

SITE PLAN SUBMITTAL

RAY J. HARVIE OPEN SPACE

Situated in the North 1/2 & Northeast 1/4 of Section 24,
Township 6 South, Range 66 West of the 6th P.M.
Town of Parker, County of Douglas
State of Colorado.

**20120 EAST MAINSTREET
PARKER, COLORADO**

PROJECT COORDINATES

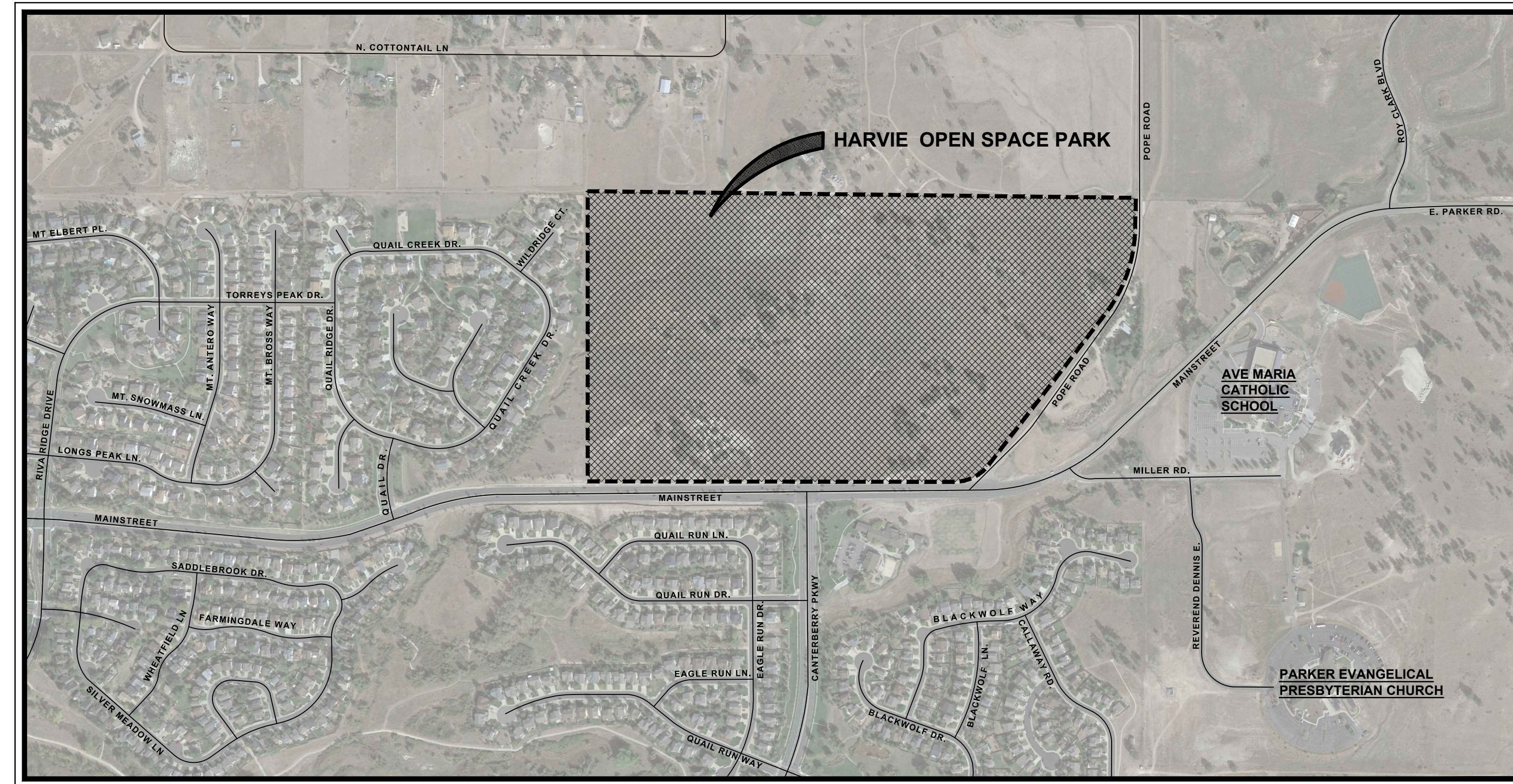
PROJECT COORDINATES ARE MODIFIED COLORADO STATE PLANE CENTRAL ZONE 83(2011) COORDINATES. PROJECT COORDINATES ARE DERIVED FROM STATE PLANE COORDINATES USING THE FOLLOWING FORMULAS:
PROJECT NORTHING = (STATE PLANE NORTHING * 1.0003179891) - 1000000.03'
PROJECT EASTING = (STATE PLANE EASTING * 1.0003179891) - 3000000.03'

PROJECT BENCHMARK

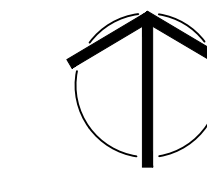
LOCATED BENCHMARK: DOUGLASS COUNTY GIS CONTROL POINT 1.090035 BEING A 3 1/4" ALUMINUM CAP LOCATED NEAR THE NORTHEAST CORNER OF THE PARKER CROSSROADS STRIP MALL AT THE INTERSECTION OF S. CROSSROADS DRIVE AND SOUTH PARKER ROAD. MONUMENT IS 4.3 FEET EAST OF THE NORTHERNMOST PARKING SPOT AT THE NORTHEAST CORNER OF THE TREADS BICYCLE SHOP. ELEVATION = 5883.72' (NAVD88)

CONSERVATION EASEMENT

THIS PARCEL OF LAND IS RESTRICTED BY A CONSERVATION EASEMENT. ALL MANDATES AND REGULATIONS STATED WITHIN THE CONSERVATION EASEMENT DOCUMENT SHALL TAKE PRECEDENCE OVER THESE PLANS.



VICINITY MAP



SCALE: NTS

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S4.0	SHADE STRUCTURE STRUCTURAL SECTIONS & DETAILS



PREPARED FOR

TOWN OF PARKER
PARKS AND RECREATION DEPARTMENT
CONTACT:
BRETT COLLINS, PLA
PARK PROJECT MANAGER
20120 E. MAINSTREET
PARKER, CO. 80134
303.805.3276



PROJECT TEAM

LANDSCAPE ARCHITECT

DHM DESIGN CORPORATION
900 SOUTH BROADWAY, SUITE 300
DENVER, CO 80209
PHONE: 303-892-5566
CONTACT: MATTHEW WHIPPLE

CIVIL ENGINEER

WESTWOOD ENGINEERING
10333 E. DRY CREEK RD., SUITE 240
ENGLEWOOD, CO 80112
PHONE: 720-482-9526
CONTACT: JIM JANNICKE

ELECTRICAL ENGINEER

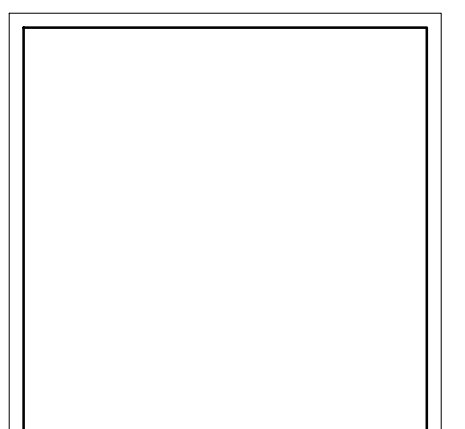
JCAA ENGINEERING
4100 WADSWORTH BLVD.
WHEAT RIDGE, CO 80033
PHONE: 303-985-3260
CONTACT: FRANK DAVENPORT

IRRIGATION DESIGNER

HYDROSYSTEMS KDI
13949 WEST COLFAX AVE., ST 260
LAKEWOOD, CO. 80401
PHONE: 303-980-5327
CONTACT: JILL BERSANO

STRUCTURAL ENGINEER

SAN ENGINEERING, L.L.C.
1150 W. LITTLETON BLVD, SUITE 200
LITTLETON, CO 80120
PHONE: 303-953-9014
CONTACT: JOHN MIGLIACCIO



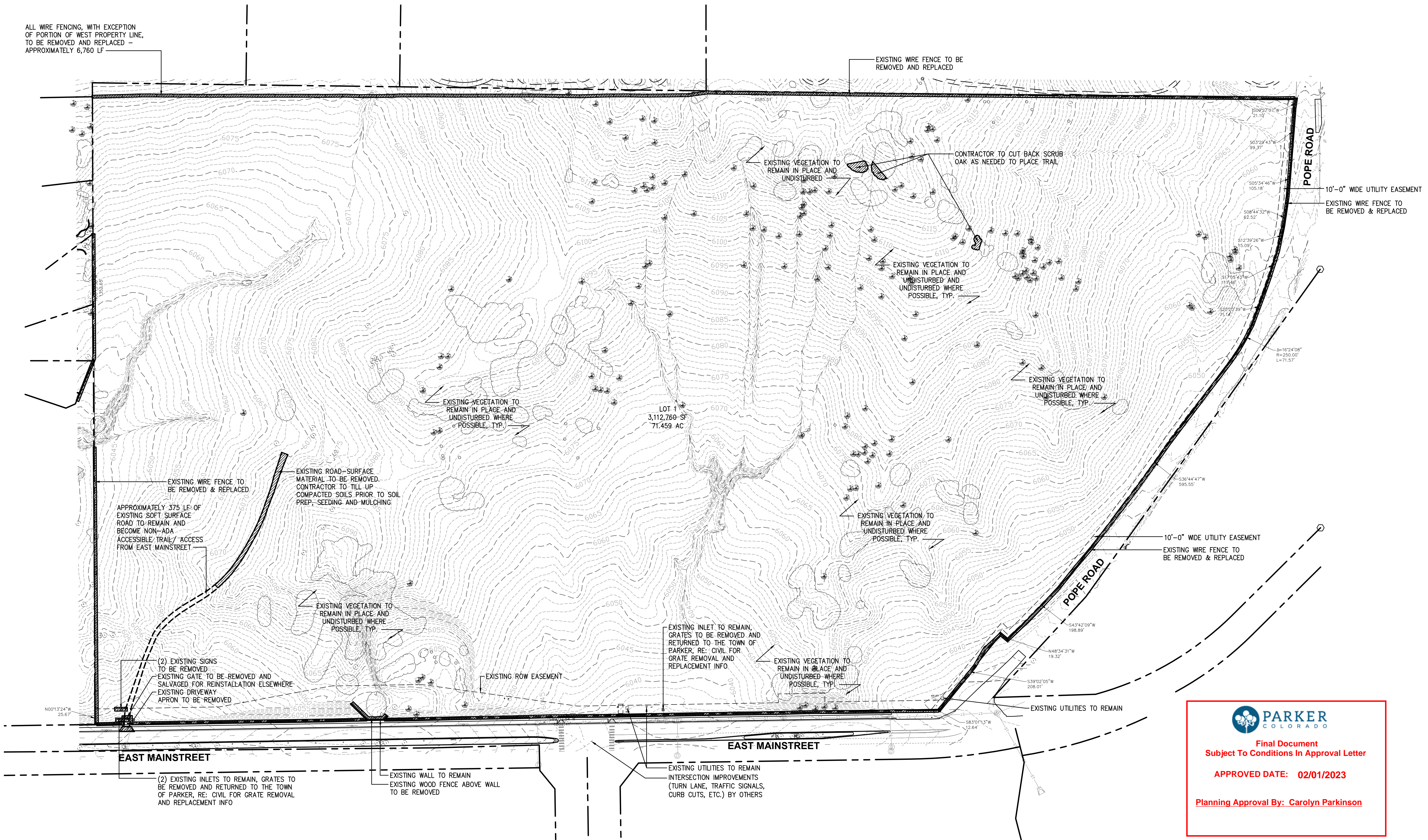
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900 S. Broadway
Suite 300
Denver, CO 80209
303.892.5566
www.dhmdesign.com

DATE: 01.22.2023

ALL WIRE FENCING, WITH EXCEPTION OF PORTION OF WEST PROPERTY LINE, TO BE REMOVED AND REPLACED - APPROXIMATELY 6,760 LF

EXISTING WIRE FENCE TO BE REMOVED AND REPLACED



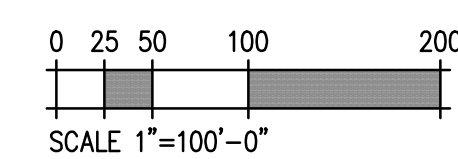
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DEMOLITION NOTES:

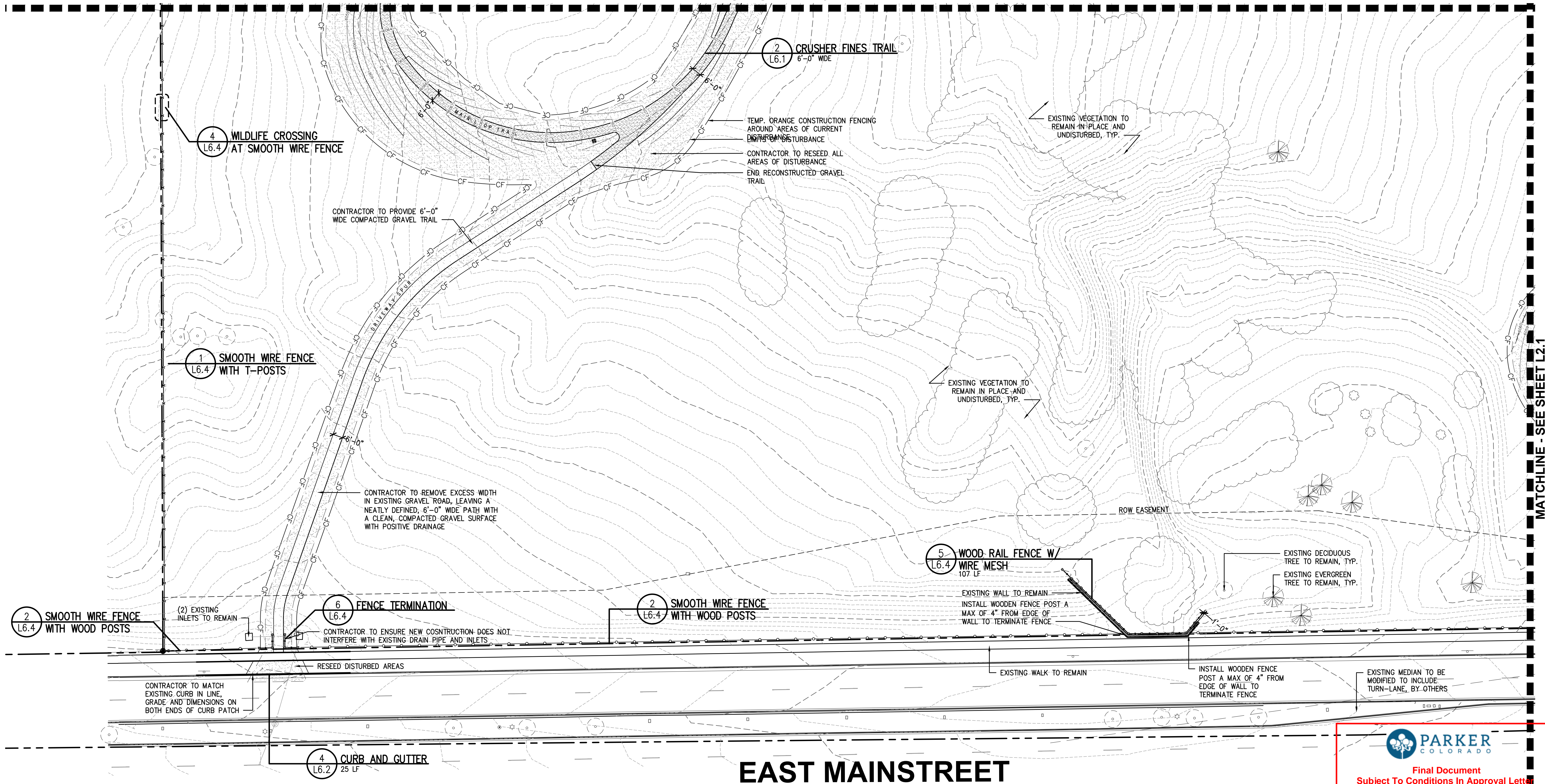
1. THE LOCATION OF THE EXISTING UTILITIES AS SHOWN ON THE PLAN MAY VARY FROM THE ACTUAL CONDITIONS; ADDITIONAL UTILITIES NOT SHOWN ON PLANS MAY ALSO EXIST. FIELD VERIFY ALL UTILITIES AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE OWNER AND LANDSCAPE ARCHITECT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO EXISTING UTILITIES, WALKWAYS OR OTHER EXISTING STRUCTURES AND FEATURES TO REMAIN THAT IS A RESULT OF THEIR WORK. THE REPAIR OF SUCH DAMAGE WILL BE AT NO ADDITIONAL COST TO THE OWNER. DOCUMENT AND BRING TO THE ATTENTION OF OWNER AND LANDSCAPE ARCHITECT ALL EXISTING DAMAGES PRIOR TO BEGINNING WORK. ANY DAMAGES NOT DOCUMENTED AND BROUGHT TO THE ATTENTION OF THE OWNER AND LANDSCAPE ARCHITECT SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
3. THE EXISTING CONDITIONS PLAN INDICATES THE APPROXIMATE LOCATIONS OF WORK ITEMS WHICH WILL BE REQUIRED AS PART OF THIS CONTRACT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS.
4. ANY ITEMS ENCOUNTERED THAT ARE NOT SHOWN ON THE PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND THE LANDSCAPE ARCHITECT IMMEDIATELY.
5. ALL EQUIPMENT AND MATERIALS TO BE REMOVED MUST BE DISPOSED OF OFFSITE UNLESS OTHERWISE NOTED AT NO ADDITIONAL COST TO OWNER.
6. WITH THE EXCEPTION OF TREES TO BE REMOVED AT INTERSECTION (BY OTHERS), ALL TREES AND OTHER WOODY VEGETATION IS TO REMAIN AND MUST HAVE TREE PROTECTION WHEN WORKING IN IMMEDIATE AREA. TREE PROTECTION TO EXTEND TO DRIP-LINE OF TREE CANOPIES WHERE POSSIBLE. IF ANY PORTION OF THE PROPOSED WORK IS EXPECTED TO CAUSE DAMAGE TO EXISTING TREES AND WOODY VEGETATION, THE CONTRACTOR SHALL BRING IT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
7. ALL SURVEY INFORMATION PROVIDED BY TOWN OF PARKER TO DHM DESIGN.
8. CONTRACTOR IS REQUIRED TO PLACE ORANGE CONSTRUCTION FENCING AROUND OPEN AREAS OF EXISTING NATIVE SEED WHEN WORKING IN THE IMMEDIATE AREA IN AN EFFORT TO REDUCE DISTURBANCE OF THE EXISTING SITE AS MUCH AS POSSIBLE.
9. EXISTING PERIMETER FENCING: ALL PERIMETER FENCE, WITH EXCEPTION OF PORTION OF FENCING ALONG WEST PROPERTY LINE, TO BE REMOVED AND REPLACED. ANY FENCING, OR ASSOCIATED CONSTRUCTION THAT IS BEING ADJUSTED OR NEWLY CONSTRUCTED, SHALL BE INSTALLED WITHIN THE SITE PROPERTY LINES, REGARDLESS OF ITS EXISTING LOCATION, BUT SHALL TIE BACK INTO EXISTING FENCING.

LEGEND

-x-x-x-	EXISTING FENCING	- - - - -	EASEMENT LINE
- - - - -	EXISTING GRAVEL	- - - - -	PROPERTY LINE
- - - - -	EXISTING STORM DRAIN	- - - - -	TOPO MAJOR
- - - - -	EXISTING STORM INLET	- - - - -	TOPO MINOR
- - - - -	EXISTING STORM FES	- - - - -	EXISTING DRAINAGE DITCH
- - - - -	EXISTING STORM MANHOLE	- - - - -	EXISTING EVERGREEN TREE
- - - - -	EXISTING ELECTRIC POLE	- - - - -	EXISTING DECIDUOUS TREE
- - - - -	EXISTING LIGHT POLE	- - - - -	
- - - - -	EXISTING WELL	- - - - -	
- - - - -	EXISTING POLE	- - - - -	
- - - - -	EXISTING SIGN	- - - - -	



MATCHLINE - SEE SHEET L2.5



MATCHLINE - SEE SHEET L2.1

EAST MAIN STREET

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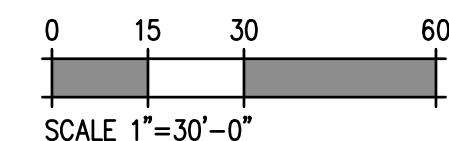
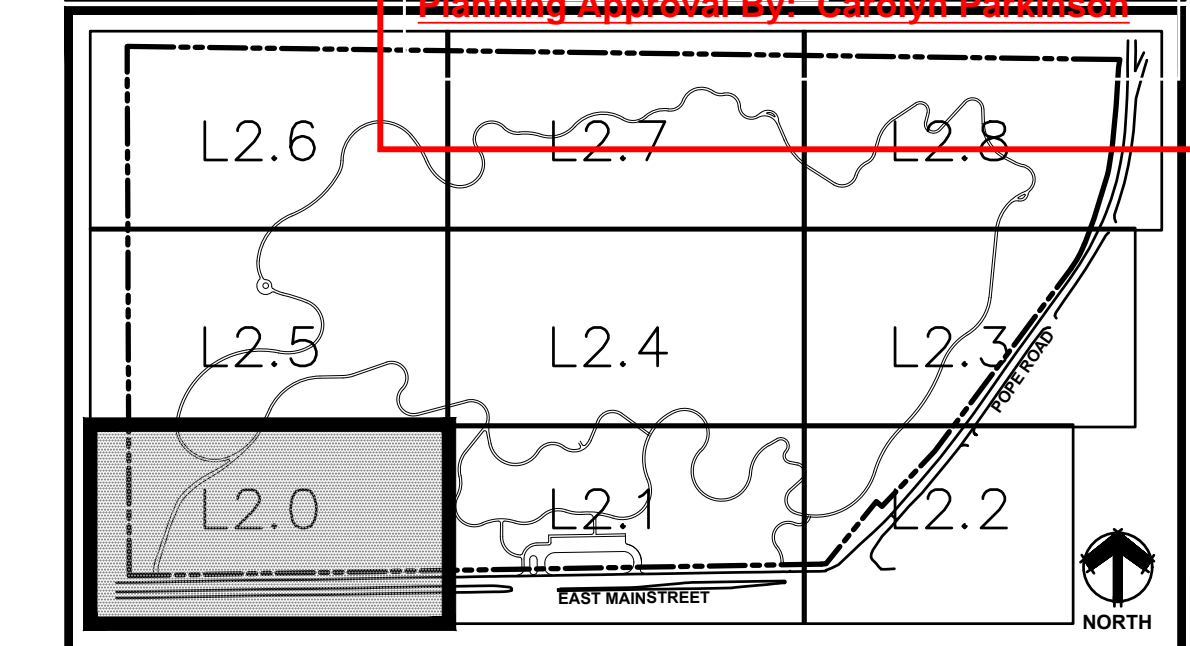
MATERIALS PLAN NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL STAKING BOTH LINE AND GRADE. ANY DISCREPANCIES, ERRORS OR OMISSIONS ON THE CONSTRUCTION DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY PRIOR TO MOVING FORWARD WITH ANY WORK. FAILURE TO IMMEDIATELY NOTIFY THE OWNER AND LANDSCAPE ARCHITECT WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY FOR ADJUSTMENTS TO THE DESIGN, AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR TO CAREFULLY STRIP & STOCKPILE TOPSOIL IN AREAS OF DISTURBANCE PRIOR TO PROCEEDING WITH GRADING AND CONSTRUCTION TO ENSURE MINIMAL IMPACT TO AREAS BEYOND LIMITS OF DISTURBANCE
- REFER TO SITE SURVEY FOR ADDITIONAL INFORMATION. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO BIDDING OR PERFORMING ANY CONSTRUCTION OPERATIONS. SURVEY PROVIDED BY THE TOWN OF PARKER TO DHM DESIGN.
- IT IS ASSUMED THAT UNDERGROUND UTILITIES EXIST ON SITE THAT ARE NOT SHOWN ON THE SURVEY. CONTRACTOR TO LOCATE UTILITIES PRIOR TO BEGINNING ANY WORK BELOW EXISTING GRADE, AND IF NECESSARY, ADJUST UTILITIES IN ORDER TO ACCOMMODATE PROPOSED IMPROVEMENTS THAT ARE A PART OF THIS PROJECT. CONTRACTOR TO COORDINATE WITH UTILITY SERVICE PROVIDERS, AND PROVIDE PRIOR NOTIFICATION WHEN WORK IS OCCURRING THAT MAY IMPACT THEIR SERVICE LINES.
- PROVIDE SLOPE AWAY FROM THE BUILDING STRUCTURES AS INDICATED ON DRAWINGS. 1/4" PER 1 FOOT MINIMUM.
- CONTRACTOR TO REPAIR ANY ASPHALT, CONCRETE AND OTHER SITE FEATURES DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS OR LICENSES REQUIRED FOR THE PERFORMANCE OF THE WORK AS APPLICABLE TO THIS PROJECT.
- ADDITIONAL LAYOUT INFORMATION WILL BE PROVIDED TO THE SELECTED CONTRACTOR PRIOR TO CONSTRUCTION AS NEEDED. ELECTRONIC FILES MAY ALSO BE OBTAINED BY THE CONTRACTOR FOR LAYOUT PURPOSES
- DUE TO SCALE OF DRAWINGS, NOT ALL CONDITIONS/ITEMS CARRY A DETAIL CALLOUT ON THE PLAN. THIS DOES NOT EXCLUDE THIS CONDITION/ITEM FROM THE PROJECT OR RESULT IN ADDITIONAL CHARGES TO THE OWNER
- CONSTRUCTION FENCING: CONTRACTOR IS REQUIRED TO INSTALL CONSTRUCTION FENCING AROUND EXISTING AREAS THAT ARE TO REMAIN UNDISTURBED WHEN WORKING IN THE IMMEDIATE AREA. CONTRACTOR WILL BE REQUIRED TO FULLY REHABILITATE SOIL AND VEGETATION OF ALL AREAS THAT ARE DISTURBED AS A PART OF THEIR WORK, WITH NO EXCEPTIONS. ANY TREES THAT ARE DAMAGED OR REMOVED WITHOUT THE WRITTEN APPROVAL OF THE OWNER AND LANDSCAPE ARCHITECT SHALL BE REPLACED IN-KIND OR BETTER, TO THE SATISFACTION OF THE TOWN OF PARKER.
- EXISTING PERIMETER FENCING: ALL PERIMETER FENCE, WITH EXCEPTION OF PORTION OF FENCING ALONG WEST PROPERTY LINE, TO BE REMOVED AND REPLACED. ANY FENCING, OR ASSOCIATED CONSTRUCTION THAT IS BEING ADJUSTED OR NEWLY CONSTRUCTED, SHALL BE INSTALLED WITHIN THE SITE PROPERTY LINES, REGARDLESS OF ITS EXISTING LOCATION, BUT SHALL NOT BACK INTO EXISTING FENCING.

LEGEND

	EXISTING FENCING		EXISTING DRAINAGE DITCH
	EXISTING GRAVEL		VEGETATED SWALE
	EXISTING STORM DRAIN		PROPOSED SMOOTH WIRE FENCE
	EXISTING STORM INLET		PROPOSED THREE RAIL FENCE
	EXISTING STORM FEES		6'-0" WIDE STABILIZED CRUSHER FINES TRAIL
	EXISTING STORM MANHOLE		6'-0" WIDE CRUSHER FINES TRAIL
	EXISTING ELECTRIC POLE		4'-0" MOWED TRAIL
	EXISTING LIGHT POLE		CONCRETE
	EXISTING WELL		NATIVE SEED IN AREAS OF DISTURBANCE
	EXISTING POLE		EXISTING EVERGREEN TREE
	EXISTING SIGN		EXISTING DECIDUOUS TREE
	EASEMENT LINE		EXISTING VEGETATION
	PROPERTY LINE		WAYFINDING MARKER
	TOPO MAJOR		TRAIL MARKER
	TOPO MINOR		
	TEMP. ORANGE CONSTRUCTION FENCING		
	LIMITS OF DISTURBANCE		

KEYMAP

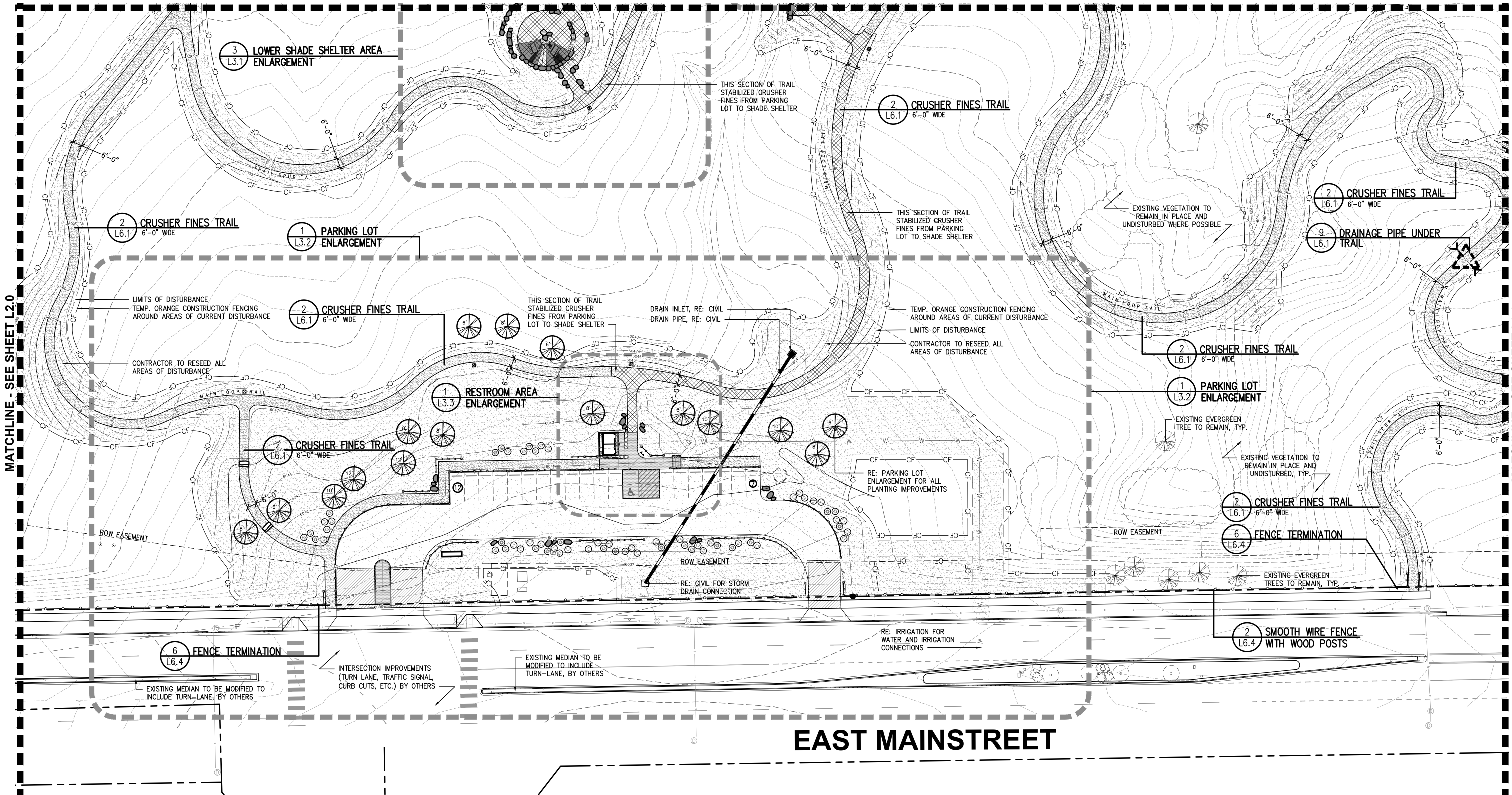


MATCHLINE - SEE SHEET L2.4

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MATCHLINE - SEE SHEET L2.0

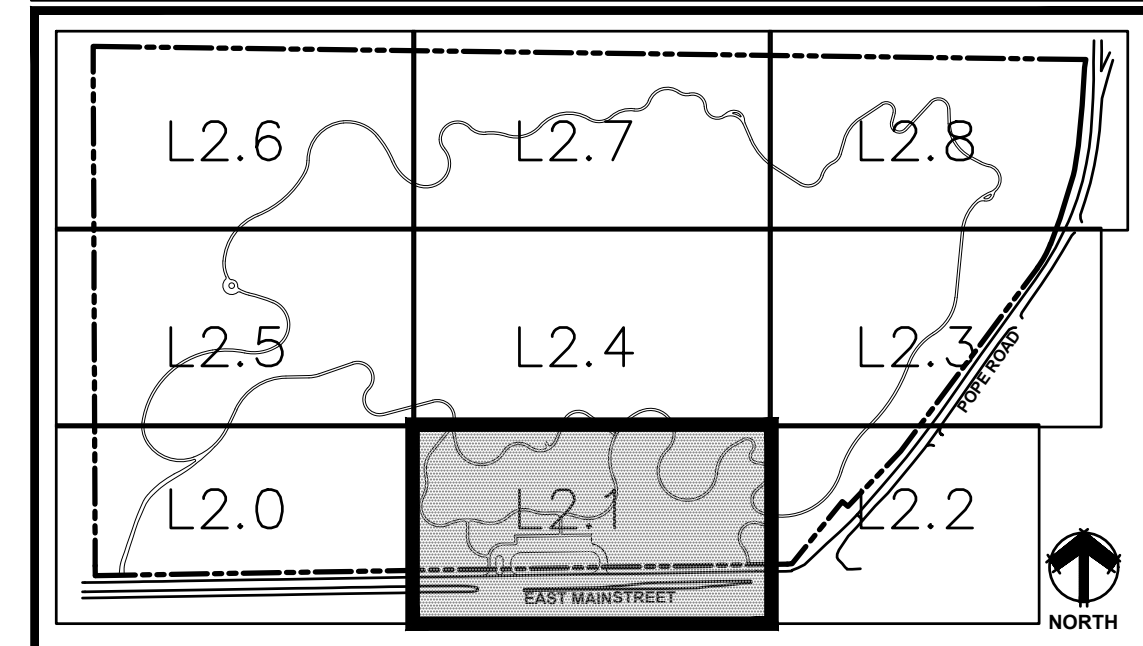
MATCHLINE - SEE SHEET L2.2

EAST MAINSTREET

LEGEND

- | | |
|---|--|
| <ul style="list-style-type: none"> --- EXISTING FENCING --- EXISTING GRAVEL --- EXISTING STORM DRAIN --- EXISTING STORM INLET --- EXISTING STORM FEES --- EXISTING STORM MANHOLE --- EXISTING ELECTRIC POLE --- EXISTING LIGHT POLE --- EXISTING WELL --- EXISTING POLE --- EXISTING SIGN --- EASEMENT LINE --- PROPERTY LINE --- TOPO MAJOR --- TOPO MINOR --- CF TEMP. ORANGE CONSTRUCTION FENCING AROUND ALL AREAS OF DISTURBANCE --- LIMITS OF DISTURBANCE | <ul style="list-style-type: none"> --- EXISTING DRAINAGE DITCH --- VEGETATED SWALE --- PROPOSED SMOOTH WIRE FENCE --- PROPOSED THREE RAIL FENCE --- 6'-0" WIDE STABILIZED CRUSHER FINES TRAIL --- 6'-0" WIDE CRUSHER FINES TRAIL --- 4'-0" MOWED TRAIL --- CONCRETE --- NATIVE SEED IN AREAS OF DISTURBANCE --- EXISTING EVERGREEN TREE --- EXISTING DECIDUOUS TREE --- EXISTING VEGETATION --- WAYFINDING MARKER --- TRAIL MARKER |
|---|--|

KEYMAP



PARKER
COLORADO

Final Document
Subject To Conditions In Approval Letter

APPROVED DATE: 02/01/2023

Planning Approval By: Carolyn Parkinson

NORTH

SCALE 1"=30'-0"

811
Know what's below.
Call before you dig.

RAY J. HARVIE OPEN SPACE
SITE PLAN SUBMITTAL

20120 East Main Street, Parker, CO 80138

PROJECT NUMBER: 17279.00 DATE: 01.11.2023
 DESIGNED: MTW
 DRAWN: MTW
 CHECKED: MTW

REVISIONS:

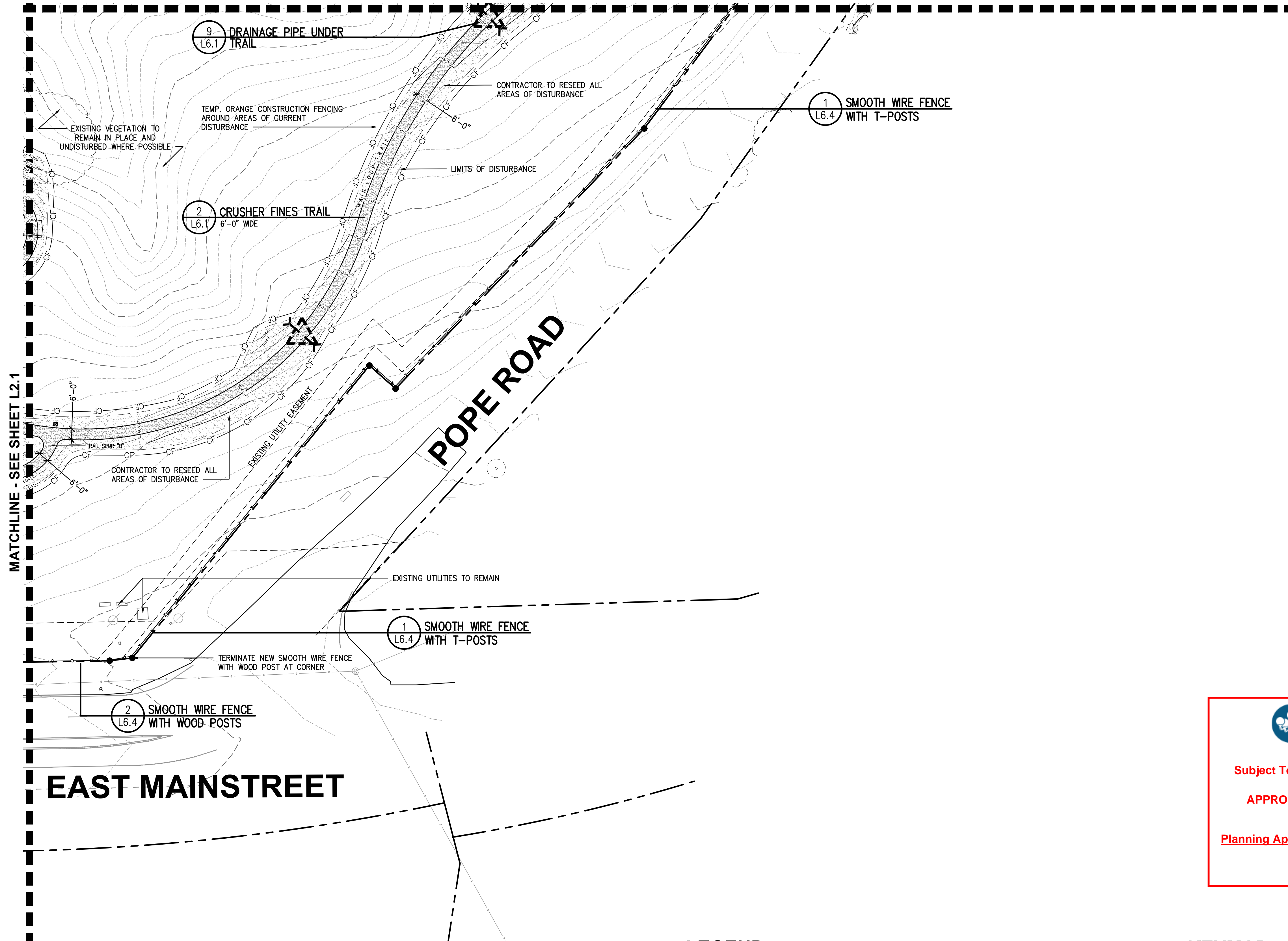
JOB DESCRIPTION:
SITE PLAN SUBMITTAL

SHEET TITLE:
MATERIALS & LAYOUT PLAN

SCALE: 1"=30'-0"
SHEET NUMBER:

L2.1

MATCHLINE - SEE SHEET L2.3



MATCHLINE - SEE SHEET L2.1

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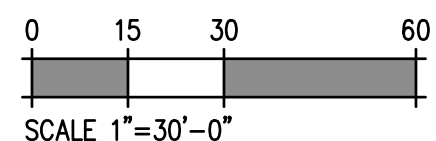
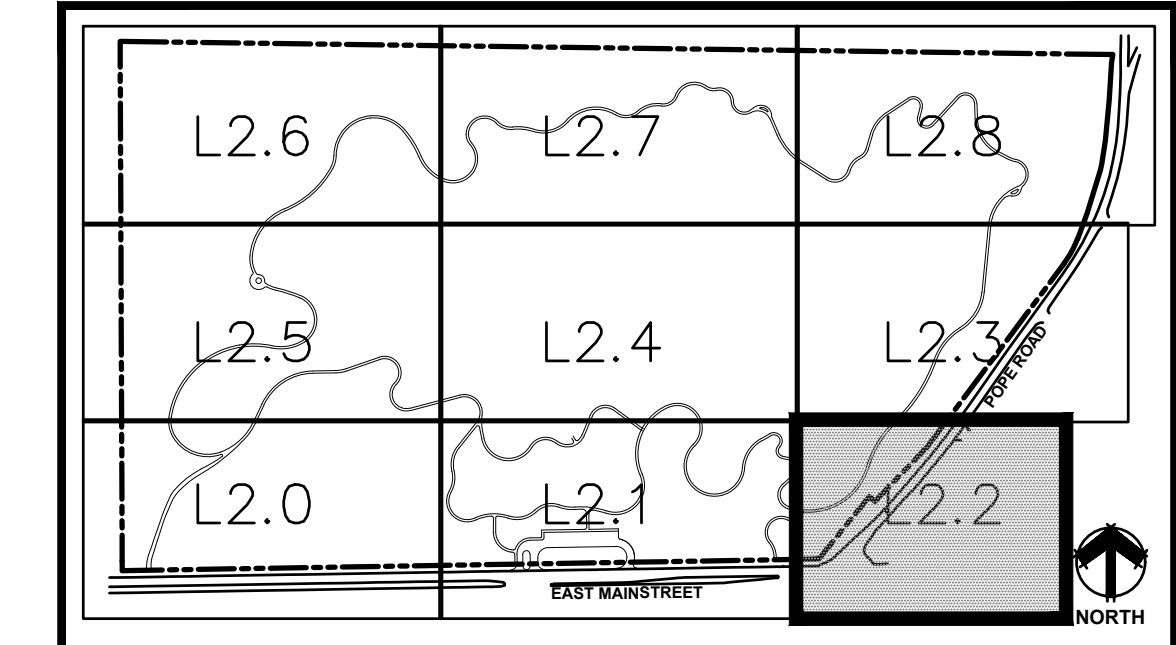
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LEGEND

---	EXISTING FENCING	---	EXISTING DRAINAGE DITCH
---	EXISTING GRAVEL	---	VEGETATED SWALE
---	EXISTING STORM DRAIN	---	PROPOSED SMOOTH WIRE FENCE
---	EXISTING STORM INLET	---	PROPOSED THREE RAIL FENCE
---	EXISTING STORM FES	---	6'-0" WIDE STABILIZED
---	EXISTING STORM MANHOLE	---	CRUSHER FINES TRAIL
---	EXISTING ELECTRIC POLE	---	6'-0" WIDE CRUSHER FINES TRAIL
---	EXISTING LIGHT POLE	---	4'-0" MOWED TRAIL
---	EXISTING WELL	---	CONCRETE
---	EXISTING POLE	---	NATIVE SEED IN AREAS
---	EXISTING SIGN	---	OF DISTURBANCE
---	EASEMENT LINE	---	EXISTING EVERGREEN TREE
---	PROPERTY LINE	---	EXISTING DECIDUOUS TREE
---	TOPO MAJOR	---	EXISTING VEGETATION
---	TOPO MINOR	---	WAYFINDING MARKER
---	TEMP. ORANGE CONSTRUCTION	---	TRAIL MARKER
---	FENCING AROUND ALL AREAS		
---	OF DISTURBANCE		
---	LIMITS OF DISTURBANCE		

KEYMAP



PROJECT NUMBER: 17279.00 DATE: 01.11.2023

DESIGNED: MTW
DRAWN: MTW
CHECKED: MTW

REVISIONS:

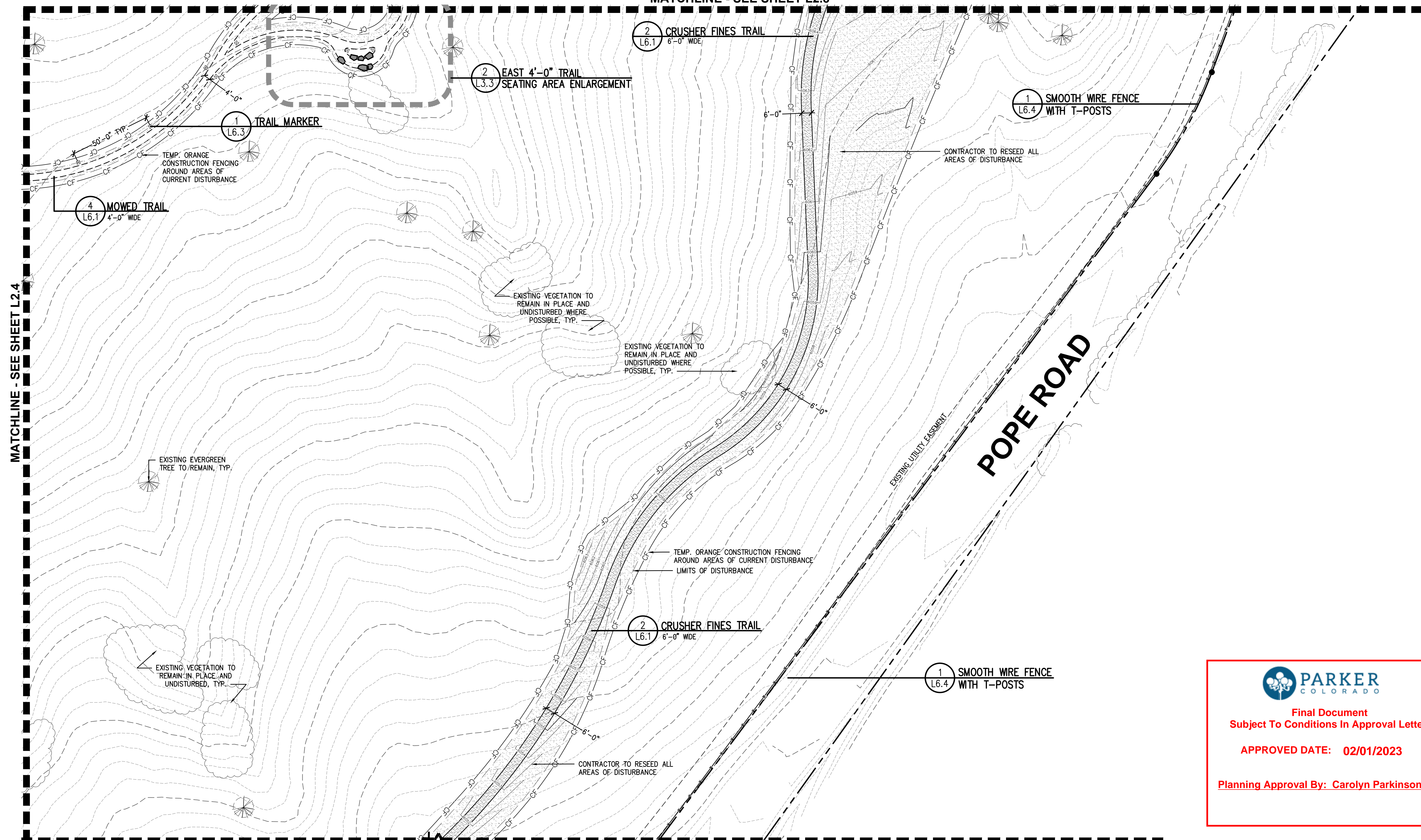
JOB DESCRIPTION:
SITE PLAN SUBMITTAL

SHEET TITLE:
MATERIALS & LAYOUT PLAN

SCALE: 1"=30'-0"
SHEET NUMBER:

L2.2

MATCHLINE - SEE SHEET L2.8



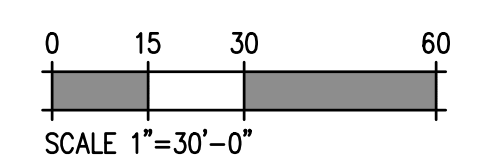
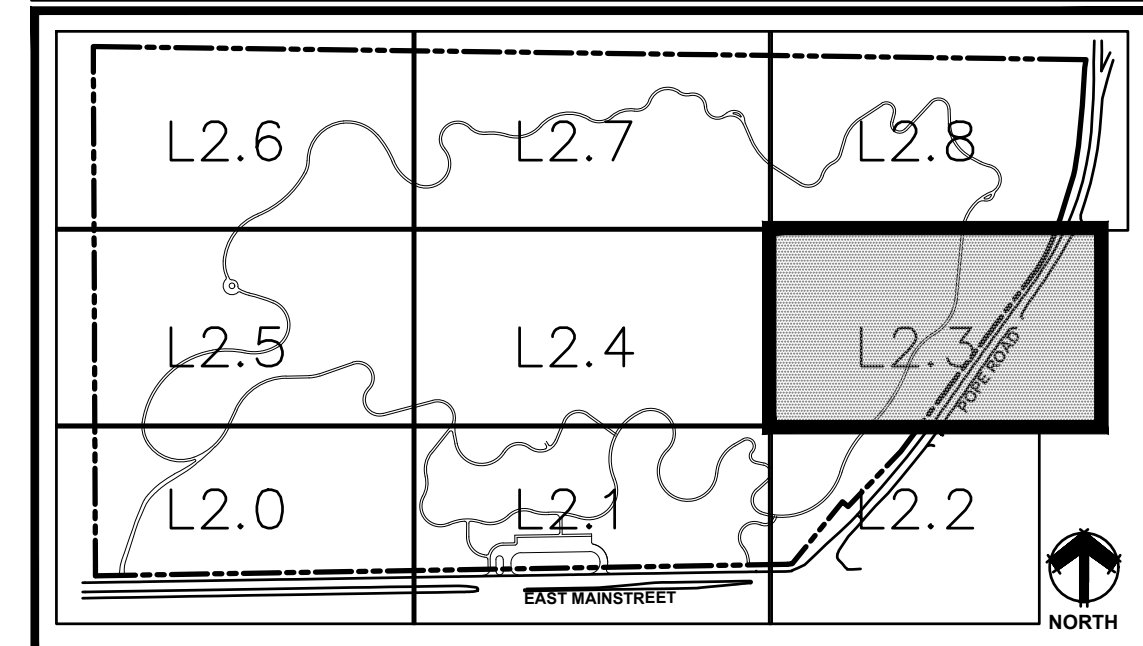
MATCHLINE - SEE SHEET L2.4

MATCHLINE - SEE SHEET L2.2

LEGEND

---	EXISTING FENCING	---	EXISTING DRAINAGE DITCH
---	EXISTING GRAVEL	---	VEGETATED SWALE
---	EXISTING STORM DRAIN	---	PROPOSED SMOOTH WIRE FENCE
---	EXISTING STORM INLET	---	PROPOSED THREE RAIL FENCE
---	EXISTING STORM FES	---	6'-0" WIDE STABILIZED CRUSHER FINES TRAIL
---	EXISTING STORM MANHOLE	---	6'-0" WIDE CRUSHER FINES TRAIL
---	EXISTING ELECTRIC POLE	---	4'-0" MOWED TRAIL
---	EXISTING LIGHT POLE	---	CONCRETE
---	EXISTING WELL	---	NATIVE SEED IN AREAS OF DISTURBANCE
---	EXISTING POLE	---	EXISTING EVERGREEN TREE
---	EXISTING SIGN	---	EXISTING DECIDUOUS TREE
---	EASEMENT LINE	---	EXISTING VEGETATION
---	PROPERTY LINE	---	WAYFINDING MARKER
---	TOPO MAJOR	---	TRAIL MARKER
---	TOPO MINOR		
---	TEMP. ORANGE CONSTRUCTION FENCING AROUND ALL AREAS OF DISTURBANCE		
---	LIMITS OF DISTURBANCE		

KEYMAP



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 SHEET NUMBER:

L2.3