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**SURVEYOR**

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STORM WATER - JACOB JAMES

**TOWN OF PARKER POLICE DEPARTMENT**

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PARKER, CO. 80134  
PHONE: 303.841.9800

**PARKER WATER AND SANITATION DISTRICT**

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PARKER, CO. 80134  
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**FIRE & LIFE SAFETY**

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CONTACT: RANDALL CAPRA

**UTILITY NOTIFICATION COMPANY OF COLORADO**

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GOLDEN, CO 80401  
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LOCAL CALLS: (811)

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CONTACT: KEVIN YOUNG

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**COLORADO DEPARTMENT OF HEALTH**

4210 E. 11TH AVE.  
DENVER, CO  
PHONE: 303.320.8333

**INTERMOUNTAIN RURAL ELECTRIC ASSOCIATION**

5496 NORTH US HWY 85  
P.O. BOX DRAWER A  
SEDALIA, CO 80135  
PHONE: 303.688.3100  
CONTACT: JASON JENKS

**MILE HIGH FLOOD CONTROL DISTRICT (MHFCD)**

2480 W. 26TH AVE.  
SUITE 156-B  
DENVER, CO 80211  
PHONE: 303.455.6277  
CONTACT: MIKE SARMENTO

**SITE BENCHMARK & BASIS OF BEARINGS**

THE PRIMARY BENCHMARK USED TO DETERMINE THE BASIS OF ELEVATIONS FOR THIS MAP IS BY GPS OBSERVATION NAVD88. A SITE BENCHMARK HAS BEEN SET AT THE NORTHWEST CORNER OF A DRAIN INLET ON CHAMBERS ROAD, APPROXIMATELY 200'± NORTH OF HESS ROAD. ELEVATION = 6075.31

THE BASIS OF BEARINGS IS THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 29 TOWNSHIP 6 SOUTH, RANGE 66 WEST, 6TH PRINCIPAL MERIDIAN, BEARING SOUTH 89°15'13" WEST AS SHOWN ON FINAL PLAT DOUGLAS 234 FILING NO. 1.

**FLOOD PLAIN NOTE**

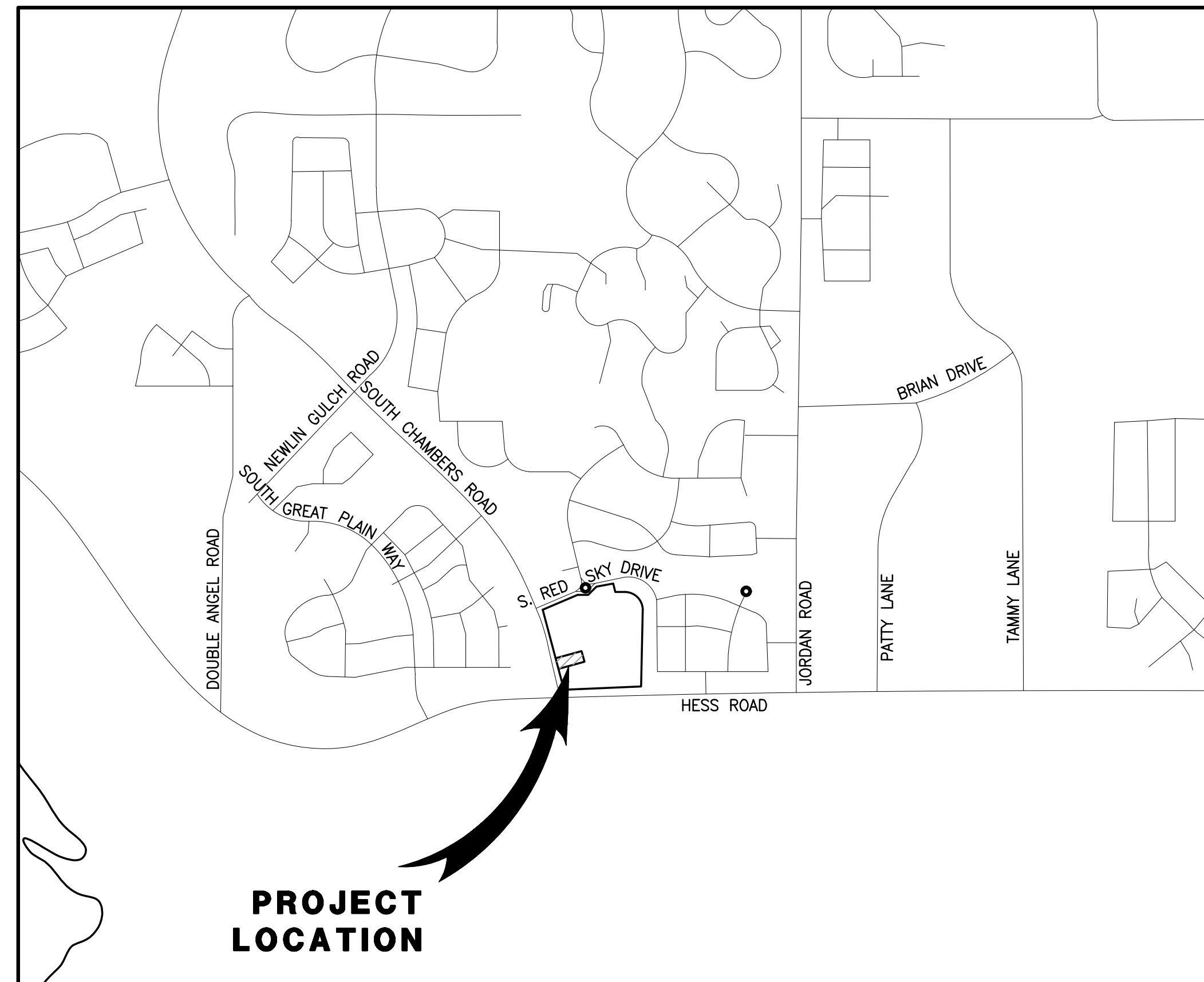
BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 08035C0181G AND DATED MARCH 16, 2016 - SUBJECT PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.

**LEGAL DESCRIPTION**

LOT 4, DOUGLAS 234, FILING NO. 6, AMENDMENT 1

**SITE PLAN FOR  
DUNKIN' DONUTS  
DOUGLAS 234, FILING NO. 6,  
AMENDMENT 1, LOT 4**

A PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 29, TOWNSHIP 6 SOUTH, RANGE 66 WEST, 6TH PRINCIPAL MERIDIAN, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO 0.901 ACRES, 1 COMMERCIAL LOT



**VICINITY MAP**

SCALE 1" = 1000'

1000 500 0 1000  
GRAPHIC SCALE: 1" = 1000'

SHEET INDEX	
NO.	TITLE
1	COVER SHEET
2	EXISTING CONDITIONS & DEMOLITION PLAN
3	SITE PLAN
4	PRELIMINARY UTILITY PLAN
5	FIRE TRUCK ACCESS PLAN
6	LANDSCAPE PLAN & DETAILS
7	LANDSCAPE PLAN & DETAILS
8	LANDSCAPE IRRIGATION & DETAILS
9	LANDSCAPE IRRIGATION & DETAILS
10	LANDSCAPE IRRIGATION & DETAILS
11	LANDSCAPE IRRIGATION & DETAILS
12	PHOTOMETRIC PLAN
13	PHOTOMETRIC DETAILS
14	BUILDING ELEVATIONS
15	BUILDING ELEVATIONS

SETBACKS		
COMMERCIAL DEVELOPMENT STANDARDS	REQUIRED SETBACKS	PROVIDED SETBACK
FRONT (EAST, WEST, SOUTH)	20'	159.83', 64.24', 62.48'
SIDE	10'	
REAR (NORTH)	10'	48.01'

DEVELOPMENT STANDARDS		
COMMERCIAL DEVELOPMENT STANDARDS	TOWN OF PARKER LAND DEVELOPMENT CODE REQ.	PROVIDED
MINIMUM LANDSCAPE AREA	6,098 SF (15%)	12,894 SF (34%)
MAXIMUM BUILDING HEIGHT	60 FEET	1 STORY/ 22'-10"
MINIMUM OFF-STREET PARKING	12 (1 PER 3 PEOPLE)	16 ON-SITE SPACES (2 ADA SPACES)
MAXIMUM FLOOR AREA RATIO (FAR)	0.50	0.05

**LEGEND**

	EXISTING	PROPOSED
PROPERTY BOUNDARY	---	---
PROPERTY LINE	---	---
RIGHT-OF-WAY	---	---
CENTERLINE	---	---
CURB	---	---
CURB & GUTTER	---	---
EASEMENT	---	---
CONTOURS	---	---
WATER LINE	W	W
SANITARY SEWER LINE	S	S
STORM DRAIN LINE	---	---
GAS LINE	G	G
ELECTRIC LINE	E	E
TYPICAL LATERALS	---	---
SANITARY SEWER MANHOLE	(S)	(S)
STORM DRAIN MANHOLE	(D)	(D)
STORM DRAIN INLET	---	---
FIRE HYDRANT	---	---
AC PAVING	---	---
CONCRETE	---	---
LANDSCAPE	---	---

**ABBREVIATIONS**

BLDG	BUILDING
CL	CENTERLINE
DIA.	DIAMETER
DIST.	DISTRICT
E	EASTING
EG	EXISTING GRADE
ESMT	EASEMENT
EX.	EXISTING
FG	FINISHED GRADE
FL	FLOW LINE
FS	FINISHED SURFACE
INV	INVERT
MIN.	MINIMUM
N	NORTHING
NLA	NET LEASABLE AREA
NO.	NUMBER
PL	PROPERTY LINE
PROP.	PROPOSED
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
R.O.W.	RIGHT OF WAY
REC.	RECEPTION
REQ.	REQUIRED
SAN	SANITARY SEWER
SF	SQUARE FOOT
STD	STANDARD

**SITE DATA**

PROPERTY ACREAGE	0.901 ACRES (39,244 SF)
PERVIOUS AREA	0.296 ACRES
IMPERVIOUS AREA	0.605 ACRES
MAXIMUM IMPERVIOUS AREA	0.766 ACRES, 85% OF TOTAL LAND AREA
BUILDING DENSITY	1,557 SF (BLDG) = 3.97% 39,244 SF (LOT)
MAX BUILDING DENSITY	NONE
PARKING AREA	2,754 SF
PARKING REQUIRED	12 SPACES (1 PER EACH 3 PERSONS OF RATED CAPACITY)
PARKING PROVIDED	16 ON-SITE SPACES (2 ADA SPACES)
BICYCLE PARKING REQUIRED	4
BICYCLE PARKING PROVIDED	4

**LAND USE DATA**

EXISTING ZONING	PLANNED DEVELOPMENT
GROSS SITE AREA	0.901 ACRES
NUMBER OF BUILDINGS	1 BUILDING
BUILDING GROSS FLOOR AREA	1,557 SF
NET LEASABLE AREA	1,557 SF
BUILDING OCCUPANCY	35 PEOPLE

SEAL:

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PROJECT NO: 2243 | DRAWN/DESIGNED BY: KA/TWB  
1/16/2026 | CHECKED BY: TWB

SITE PLAN PREPARED FOR:  
**DOUGLAS 234, FILING NO. 6,  
AMENDMENT 1, LOT 4**  
DOUGLAS COUNTY, COLORADO

**COVER SHEET**

**811**  
Know what's below.  
Call before you dig.

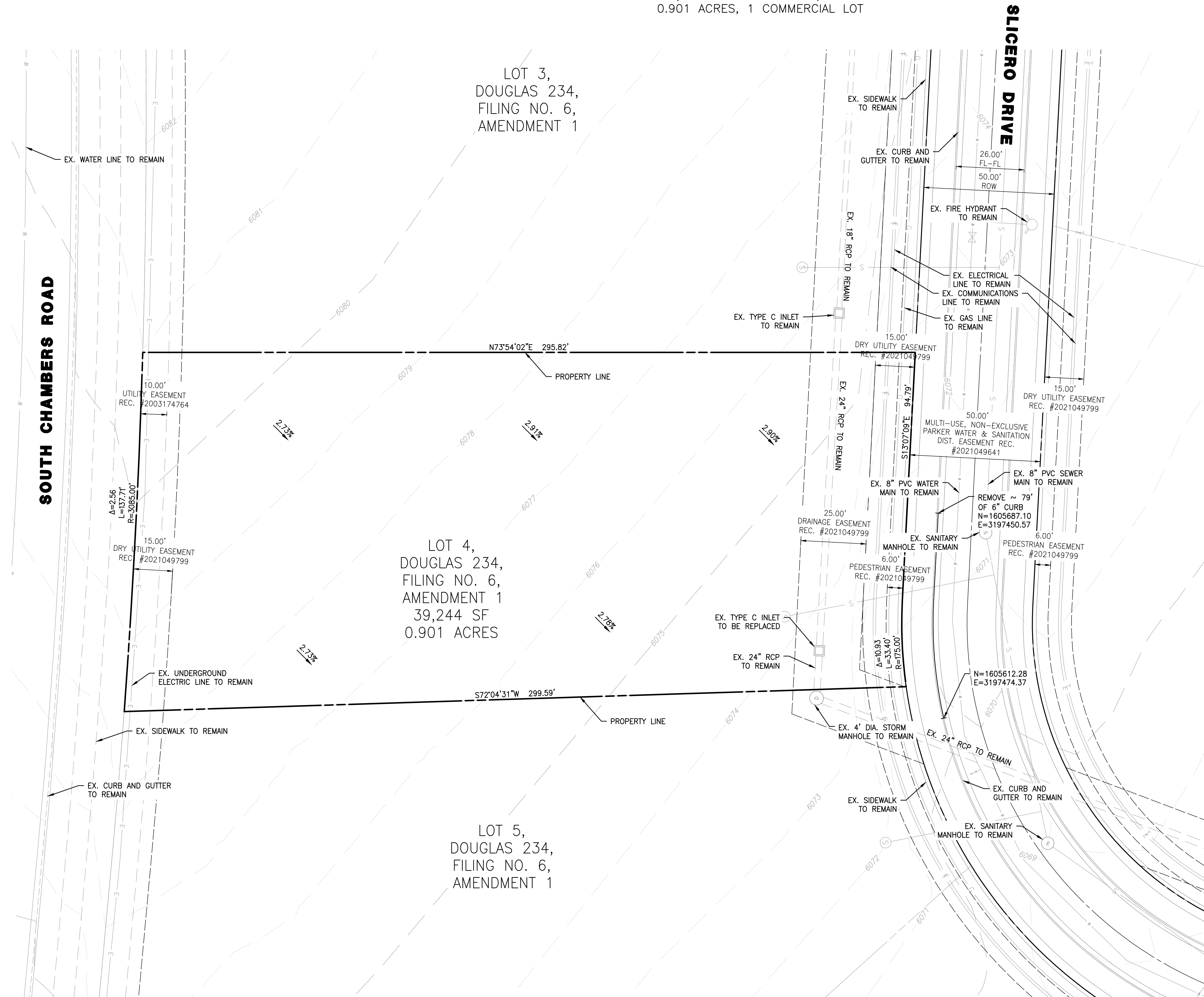
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6TH SUBMITTAL

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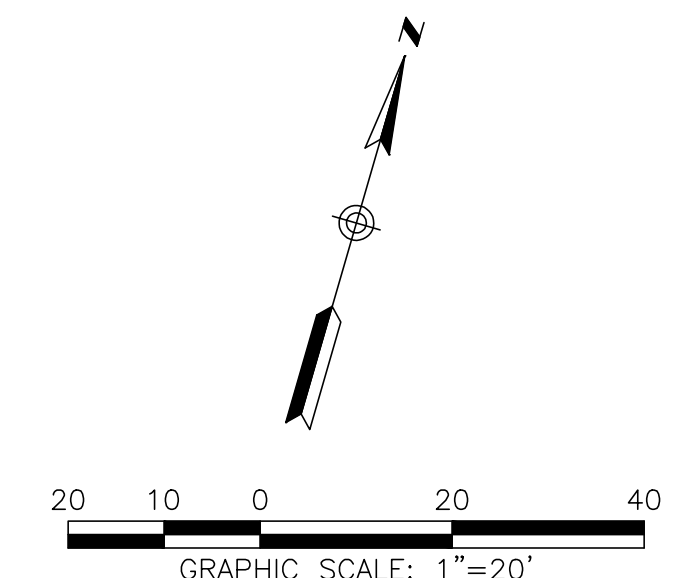
# SITE PLAN FOR DUNKIN' DONUTS DOUGLAS 234, FILING NO. 6, AMENDMENT 1, LOT 4

A PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 29,  
TOWNSHIP 6 SOUTH, RANGE 66 WEST, 6TH PRINCIPAL MERIDIAN,  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO  
0.901 ACRES, 1 COMMERCIAL LOT



### NOTES

1. ALL EXISTING UTILITIES ARE TO REMAIN UNLESS OTHERWISE NOTED.
2. ALL EXISTING IMPROVEMENTS TO BE PROTECTED IN PLACE, UNLESS SPECIFICALLY CALLED AS "TO BE REMOVED".



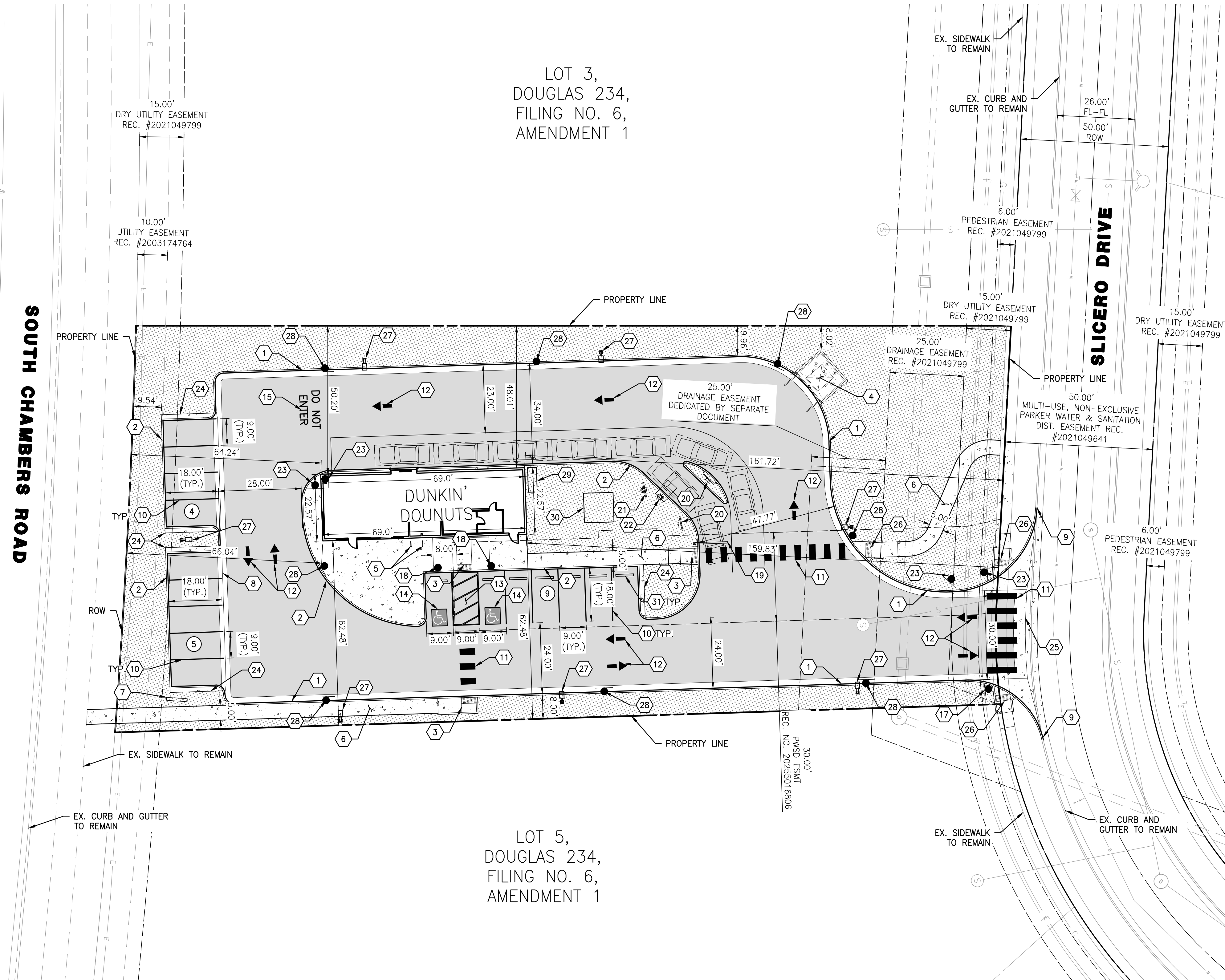
<p style="font-size: small;">SITE PLAN PREPARED FOR: <b>DOUGLAS 234, FILING NO. 6, AMENDMENT 1, LOT 4</b> DOUGLAS COUNTY, COLORADO</p> <p style="font-size: small;">EXISTING CONDITIONS &amp; DEMOLITION PLAN</p>	<p style="font-size: small;">SEAL:</p> <div style="text-align: center;"> <p><b>RICK</b> ENGINEERING COMPANY San Diego - Riverside - Sacramento - Orange - Turson - Phoenix - Las Vegas - Denver</p> </div> <p style="font-size: small;">8678 CONCORD CENTER DR, UNIT 200 ENGLEWOOD, CO 80112 303.537.8020 rickengineering.com</p> <p style="font-size: x-small;">PROJECT NO: 2243   DRAWN/DESIGNED BY: KA/TWB   CHECKED BY: TWB   DATE: 1/16/2026</p>																
<p style="font-size: small;">DRAWING NO. <b>2</b></p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 10%;">NO.</th> <th style="width: 10%;">BY</th> <th style="width: 10%;">DATE</th> <th style="width: 10%;">REVISION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	BY	DATE	REVISION												
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6TH SUBMITTAL

# SITE PLAN FOR DUNKIN' DONUTS DOUGLAS 234, FILING NO. 6, AMENDMENT 1, LOT 4

A PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 29,  
TOWNSHIP 6 SOUTH, RANGE 66 WEST, 6TH PRINCIPAL MERIDIAN,  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO  
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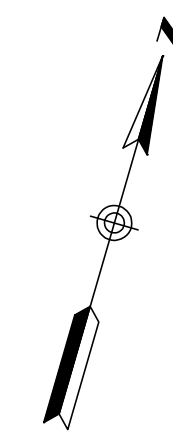


## LEGEND

PROPERTY LINE	---
RIGHT-OF-WAY CENTERLINE	---
EASEMENT	---
AC PAVING	▒
CONCRETE	▒
LANDSCAPE	▒

## CONSTRUCTION NOTES

- 1 PROPOSED VERTICAL CURB AND GUTTER
- 2 PROPOSED CURB TYPE 2 (SECTION B) 6" BARRIER
- 3 PROPOSED MIDBLOCK CURB RAMP
- 4 PROPOSED TRASH ENCLOSURE
- 5 BIKE PARKING (4 SPACES)
- 6 PROPOSED SIDEWALK
- 7 PROPOSED MONUMENT SIGN (ALL SIGNS ARE REVIEWED UNDER SEPARATE PERMIT)
- 8 3' GUTTER TYPE 2
- 9 TIE INTO EXISTING
- 10 4" WIDE, WHITE PARKING SPACE MARKING
- 11 RAISED OR TEXTURED WHITE CROSSWALK MARKINGS
- 12 DIRECTIONAL ARROW
- 13 4" WIDE, WHITE, SOLID DIAGONAL MARKINGS AT 5' SPACING ANGLED AT 30 DEGREES
- 14 INTERNATIONAL SYMBOL OF ACCESSIBILITY PARKING SPACE MARKING
- 15 "DO NOT ENTER" PAVEMENT LEGEND
- 16 "NO PARKING" PAVEMENT LEGEND
- 17 R1-1 SIGN
- 18 "HANDICAP PARKING ONLY" SIGN AND "VAN ACCESSIBLE" SIGN
- 19 SINGLE VEHICLE CLEARANCE BAR
- 20 DIGITAL PREVIEW BOARD
- 21 DIGITAL MENU BOARD
- 22 ORDER CANOPY
- 23 DIRECTIONAL SIGN
- 24 PROPOSED 18" CONCRETE LANDING
- 25 PROPOSED 8' CROSS PAN
- 26 PROPOSED DIRECTIONAL CURB RAMP
- 27 STREET LIGHT
- 28 R7-1 SIGN
- 29 EUSERC CABINET
- 30 UTILITY TRANSFORMER
- 31 PARKING BUMPER BLOCK



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SITE PLAN PREPARED FOR:  
**DOUGLAS 234, FILING NO. 6,  
AMENDMENT 1, LOT 4**  
DOUGLAS COUNTY, COLORADO



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**3**

NO.	BY	DATE	REVISION

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DRAWN/DESIGNED BY: KA/TWB  
CHECKED BY: TWB

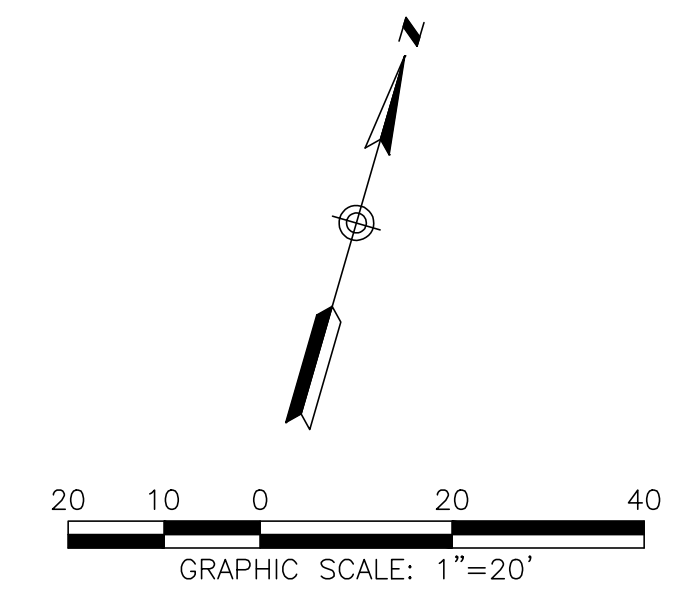
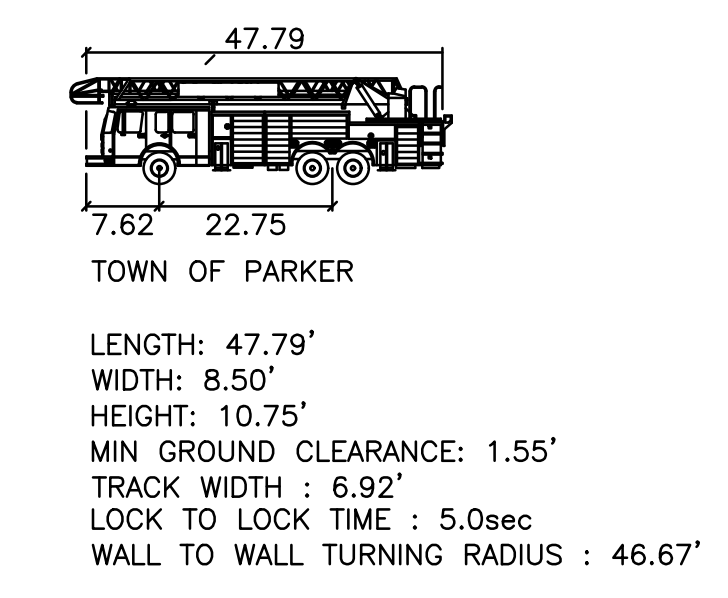
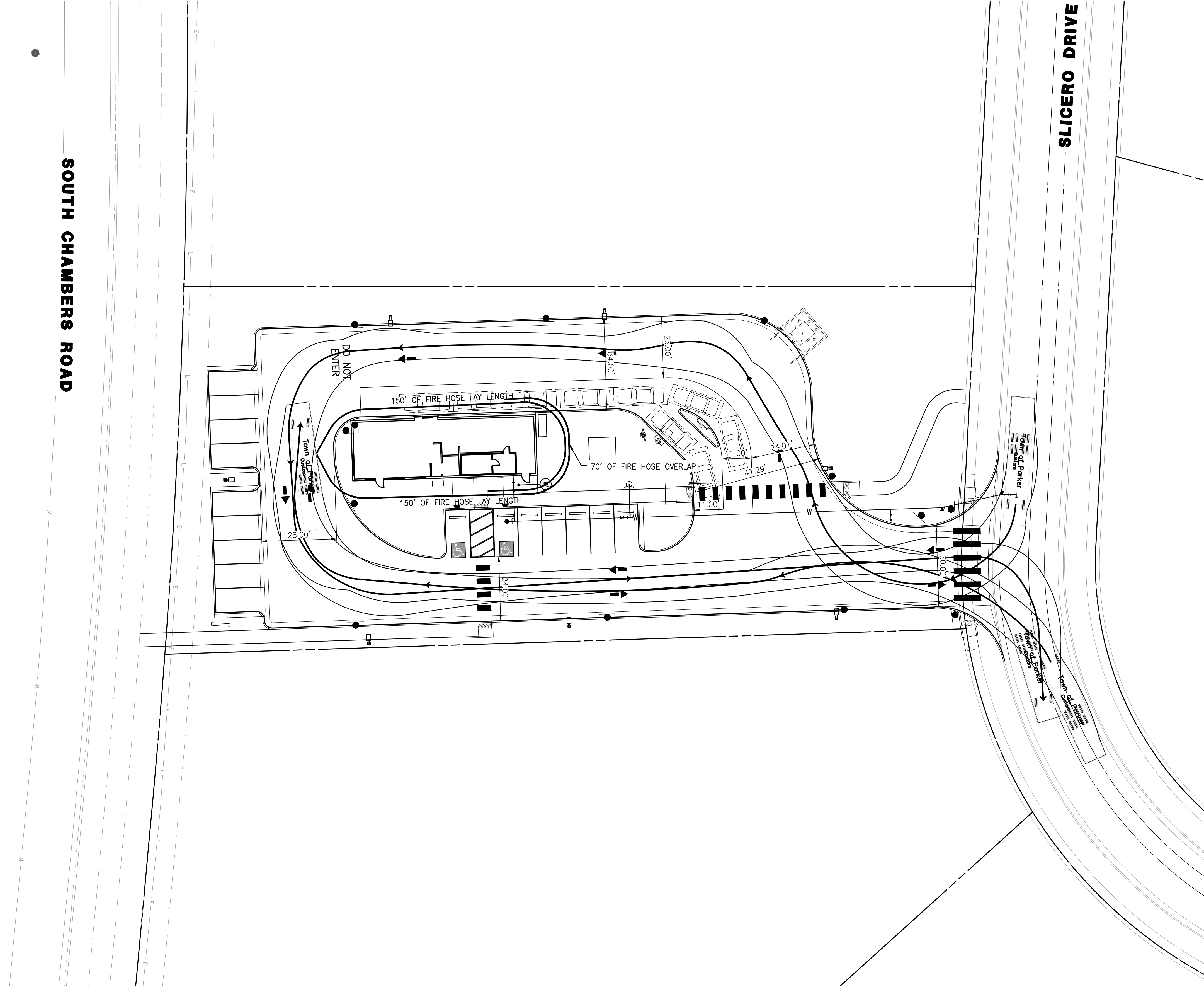
**SITE PLAN**

6TH SUBMITTAL



**SITE PLAN FOR  
DUNKIN' DONUTS  
DOUGLAS 234, FILING NO. 6,  
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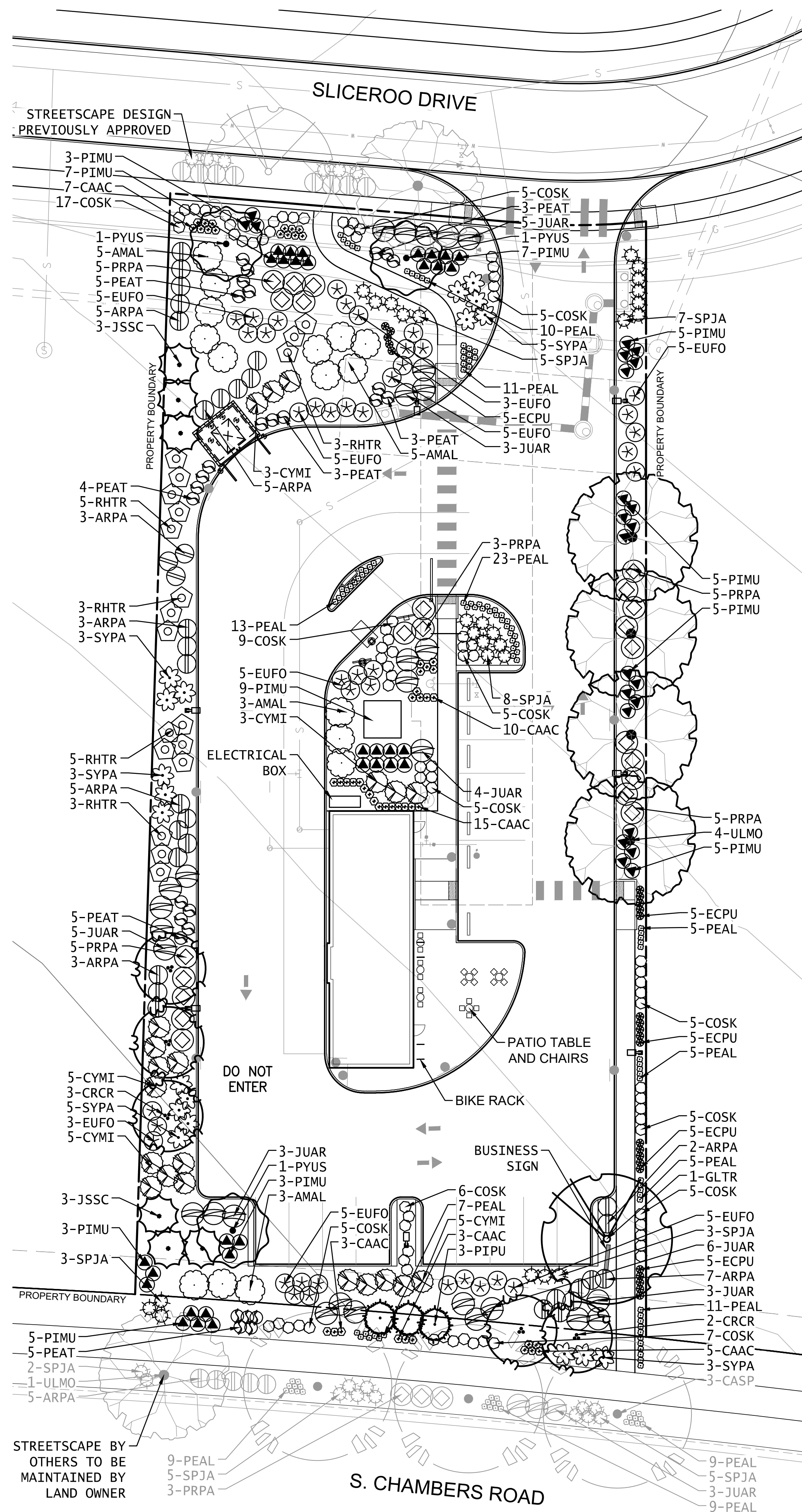
**FIRE TRUCK ACCESS PLAN**

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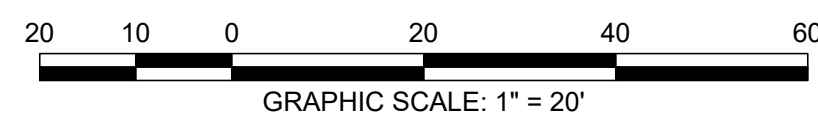
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# SITE PLAN FOR DUNKIN' DONUTS DOUGLAS 234, FILING NO. 6, AMENDMENT 1, LOT 4

A PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 29,  
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TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO  
0.901 ACRES, 1 COMMERCIAL LOT



LANDSCAPE PLAN



### PLANT LEGEND

DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT
	CASP	3	CATALPA SPECIOSA	WESTERN CATALPA	2" CAL.	50'
	GLTR	2	GLEDITSIA TRIACANTHOS INERMIS 'IMCOLE' TM	IMPERIAL HONEY LOCUST	2" CAL.	35'
	ULMO	6	ULMUS X 'MORTON'	ACCOLADE ELM	2" CAL.	50'
<b>EVERGREEN TREES</b>						
	JSSC	6	JUNIPERUS SCOPULORUM	ROCKY MOUNTAIN JUNIPER	6" HEIGHT	30'
	PIPU	3	PICEA PUNGENS 'BABY BLUE EYES'	BABY BLUE EYES SPRUCE	6" HEIGHT	25'
<b>ORNAMENTAL TREES</b>						
	CRCR	5	CRATAEGUS CRUS-GALLI 'INERMIS'	COCKSPUR THORNLESS HAWTHORN	1.5" CAL.	20'
	PYUS	3	PYRUS USSURIENSIS 'MORDAK' TM	PRAIRIE GEM USSURIAN PEAR	1.5" CAL.	25'
<b>DECIDUOUS SHRUBS</b>						
	AMAL	16	AMELANCHIER ALNIFOLIA	SASKATOON SERVICEBERRY	5 GAL.	10'
	COSK	79	CORNUS SERICEA 'KELSEY'	KELSEY'S DWARF RED TWIG DOGWOOD	5 GAL.	8'
	PEAT	28	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	5 GAL.	4'
	PRPA	26	PRUNUS BESSEYI 'PAWNEE BUTTES'	PAWNEE BUTTES SANDCHERRY	5 GAL.	1.5'
	RHTR	19	RHUS TRILOBATA	THREE LEAF SUMAC	5 GAL.	6'
	SPJA	38	SPIRAEA JAPONICA 'ALPINA'	DAPHNE SPIREA	5 GAL.	2'
	SYPA	19	SYRINGA PATULA 'MISS KIM'	MISS KIM DWARF LILAC	5 GAL.	5'
<b>EVERGREEN SHRUBS</b>						
	ARPA	38	ARCTOSTAPHYLOS X COLORADENSIS 'PANCHITO'	PANCHITO MANZANITA	5 GAL.	2'
	CYMI	21	CYTISUS X 'MINSTEAD'	MINSTEAD BROOM	5 GAL.	4'
	EUFO	41	EUONYMUS FORTUNEI 'EMERALD GAIETY'	EMERALD GAIETY WINTERCREEPER	5 GAL.	3'
	JUAR	35	JUNIPERUS SABINA 'ARCADIA'	ARCADIA JUNIPER	5 GAL.	2'
	PIMU	59	PINUS MUGO 'PALOUSE'	PALOUSE MUGO PINE	5 GAL.	4'
<b>PERENNIALS &amp; ORNAMENTAL GRASSES</b>						
	CAAC	50	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	1 GAL.	5'
	ECPU	25	ECHINACEA PURPUREA	PURPE CONEFLOWER	1 GAL.	3'
	PEAL	117	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	1 GAL.	1'
<b>LANDSCAPE MATERIALS</b>						
(NO HATCH)	12,670 SF	ROCK MULCH	¾" - 1 ½" COLORADO ROSE ROCK MULCH			
---	135 LF	STEEL EDGER				

### GENERAL LANDSCAPE REQUIREMENTS

DEVELOPED AREA = 39,244 SF	CALCULATION	# REQUIRED	# PROVIDED	% EVERGREEN (25%-50% REQ.)
15% MINIMUM SITE LANDSCAPING	39,244 SF x .15	5,887 SF	12,670 SF	44%
75% MINIMUM LIVING MATERIAL COVERAGE	12,670 SF x .75	9,503 SF	9,674 SF	44%
ONE (1) TREE / 1,500 SF OF PERMEABLE AREA	12,670 SF / 1,500 SF	9	17	35%
FIVE (5) SHRUBS / 1,500 SF OF PERMEABLE AREA	12,670 SF / 1,500 SF x 5	45	299	46%
15% MAXIMUM TURF	39,244 SF x .15	0 SF	0 SF	N/A

### STREETSCAPE LANDSCAPE REQUIREMENTS

VEGETATION REQUIREMENTS BETWEEN BACK OF CURB AND RIGHT OF WAY			
	CALCULATION	# REQUIRED	# PROVIDED
SLICEROO DRIVE	STREETSCAPE PREVIOUSLY APPROVED		
SOUTH CHAMBERS ROAD ONE (1) TREE / 40 LF OF FRONTAGE	138 LF / 40 LF	4	4

### PARKING LOT INTERIOR REQUIREMENTS

PARKING LOT AREA = 2,886 SF	MIN 10% LANDSCAPE REQUIRED	PROVIDED	
PARKING ISLANDS	289 SF	718 SF	
PLANT MATERIALS	CALCULATION	PLANTS REQUIRED	PLANTS PROVIDED
1 TREE / INCREMENTAL 162 SF	718 / 162 = 4.43	5	3
5 SHRUBS / INCREMENTAL 162 SF	(718 / 162) X 5 = 22.16	23	25

### PARKING LOT PERIMETER LANDSCAPE REQUIREMENTS

	CALCULATION	TREES REQ. / PROV.	% EVERGREEN (MIN. 50% REQ.)	SHRUBS REQ. / PROV.	% EVERGREEN (0% REQ.)
WEST PERIMETER 10' BUFFER	135 LF / 30 LF	5 / 5	60%	23 / 65	46%

### SITE PERIMETER LANDSCAPE REQUIREMENTS\*

	CALCULATION	TREES REQ. / PROV.	% EVERGREEN (40%-60% REQ.)	SHRUBS REQ. / PROV.	% EVERGREEN (40%-60% REQ.)
NORTH PERIMETER 1 TREE & 5 SHRUBS / 40 LF	296 LF / 40 LF	8 / 8	63%	37 / 54	57%
EAST PERIMETER 1 TREE & 5 SHRUBS / 40 LF	70 LF / 40 LF	2 / 2	0%	17 / 37	41%
SOUTH PERIMETER 1 TREE & 5 SHRUBS / 40 LF	300 LF / 40 LF x 5	7 / 4 + 20 EVG SUBS + 10 DEC SUBS	29%	38 / 57	44%

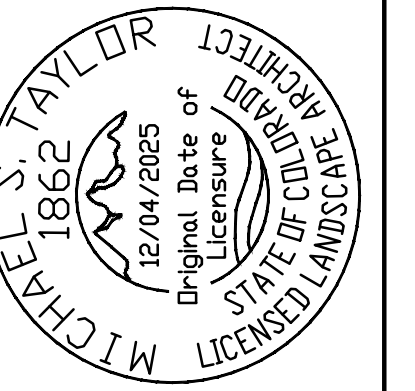
\*TEN (10) SHRUBS MAY BE SUBSTITUTED FOR ONE (1) TREE

### GENERAL LANDSCAPE NOTES

- THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AND SPECIFICATIONS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS.
- ALL WEEDS TO BE REMOVED AND DISPOSED OF.
- TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
- ALL ROCK MULCH PLANTER BEDS TO HAVE 1 ½" RIVER ROCK AT A MINIMUM 3" DEPTH OVER MIRAFI WEED BARRIER FABRIC AND SHALL BE REGULARLY REPLENISHED.
- ALL PLANTING SHALL BE MAINTAINED IN A HEALTH AND ATTRACTIVE MANNER AS DETERMINED BY THE TOWN. MAINTENANCE SHALL BE CONDUCTED BY THE PROPERTY OWNER OF RECORD, THE PROPERTY EXPERT OWNER'S AGENT OR TENANT WHICH HAS ASSUMED LANDSCAPE MAINTENANCE RESPONSIBILITY.

### TREE PLANTING NOTES

- EXCAVATE PLANTING HOLES WITH SLOPING SIDES. MAKE EXCAVATIONS AT LEAST THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER AND NO DEEPER THAN THE DISTANCE FROM THE TOP MOST ROOTS IN THE ROOT BALL TO THE BOTTOM OF THE ROOT BALL TO ALLOW FOR SETTLING. DO NOT DISTURB SOIL AT BOTTOM OF PLANTING HOLES, BUT DO SCORE THE SIDES OF THE PLANTING HOLE. THE PLANTING AREA SHALL BE LOOSENED AND AERATED AT LEAST THREE TIMES THE DIAMETER OF THE ROOT BALL. BACKFILL SHALL CONSIST OF EXISTING ON SITE TOPSOIL - NO AMENDMENTS SHALL BE USED UNLESS OTHERWISE SPECIFIED.
- TREES SHALL BE PLANTED WITH THE ROOT COLLAR/FLARE VISIBLE ABOVE GRADE AND TWO OR MORE STRUCTURAL ROOTS LOCATED WITHIN THE TOP 1" TO 2" OF THE ROOT BALL/FINISHED GRADE MEASURED 3" TO 4" FROM TRUNK. THIS INCLUDES TREES THAT ARE SET ON SLOPES (SEE SLOPE PLANTING DETAIL). TREES THAT DO NOT HAVE A VISIBLE ROOT COLLAR SHALL BE REJECTED. DO NOT COVER THE ROOT BALL WITH SOIL.
- WHEN ROOT BALL WILL REMAIN INTACT, CUT OFF BOTTOM 1/4 OF WIRE BASKET BEFORE PLACING TREE IN HOLE, CUT OFF REMAINDER OF BASKET AFTER TREE IS SET IN HOLE, REMOVE BASKET COMPLETELY. AT A MINIMUM, THE TOP 2/3 OF THE BURLAP AND BASKET SHALL BE REMOVED FROM THE ROOT BALL ON ALL TREES. REMOVE ALL NYLON TIES, TWINE, ROPE AND BURLAP. REMOVE UNNECESSARY PACKING MATERIAL.
- FORM SOIL INTO A 3" TO 5" TALL WATERING RING (SAUCER) AROUND PLANTING AREA. THIS IS NOT NECESSARY IN IRRIGATED TURF AREAS. APPLY 2" TO 4" DEPTH OF SPECIFIED MULCH OVER PLANTING AREA AND INSIDE SAUCERS, AWAY FROM TRUNK.
- STAKING AND GUYING OF TREES IS OPTIONAL IN MOST PLANTING SITUATIONS. IN AREAS OF EXTREME WINDS, OR ON STEEP SLOPES, STAKING MAY BE REQUIRED TO STABILIZE TREES. STAKING AND GUYING MUST BE REMOVED WITHIN 1 YEAR OF PLANTING DATE.
- TREE WRAP IS NOT TO BE USED ON ANY NEW PLANTINGS, EXCEPT IN LATE FALL PLANTING SITUATIONS, AND ONLY THEN AFTER CONSULTATION WITH THE TOWN ARBORIST.
- RESETTING OF IMPROPERLY PLANTED TREES WILL ONLY BE ALLOWED IF IT IS DETERMINED THAT DOING SO WILL IN NO WAY COMPROMISE THE ROOT BALL, AND SHALL ONLY BE DONE WITH APPROVAL OF THE TOWN ARBORIST.



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PROJECT NO: 2243 | DRAWN/DESIGNED BY: JG/MC  
DATE: 1/16/2026 | CHECKED BY: MST

SITE PLAN PREPARED FOR:  
**DOUGLAS 234, FILING NO. 6,  
AMENDMENT 1, LOT 4**  
DOUGLAS COUNTY, COLORADO

**LANDSCAPE PLAN & DETAILS**

Know what's below.  
Call before you dig.

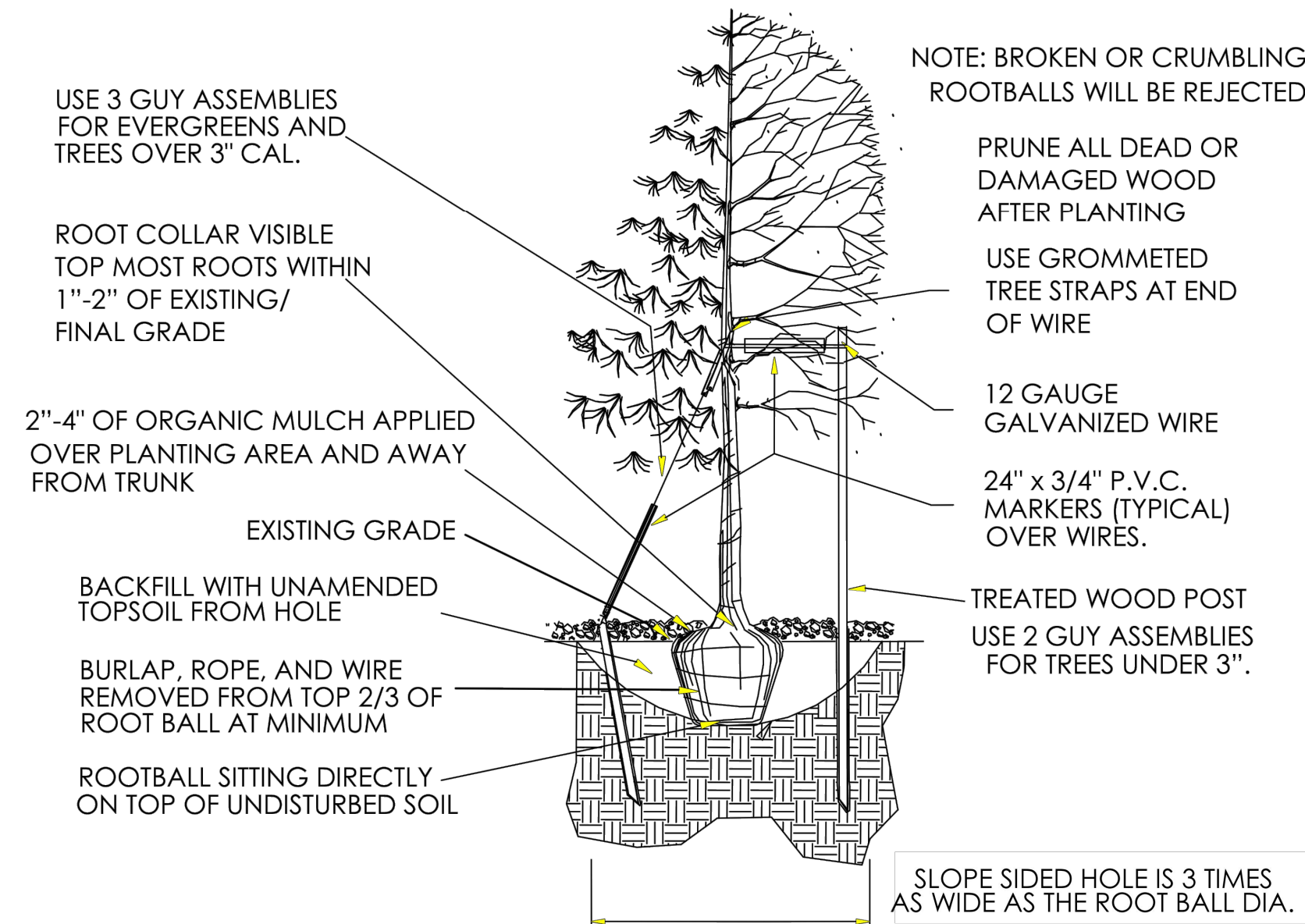
DRAWING NO. 6

6TH SUBMITTAL

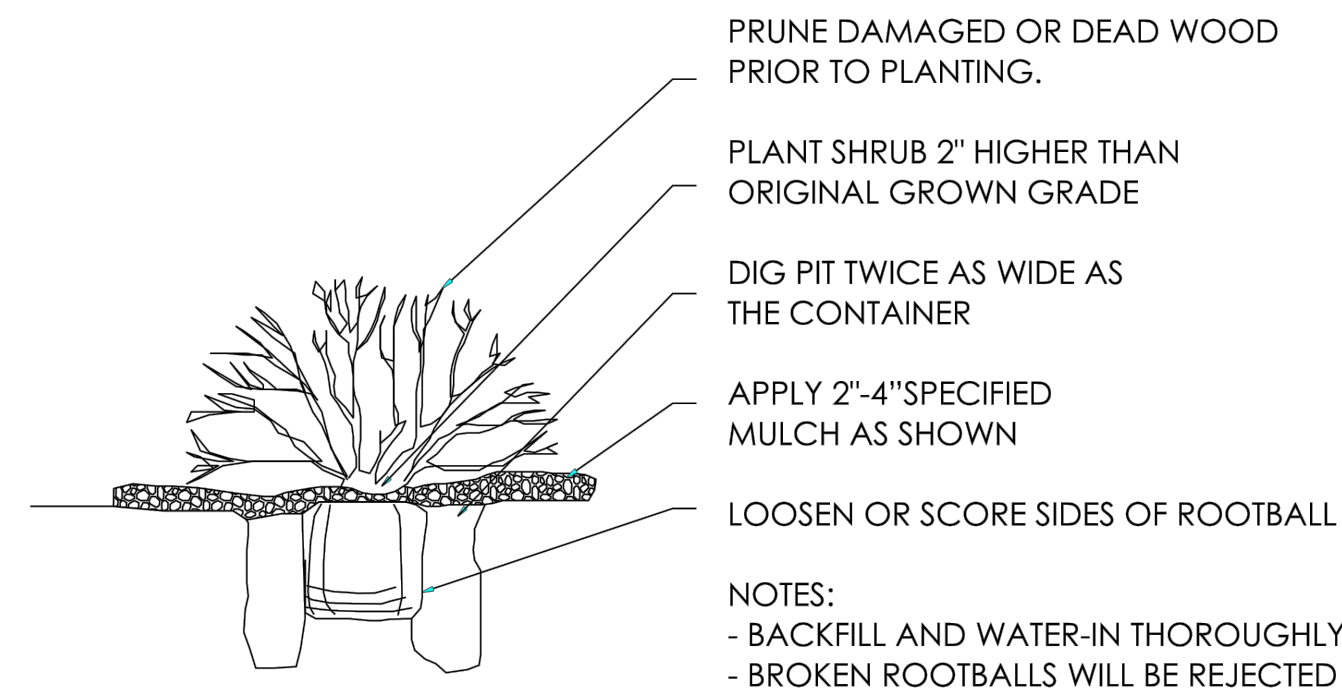
# SITE PLAN FOR DUNKIN' DONUTS DOUGLAS 234, FILING NO. 6, AMENDMENT 1, LOT 4

A PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SE  
TOWNSHIP 6 SOUTH, RANGE 66 WEST, 6TH PRINCIPAL MERIDIAN,  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO  
0.901 ACRES, 1 COMMERCIAL LOT

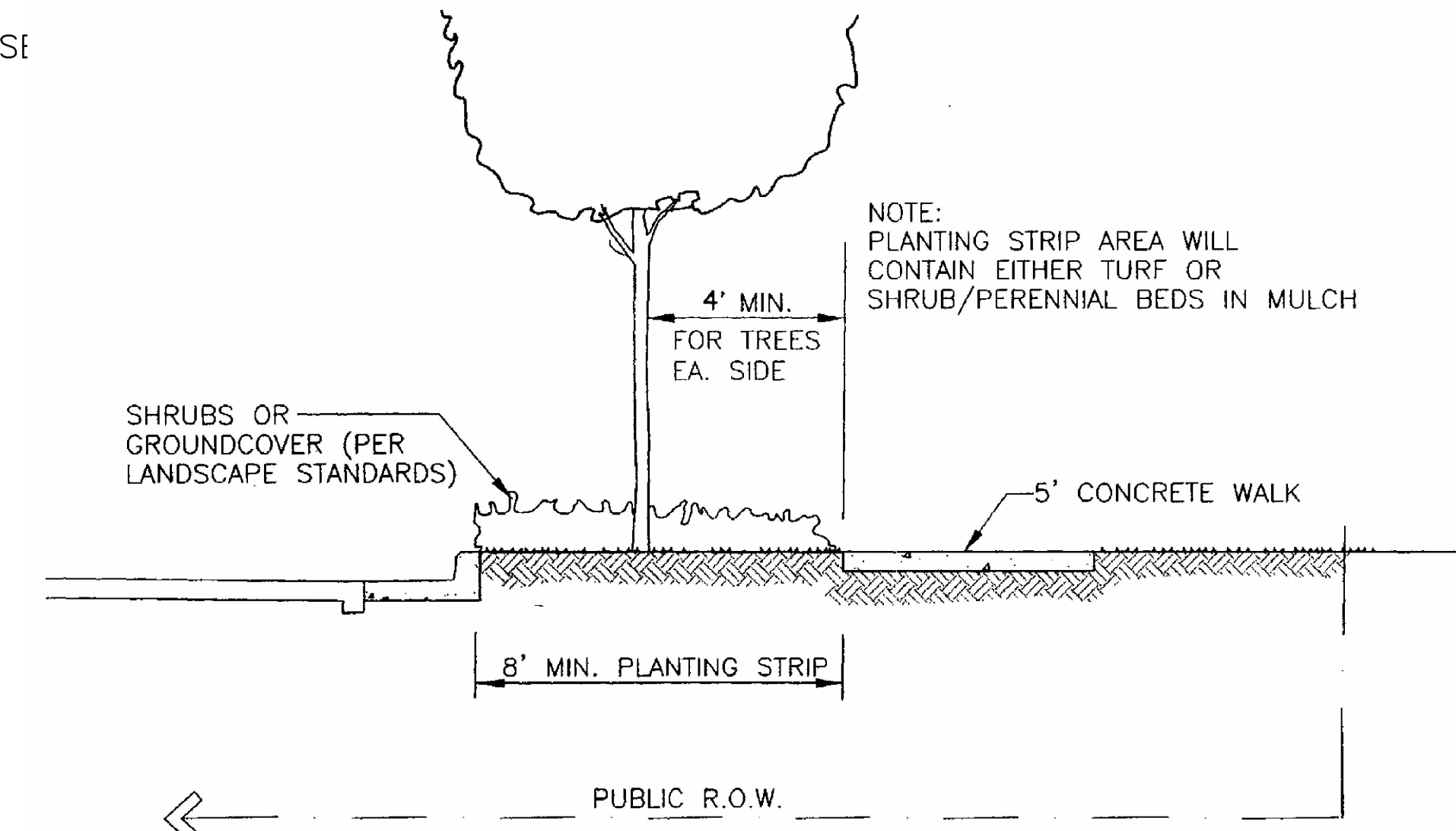
## TOWN OF PARKER PLANTING STANDARDS



**A** TREE PLANTING  
SCALE: N.T.S.

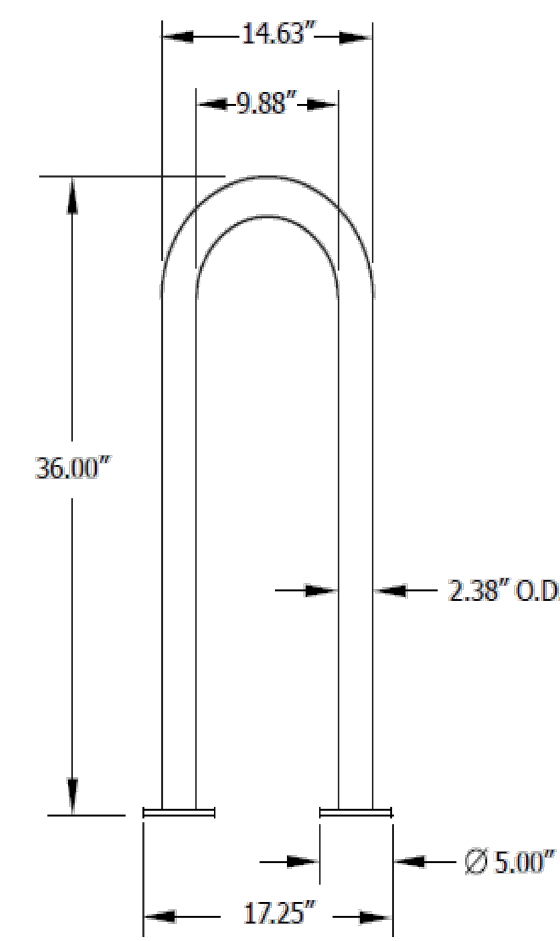


**B** SHRUB PLANTING  
SCALE: N.T.S.



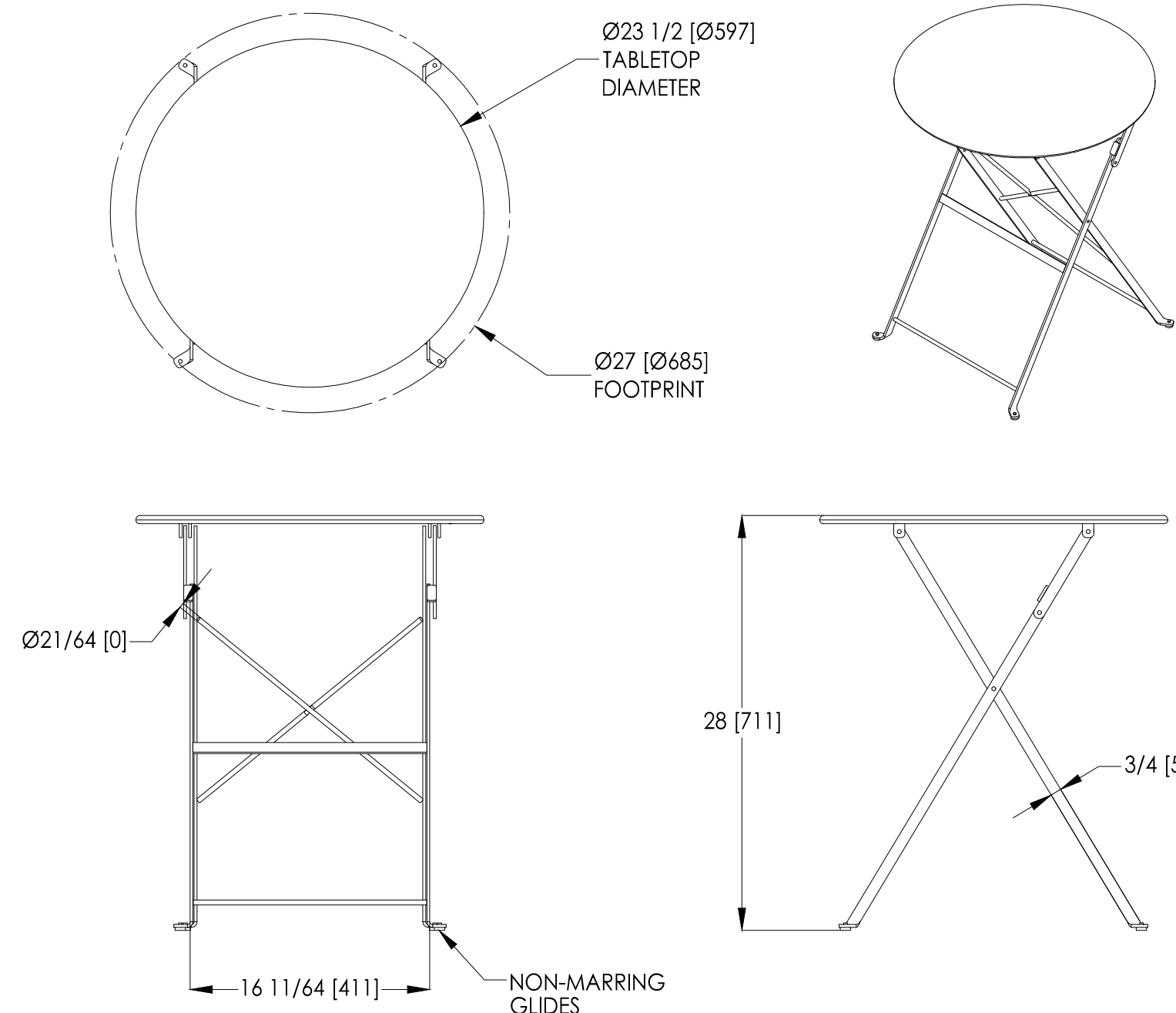
\* SEE ROADWAY DESIGN AND CONSTRUCTION CRITERIA MANUAL FOR TRENCH DRAIN DETAIL (REQUIRED ON VERTICAL CURB & GUTTER ALONG ARTERIALS)

**C** STREET SECTION WITH DETACHED WALK  
SCALE: N.T.S.



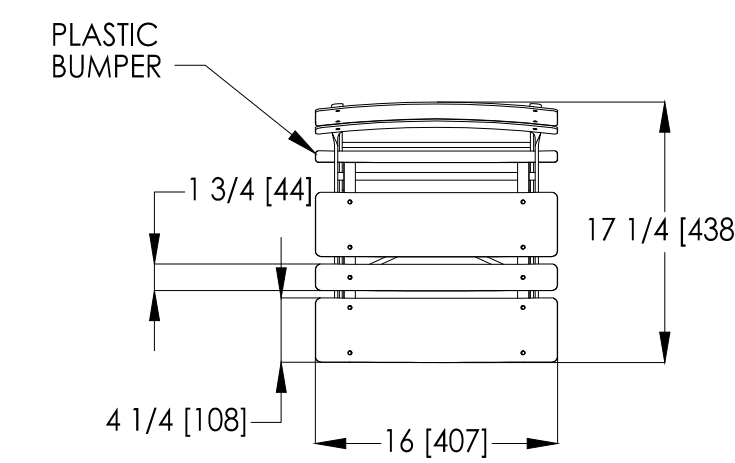
**D** BIKE RACK  
SCALE: N.T.S.

STREETSIDE 1-LOOP RACK, SURFACE MOUNT  
MANUFACTURER: ANOVA  
MODEL NUMBER: LBR3PSURF  
MATERIAL: 2.38" O.D. X 11-GAUGE WALL STEEL TUBING  
COLOR: TEXTURED BRONZE  
DIMENSIONS: 36"H x 17"W

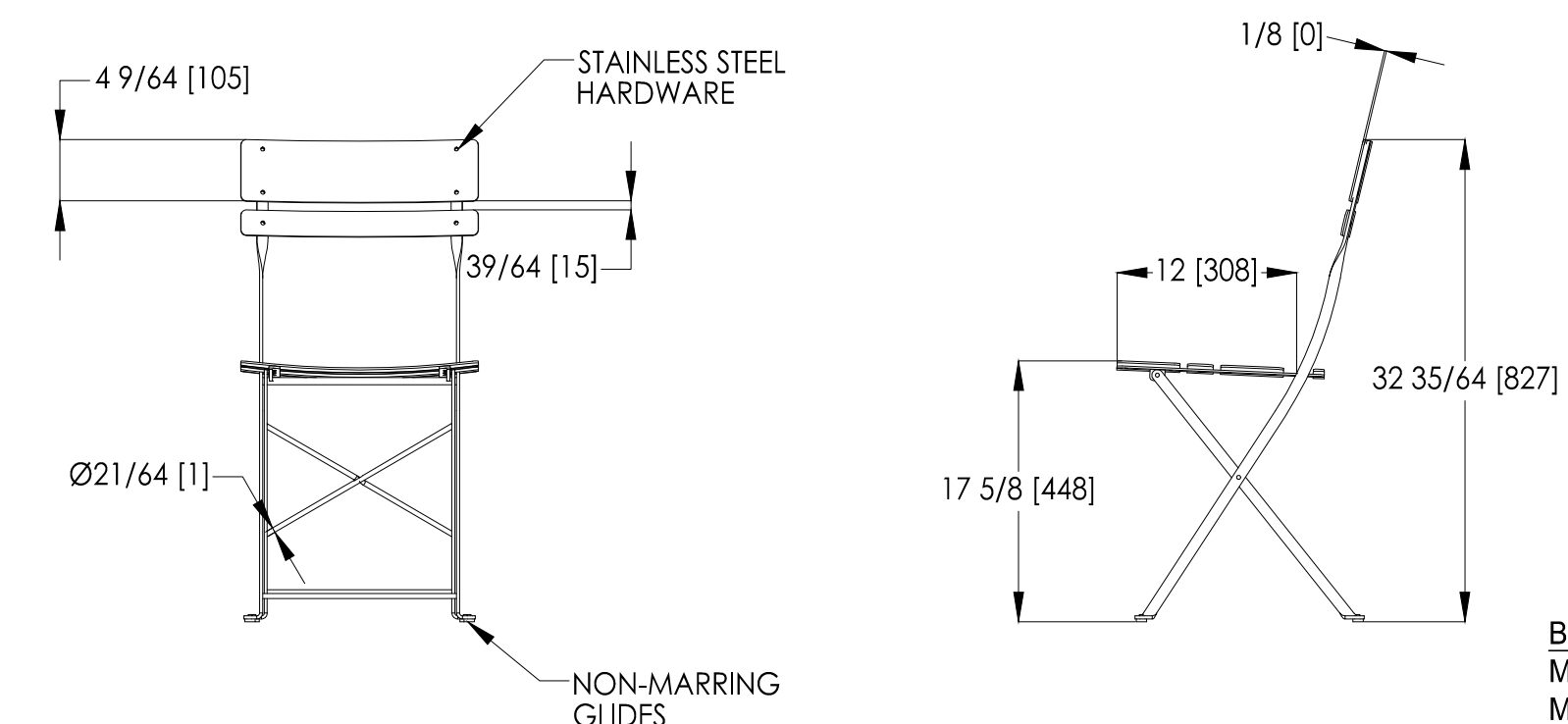


**E** PATIO TABLES  
SCALE: N.T.S.

BRAVO BISTRO TABLE  
MANUFACTURER: LANDSCAPE FORMS  
MODEL NUMBER: CS201-01  
COLOR: CADMIUM  
CONTACT: 1.800.521.2546

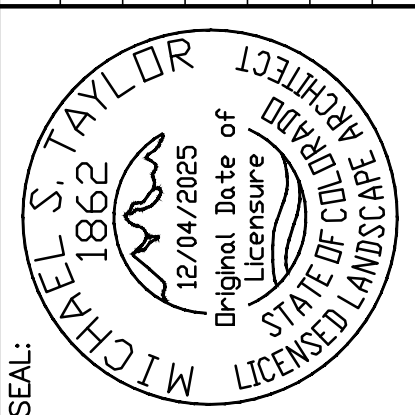


**F** PATIO CHAIRS  
SCALE: N.T.S.



BRAVO BISTRO CHAIR  
MANUFACTURER: LANDSCAPE FORMS  
MODEL NUMBER: CS101-01  
COLOR: CADMIUM  
CONTACT: 1.800.521.2546

NO.	DATE	REVISION



SEAL: MITCHELL S. TAYLOR ARCHITECT  
120042025  
Original Date of License  
STATE OF COLORADO  
LICENSED LANDSCAPE ARCHITECT

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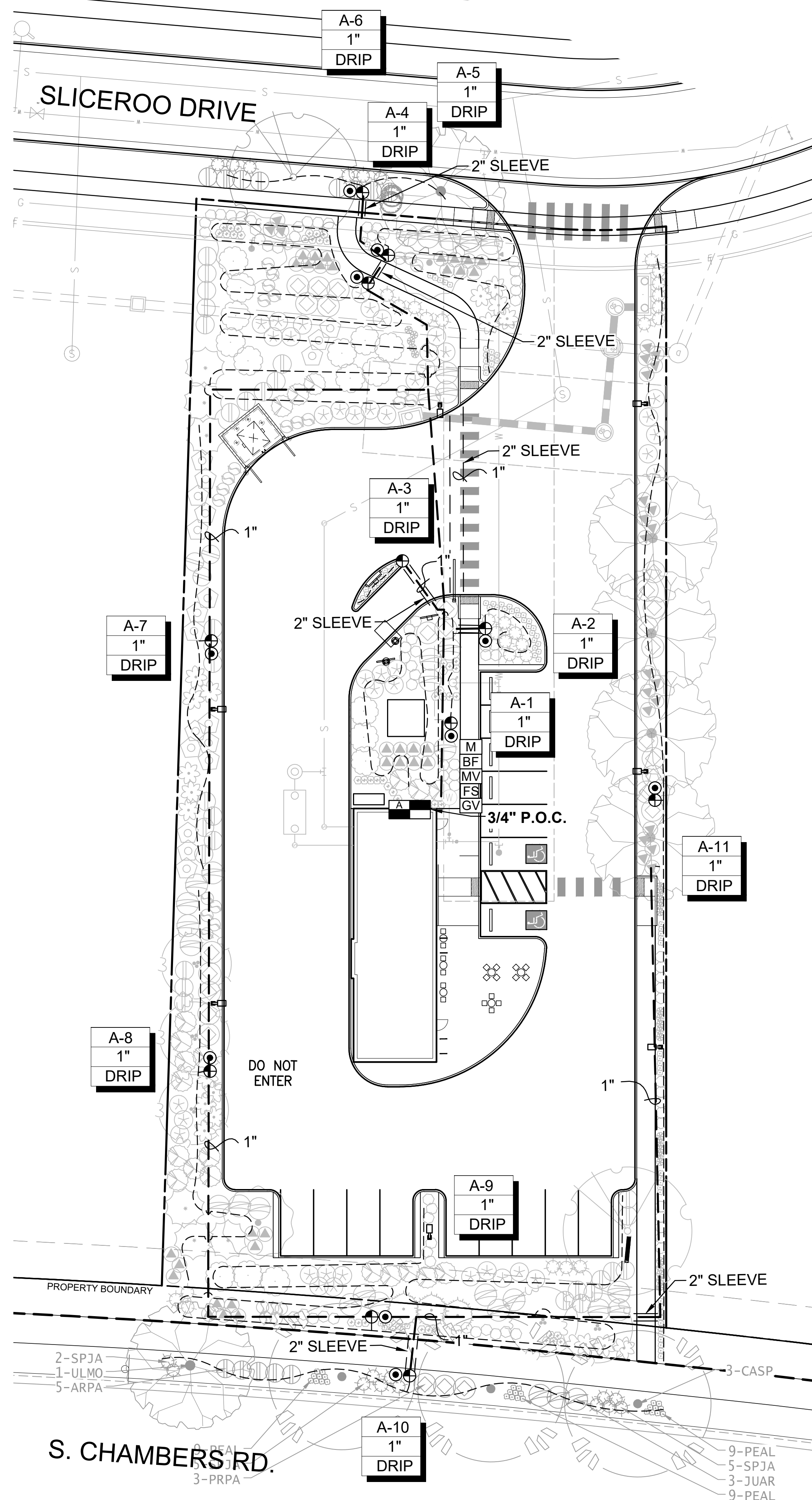
PROJECT NO: 2243 | DRAWN/DESIGNED BY: JG/MC  
DATE: 1/16/2026 | CHECKED BY: MST

SITE PLAN PREPARED FOR:  
**DOUGLAS 234, FILING NO. 6,  
AMENDMENT 1, LOT 4**  
DOUGLAS COUNTY, COLORADO

**LANDSCAPE PLAN & DETAILS**

# SITE PLAN FOR DUNKIN' DONUTS DOUGLAS 234, FILING NO. 6, AMENDMENT 1, LOT 4

A PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 29,  
TOWNSHIP 6 SOUTH, RANGE 66 WEST, 6TH PRINCIPAL MERIDIAN,  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO  
0.901 ACRES, 1 COMMERCIAL LOT



### IRRIGATION NOTES

#### IRRIGATION - GENERAL

ALL WORK SHALL CONFORM TO TOWN OF PARKER STANDARDS AND SPECIFICATIONS AND WITH THE ACCEPTED PLANS. REFER TO THESE STANDARDS FOR ADDITIONAL INFORMATION AS NEEDED. A COPY OF THESE SPECIFICATIONS SHALL BE AVAILABLE ON THE WORK SITE AT ALL TIMES.

THIS SYSTEM DESIGN ASSUMES A STATIC PRESSURE OF 70 PSI AT THE POINT OF CONNECTION. CONTRACTOR RESPONSIBLE FOR VERIFYING PRESSURE AND FLOW. CONTRACTOR RESPONSIBLE FOR COORDINATION OF ELECTRICAL INSTALLATION OF CONTROLLER.

INSTALL CONTROLLER ON PEDESTAL AT APPROXIMATE LOCATION SHOWN ON PLANS. COORDINATE LOCATION WITH OWNER.

INSTALL ALL ELECTRICAL IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE AND ALL APPLICABLE LOCAL CODES.

DO NOT PROCEED WITH THE INSTALLATION OF THE IRRIGATION SYSTEM WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS OR GRADE DIFFERENCES EXIST THAT WILL AFFECT THE EFFICIENCY OF THE IRRIGATION SYSTEM. CONTACT OWNERS REPRESENTATIVE FOR CLARIFICATION. IF DISCREPANCIES IN NOTES, DETAILS OR SPECIFICATIONS EXIST CONTACT OWNER'S REPRESENTATIVE TO CLARIFY.

DRAWINGS ARE DIAGRAMMATIC, IRRIGATION SYSTEM IS TO BE INSTALLED IN LANDSCAPE AREAS.

CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL IRRIGATION SLEEVING. COORDINATE ALL SLEEVING INSTALLATION WITH OTHER TRADES.

ALL DRIP LINES TO BE INSTALLED BROUGHT TO THE BASE OF PLANTS.

THE CONTRACTOR SHALL CERTIFY THAT THE GRADE IS WITHIN PLUS OR MINUS ONE-TENTH (1/10TH) OF THE FINAL GRADING PLAN PRIOR TO COMMENCEMENT OF ANY LANDSCAPE OR IRRIGATION WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES ASSOCIATED WITH THE WORK AS SHOWN ON THE PLANS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.

ANY REVISION TO THE IRRIGATION PLAN SHALL BE REVIEWED AND APPROVED BY THE TOWN OF PARKER PRIOR TO IMPLEMENTATION.

THE CONTRACTOR SHALL HAVE ACCEPTED SET OF PLANS AND MUST HAVE HELD A PRE-CONSTRUCTION MEETING WITH OWNERS REPRESENTATIVE PRIOR TO COMMENCEMENT OF ANY AND ALL WORK.

THE CONTRACTOR SHALL WARRANT THE WORKMANSHIP AND IRRIGATION SYSTEM FOR A PERIOD OF TWO YEARS.

DO NOT DISTURB PAVING, LIGHTING, LANDSCAPE OR IRRIGATION THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLANS.

THE CONTRACTOR SHALL IDENTIFY, VERIFY AND PROTECT CONTROL POINT. CONTRACTOR SHALL VERIFY LOCATION OF CONTROL POINT WEEKLY AND THE ORIGINAL CONDITION OF CONTROL POINT PIN SHALL BE MAINTAINED THROUGHOUT ENTIRE PROJECT. LOCATION AND G.P.S. COORDINATES OF THE CONTROL POINT SHALL BE IDENTIFIED ON ALL PLANS AND AS-BUILTS.

THE IRRIGATION SYSTEM SHALL BE INSTALLED AFTER SOIL PREPARATION AND PRIOR TO PLANT MATERIALS.

#### IRRIGATION - INSPECTIONS

CONTRACTOR SHALL BE RESPONSIBLE FOR THE SCHEDULING AND COORDINATION OF ALL REQUIRED INSPECTIONS WITH OWNERS REPRESENTATIVE AND THE TOWN OF PARKER. REFER TO TOWN OF PARKER STANDARDS AND SPECIFICATIONS FOR ALL REQUIRED INSPECTIONS.

THE IRRIGATION SYSTEM SHALL PASS A MAINLINE PRESSURE TEST AND COVERAGE TEST AND A WATERING SCHEDULE WITH RUN TIMES AND APPLICATION RATES SHALL BE SUBMITTED PRIOR TO SODDING, SEEDING, OR PLANTING.

CONTRACTOR SHALL SCHEDULE PRESSURE TEST AT COMPLETION OF MAINLINE. MAINLINE SHALL HOLD AT SEVENTY (70) P.S.I. FOR TWO (2) HOURS.

#### IRRIGATION - AS-BUILTS

APPROVED CONSTRUCTION DRAWINGS SHALL BE ON SITE AND UPDATED DAILY WITH AS-BUILT MARKUPS. CONTRACTOR SHALL MAKE AS-BUILTS AVAILABLE ON SITE TO TOWN STAFF AND OWNERS REPRESENTATIVE FOR REVIEW AND INSPECTION IMMEDIATELY UPON REQUEST.

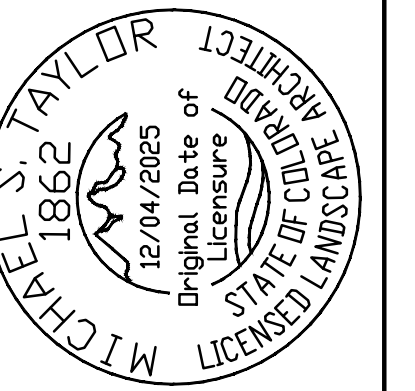
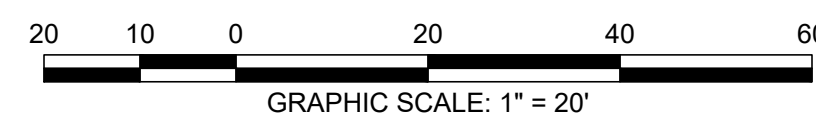
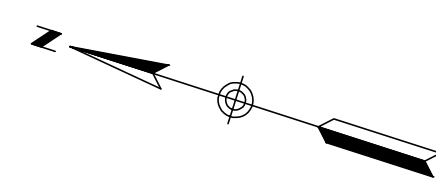
RECORD ALL CHANGES WHICH ARE MADE FROM THE CONTRACT DRAWINGS. RECORD ALL REQUIRED INFORMATION ON AS-BUILT DRAWINGS. DO NOT USE THESE PRINTS FOR ANY OTHER PURPOSE.

### IRRIGATION MATERIAL LEGEND

SYMBOL	MANUFACT.	MODEL NO. / DESCRIPTION	DETAIL / SHEET
	HUNTER	HYDRAWISE X2-1400, IRRIGATION CONTROLLER 'A' 14 STATION CONTROLLER, 12 STATIONS USED	A/9
	P.O.C. 'A'	METER, P.O.C. 'A' - 3/4" POTABLE TAP. STATIC WATER PRESSURE IS ASSUMED TO BE 70 PSI, CONTRACTOR TO FIELD VERIFY AND NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF DIFFERENT	B/9
	FEBCO	1" BACKFLOW PREVENTION ASSEMBLY 825-YA SPARKERS W/MODEL 650 W/YE STRAINER. IN STRONG BOX ENCLOSURE. ALL PIPING BETWEEN METER AND BACKFLOW DEVICE SHALL BE 'K' COPPER OR RED BRASS.	B & C/9
	RAINBIRD	1" BRASS MASTER VALVE, EFB-CP-PRS-D. NORMALLY CLOSED WITH PRESSURE REGULATING MODULE. MASTER VALVE SHALL BE INSTALLED IN A 'JUMBO' SIZED VALVE BOX WITH LOCKING COVER AND 'MCV' HEAT BRANDED ON COVER	B & D/9
	HUNTER	RAIN-CLIK FLOW SENSOR. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.	B/10
	RAINBIRD	QUICK COUPLER VALVE 44RC WITH LOCKING RUBBER COVER, INSTALLED IN 10" ROUND VALVE BOX WITH 'QCV' HEAT BRANDED ON COVER INSTALL QCV ON A 1" STUB-OUT OFF MAINLINE.	D/10
	RAINBIRD	XCZ-150-PRB-COM, 1" REMOTE CONTROL DRIP VALVE KIT, BOX WITH LOCKING VALVE COVER AND 'RCV' HEAT BRANDED ON COVER.	A/11
	AS APPROVED	MAINLINE, CLASS 200 PVC SOLVENT WELD FITTINGS	H/10
	AS APPROVED	HUNTER POLYETHYLENE DRIP TUBING WITH EMITTERS TO BASE OF PLANTS	E/9
	AS APPROVED	SLEEVING, SCH. 40 PVC PIPE, MINIMUM 4" DIAMETER FOR PIPING, LARGER WHERE APPROPRIATE. A SEPARATE 2" SLEEVE, FOR WIRE UNDER ALL PAVED SURFACES.	C, G/10
	RAINBIRD	SHRUBS - POINT SOURCE DRIP ZONE, XERIBUG DRIP EMITTERS ON A STAKE CONNECTED TO POLY DRIP TUBING PER DETAIL.	E/9
	AS APPROVED	WIRE SPLICES ALLOWED ONLY WHERE RUNS EXCEED 2500'. PULL BOXES FOR WIRE SPLICES. PULL BOXES SHALL BE 12" RECTANGULAR WITH LOCKING LID.	I/10
	NETAFIM	DRIP END FLUSH, NETAFIM TL050MFV-1, INSTALL ON PVC EXHAUST MANIFOLD WITHIN VALVE BOX AT END RUN(S) IN SYSTEM. INSTALL MIN. TYP AS REQUIRED.	

### LATERAL PIPE SIZING CHART:

CLASS 200 PIPE	GPM	PIPE SIZE	SLEEVE SIZE
3/4"	0-10	1/2"	2"
1"	11-16	3/4"	2"
1-1/4"	17-26	1"	2"
1-1/2"	27-36	1-1/4"	3"
2"	37-55	1-1/2"	3"
2-1/2"	56-80	2-1/2"	4"
		3"	6"



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PROJECT NO: 2243 | DRAWN/DESIGNED BY: JG/MC  
DATE: 1/16/2026 | CHECKED BY: MST

SITE PLAN PREPARED FOR:  
**DOUGLAS 234, FILING NO. 6,  
AMENDMENT 1, LOT 4**  
DOUGLAS COUNTY, COLORADO

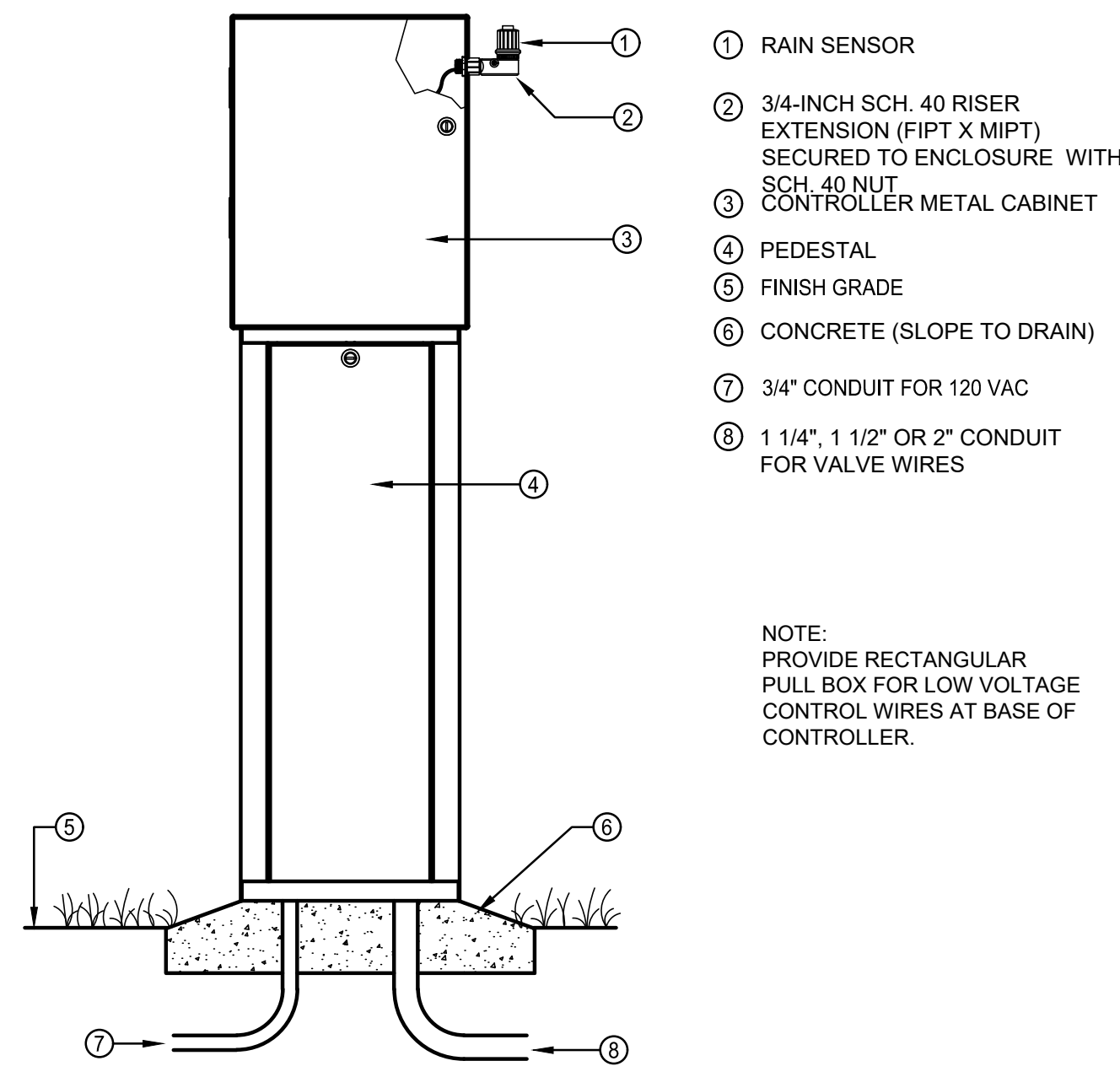
**LANDSCAPE IRRIGATION & DETAILS**

DRAWING NO.  
**8**

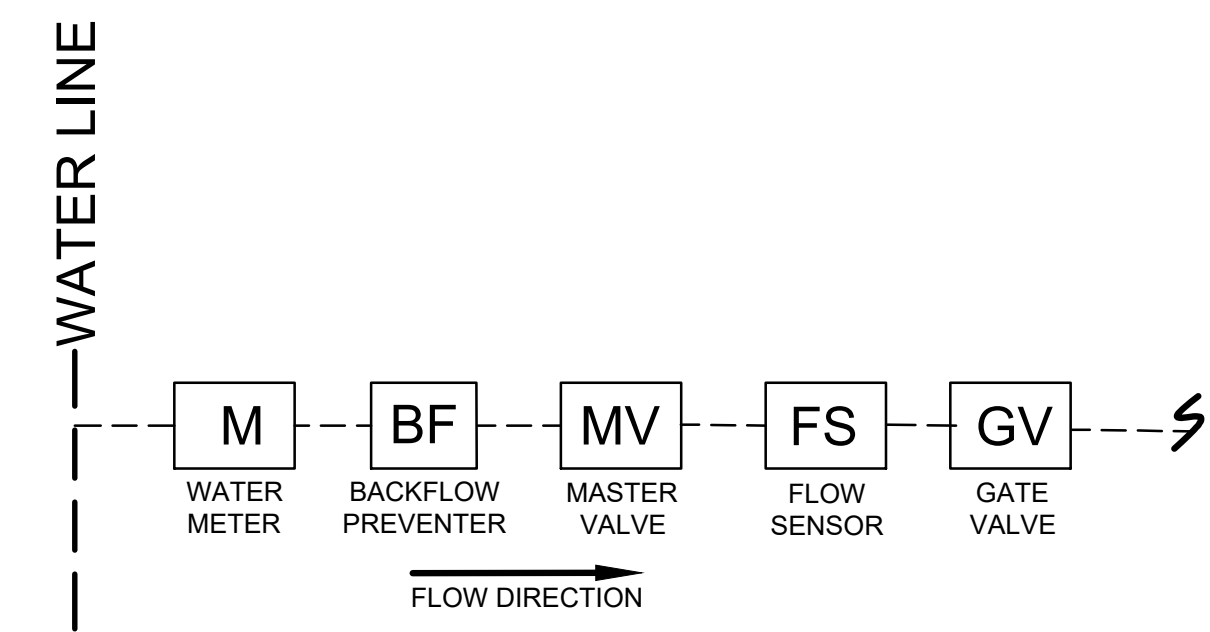
6TH SUBMITTAL

# SITE PLAN FOR DUNKIN' DONUTS DOUGLAS 234, FILING NO. 6, AMENDMENT 1, LOT 4

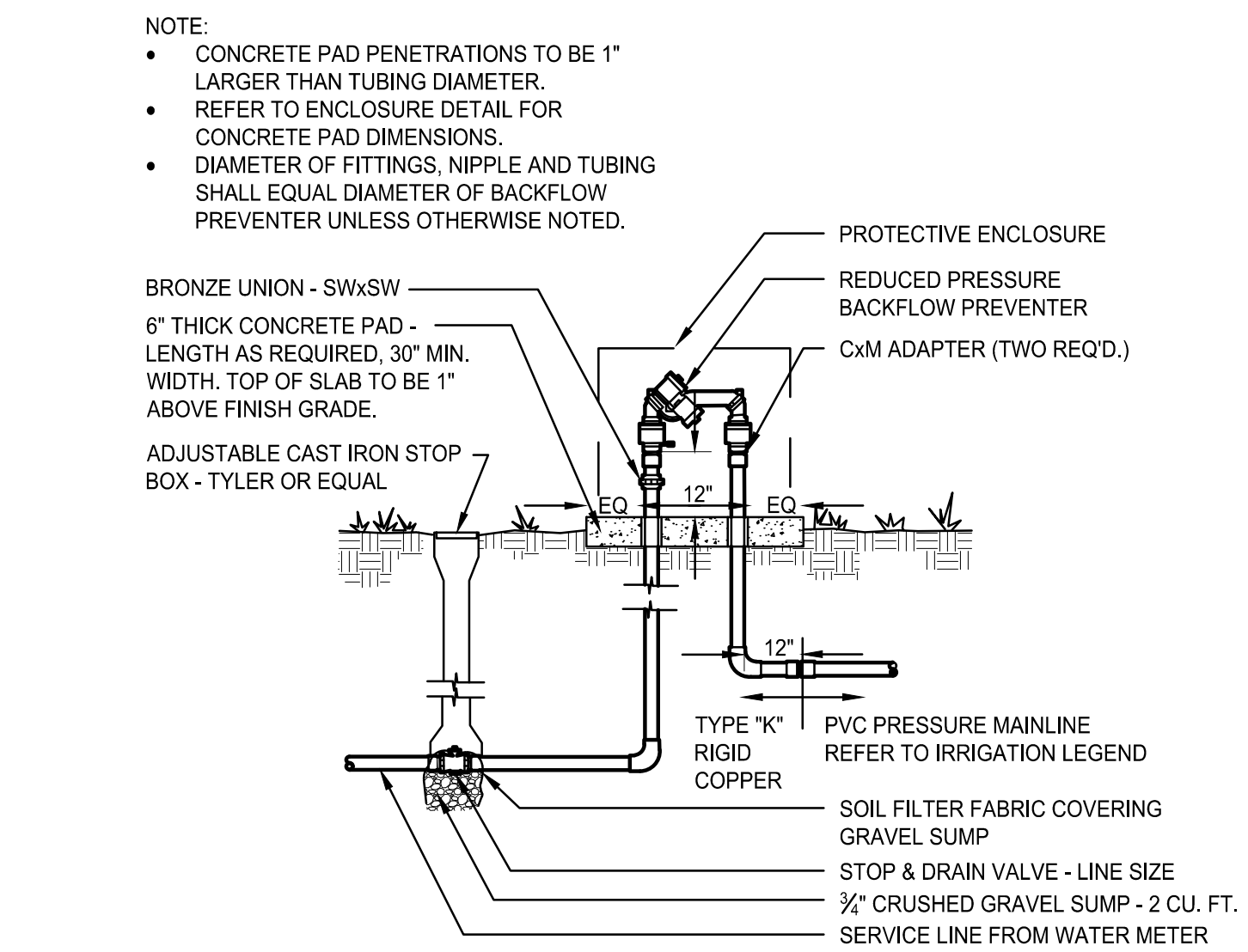
A PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 29,  
TOWNSHIP 6 SOUTH, RANGE 66 WEST, 6TH PRINCIPAL MERIDIAN,  
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0.901 ACRES, 1 COMMERCIAL LOT



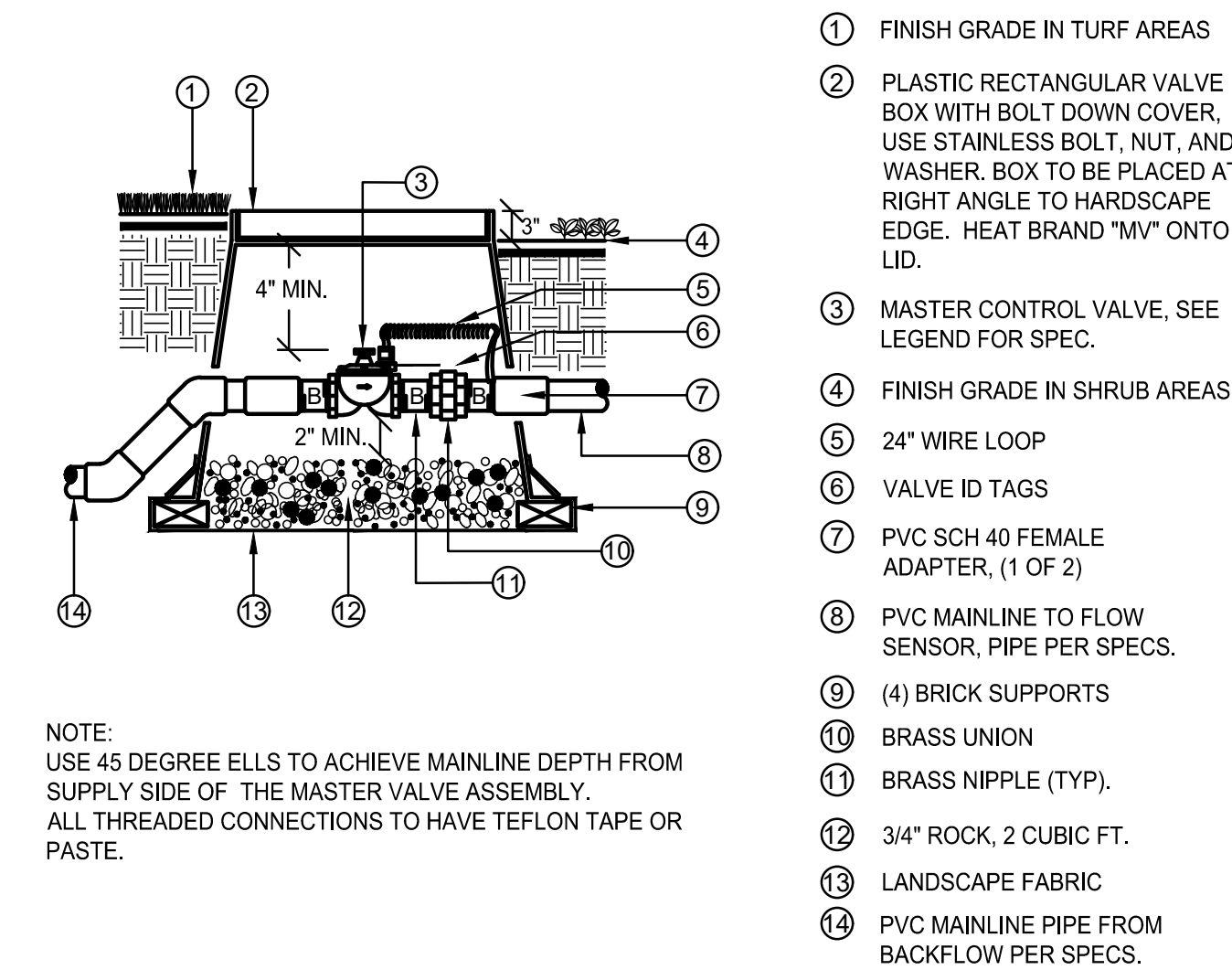
**A** CONTROLLER PEDESTAL MOUNT  
SCALE: N.T.S.



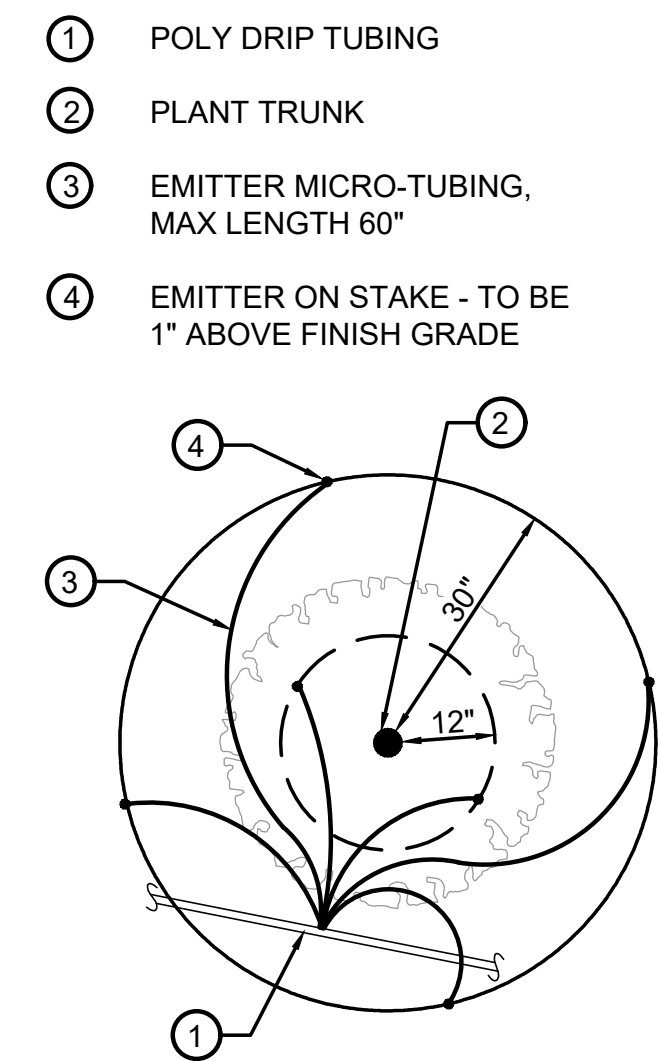
**B** POINT OF CONNECTION (P.O.C.)  
SCALE: N.T.S.



**C** BACKFLOW PREVENTER  
SCALE: N.T.S.



**D** MASTER VALVE  
SCALE: N.T.S.



**E** DRIP EMITTER  
SCALE: N.T.S.

## ParkerWater LANDSCAPE/IRRIGATION WORKSHEET

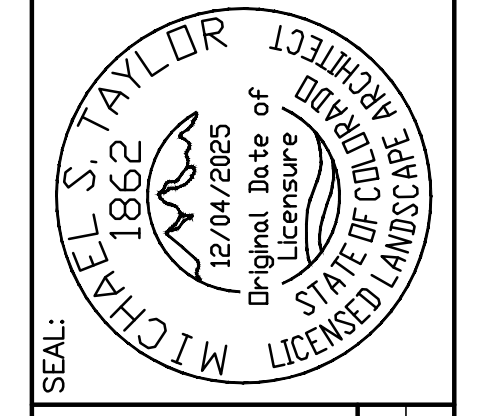
Tap sizing for dedicated irrigation taps

\*Yellow fields require user input\*

**Irrigation Water Requirement = (ET<sub>o</sub> x PF x LA)/IE**

Define Landscape & Irrigation System:		Site Summary:	
<b>High Water Use Plant Material</b> *Cool season turfgrass (Kentucky bluegrass)		Total Irrigated Area (sq ft)	14937
Plant Factor (PF, %)	High 0.9	Avg Plant Factor (%)	0.50
Landscape Area (LA, sq ft)	0	Avg Irrigation Efficiency (%)	0.90
Irrigation Efficiency (IE, %)	Overhead 0.65	<b>Peak monthly ET, Parker, CO:</b>	
<b>High-Moderate Water Use Plant Material</b> *Hybrid grass types (Texas hybrids, fescue, etc.)		Peak monthly IWR:	38896 gal
Plant Factor (PF, %)	High-Med 0.8	Maximum flow requirement	4.1 GPM
Landscape Area (LA, sq ft)	0	* Max. flow requirements are based on peak monthly irrigation demands and follow PWSD's watering guidelines	
Irrigation Efficiency (IE, %)	Overhead 0.65	<b>Irrigation Water Requirement (IWR):</b>	
<b>Moderate Water Use Plant Material</b> *Traditional trees/shrubs/perennials, alternative grass types (buffalograss, blue grama, etc.)		<b>Hydraulic Requirements:</b>	
Plant Factor (PF, %)	Med 0.5	Tap Size (in)	Max GPM
Landscape Area (LA, sq ft)	14,937	3/4"	10
Irrigation Efficiency (IE, %)	Drip 0.9	1"	18
<b>Low Water Use Plant Material</b> *Xeric trees/shrubs/perennials, native grass mixes		1 1/2"	40
Plant Factor (PF, %)	Low 0.25	2"	71
Landscape Area (LA, sq ft)	0	3"	189
Irrigation Efficiency (IE, %)	Drip 0.9	4"	380
*PWSD holds final discretion for determining appropriate plant factor designations based on landscape plan submission		Tap Size Requirement	3/4"
Visit Appendix B of the SMWSA Model Ordinance for Plant Factor Guidelines		System Design Pressure:	70 PSI
<input type="checkbox"/> Design pressure has been field tested & verified <input checked="" type="checkbox"/> This form has been completed in compliance with PWSD's Engineering Standards & Specifications Manual regarding irrigation design specifications			

PLANT SIZE	EMITTER FLOW RATE	EMITTER QTY. AT MULCHED BED LOCATIONS	EMITTER QTY. AT NATIVE SEED LOCATIONS
1-2 GALLON MATERIAL	1 GPH	ONE EACH	ONE EACH
5 GALLON MATERIAL	1 GPH	TWO EACH	TWO EACH
1-1/2" CALIPER TREE	1 GPH	FOUR EACH	FOUR EACH
2" CALIPER TREE	1 GPH	FIVE EACH	SIX EACH
2-1/2" CALIPER TREE	1 GPH	SIX EACH	EIGHT EACH
3" CALIPER TREE	1 GPH	EIGHT EACH	TEN EACH
3-1/2" CALIPER TREE	1 GPH	NINE EACH	ELEVEN EACH
4" CALIPER TREE	1 GPH	TEN EACH	TWELVE EACH
6 FT. CONIFEROUS TREE	1 GPH	FOUR EACH	SIX EACH
8 FT. CONIFEROUS TREE	1 GPH	SIX EACH	NINE EACH
10 FT. CONIFEROUS TREE	1 GPH	EIGHT EACH	TWELVE EACH
12 FT. CONIFEROUS TREE	1 GPH	TEN EACH	FOURTEEN EACH



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2243 DRAWN/DESIGNED BY: JG/MC  
1/16/2026 CHECKED BY: MST

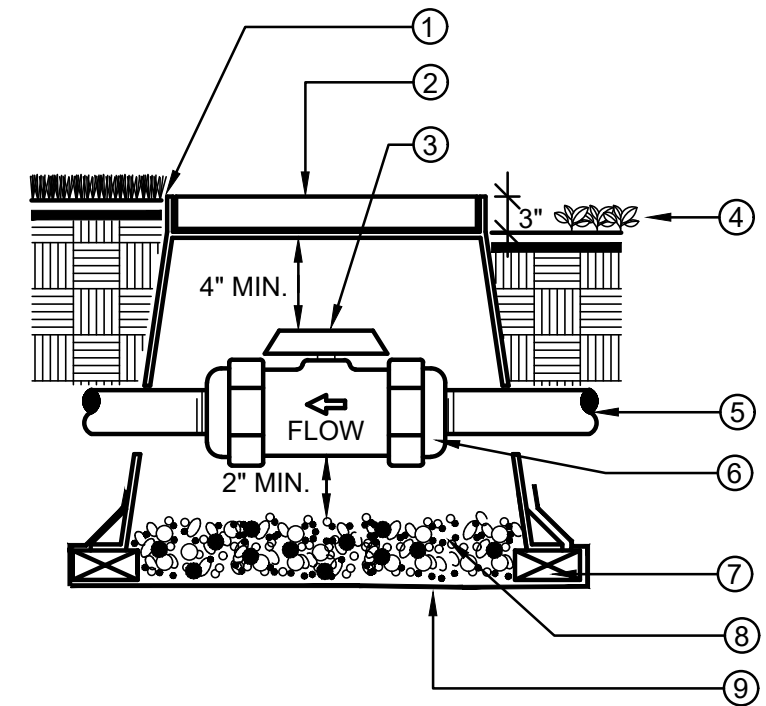
SITE PLAN PREPARED FOR:  
**DOUGLAS 234, FILING NO. 6,  
AMENDMENT 1, LOT 4**  
DOUGLAS COUNTY, COLORADO

**LANDSCAPE IRRIGATION & DETAILS**



# SITE PLAN FOR DUNKIN' DONUTS DOUGLAS 234, FILING NO. 6, AMENDMENT 1, LOT 4

A PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 29,  
TOWNSHIP 6 SOUTH, RANGE 66 WEST, 6TH PRINCIPAL MERIDIAN,  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO  
0.901 ACRES, 1 COMMERCIAL LOT



- 1 FINISH GRADE IN TURF AREAS
- 2 PLASTIC RECTANGULAR VALVE BOX WITH BOLT DOWN COVER. USE STAINLESS BOLT, NUT, AND WASHER. BOX TO BE PLACED AT RIGHT ANGLE TO HARDSCAPE EDGE. HEAT BRAND "BV" ONTO LID.
- 3 PVC BALL VALVE. SEE LEGEND FOR SPECIFICATION
- 4 FINISH GRADE IN SHRUB AREAS
- 5 MAINLINE. DEPTH AS PER SPECS.
- 6 DUAL UNION CONNECTIONS AS PART OF BALL VALVE. THREADED IF SPECIFIED IN LEGEND
- 7 (4) BRICK SUPPORTS
- 8 3/4" ROCK, 2 CUBIC FT.
- 9 LANDSCAPE FABRIC

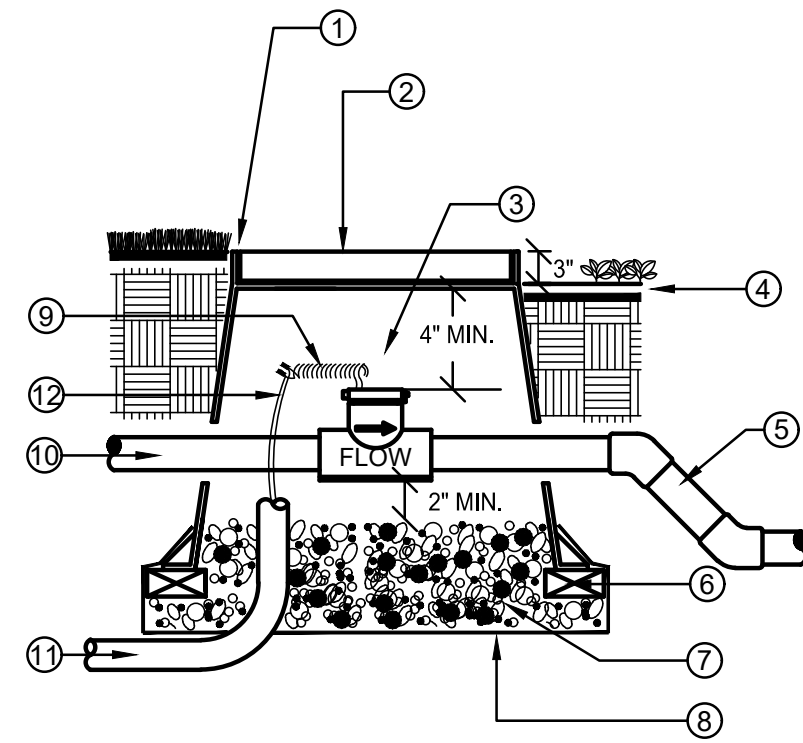
NOTE:  
BOX TO BE INSTALLED TO ALLOW FOR PROPER OPERATION OF BALL VALVE HANDLE. INSTALL AT RIGHT ANGLE TO HARDSCAPE EDGE.

INSTALL VALVE BOX EXTENSIONS AS REQUIRED TO ACHIEVE PROPER VALVE INSTALLATION AT MAINLINE DEPTH.

ALL THREADED CONNECTIONS SHALL HAVE TEFLON TAPE OR PASTE.

## A BALL VALVE, TRU-UNION

SCALE: N.T.S.

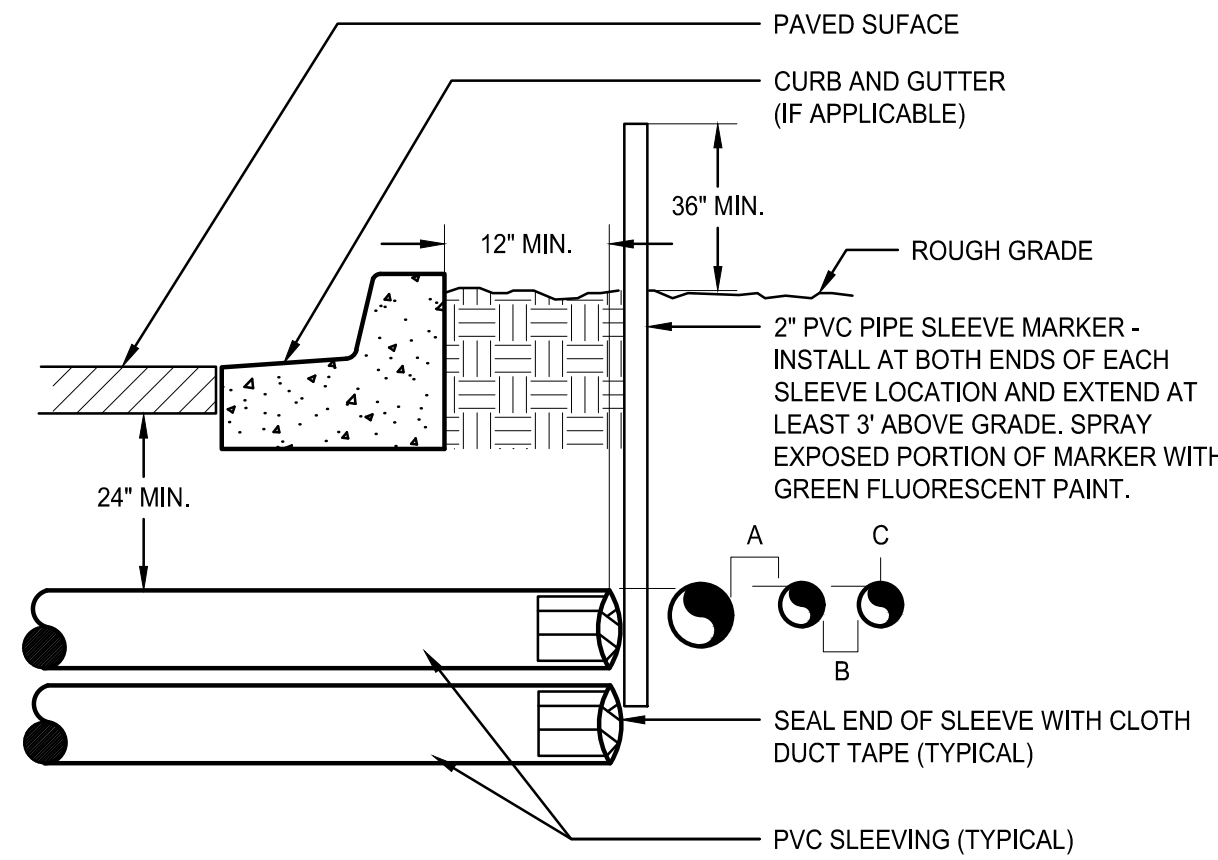


- 1 FLUSH W/ FINISH GRADE IN TURF AREAS TYP.
- 2 CONCRETE RECTANGULAR VALVE BOX WITH CAST IRON LOCKING LID. BOX TO BE PLACED AT RIGHT ANGLE TO HARDSCAPE EDGE. PAINT "FS" ONTO LID.
- 3 FLOW SENSOR. SEE LEGEND FOR SPECIFICATION
- 4 FINISH GRADE IN SHRUB MULCH AREAS
- 5 PVC MAINLINE TO SYSTEM. PIPE PER SPECIFICATION
- 6 (4) BRICK SUPPORTS
- 7 3/4" ROCK, 2 CUBIC FEET
- 8 LANDSCAPE FABRIC
- 9 24" WIRE LOOP
- 10 PVC MAINLINE FROM MASTER VALVE
- 11 1" ELECTRICAL CONDUIT TO CONTROLLER
- 12 SHIELDED CABLE

NOTE:  
NO FITTINGS 10x PIPE O.D. UPSTREAM OF SENSOR, NO FITTINGS 5x PIPE O.D. DOWNSTREAM OF SENSOR.  
INSTALL FLOW SENSOR PER THE MANUFACTURER'S RECOMMENDATIONS. ROUTE WIRES THROUGH CONDUIT TO IRRIGATION CONTROLLER.  
USE 45 DEGREE ELLS TO ACHIEVE MAINLINE DEPTH ON THE DOWNSTREAM SIDE OF THE FLOW SENSOR.

## B FLOW SENSOR

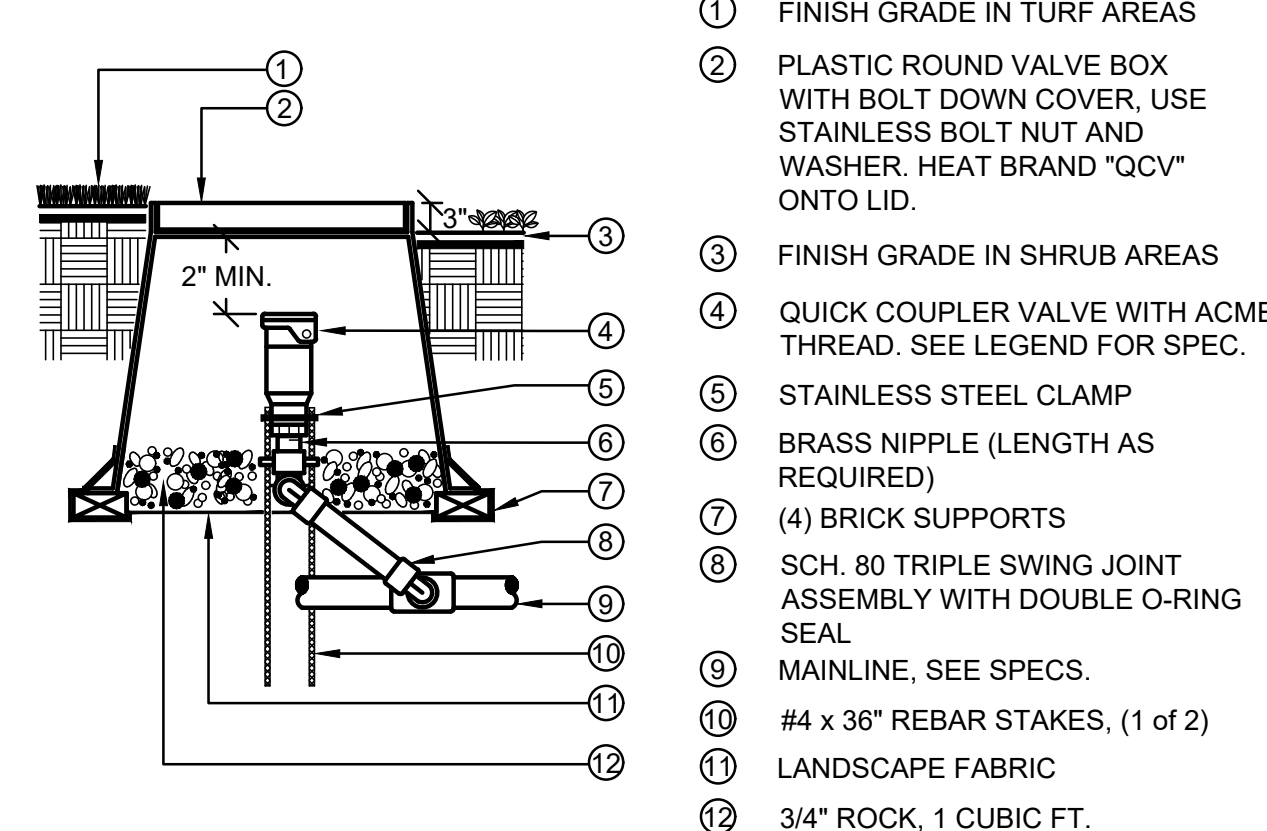
SCALE: N.T.S.



- NOTE:
- ALL SLEEVE MATERIAL PER IRRIGATION SCHEDULE. SIZE AS NOTED ON PLAN.
  - INSTALL SLEEVES IN SIDE-BY-SIDE CONFIGURATION WHERE MULTIPLE SLEEVES ARE TO BE INSTALLED. SPACE SLEEVES 4" TO 6" APART. DO NOT STACK SLEEVES VERTICALLY.
  - CONTRACTOR TO COORDINATE WITH FLATWORK INSTALLER TO BRAND A "V" IN SIDEWALK OR CURB AT BOTH ENDS OF SLEEVE CROSSING.

## C IRRIGATION SLEEVING

SCALE: N.T.S.

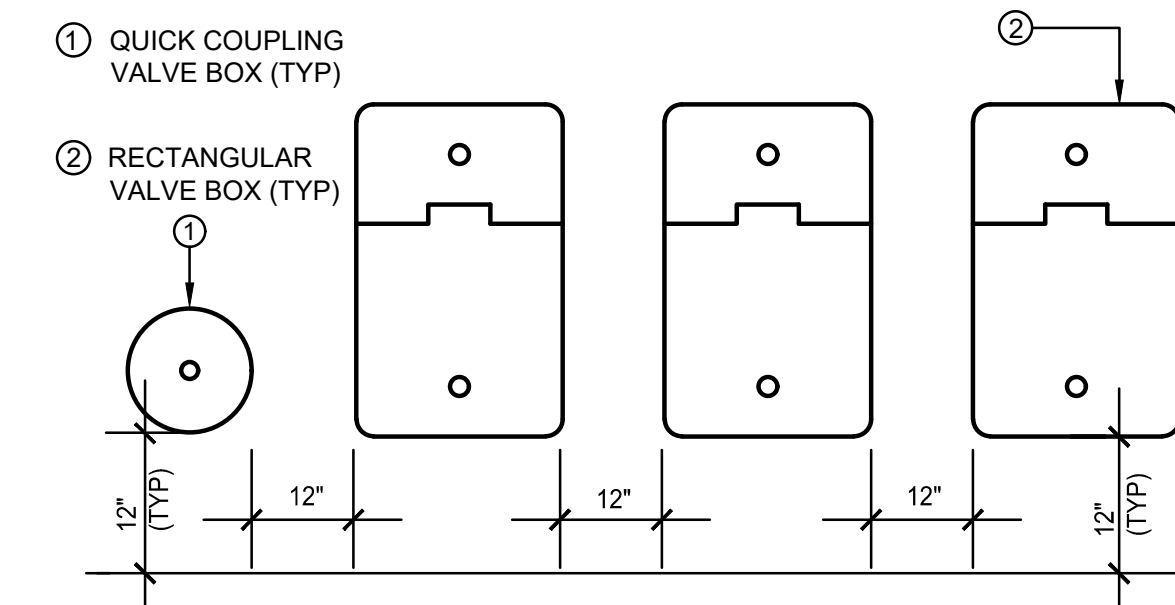


- 1 FINISH GRADE IN TURF AREAS
- 2 PLASTIC ROUND VALVE BOX WITH BOLT DOWN COVER. USE STAINLESS BOLT NUT AND WASHER. HEAT BRAND "QCV" ONTO LID.
- 3 FINISH GRADE IN SHRUB AREAS
- 4 QUICK COUPLER VALVE WITH ACME THREAD. SEE LEGEND FOR SPEC.
- 5 STAINLESS STEEL CLAMP
- 6 BRASS NIPPLE (LENGTH AS REQUIRED)
- 7 (4) BRICK SUPPORTS
- 8 SCH. 80 TRIPLE SWING JOINT ASSEMBLY WITH DOUBLE O-RING SEAL
- 9 MAINLINE, SEE SPECS.
- 10 #4 x 36" REBAR STAKES, (1 of 2)
- 11 LANDSCAPE FABRIC
- 12 3/4" ROCK, 1 CUBIC FT.

NOTE:  
ALL THREADED CONNECTIONS TO HAVE TEFLON TAPE OR PASTE.  
QUICK COUPLER VALVE KEY MUST SWIVEL FREELY WHEN INSERTED INTO LUG TRACK.

## D QUICK COUPLER VALVE

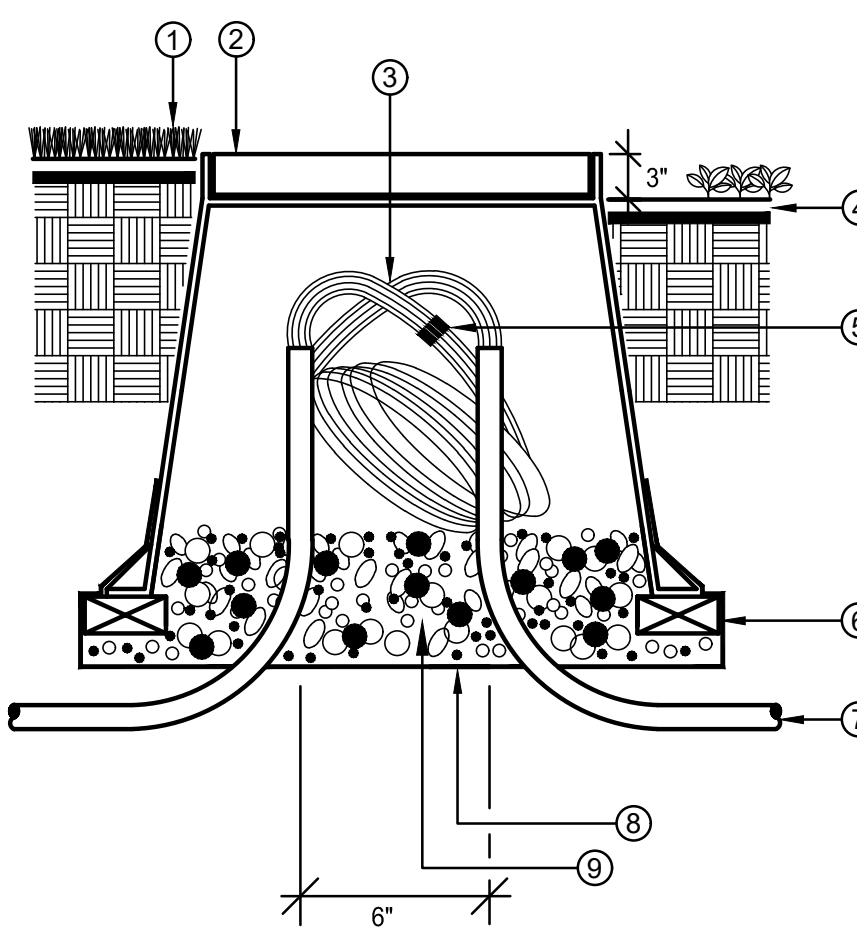
SCALE: N.T.S.



- NOTES:
1. VALVE BOXES SHALL BE LABELED BY HOT IRON BRANDING OR ALUMINUM ASPHALT BASED WATERPROOF PAINT.
  2. CONTROL VALVES SHALL BE INSTALLED TO ALLOW ORDERLY ARRANGEMENT OF VALVE BOXES.
  3. LOCATE VALVE ASSEMBLIES IN SHRUB OR GROUND COVER AREAS WHEN POSSIBLE.
  4. LOCATION OF VALVE ASSEMBLIES SHALL BE STAKED FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
  5. CENTER VALVE BOXES OVER VALVE ASSEMBLY TO FACILITATE ACCESS AND MAINTENANCE.
  6. SET VALVE BOXES AT EQUAL ELEVATIONS WITH TOPS AT FINISH GRADE IN TURF AREAS OR 3" ABOVE FINISH GRADE IN SHRUB/GROUND COVER AREAS.
  7. VALVE BOXES SHALL BE SET PARALLEL TO EACH OTHER AND PERPENDICULAR TO EDGE OF AREA.
  8. DO NOT DEFORM OR COLLAPSE VALVE BOX BY EXCESSIVE SOIL COMPACTING AROUND BOX.
  9. ON RECYCLED SYSTEMS ALL VALVE BOXES AND QUICK COUPLER VALVES SHALL BE CLEARLY COLORED PURPLE.

## E VALVE BOX LAYOUT

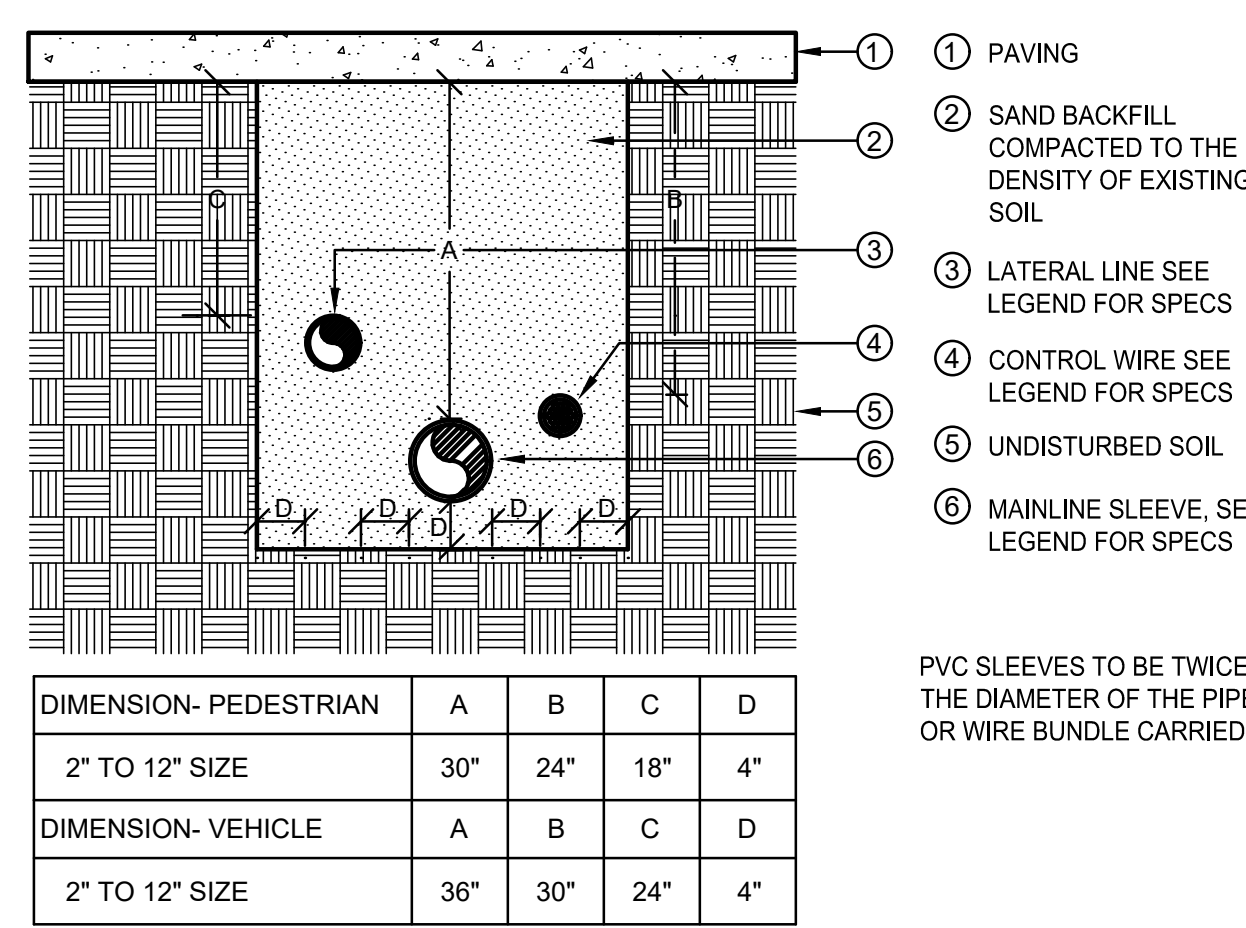
SCALE: N.T.S.



- 1 FINISHED GRADE IN TURF AREAS
- 2 10" ROUND PLASTIC VALVE BOX WITH BOLT DOWN COVER. USE STAINLESS BOLT, NUT, AND WASHER. HEAT BRAND "PB" ONTO LID.
- 3 24" WIRE EXPANSION LOOP (TYP).
- 4 FINISH GRADE IN SHRUB AREAS
- 5 WATER PROOF WIRE CONNECTORS
- 6 (4) BRICK SUPPORTS
- 7 PVC ELECTRICAL SWEEP (IF INSTALLED IN CONDUIT)
- 8 LANDSCAPE FABRIC
- 9 3/4" ROCK, 1 CUBIC FT.

## F ROUND PULL BOX

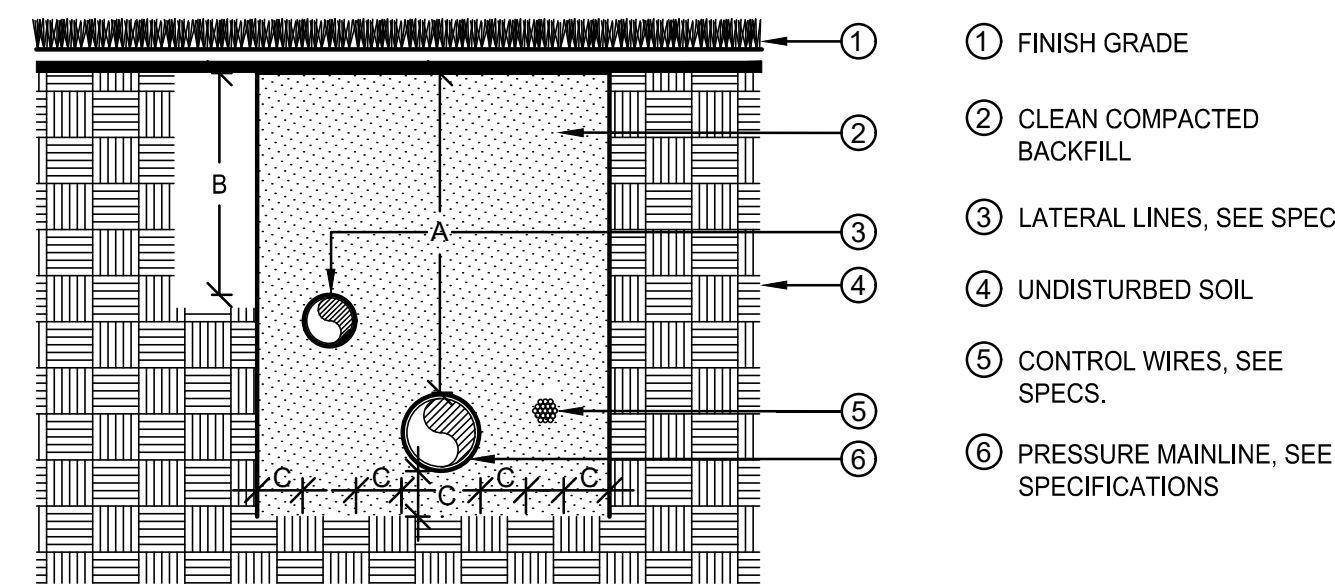
SCALE: N.T.S.



PVC SLEEVES TO BE TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE CARRIED.

## G SLEEVE INSTALLATION

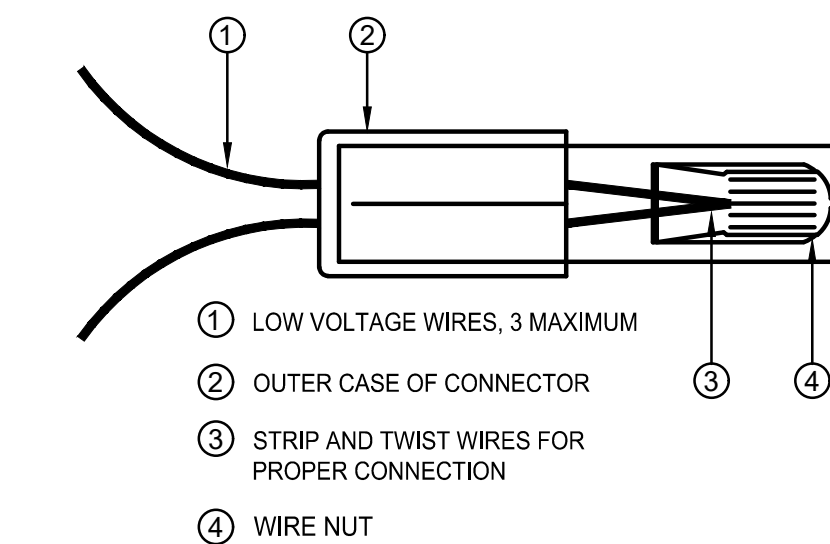
SCALE: N.T.S.



DIMENSION	A	B	C
1/2" TO 2-1/2" IN SIZE	24"	18"	4"
3" IN SIZE	24"	X	4"
4" AND LARGER	36"	X	4"

## H PIPE INSTALLATION

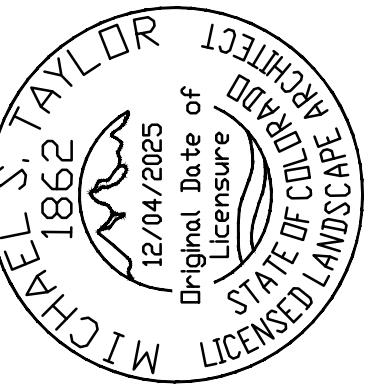
SCALE: N.T.S.



NOTE:  
INSPECT, TEST, AND VERIFY PROPER SYSTEM CONNECTION BEFORE INSERTION INTO SEALANT CARTRIDGE. DO NOT REUSE SEALANT CARTRIDGES.

## I WIRE CONNECTIONS

SCALE: N.T.S.



SEAL: MICHAEL S. TAYLOR  
1862  
12704/2025  
Original Date of License  
STATE OF COLORADO  
LICENSED LANDSCAPE ARCHITECT

8678 CONCORD CENTER DR, UNIT 200  
ENGLEWOOD, CO 80112  
303.537.8020  
rickengineering.com

**RICK**  
ENGINEERING COMPANY

San Diego - Riverside - Sacramento - Orange - Tucson - Phoenix - Las Vegas - Denver  
JG/MC  
2243 DRAWN/DESIGNED BY:  
1/16/2026 CHECKED BY:

SITE PLAN PREPARED FOR:  
**DOUGLAS 234, FILING NO. 6,  
AMENDMENT 1, LOT 4**  
DOUGLAS COUNTY, COLORADO

**LANDSCAPE IRRIGATION & DETAILS**

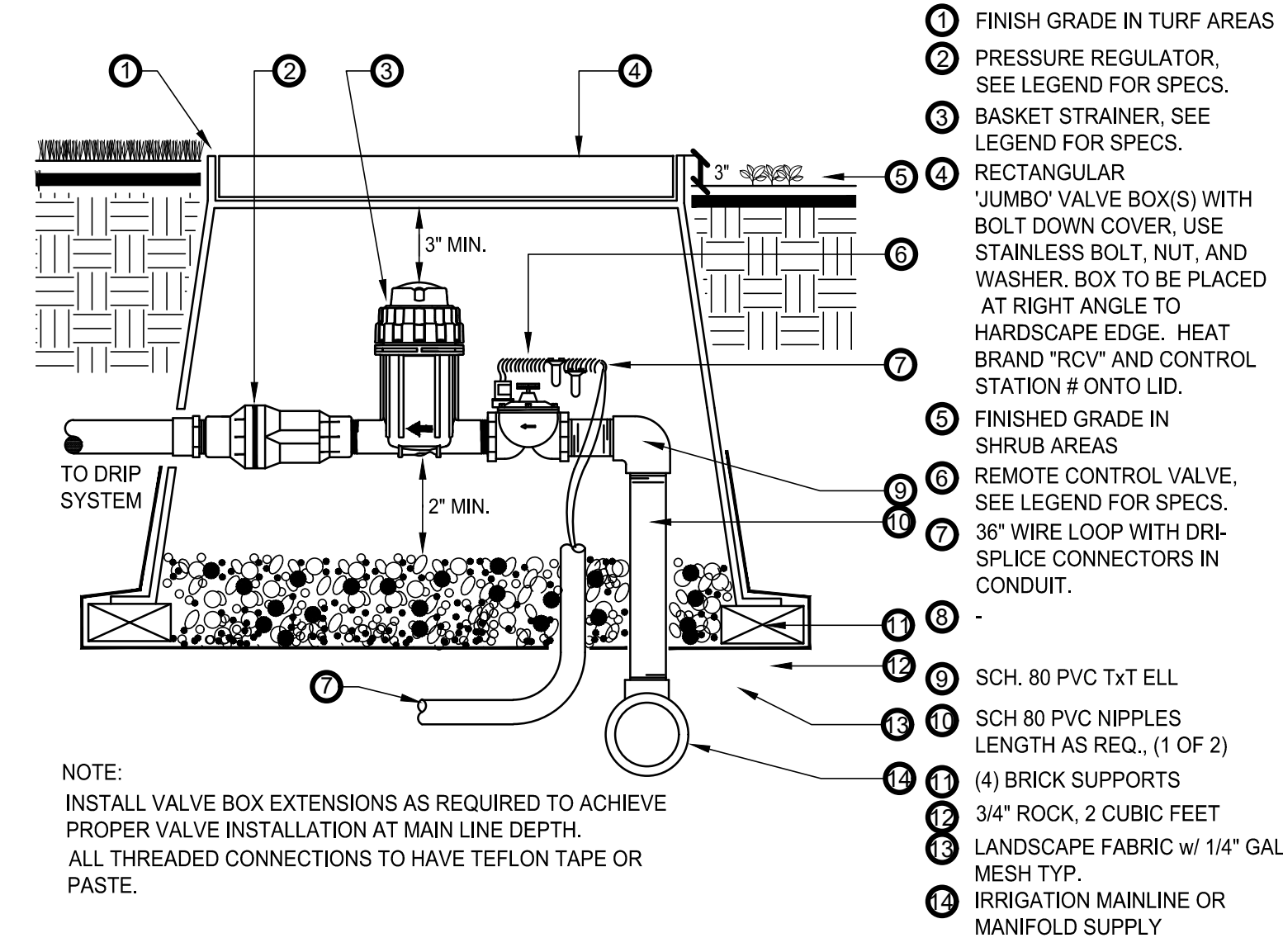


DRAWING NO. 10

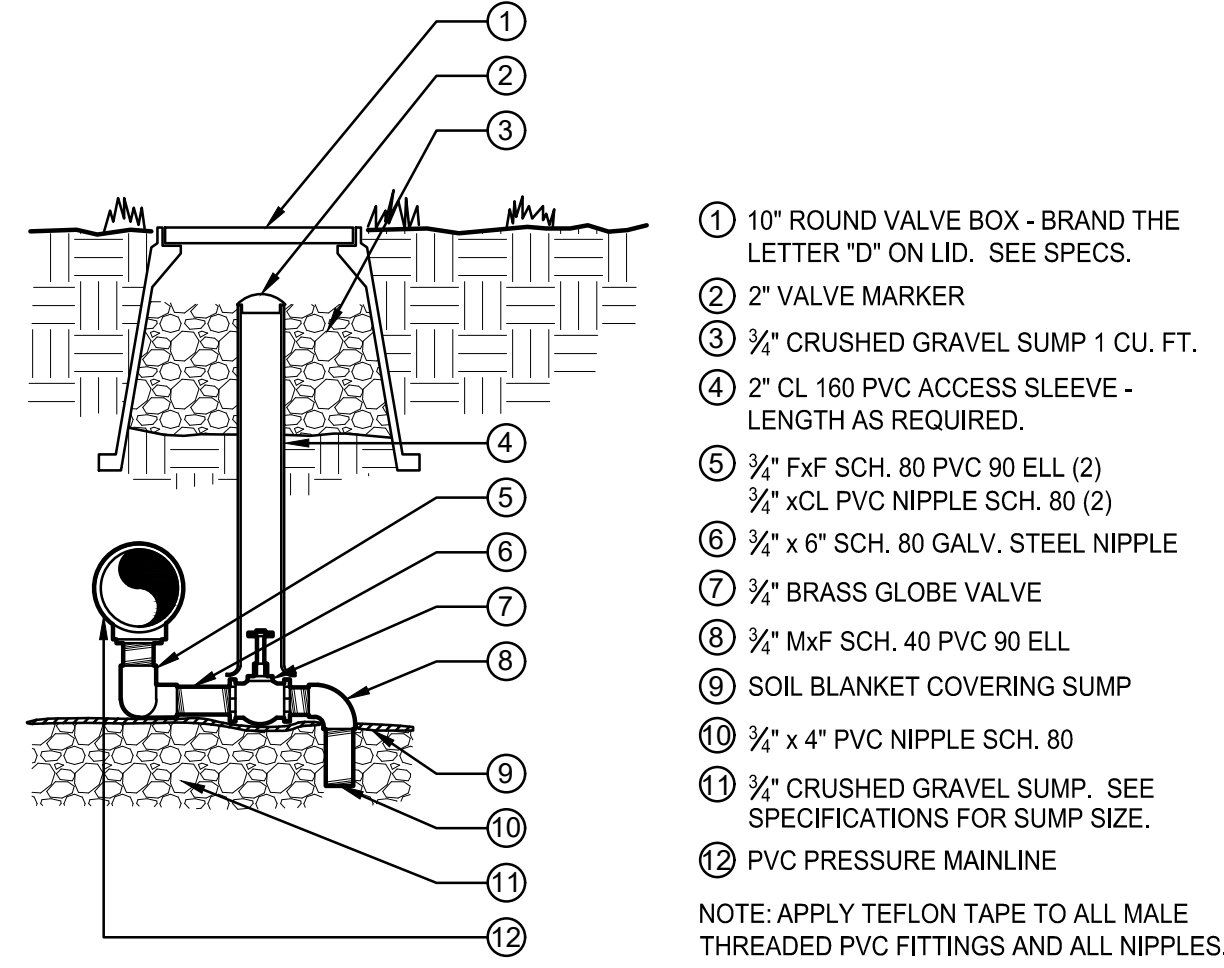
6TH SUBMITTAL

# SITE PLAN FOR DUNKIN' DONUTS DOUGLAS 234, FILING NO. 6, AMENDMENT 1, LOT 4

A PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 29,  
TOWNSHIP 6 SOUTH, RANGE 66 WEST, 6TH PRINCIPAL MERIDIAN,  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO  
0.901 ACRES, 1 COMMERCIAL LOT

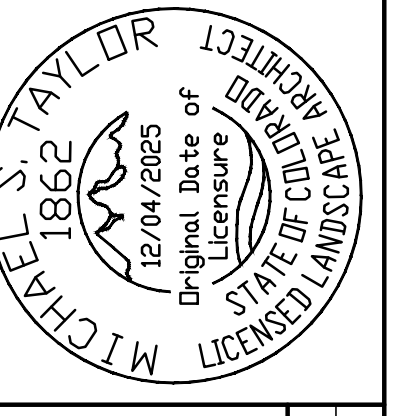


**A** DRIP CONTROL ZONE KIT  
SCALE: N.T.S.



**B** MANUAL DRAIN VALVE  
SCALE: N.T.S.

NO.	BY	DATE	REVISION



**RICK**  
ENGINEERING COMPANY

8678 CONCORD CENTER DR, UNIT 200  
ENGLEWOOD, CO 80112  
303.537.8020  
rickengineering.com

San Diego - Riverside - San Luis Obispo - Sacramento - Orange - Tucson - Phoenix - Las Vegas - Denver

PROJECT NO: 2243 | DRAWN/DESIGNED BY: JG/MC  
 DATE: 1/16/2026 | CHECKED BY: MST

SITE PLAN PREPARED FOR:  
**DOUGLAS 234, FILING NO. 6,  
 AMENDMENT 1, LOT 4**  
 DOUGLAS COUNTY, COLORADO

**LANDSCAPE IRRIGATION & DETAILS**



6TH SUBMITTAL



**PRELIMINARY**  
NOT FOR BIDDING  
NOT FOR CONSTRUCTION

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**SITE PLAN DOCUMENTS**  
**DOUGLAS 234, FILING NO. 6,**  
**AMENDMENT 1, LOT 4**  
**QUALITY BRAND GROUP CO., LLC**  
**CHAMBERS & HESS**  
**PARKER, CO**

#	Date	Issue / Description	Init.
1	11/10/23	Resubmittal	JMG
2	2/14/2025	Resubmittal	JMG
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**PHOTOMETRIC DETAILS**

**SITE PLAN**  
**DOUGLAS 234, FILING NO. 6,**  
**AMENDMENT 1, LOT 4**

**A PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 29,**  
**TOWNSHIP 6 SOUTH, RANGE 66 WEST, 6TH PRINCIPAL MERIDIAN,**  
**TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO**  
**13.80 ACRES, 11 COMMERCIAL LOTS**

**Lumark**  
**Prevail LED**  
Area / Site Luminaire

**Product Features**

- Lumen packages range from 4,800 - 84,000 lumens (35W - 588W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 160 lumens per watt
- Energy and maintenance savings up to 85% versus HID solutions
- Standard universal quick mount arm with universal drill pattern

**Product Certifications**

**Connected Systems**

- WaveLinx

**Dimensional Details**

**COOPER Lighting Solutions**

**Lumark**  
**Prevail LED**

**Ordering Information**

**Product Family 1**

Product Code	Light Engine	Color Temperature	Power	Voltage	Distribution	Mounting	Color
PLK3-PK14	220-100 1000 CCT	3000K	100W	120V	DR	12-1/2" Type II	Black
PLK3-PK14	220-100 1000 CCT	3000K	100W	120V	DR	12-1/2" Type II	White

**Prevail LED**

**Product Family 2**

Product Code	Light Engine	Color Temperature	Power	Voltage	Distribution	Mounting	Color
PLK3-PK14	220-100 1000 CCT	3000K	100W	120V	DR	12-1/2" Type II	Black
PLK3-PK14	220-100 1000 CCT	3000K	100W	120V	DR	12-1/2" Type II	White

**COOPER Lighting Solutions**

**Lumark**  
**XTOR Crosstour LED**

**DESCRIPTION**

The patented Lumark Crosstour™ LED Wall Pack Series of luminaires provides an architectural style with super bright, energy efficient LEDs. The low profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour™ impervious to contaminants. The Crosstour wall luminaire is ideal for wall surfaces, inverted mount for superintendence illumination, post-installation site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks.

**CONSTRUCTION**

Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and medium design. The small housing is available in 12W, 18W and 30W. The medium housing is available in 12W, 18W and 30W. The medium housing allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three half-inch NPT threaded conduit entry points. The universal back box supports both the small and medium forms and mounts to standard 3-1/2" to 4" round and octagonal 4" square, single gage and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Minimum 5" wide pole for site lighting application. Not recommended for use wash applications.

**Optical**

Slitless sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact resistant tempered glass and meets IESNA requirements for full output compliance. Available in seven lumen packages: 5000K, 4000K and 3000K CCT.

**Electrical**

LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 12W, 18W and 30W series operates in 40°C to 140°C (104°F to 284°F). High ambient 50°C models available. Crosstour luminaires maintain greater than 80% of initial light output after 72,000 hours of operation. Three half-inch NPT threaded conduit entry points allow for three branch wiring. Back box is an authorized application.

**XTOR Crosstour LED**

**COOPER Lighting Solutions**

**XTOR Crosstour LED**

**ORDERING INFORMATION**

**Sample Number: XTOR3-W-WT-FC1**

Series 1	LED Matrix Color	Housing Color	Options (Add as Suffix)	Accessories (Order Separately)
XTOR3-W-WT-FC1	Standard (Standard)	Standard	None	None
XTOR3-W-WT-FC1	Standard (Standard)	Standard	None	None
XTOR3-W-WT-FC1	Standard (Standard)	Standard	None	None

**COOPER Lighting Solutions**

**dmf**  
**Type LED-2 DRD2**  
Recessed LED Downlight  
General New Construction  
4", 5", 6" Aperture

**PRODUCT SPECIFICATIONS**

**Frame-in Kit**

**HOUSING:** 18 ga. die-formed aluminum box fastened to 22 ga. steel mounting frame (4" frame-in kit, 4" shallow frame-in kit, 20 ga. die-formed aluminum (6" frame-in kit, 22 ga. die-formed aluminum (6" frame-in kit), 20 ga. die-formed aluminum (6" shallow frame-in kit).

**JUNCTION BOX:** Galvanized steel. Equipped with (6) 3/4" and (1) 3/4" knockouts with pre-cut slots to allow straight conduit runs. (4) knockouts for non-metallic sheathed cable installation. Junction box tension spring allows snap-in installation of plate cover for easy access to wiring.

**Approved for 8 (four-in, four-out) #12 AWG 90 through wire conductors.**

**CEILING:** 3/4" up to 1".

**CUTOUT:** 4 3/4" (4" frame-in kit, 4" shallow frame-in kit), 5 1/4" (6" frame-in kit), 6 3/4" (6" frame-in kit, 6" shallow frame-in kit).

**Light Engine**

LED: Tightly binned, high performing white Cree® LEDs enable excellent fixture to fixture color consistency and long lifetime. Delivers 93+ CRI in all available color temperatures.

**BINNING:** Color variation within 2-step MacAdam ellipsoid.

**CONNECTOR:** IDEAL PowerPlug™ Luminaire Disconnect, female. Alternate module construction with D-10V, EcoSystem™ dimming and/or Emergency Battery Backup Unit uses an IDEAL PowerPlug™ Model 102 connector.

**DRIVER:** Integral electronic driver for 120/277V 50/60Hz operation. Electronic driver compatible with forward and reverse phase-control dimming at 120V only.

**SYSTEM POWER CONSUMPTION:** 11.8W (50 im mode), 14.7W (1000 im mode).

**DIMMING:** TRIAC/ELV dimming standard for 120V only, with flicker-free dimming to less than 5% of total lumen output. Optional 0-10V or EcoSystem™ dimming available for 120/277V.

**EMERGENCY LIGHTING:** Optional Emergency Battery Backup Units available for emergency lighting up to 120 minutes.

**RATED LED LIFE:** 50,000 hours at 70% lumen maintenance, based on IESNA LM-80-2008 standard (L70, B50).

**PHOTOMETRIC TESTING:** Tested in accordance to IESNA LM-79-2008. LISTINGS: IC rated. cULus Listed. ENERGY STAR® qualified. Title 24 compliant. ASTM E283 certified Air Tight. UL Listed for Wet Location. CEC listed.

**WARRANTY:** 5 year limited warranty.

**Trim**

**CONSTRUCTION:** Die-cast aluminum. Twist & Lock mounting allows easy field installation and light ceiling fit.

**dmf Lighting** 1118 E. 223rd St. Carson, CA 90745 T: 1.800.441.4422  
www.dmf-lighting.com

**dmf**  
**DRD2**  
Recessed LED Downlight  
General New Construction  
4", 5", 6" Aperture

**PRODUCT SELECTION GUIDE**

**FRAME-IN KIT**

PRODUCT CODE	APPLICATION	ICONON-IC	APERTURE	OPTION
DRD2M-Housing	New Construction	IC	4" 4" Aperture	(Blank) TRIAC Dimming (Standard)
			4S 4" Shallow	70 0-10V Dimming 750 Im
			5 5" Aperture	100 0-10V Dimming 1000 Im
			6 6" Aperture	70 EcoSystem™ Dimming 750 Im
			6S 6" Shallow	100 EcoSystem™ Dimming 1000 Im
				77EM TRIAC Dimming w/ Emergency Battery 750 Im
				107EM TRIAC Dimming w/ Emergency Battery 1000 Im
				7EM 0-10V Dimming w/ Emergency Battery 750 Im
				10EM 0-10V Dimming w/ Emergency Battery 1000 Im
				7CEM EcoSystem™ Dimming w/ Emergency Battery 750 Im
				10CEM EcoSystem™ Dimming w/ Emergency Battery 1000 Im

**LIGHT ENGINE**

PRODUCT CODE	LUMENS (WATTS)	CRI	CCT	OPTION
DRD2M-Module	7 750 Im (11.8W)	9 93+ CRI	27 2700K	A Alternate Construction (Uses an IDEAL Model 102 connector for alternate dimming option compatibility. Must be selected if alternate dimming option is selected for frame-in kit)
	10 1000 Im (14.7W)		30 3000K	
			35 3500K	
			40 4000K	

**TRIM**

PRODUCT CODE	SHAPE	APERTURE	STYLE	FINISH
DRD2T-Trim	Round	4 4" Aperture	S Smooth	WH White
	Square	5 5" Aperture	B Beveled	BK Black
	4" aperture: smooth only available in white finish	6 6" Aperture	W Wall Wash	SW Silver Reflector, White Flange
	Only available in 4" aperture: smooth or beveled style: white, low reflectance or custom finish		WZ Low Intensity Reflector, White Flange	Only available in deep shade
	Deep		CC Custom Color	

**dmf Lighting** 1118 E. 223rd St. Carson, CA 90745 T: 1.800.441.4422  
www.dmf-lighting.com

**diode led**  
**INFINILINE® 120V LED Strip Light**

**SPECIFICATION SHEET**

**ADDITIONAL ACCESSORIES**

Accessories listed below fully support our Tape Light product line. Further information on these products and more accessories can be found in our latest catalog or online at [www.DiodeLED.com](http://www.DiodeLED.com).

Visit the product page at [www.DiodeLED.com](http://www.DiodeLED.com) for installation guides, .AES files, voltage drop charts, and LM-79 reports.

**SKU Builder**

DI - 120V - INFBCS3 - TBD - TBD

**Specifications**

- LED Chip Type: 2835
- LED Chip Beam Angle: 120°
- Luminous Efficacy (lm/w): 80-90
- Mounting: Mounting Clips / Mounting Issue
- Connections: 60 in. Plug-In, 15 ft. Hardwire
- Ambient Temp: -43 ~ 122°F (-42 ~ 50°C) (Control system must be used to turn on lights when temperature drops below -5°F)
- Environment: Outdoor / Wet location / Indoor / Deep Cold
- UV Resistance: Yes but may still degrade over time
- Jacket Material: PVC, UL94 V-0 Rated

**COMPLIANCE & REGULATORY APPROVALS**

**Safety**

- UL Listed 2388 Flexible Lighting Products. File # E470197
- UL Listed 1598 Surface Mount Luminaires. File # E503268
- ETL Certified, Canada - UL std. 1598 Surface Mount Luminaire (Hardwire only)

**Example:** DI-120V-INFBCS3-H-240-Diode, 120 Volt, INFINILINE®, 4200K CCT, Hardwire lead, 20 feet custom cut.

**COOPER Lighting Solutions**

**INFINILINE® 120V LED Strip Light**

**SPECIFICATION SHEET**

**ADDITIONAL ACCESSORIES**

Accessories listed below fully support our Tape Light product line. Further information on these products and more accessories can be found in our latest catalog or online at [www.DiodeLED.com](http://www.DiodeLED.com).

Visit the product page at [www.DiodeLED.com](http://www.DiodeLED.com) for installation guides, .AES files, voltage drop charts, and LM-79 reports.

**MECHANICAL DIAGRAMS**

**INFINILINE® Mounting Clip DI-INF-MTCL-5**

**INFINILINE® Rotating Mounting Clip (included with Hardwire Infiline orders) (Must be utilized with mounting channel)**

**INFINILINE® Mounting Channel DI-INF-MTCH**

**INFINILINE® Mounting Channel DI-INF-MTCH**

**SKU**

SKU	DESCRIPTION
DI-INF-MTCL-5	<b>MOUNTING CLIP (5 PACK)</b> Small clip used to secure INFINILINE® LED Strip Light. Includes 5 clips and 5 screws. (Sold Separately)
DI-INF-RTCL-2	<b>MOUNTING CLIP (2 PACK)</b> Small clip used to secure INFINILINE® LED Strip Light for post-installation adjustability. Includes 2 clips and 2 screws. (Must be utilized with mounting channel). (Sold Separately)
DI-INF-MTCH	<b>MOUNTING CHANNEL</b> Cuttable channel used to secure INFINILINE® LED Strip Light. (Sold Separately)

**1** LED chips have a luminous flux range with a tolerance of +/- 5%.

**2** Each maximum cut requires a dedicated power feed. Do not extend beyond the recommended maximum run length.

**3** Deep Cold applications are warranted for 2 years. Out of warranty condition is a greater than 25% loss of light output from initial installation.

**4** Actual efficacy value is dependent on specified LED driver (power supply). An estimated efficacy value can be calculated as follows: Lumen value divided by average power consumption per foot.

**5** Wire leads and accessories are not rated for in-wall installation unless otherwise noted.

**6** Do not install product in an environment outside the listed ambient temperature. Exceeding the maximum ambient temperature may damage LED chips, reduce the total lumens, lumen output, and/or adversely impact color consistency.

**7** Operating temperature is measured according to the minimum and maximum ambient temperature environment.

**8** Do not install in environment where LED chips are exposed to direct sunlight as damage to the phosphor will occur.

**COOPER Lighting Solutions**

**COLOR LEGEND**

	01 GRAY		05 STONE
	02 CHARCOAL		12 DD PINK
	03 WOOD PATTERN		13 DD ORANGE
	04 OFF WHITE		

**MATERIAL LEGEND**

FCB	FIBER CEMENT BOARD
MT	METAL TRIM / COPING CAP
SC	STEEL CHANEL
EMC	EXTRUDED METAL CHANEL
PT	PAINT
STN	MANUFACTURED STONE
CMU	CONCRETE MASONRY UNIT - PAINTED
SF	ALUMINUM STOREFRONT WINDOW SYSTEM



PERSPECTIVE - SOUTHWEST

SCALE:

WINDOW CALCULATIONS:

FACADE: 484 SF  
40% WINDOW OR DESIGN ELEMENT: 185 SF  
WINDOW: 108 SF  
DESIGN ELEMENT: 80 SF  
TOTAL: 188 SF

SIGNAGE FOR GRAPHICAL PURPOSES ONLY.  
REVIEW AND APPROVED UNDER SEPARATE  
SUBMITTAL



2 EXTERIOR ELEVATION - FRONT (WEST)

SCALE: 1/4" = 1'-0"

**EXTERIOR MATERIAL CALCULATIONS**

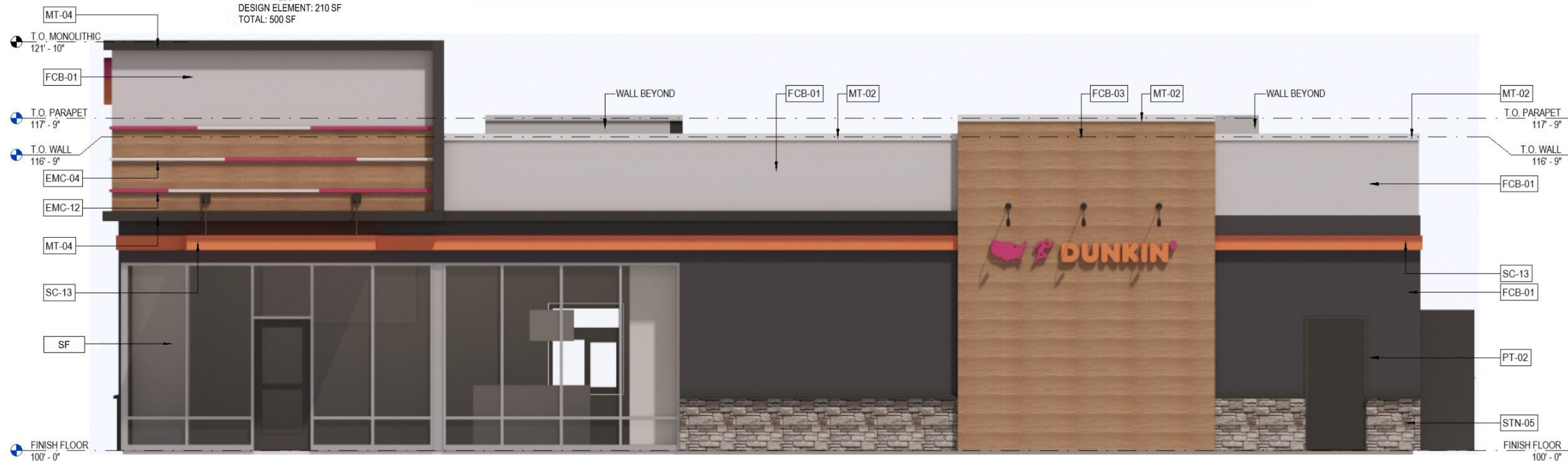
	NORTH ELEVATION		EAST ELEVATION		SOUTH ELEVATION		WEST ELEVATION	
<b>TOTAL AREA</b>	<b>1195</b>	<b>100%</b>	<b>401</b>	<b>100%</b>	<b>1278</b>	<b>100%</b>	<b>491</b>	<b>100%</b>
FCB	929	78%	313	78%	728	57%	276	56%
MT	56	5%	20	5%	109	9%	36	7%
EMC	18	2%	0	0%	12	1%	12	2%
SC	43	4%	19	5%	42	3%	21	4%
STN	129	11%	0	0%	63	5%	34	7%
PT	0	0%	0	0%	25	2%	0	0%

**EXTERIOR GLAZING CALCULATIONS:  
(CALCULATED AS PERCENTAGE BETWEEN 2' & 8' ABOVE FINISH FLOOR)**

	NORTH ELEVATION		EAST ELEVATION		SOUTH ELEVATION		WEST ELEVATION	
<b>TOTAL AREA</b>	<b>1195</b>	<b>100%</b>	<b>401</b>	<b>100%</b>	<b>1278</b>	<b>100%</b>	<b>491</b>	<b>100%</b>
SF	20	2%	49	12%	299	23%	112	23%

WINDOW CALCULATIONS:

FACADE: 1,250 SF  
40% WINDOW OR DESIGN ELEMENT: 500 SF  
WINDOW: 290 SF  
DESIGN ELEMENT: 210 SF  
TOTAL: 500 SF



1 EXTERIOR ELEVATION - RIGHT SIDE (SOUTH)

SCALE: 1/4" = 1'-0"

STAMP

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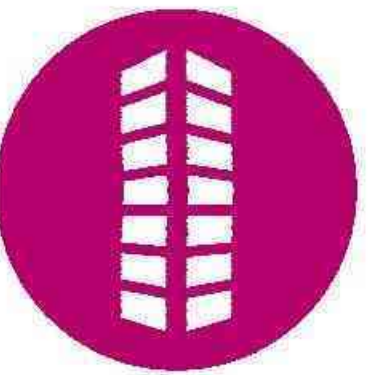
SITE PLAN DOCUMENTS  
DOUGLAS 234, FILING NO. 6,  
AMENDMENT 1, LOT 4  
QUALITY BRAND GROUP CO, LLC  
CHAMBERS & HESS  
PARKER, CO

#	Date	Issue/Description
	11.10.2023	RESUBMITTAL
	09.15.2025	RESUBMITTAL
	11.20.2025	RESUBMITTAL
	01.16.2026	RESUBMITTAL

Project No:	XXXXXX
Drawn By:	Author
Checked By:	Checker

BUILDING ELEVATIONS

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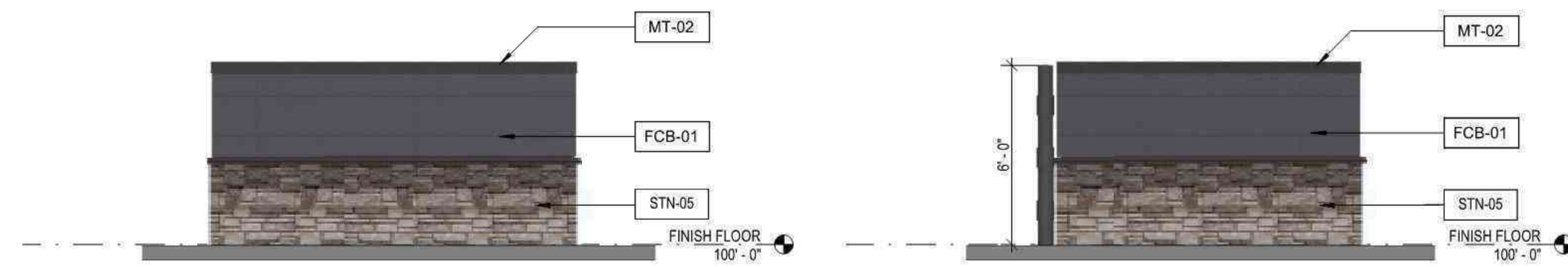


**SITE PLAN DOCUMENTS**  
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BUILDING ELEVATIONS



**6 TRASH ENCLOSURE - REAR (NORTH)**  
SCALE: 1/4" = 1'-0"



**5 TRASH ENCLOSURE - RIGHT SIDE (EAST)**  
SCALE: 1/4" = 1'-0"



**4 TRASH ENCLOSURE - LEFT SIDE (WEST)**  
SCALE: 1/4" = 1'-0"



**3 TRASH ENCLOSURE - FRONT (SOUTH)**  
SCALE: 1/4" = 1'-0"



**2 EXTERIOR ELEVATION - REAR (EAST)**  
SCALE: 1/4" = 1'-0"



**1 EXTERIOR ELEVATION - LEFT SIDE (NORTH)**  
SCALE: 1/4" = 1'-0"

EXTERIOR MATERIAL CALCULATIONS								
	NORTH ELEVATION		EAST ELEVATION		SOUTH ELEVATION		WEST ELEVATION	
<b>TOTAL AREA</b>	<b>1195</b>	<b>100%</b>	<b>401</b>	<b>100%</b>	<b>1278</b>	<b>100%</b>	<b>491</b>	<b>100%</b>
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EXTERIOR GLAZING CALCULATIONS: (CALCULATED AS PERCENTAGE BETWEEN 2' & 8' ABOVE FINISH FLOOR)								
	NORTH ELEVATION		EAST ELEVATION		SOUTH ELEVATION		WEST ELEVATION	
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