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SITE BENCHMARK & BASIS OF BEARINGS

THE PRIMARY BENCHMARK USED TO DETERMINE THE BASIS OF ELEVATIONS FOR THIS MAP IS BY GPS OBSERVATION NAVD88. A SITE BENCHMARK HAS BEEN SET AT THE NORTHWEST CORNER OF A DRAIN INLET ON CHAMBERS ROAD, APPROXIMATELY 200'± NORTH OF HESS ROAD. ELEVATION = 6075.31

THE BASIS OF BEARINGS IS THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 29 TOWNSHIP 6 SOUTH, RANGE 66 WEST, 6TH PRINCIPAL MERIDIAN, BEARING SOUTH 89°15'13" WEST AS SHOWN ON FINAL PLAT DOUGLAS 234 FILING NO. 1.

FLOOD PLAIN NOTE

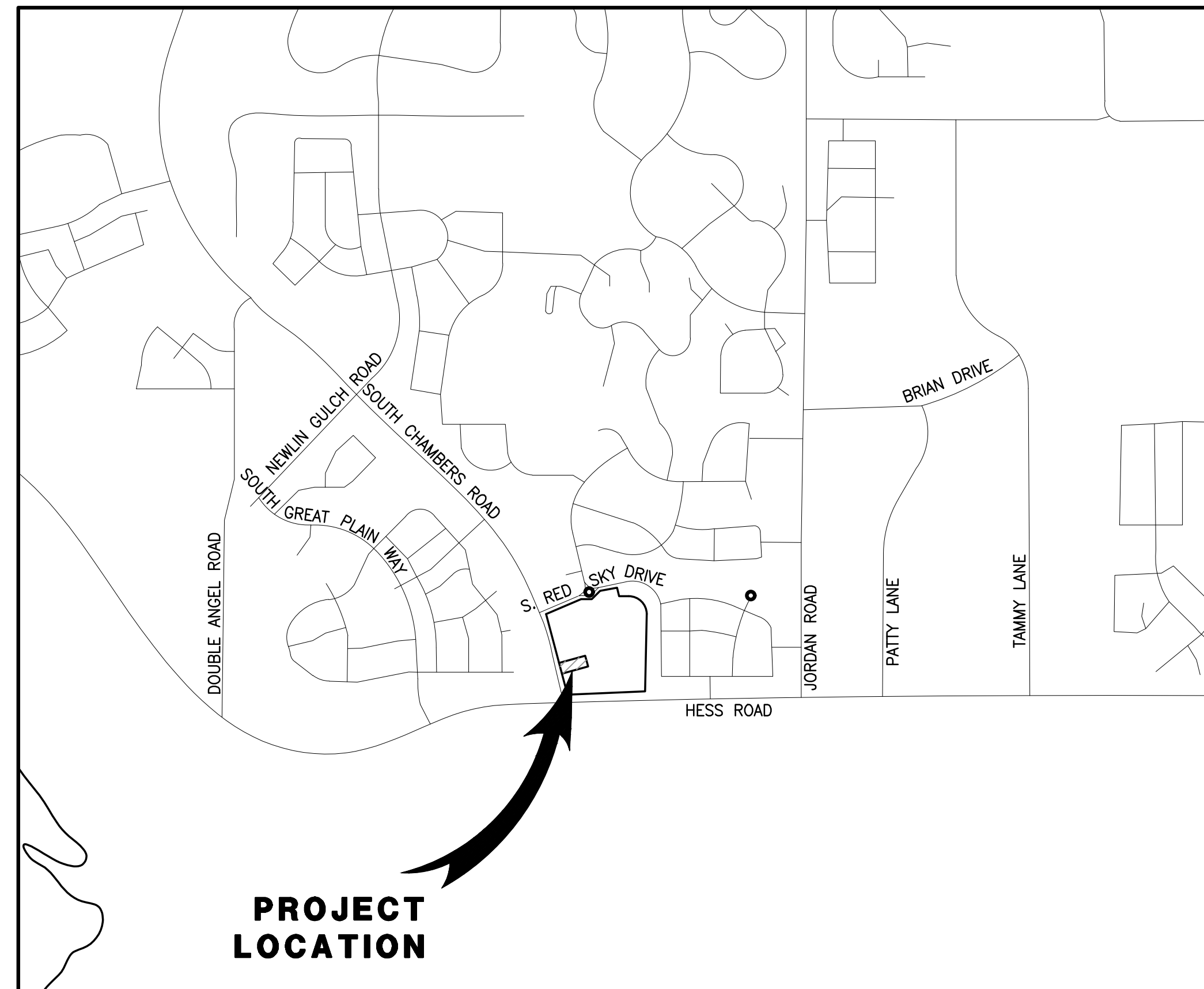
BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 08035C0181G AND DATED MARCH 16, 2016 - SUBJECT PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.

LEGAL DESCRIPTION

LOT 4, DOUGLAS 234, FILING NO. 6, AMENDMENT 1

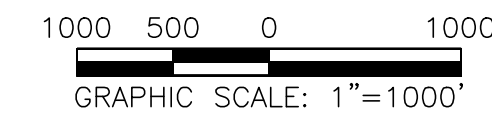
**SITE PLAN FOR
DUNKIN' DONUTS
DOUGLAS 234, FILING NO. 6,
AMENDMENT 1, LOT 4**

A PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 29, TOWNSHIP 6 SOUTH, RANGE 66 WEST, 6TH PRINCIPAL MERIDIAN, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
0.901 ACRES, 1 COMMERCIAL LOT



VICINITY MAP

SCALE 1" = 1000'



SHEET INDEX	
NO.	TITLE
1	COVER SHEET
2	EXISTING CONDITIONS & DEMOLITION PLAN
3	SITE PLAN
4	PRELIMINARY UTILITY PLAN
5	FIRE TRUCK ACCESS PLAN
6	LANDSCAPE PLAN & DETAILS
7	LANDSCAPE PLAN & DETAILS
8	LANDSCAPE IRRIGATION & DETAILS
9	LANDSCAPE IRRIGATION & DETAILS
10	LANDSCAPE IRRIGATION & DETAILS
11	LANDSCAPE IRRIGATION & DETAILS
12	PHOTOMETRIC PLAN
13	PHOTOMETRIC DETAILS
14	BUILDING ELEVATIONS
15	BUILDING ELEVATIONS

SETBACKS		
COMMERCIAL DEVELOPMENT STANDARDS	REQUIRED SETBACKS	PROVIDED SETBACK
FRONT	10'	143.91'
SIDE	8'	47.59'/62.32'
REAR	0'	64.40'

DEVELOPMENT STANDARDS		
COMMERCIAL DEVELOPMENT STANDARDS	TOWN OF PARKER LAND DEVELOPMENT CODE REQ.	PROVIDED
MINIMUM LANDSCAPE AREA	0.14 AC (15%)	0.305 ACRES (34%)
MAXIMUM BUILDING HEIGHT	35 FEET	1 STORY/ 22'-10"
MINIMUM OFF-STREET PARKING	18 (PER NLA)	18 ON-SITE SPACES (2 ADA SPACES)
MAXIMUM FLOOR AREA RATIO (FAR)	0.35	0.05

LEGEND

	EXISTING	PROPOSED
PROPERTY BOUNDARY	---	---
PROPERTY LINE	---	---
RIGHT-OF-WAY	---	---
CENTERLINE	---	---
CURB	---	---
CURB & GUTTER	---	---
EASEMENT	---	---
CONTOURS	---	---
WATER LINE	W	W
SANITARY SEWER LINE	S	S
STORM DRAIN LINE	---	---
GAS LINE	G	G
ELECTRIC LINE	E	E
TYPICAL LATERALS	---	---
SANITARY SEWER MANHOLE	(S)	(S)
STORM DRAIN MANHOLE	(D)	(D)
STORM DRAIN INLET	---	---
FIRE HYDRANT	---	---
AC PAVING	---	---
CONCRETE	---	---
LANDSCAPE	---	---

ABBREVIATIONS

BLDG	BUILDING
CL	CENTERLINE
DIA.	DIAMETER
DIST.	DISTRICT
E	EASTING
EG	EXISTING GRADE
ESMT	EASEMENT
EX.	EXISTING
FG	FINISHED GRADE
FL	FLOW LINE
FS	FINISHED SURFACE
INV	INVERT
MIN.	MINIMUM
N	NORTHING
NLA	NET LEASABLE AREA
NO.	NUMBER
PL	PROPERTY LINE
PROP.	PROPOSED
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
R.O.W.	RIGHT OF WAY
REC.	RECEPTION
REQ.	REQUIRED
SAN	SANITARY SEWER
SF	SQUARE FOOT
STD	STANDARD

SITE DATA

PROPERTY ACREAGE	0.901 ACRES (39,244 SF)
PERVIOUS AREA	0.305 ACRES
IMPERVIOUS AREA	0.596 ACRES
MAXIMUM IMPERVIOUS AREA	0.766 ACRES, 85% OF TOTAL LAND AREA
BUILDING DENSITY	1,959 SF (BLDG) = 4.99% 39,244 SF (LOT)
MAX BUILDING DENSITY	NONE
PARKING AREA	3,083 SF
PARKING REQUIRED	18 SPACES/12 SPACES (1 PER 100 NLA/1 PER EACH 3 PERSONS OF RATED CAPACITY)
PARKING PROVIDED	18 ON-SITE SPACES (2 ADA SPACES)
BICYCLE PARKING REQUIRED	4
BICYCLE PARKING PROVIDED	4

LAND USE DATA

EXISTING ZONING	PLANNED DEVELOPMENT
GROSS SITE AREA	0.901 ACRES
NUMBER OF BUILDINGS	1 BUILDING
BUILDING GROSS FLOOR AREA	1,959 SF
NET LEASABLE AREA	1,811 SF
BUILDING OCCUPANCY	35 PEOPLE

SEAL:

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San Diego - Riverside - Sacramento - Orange - Tucson - Phoenix - Las Vegas - Denver

SITE PLAN PREPARED FOR:
**DOUGLAS 234, FILING NO. 6,
AMENDMENT 1, LOT 4**
DOUGLAS COUNTY, COLORADO



DRAWING NO.
1

NO.	BY	DATE	REVISION

PROJECT NO: 2243
DRAWN/DESIGNED BY: KA/JS
CHECKED BY: JS
DATE: 8/28/2023

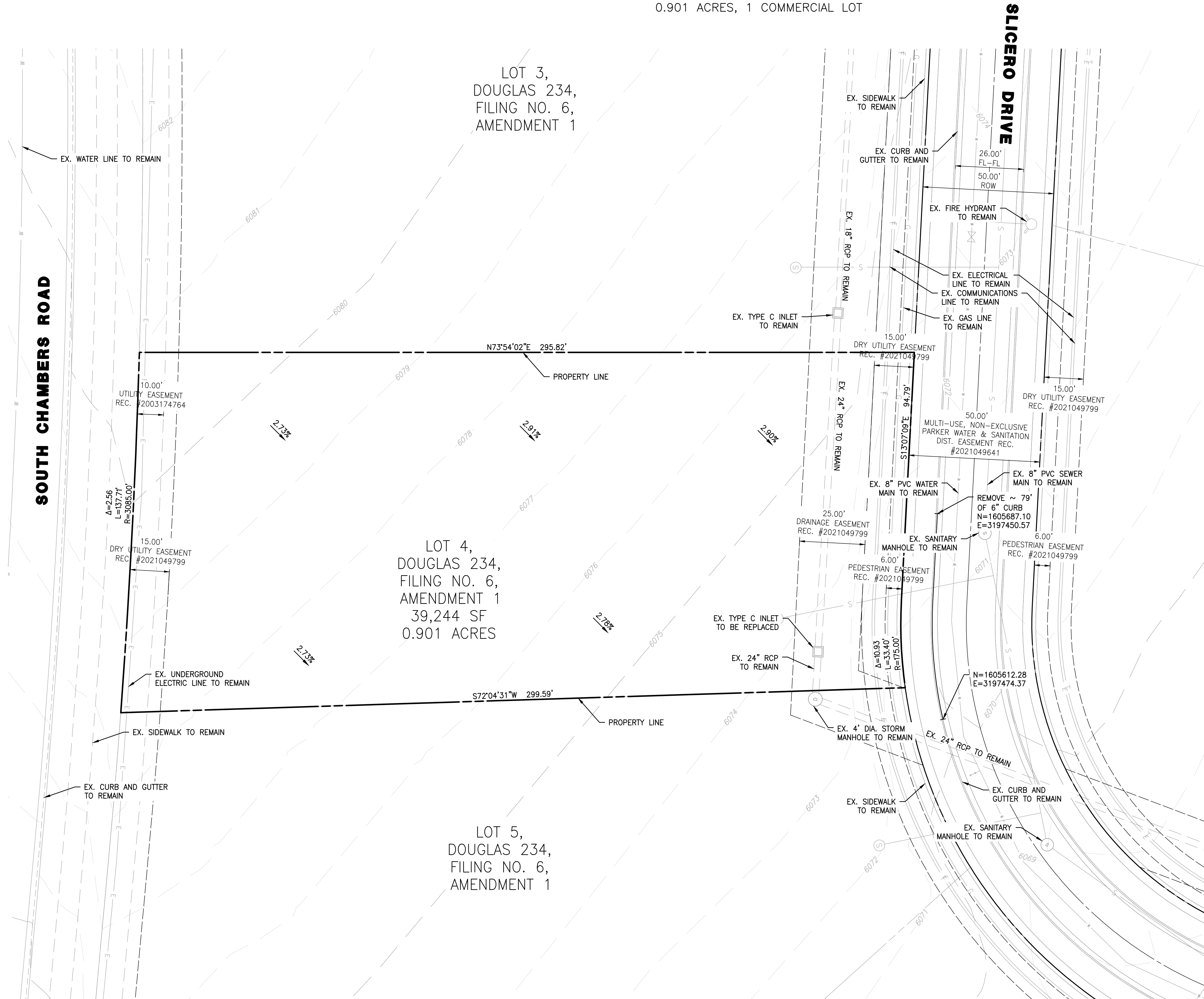
COVER SHEET

2ND SUBMITTAL

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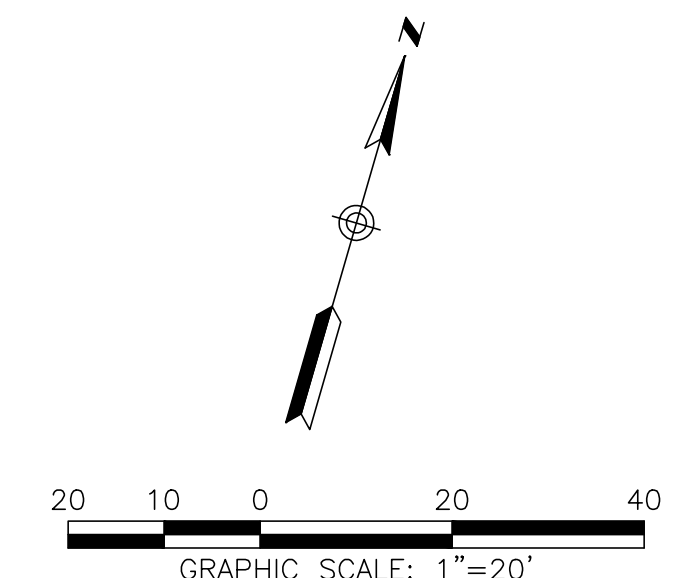
SITE PLAN FOR DUNKIN' DONUTS DOUGLAS 234, FILING NO. 6, AMENDMENT 1, LOT 4

A PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 29,
TOWNSHIP 6 SOUTH, RANGE 66 WEST, 6TH PRINCIPAL MERIDIAN,
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
0.901 ACRES, 1 COMMERCIAL LOT



NOTES

1. ALL EXISTING UTILITIES ARE TO REMAIN UNLESS OTHERWISE NOTED.
2. ALL EXISTING IMPROVEMENTS TO BE PROTECTED IN PLACE, UNLESS SPECIFICALLY CALLED AS "TO BE REMOVED".

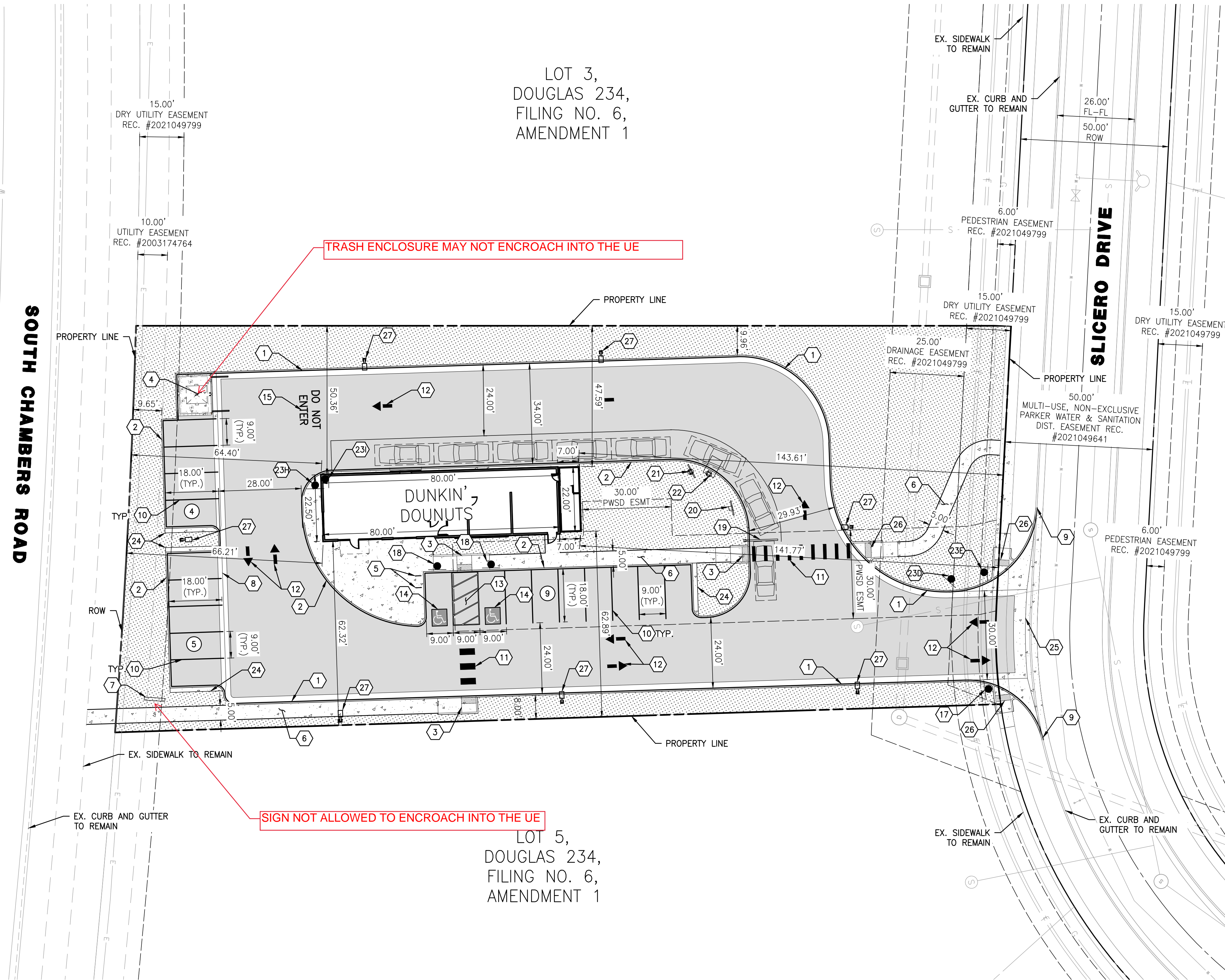


<p>SEAL:</p> <div style="text-align: center;"> <p>RICK ENGINEERING COMPANY San Diego - Riverside - Sacramento - Orange - Turson - Phoenix - Las Vegas - Denver rickengineering.com 303.537.8020</p> </div> <p>PROJECT NO: 2243 DRAWN/DESIGNED BY: KA/JS DATE: 8/24/2023 CHECKED BY: JS</p>	<p>SITE PLAN PREPARED FOR:</p> <p style="text-align: center;">DOUGLAS 234, FILING NO. 6, AMENDMENT 1, LOT 4</p> <p style="text-align: center;">DOUGLAS COUNTY, COLORADO</p> <p style="text-align: center;">EXISTING CONDITIONS & DEMOLITION PLAN</p> <div style="text-align: center;"> <p>Know what's below. Call before you dig.</p> </div> <p>DRAWING NO. 2</p>
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SITE PLAN FOR DUNKIN' DONUTS DOUGLAS 234, FILING NO. 6, AMENDMENT 1, LOT 4

A PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 29,
TOWNSHIP 6 SOUTH, RANGE 66 WEST, 6TH PRINCIPAL MERIDIAN,
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
0.901 ACRES, 1 COMMERCIAL LOT

PROVIDE EUSERC CABINET AND
TRANSFORMER LOCATIONS

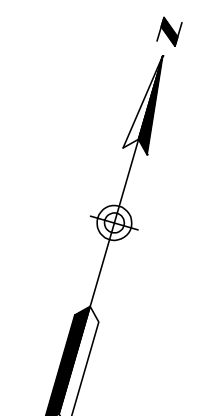


LEGEND

PROPERTY LINE	---
RIGHT-OF-WAY	----
CENTERLINE	-----
EASEMENT	- - - - -
AC PAVING	▨
CONCRETE	▩
LANDSCAPE	▧

CONSTRUCTION NOTES

- 1 PROPOSED VERTICAL CURB AND GUTTER
- 2 PROPOSED CURB TYPE 2 (SECTION B) 6" BARRIER
- 3 PROPOSED MIDBLOCK CURB RAMP
- 4 PROPOSED TRASH ENCLOSURE PROPOSED
- 5 BIKE PARKING (4 SPACES)
- 6 PROPOSED SIDEWALK
- 7 PROPOSED MONUMENT SIGN (ALL SIGNS ARE REVIEWED UNDER SEPARATE PERMIT)
- 8 3' GUTTER TYPE 2
- 9 TIE INTO EXISTING
- 10 4" WIDE, WHITE PARKING SPACE MARKING
- 11 WHITE CROSSWALK MARKINGS
- 12 DIRECTIONAL ARROW
- 13 4" WIDE, WHITE, SOLID DIAGONAL MARKINGS AT 5' SPACING ANGLED AT 30 DEGREES
- 14 INTERNATIONAL SYMBOL OF ACCESSIBILITY PARKING SPACE MARKING
- 15 "DO NOT ENTER" PAVEMENT LEGEND
- 16 "NO PARKING" PAVEMENT LEGEND
- 17 R1-1 SIGN
- 18 "HANDICAP PARKING ONLY" SIGN AND "VAN ACCESSIBLE" SIGN
- 19 SINGLE VEHICLE CLEARANCE BAR
- 20 DIGITAL PREVIEW BOARD
- 21 DIGITAL MENU BOARD
- 22 ORDER CANOPY
- 23 DIRECTIONAL SIGN
- 24 PROPOSED 18" CONCRETE LANDING
- 25 PROPOSED 8' CROSS PAN
- 26 PROPOSED DIRECTIONAL CURB RAMP
- 27 PROPOSED LIGHTING



NO.	BY	DATE	REVISION

SEAL:

PROJECT NO: 2243
DATE: 8/25/2023

DESIGNED BY: KAJS
CHECKED BY: JS

2243 CONCORD CENTER DR, UNIT 200
ENGLEWOOD, CO 80112
303.537.8020

RICK
ENGINEERING COMPANY

San Diego - Riverside - Sacramento - Orange - Tucson - Phoenix - Las Vegas - Denver

SITE PLAN PREPARED FOR:

**DOUGLAS 234, FILING NO. 6,
AMENDMENT 1, LOT 4**

DOUGLAS COUNTY, COLORADO

SITE PLAN

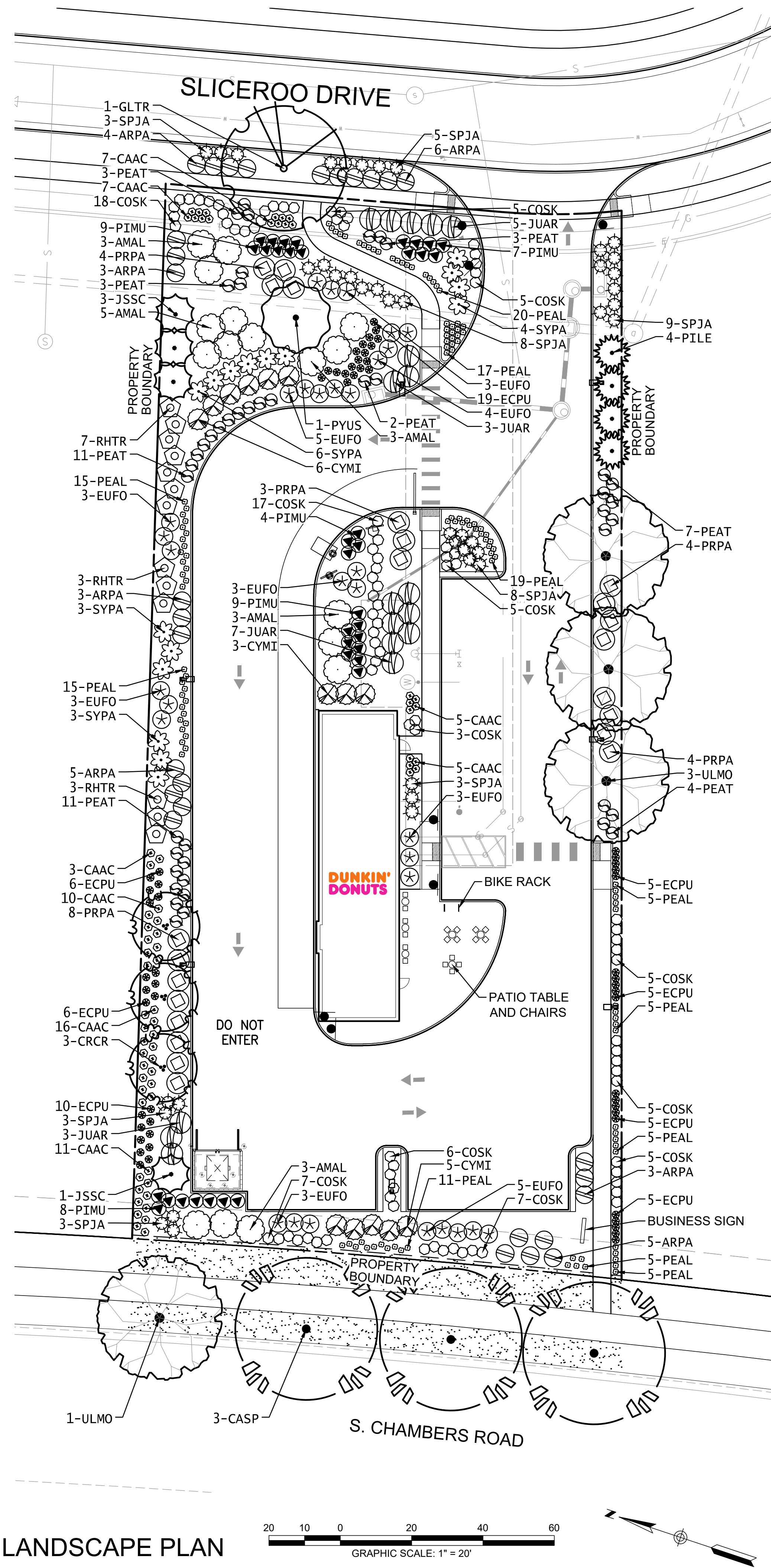
DRAWING NO.
3

2ND SUBMITTAL

C:\RICK\Projects\2022000\2243_DunkinDonuts\Civil\Plansets\Site Plan\2243-C-SP01.dwg - plotted by: kolozard ON 2023-08-25 @ 10:24 - c:\birec_msc.ctb - © 2023 Rick Engineering Company

SITE PLAN FOR DUNKIN' DONUTS DOUGLAS 234, FILING NO. 6, AMENDMENT 1, LOT 4

A PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 29,
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0.901 ACRES, 1 COMMERCIAL LOT



PROVIDE EUSERC CABINET AND TRANSFORMER LOCATIONS

PLANT LEGEND						
DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT
	CASP	3	CATALPA SPECIOSA	WESTERN CATALPA	2" CAL.	50'
	ULMO	4	ULMUS X 'MORTON'	ACCOLADE ELM	2" CAL.	50'
EVERGREEN TREES						
	JSSC	4	JUNIPERUS SCOPULORUM	ROCKY MOUNTAIN JUNIPER	5 GAL.	30'
	PILE	4	PINUS LEUCODERMIS 'EMERALD ARROW'	EMERALD ARROW BOSNIAN PINE	6' HT.	25'
ORNAMENTAL TREES						
	CRCR	3	CRATAEGUS CRUS-GALLI 'INERMIS'	COCKSPUR THORNLESS HAWTHORN	1.5" CAL.	20'
	PYUS	1	PYRUS USSURIENSIS 'MORDAK' TM	PRAIRIE GEM USSURIAN PEAR	1.5" CAL.	25'
DECIDUOUS SHRUBS						
	AMAL	17	AMELANCHIER ALNIFOLIA	SASKATOON SERVICEBERRY	5 GAL.	10'
	COSK	88	CORNUS SERICEA 'KELSEY'	KELSEY'S DWARF RED TWIG DOGWOOD	5 GAL.	8'
	PEAT	44	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	5 GAL.	4'
	PRPA	23	PRUNUS BESSEYI 'PAWNEE BUTTES'	PAWNEE BUTTES SANDCHERRY	5 GAL.	1.5'
	RHTR	13	RHUS TRILOBATA	THREE LEAF SUMAC	5 GAL.	6'
	SPJA	42	SPIRAEA JAPONICA 'ALPINA'	DAPHNE SPIREA	5 GAL.	2'
	SYPA	16	SYRINGA PATULA 'MISS KIM'	MISS KIM DWARF LILAC	5 GAL.	5'
EVERGREEN SHRUBS						
	ARPA	29	ARCTOSTAPHYLOS X COLORADENSIS 'PANCHITO'	PANCHITO MANZANITA	5 GAL.	2'
	CYMI	14	CYTISUS X 'MINSTEAD'	MINSTEAD BROOM	5 GAL.	4'
	EUFO	32	EUONYMUS FORTUNEI 'EMERALD GAITY'	EMERALD GAITY WINTERCREEPER	5 GAL.	3'
	JUAR	18	JUNIPERUS SABINA 'ARCADIA'	ARCADIA JUNIPER	5 GAL.	2'
	PIMU	37	PINUS MUGO 'MOPS'	MOPS MUGO PINE	5 GAL.	5'
PERENNIALS & ORNAMENTAL GRASSES						
	CAAC	64	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	1 GAL.	5'
	ECPU	61	ECHINACEA PURPUREA	PURPE CONEFLOWER	1 GAL.	3'
	PEAL	122	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	1 GAL.	1'
GROUNDCOVERS						
		2,404 SF	TURF	90/10 FESCUE / BLUEGRASS SOD		
		13,161 SF	ROCK MULCH	1 1/2" RIVER ROCK DECORATIVE ROCK MULCH		
		133 LF	STEEL EDGER			

GENERAL LANDSCAPE REQUIREMENTS					
VEGETATION REQUIRED BASED ON LOT PERMEABLE AREA (ROW, STREETSCAPE & PARKING LOT REQUIREMENTS NOT INCLUDED)					
	CALCULATION	# REQUIRED	# PROVIDED	EVERGREEN REQ. AT 25%-50%	# EVERGREEN PROVIDED
ONE (1) TREE / 1,500 SF OF PERMEABLE AREA	13,160 SF / 1,500 SF	9	15	3 - 5	8
FIVE (5) SHRUBS / 1,500 SF OF PERMEABLE AREA	13,160 SF / 1,500 SF x 5	44	355	11 - 22	120
75% MATURE VEGETATIVE GROUND COVER	13,160 SF x .75	9,870 SF	9,900 SF	NA	NA

GENERAL LANDSCAPE NOTES

- THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AND SPECIFICATIONS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS.
- ALL WEEDS TO BE REMOVED AND DISPOSED OF.
- TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
- ALL ROCK MULCH PLANTER BEDS TO HAVE 1 1/2" RIVER ROCK AT A MINIMUM 3" DEPTH OVER MIRAFI WEED BARRIER FABRIC AND SHALL BE REGULARLY REPLENISHED.
- ALL PLANTING SHALL BE MAINTAINED IN A HEALTH AND ATTRACTIVE MANNER AS DETERMINED BY THE TOWN. MAINTENANCE SHALL BE CONDUCTED BY THE PROPERTY OWNER OF RECORD, THE PROPERTY EXPERT OWNER'S AGENT OR TENANT WHICH HAS ASSUMED LANDSCAPE MAINTENANCE RESPONSIBILITY.

TREE PLANTING NOTES

- EXCAVATE PLANTING HOLES WITH SLOPING SIDES. MAKE EXCAVATIONS AT LEAST THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER AND NO DEEPER THAN THE DISTANCE FROM THE TOP MOST ROOTS IN THE ROOT BALL TO THE BOTTOM OF THE ROOT BALL TO ALLOW FOR SETTLING. DO NOT DISTURB SOIL AT BOTTOM OF PLANTING HOLES, BUT DO SCORE THE SIDES OF THE PLANTING HOLE. THE PLANTING AREA SHALL BE LOOSENED AND AERATED AT LEAST THREE TIMES THE DIAMETER OF THE ROOT BALL. BACKFILL SHALL CONSIST OF EXISTING ON SITE TOPSOIL - NO AMENDMENTS SHALL BE USED UNLESS OTHERWISE SPECIFIED.
- TREES SHALL BE PLANTED WITH THE ROOT COLLAR/FLARE VISIBLE ABOVE GRADE AND TWO OR MORE STRUCTURAL ROOTS LOCATED WITHIN THE TOP 1" TO 2" OF THE ROOT BALL/FINISHED GRADE MEASURED 3" TO 4" FROM TRUNK. THIS INCLUDES TREES THAT ARE SET ON SLOPES (SEE SLOPE PLANTING DETAIL). TREES THAT DO NOT HAVE A VISIBLE ROOT COLLAR SHALL BE REJECTED. DO NOT COVER THE ROOT BALL WITH SOIL.
- WHEN ROOT BALL WILL REMAIN INTACT, CUT OFF BOTTOM 1/4 OF WIRE BASKET BEFORE PLACING TREE IN HOLE, CUT OFF REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE BASKET COMPLETELY. AT A MINIMUM, THE TOP 2/3 OF THE BURLAP AND BASKET SHALL BE REMOVED FROM THE ROOT BALL ON ALL TREES. REMOVE ALL NYLON TIES, TWINE, ROPE AND BURLAP. REMOVE UNNECESSARY PACKING MATERIAL.
- FORM SOIL INTO A 3" TO 5" TALL WATERING RING (SAUCER) AROUND PLANTING AREA. THIS IS NOT NECESSARY IN IRRIGATED TURF AREAS. APPLY 2" TO 4" DEPTH OF SPECIFIED MULCH OVER PLANTING AREA AND INSIDE SAUCERS, AWAY FROM TRUNK.
- STAKING AND GUYING OF TREES IS OPTIONAL IN MOST PLANTING SITUATIONS. IN AREAS OF EXTREME WINDS, OR ON STEEP SLOPES, STAKING MAY BE REQUIRED TO STABILIZE TREES. STAKING AND GUYING MUST BE REMOVED WITHIN 1 YEAR OF PLANTING DATE.
- TREE WRAP IS NOT TO BE USED ON ANY NEW PLANTINGS, EXCEPT IN LATE FALL PLANTING SITUATIONS, AND ONLY THEN AFTER CONSULTATION WITH THE TOWN ARBORIST.
- RESETTING OF IMPROPERLY PLANTED TREES WILL ONLY BE ALLOWED IF IT IS DETERMINED THAT DOING SO WILL IN NO WAY COMPROMISE THE ROOT BALL, AND SHALL ONLY BE DONE WITH APPROVAL OF THE TOWN ARBORIST.

SITE PERIMETER LANDSCAPE REQUIREMENTS

VEGETATION REQUIREMENTS BETWEEN COMMERCIAL & COMMERCIAL PROPERTY LINE BOUNDARY*			
	CALCULATION	# REQUIRED	# PROVIDED
ONE (1) TREE / 40 LF OF EDGE - NORTH SIDE	294 LF / 40 LF	7	7
FIVE (5) SHRUBS / 40 LF OF EDGE - NORTH SIDE	294 LF / 40 LF x 5	37	76
ONE (1) TREE / 40 LF OF EDGE - SOUTH SIDE	298 LF / 40 LF	7	7
FIVE (5) SHRUBS / 40 LF OF EDGE - SOUTH SIDE	298 LF / 40 LF x 5	37	46

* TEN (10) SHRUBS MAY BE SUBSTITUTED FOR ONE (1) TREE

PARKING LANDSCAPE REQUIREMENTS

VEGETATION REQUIREMENTS BASED ON LARGEST PARKING ISLAND AREA				
	CALCULATION	# REQUIRED	# PARKING ISLANDS	# PROVIDED
ONE (1) TREE / INCREMENTAL 162 SF	267 SF / 162 SF	1 / ISLAND	1	0
FIVE (5) SHRUBS / INCREMENTAL 162 SF	267 SF / 162 SF x 5	5 / ISLAND	1	13
THREE (3) ORNAMENTAL GRASSES SUBSTITUTED FOR ONE (1) SHRUB	2 SHRUBS x 3 GRASSES	3 / SHRUB	1	19

SEAL:

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ENGINEERING COMPANY

DOUGLAS COUNTY, COLORADO
DOUGLAS 234, FILING NO. 6,
AMENDMENT 1, LOT 4
LANDSCAPE PLAN & DETAILS

811
Know what's below.
Call before you dig.

DRAWING NO. 6

2ND SUBMITTAL

NO.	BY	DATE	REVISION