



Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

M E M O R A N D U M

TO: Jessica McCallum, McDonald's USA, LLC
FROM: Amber Wood Hicken, Planner I
DATE: 12/5/2022
SUBJECT: Parker Pointe F1 L-13 – McDonald's Site Plan Review
Review Comments 01

Listed below are the Planning Division's comments related to your land use application, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER: Amber Wood Hicken
EMAIL: ahicken@parkeronline.org
PHONE: 303.805.3338

GENERAL PROJECT COMMENTS:

1. The Planning Division references certain sections of the Parker 2035 Master Plan, the Land Development Ordinance (LDO) and the Development Design Standards. Copies of these documents are available at:
[Parker 2035 Master Plan](#)
[Development Design Standards](#)
[Land Development Ordinance](#)
2. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
3. Please contact the referral agencies if you have questions regarding their review comment(s).
4. A redlined plan is included with this memorandum and is intended to supplement and clarify the review comments of this memorandum.
5. Final Plans submitted to the Building Department, Engineering Department and Parker Water and Sanitation District **must be exactly the same as the approved Site Plan set.**
6. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKiT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not refer the application out with this naming convention.
Example: "02" or "Second Submittal"

7. **Prairie Dog Management:** The Town’s current land development ordinance section 13.10.250 - Prairie Dog Management requires applicants/developers to make a good faith effort to have any prairie dogs on site relocated. Documentation of this effort will be a condition of the land use application approval/site development and a certificate of compliance will be required prior to issuance of the grading permit. If relocation of the prairie dogs is not available, humane extermination may be considered. Prairie Dog management should begin as early as possible during the review process. Please coordinate with staff.

Site Plan and Project Details

1. Please see the attached redlines for additional information.

Comment Addressed: Yes No

Response:

2. Any additional comments or information if necessary.

Comment Addressed: Yes No

Response:

OUTSIDE REFERRAL AGENCY COMMENTS

Please address all outside referral agency comments with a written response. The following agencies have provided comments for review:

- Cherry Creek Basin Water Quality Authority
- Parker Water and Sanitation
- Building
- Fire Life Safety
- Construction Plans - Environmental

Please keep an eye out in eTRAKiT for the comment to the following reviews (a copy of all comments is provided with this memo):

- Town of Parker – Civil (Construction Plans)
- Town of Parker – Civil (Drainage Report)
- Town of Parker – Civil (Traffic Impact Study)
- Town of Parker – Stormwater (Drainage Report)

These comments are available on eTRAKiT. Please address accordingly.

Staff Comments 01
SP22-089, Parker Pointe
Parker Pointe F1 L-13 – McDonald's Site Plan
11/28/2022

Comment(s) Addressed: Yes No

Response:

Property Owner

Date

Project Representative

Date

PARKER POINTE SUBDIVISION FILING NO. 1, LOT 7

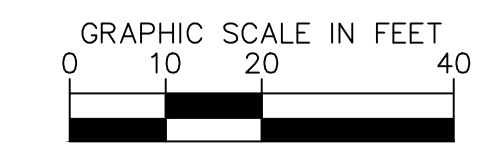
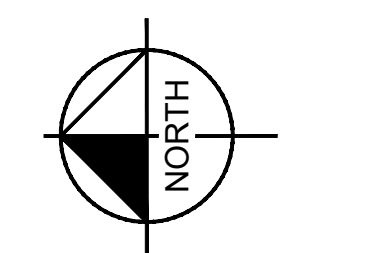
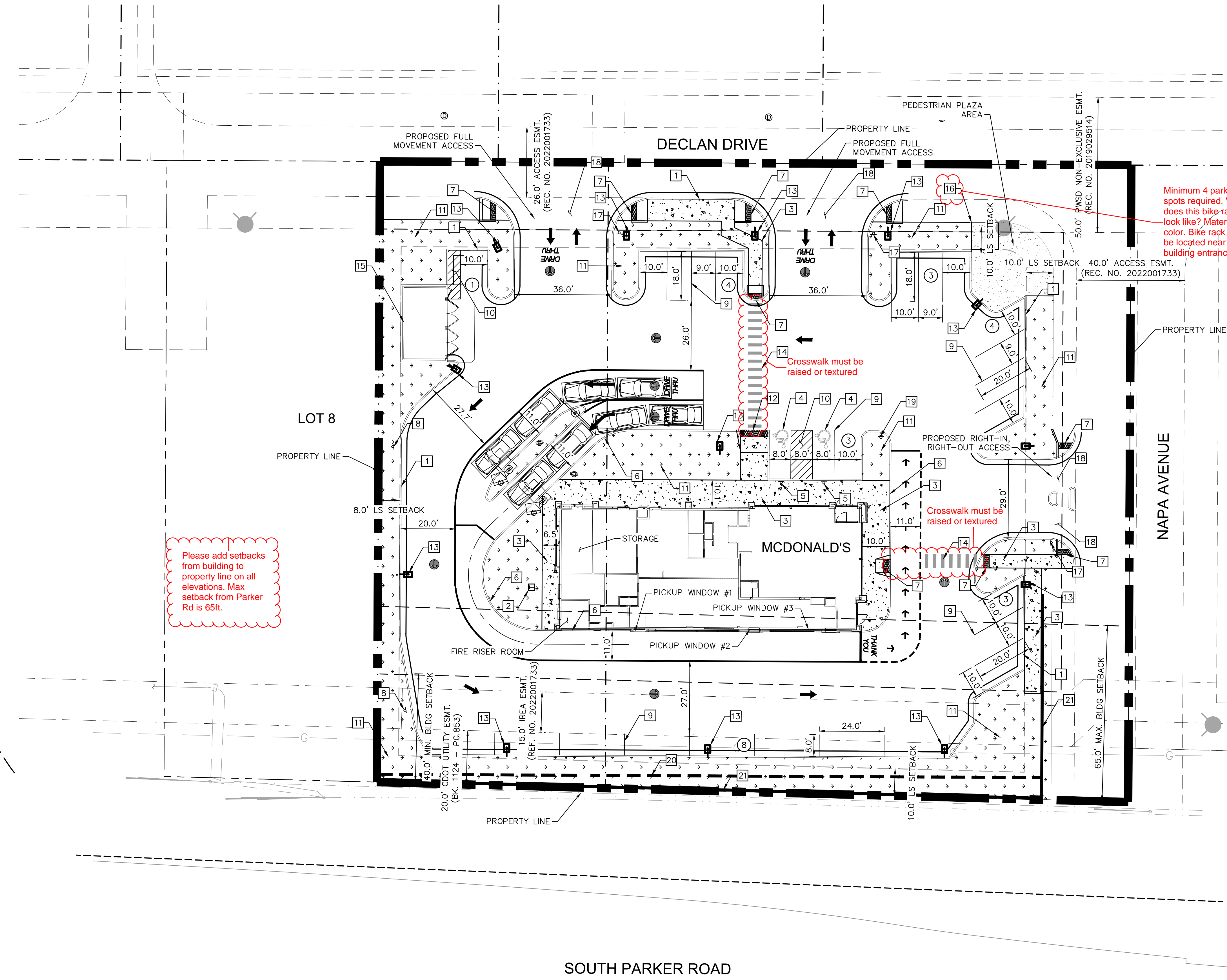
A PORTION OF THE NORTHEAST 1/4 OF THE SECTION 3,
TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
SITE PLAN

LEGEND

	PROPERTY LINE
	SETBACK
	EASEMENT
	ACCESSIBLE ROUTE
	SCREEN WALL
	RETAINING WALL
	LANDSCAPE
	CONCRETE SIDEWALK
	PARKING STALL COUNT

KEY NOTES

- 1 PROPOSED CURB AND GUTTER
- 2 PROPOSED TRANSFORMER LOCATION
- 3 PROPOSED CONCRETE SIDEWALK (DIMENSION PER PLAN)
- 4 PROPOSED ADA SYMBOL
- 5 PROPOSED ADA SIGN
- 6 PROPOSED 6" WIDE X 6" TALL CURB HEAD
- 7 PROPOSED ADA RAMP
- 8 PROPOSED "NO PARKING FIRE LANE" SIGN
- 9 PROPOSED 4" WIDE PARKING STRIPE
- 10 PROPOSED 4" WIDE DIAGONAL PAVEMENT MARKINGS AT 36" ON CENTER
- 11 PROPOSED LANDSCAPING (REF. LANDSCAPING PLANS)
- 12 PROPOSED DELIVERY RAMP
- 13 PROPOSED SITE LIGHT (REF. PHOTOMETRIC PLANS FOR DETAILS)
- 14 PROPOSED CROSSWALK
- 15 PROPOSED TRASH ENCLOSURE
- 16 PROPOSED BIKE PARKING (3 SPACES)
- 17 PROPOSED STOP SIGN
- 18 PROPOSED DRIVEWAY ACCESS
- 19 PROPOSED 'DO NOT ENTER' SIGN
- 20 PROPOSED 6' SCREEN WALL
- 21 PROPOSED RETAINING WALL



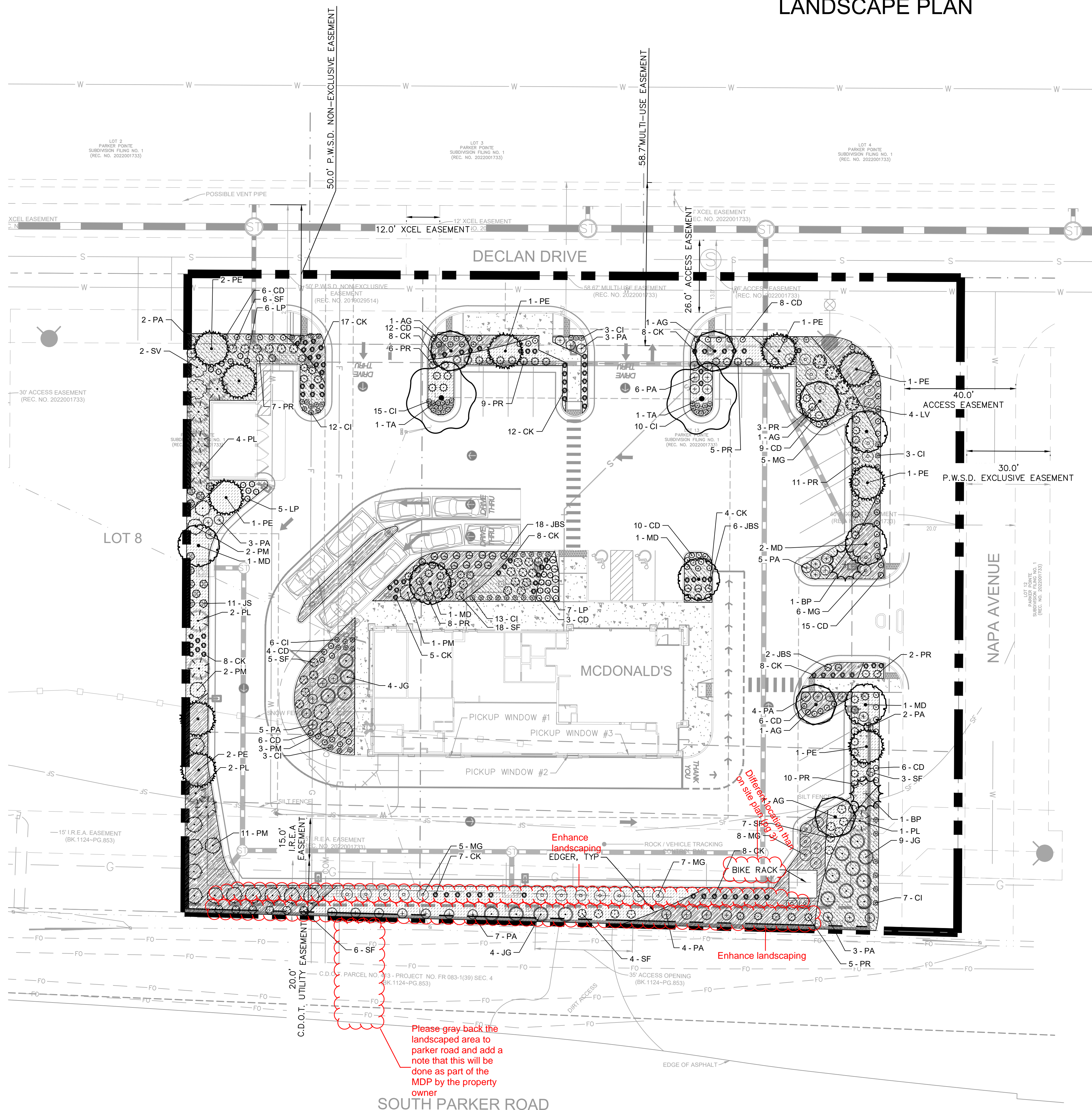
TITLE	SITE PLAN	DATE	
DESCRIPTION	PREPARED FOR: McDonald's USA, LLC These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared in reliance on the information provided in these drawings. Use of these drawings for reference or example on another project requires the approval of the engineer of record. Use of these drawings on another project requires the approval of the engineer of record. The contract documents for reuse on another project is not authorized.		
SITE PLAN	DATE ISSUED	7/19/2022	
SITE ID	SITE ADDRESS	NEAR SEC PARKER ROAD AND STROH ROAD, PARKER CO	
51004			
REV	DATE		DESCRIPTION
BY			



PARKER POINTE SUBDIVISION FILING NO. 1, LOT 7

A PORTION OF THE NORTHEAST 1/4 OF THE SECTION 3,
TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

LANDSCAPE PLAN



PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SIZE/CAL	WIDTH	HEIGHT
	TA	2	TILIA AMERICANA / AMERICAN LINDEN	B & B	2" CAL MIN	30'-40'	40'-50'
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SIZE/CAL	WIDTH	HEIGHT
	BP	2	PINUS ARTISTATA / BRISTLECONE PINE	B & B	6" HGT.	10'-15'	20'-30'
	PE	10	PINUS EDULIS / PINON PINE	B & B	6" HGT.	10'-15'	20'-30'
	PL	9	PINUS LEUCODERMIS 'SATELIT' / MINT TRUFFLE BOSNIAN PINE	B & B	6" HGT.	8'-10'	15'-20'
ORNAMENTAL TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SIZE/CAL	WIDTH	HEIGHT
	AG	5	ACER GINNALA / AMUR MAPLE	B & B	2" CAL MIN	15'-20'	15'-20'
	MD	6	MALUS 'DOLGO' / DOLGO CRABAPPLE	B & B	2" CAL MIN	15'-20'	15'-20'
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SPACING	WIDTH	HEIGHT
	LP	18	AMORPHA CANESCENS / LEADPLANT	5 GAL.	SEE PLAN	2'-4"	2'-4"
	LV	4	LIGUSTRUM VULGARE 'CHEYENNE' / CHEYENNE PRIVET	5 GAL.	SEE PLAN	4'-6"	6'-8"
	PA	44	PEROVSKIA ATRIPLICIFOLIA / RUSSIAN SAGE	5 GAL.	SEE PLAN	3'-5"	3'-5"
	SF	49	SPIRAEA JAPONICA 'NEON FLASH' / NEON FLASH SPIREA	5 GAL.	SEE PLAN	2'-4"	2'-3"
	SV	2	SYRINGA VULGARIS 'WEDGWOOD BLUE' / WEDGWOOD BLUE LILAC	5 GAL.	SEE PLAN	6'-8"	6'-8"
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SPACING	WIDTH	HEIGHT
	JBS	26	JUNIPERUS SQUAMATA 'BLUE STAR' / BLUE STAR JUNIPER	5 GAL.	SEE PLAN	2'-3"	12'-18"
	JG	17	JUNIPERUS X MEDIA 'SEA GREEN' / SEA GREEN JUNIPER	5 GAL.	SEE PLAN	6'-8"	5'-6"
	JS	11	JUNIPERUS SCOPULORUM 'SKYROCKET' / SKYROCKET JUNIPER	5 GAL.	SEE PLAN	2'-3"	10'-12"
	PM	19	PINUS MUGO 'BIG TUNA' / MUGO PINE	5 GAL.	SEE PLAN	6'-8"	6'-8"
	PR	66	PICEA PUNGENS 'ROUNABOUT' / ROUNABOUT COLORADO SPRUCE	5 GAL.	SEE PLAN	2'-3"	2'-3"
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SPACING	WIDTH	HEIGHT
	CK	93	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	5 GAL.	SEE PLAN	18"-24"	4'-5"
	MG	31	MISCANTHUS SINENSIS 'GRACILLIMUS' / MAIDEN GRASS	5 GAL.	SEE PLAN	3'-5"	4'-5"
PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	CONT. SIZE	SPACING	WIDTH	HEIGHT
	CD	85	CENTAUREA DEALBATA / PERSIAN CORNFLOWER	1 GAL.	SEE PLAN	18"-24"	18"-24"
	CI	72	CALLIRHOE INVOLUCRATA / PRAIRIE WINECUPS	1 GAL.	SEE PLAN	2'-3"	6"-12"
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	TYPE	INSTALL RATE	WEED FABRIC	MFR.
	ROCK1	4,891 SF	3/4" - 1-1/2" COLORADO ROSE ROCK MULCH INSTALLED AT A MINIMUM DEPTH OF 3" OVER WEED BARRIER FABRIC. SUBMIT SAMPLE FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.	ROCK MULCH	3" DEPTH	YES	PIONEER SAND
	ROCK2	4,055 SF	3/4" - 1-1/2" CRUSHED (MOUNTAIN) GRANITE	ROCK MULCH			
	ROCK3	3,501 SF	2"-4" RIVER ROCK	ROCK MULCH			

Rock / stone must be two (2) to six (6) inches in size

PREPARED BY: **McDonald's USA, LLC**
 These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared in accordance with the standard contract documents for the project. Use of these drawings for reference or example on another project requires the approval of McDonald's USA, LLC. The contract documents for the project are the contract documents for use on another project is not authorized.

PREPARED FOR: **McDonald's USA, LLC**

DRAWN BY: ANK
 STD ISSUE DATE: [blank]
 REVIEWED BY: JCP
 DATE ISSUED: 7/19/2022

TITLE: **SITE PLAN**
 DESCRIPTION: **LANDSCAPE PLAN**
 SITE ID: 51004
 NEAR SEC PARKER ROAD AND STROH ROAD, PARKER CO

REV. DATE DESCRIPTION BY

PARKER POINTE SUBDIVISION FILING NO. 1, LOT 7

A PORTION OF THE NORTHEAST 1/4 OF THE SECTION 3,
TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

LANDSCAPE PLAN

GENERAL LANDSCAPE SPECIFICATIONS

- A. SCOPE OF WORK
- THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.
 - WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.
- B. PROTECTION OF EXISTING STRUCTURES
- ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BEST MANAGEMENT PRACTICES (BMP) DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS THROUGH THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MAINTENANCE OF TRAFFIC (MOT) THAT MAY BE REQUIRED FOR THE PROJECT.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR: REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA, LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION; THE SAFETY AND PROTECTION THEREOF; REPAIRING ANY DAMAGE RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- C. PROTECTION OF EXISTING PLANT MATERIALS
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC.. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES NOT DAMAGED SO THAT THEY ARE UNUSABLE AND SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF FOUR HUNDRED DOLLARS (\$400) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.
 - SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.
- D. MATERIALS
- GENERAL

MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER. UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL	SAMPLE SIZE
MULCH	ONE (1) CUBIC FOOT
TOP SOIL MIX	ONE (1) CUBIC FOOT
PLANTS	ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)
 - PLANT MATERIALS
 - FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN ON DRAWINGS AND COMPLYING WITH ANSI 260.1 AND THE COLORADO NURSERY ACT, AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPANTING OR ROOT PRUNING, PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
 - TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE.
 - NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE PROJECT LANDSCAPE ARCHITECT. ANY ROW TREES MUST BE APPROVED BY OFFICE OF THE CITY FORESTER.
 - PROVIDE PLANTS OF SIZES, GRADES, AND BALL OR CONTAINER SIZES COMPLYING WITH ANSI 260.1 AND COLORADO NURSERY ACT FOR TYPES AND FORM OF PLANTS REQUIRED. PLANTS OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO PROJECT LANDSCAPE ARCHITECT WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
 - PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.
 - TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND TRUNK ("INCLUDED BARK"); CROSSING TRUNKS; CUT-OFF LIMBS MORE THAN 1/2 INCH (19 MM) IN DIAMETER; OR WITH STEM GIRDLING ROOTS WILL BE REJECTED.
 - FURNISH TREES AND SHRUBS WITH ROOTS BALLS MEASURED FROM TOP OF ROOT BALL, WHICH SHALL BEGIN AT ROOT FLARE ACCORDING TO ANSI 260.1 AND COLORADO NURSERY ACT. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.
 - LABEL AT LEAST ONE PLANT OF EACH VARIETY, SIZE, AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF COMMON NAME AND FULL SCIENTIFIC NAME, INCLUDING GENUS AND SPECIES. INCLUDE NOMENCLATURE FOR HYBRID, VARIETY, OR CULTIVAR, IF APPLICABLE FOR THE PLANT AS SHOWN ON DRAWINGS.
 - IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF PLANTS IS SHOWN ON DRAWINGS, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER THE LABELS TO ASSURE SYMMETRY IN PLANTING.
- E. SOIL MIXTURE
- CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW.
 - SOIL MIXTURE SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
 - TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT OPENINGS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER, FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER, HAVE A PH BETWEEN 5.5 AND 8.0, AND SOLUBLE SALTS LESS THAN 3.0 MMHOS/CM. SUBMIT SOIL SAMPLE AND PH TESTING RESULTS FOR APPROVAL.
 - SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.
 - TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.
- F. WATER
- WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC... IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

* WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.
 - FERTILIZER
 - CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO

- SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.
- * FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.
- H. MULCH
- MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES CLEAR MULCH FROM EACH PLANT'S CROWN (BASE) OR AS SHOWN IN PLANTING DETAILS. MULCH SHALL BE DOUBLE SHREDDED HARDWOOD MULCH DYED MULCH IS NOT ACCEPTABLE. SUBMIT SAMPLES TO PROJECT LANDSCAPE ARCHITECT FOR APPROVAL. MULCH SHALL BE PROVIDED OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE RING (6" MINIMUM) PLANTED UNDER THIS CONTRACT, AS WELL AS FOR ANY EXISTING LANDSCAPE AREAS AS SHOWN ON PLANS.
- I. DIGGING AND HANDLING
- ALL TREES SPECIFIED SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE APPROVED BY PROJECT LANDSCAPE ARCHITECT.
 - PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANTI-TRANSPIRANT PRODUCT ("WILT TRUP" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
 - B&B AND FIELD GROWN (FG) PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL, OF SUFFICIENT SIZE TO ENCOMPASS THE VIGOROUS AND FEEDER ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.
- J. CONTAINER GROWN STOCK
- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
 - AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
 - ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.
- K. MATERIALS LIST
- QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE PLANS SHALL GOVERN. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.
- L. FINE GRADING
- FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH.
 - ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADDES, IF APPLICABLE.
- M. PLANTING PROCEDURES
- THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, BUILDING MATERIALS, AND TOXIC MATERIAL SHALL BE COMPLETELY REMOVED FROM PLANTING AREAS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS IN PLANTING AREAS WHICH WILL ADVERSELY AFFECT THE PLANT GROWTH, THE CONTRACTOR SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
 - VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL COLORADO (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMESTONE AND LIMESTONE SUB-BASE FROM ALL PLANTING AREAS TO A MINIMUM DEPTH OF 36" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMESTONE OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL.
 - FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
 - COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK UPON ARRIVAL AT THE SITE. PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED OR APPROPRIATELY HEATED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS MUST BE CUSTOMARY IN ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE SHALL BE EXERCISED.
 - WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
 - ALL PLANTING OPENINGS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH ANSI 260.1-2014 AMERICAN STANDARD FOR NURSERY STOCK.
 - TEST ALL TREE OPENINGS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALL OWANDE WILL BE MADE FOR MOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL.
 - TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN.
 - PRIOR TO EXCAVATION OF TREE OPENINGS, AN AREA EQUAL TO TWO TIMES THE DIAMETER OF THE ROOT BALL SHALL BE ROTO-TILLED TO A DEPTH EQUAL TO THE DEPTH OF THE ROOT BALL.
 - EXCAVATION OF TREE OPENINGS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.
 - IN CONTINUOUS SHRUB AND GROUND COVER BEDS, THE ROTO-TILLED PERIMETER SHOULD EXTEND TO A DISTANCE OF ONE FOOT BEYOND THE DIAMETER OF A SINGLE ROOT BALL. THE BED SHALL BE TILLED TO A DEPTH EQUAL TO THE ROOT BALL DEPTH PLUS 4".
 - TREE OPENINGS FOR WELL DRAINED SOILS SHALL BE DUG SO THAT THE BOTTOM OF THE ROOT BALL WILL REST ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL WILL BE FLUSH WITH FINISH GRADE. IN POORLY DRAINED SOILS THE TREE OPENING SHALL BE DUG SO THAT THE ROOT BALL RESTS ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL IS 1" ABOVE FINISH GRADE. PLANT PIT WALLS SHALL BE SCARIFIED PRIOR TO PLANT INSTALLATION.
 - TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
 - SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION 'E'.
 - TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
 - AMEND PINE AND OAK PLANT OPENINGS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT OPENINGS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.
 - FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE
- NOTES:
- LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER, AND/ OR THEIR ASSIGNS.
 - ALL STREET TREES AND STREETSCAPE IMPROVEMENTS LOCATED IN THE ROW WILL BE MAINTAINED BY THE ADJUTING, PROPERTY OWNER.

- WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE.
- ALL BURLAP, ROPE, WIRES, BASKETS, ETC... SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.
 - TREES SHALL BE PRUNED, IN ACCORDANCE WITH ANSI A-300, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY CERTIFIED ARBORIST.
 - SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE MINIMUM SPECIMEN REQUIREMENTS OR QUANTITIES SHOWN ON PLANS, WHICHEVER IS GREATER, CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6". REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.
 - TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
 - ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S RECOMMENDATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY)
- N. LAWN SODDING
- THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
 - ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
 - PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
 - SODDING
 - THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
 - SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
 - DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.
 - LAWN MAINTENANCE
 - WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"x12") UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK, INCLUDING REGRADING IF NECESSARY.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.
 - EDGING
 - CONTRACTOR SHALL INSTALL 4"x2" ROLLED TOP STEEL EDGING BETWEEN ALL SOD/SEED AREAS AND PLANTING BEDS.
 - CLEANUP
 - UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM CONTRACTORS WORK. ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.
 - PLANT MATERIAL MAINTENANCE
 - ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, PRUNING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
 - FINAL INSPECTION AND ACCEPTANCE OF WORK
 - FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.
- S. WARRANTY
- THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
 - ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
 - IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH.

SITE PERIMETER REQUIREMENTS			
ADJACENT LAND USE	PERIMETER LENGTH	REQUIRED / PROVIDED TREES 1 TREE / 40 LINEAR FEET (40-60% EVERGREEN)	REQUIRED / PROVIDED SHRUBS (5 SHRUBS / 40 LINEAR FEET)
COMMERCIAL (NORTH PROPERTY LINE)	230'	6 / 6 (3-4 EVERGREEN TREES)	30 / 30
COMMERCIAL (SOUTH PROPERTY LINE)	236'	6 / 6 (3-4 EVERGREEN TREES)	30 / 39
COMMERCIAL (EAST PROPERTY LINE)	278'	7 / 7 (3-4 EVERGREEN TREES)	35 / 54

LANDSCAPE REQUIREMENTS					
TOTAL DEVELOPED AREA 64,609 SF	SITE LANDSCAPE REQUIREMENTS	SITE TREES 1 TREE / 1,500 SF (% EVERGREEN)	SITE SHRUBS 5 SHRUBS / 1,500 SF	GRASSES 3 GRASSES / 1 SHRUB	SOD (AREA)
REQUIRED	15% LANDSCAPE AREA 75% LIVE GROUNDCOVER 9,691 SF / 64,609 SF (21.7%)	11 TREES (25-50%)	32 SHRUBS	N/A	15% MAX
PROVIDED	TOTAL LANDSCAPE AREA PROVIDED LIVE GROUNDCOVER AREA PROVIDED 7,269 SF / 9,691 SF (75.2%)	34 TREES (21 EVERGREEN)	264 SHRUBS	132 GRASSES	0% (0 SF)

NOTES:

- THE SITE CONTAINS LESS THAN 80 PARKING STALLS. PARKING LOT INTERIOR LANDSCAPING SHALL NOT BE APPLIED.

Percentage is incorrect

Add note that the master developer will provide this for South Parker Rd

Less than 264 shrubs listed in plant schedule

Less than 132 grasses listed in plant schedule

STREET TREE REQUIREMENTS		
STREET NAME	STREET FRONTAGE LENGTH	REQUIRED/PROVIDED TREES (1 TREE / 40 LINEAR FEET)
SOUTH PARKER ROAD	278'	7 / 7

Add to this table - south & east property lines

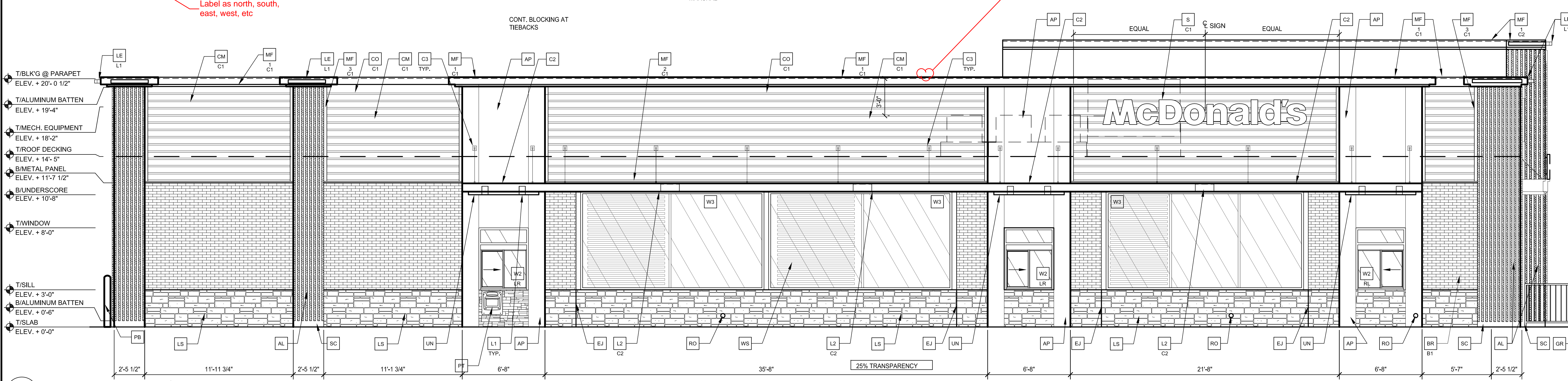
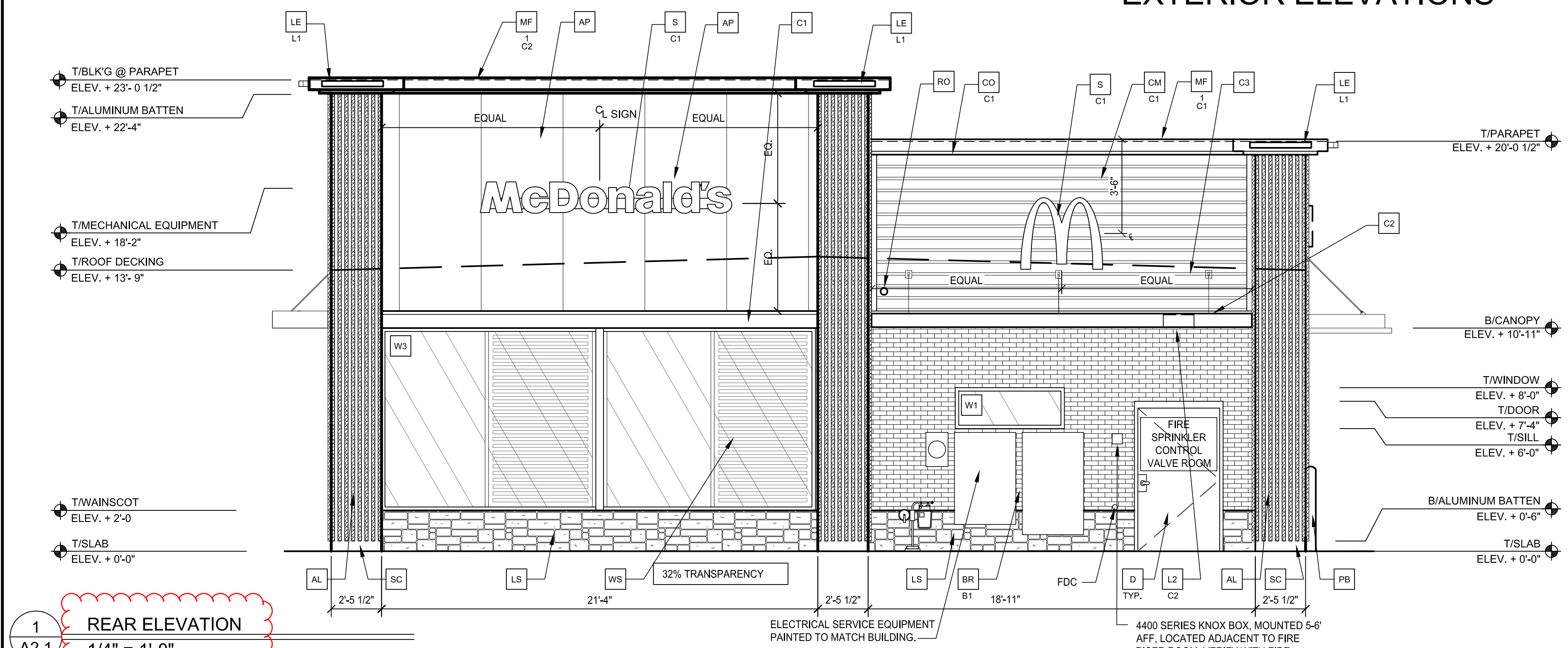
Include a table for parking perimeter and interior landscaping (done by developer)

TITLE	SITE PLAN	DATE	7/19/2022	DESCRIPTION	LANDSCAPE NOTES
DRAWN BY	AMK	ISSUE		DATE ISSUED	7/19/2022
REVIEWED BY	JCP	DATE	7/19/2022	SITE ADDRESS	NEAR SEC PARKER ROAD AND STROH ROAD, PARKER CO
PREPARED FOR:	McDonald's USA, LLC	These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared in accordance with the contract documents in force at the time these drawings for reference or example on another project requires the contract documents for reuse on another project is not authorized.			
PREPARED BY:	Kimley»Horn				
REV.	DATE	DESCRIPTION			
BY					



PARKER POINTE SUBDIVISION FILING NO. 1, LOT 7

A PORTION OF THE NORTHEAST 1/4 OF THE SECTION 3,
TOWNSHIP 7 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO
EXTERIOR ELEVATIONS



- KEY NOTES:**
- AL ALUMINUM BATTEN SYSTEM
SIZE: 2"x2" PROFILE
COLOR: WOOD GRAIN, BACK RAIL UNFINISHED, END CAP PAINTED TO MATCH
SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB, GROUP 1, HDO
BOTH FACES, APA TRADEMARKED.
COURSE GRIT SAND SURFACES PRIOR TO PRIMING, PRIME AND PAINT BOTH SIDES AND ALL EDGES.
SUBSTRATE COLOR: "IRON ORE" 7069 BY SHERWIN WILLIAMS
 - AP ALPOLIC METAL PANEL (COLOR: RAL 7022)
 - BM BRANE METAL PANEL
COLOR: PAINT "HARVEST MOON" #232-5 BY VALSPAR
 - BR MODULAR FACE BRICK
COLOR:
B1 = "ONYX" SMOOTH, BY SUMMIT BRICK
 - C1 ALUMINUM CANOPY SYSTEM W/FASCIA
COLOR: WHITE
 - C2 ALUMINUM CANOPY SYSTEM
COLOR: RAL 7022
 - C3 ALUMINUM CANOPY TIEBACK
COLOR: RAL 7022
GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS
 - CJ CONTROL JOINT
1 - TYPE: 1 = ALPOLIC
 - CM 7" REVEAL METAL WALL PANEL SYSTEM BY METAL ERA
C1 - COLOR:
C1 = WEATHERED ZINC
 - CO CORNICE
C1 - COLOR: WEATHER ZINC
 - D HOLLOW METAL DOOR
PAINT: "GAUNTLET GRAY" SW-7017 BY SHERWIN WILLIAMS
 - DE DECAL BY GRAPHIC'S SUPPLIER
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.
SUPPLIERS:
VOMELA (865) 330-7337, am.bowen@vomela.com
GFX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com
 - EJ EXPANSION JOINT, SEE DETAIL 7/4.1
 - FB FB
CO2 = BULK CO2 FILL BOX (EOPM SCHEDULE ITEM 49.00)
BO = BULK OIL FILL BOX (EOPM SCHEDULE ITEM 700.18)
 - GR GUARD RAIL - SEE CIVIL SITE PLAN FOR EXACT LOCATION AND LENGTH
PAINT: "IRON ORE" 7069 BY SHERWIN WILLIAMS
 - L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL
COLOR: GOLD
 - L2 RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL
COLOR:
C1= WHITE
C2= PLATINUM SILVER
 - LE ACCENT LIGHTING - SEE ELECTRICAL
L1 - LED LIGHT:
L1 = SLIM LED (DOWN ONLY)
L2 = INTEGRAL CANOPY FIXTURE
L3 = UP ONLY FLOOD FIXTURE
 - LS HERITAGE THIN STONE BY TELLURIDE
COLOR: BILTMORE
(TO BE VERIFIED WITH McDONALDS ACM)
 - MF METAL FASCIA
1 - TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = BOTTOM TRIM AT METAL REVEAL PANEL
3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES
COLOR:
C1 = WEATHERED ZINC (FLAT FACTORY FINISHED)
C2 = RAL 7022 (FLAT FACTORY FINISHED)
 - PB PIPE BOLLARD - PAINTED YELLOW
 - PT (RMHC) COIN COLLECTOR
MODEL: #WPT STD CALL 1-888-743-7435 TO ORDER
 - RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
 - S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
C1 - COLOR:
C1 = WEATHERED ZINC RACEWAY
C2 = RAL 7022 RACEWAY
 - SC STUCCO
C1 - PAINT TO MATCH HARDIE PLANK SIDING OR GAUNTLET GRAY SW7019 BY SHERWIN WILLIAMS
 - SP SPANDREL GLASS
 - UN METAL UNDERSCORE
COLOR: GOLD
 - W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS
COLOR: DARK BRONZE
 - W2 DRIVE-THRU WINDOW BY READY ACCESS
MODEL: 800 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL OPEN, ELECTRONIC RELEASE
COLOR: DEEP BRONZE
SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT
 - W3 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS
COLOR: DARK BRONZE
BACK LIT GLAZING
 - WS INTERIOR WINDOW SHADE - BY DECOR

TITLE	DESCRIPTION	REV	DATE	BY
EXTERIOR ELEVATIONS	REAR ELEVATION	1	A2.1	
		2	A2.1	

PREPARED BY:	DATE:
ARRIS ARCHITECTURE	7/19/2022

DRAWN BY:	DATE:	REVIEWED BY:	DATE ISSUED:
CSS			7/19/2022

PREPARED FOR:	SITE ADDRESS:
McDonald's USA, LLC	NEAR SEC PARKER ROAD AND STROH ROAD, PARKER CO

PREPARED FOR:	SITE ADDRESS:
McDonald's USA, LLC	NEAR SEC PARKER ROAD AND STROH ROAD, PARKER CO

PREPARED BY:	DATE:
ARRIS ARCHITECTURE	7/19/2022

PREPARED FOR:	SITE ADDRESS:
ARRIS ARCHITECTURE	NEAR SEC PARKER ROAD AND STROH ROAD, PARKER CO

A2.1



PARKER
COLORADO

Project Reviews Town of Parker



Project Number: SP22-089

Description: **Parker Pointe F1 L13 - McDonald's Site Plan**

Applied: **7/19/2022**

Approved:

Site Address:

Closed:

Expired:

City, State Zip Code: **PARKER, CO**

Status: **UNDER REVIEW**

Applicant: **McDonald's USA, LLC**

Parent Project: **SUB19-052**

Owner: **PARKER & STROH LLC**

Contractor: **<NONE>**

Details:

The applicant, McDonald's USA, LLC, is proposing a Site Plan for the construction of a 4,795 square foot McDonald's restaurant. The site is located at the southeast corner of Parker Road and Stroh Road.

LIST OF REVIEWS

SENT DATE	RETURNED DATE	DUE DATE	TYPE	CONTACT	STATUS	REMARKS
Review Group: ALL						
11/1/2022	11/2/2022	11/9/2022	COMPLETENESS REVIEW	Carolyn Parkinson	COMPLETED	
Notes:						
Review Group: AUTO						
7/19/2022			ENGINEERING ADMINISTRATIVE	Tom Williams		
Notes:						
7/19/2022	8/1/2022	8/2/2022	LAND USE COMPLETENESS REVIEW	Alex Mestdagh	COMPLETED	
Notes:						
Review Group: SP 1ST 20						
11/2/2022		12/5/2022	SITE PLAN 20	Amber Wood Hicken		
Notes:						



PARKER
COLORADO

Project Reviews Town of Parker



11/2/2022	11/22/2022	12/5/2022	BUILDING 20	Randy Capra	ADVISORY COMMENTS	See Notes
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Notes:

We highly encourage a Building pre-application meeting before applying for the permit to discuss construction type, occupancy, allowable areas, MEPs, energy, structural, fire, etc... Please visit our website for all plan submittal requires: Plan Review | Town of Parker - Official Website (parkeronline.org), and our most current code adoptions.

Building and/or Fire Life Safety permit application will not be accepted/reviewed until the associated site plan is approved or otherwise discussed. All plans submitted for Building's review must meet the 2021 I-Codes, the 2020 NEC, and the referenced NFPA editions noted in the applicable codes (i.e. 2021 IFC references the 2019 edition of NFPA 72) if received by December 31, 2021. NFRC certificates, interior/exterior lighting along with the mechanical and envelope compliance path must be included with the original submittal. All Fire Permit applications and inspections will be handled through the Parker Building Division. All land use applications and the associated Grading Permit must be approved/issued per Planning and Public Works prior to the Building Permit being approved/issued.

Retaining walls greater than 4' from base of footing or bottom course requires separate building permits and plans must be stamped by qualified professional. Tiered/staggered/stepped back retaining walls all require permits no matter the height of individual wall.

11/2/2022		12/5/2022	CENTURYLINK COMMUNICATIONS 20	CenturyLink		
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Notes:

11/2/2022	11/11/2022	12/5/2022	CHERRY CREEK BASIN WATER QUALITY AUTHORITY 20	Rich Borchardt	ADVISORY COMMENTS	See Comments
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Notes:

- 1.The Authority's Control Regulation 72 requires construction and post-construction Best Management Practices (BMPs).
2. No exceptions taken with the proposed post construction BMPs.
3. For Construction BMPs, the CBMP plan only shows silt fence as a perimeter control along Parker Road (west), how will controls limit runoff to Napa Avenue?

11/2/2022		12/5/2022	COMCAST 20	Butch Buster		
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Notes:

11/2/2022	11/29/2022	12/5/2022	CONST PLANS - ENVIRONMENTAL	Robert Seacat	REVISIONS REQUIRED	See Comments
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Notes:

Construction Plans must include all the required criteria on the Initial and Interim/Final CBMP sheets, C1.19 thru C1.30. See Parker's Storm Drainage and Environmental Criteria Manual, Appendix D, CBMP Plan Check List starting on page 250.

Link:
<https://www.parkeronline.org/DocumentCenter/View/118>
 email sent to: jessica.mccallum@kimley-horn.com

11/2/2022		12/5/2022	CONSTRUCTION PLANS - CIVIL	Michael Walton		
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Notes:



PARKER
COLORADO

Project Reviews Town of Parker



11/2/2022	11/28/2022	12/5/2022	DOUGLAS COUNTY ASSESSORS OFFICE 20	Marian Woodward	REVISIONS REQUIRED	
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Notes:
Please be aware of the following comments and concerns:

1. The title of the site plan appears incorrect. The title references Lot 7, the subject lot is Lot 13 Parker Pointe Subdivision Filing 1.
2. The vicinity map on the site plan is incorrect. The site is located south of Stroh Rd.

Regards,
Jeremy Hirsch
11/28/2022

11/2/2022		12/5/2022	DOUGLAS COUNTY ENGINEERING DIVISION 20	DC Referrals		
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Notes:

11/2/2022		12/5/2022	DOUGLAS COUNTY PLANNING SERVICES DIVISION 20	DC Referrals		
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Notes:

11/2/2022		12/5/2022	DRAINAGE REPORT - CIVIL	Michael Walton		
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Notes:

11/2/2022	11/8/2022	12/5/2022	ECONOMIC DEVELOPMENT 20	Weldy Feazell	NO COMMENT	
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Notes:

11/2/2022	11/22/2022	12/5/2022	FIRE LIFE SAFETY 20	Randy Capra	REVISIONS REQUIRED	See Notes
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Notes:
See response letter named "SP22-097 Parker Task Force L1 Addition to Existing Bldg. Site Plan Fire Life Safety Response Ltr [1] Submittal 112222" for all comments; provide a written response to each comment and identify where the modification in the documents can be found when resubmitting." for all comments; provide a written response to each comment and identify where the modification in the documents can be found when resubmitting.

11/2/2022		12/5/2022	FLOODPLAIN DEVELOPMENT PLAN	Michael Walton		
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Notes:



PARKER
COLORADO

Project Reviews

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11/2/2022	12/5/2022	12/5/2022	IREA 20	Brooks Kaufman	REVISIONS REQUIRED	see markup
Notes: CORE Electric Cooperative will require comments to be addressed. The proposed storm sewer will be required to be relocated from within the CORE (IREA) easement. Provide the EUSERC cabinet location and meet CORE metering/clearance requirements.						
11/2/2022		12/5/2022	PLAT - CIVIL	Michael Walton		
Notes:						
11/2/2022		12/5/2022	POLICE 20	Greg Epp		
Notes:						
11/2/2022		12/5/2022	PUBLIC SERVICE COMPANY OF COLORADO 20	Donna George		
Notes:						
11/2/2022		12/5/2022	SITE PLAN - CIVIL	Alex Mestdagh		
Notes:						
11/2/2022		12/5/2022	SITE PLAN - STORMWATER	Michael Walton		
Notes:						
11/2/2022		12/5/2022	SOUTH METRO FIRE 20	South Metro Fire		
Notes:						
11/2/2022		11/2/2022	TRAFFIC IMPACT STUDY - CIVIL			
Notes:						
11/2/2022		12/5/2022	URBAN DRAINAGE AND FLOOD CONTROL 20	UDFCD		
Notes:						
Review Group: SP 1ST 20 ADD						
11/2/2022		12/5/2022	REATA RIDGE VILLAGE HOA 20	Sean Morrissey		
Notes:						



PARKER
C O L O R A D O

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11/2/2022	11/7/2022	12/5/2022	PARKER WATER AND SANITATION DISTRICT 20	Drayton Sanderson	REVISIONS REQUIRED	See notes
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Notes:

Due to the request for significant changes to our approved utility construction plans for the Parker Pointe Development PWSD will not review this project until PWSD has approved new construction plans for Parker Pointe. Please note the following items must be addressed in the Parker Pointe Development before we can proceed with reviewing lot 7 plans

1. Parker Pointe, Parker and Stroh LLC, must write a letter, signed by owner, stating they intend to nullify the current approved plans, and request their LOC be returned and SIA be cancelled.
2. Submit NEW plans and a copy of the RECORDED new Plat showing the new lots.
3. Pay NEW Engineering Review fees.
4. Review new plans and determine if existing landscape and/or building taps that have been paid remain the same size.
5. After review and any revisions, a NEW SIA, Engineers Estimate, and LOC will be required.
6. ANY new easements will be required if proposed infrastructure is no longer within current easements. Any changes to the existing easements will require them to be vacated and then re-done with new easements. These NEW easement recordation numbers will be required on the plan sets.

11/2/2022		12/5/2022	MAGELLAN PIPELINE 20	Craig Keirse		
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Notes:

Review Group: SUBMITTAL CHECKLIST

7/26/2022	8/1/2022	8/9/2022	COMPLETENESS REVIEW	Carson Byerhof	REVISIONS REQUIRED	01 Review
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Notes:

Missing:
 Fees (do not pay until engineering have added theirs)
 LoA (C)
 Disclosure (D)
 Charge Back
 Public Notice
 Tree Conservation Plan
 Colors and Material Board