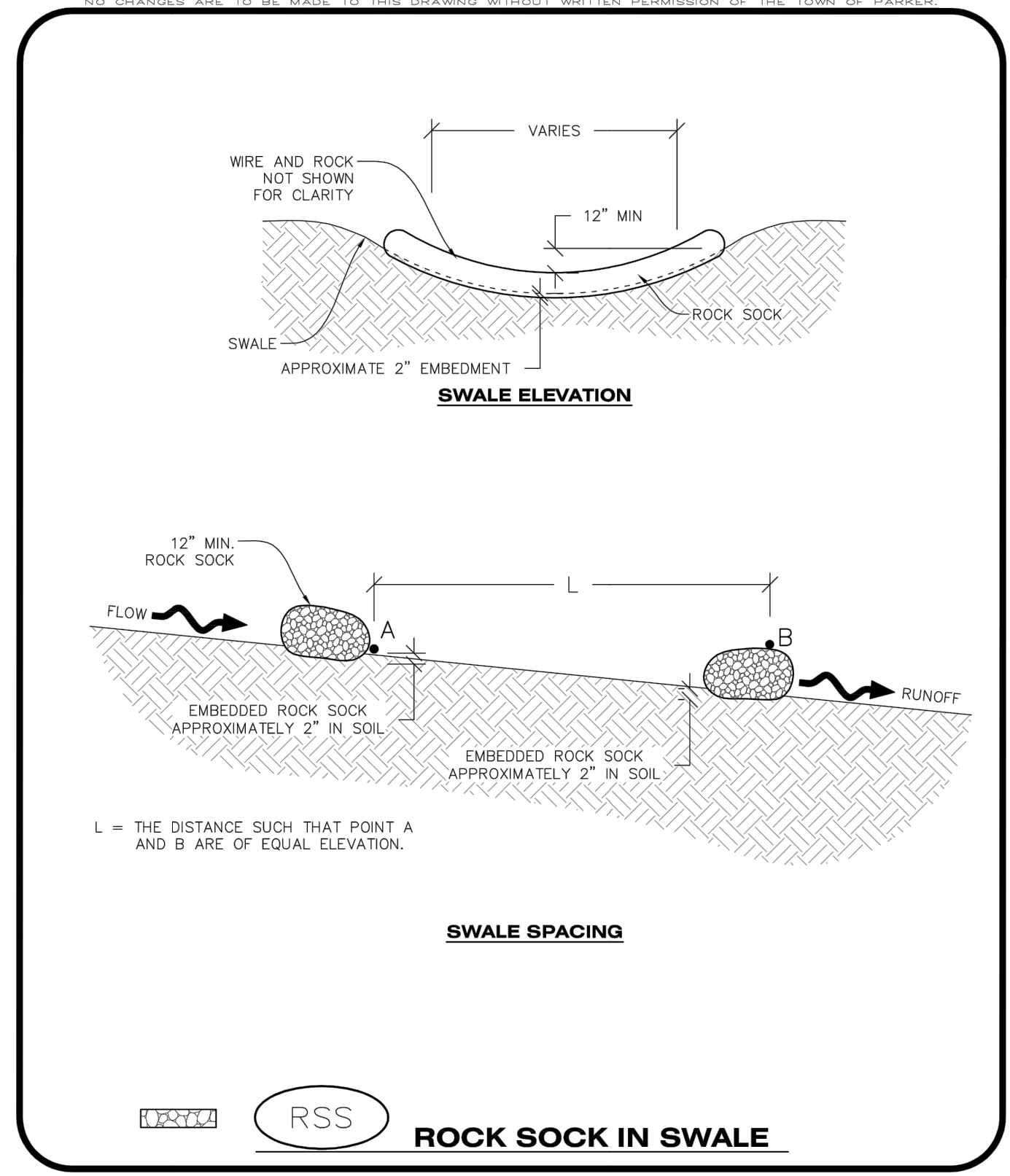
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 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
 Oct. 2013



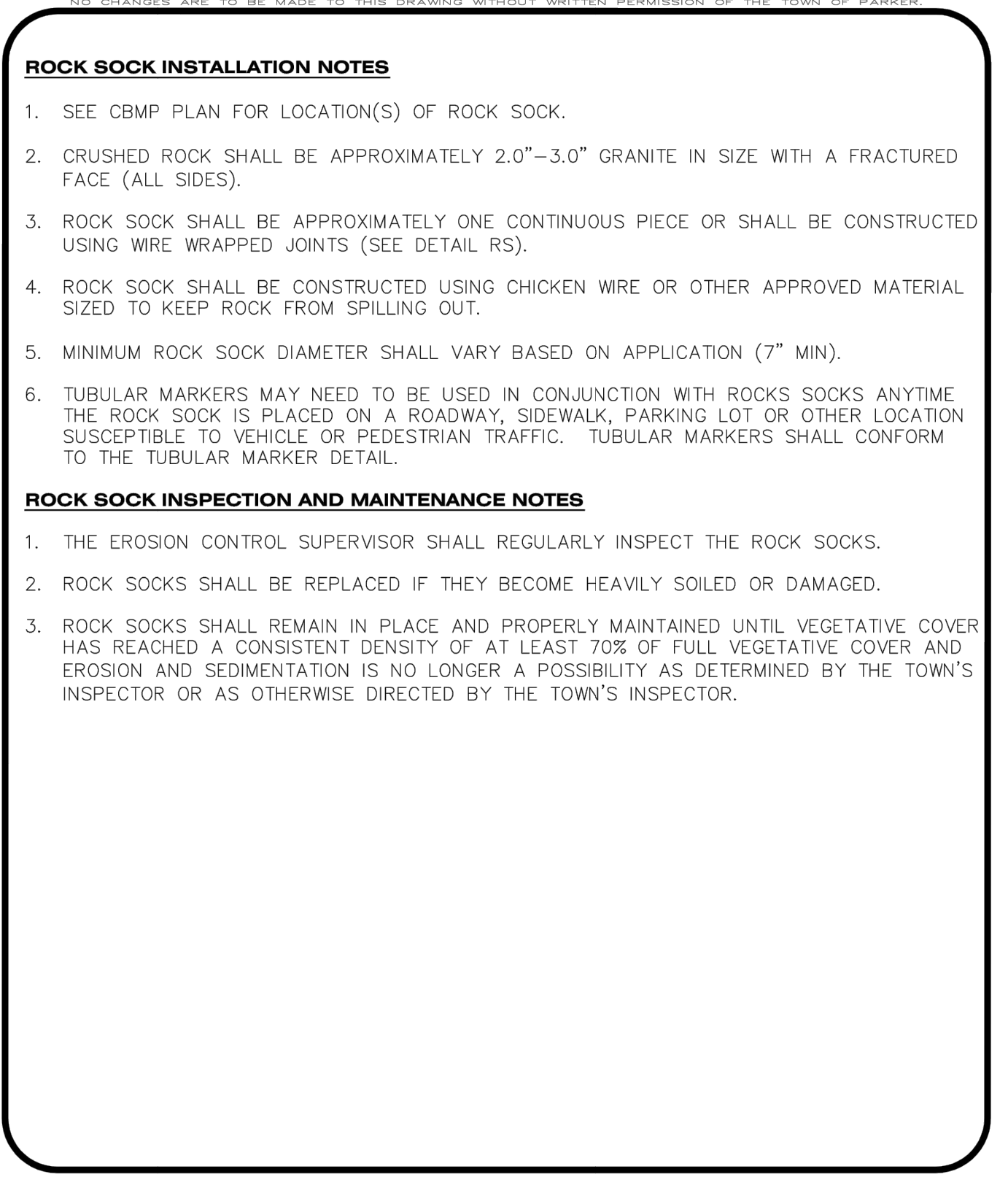
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 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
 Oct. 2013



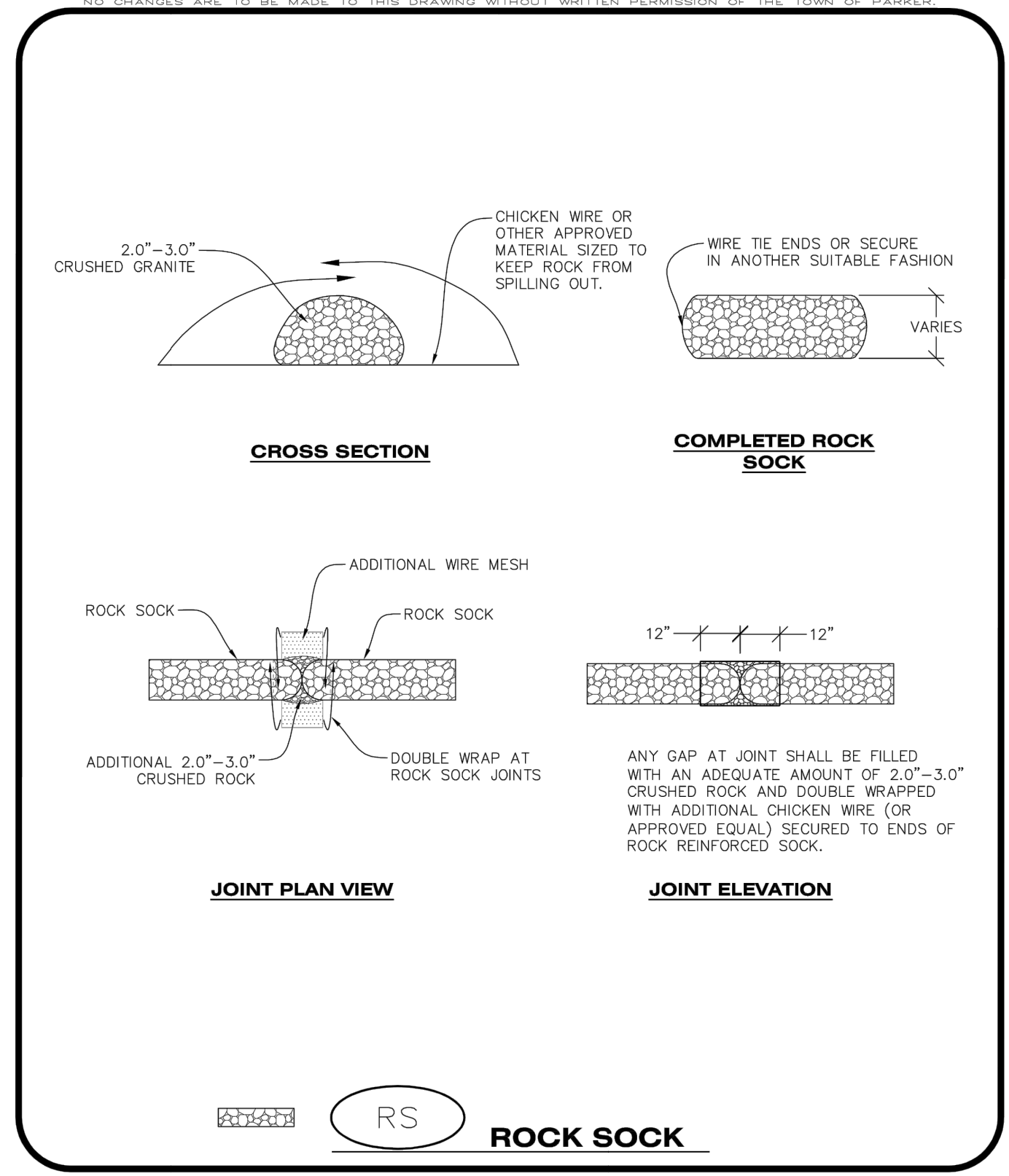
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 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
 Oct. 2013



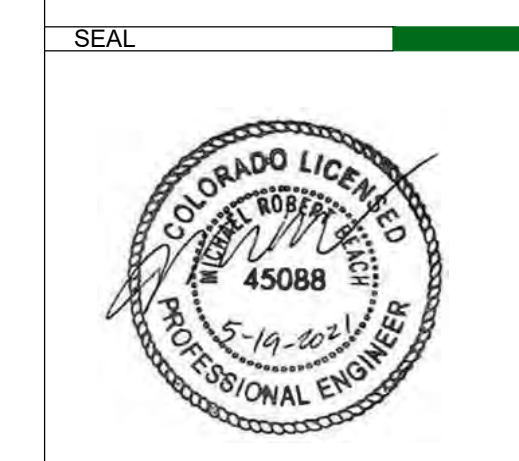
CBMP | **RSS**
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 1
 Oct. 2013



CBMP | **RS**
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
 Oct. 2013



CBMP | **RCSC**
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
 Oct. 2013



PROJECT TITLE
RETAIL

LOT 2, BLOCK 1
 HORSESHOE RIDGE
 PARKER, CO 80134

PREPARED FOR
BRYTAR COMPANIES

8117 PRESTON RD. #300
 DALLAS, TX 75225

SUBMITTAL
CONSTRUCTION DOCS.

DRAWN BY: BSA
 CHECKED BY: MRB
 PROJECT NO.: 18-075-001

REVISIONS	DATE
2ND SUBMITTAL	10/30/2019
3RD SUBMITTAL	02/18/2020
4TH SUBMITTAL	04/01/2020

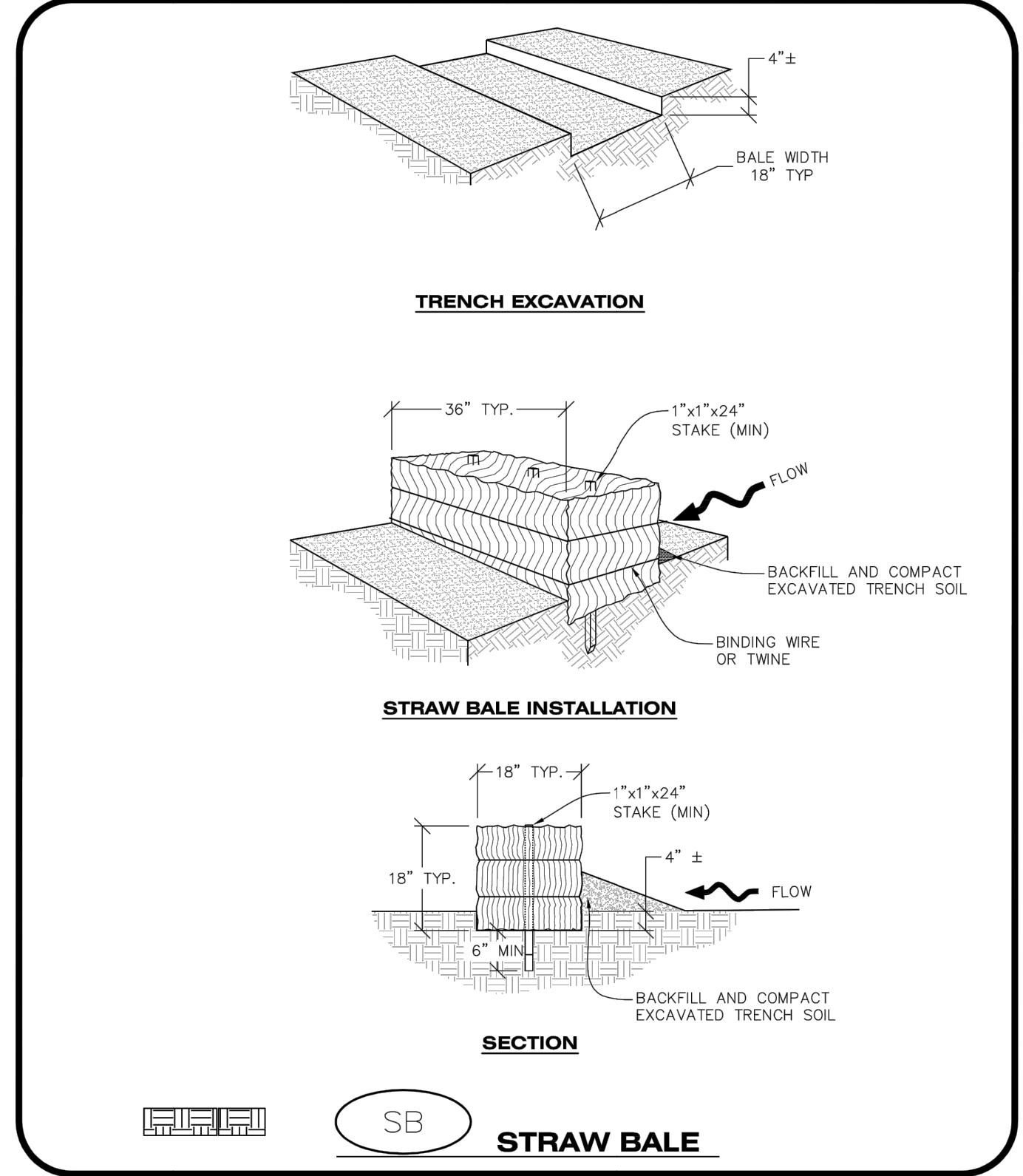
2 REV 2 - DETAIL CHANGE 3/10/22

DATE
01/04/2022

SHEET TITLE
BMP DETAILS

SHEET INFORMATION
ER-2.7

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



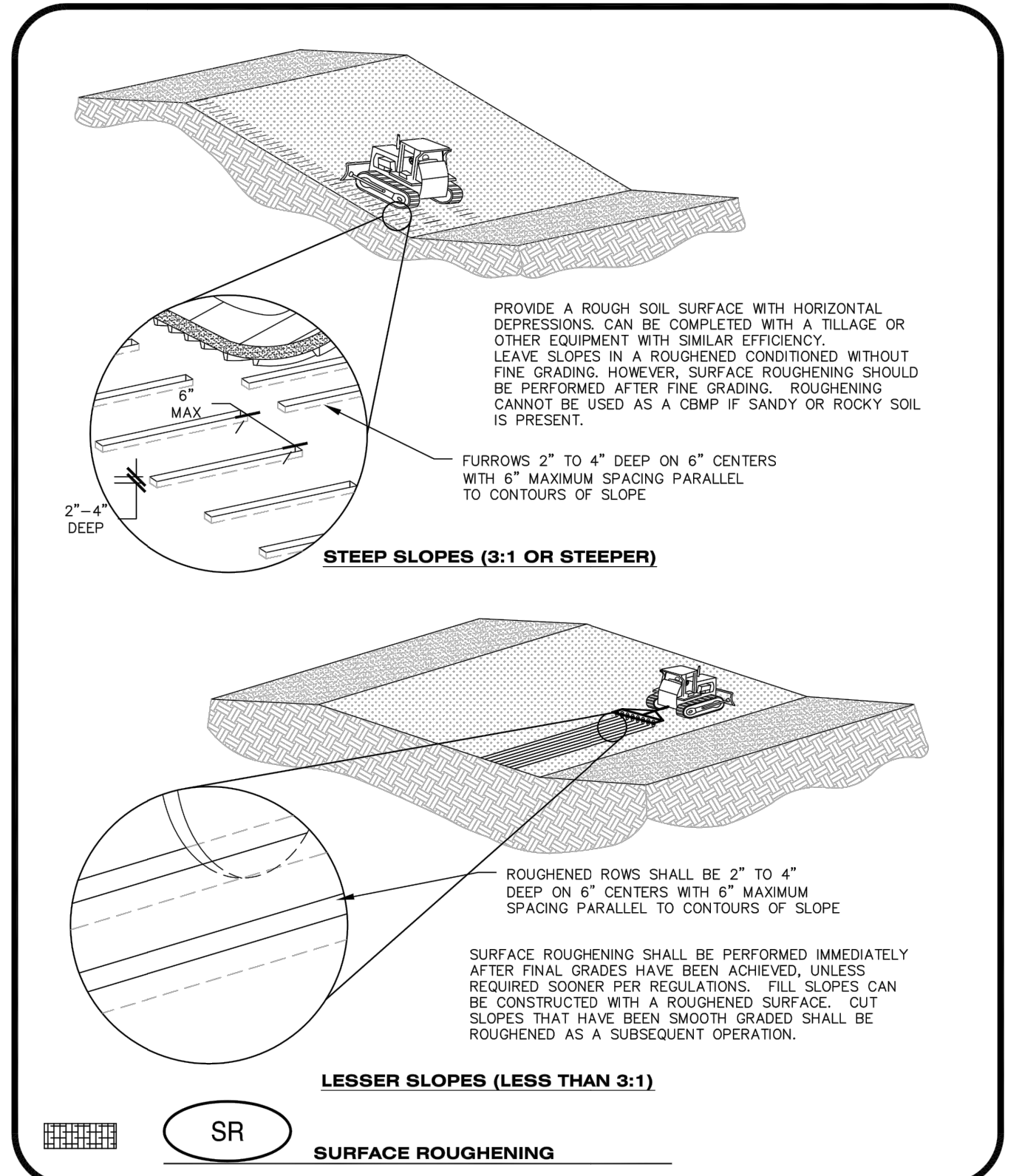
CBMP | SB
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2
 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

- STRAW BALE INSTALLATION NOTES**
- SEE CBMP PLAN FOR LOCATION(S) OF STRAW BALES.
 - TYPICAL STRAW BALES SHALL BE APPROXIMATELY 36"x18"x18".
 - TWO (2) WOODEN STAKES SHALL BE USED TO HOLD EACH BALE IN PLACE. WOODEN STAKES SHALL BE A MINIMUM OF 1"x1"x24".
 - WOODEN STAKES SHALL BE PLACED APPROXIMATELY 6" INTO THE GROUND.
 - STRAW BALES SHALL BE SPACED AND POSITIONED ACCORDING TO DETAILS.
- STRAW BALE INSPECTION AND MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE STRAW BALES.
 - ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE THE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE STRAW BALE.
 - STRAW BALES MAY NEED TO BE REPLACED IF THEY BECOME HEAVILY SOILED, ROTTEN, OR OTHERWISE DAMAGED.
 - STRAW BALES SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN INSPECTOR.
 - WHEN THE STRAW BALES ARE REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE STRAW BALES MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

CBMP | SB
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2
 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



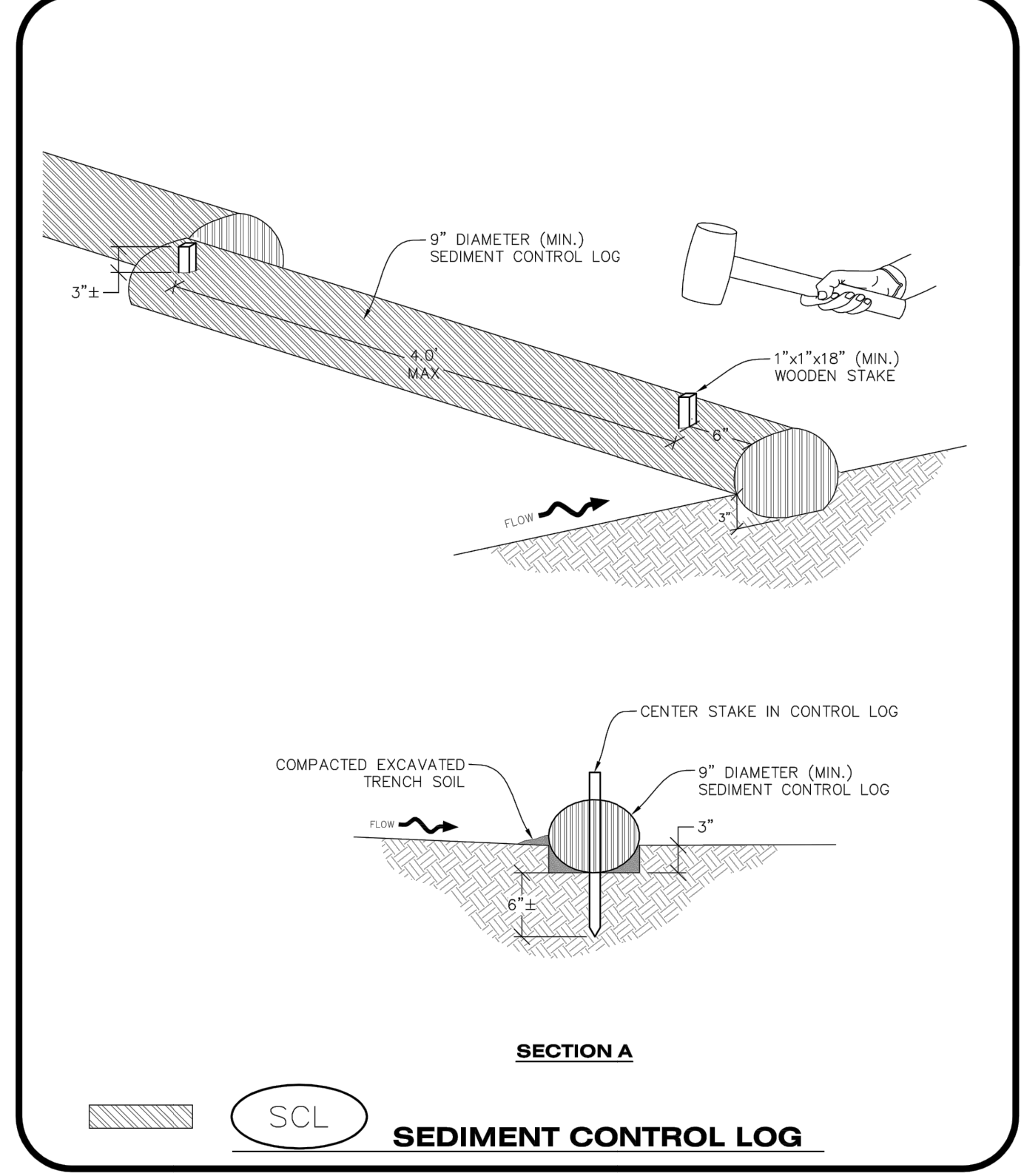
CBMP | SR
 CONSTRUCTION BEST MANAGEMENT PRACTICES | JUNE 2008

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

- SURFACE ROUGHENING INSTALLATION NOTES**
- SEE CBMP PLAN FOR LOCATION(S) OF SURFACE ROUGHENING.
 - ANY DISTURBED LAND THAT REMAINS INACTIVE FOR MORE THAN 14 CONSECUTIVE DAYS MUST RECEIVE SURFACE ROUGHENING. DETERMINATION OF JOB SITE INACTIVITY IS AT THE DISCRETION OF THE TOWN'S INSPECTOR.
 - SURFACE ROUGHENING SHALL BE PERFORMED PERPENDICULAR TO THE SLOPE.
 - SOIL SHALL BE ROUGHENED A MINIMUM OF 6-INCHES DEEP USING RIGID SHANKS.
 - A FARMING DISC SHALL NOT BE USED FOR SURFACE ROUGHENING.
 - FOR STEEP SLOPES (3:1 OR STEEPER), IT IS ACCEPTABLE TO "TRACK" THE SLOPES, ACCORDING TO THE CBMP DETAILS.
- SURFACE ROUGHENING INSPECTION AND MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL INSPECT THE SURFACE ROUGHENING AT THE FOLLOWING INTERVALS:
 - IMMEDIATELY FOLLOWING INITIAL INSTALLATION.
 - EVERY 7 DAYS DURING ACTIVE CONSTRUCTION.
 - IMMEDIATELY FOLLOWING ANY STORM EVENT.

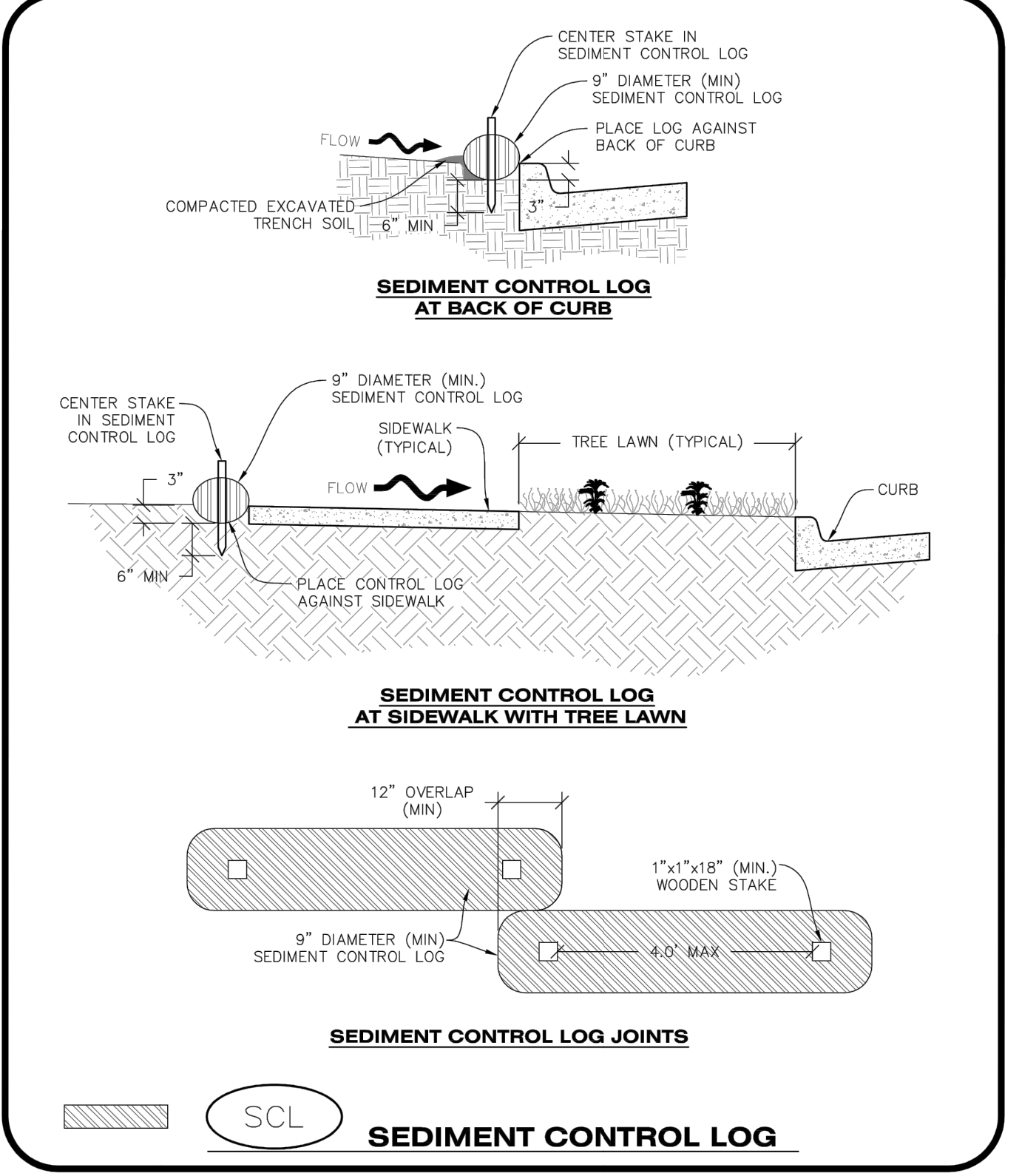
CBMP | SR
 CONSTRUCTION BEST MANAGEMENT PRACTICES | JUNE 2008

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



CBMP | SCL
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 3
 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.



CBMP | SCL
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 3
 Oct. 2013

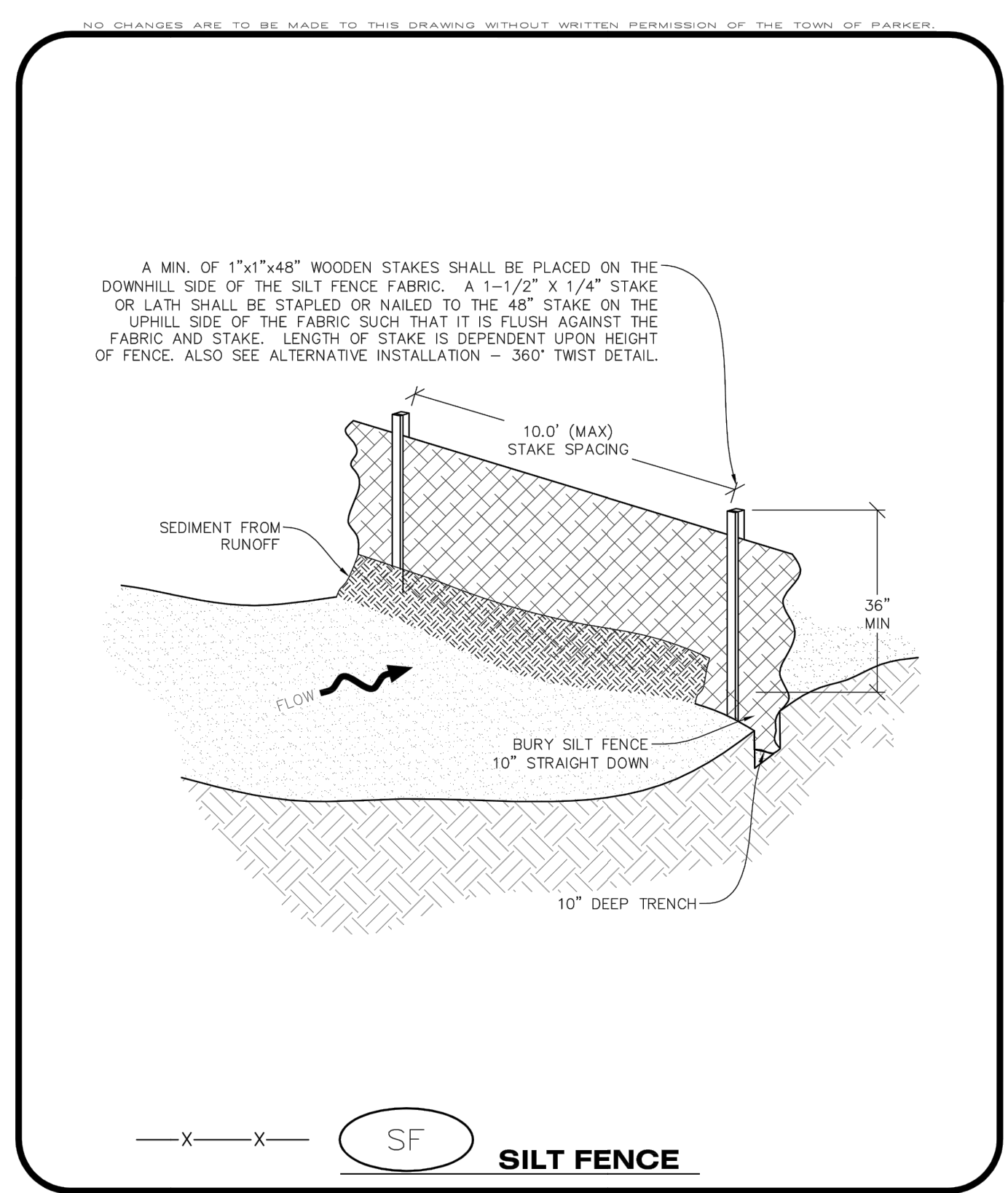
NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

- SEDIMENT CONTROL LOG INSTALLATION NOTES**
- SEE CBMP PLAN FOR LOCATION(S) OF SEDIMENT CONTROL LOGS.
 - ALL SEDIMENT CONTROL LOGS SHALL BE INSTALLED FREE OF DEFECTS INCLUDING RIPS, HOLES AND OBVIOUS WEAR.
 - SEDIMENT CONTROL LOGS SHALL BE INSTALLED IMMEDIATELY ADJACENT TO AN IMPERVIOUS SURFACE SUCH AS A CURB HEAD, SIDEWALK, INLET LID, ETC. NO GAPS SHALL EXIST BETWEEN THE SEDIMENT CONTROL LOG AND THE IMPERVIOUS SURFACE.
 - A UNIFORM 3" DEEP ANCHOR TRENCH (APPROX.) IN THE SHAPE OF A HALF-SPHERE SHALL BE EXCAVATED USING A TRENCHER, SPADE-SHAPED SHOVEL, OR PICK. THE ANCHOR TRENCH SHALL BE SIZED TO ALLOW FOR THE SEDIMENT CONTROL LOG TO SEAT TIGHTLY AGAINST THE ANCHOR TRENCH.
 - EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF THE ANCHOR TRENCH AND PROPERLY COMPACTED.
 - ANCHOR TRENCH SHALL BE RELATIVELY FREE OF ROCKS OR OTHER DEBRIS PRIOR TO THE PLACEMENT.
 - ALL SEDIMENT CONTROL LOGS SHALL BE PLACED 3" (APPROX.) BELOW THE GROUND AND PULLED TIGHT ON BOTH ENDS TO REMOVE ANY CURVES OR SNAGS.
 - THE UPHILL SIDE OF THE SEDIMENT CONTROL LOG SHALL BE BACKFILLED WITH SOIL THAT IS RELATIVELY FREE OF ROCKS AND DEBRIS. THE SOIL SHALL BE TIGHTLY COMPACTED AGAINST THE GROUND AND SEDIMENT CONTROL LOG USING A SHOVEL, OR SIMILAR DEVICE.
 - SEDIMENT CONTROL LOG STAKES SHALL BE MADE OF WOOD AND SECURELY ANCHOR THE SCL IN PLACE.
 - STAKES SHALL BE PLACED ON 4.0' CENTERS AND EMBEDDED APPROXIMATELY 6" INTO THE GROUND. STAKES THAT ARE BROKEN PRIOR TO OR DURING INSTALLATION SHALL BE REPLACED.
 - SEDIMENT CONTROL LOGS SHALL OVERLAP A MINIMUM OF 12". THE OVERLAPPING SHALL OCCUR ON THE UP-GRADE SIDE OF THE LOGS.
 - SEDIMENT CONTROL LOGS SHALL BE STAKED WITHIN 6" FROM EACH END.
 - SEDIMENT CONTROL LOGS THAT ARE INSTALLED BEHIND CURBS AND SIDEWALKS MUST BE DONE SO THAT NO MORE THAN A 2" GAP EXISTS BETWEEN THE CONCRETE AND THE LOG. EROSION CONTROL BLANKETING (ECB) BETWEEN THE GAP MAY BE REQUIRED IN INSTANCES WHERE THIS DOES NOT OCCUR.
- SEDIMENT CONTROL LOG INSPECTION AND MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SEDIMENT CONTROL LOGS.
 - ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE THE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF EXPOSED LOG.
 - SEDIMENT CONTROL LOGS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
 - SEDIMENT CONTROL LOGS SHALL BE REPLACED WHEN THERE ARE ANY SIGNS OF WEAR OR DAMAGE THAT WOULD PREVENT THE SCL FROM FUNCTIONING AS DESIGNED.
 - WHEN THE SEDIMENT CONTROL LOGS ARE REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE SEDIMENT CONTROL LOGS MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

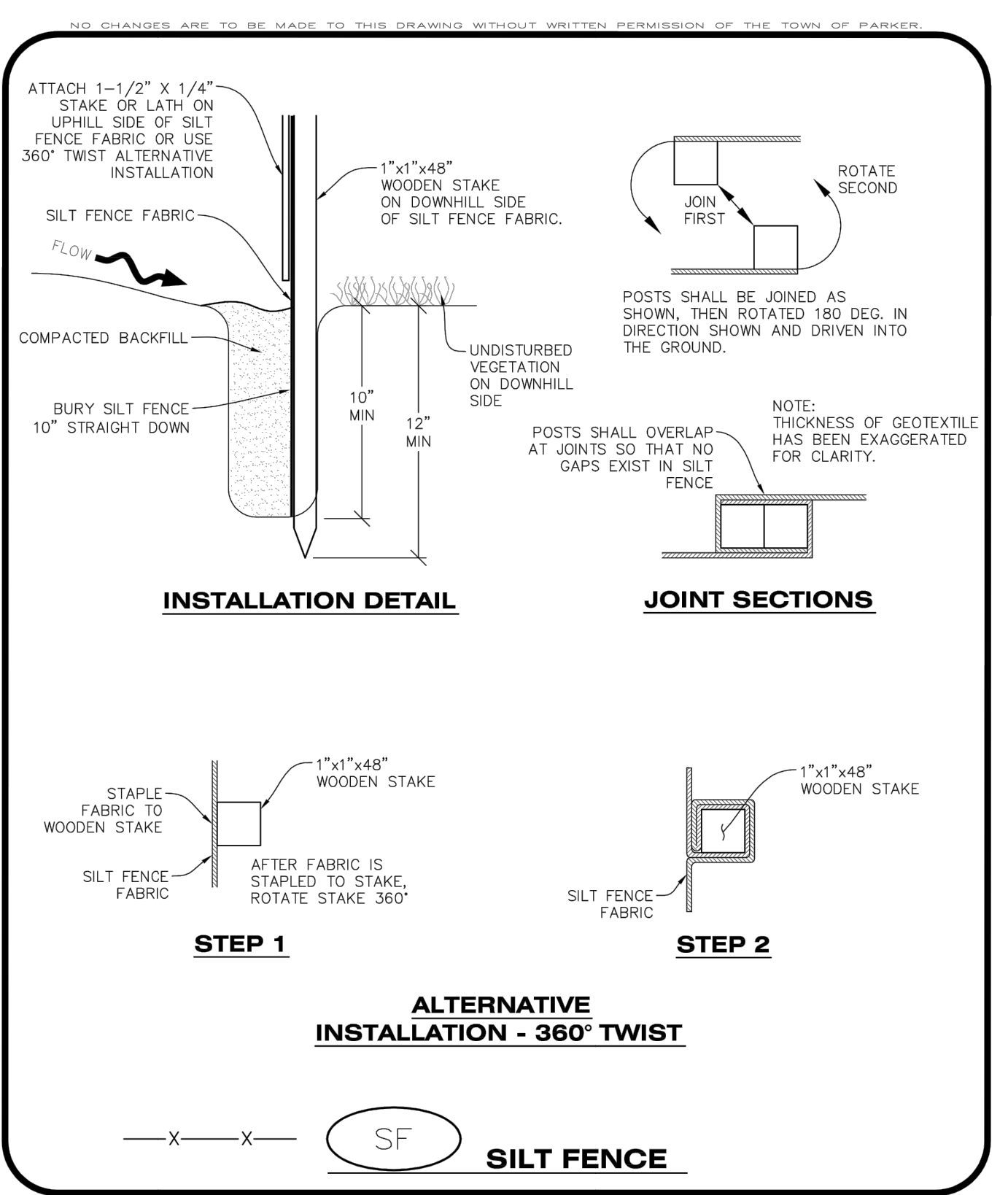
CBMP | SCL
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 3 OF 3
 Oct. 2013

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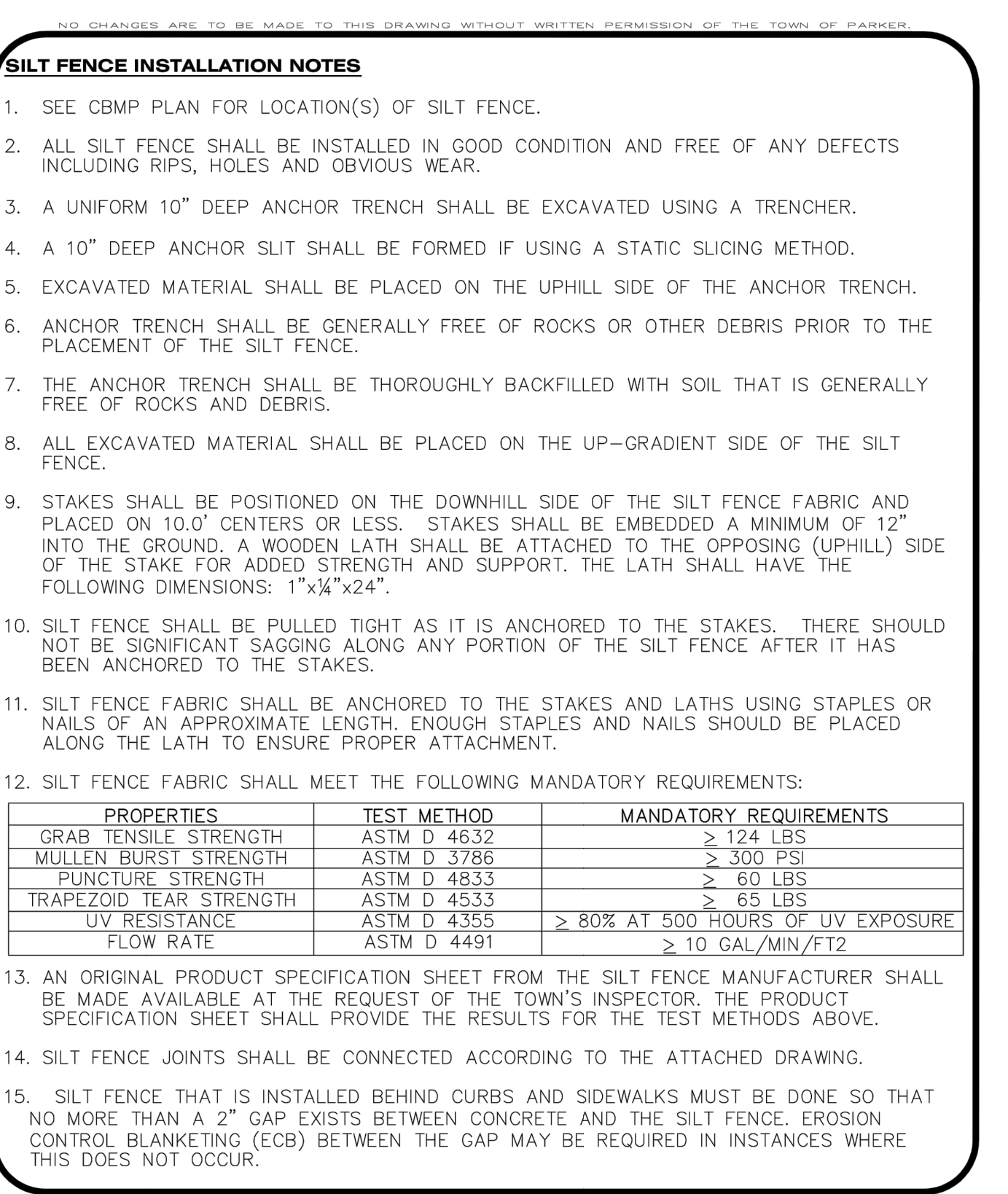
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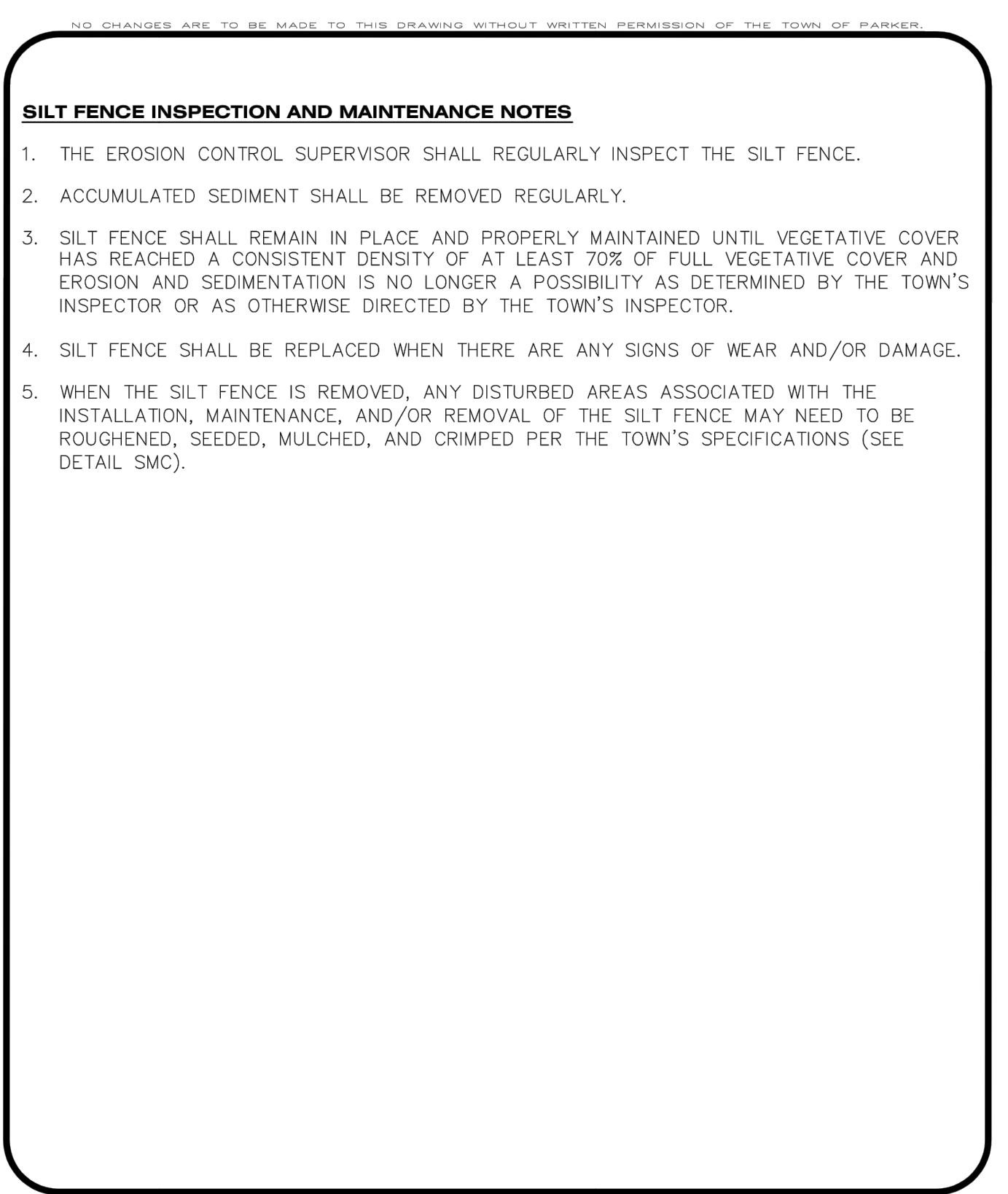
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 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 4
 Oct. 2013



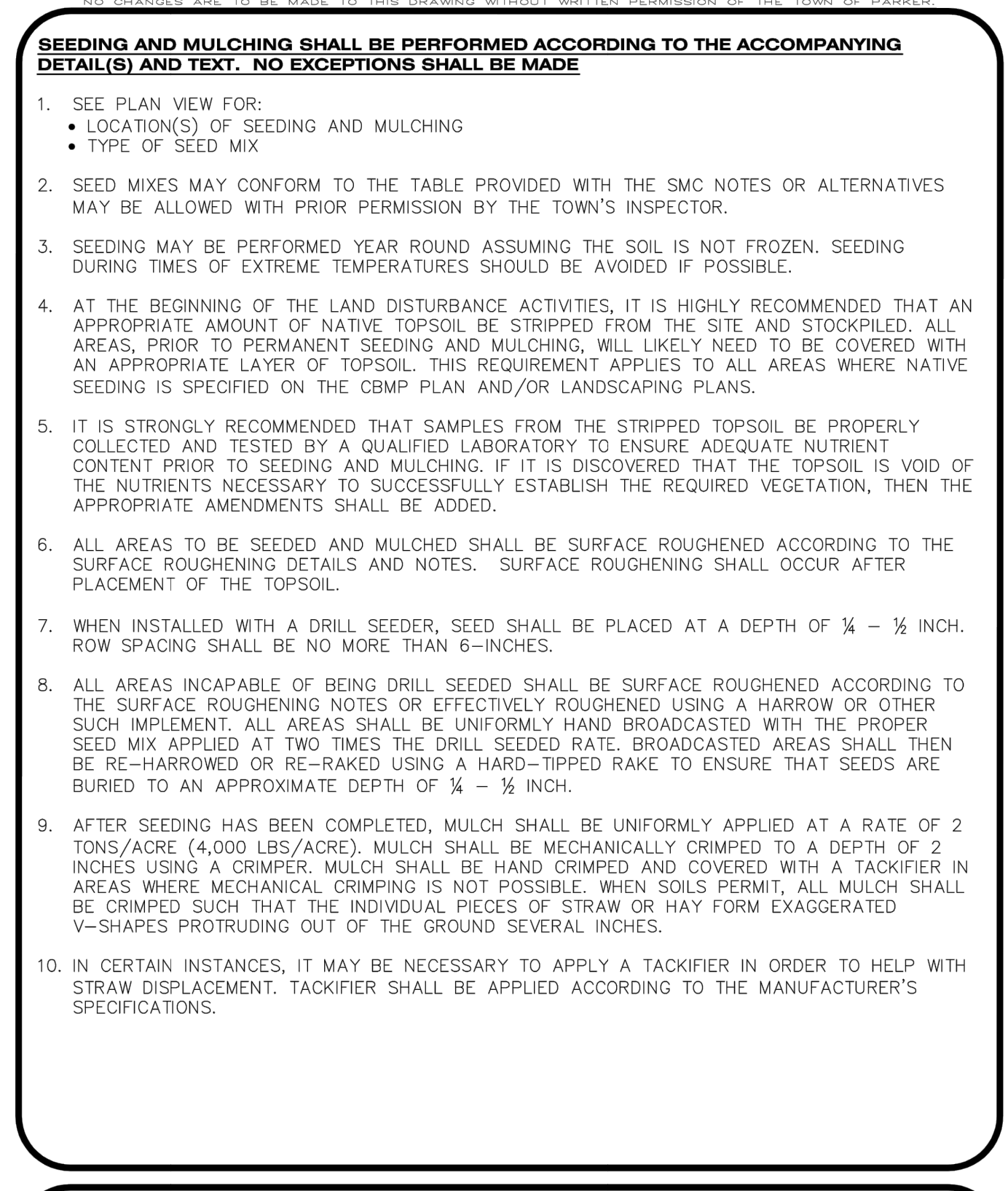
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 Oct. 2013



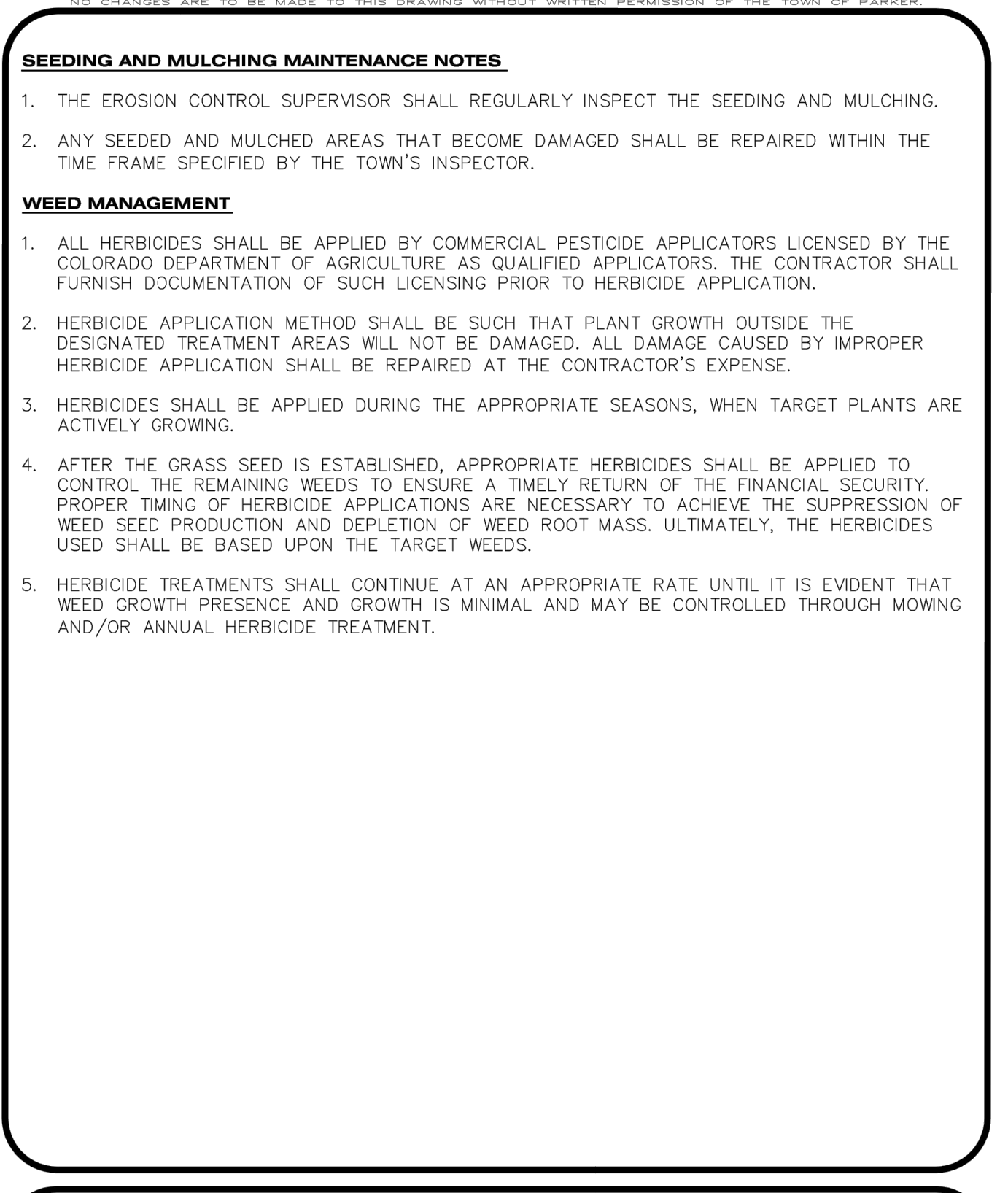
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 Oct. 2013



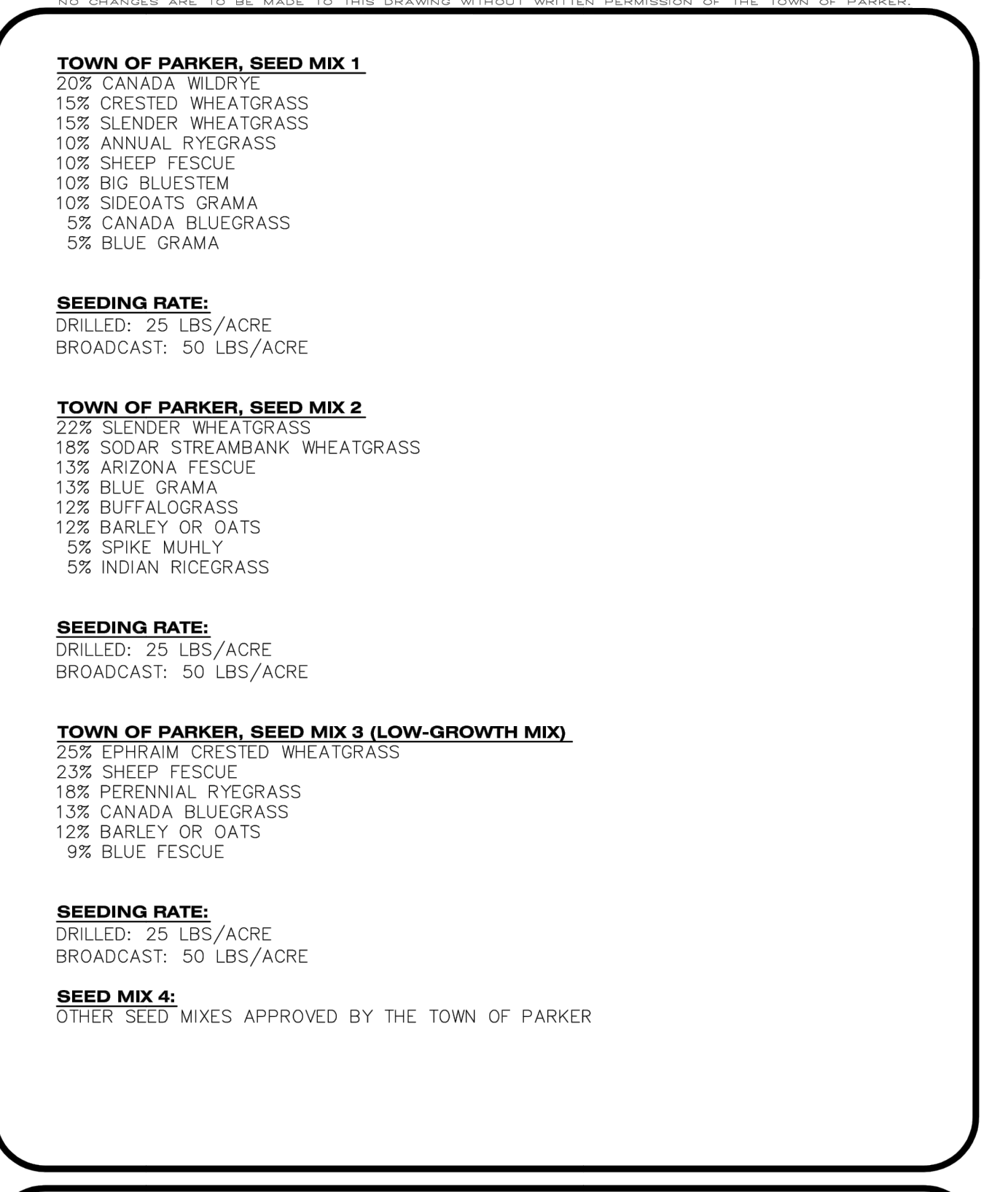
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 CONSTRUCTION BEST MANAGEMENT PRACTICES | 4 OF 4
 Oct. 2013



 **CBMP** | SMC
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 3
 Oct. 2013

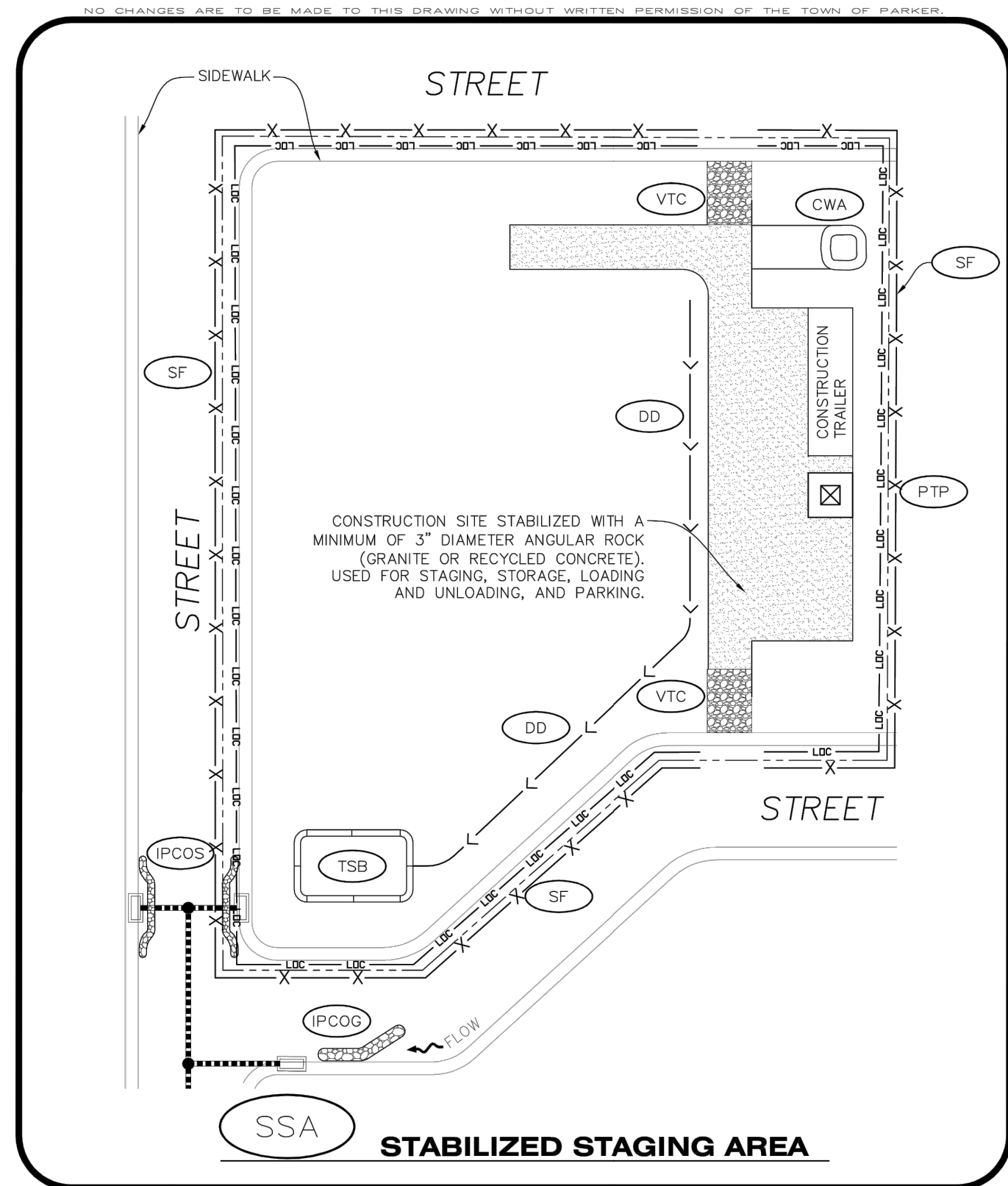


 **CBMP** | SMC
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 3
 Oct. 2013



 **CBMP** | SMC
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 3 OF 3
 Oct. 2013

File: RE - CD - ROPADDER.dwg Path: P:\Colorado\Parker\Bryar\Parker TILE - 18-075-001\2 Drawings\ Plotted by: acarlston Date: 10-Mar-22 3:58:22pm



CBMP SSA

CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 2

Town of Parker COLORADO Oct. 2013

STABILIZED STAGING AREA INSTALLATION NOTES

- SEE CBMP PLAN FOR LOCATION OF STAGING AREA. CONTRACTOR MAY MODIFY LOCATION AND SIZE OF STABILIZED STAGING AREA WITH TOWN APPROVAL.
- STABILIZED STAGING AREA SHALL BE LARGE ENOUGH TO FULLY CONTAIN PARKING, STORAGE, AND LOADING OPERATIONS.
- THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM OF 3" DIAMETER OF ANGULAR ROCK (GRANITE OR RECYCLED CONCRETE).
- SSA FOR SMALLER SITES MAY NOT BE PRACTICAL. IN THESE AND SIMILAR SITUATIONS, VARIANCES MAY BE PERMITTED BY THE TOWN.

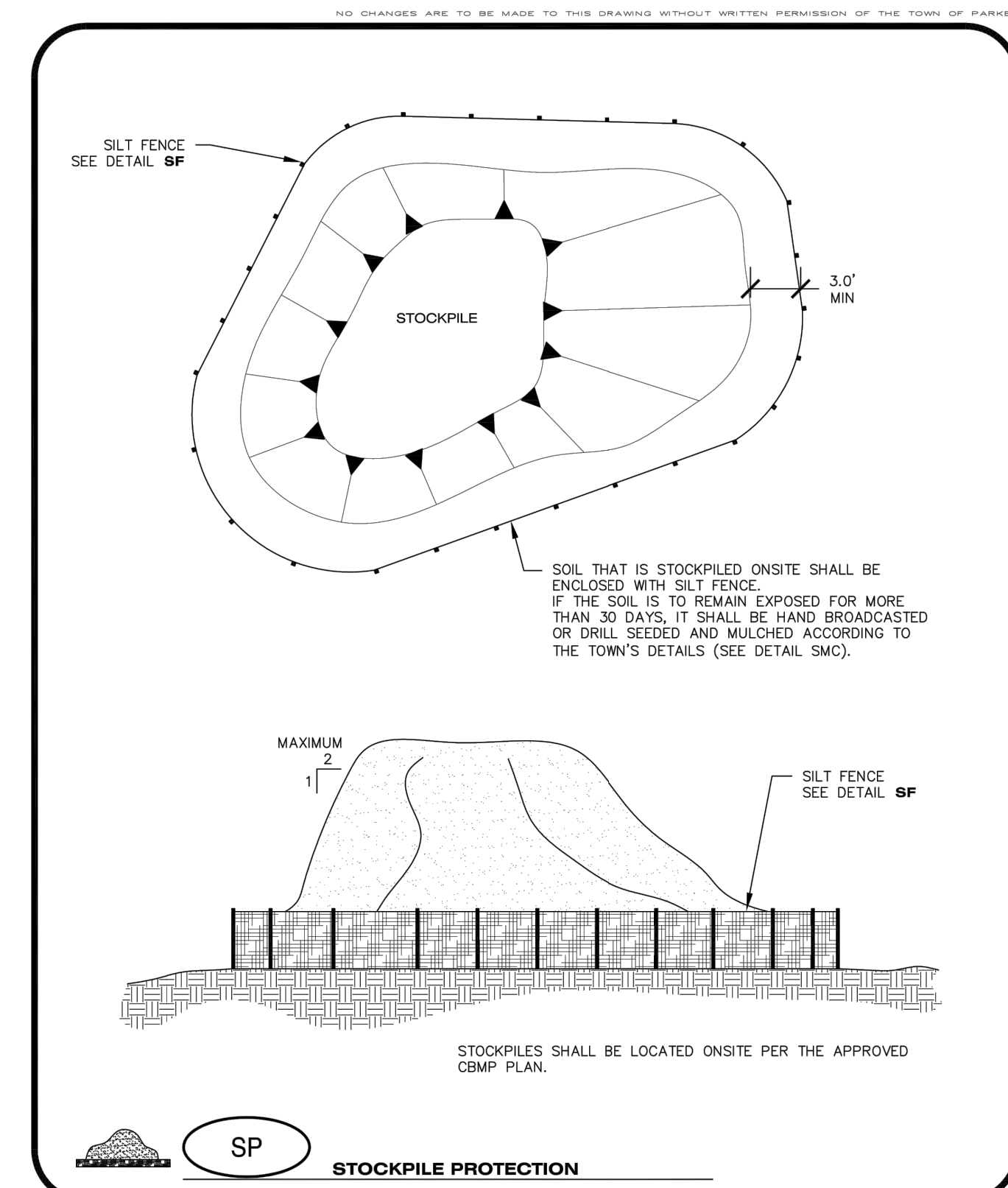
STABILIZED STAGING AREA INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE STAGING AREA.
- STABILIZED STAGING AREA SHALL BE ENLARGED AS NECESSARY TO CONTAIN PARKING, STORAGE, LOADING, AND UNLOADING.

CBMP SSA

CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 2

Town of Parker COLORADO Oct. 2013



CBMP SP

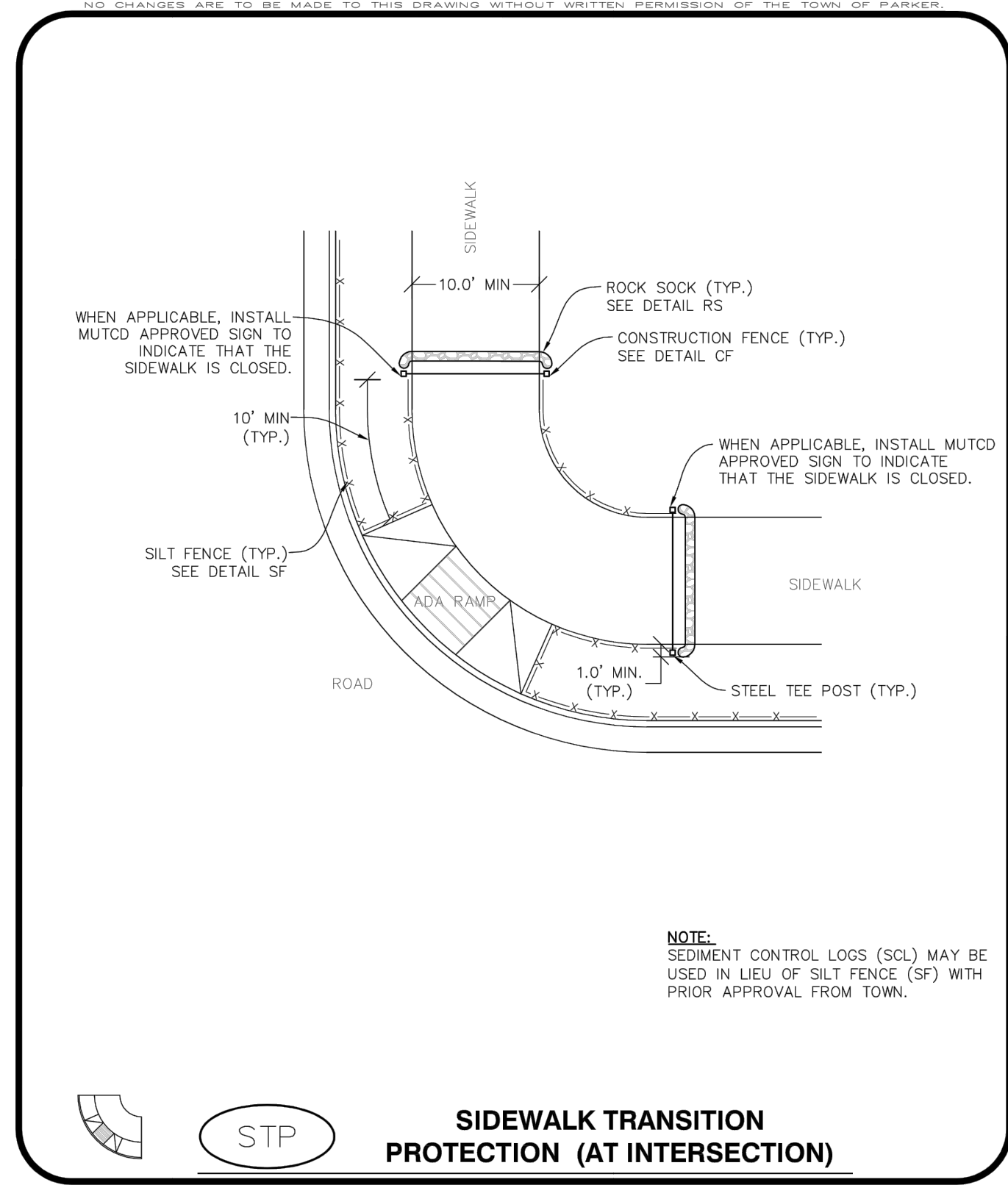
CONSTRUCTION BEST MANAGEMENT PRACTICES JUNE 2008

Town of Parker COLORADO

To allow for a proper and timely establishment of native grasses, temporary irrigation is required over all areas where permanent native seeding is proposed. This includes, but is not limited to: detention ponds, drainageways, park and trail areas, general open space, etc. In addition to the landscape plans, please show the temporary irrigation symbol (TI) on the CBMP Plan over all areas where permanent native seeding is proposed. As a reminder, when working within Parker Water and Sanitation District's (PWSD) jurisdiction, the following is required:

- Temporary irrigation for native seed must be supplied by a fire hydrant hook-up. Use of proposed/existing landscape irrigation taps is not allowed. Please indicate on the irrigation plans fire hydrants that are to be used for the temporary irrigation mainline and provide a detail for the connection. This detail should show the hydrant, PRV, PWSD water meter, a 2" backflow assembly, a 2" x 2" cam lock for fire department quick disconnect and a support system for all components
- The following note must be shown on the Irrigation plan set "Temporary irrigation for establishment of native vegetation must be installed above ground, and removed immediately after establishment is complete, or in no case, any longer than one growing season." PWSD may allow temporary irrigation to continue for one additional growing season with prior approval.
- The following note must be shown on the Irrigation plan set "All temporary irrigation components including but not limited to mainlines, laterals, valves, heads and quick couplers must be installed above ground."
- All temporary irrigation components including but not limited to mainlines, laterals, valves, heads and quick couplers must be clearly labeled on the plans.
- Provide detail drawings for all above ground components including but not limited to mainlines, laterals, valves, heads and quick couplers.

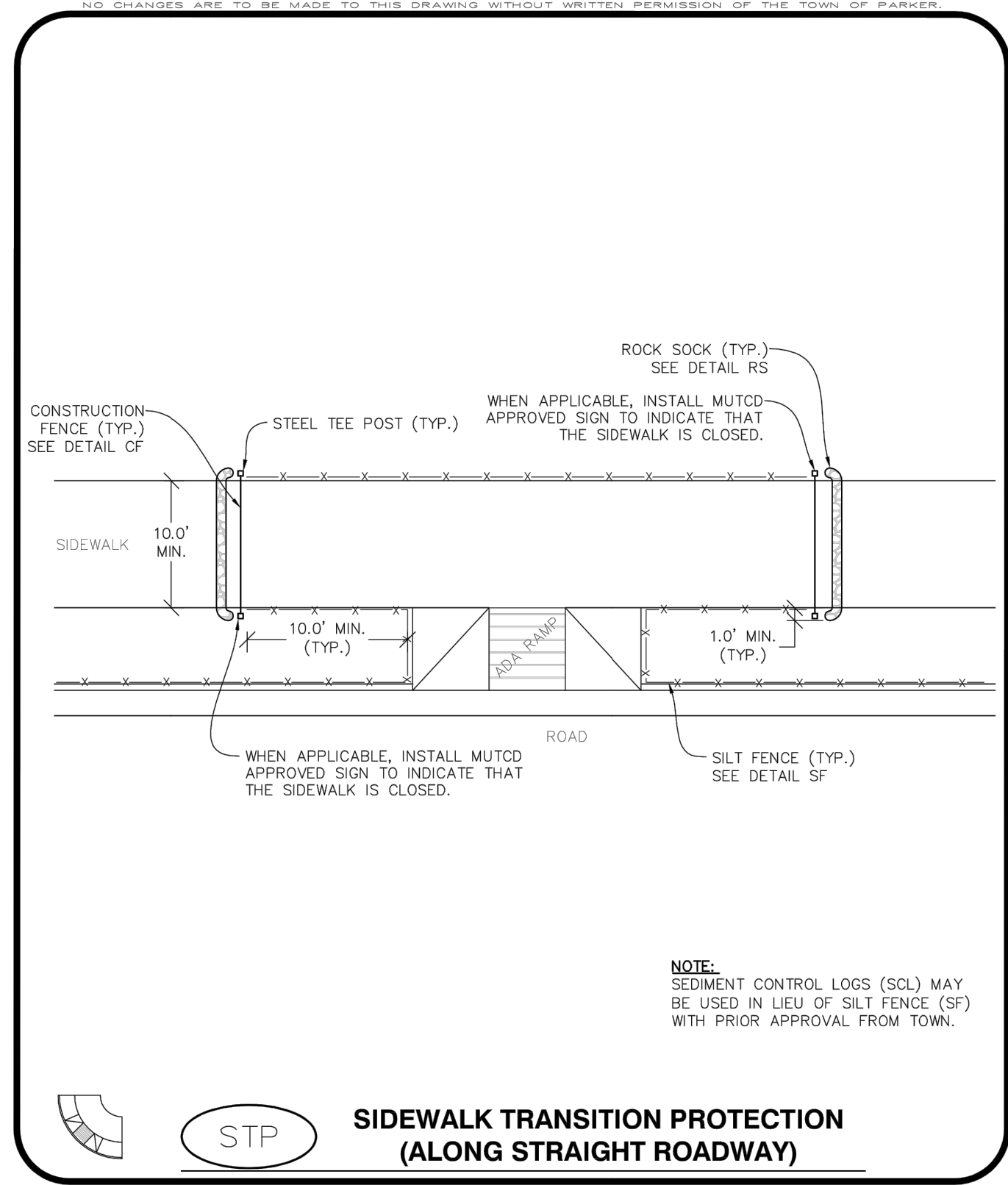
If the project is outside of PWSD's jurisdiction, check with the applicable water provider regarding their specific requirements for temporary irrigation.



CBMP STP

CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 3

Town of Parker COLORADO Oct. 2013



CBMP STP

CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 3

Town of Parker COLORADO Oct. 2013

SIDEWALK TRANSITION PROTECTION INSTALLATION NOTES

- SEE PLAN VIEW FOR LOCATION(S) OF SIDEWALK TRANSITION PROTECTION.
- ROCK SOCK SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL (SEE DETAIL RS).
- SILT FENCE SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL (SEE DETAIL SF).
- CONSTRUCTION FENCE SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL (SEE DETAIL CF).
- SEDIMENT CONTROL LOGS MAY BE USED IN LIEU OF SILT FENCE WITH PRIOR APPROVAL FROM THE TOWN.

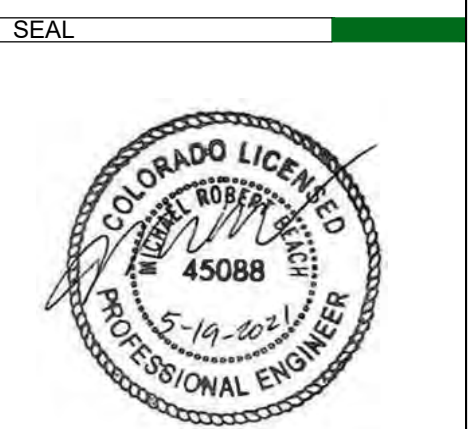
SIDEWALK TRANSITION PROTECTION INSPECTION & MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SIDEWALK TRANSITION INSPECTION.

CBMP STP

CONSTRUCTION BEST MANAGEMENT PRACTICES 3 OF 3

Town of Parker COLORADO



PROJECT TITLE
RETAIL

LOT 2, BLOCK 1
HORSESHOE RIDGE
PARKER, CO 80134

PREPARED FOR
BRYTAR COMPANIES

8117 PRESTON RD. #300
DALLAS, TX 75225

SUBMITTAL
CONSTRUCTION DOCS.

DRAWN BY:	BSA
CHECKED BY:	MRB
PROJECT NO.:	18-075-001
REVISIONS	
2ND SUBMITTAL	10/30/2019
3RD SUBMITTAL	02/18/2020
4TH SUBMITTAL	04/01/2020

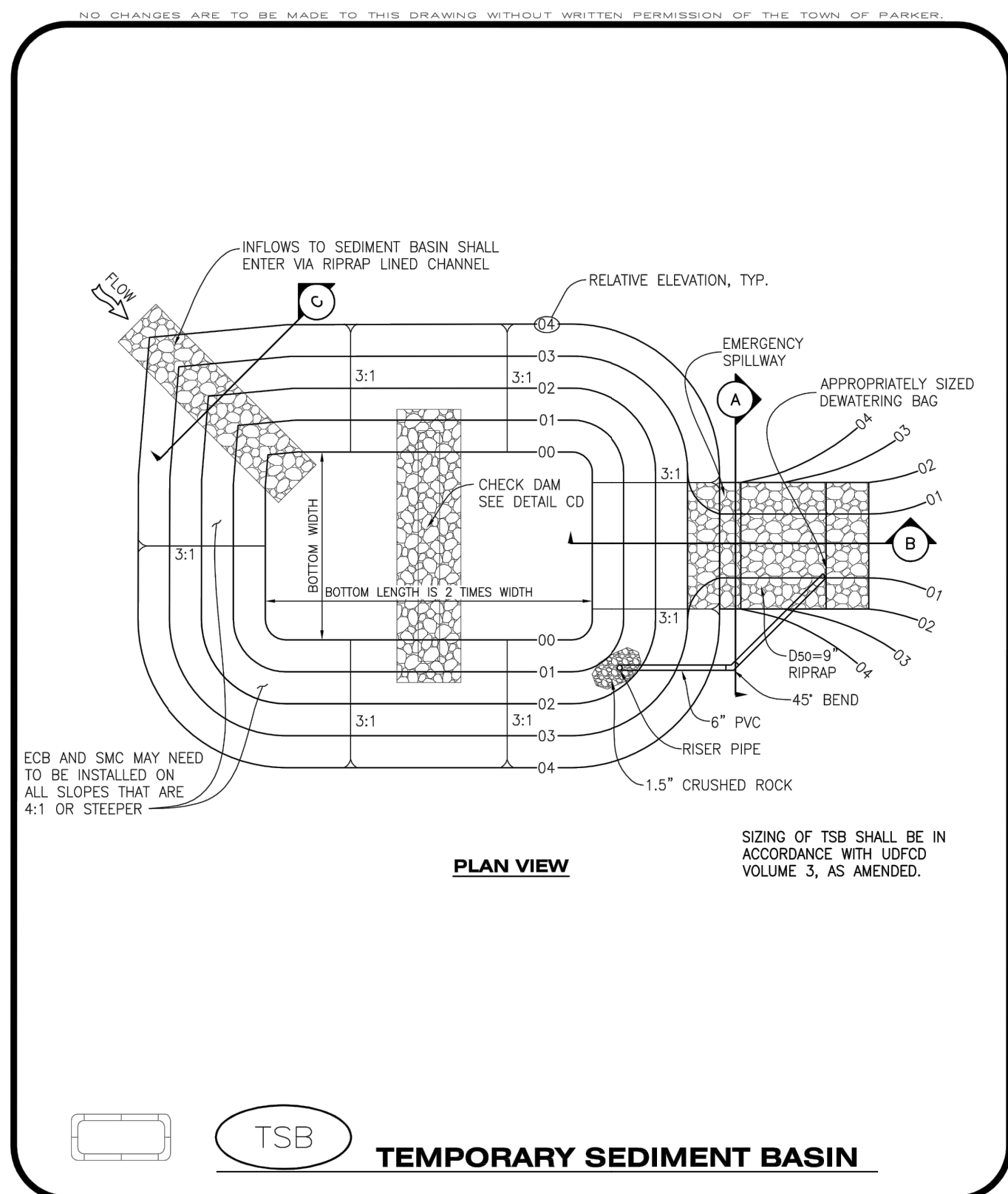
2 REV 2 - DETAIL CHANGE 3/10/22

DATE
01/04/2022

SHEET TITLE
BMP DETAILS

SHEET INFORMATION
ER-2.9

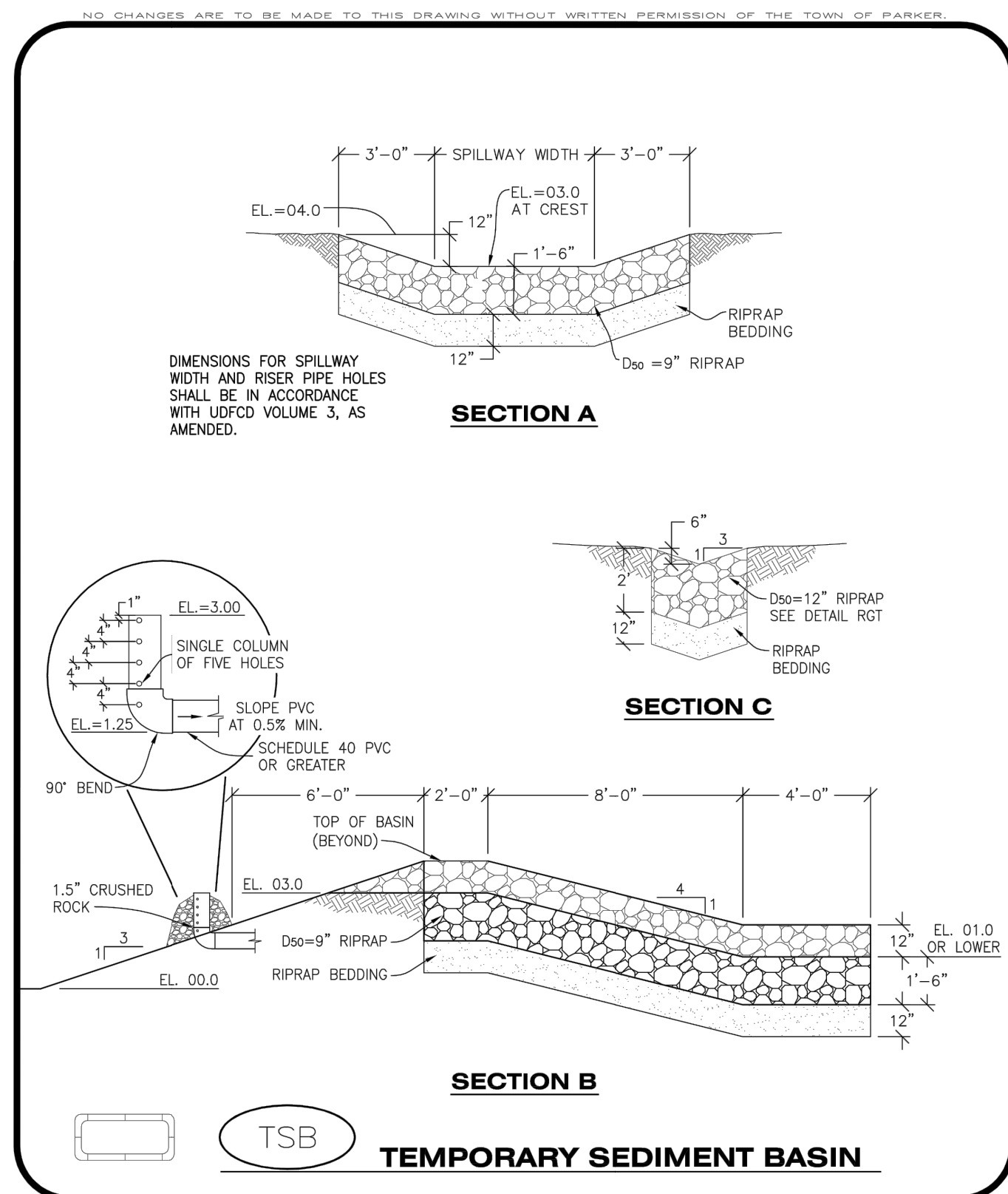
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CBMP

TSB
 1 OF 3
 Oct. 2013

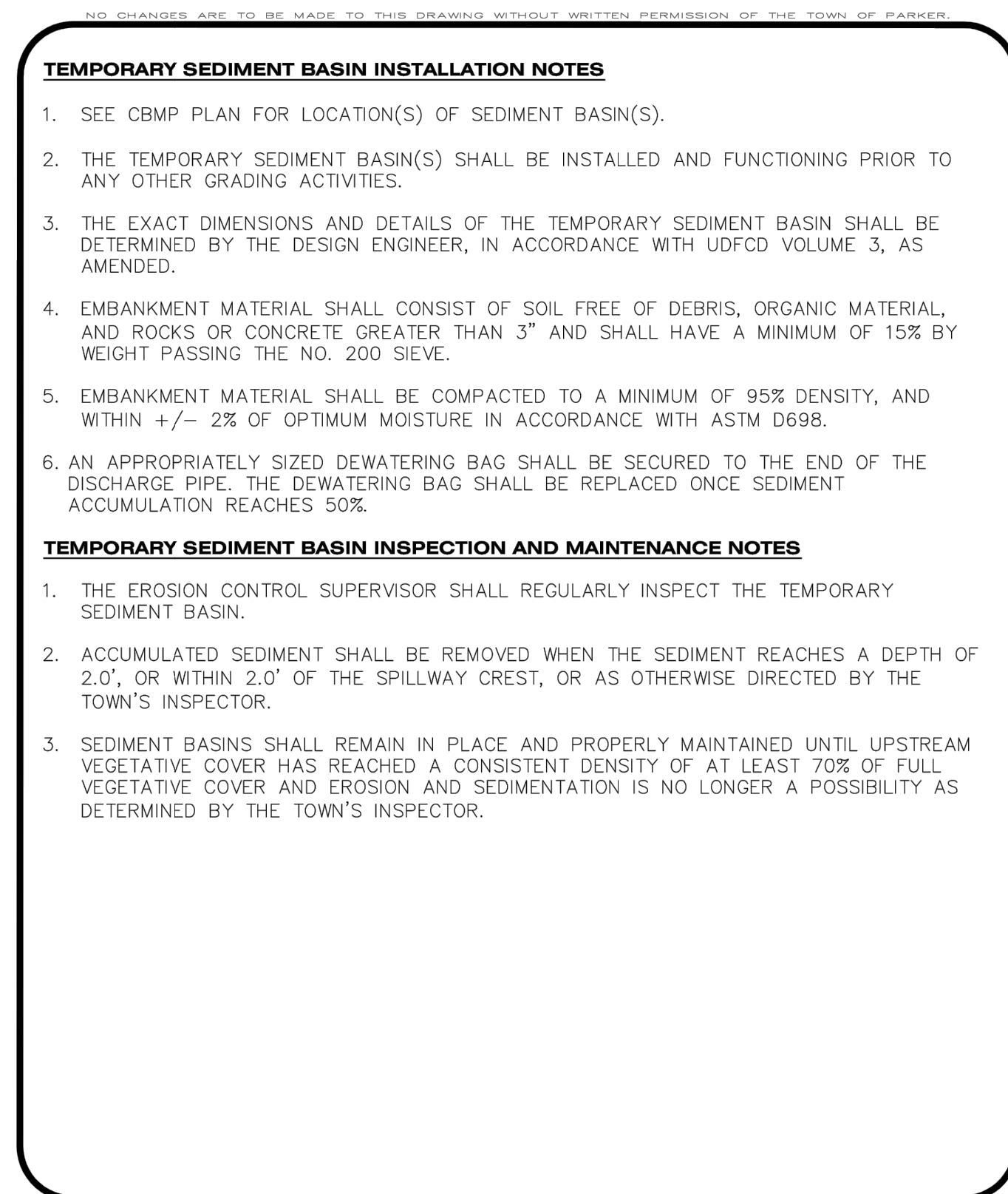
CONSTRUCTION BEST MANAGEMENT PRACTICES



CBMP

TSB
 2 OF 3
 Oct. 2013

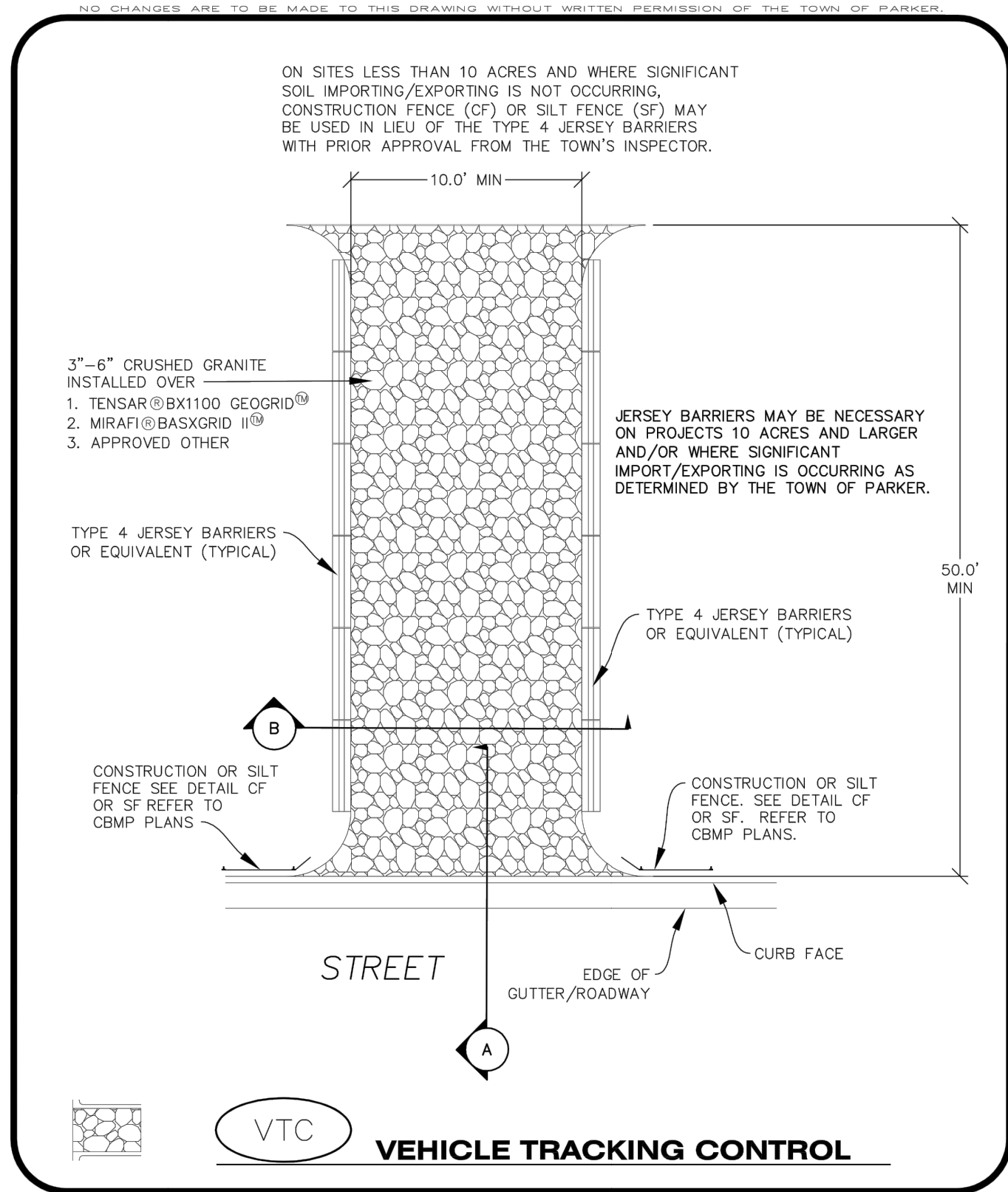
CONSTRUCTION BEST MANAGEMENT PRACTICES



CBMP

TSB
 3 OF 3
 Oct. 2013

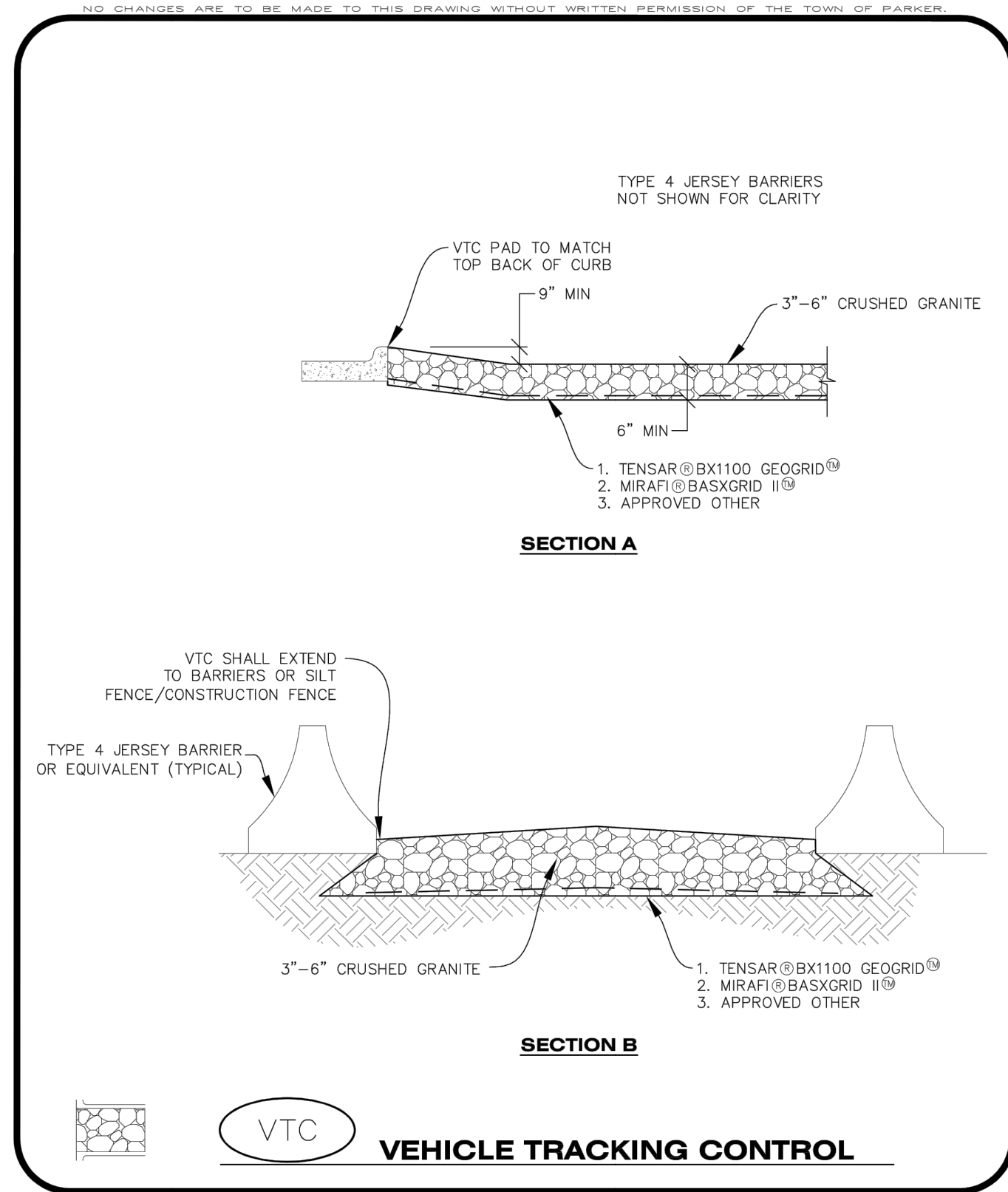
CONSTRUCTION BEST MANAGEMENT PRACTICES



CBMP

VTC
 1 OF 3
 Oct. 2013

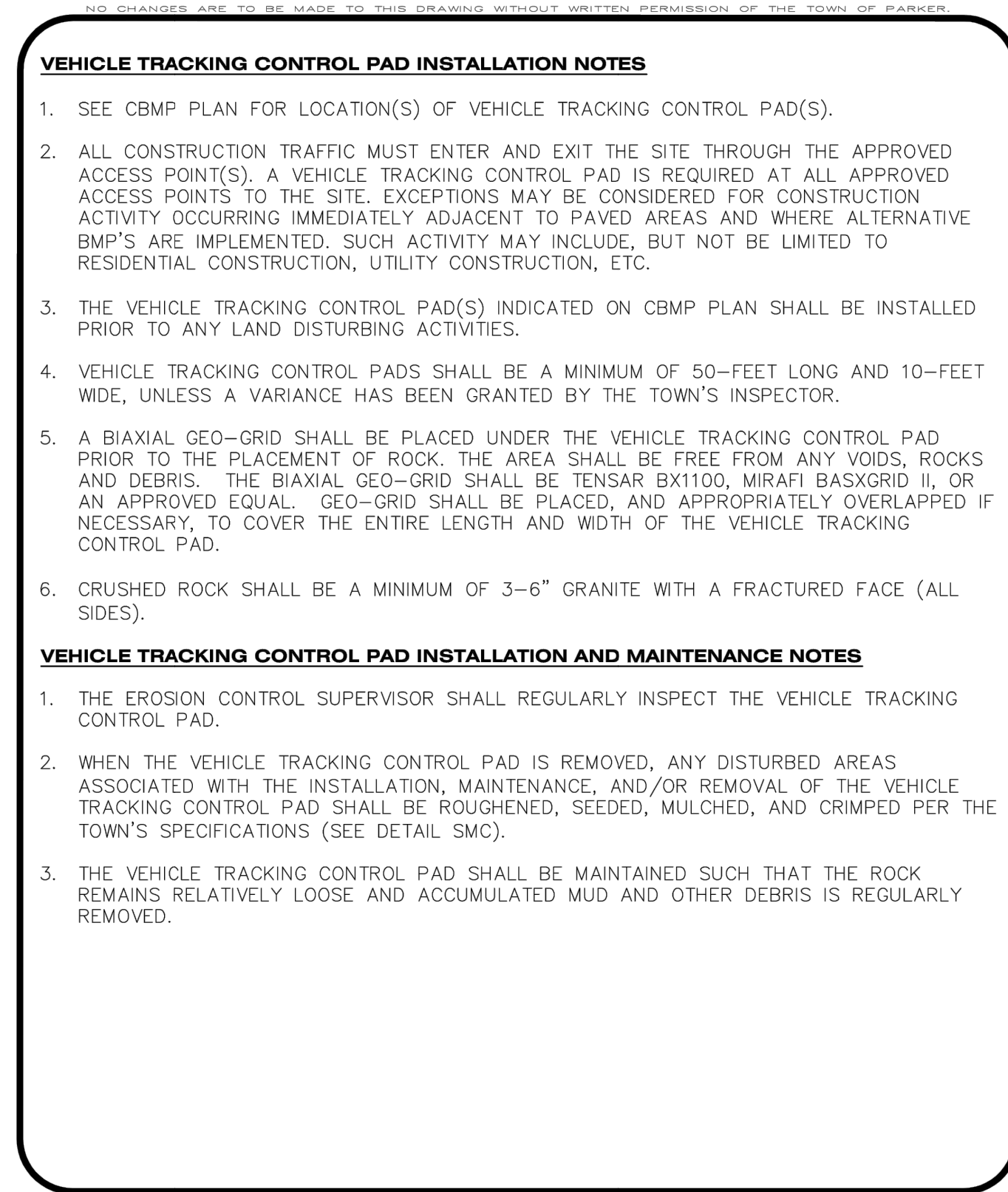
CONSTRUCTION BEST MANAGEMENT PRACTICES



CBMP

VTC
 2 OF 3
 Oct. 2013

CONSTRUCTION BEST MANAGEMENT PRACTICES



CBMP

VTC
 3 OF 3
 Oct. 2013

CONSTRUCTION BEST MANAGEMENT PRACTICES

LOGO

RIDGETOP
ENGINEERING & SURVEYING
541 E. Garden Drive, Unit N Windsor, CO 80550
T 970.683.4852 W ridgetopeng.com

SEAL

COLORADO LICENSED PROFESSIONAL ENGINEER
45088
5-19-20

PROJECT TITLE

RETAIL

PREPARED FOR

BRYTAR COMPANIES

LOT 2, BLOCK 1
HORSESHOE RIDGE
PARKER, CO 80134

8117 PRESTON RD. #300
DALLAS, TX 75225

SUBMITTAL

CONSTRUCTION DOCS.

DRAWN BY: BSA
CHECKED BY: MRB
PROJECT NO.: 18-075-001

REVISIONS

2ND SUBMITTAL	10/30/2019
3RD SUBMITTAL	02/18/2020
4TH SUBMITTAL	04/01/2020

DATE

01/04/2022

SHEET TITLE

BMP DETAILS

SHEET INFORMATION

ER-2.10

14 of 19

CASE NUMBER: Z_____

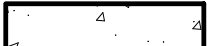




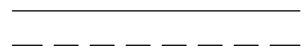


HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

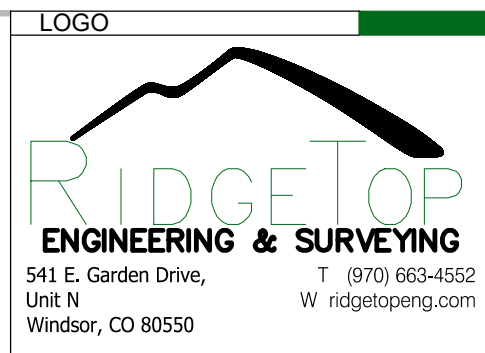
LOT 2, BLOCK 1, HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

A PARCEL OF LAND LOCATED IN THE SE 1/4 OF SECTION 28, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN

CONSTRUCTION DOCUMENTS

LEGEND

-  CONCRETE PAVEMENT
-  STANDARD DUTY ASPHALT PAVEMENT
-  CONCRETE SIDEWALK PAVEMENT
-  LANDSCAPED AREA
-  PROPERTY LINE
-  CONCRETE CURB & GUTTER
-  EASEMENT
-  BUILDING SETBACK



PROJECT TITLE
RETAIL

LOT 2, BLOCK 1
HORSESHOE RIDGE
PARKER, CO 80134

PREPARED FOR
BRYTAR COMPANIES

8117 PRESTON RD. #300
DALLAS, TX 75225

SUBMITTAL
CONSTRUCTION DOCS.

DRAWN BY: BSA
CHECKED BY: MRB
PROJECT NO.: 18-075-001

REVISIONS
2ND SUBMITTAL 10/30/2019
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2 REV 2 - DETAIL CHANGE 3/10/22

DATE
01/04/2022

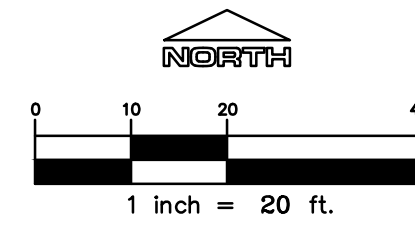
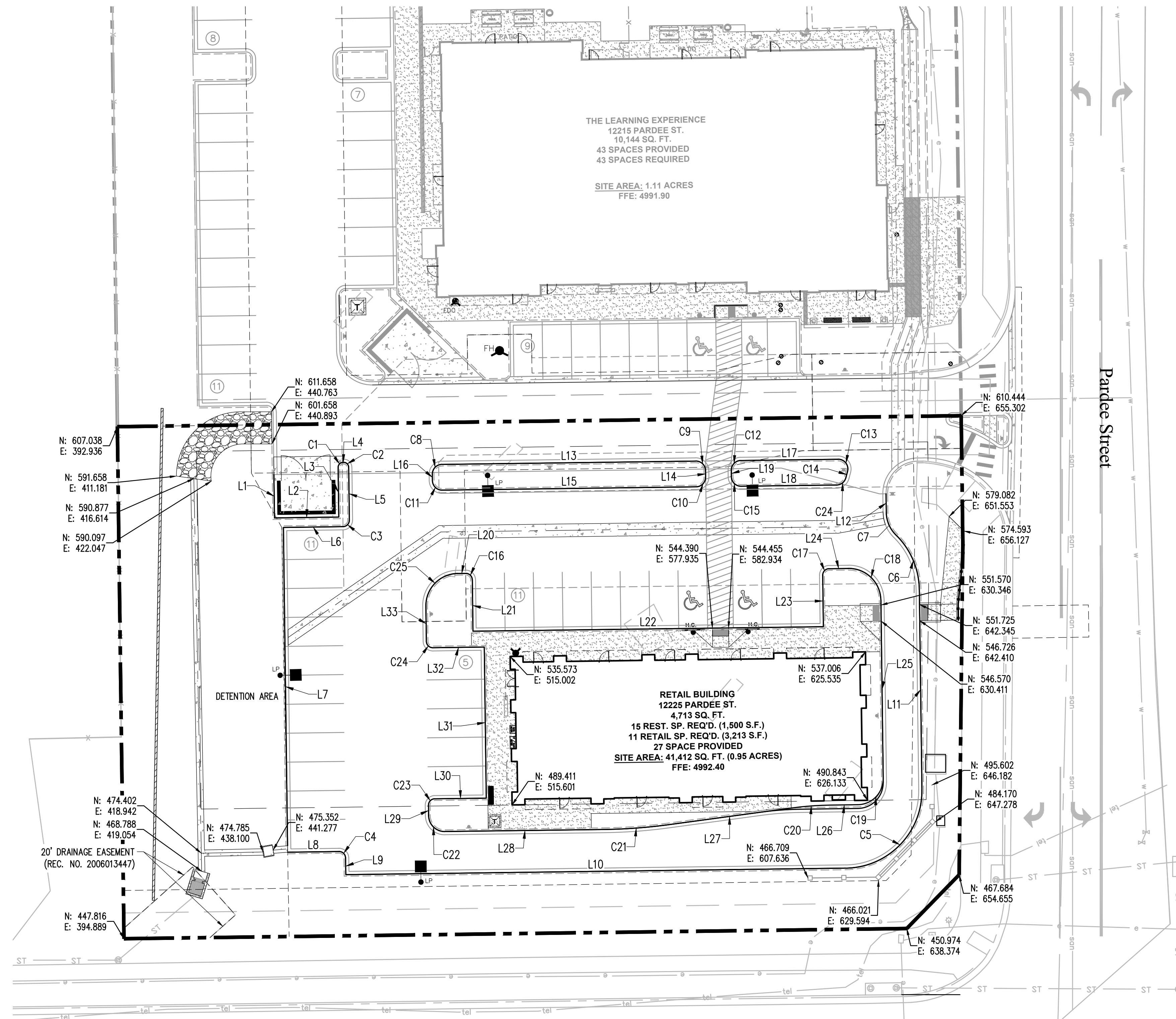
SHEET TITLE
HORIZONTAL CONTROL

SHEET INFORMATION
C-1.1

16 of 19

Tag	Length	Bearing/Delta	Radius	N&E START	N&E END
C1	2.36'	90.00	1.50'	N: 595.90 E: 462.97	N: 594.38 E: 461.49
C2	2.36'	90.00	1.50'	N: 594.43 E: 464.78	N: 595.91 E: 463.26
C3	3.14'	90.00	2.00'	N: 575.94 E: 463.02	N: 577.97 E: 464.99
C4	3.14'	90.00	2.00'	N: 472.95 E: 463.81	N: 474.92 E: 461.78
C5	37.70'	90.00	24.00'	N: 494.06 E: 643.09	N: 469.76 E: 619.41
C6	18.40'	43.71	24.11'	N: 573.02 E: 635.37	N: 556.45 E: 642.28
C7	8.33'	47.75	10.00'	N: 580.38 E: 632.00	N: 573.02 E: 635.37
C8	4.71'	90.00	3.00'	N: 592.26 E: 490.81	N: 595.30 E: 493.77
C9	4.71'	90.00	3.00'	N: 596.33 E: 572.76	N: 593.37 E: 575.80
C10	4.71'	90.00	3.00'	N: 591.37 E: 575.83	N: 588.33 E: 572.86
C11	4.71'	90.00	3.00'	N: 587.30 E: 493.87	N: 590.26 E: 490.83
C12	4.71'	90.00	3.00'	N: 593.47 E: 583.80	N: 596.51 E: 586.76
C13	5.64'	107.75	3.00'	N: 596.90 E: 617.02	N: 593.02 E: 619.93
C14	1.84'	4.58	23.00'	N: 593.02 E: 619.93	N: 591.25 E: 619.46
C15	4.71'	90.00	3.00'	N: 588.51 E: 586.86	N: 591.47 E: 583.82
C16	3.14'	90.00	2.00'	N: 561.40 E: 501.21	N: 559.42 E: 503.23
C17	3.14'	90.00	2.00'	N: 560.84 E: 612.22	N: 562.86 E: 614.20
C18	15.71'	90.00	10.00'	N: 562.94 E: 620.20	N: 553.07 E: 630.33
C19	12.57'	90.00	8.00'	N: 497.58 E: 631.05	N: 489.47 E: 623.15
C20	12.17'	6.97	100.00'	N: 489.36 E: 614.74	N: 488.47 E: 602.61
C21	19.48'	6.97	160.00'	N: 483.22 E: 563.90	N: 481.78 E: 544.49
C22	7.85'	90.00	5.00'	N: 481.14 E: 494.71	N: 486.07 E: 489.64
C23	3.14'	90.00	2.00'	N: 489.28 E: 489.60	N: 491.31 E: 491.57
C24	3.14'	90.00	2.00'	N: 538.30 E: 490.96	N: 540.28 E: 488.94
C24	4.02'	76.83	3.00'	N: 591.25 E: 619.46	N: 588.89 E: 616.57
C25	15.71'	90.00	10.00'	N: 551.23 E: 488.80	N: 561.36 E: 498.67
L1	13.46'	N0° 44' 33"W		N: 578.67 E: 441.69	N: 592.12 E: 441.52
L2	20.00'	S89° 15' 23"W		N: 578.93 E: 461.69	N: 578.67 E: 441.69
L3	15.46'	S0° 44' 33"E		N: 594.38 E: 461.49	N: 578.93 E: 461.69
L4	0.29'	S89° 15' 27"W		N: 595.91 E: 463.26	N: 595.90 E: 462.97

Tag	Length	Bearing/Delta	Radius	N&E START	N&E END
L5	16.46'	N0° 44' 33"W		N: 577.97 E: 464.99	N: 594.43 E: 464.78
L6	18.54'	N89° 15' 27"E		N: 575.70 E: 444.48	N: 575.94 E: 463.02
L7	99.00'	N0° 44' 33"W		N: 476.71 E: 445.76	N: 575.70 E: 444.48
L8	16.00'	S89° 15' 27"W		N: 474.92 E: 461.78	N: 474.71 E: 445.79
L9	5.21'	N0° 44' 33"W		N: 467.74 E: 463.88	N: 472.95 E: 463.81
L10	155.54'	S89° 15' 23"W		N: 469.76 E: 619.41	N: 467.74 E: 463.88
L11	62.39'	S0° 44' 33"E		N: 556.45 E: 642.28	N: 494.06 E: 643.09
L12	5.79'	S0° 44' 33"E		N: 586.17 E: 631.92	N: 580.38 E: 632.00
L13	79.00'	N89° 15' 23"E		N: 595.30 E: 493.77	N: 596.33 E: 632.00
L14	2.00'	S0° 44' 33"E		N: 593.37 E: 575.80	N: 591.37 E: 575.83
L15	79.00'	S89° 15' 27"W		N: 588.33 E: 572.86	N: 587.30 E: 493.87
L16	2.00'	N0° 44' 33"W		N: 590.26 E: 490.83	N: 592.26 E: 490.81
L17	30.26'	N89° 15' 23"E		N: 596.51 E: 586.76	N: 596.90 E: 617.02
L18	29.71'	S89° 15' 27"W		N: 593.47 E: 616.57	N: 588.51 E: 586.86
L19	2.00'	N0° 44' 33"W		N: 591.47 E: 583.82	N: 593.47 E: 583.80
L20	2.54'	N89° 15' 27"E		N: 561.36 E: 498.67	N: 561.40 E: 501.21
L21	16.00'	S0° 44' 33"E		N: 559.42 E: 503.23	N: 543.42 E: 503.44
L22	109.00'	N89° 15' 27"E		N: 543.42 E: 503.44	N: 544.84 E: 612.43
L23	16.00'	N0° 44' 33"W		N: 544.84 E: 612.43	N: 560.84 E: 612.22
L24	6.00'	N89° 15' 27"E		N: 562.86 E: 614.20	N: 562.94 E: 620.20
L25	55.50'	S0° 44' 33"E		N: 553.07 E: 630.33	N: 497.58 E: 631.05
L26	8.41'	S89° 15' 23"W		N: 489.47 E: 623.15	N: 489.36 E: 614.74
L27	39.06'	S82° 16' 56"W		N: 488.47 E: 602.61	N: 483.22 E: 563.90
L28	49.79'	S89° 15' 23"W		N: 481.78 E: 544.49	N: 481.14 E: 494.71
L29	3.21'	N0° 44' 33"W		N: 486.07 E: 489.64	N: 489.28 E: 489.60
L30	16.00'	N89° 15' 27"E		N: 491.31 E: 491.57	N: 491.51 E: 507.57
L31	47.00'	N0° 44' 33"W		N: 491.51 E: 507.57	N: 538.51 E: 506.96
L32	16.00'	S89° 15' 27"W		N: 538.51 E: 506.96	N: 538.30 E: 490.96
L33	10.96'	N0° 44' 33"W		N: 540.28 E: 488.94	N: 551.23 E: 488.80



The Town of Parker review constitutes general compliance with the Town's Standards and approved variances, subject to these plans being stamped, signed, and dated by the professional engineer of record. Review by the Town does not constitute approval of the plan design or accuracy and correctness of engineering calculations. Errors in the design or calculations remain the responsibility of the registered professional engineer whose stamp and signature are affixed to this document.

This review does not constitute approval of any private on-site improvements which may be shown. Construction cannot commence until all required drainage/traffic report(s), final development plan(s), special review(s), grading permit, and/or other permits are complete, approved and on file with the Town of Parker.

Town of Parker, Director of Engineering Date

File: RE - CO - ROPAH11CH.dwg Path: P:\Colorado\Brytar\Brytar\PARKEE TLE - 18-075-001\Drawings\ Plotted by: eac01ston Date: 10-Mar-22 3:58:49pm

HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

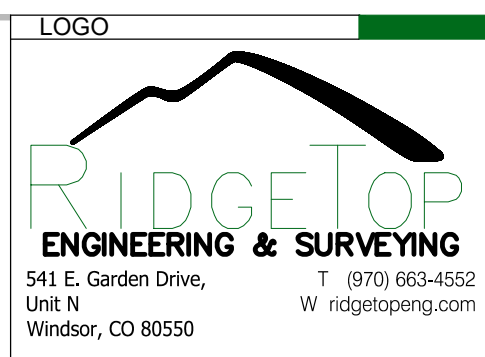
LOT 2, BLOCK 1, HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

A PARCEL OF LAND LOCATED IN THE SE 1/4 OF SECTION 28, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN

CONSTRUCTION DOCUMENTS

LEGEND

EX. CONTOUR	
PROPOSED CONTOUR	
PROPERTY LINE	
SPOT ELEVATION	6632
TOP OF CURB	TC
FLOW LINE	FL
MATCH EXISTING	ME



PROJECT TITLE
RETAIL

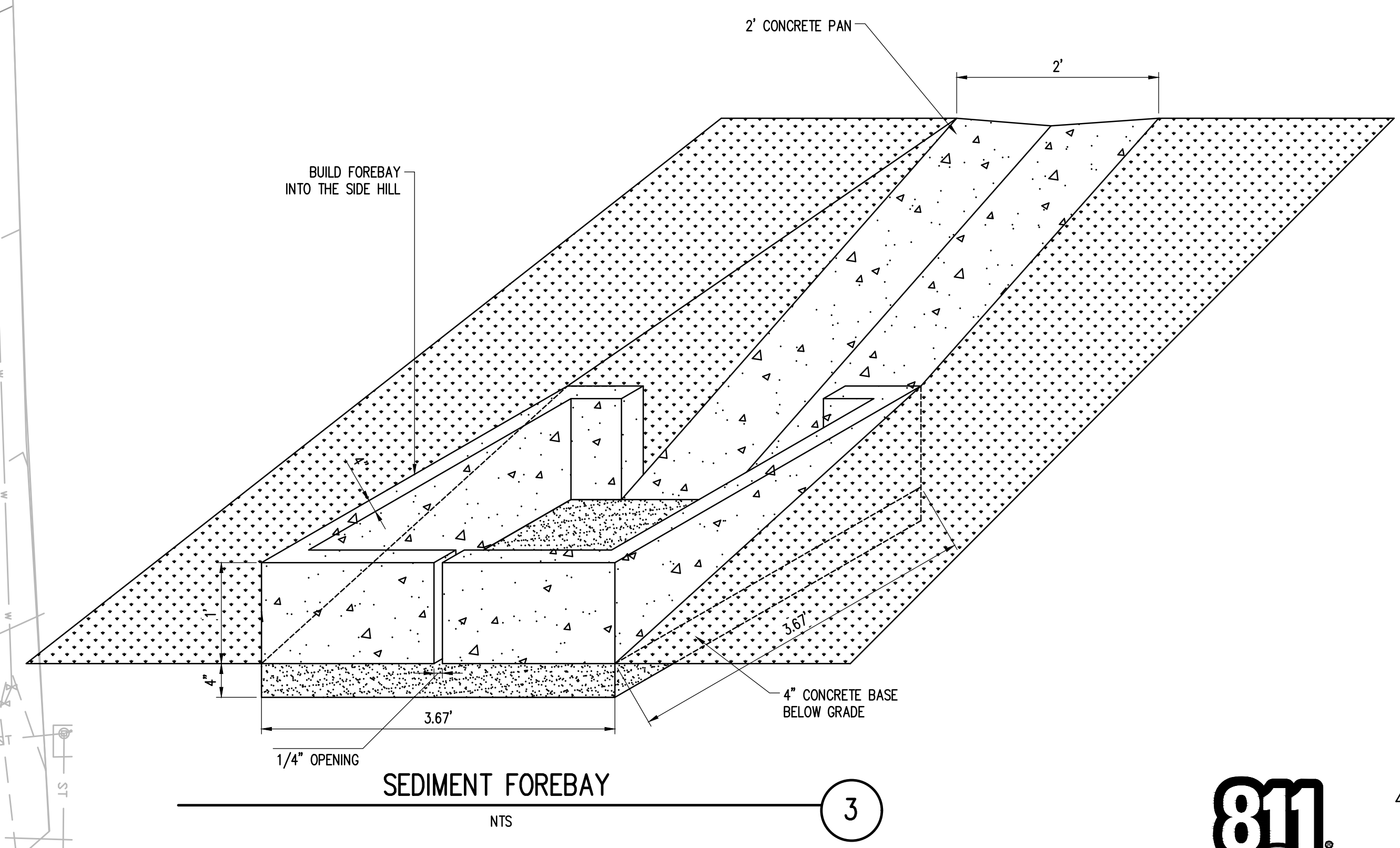
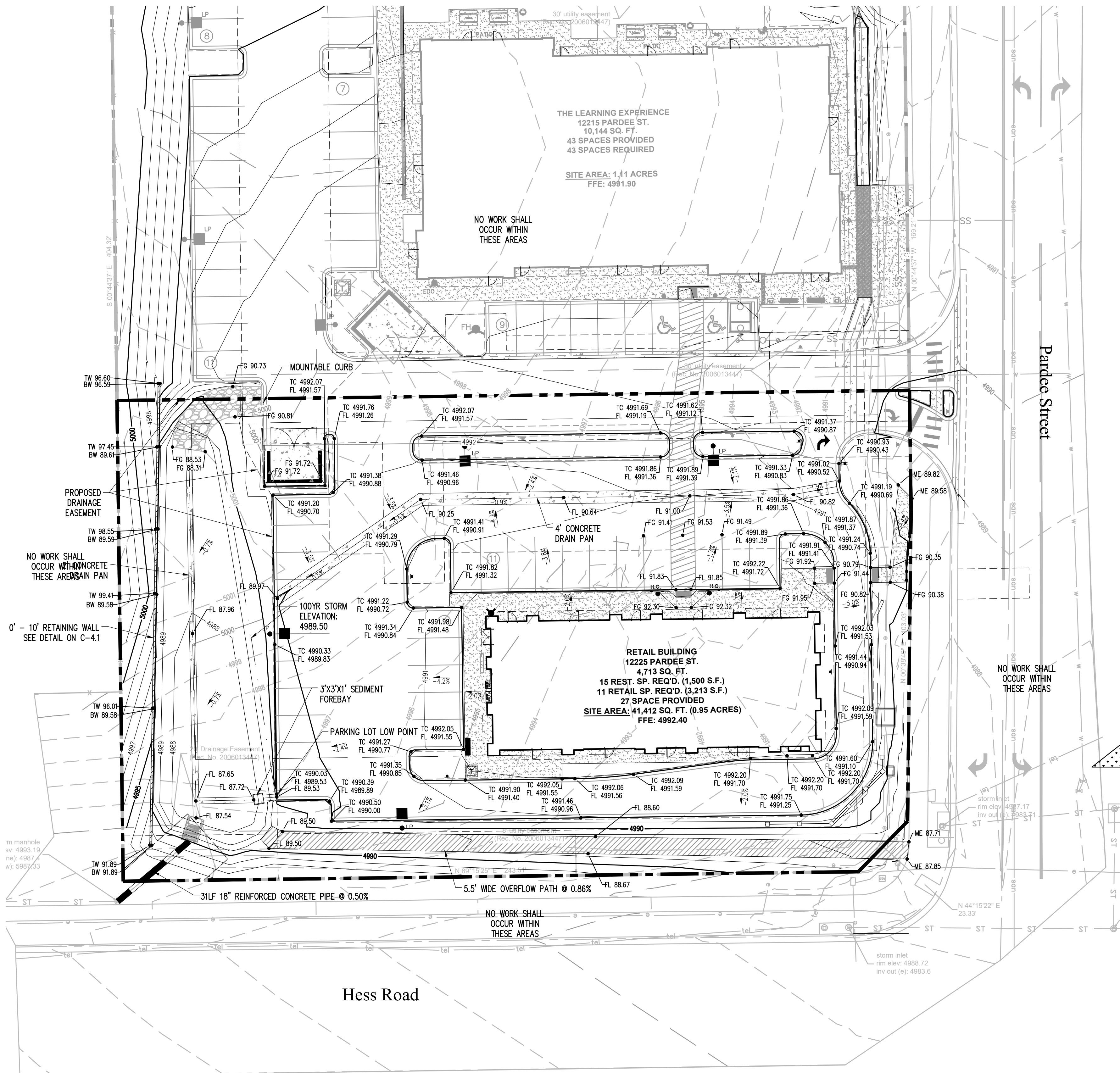
LOT 2, BLOCK 1
HORSESHOE RIDGE
PARKER, CO 80134

PREPARED FOR
**BRYTAR
COMPANIES**

8117 PRESTON RD. #300
DALLAS, TX 75225

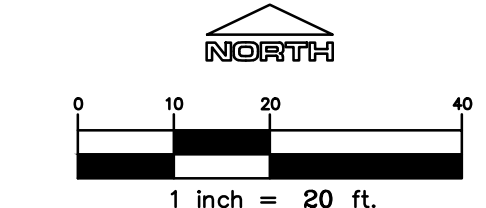
GRADING NOTES

- THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THE PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED SITEWORK IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITEWORK WHICH WOULD BE AFFECTED. IF CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CAUTION - NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED AT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- THE SPOT ELEVATIONS INDICATED ON THIS PLAN REPRESENT THE DESIGN TOP OF PAVEMENT, UNLESS OTHERWISE NOTED.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS WITH GRASS IN ACCORDANCE WITH LOCAL SPECIFICATION UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- ALL CUT AND FILL SLOPES SHALL BE CONSTRUCTED PER THE IBC CODE AND APPLICABLE LOCAL REGULATION. ALL CUT AND FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS AND SHALL GRADE ALL AREAS TO PRECLUDE PONDING OF WATER.
- ALL POLLUTANTS OTHER THAN SEDIMENT ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- PROPERTIES AND WATERWAYS DOWNSTREAM OF THE SITE SHALL BE PROTECTED FROM EROSION DUE TO INCREASES IN THE VOLUME, VELOCITY AND PEAK FLOW RATE OF STORMWATER RUNOFF FROM PROJECT SITE.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- CONTRACTOR TO REMOVE UNSUITABLE SOILS LOCATED WITHIN THE BUILDINGS SPLAY LINE OF THE FOOTINGS.
- FOR BOUNDARY AND TOPOGRAPHIC INFORMATION REFER TO PROJECT SURVEY.
- FOR LAYOUT INFORMATION REFER TO THE SITE PLAN AND HORIZONTAL CONTROL PLAN.



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Town of Parker, Director of Engineering _____ Date _____

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SUBMITTAL
CONSTRUCTION DOCS.

DRAWN BY: BSA
CHECKED BY: MRB
PROJECT NO.: 18-075-001

REVISIONS
2ND SUBMITTAL 10/30/2019
3RD SUBMITTAL 02/18/2020
4TH SUBMITTAL 04/01/2020

REV 2 - DETAIL CHANGE 3/10/22

DATE
01/04/2022

SHEET TITLE
**GRADING
PLAN**

SHEET INFORMATION
C-2.0

HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

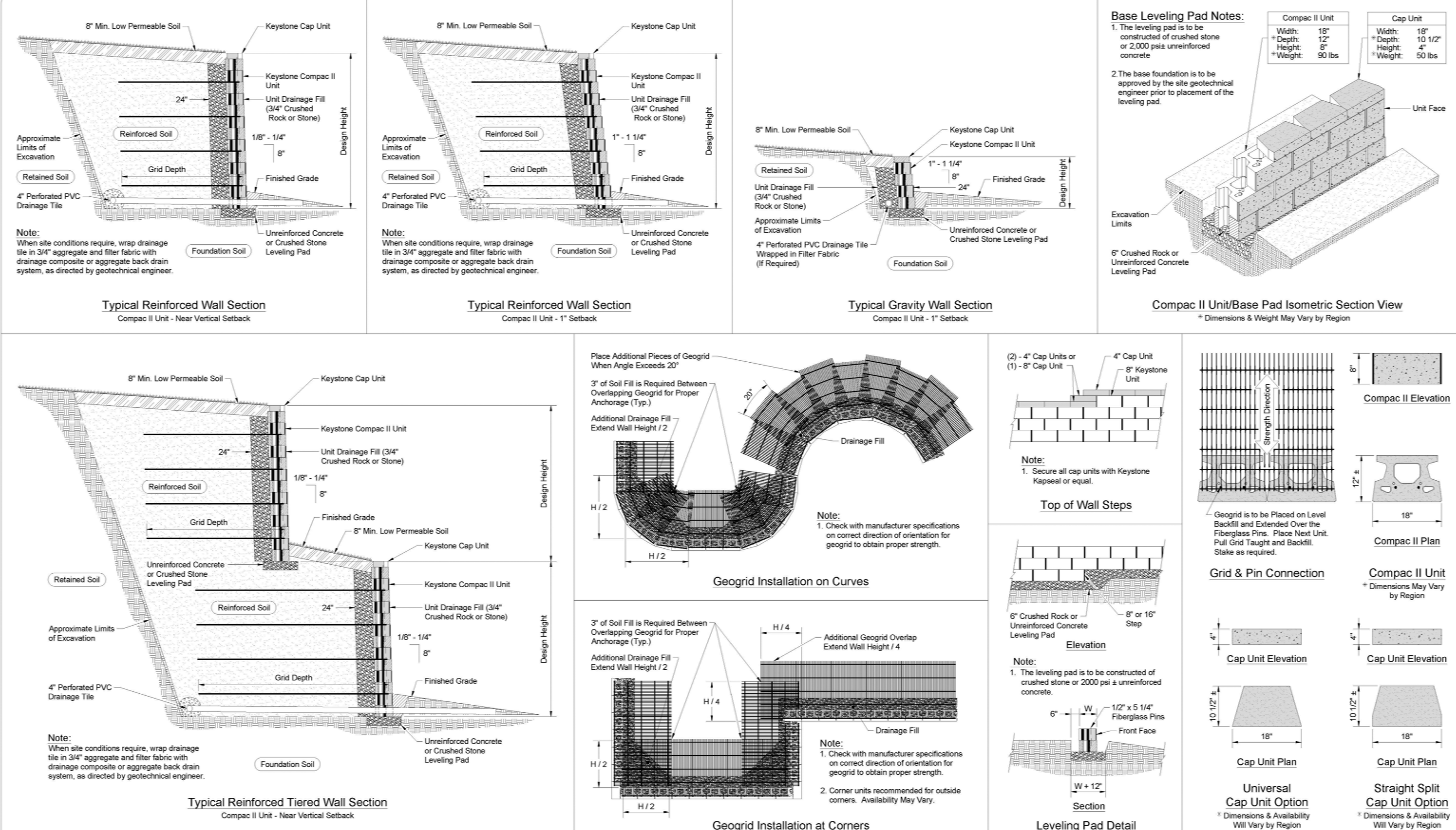
LOT 2, BLOCK 1, HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

A PARCEL OF LAND LOCATED IN THE SE 1/4 OF SECTION 28, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN

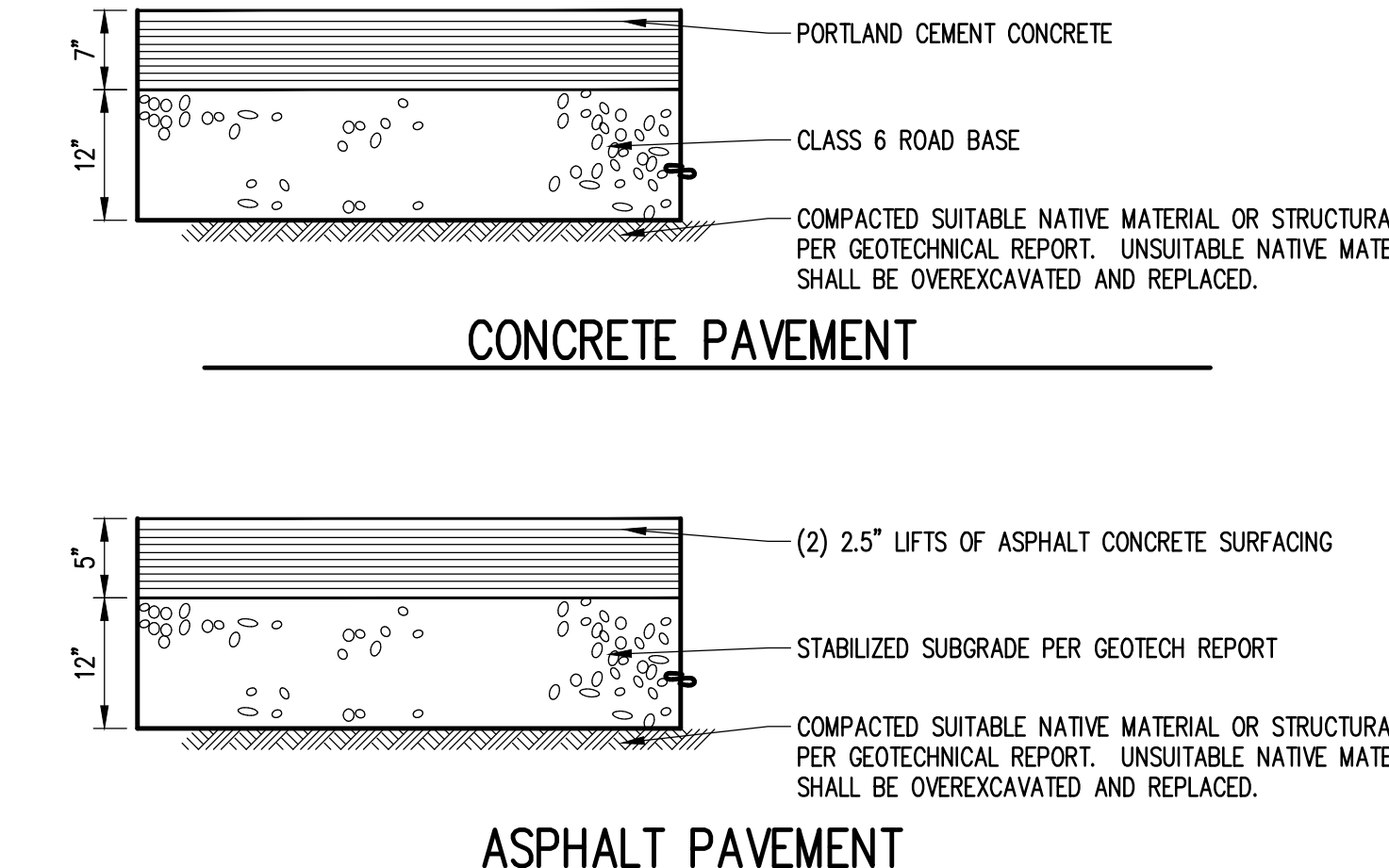
CONSTRUCTION DOCUMENTS

PAVEMENT NOTES

- MATERIAL THICKNESS IS COMPACTED DEPTH, APPLIES TO ALL SECTIONS.
- SURGRADE:** THE UPPER 3 FEET OF SUBGRADE MATERIAL HAS A POTENTIAL FOR EXPANSION UNDER LOW SURCHARGE PRESSURE. WE DO BELIEVE SWELL MITIGATION IS NECESSARY. BY MOPEC OR TOWN OF PARKER STANDARDS A MINIMUM OF 3 FEET OF THE SUBGRADE SHOULD BE MOISTURE TREATED, HOWEVER THIS WOULD BE EXPENSIVE FOR A PARKING LOT. ASSUMING THE OWNER CAN TOLERATE PAVEMENT MOVEMENT AND MORE FREQUENT MAINTENANCE, WE SUGGEST THAT TWO FEET OF THE SUBGRADE SOIL BE MOISTURE TREATED TO 0 TO + 4 PERCENT OF OPTIMUM MOISTURE AND RECOMPACTED TO 95 PERCENT OF THE MAXIMUM STANDARD PROCTOR DENSITY. AS AN ALTERNATE 12 INCHES OF AGGREGATE BASE COURSE MAY BE USED FOR MITIGATION BELOW THE PAVEMENT SECTION.
- AGGREGATE BASE COURSE:** SHOULD CONFORM TO THE REQUIREMENTS OF AASHTO M147 AND TO SECTION 703.03 OF THE COLORADO DEPARTMENT OF TRANSPORTATION (COOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND SHOULD MEET CLASS 6 GRADING AND QUALITY AS DEFINED BY THE COOT SPECIFICATIONS. THE AGGREGATE SHOULD HAVE A MINIMUM R-VALUE OF 78. THE ASPHALT AND AGGREGATE BASE COURSE ALSO SHOULD MEET ANY OTHER APPLICABLE TOWN OF PARKER STANDARDS. MATERIALS ALSO SHOULD MEET THE TOWN OF PARKER STANDARDS.
- ASPHALT:** THE ASPHALT SHOULD CONSIST OF A MIXTURE OF AGGREGATE, FILLER AND ASPHALT CEMENT ESTABLISHED BY A QUALIFIED ENGINEER. ASPHALT CEMENT WITH A PERFORMANCE GRADE OF 64-22 IS COMMONLY USED IN THIS AREA, AND WILL LIKELY BE ACCEPTABLE FOR THIS PROJECT. THE APPROPRIATE ASPHALT CEMENT CONTENT SHOULD BE DETERMINED BY THE MIX DESIGN. AN S MIX SHOULD BE USED ON THE LOWER LIFT, AND AN S OR S MIX (3/4-INCH AND 1/2-INCH NOMINAL, RESPECTIVELY) SHOULD BE USED IN THE TOP LIFT.
- CONCRETE:** WE RECOMMEND PORTLAND CEMENT CONCRETE WHERE TRASH TRUCKS SERVICE DUMPSTERS. A CONCRETE SECTION SHOULD BE 7 INCHES THICK UNDERLAIN BY 12 INCHES OF CLASS 6 ROAD BASE. A COOT P-MIX IS SATISFACTORY. WE DO NOT RECOMMEND CONCRETE FOR THE REMAINDER OF THE PAVEMENT—DUE TO THE EXPANSIVE POTENTIAL.
- ASPHALT SUBGRADE PREPARATION:** POINTS OF OPTIMUM PAVEMENT SUBGRADE CONDITIONS ARE PROJECTED TO GENERALLY CONSIST OF CLAY EXHIBITING POTENTIAL FOR EXPANSION UPON WETTING. TO LIMIT POTENTIALLY EXCESSIVE PAVEMENT MOVEMENT DUE TO POSSIBLE MOISTURE-RELATED EXPANSION OF CLAY, WE RECOMMEND THAT THE UPPER 24 INCHES OF THE CLAY UNDERLYING PAVEMENTS SHOULD BE REMOVED AND RE-COMPACTED WITH A MOISTURE CONTENT BETWEEN +2 AND +4 PERCENT AND RE-COMPACTED TO AT LEAST 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698).
- PROOF ROLL:** BEFORE PAVING, THE SUBGRADE SHOULD BE PROOF ROLLED WITH A HEAVILY LOADED, PNEUMATIC-TIRED VEHICLE. THE VEHICLE SHOULD HAVE A GROSS VEHICLE WEIGHT OF AT LEAST 50,000 POUNDS WITH A LOADED SINGLE AXLE WEIGHT OF 18,000 POUNDS AND A TIRE PRESSURE OF 100 PSI. AREAS WHICH DEFORM EXCESSIVELY UNDER HEAVY WHEEL LOADS ARE NOT STABLE AND SHOULD BE REMOVED AND REPLACED WITH SUITABLE MATERIAL TO ACHIEVE A STABLE SUBGRADE PRIOR TO PAVING OR PLACEMENT OF BASE COURSE.
- CONTRACTOR SHALL PROVIDE A PRIME COAT AND TACK COAT TO FACE OF CURB WHERE CURB CONTACTS ASPHALT.**
- ADDITIONAL REQUIREMENTS HAVE BEEN SET FORTH WITHIN THE GEOTECHNICAL REPORT. REFER TO THE GEOTECHNICAL REPORT FOR ALTERNATIVE PAVEMENT SECTIONS.



Designed By:	BOB	Title:	Compac II Unit - Straight Face Details	Date:	
Checked By:	CDM	Project:	Keystone Retaining Wall Systems	Project No.:	
Scale:	No Scale		Typical Wall Details	Drawing No.:	



RIDGETOP ENGINEERING & SURVEYING
541 E. Garden Drive, Windsor, CO 80550
Tel: 970-665-4652
www.ridgetopeng.com

SEAL

PROJECT TITLE
RETAIL

LOT 2, BLOCK 1
HORSESHOE RIDGE
PARKER, CO 80134

PREPARED FOR
BRYTAR COMPANIES

8117 PRESTON RD. #300
DALLAS, TX 75225

SUBMITTAL	
CONSTRUCTION DOCS.	
DRAWN BY:	BSA
CHECKED BY:	MRB
PROJECT NO.:	18-075-001
REVISIONS	
2ND SUBMITTAL	10/30/2019
3RD SUBMITTAL	02/18/2020
4TH SUBMITTAL	04/01/2020

2 REV 2 - DETAIL CHANGE 3/10/22

DATE
01/04/2022

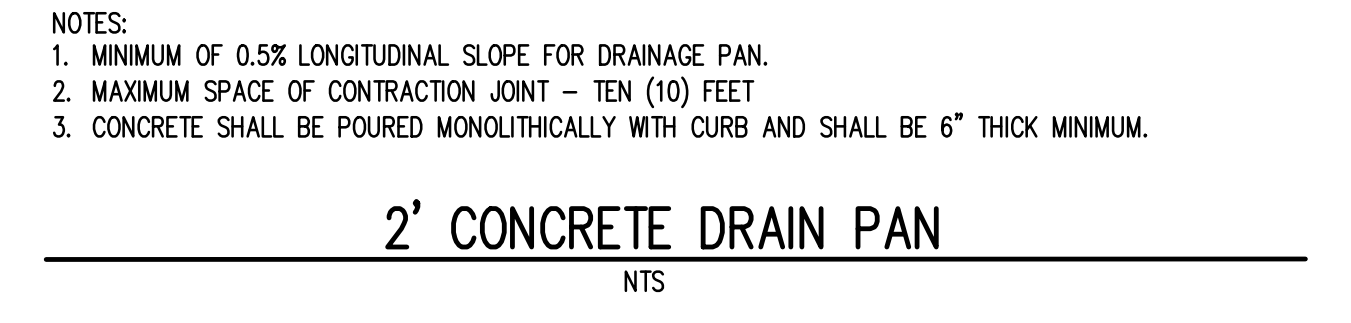
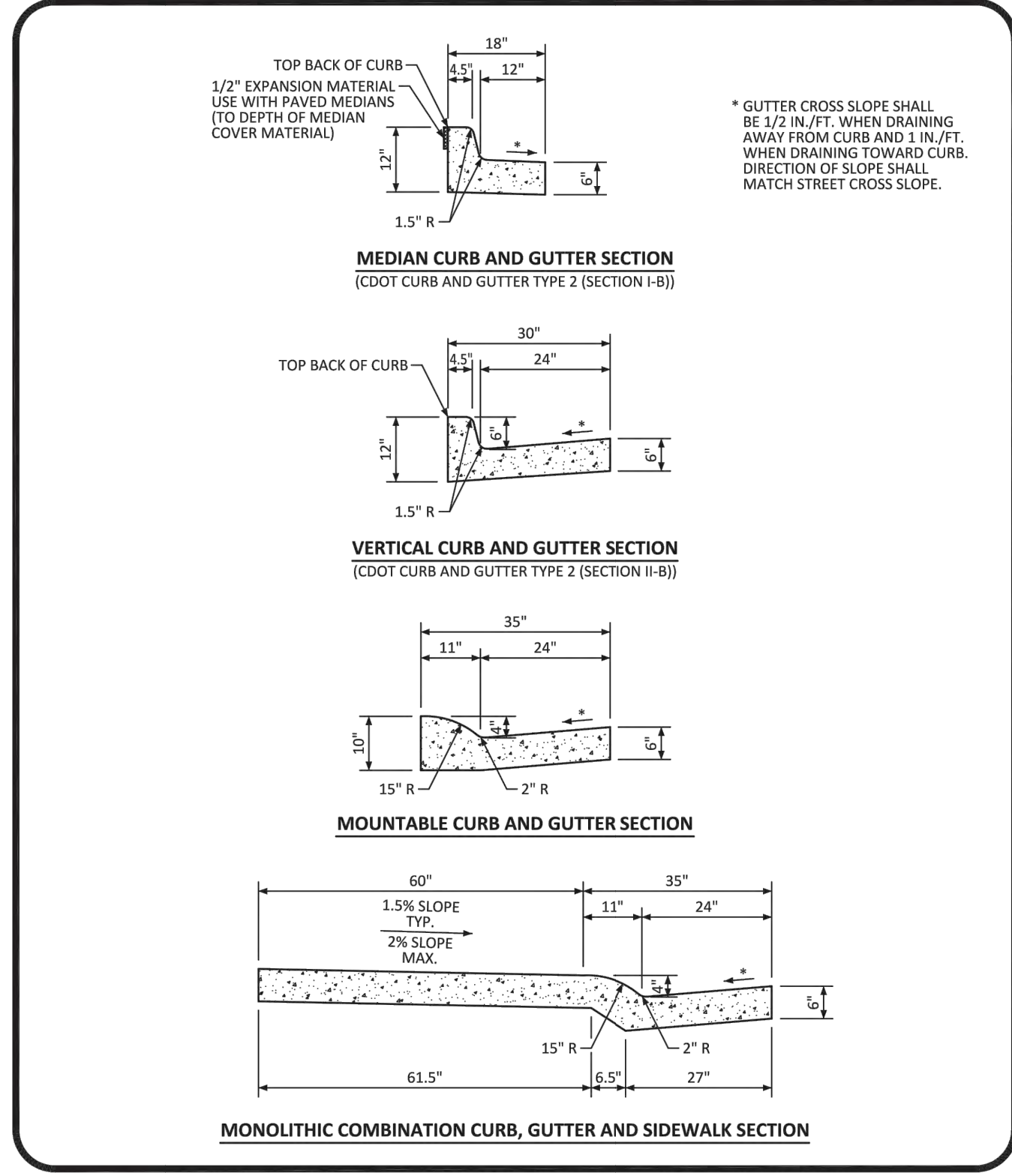
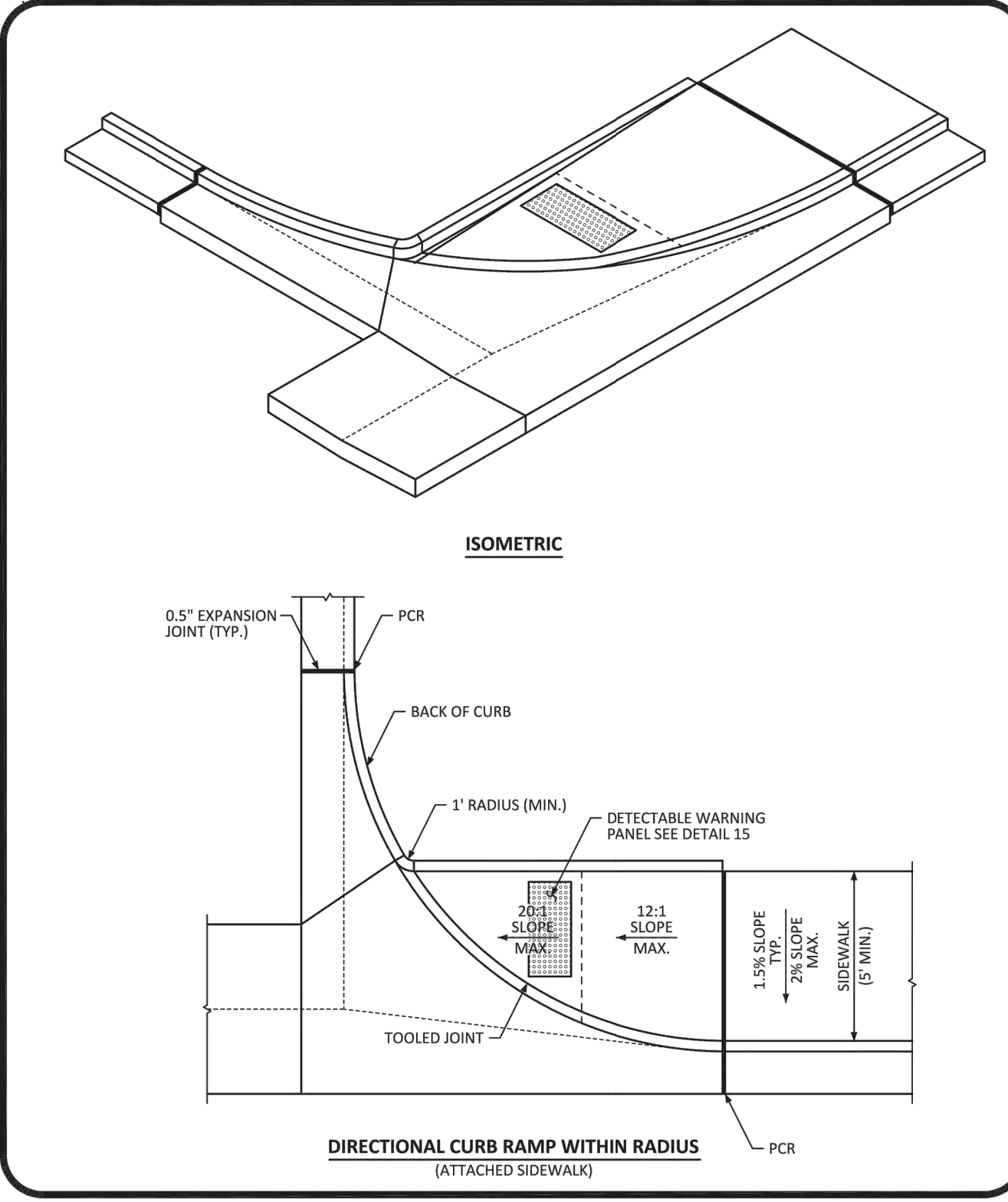
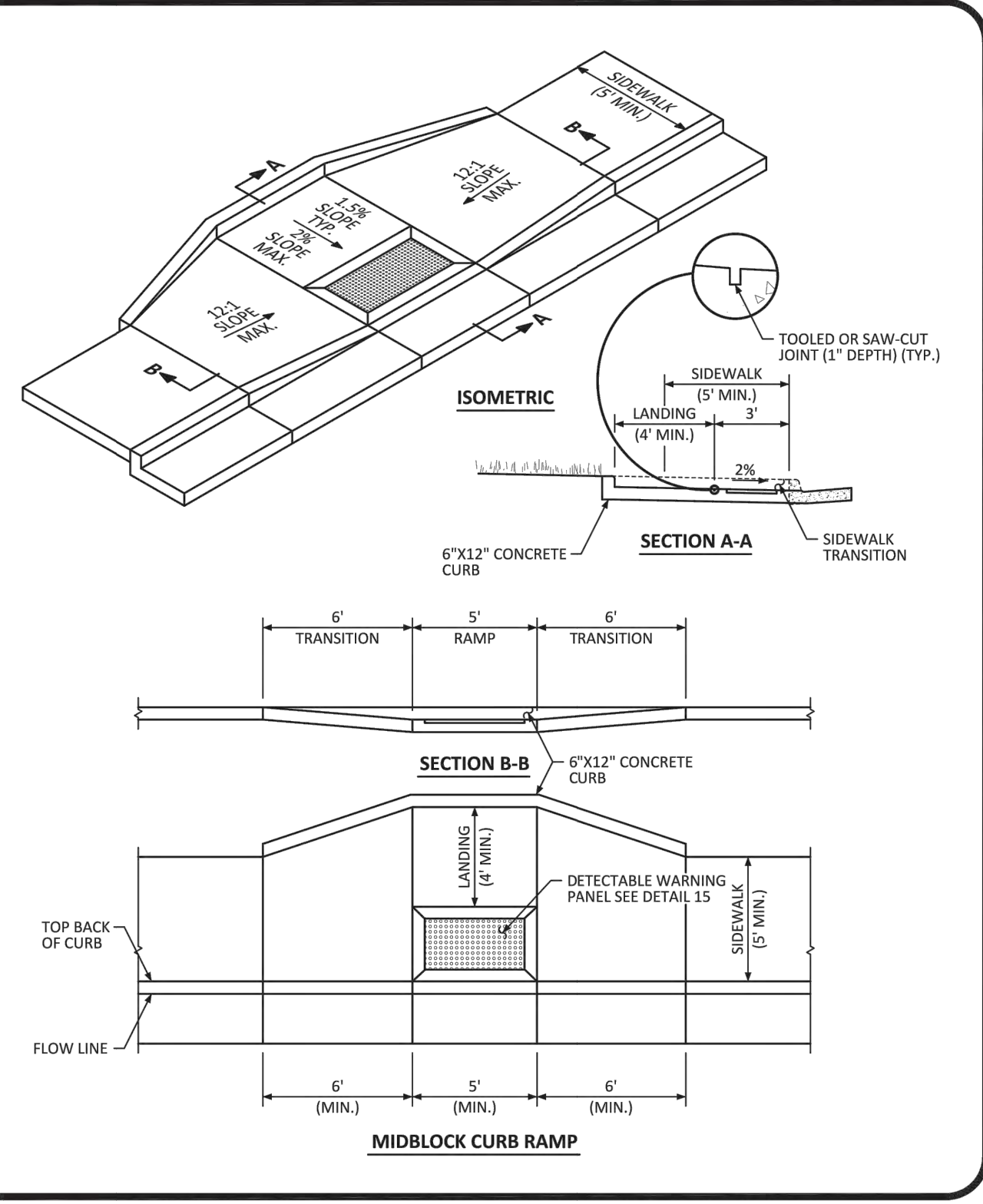
SHEET TITLE

DETAILS

SHEET INFORMATION

C-4.0

18 OF 19



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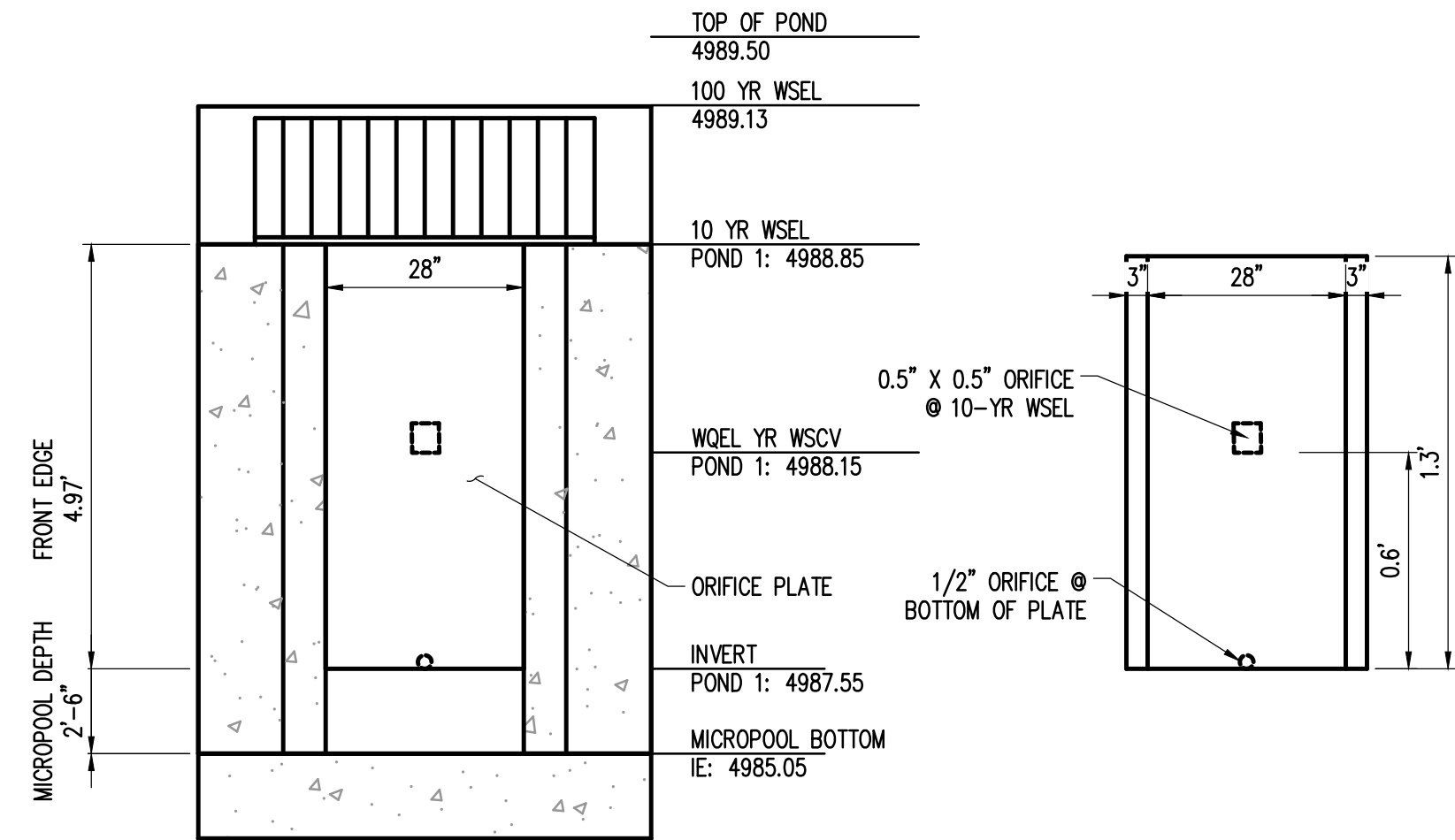
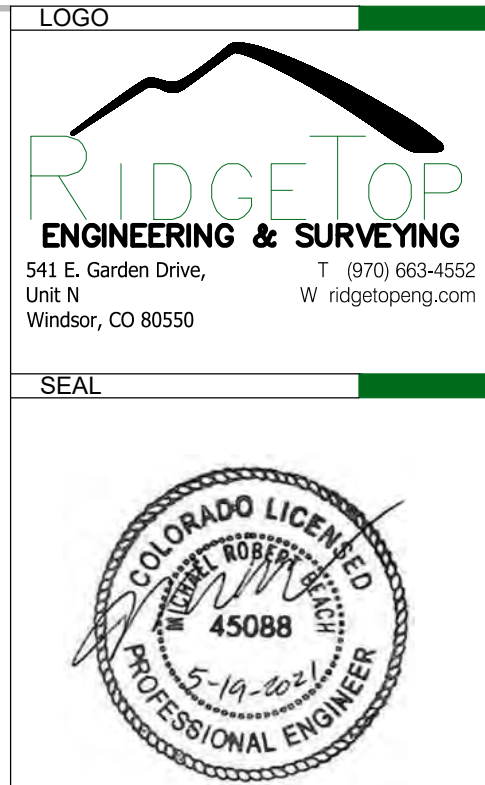
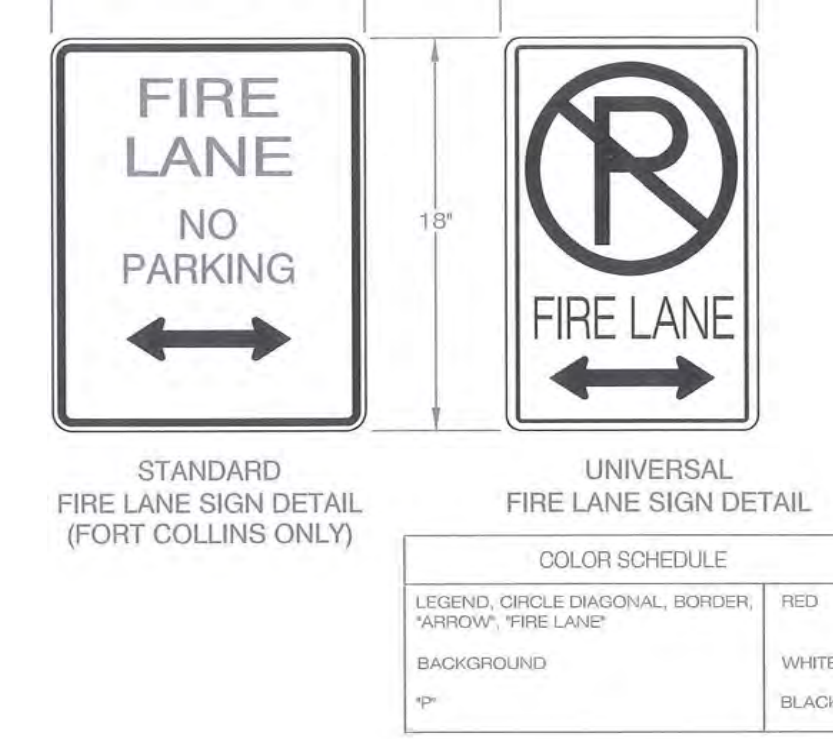
Town of Parker, Director of Engineering _____ Date _____

HORSESHOE RIDGE SUBDIVISION 1ST AMENDMENT

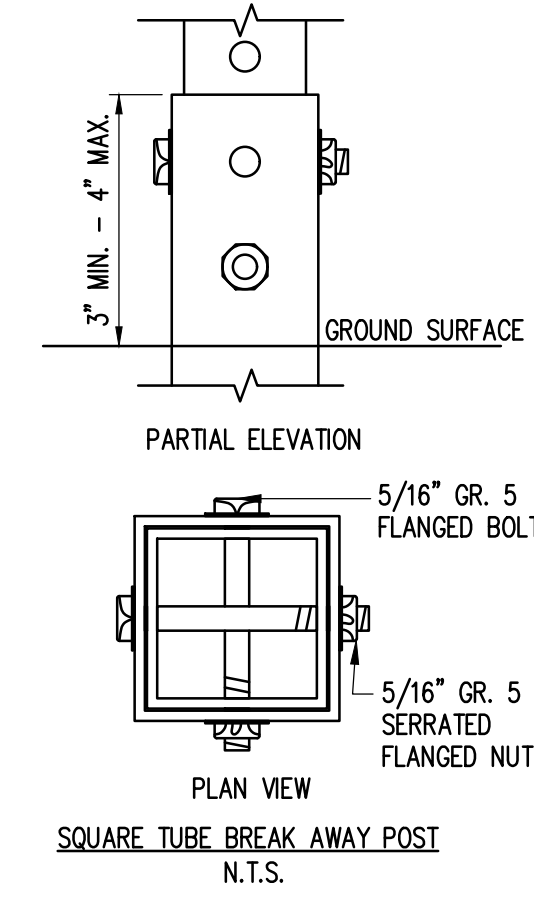
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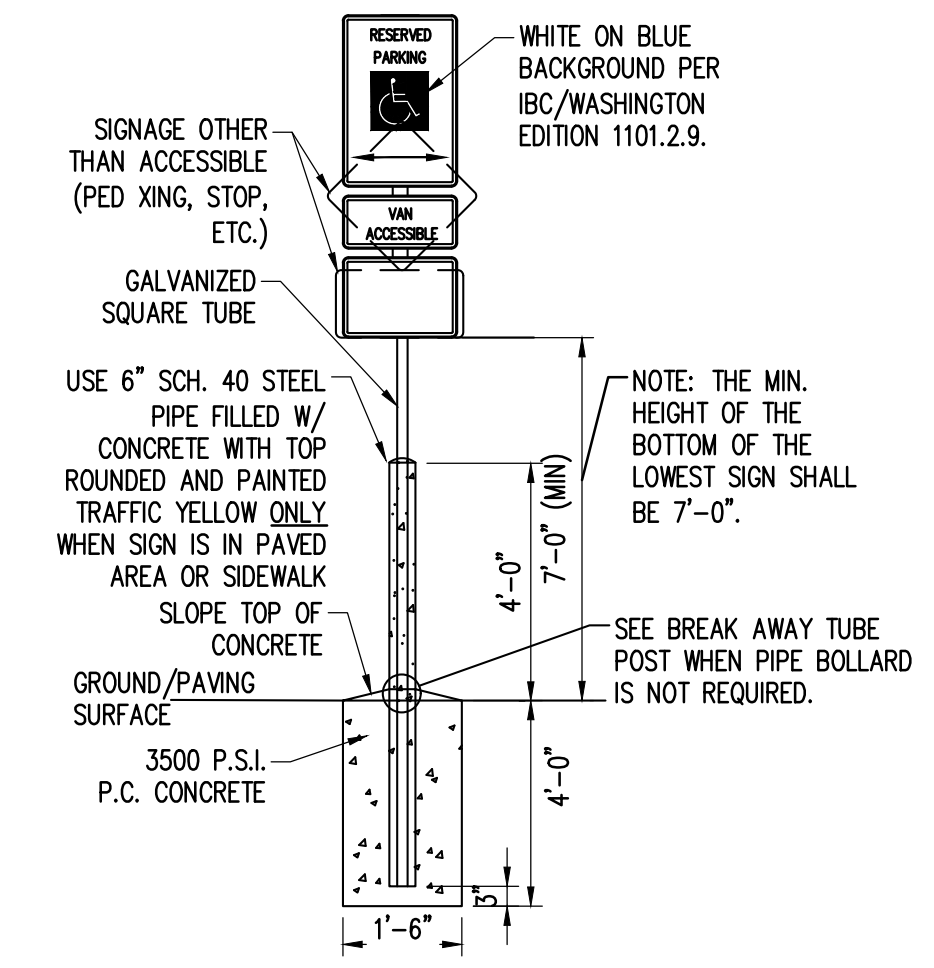
CONSTRUCTION DOCUMENTS



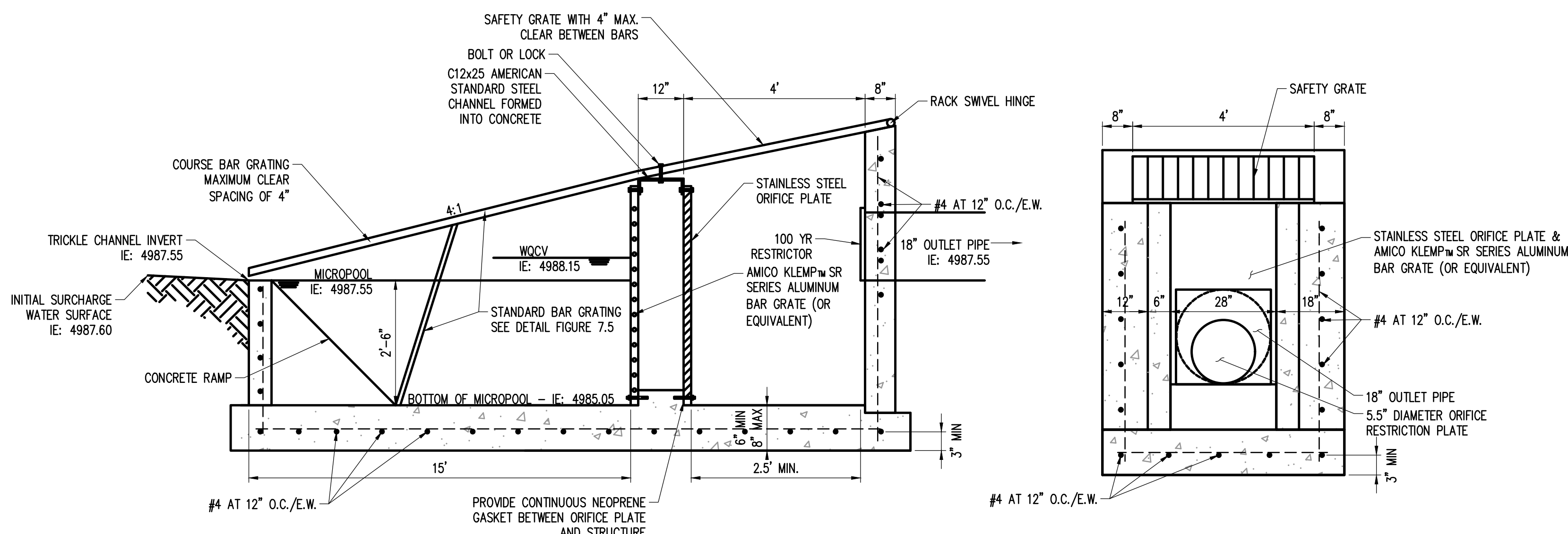
POND WIER PLATE
 NOT TO SCALE



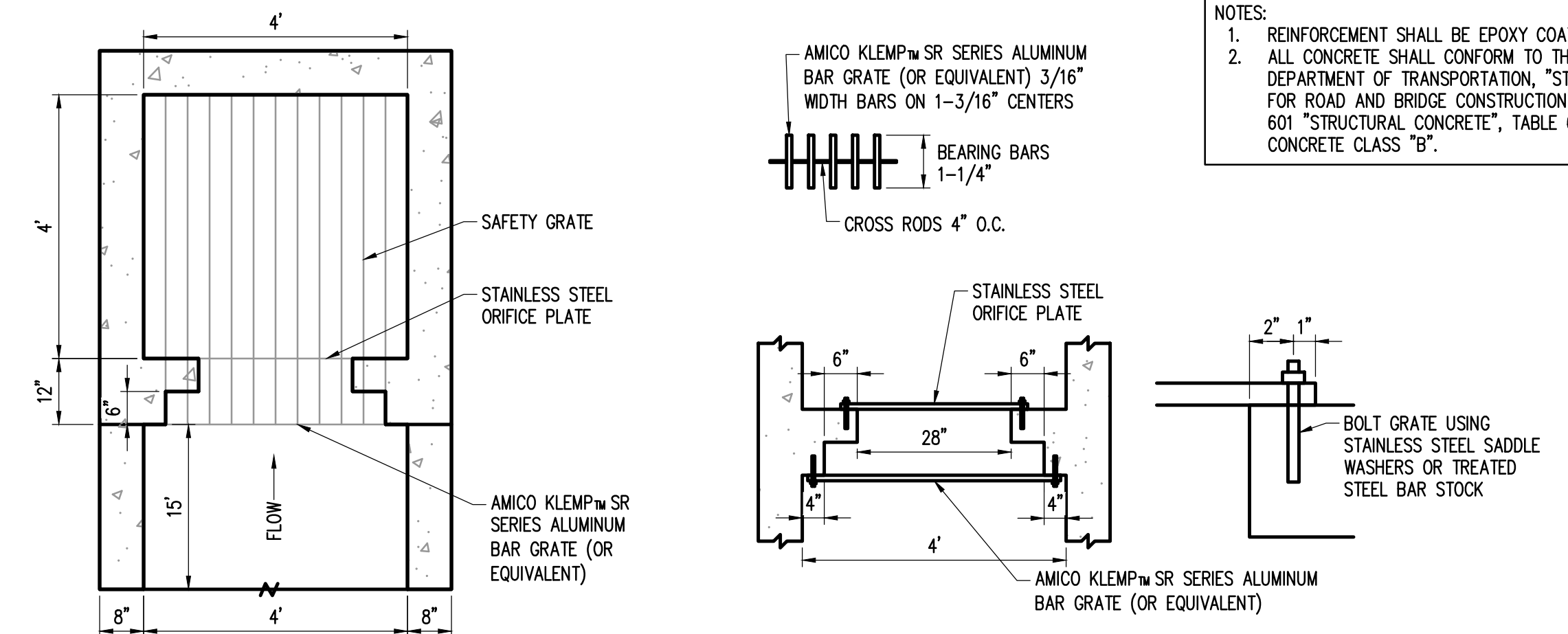
NOTES:
 1. ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
 2. GALVANIZED SQUARE TUBE POST TUBES - 2"x2"x3/16" 14ga POST TUBE SHALL MEET ASTM A1011 GRADE 50. POST TUBE GALVANIZED AS PER ASTM A653 GRADE 90. ANCHOR TUBE - 2-1/4"x2-1/4"x3/16" 14ga HEAVY DUTY ANCHOR TUBE SHALL MEET ASTM A500 GRADE B. STRUCTURAL TUBE AND STEEL SHALL BE HOT DIP GALVANIZED PER ASTM A123. THE UPPER SIGN POST SHALL TELESCOPE INSIDE THE ANCHOR TUBE A MINIMUM OF 12". THE ANCHOR TUBE SHALL BE A MINIMUM 48" DEEP WITH 3" MIN. 4" MAX. EXPOSED ABOVE FINISH GRADE.



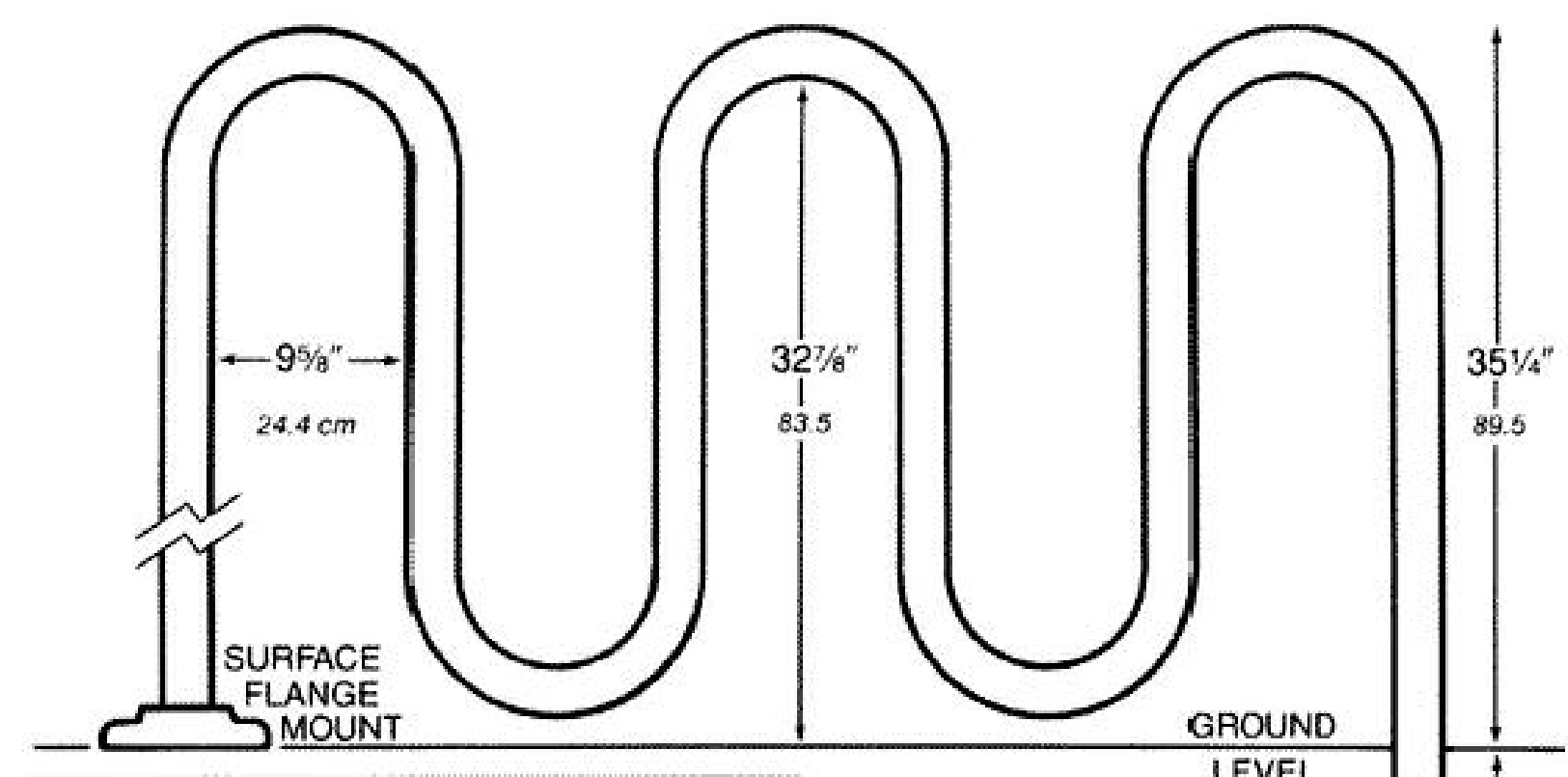
SIGN MOUNTING AND DETAILS
 N.T.S.



NOTES:
 1. REINFORCEMENT SHALL BE EPOXY COATED.
 2. ALL CONCRETE SHALL CONFORM TO THE LATEST COLORADO DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", 2017 EDITION, SECTION 601 "STRUCTURAL CONCRETE", TABLE 601-1 "CONCRETE TABLE", CONCRETE CLASS "B".



OUTLET STRUCTURE
 NOT TO SCALE



# of Bicycles	Rack Length
5	38.375" 97.5 cm
7	62.375" 158.4 cm
9	86.375" 219.4 cm
11	110.375" 280.4 cm

BIKE RACK (7 STALLS)
 N.T.S.

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LOT 2, BLOCK 1
 HORSESHOE RIDGE
 PARKER, CO 80134

PREPARED FOR
BRYTAR COMPANIES

8117 PRESTON RD. #300
 DALLAS, TX 75225

SUBMITTAL
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DRAWN BY: BSA
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 PROJECT NO.: 18-075-001

REVISIONS

NO.	DESCRIPTION	DATE
2ND SUBMITTAL		10/30/2019
3RD SUBMITTAL		02/18/2020
4TH SUBMITTAL		04/01/2020

DATE
01/04/2022

SHEET TITLE

DETAILS

SHEET INFORMATION
C-4.1

File: RE - CD - ROPA1400.dwg Path: P:\Colorado\Perker\Brytar\Parker TLE - 18-075-001\2 Drawings\ Plotted by: acorston Date: 10-Mar-22 3:59:10pm