

PLAZA STREET PARTNERS

LINCOLN PROFESSIONAL PARK FILING NO.1 LOT 3

LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH,
RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE PLAN DOCUMENTS

MARCH 2023



Final Document
Subject To Conditions In Approval Letter

APPROVED DATE: 10/25/2023

Planning Approval By: A. Wood Hicken



5500 Greenwood Plaza Blvd., Suite 200
Greenwood Village, CO 80111
303.770.8884
GallowayUS.com

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PROJECT CONTACTS

PROPERTY OWNER – DEVELOPER

PLAZA STREET PARTNERS
2400 W 75TH ST, SUITE 220
PRAIRIE VILLAGE, KS 66208
CONTACT: RYANNE SASS
TELE: (314) 882-7750
EMAIL: RSASS@PLAZASTREETPARTNERS.COM

APPLICANT

GALLOWAY & CO., INC.
5500 GREENWOOD PLAZA BLVD., SUITE 200
GREENWOOD VILLAGE, CO 80111
TELE: (303) 770-8884
CONTACT: SCOTT BROWN, P.E.
EMAIL: SCOTTBROWN@GALLOWAYUS.COM

CIVIL ENGINEER

GALLOWAY & CO., INC.
5500 GREENWOOD PLAZA BLVD., SUITE 200
GREENWOOD VILLAGE, CO 80111
TELE: (303) 770-8884
CONTACT: SCOTT BROWN, P.E.
EMAIL: SCOTTBROWN@GALLOWAYUS.COM

LANDSCAPING

GALLOWAY & CO., INC.
5500 GREENWOOD PLAZA BLVD., SUITE 200
GREENWOOD VILLAGE, CO 80111
TELE: (303) 770-8884
CONTACT: TROY NOSER
EMAIL: TROYNOSER@GALLOWAYUS.COM

CITY & UTILITY CONTACTS

ENGINEERING

TOWN OF PARKER – ENGINEERING
20120 E. MAIN STREET
PARKER, CO 80138
TEL: (303) 805-3169
CONTACT: RANDY CAPRA

STORMWATER

TOWN OF PARKER – ENGINEERING
20120 E. MAIN STREET
PARKER, CO 80138
TEL: (303) 840-9546
CONTACT: JIM GILBERT

FIRE

SOUTH METRO FIRE RESCUE AUTHORITY
9195 E. MINERAL AVE.
CENTENNIAL, CO 80112
TEL: (720) 989-2244
CONTACT: CHIP KERKHOFVE

WATER & SANITARY SEWER

PARKER WATER AND SANITATION DISTRICT
1800 E. WOODMAN DRIVE
PARKER, CO 80134
TEL: (303) 841-4627
CONTACT: DRAYTON SANDERSON

GAS

XCEL ENERGY
1800 LARIMER STREET
DENVER, CO 80202
EMAIL: RON.H.JOHNSON@XCELENERGY.COM
CONTACT: RON JOHNSON

ELECTRIC

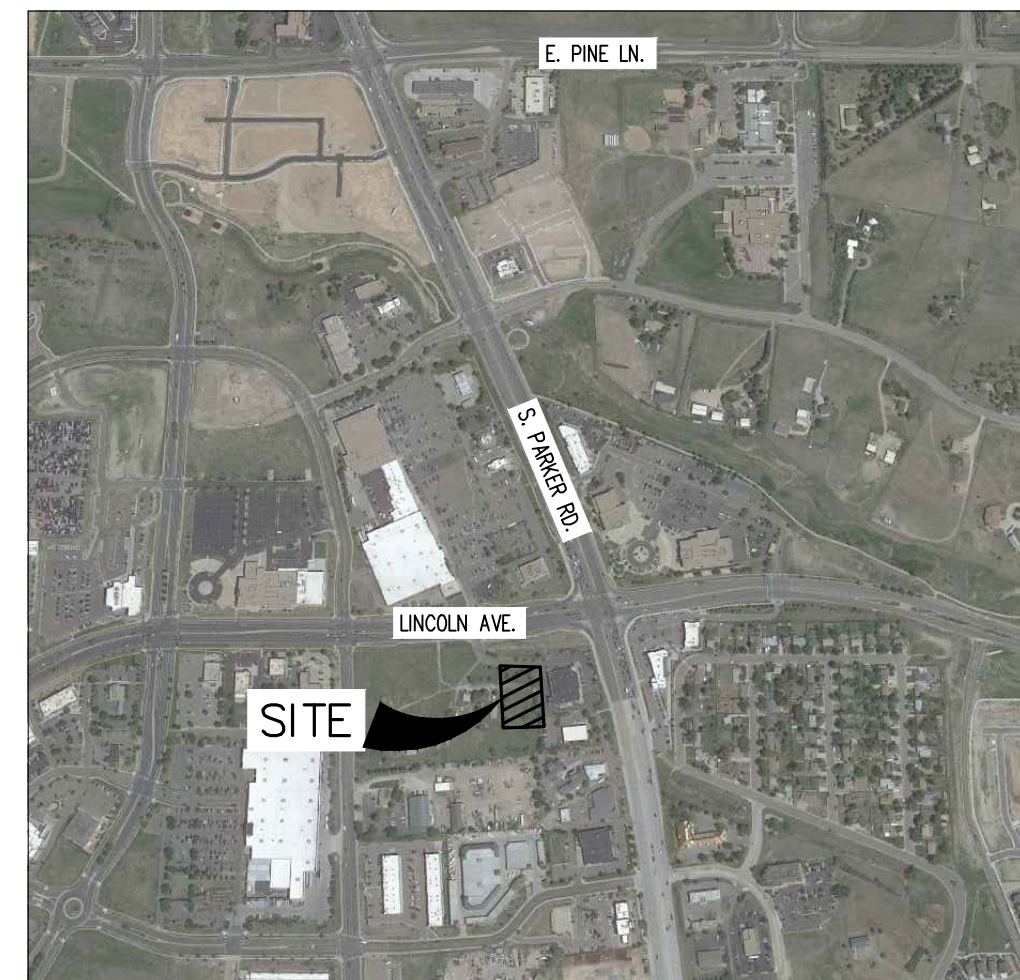
INTERMOUNTAIN RURAL ELECTRIC ASSOCIATION
5496 NORTH US HIGHWAY 85
SEDALIA, CO 80135
TEL (303) 688-3100
CONTACT: AMANDA STEINER

TELEVISION

COMCAST
1601 MILE HIGH STADIUM CIRCLE
DENVER, CO 80204
EMAIL: DEAN.FLENTHROP@CABLE.COMCAST.COM
CONTACT: DEAN FLENTHROP

TELEPHONE

CENTURYLINK
1801 CALIFORNIA STREET, SUITE 240
DENVER, CO 80202
CONTACT: IZZY MILLER
EMAIL: IZZY.MILLER@CENTURYLINK.COM



VICINITY MAP
(NOT TO SCALE)

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
1	COVER SHEET
2	EXISTING CONDITIONS MAP
3	SITE PLAN
4	PHOTOMETRIC CUT SHEETS
5	PHOTOMETRIC CUT SHEETS
6	LANDSCAPE PLAN
7	LANDSCAPE DETAILS
8	ARCHITECTURE ELEVATIONS
9	ARCHITECTURE ELEVATIONS
10	IRRIGATION PLAN
11	IRRIGATION PLAN
12	IRRIGATION PLAN
13	IRRIGATION PLAN

SITE DATA TABLE

SITE AREA	30,927 SF / .709 AC
ZONING	COMMERCIAL
BUILDING:	SINGLE STORY – 1,947 SF (BUILDING)
FAR:	25% MAX. / 6.7% ACTUAL
BUILDING COVERAGE:	50% MAX. / 6.7% ACTUAL
LANDSCAPING:	15% MIN. / 26.5% ACTUAL (12,632 SF LANDSCAPED AREA)
BUILDING SETBACK:	40' FRONT 0' SIDE & REAR 25'
BUILDING HT:	35' MAX / 13.4' ACTUAL, CANOPY 25'
CAR PARKING:	20 REQUIRED / 24 SPACES (INCLUDES 2 ADA) PROVIDED
BIKE RACKS:	4 REQUIRED / 2 RACKS WITH 4 SPOTS

DEVELOPMENT PLAN NOTES

LIGHTING NOTE: IN THE INTEREST OF COMPATIBILITY OF SURROUNDING LAND USES, ILLUMINATION OF ANY KIND ON PRIVATE PROPERTY SHALL BE DIRECTED AND CONTROLLED IN SUCH A MANNER SO THAT THERE SHALL BE NO DIRECT RAYS OF LIGHT WHICH EXTEND BEYOND THE BOUNDARIES OF THE PROPERTY FROM WHICH IT ORIGINATES.

TRASH ENCLOSURE NOTE: TRASH ENCLOSURES SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF SIX (6) FEET AND OF THE SAME MATERIAL AND COLOR AS THE MAIN BUILDING.

SCREENING NOTE: ROOF MOUNTED ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE PLACED OR SCREENED SUCH THAT THE EQUIPMENT IS NOT VISIBLE FROM ANY POINT. SUCH EQUIPMENT SHALL BE SCREENED WITH THE SAME MATERIALS AND COLORS AS THE MAIN BUILDING.

SIGNAGE NOTE: APPROVAL OF A SIGN PERMIT IS REQUIRED IN ADDITION TO DEVELOPMENT PLAN APPROVAL. SIGN LOCATIONS SHOWN ON THE DEVELOPMENT PLAN WILL BE REVIEWED FOR POSSIBLE CONFLICTS WITH SIGHT TRIANGLES AND EASEMENTS. THESE SIGNS WILL NOT BE APPROVED BY THE SITE PLAN REVIEW PROCESS. ALL SIGNS MUST CONFORM TO THE CITY'S STANDARDS.

DOWNSPOUT NOTE: NO ROOF DOWNSPOUT OUTFALLS WILL BE ALLOWED TO DRAIN OVER SIDEWALKS, BIKE PATHS, OR ANY OTHER PEDESTRIAN ROUTES AND WILL BE PAINTED TO BLEND IN WITH BUILDING MATERIALS.

AMERICANS WITH DISABILITIES NOTE: THE APPLICANT HAS THE OBLIGATION TO COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT. APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE COMPLIANCE WITH THIS ACT.

CONSTRUCTION NOTE: THE APPROVAL OF THIS DEVELOPMENT PLAN DOES NOT CONSTITUTE FINAL APPROVAL OF GRADING, DRAINAGE, UTILITY, PUBLIC IMPROVEMENTS, AND BUILDINGS PLANS. THESE PLANS MUST BE REVIEWED AND APPROVED BY THE APPROPRIATE AGENCY PRIOR TO THE ISSUANCE OF BUILDING PERMITS.

UNDERGROUND UTILITY NOTE: ALL OVERHEAD UTILITIES SERVING THIS SITE MUST BE PLACED UNDERGROUND PER THE LAND DEVELOPMENT CODE.

THE APPROVED SITE PLAN IS THE FINAL DOCUMENT AND NOT CONCEPTUAL. ANY PROPOSED DEVIATION / MODIFICATIONS / SUBSTITUTION WILL NEED PRIOR APPROVAL THROUGH THE APPROPRIATE PLANNING DEPARTMENT PROCESS.

BENCHMARK

BENCHMARK IS A UDFCD 2" BRASS CAP IN HEAD WALL (BG-1) NEAR PARKER ROAD AND BALDWIN AVE, ELEV=5841.07 NAVD88

BASIS OF BEARINGS

BEARINGS ARE BASED OFF THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN. AS MONUMENTED AT BOTH THE NORTHWEST QUARTER CORNER AND THE NORTH QUARTER CORNER BY 3.25" ALUMINUM CAPS, ASSUMED TO BEAR SOUTH 89°29'00" WEST.

CAUTION – NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.



Know what's below.
Call before you dig.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

PLAZA STREET PARTNERS
SITE PLAN DOCUMENTS

PARKER COLORADO

#	Date	Issue / Description	Init.
1	09/23/22	1ST SUBMITTAL	SMB
2	12/14/22	2ND SUBMITTAL	SMB
3	03/06/23	3RD SUBMITTAL	SMB
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Project No:	PSP000001
Drawn By:	JRC
Checked By:	SMB
Date:	04/28/2023

COVER SHEET

1 OF 13

PLAZA STREET PARTNERS
LINCOLN PROFESSIONAL PARK FILING NO.1 LOT 3
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH,
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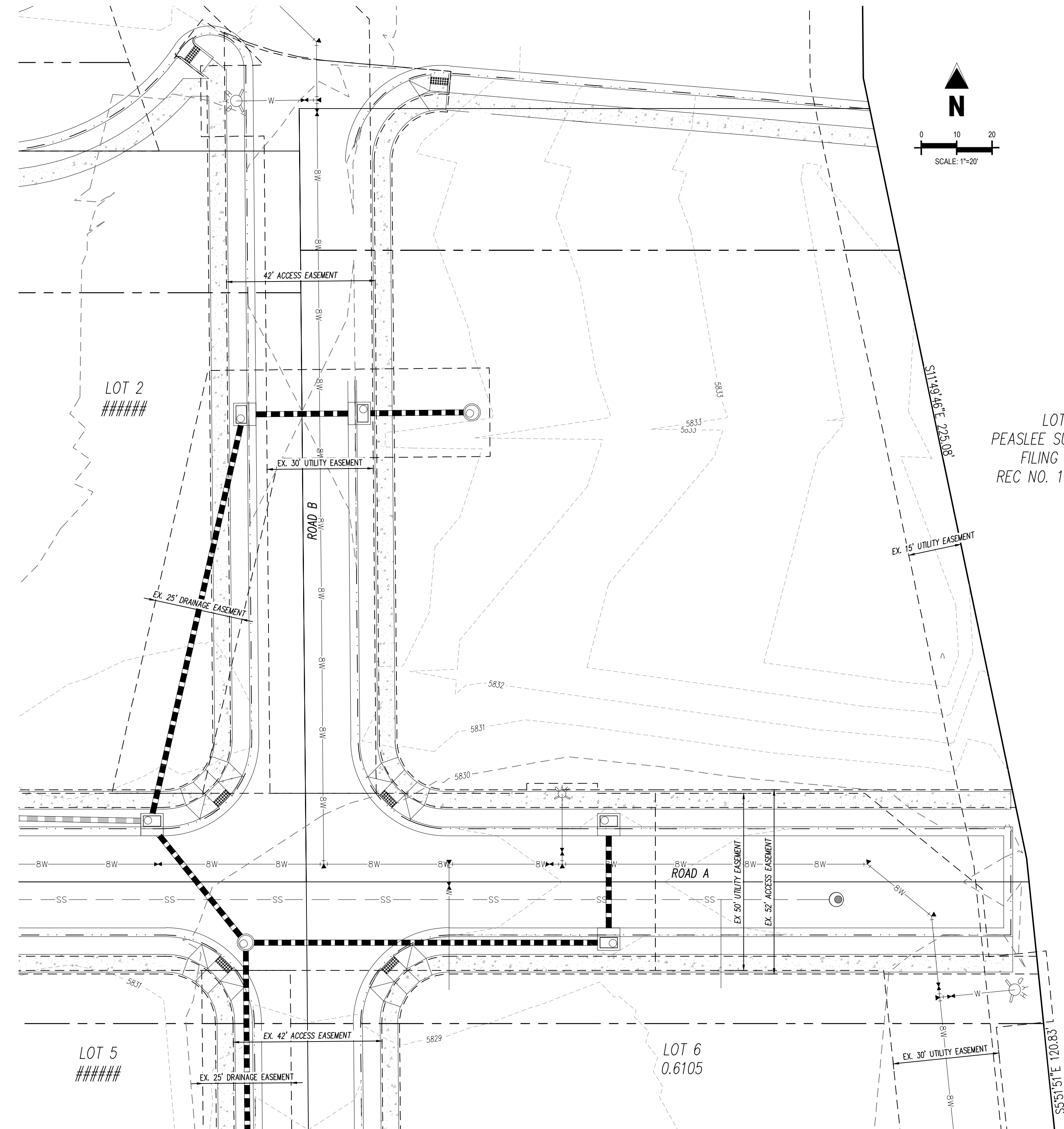
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PLAZA STREET PARTNERS
 SITE PLAN DOCUMENTS

PARKER COLORADO



LEGEND

	PROPERTY LINE
	EASEMENT BOUNDARY LINE
	ADA ACCESSIBLE ROUTE
	PROPOSED SIGN
	EXISTING CONCRETE PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	PROPOSED HEAVY DUTY CONCRETE
	PROPOSED STANDARD DUTY CONCRETE
	EXISTING CONCRETE SIDEWALK TO BE REMOVED
	PROPOSED SITE LIGHTING
	PARKING COUNT

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THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

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Project No: PSP000001
 Drawn By: JRC
 Checked By: SMB
 Date: 04/28/2023

EXISTING CONDITIONS MAP

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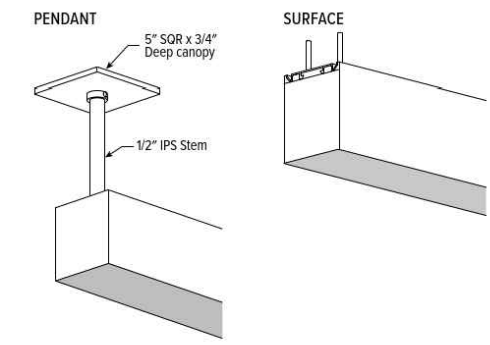


PLAZA STREET PARTNERS SITE PLAN DOCUMENTS PARKER COLORADO

Table with columns: #, Date, Issue / Description, Init. Includes revision history for 10/23/22, 12/14/22, and 03/06/23.

MX4IP LED 4" Ambient - IP Rated

MOUNTING DETAILS



FIXTURE DETAILS

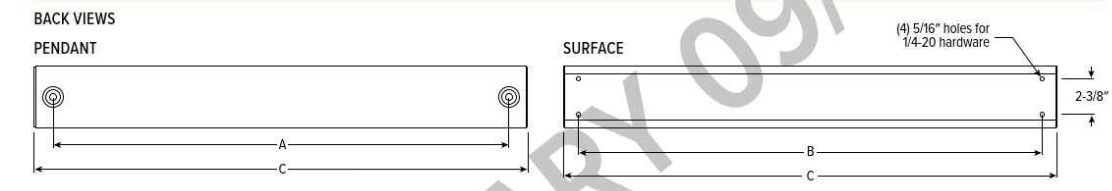


Table with columns: Pendant (in), Surface (in), Actual Length (in). Rows for 2, 4, 6, 8 foot lengths.

FINISH OPTIONS



H.E. Williams, Inc. Carlsbad, Missouri. www.hew.com. 417.358.4065. Designed and Manufactured in the USA.

AREA & ROADWAY LIGHTING

RAZAR SERIES - LED LOW PROFILE AREA LUMINAIRE

Optical Housing Heavy cast, low copper aluminum assembly (A356 alloy, <2% copper) minimum wall thickness 1.68" LED Module mounting area is machined within a 0.002" surface flatness variance for maximum surface contact and thermal conductivity from the LED modules to the radiating fins.

Electrical Housing w/ Integrated Arm Heavy cast low copper aluminum (A356 alloy, <2% copper) assembly with integral cooling fins surrounding the electrical compartment and a cast surface on the top of the arm to accommodate a photo-cell receptacle.

PLED® Optics Emitters (LED's) are arrayed on a metal core PCB panel with each emitter located on a copper thermal transfer pad and enclosed by an LED reflector. LED optics completely seal each individual emitter to meet an IP66 rating.

LED Drivers Constant current electronic with a power factor of >90 and a minimum operating temperature of -40°F to 40°C. Drivers (1) is 0.6V and (2) is 0.6V and (3) is 0.6V.

High Output LEDs are utilized with drive currents ranging from 350mA to 1050mA. 70CRI Minimum LEDs are available in standard Neutral White (5000K), or optional Cool White (5000K) or Warm White (3000K). Consult Factory for other LED options.

Amber LED's TRIA (True Amber) LED's utilize material that emits light in the amber spectral bandwidth only without the use of phosphors.

Finish Electrostatically applied TGIC Polyester Powder Coat on substrate prepared with 20 PSI power wash at 140°F. Four step media blast and top phosphate pretreatment for protection and paint adhesion. 400°F bake for maximum hardness and durability.

Mast Arm Filter/Electrical Housing Replaces standard Electrical Housing. Fits standard 2 3/8" O.D. horizontal ferrous (2) straps with two (2) 1/2" dia. each, spaced the lower half of the ferrous. Upper half of the ferrous rests on self-centering steps that position the angle of the luminaire at 0° +1.5°, +1.5° or +3° up from the horizontal. All hardware is stainless steel.

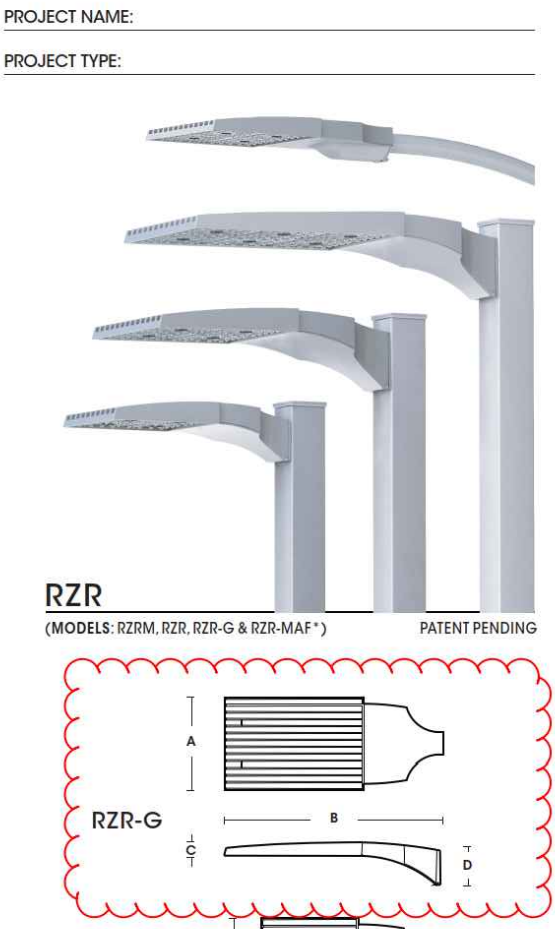
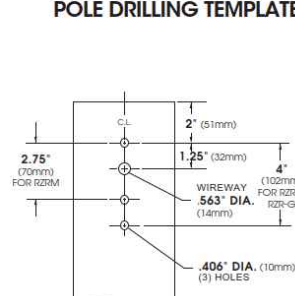


Table with columns: Pole Height (ft), Length (ft), Width (ft), Depth (ft). Rows for RZR-G, RZR-M, and RZR-MAF models.

RZR SERIES - LED SPECIFICATIONS

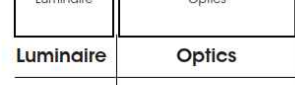
POLE DRILLING TEMPLATE



EPA & WEIGHT



PLED® MODULES



ORDERING INFORMATION

Ordering information table with columns: Luminaire, Optics, LED, Voltage, Mounting, Finish, Options.

RZR SERIES - LED PHOTOMETRIC DATA GUIDE - LM-80 LUMEN MAINTENANCE

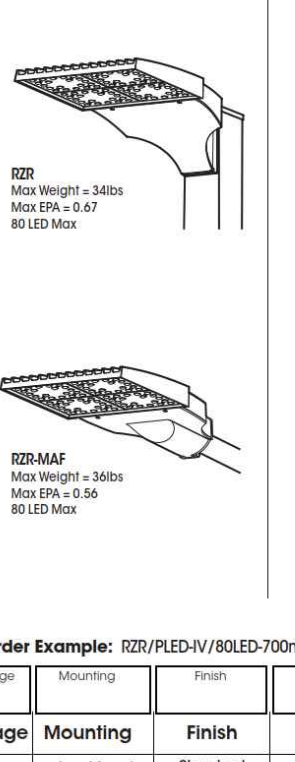
Table with columns: LED Life / Operating Hours, Lumen Depreciation, Lumen Depreciation Factor.

ELECTRICAL DATA GUIDE - AMPERAGE CHARTS

Table with columns: # of LEDs, mA, System Watts, 120V, 208V, 277V, 347V, 480V.

RZR SERIES - LED PHOTOMETRIC DATA GUIDE - ISOFOOTCANDLE PLOTS

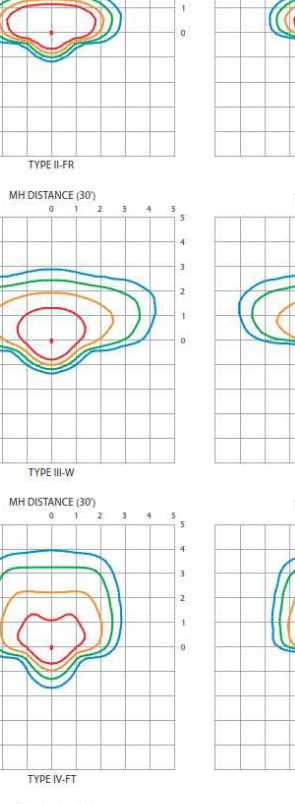
RZR-MAF-48LED-700mA-40K - 18' Pole Height



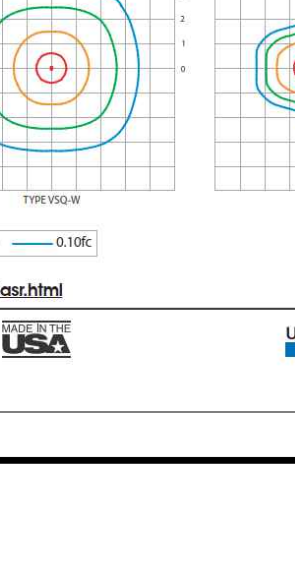
RZR-MAF-48LED-700mA-40K - 25' Pole Height



RZR-MAF-48LED-700mA-40K - 30' Pole Height

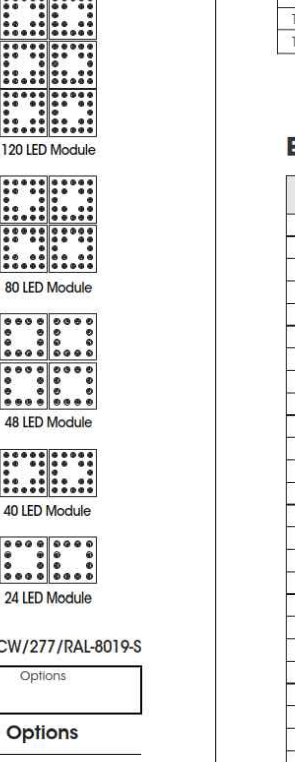


RZR-MAF-48LED-700mA-40K - 35' Pole Height

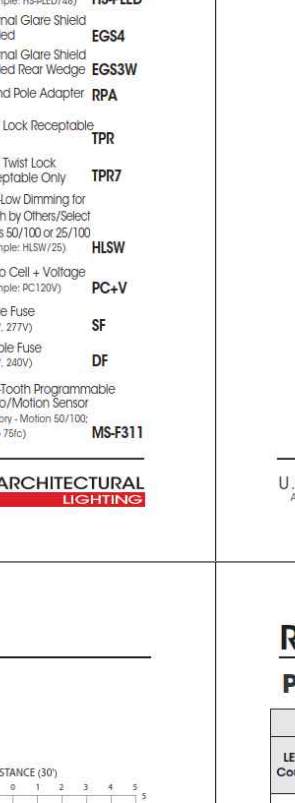


RZR SERIES - LED PHOTOMETRIC DATA GUIDE - ISOFOOTCANDLE PLOTS

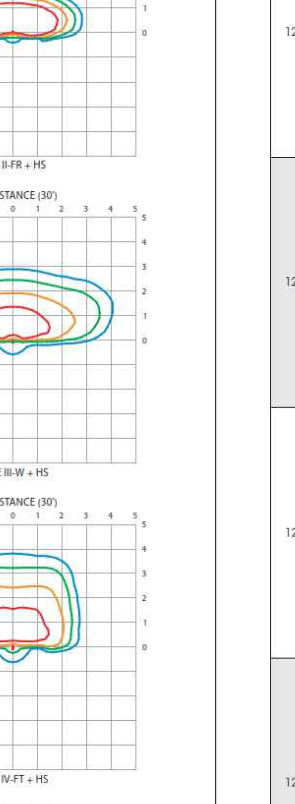
RZR-MAF-120LED-700mA-40K - 18' Pole Height



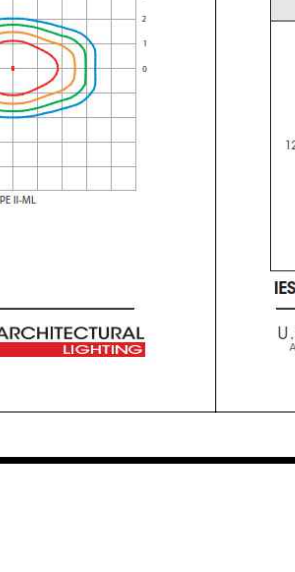
RZR-MAF-120LED-700mA-40K - 25' Pole Height



RZR-MAF-120LED-700mA-40K - 30' Pole Height

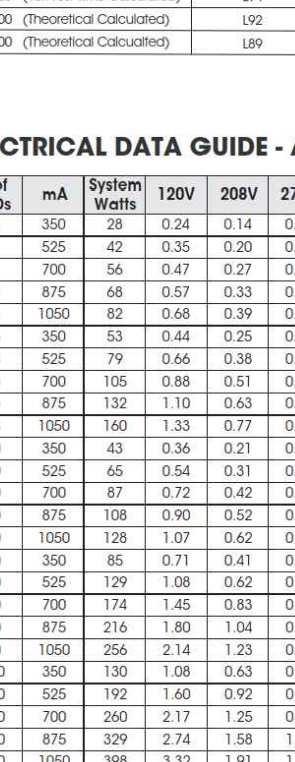


RZR-MAF-120LED-700mA-40K - 35' Pole Height



RZR SERIES - LED PHOTOMETRIC DATA GUIDE - ISOFOOTCANDLE PLOTS

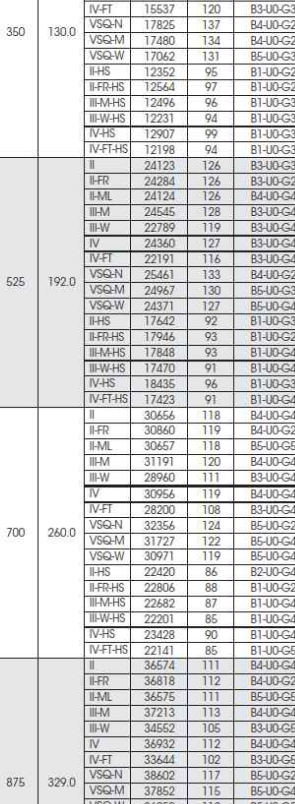
RZR-MAF-120LED-700mA-40K - 18' Pole Height



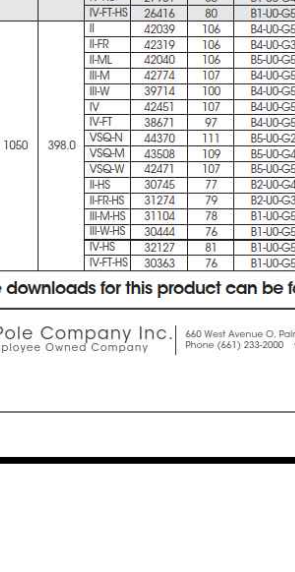
RZR-MAF-120LED-700mA-40K - 25' Pole Height



RZR-MAF-120LED-700mA-40K - 30' Pole Height

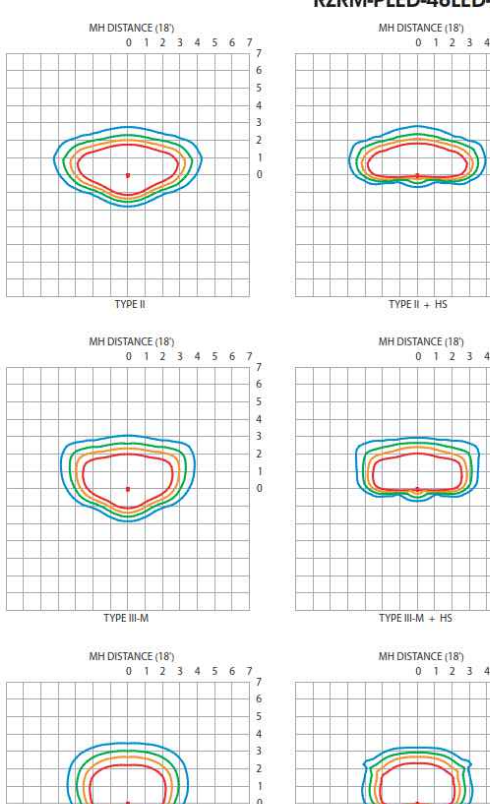


RZR-MAF-120LED-700mA-40K - 35' Pole Height

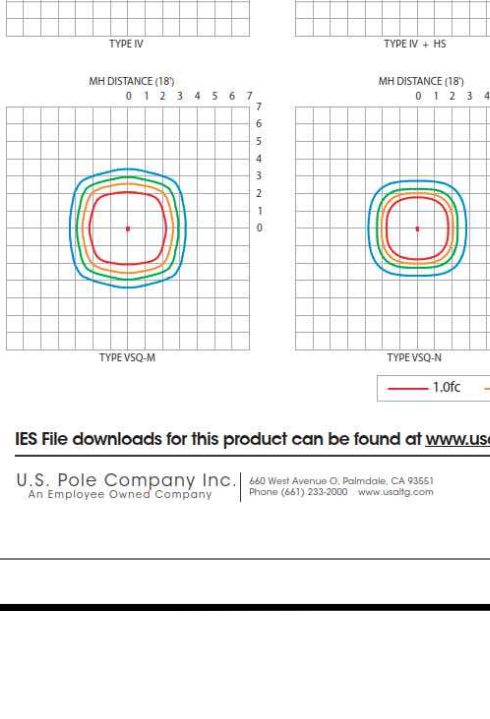


RZR SERIES - LED PHOTOMETRIC DATA GUIDE - ISOFOOTCANDLE PLOTS

RZR-MAF-120LED-700mA-40K - 18' Pole Height

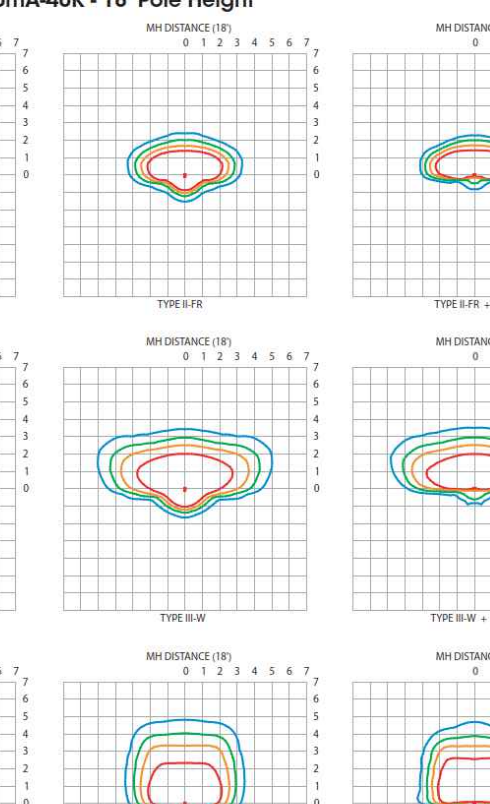


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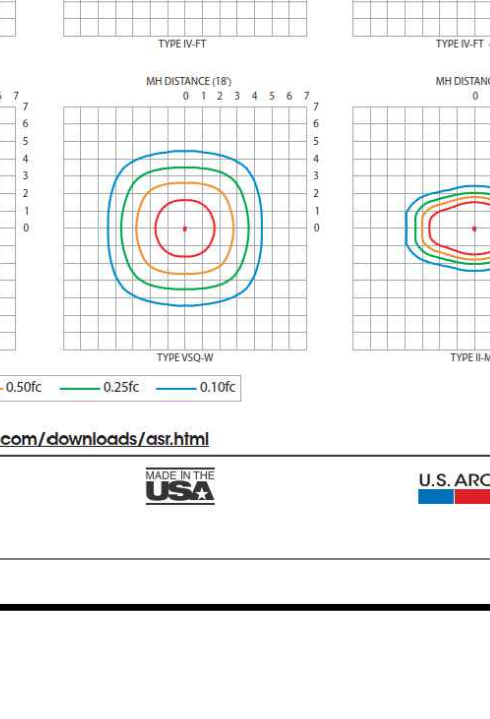


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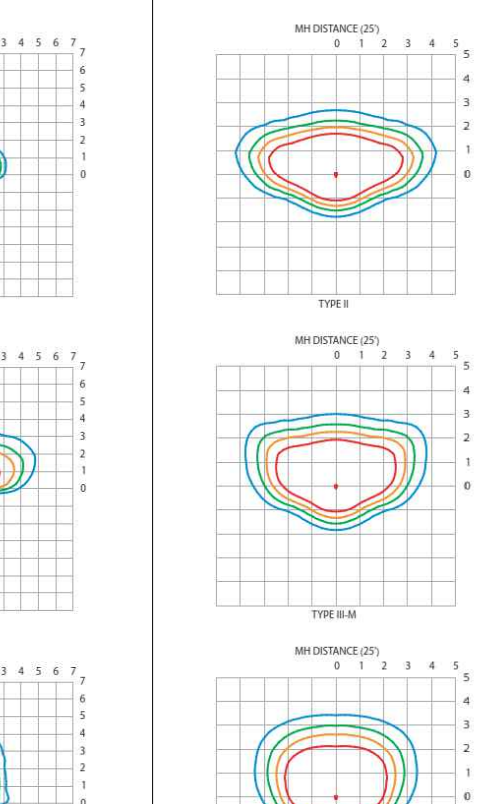


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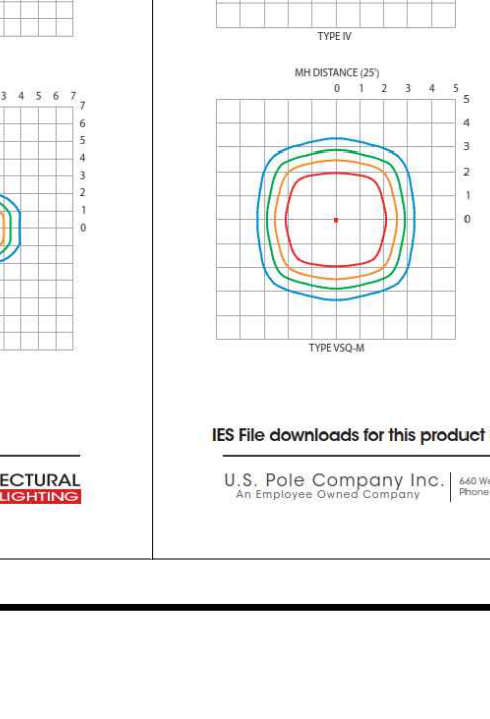


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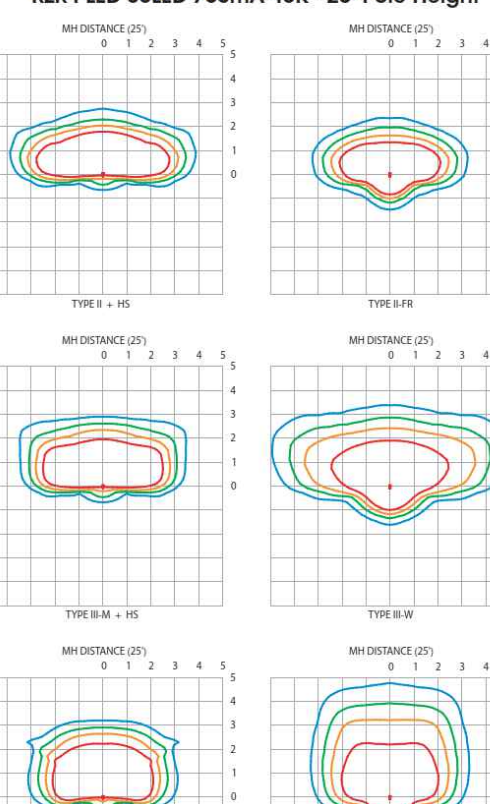


RZR-MAF-120LED-700mA-40K - 25' Pole Height

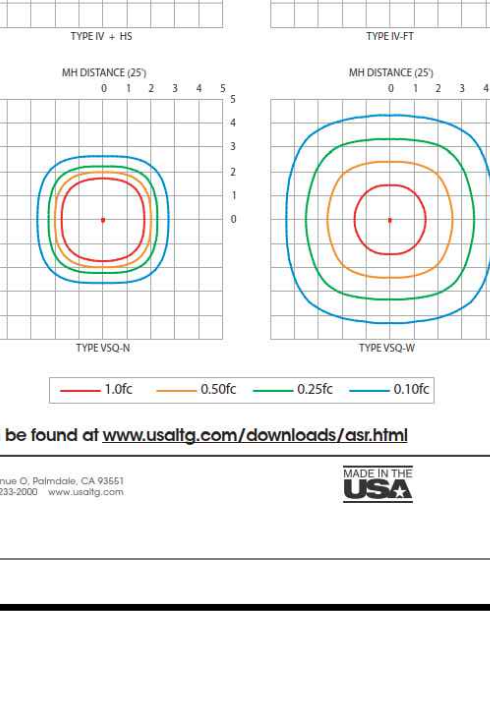


RZR SERIES - LED PHOTOMETRIC DATA GUIDE - ISOFOOTCANDLE PLOTS

RZR-MAF-120LED-700mA-40K - 18' Pole Height

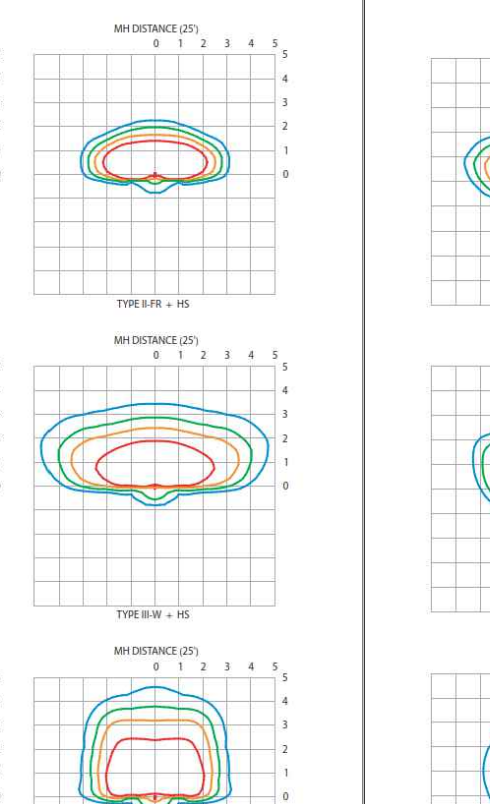


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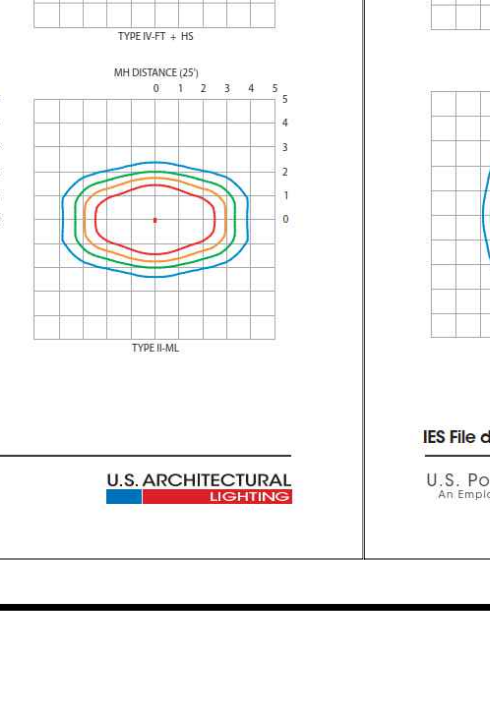


RZR SERIES - LED PHOTOMETRIC DATA GUIDE - ISOFOOTCANDLE PLOTS

RZR-MAF-120LED-700mA-40K - 18' Pole Height

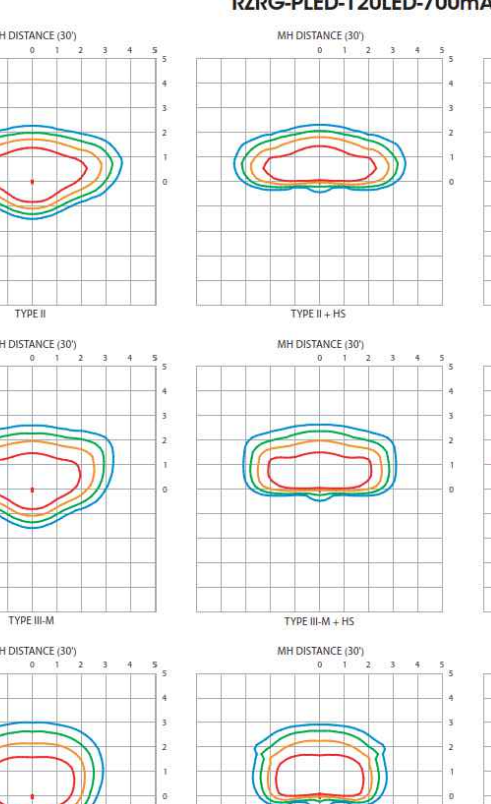


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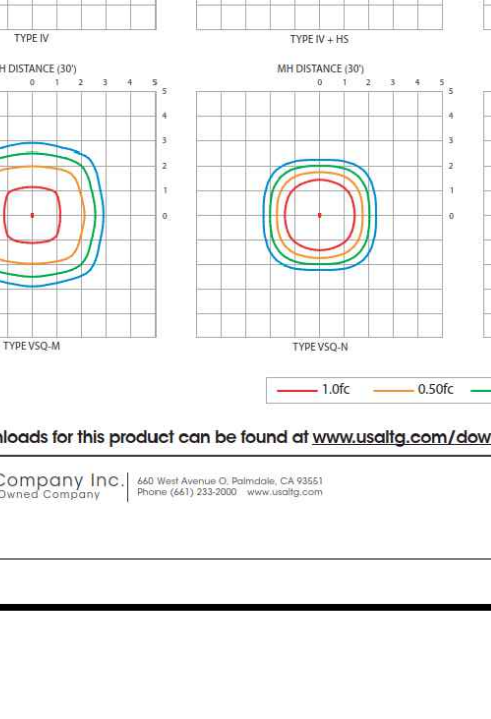


RZR SERIES - LED PHOTOMETRIC DATA GUIDE - ISOFOOTCANDLE PLOTS

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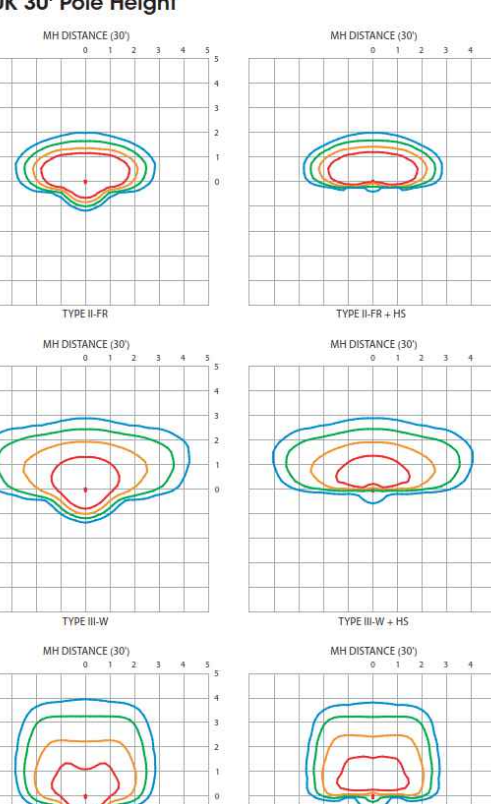


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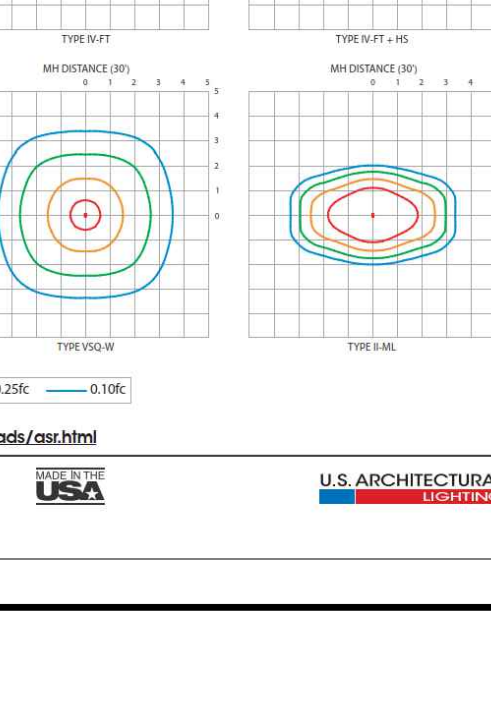


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RZR-MAF-120LED-700mA-40K - 18' Pole Height

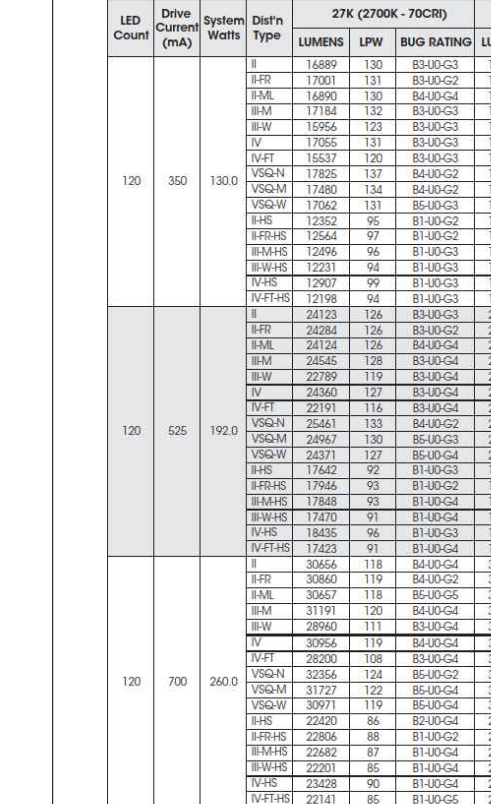


RZR-MAF-120LED-700mA-40K - 25' Pole Height

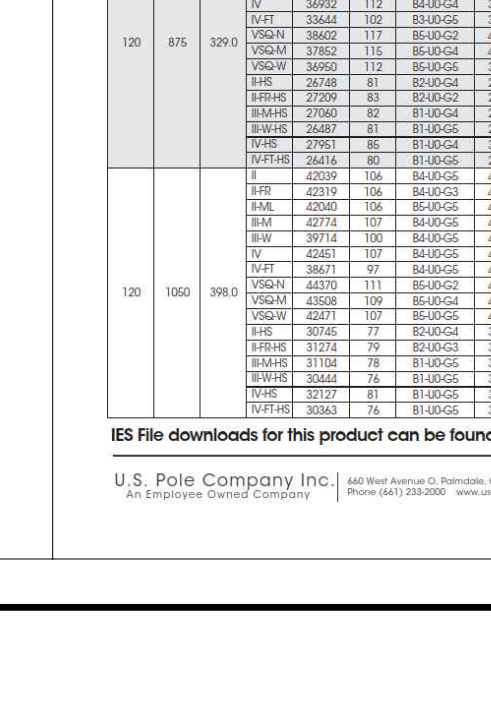


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RZR-MAF-120LED-700mA-40K - 18' Pole Height

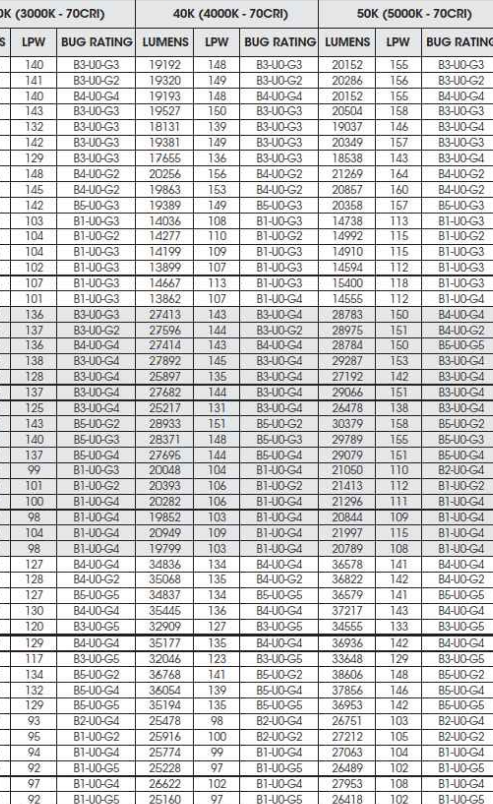


RZR-MAF-120LED-700mA-40K - 25' Pole Height



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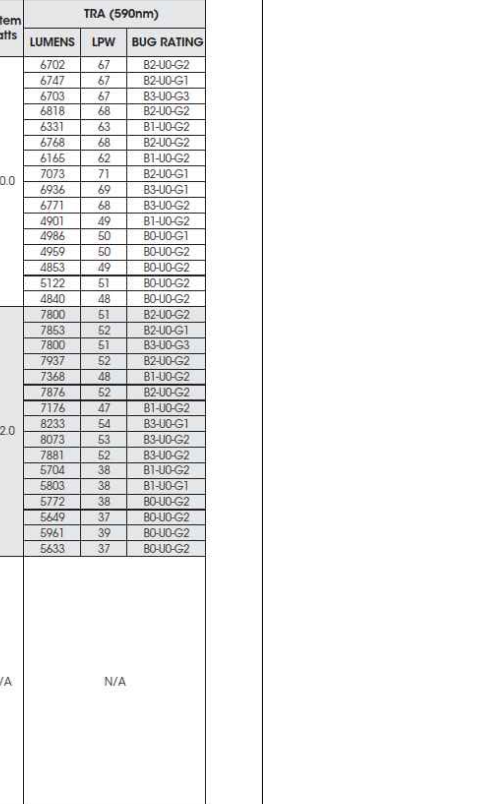


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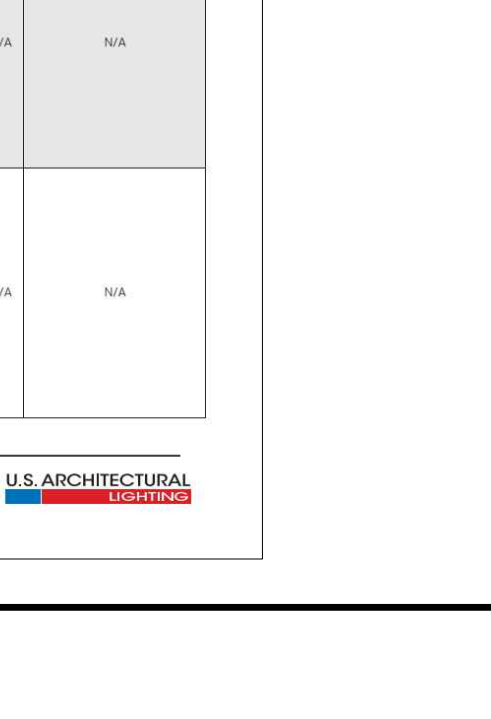


RZR SERIES - LED PHOTOMETRIC DATA GUIDE - ISOFOOTCANDLE PLOTS

RZR-MAF-120LED-700mA-40K - 18' Pole Height



RZR-MAF-120LED-700mA-40K - 25' Pole Height



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LINCOLN PROFESSIONAL PARK FILING NO.1 LOT 3

LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH,
RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE PLAN DOCUMENTS

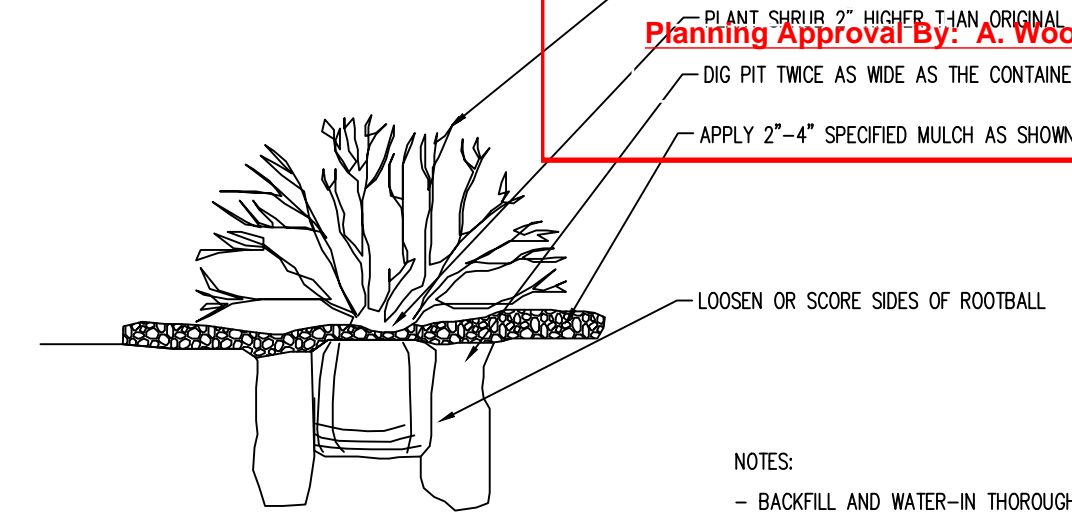
MARCH 2023



Final Document
Subject To Conditions In Approval Letter

APPROVED DATE: 10/25/2023

Planning Approval By: A. Wood Hicken



- NOTES:
- BACKFILL AND WATER-IN THOROUGHLY
 - BROKEN ROOTBALLS WILL BE REJECTED

2 TOWN OF PARKER SHRUB PLANTING STANDARD N.T.S.

LANDSCAPE REQUIREMENTS

CODE SECTION	CATEGORY	FORMULA	CALCULATION	REQUIRED	PROVIDED
13.06.070 (L)(2)	MIN. SITE LANDSCAPING STANDARDS	COMMERCIAL - MIN. 15%	TOTAL AREA 30,927 SF X 0.15	4,639 SF	12,632 SF
13.06.070 (L)(2) a	MIN. SITE LANDSCAPING STANDARDS	75% LANDSCAPE AREA VEGETATION COVERAGE	TOTAL LANDSCAPE AREA 12,632 SF X 0.75	9,474 SF	9,474 SF
13.06.070 (L)(5)	MIN. SITE LANDSCAPING STANDARDS	1 TREE / 1500 SF LANDSCAPE AREA	12,632 SF / 1500	8 TREES	8 TREES
13.06.070 (L)(5)	MIN. SITE LANDSCAPING STANDARDS	5 SHRUBS / 1500 SF LANDSCAPE AREA	(12,632 SF / 1500) X 5	42 SHRUBS	42 SHRUBS
13.06.070 (M)	STREETSCAPE LANDSCAPING	TREES NO GREATER THAN 40 FT APART	520 LF / 40	13 TREES	13 TREES *
13.06.070 (O)(5)	PARKING LOT PERIMETER	PARKING LOT BUFFER SCREEN	ADJACENT TO ROADWAY	10 FT	10 FT
13.06.070 (P)(2)	INTERNAL PARKING LOT LANDSCAPING	10% OF PARKING ALLOCATED TO LANDSCAPE ISLANDS	4,050 SF X 0.10	405 SF	472 SF
13.06.070 (P)(4)	INTERNAL PARKING LOT LANDSCAPING	1 TREE / 162 SF LANDSCAPE ISLAND	472 SF / 162	3 TREES	3 TREES
13.06.070 (P)(4)	INTERNAL PARKING LOT LANDSCAPING	5 SHRUBS / 162 SF LANDSCAPE ISLAND (1 SHRUB/ADD. 15 SF)	(472 SF / 162) X 5	15 SHRUBS	15 SHRUBS
13.06.070 (Q) SCHEDULE B	SITE PERIMETER LANDSCAPE STANDARDS	COMMERCIAL ADJ. TO NON RESIDENTIAL USE (1 TREE & 5 SHRUBS / 40 LF)	NORTH 120 LF / 40	3 TREES & 15 SHRUBS	3 TREES & 15 SHRUBS
13.06.070 (Q) SCHEDULE B	SITE PERIMETER LANDSCAPE STANDARDS	COMMERCIAL ADJ. TO NON RESIDENTIAL USE (1 TREE & 5 SHRUBS / 40 LF)	EAST 200 LF / 40	5 TREES & 25 SHRUBS	5 TREES & 25 SHRUBS
13.06.070 (Q) SCHEDULE B	SITE PERIMETER LANDSCAPE STANDARDS	COMMERCIAL ADJ. TO NON RESIDENTIAL USE (1 TREE & 5 SHRUBS / 40 LF)	SOUTH 160 LF / 40	4 TREES & 20 SHRUBS	4 TREES & 20 SHRUBS

* LANDSCAPE AND TREES ALONG PRIVATE ROAD A AND B BY OTHERS PER THE LINCOLN PROFESSIONAL PARK FILING NO. 1 MASTER LANDSCAPE PLAN

PLANTING NOTES

- GENERAL
- ANY/ALL CHANGES TO THE LANDSCAPING REQUIRES APPROVAL FROM THE TOWN OF PARKER.
 - ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, STANDARDS, AND SPECIFICATIONS.
 - LANDSCAPE DESIGN IS DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE AND NOTIFY THE LANDSCAPE ARCHITECT OF THESE DISCREPANCIES. MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THERE SHALL BE NO REDUCTION IN THE NUMBER AND SIZE OF MATERIALS.
 - CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON. THIS DRAWING IS PART OF A COMPLETE SET OF CONTRACT DOCUMENTS. UNDER NO CIRCUMSTANCES SHOULD THIS PLAN BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE AND REVIEW ALL RELATED PLANS AND DOCUMENTS.
 - ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT.
 - THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS "TO REMAIN". ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).
 - LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN AN APPROVAL WILL BE OBTAINED FROM THE CITY. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
 - ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED AND CLEANED OUT PRIOR TO INSTALLATION OF TOPSOIL, TREES, SHRUBS, AND TURF.
 - FOR ALL INFORMATION ON SURFACE MATERIAL OF WALKS, DRIVES, AND PARKING LOTS, SEE THE SITE PLAN, SEE PHOTOMETRIC PLAN FOR FREE STANDING LIGHTING INFORMATION.
 - THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.
 - WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.
 - ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONTRACTORS HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTORS ASSOCIATION.
 - LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.
- FINISH GRADING AND SOIL PREPARATION
- CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
 - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 - THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT FOR THE THE OWNER/OWNERS REPRESENTATIVE CONSIDERATION.
 - AT A MINIMUM, ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT COMPOST AT A RATE OF 5.0 CUBIC YARDS AND AMMONIUM PHOSPHATE 16-20-0 AT A RATE OF 15 POUNDS PER THOUSAND SQUARE FEET OF LANDSCAPE AREA. COMPOST SHALL BE MECHANICALLY INTEGRATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING. GROUND COVER & PERENNIAL BED AREAS SHALL BE AMENDED AT A RATE OF 8 CUBIC FEET PER THOUSAND SQUARE FEET OF NITROGEN STABILIZED ORGANIC AMENDMENT AND 10 LBS. OF 12-12-12 FERTILIZER PER CU. YD., ROTOTILLED TO A DEPTH OF 8". NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS.
- PLANTING
- ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS/ALL EVERGREENS SHALL BE UNSHEARED AND FULL TO THE GROUND; UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 - ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
 - ALL TREES SHALL BE GUYED AND WOOD STAKED AS PER DETAILS. NO "T-STAKES" SHALL BE USED FOR TREES.
 - ALL PLANT MATERIALS SHALL BE TRUE TO TYPE, SIZE, SPECIES, QUALITY, AND FREE OF INJURY, BROKEN ROOT BALLS, PESTS, AND DISEASES, AS WELL AS CONFORM TO THE MINIMUM REQUIREMENTS DESCRIBED IN THE "AMERICAN STANDARD FOR NURSERY STOCK". FOLLOW GREENCO TREE PLANTING RECOMMENDATIONS FOR MINIMUM QUALITY REQUIREMENTS FOR TREES.
 - ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - ALL TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED CLEAR OF ALL BRANCHES BETWEEN GROUND AND A HEIGHT OF EIGHT (8) FEET FOR THAT PORTION OF THE PLAN LOCATED OVER THE SIDEWALK AND/OR ROAD.
 - ALL PLANT MATERIAL SHALL NOT BE PLANTED PRIOR TO INSTALLATION OF TOPSOIL.
 - ALL PLANT BEDS SHALL BE CONTAINED WITH STEEL EDGER. STEEL EDGER IS NOT REQUIRED ALONG CURBS, WALKS OR BUILDING FOUNDATIONS. ALL EDGING SHALL OVERLAP AT JOINTS A MINIMUM OF 6-INCHES, AND SHALL BE FASTENED WITH A MINIMUM OF 4 PINS PER EACH 10 FOOT SECTION. THE TOP OF ALL EDGING MATERIAL SHALL BE A ROLLED TOP AND 1/2 INCH ABOVE THE FINISHED GRADE OF ADJACENT LAWN OR MULCH AREAS. COLOR: GREEN.
 - THE DEVELOPER, HIS SUCCESSOR, OR ASSIGNEE SHALL BE RESPONSIBLE FOR ESTABLISHING AND CONTINUING A REGULAR PROGRAM OF MAINTENANCE FOR ALL LANDSCAPED AREAS. SEE LANDSCAPE GUARANTEE AND MAINTENANCE NOTE.
 - A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.
 - LANDSCAPE CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPING MATERIALS TO THE LANDSCAPE ARCHITECTS AND OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION. IE.; MULCH, EDGER, LANDSCAPE FABRIC, ETC.
- MULCHING
- AFTER ALL PLANTING IS COMPLETE, THE CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF ROCK OR WOOD MULCH AS SPECIFIED IN THE PLANTING LEGEND. INSTALL A 4" THICK RING OF DOUBLE SHREDDED CEDAR BARK MULCH AROUND ALL PLANT MATERIAL IN ROCK MULCH BEDS WHERE LANDSCAPING IS SHOWN ON THE PLANS. WOOD MULCH RING SIZE SHALL BE THE CONTAINER SIZE OF THE SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. TREE RING SIZE SHALL BE GREEN INDUSTRIES OF COLORADO INDUSTRY STANDARD WIDTH.
 - ROCK MULCH TO BE 1.5" DIAMETER MIN. 4" DEPTH. ROCK COBBLE TO BE XXX MIN. 4" DEPTH.
 - WOOD MULCH TO BE GORILLA HAIR SHREDDED CEDARWOOD MIN. 4" DEPTH.
 - ALL MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE.
 - INSTALL DEWITT PRO-5 WEED BARRIER FABRIC UNDER ALL ROCK MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY. NO LANDSCAPE FABRIC SHALL BE USED IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED.
 - ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.
 - ALL PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH. TYPE AND DEPTH PER PLANS. SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES 4:1 OR STEEPER, OR AS OTHERWISE DENOTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER MULCH HAS BEEN INSTALLED.
 - ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS. NETTING SHALL BE #CT-125, AS MANUFACTURED BY NORTH AMERICAN GREEN (OR EQUAL). INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS. SEE ALSO THE CIVIL ENGINEER'S EROSION CONTROL PLAN.

IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE WATER SOURCE IF APPLICABLE.
- ALL NON-TURF/SEED PLANTED AREAS WILL BE DRIP IRRIGATED. TURF SOD/SEED SHALL RECEIVE POP-UP SPRAY IRRIGATION FOR HEAD TO HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND SMART MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

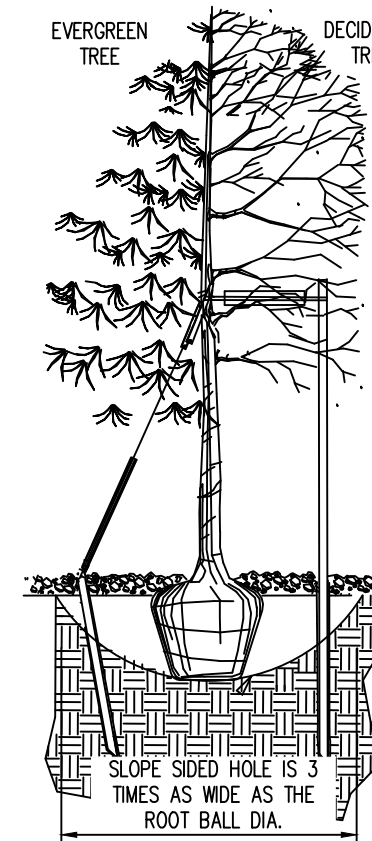
LANDSCAPE GUARANTEE AND MAINTENANCE

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, WEEDING, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION. IF SITE OPENS DURING WINTER, TO AVOID FREEZE DAMAGE ON PLANTINGS, THE 90 DAYS SHOULD BEGIN AFTER ACCEPTANCE OF THE WORK.
- DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.

UTILITY NOTES

- THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
- THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.
- THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HERE IN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.

NOTE: BROKEN OR CRUMBLING ROOTBALLS WILL BE REJECTED
PRUNE ALL DEAD OR DAMAGED WOOD AFTER PLANTING



NOTES:

- EXCAVATE PLANTING HOLES WITH SLOPING SIDES. MAKE EXCAVATIONS AT LEAST THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER AND NO DEEPER THAN THE DISTANCE FROM THE TOP MOST ROOTS IN THE ROOT BALL TO THE BOTTOM OF THE ROOT BALL TO ALLOW FOR SETTLING. DO NOT DISTURB SOIL AT BOTTOM OF PLANTING HOLES, BUT DO SCORE THE SIDES OF THE PLANTING HOLE. THE PLANTING AREA SHALL BE LOOSENED AND AERATED AT LEAST THREE TIMES THE DIAMETER OF THE ROOT BALL. BACKFILL SHALL CONSIST OF EXISTING ON SITE TOPSOIL - NO AMENDMENTS SHALL BE USED UNLESS OTHERWISE SPECIFIED.
- TREES SHALL BE PLANTED WITH THE ROOT COLLAR/LARE VISIBLE ABOVE GRADE AND TWO OR MORE STRUCTURAL ROOTS LOCATED WITHIN THE TOP 1" TO 2" OF THE ROOT BALL/FINISHED GRADE MEASURED 3' TO 4' FROM TRUNK. THIS INCLUDES TREES THAT ARE SET ON SLOPES (SEE SLOPE PLANTING DETAIL). TREES THAT DO NOT HAVE A VISIBLE ROOT COLLAR SHALL BE REJECTED. DO NOT COVER THE ROOT BALL WITH SOIL.
- WHEN ROOT BALL WILL REMAIN INTACT, CUT OFF BOTTOM 1/4 OF WIRE BASKET BEFORE PLACING TREE IN HOLE, CUT OFF REMAINDER OF BASKET AFTER TREE IS SET IN HOLE, REMOVE BASKET COMPLETELY. AT A MINIMUM, THE TOP 2/3 OF THE BURLAP AND BASKET SHALL BE REMOVED FROM THE ROOT BALL ON ALL TREES. REMOVE ALL NYLON TIES, TWINE, ROPE, AND BURLAP. REMOVE UNNECESSARY PACKING MATERIAL.
- FORM SOIL INTO A 3" TO 5" TALL WATERING RING (SAUCER) AROUND PLANTING AREA. THIS IS NOT NECESSARY IN IRRIGATED TURF AREAS. APPLY 2" TO 4" DEPTH OF SPECIFIED MULCH OVER PLANTING AREA AND INSIDE SAUCERS, AWAY FROM TRUNK.
- STAKING AND GUYING OF TREES IS OPTIONAL IN MOST PLANTING SITUATIONS. IN AREAS OF EXTREME WINDS, OR ON STEEP SLOPES, STAKING MAY BE REQUIRED TO STABILIZE TREES. STAKING AND GUYING MUST BE REMOVED WITHIN 1 YEAR OF PLANTING DATE.
- TREE WRAP IS NOT TO BE USED ON ANY NEW PLANTINGS, EXCEPT IN LATE FALL PLANTING SITUATIONS, AND ONLY THEN AFTER CONSULTATION WITH THE TOWN ARBORIST.
- RESETTING OF IMPROPERLY PLANTED TREES WILL ONLY BE ALLOWED IF IT IS DETERMINED THAT DOING SO WILL IN NO WAY COMPROMISE THE ROOT BALL, AND SHALL ONLY BE DONE WITH APPROVAL OF THE TOWN ARBORIST.

1 TOWN OF PARKER TREE PLANTING N.T.S.

5500 Greenwood Plaza Blvd., Suite 200
Greenwood Village, CO 80111
303.770.8884
GallowayUS.com

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PLAZA STREET PARTNERS
SITE PLAN DOCUMENTS

PARKER COLORADO

#	Date	Issue / Description	Init.
1	09/23/22	1ST SUBMITTAL	SMB
2	12/14/22	2ND SUBMITTAL	SMB
3	03/09/23	3RD SUBMITTAL	SMB
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-
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-	-	-	-

Project No: PSP000001
Drawn By: BH
Checked By: JR
Date: 08/11/2022

LANDSCAPE NOTES & DETAILS

L1.1

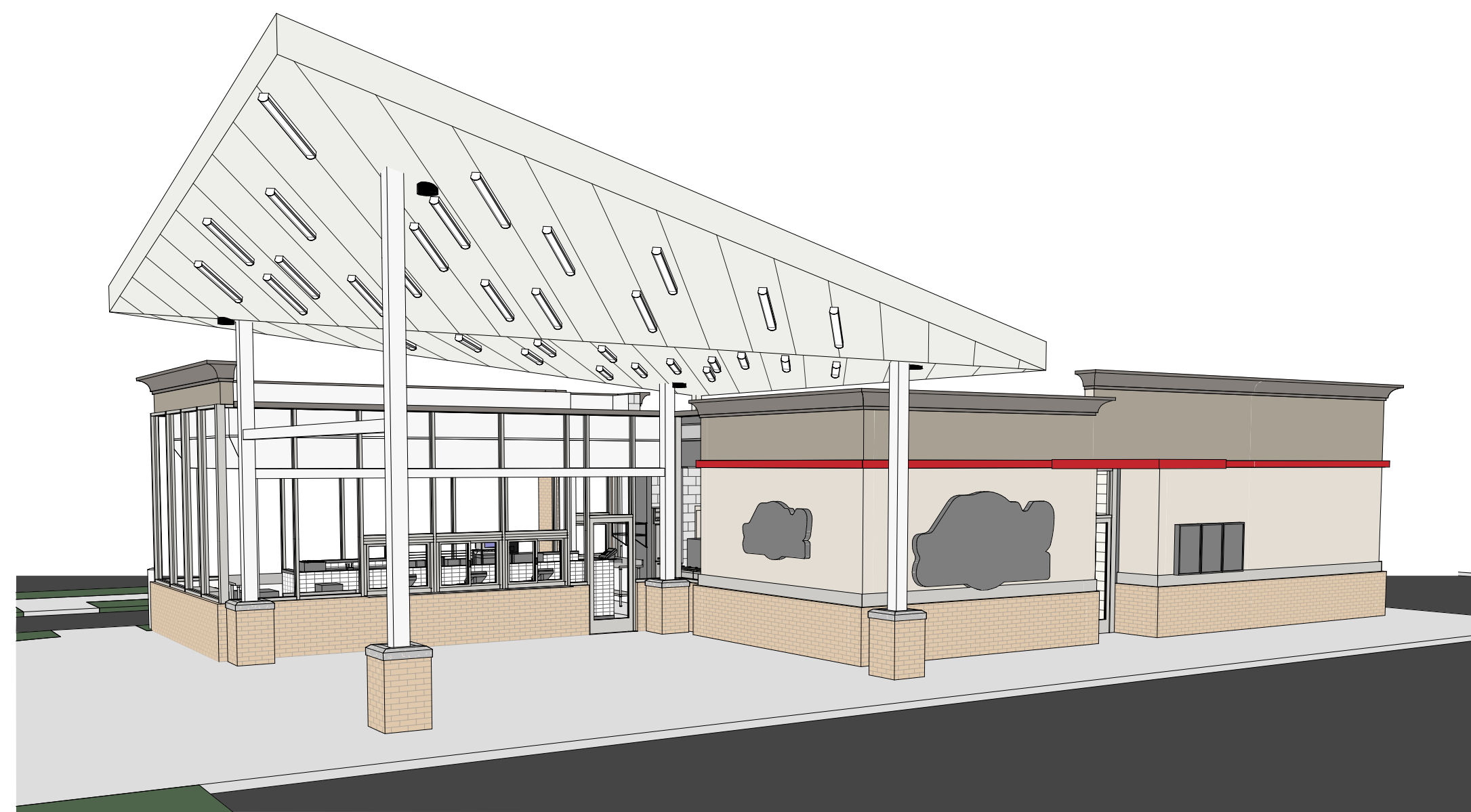
Sheet 7 of 12

PLAZA STREET PARTNERS
LINCOLN PROFESSIONAL PARK FILING NO.1 LOT 3

LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH,
 RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,
 CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

ARCHITECTURE CONSTRUCTION DRAWINGS
 MARCH 2023

PARKER COLORADO
 Final Document
 Subject To Conditions In Approval Letter
 APPROVED DATE: 10/25/2023
 Planning Approval By: A. Wobd Hicken



3D VIEW - 1
 R002



BACK-LIT BANDING; REF TR-1 FOR COLORS
 NOTE: PHOTO IS INTENDED TO DISPLAY THE RED BANDING AND LIGHT SOURCE AND NOT REPRESENT THE BUILDING MATERIALS FOR THIS PROJECT LOCATION AS CHANGES MAY OCCUR AS REQ'D PER THE LOCAL AHJ.



SURFACE MOUNTED LED CANOPY LIGHT FIXTURE:
 NOTE: PHOTO IS INTENDED TO DISPLAY THE LIGHT FIXTURE AND NOT REPRESENT THE BUILDING MATERIALS FOR THIS PROJECT LOCATION AS CHANGES MAY OCCUR AS REQ'D PER THE LOCAL AHJ.

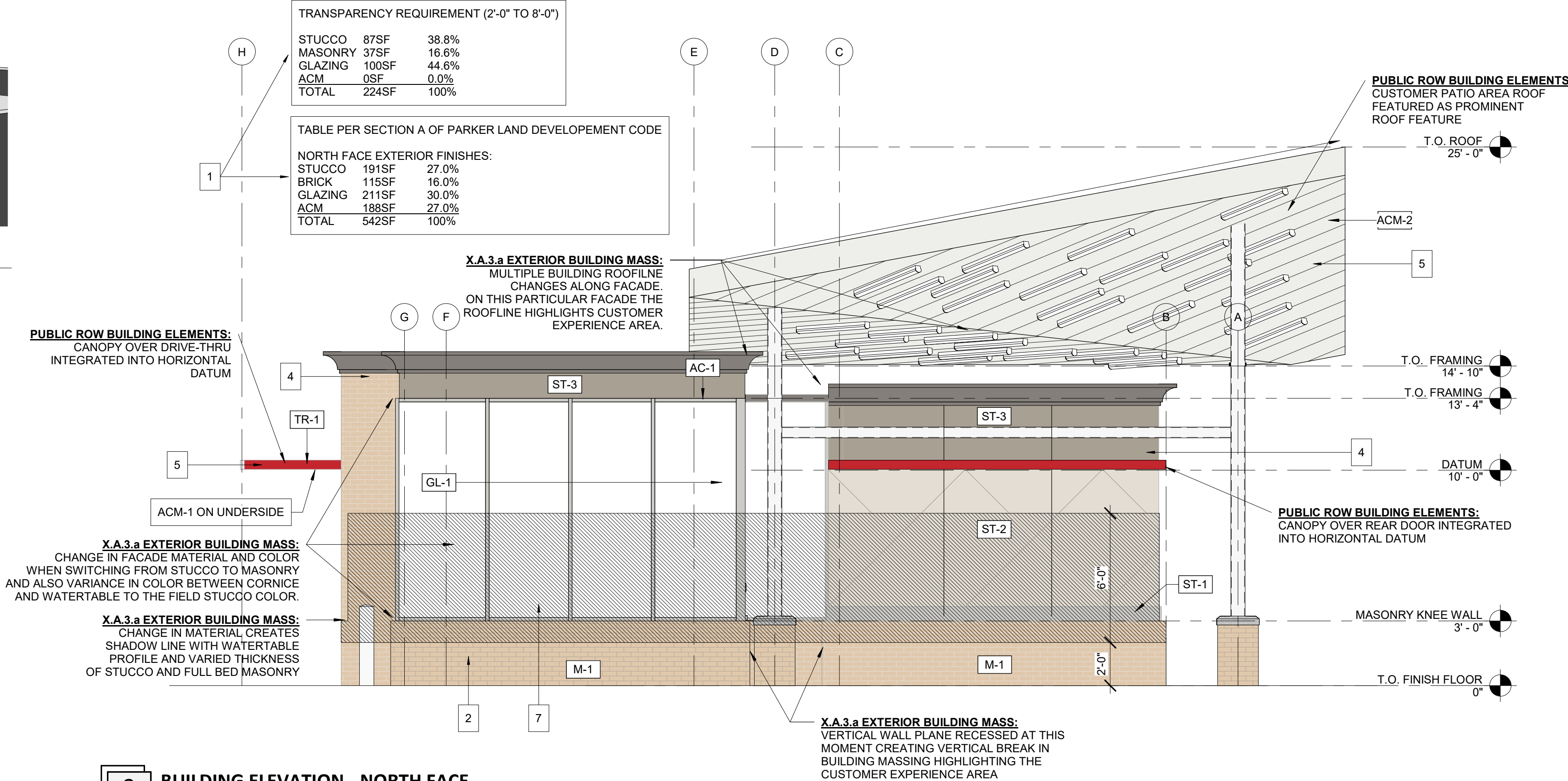
TRANSPARENCY REQUIREMENT (2'-0" TO 8'-0")

STUCCO	87SF	38.8%
MASONRY	37SF	16.6%
GLAZING	100SF	44.6%
ACM	0SF	0.0%
TOTAL	224SF	100%

TABLE PER SECTION A OF PARKER LAND DEVELOPEMENT CODE

NORTH FACE EXTERIOR FINISHES:

STUCCO	191SF	27.0%
BRICK	115SF	16.0%
GLAZING	211SF	30.0%
ACM	188SF	27.0%
TOTAL	542SF	100%

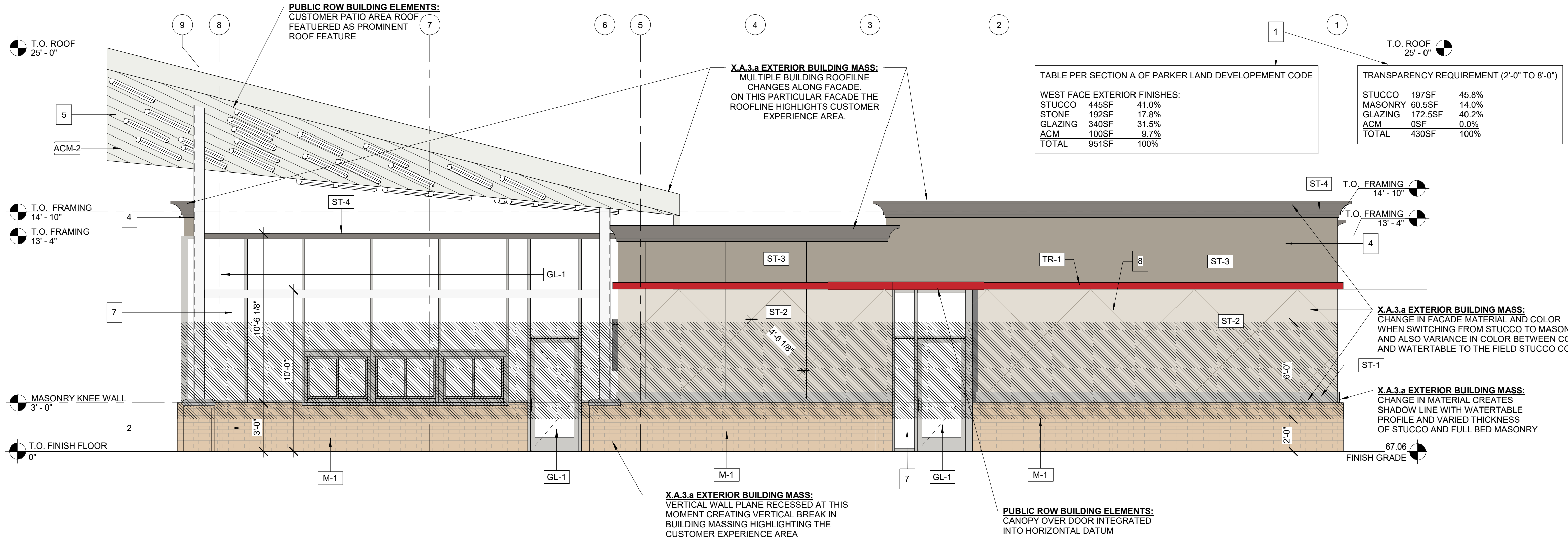


2 BUILDING ELEVATION - NORTH FACE
 R002 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

#	DESCRIPTION
ACM-1	COMPOSITE PANEL TYPE 1; COLOR: PVDF/KYNAR 500, BRITTE RED
ACM-2	COMPOSITE PANEL TYPE 2: PVDF/KYNAR 500, BONE WHITE.
GL-1	STOREFRONT TYPE 1: STOREFRONT, KAWNEER 451T. COLOR: CLEAR ANODIZED
M-1	MASONRY TYPE 1: SUMMIT MODULAR BRICK. COLOR: LIGHT PEWTER, GROUT COLOR: GRAY
N-1	PERIMETER FASCIA & NEON LIGHTING: BY SIGNAGE VENDOR. ANODIZED ALUM. FASCIA W/ NEON LIGHTING
ST-1	PAINTED STUCCO TO MATCH PT-3 (SW 2850 - CHELSEA GREY OR EQUIVALENT)
ST-2	PAINTED STUCCO TO MATCH PT-4 (SW 7035 - AESTHETIC WHITE)
ST-3	PAINTED STUCCO TO MATCH PT-5 (SW 7054 - INTELLECTUAL GRAY)
ST-4	PAINTED STUCCO TO MATCH PT-6 (SW 9554 - GOING GREY)
TR-1	BUILDING ACCENT TRIM: ALUM. BRAKE-METAL. COLOR: MATCH ACM-1 BRITTE RED

- ELEVATION KEYNOTES**
- SECTION A, 2-C.I OF PARKER LAND DEVELOPEMENT CODE MET. SEE MATERIAL AND GLAZING TABLE ON ELEVATIONS.
 - SECTION A, 3-A OF PARKER LAND DEVELOPEMENT CODE MET BY BREAKING MATERIALS HORIZONTALLY FROM BRICK TO STUCCO. SEE ELEVATIONS.
 - SECTION A, 3-C OF PARKER LAND DEVELOPEMENT CODE MET. PARAPETS PROVIDED CLEARLY ARTICULATE THE TOP OF THE BUILDING AS OF A 3-C-II. ROOF IS INTEGRAL TO THE MASSING OF THE BUILDING AS OF A 3-C-IV. USING ACCEPTED FLAT ROOF AS MENTIONED IN A, 3-C-V.
 - SECTION A, 3-D OF PARKER LAND DEVELOPEMENT CODE MET. PARAPETS HAVE BEEN BROKEN UP IN HEIGHT ON THE NORTH AND EAST SIDE OF BUILDING. SEE ELEVATIONS.
 - SECTION C, 1-A OF PARKER LAND DEVELOPEMENT CODE MET. TWO REQUIRED DESIGN ELEMENTS ARE THE WING CANOPY AND DRIVE-THRU AWNING
 - SECTION C, 2 OF PARKER LAND DEVELOPEMENT CODE DOES NOT APPLY. NO PUBLIC ENTRIES.
 - SECTION C, 3 OF PARKER LAND DEVELOPEMENT CODE MET. STUCCO CONTROL JOINTS TO BE 1" IN THICKNESS, COLOR TO MATCH PT-5.



1 BUILDING ELEVATION - WEST FACE (ROAD B)
 R002 1/4" = 1'-0"



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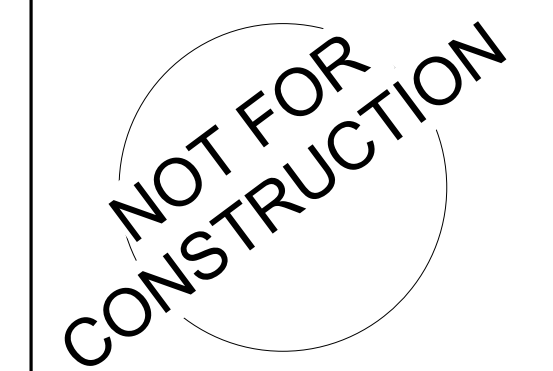
CLIENT NAME
 PLAZA STREET PARTNERS

TENANT
 ANDY'S FROZEN CUSTARD
 211 E. WATER STREET SPRINGFIELD, MO 65806

MEP CONSULTANT
 702 SE 5TH ST, SUITE 30,
 BENTONVILLE, AR 72712
 CONTACT-ANDREW FINNEGAN, P.E.

PROTO.REF. SET: 05/18/2021

ANDY'S FROZEN CUSTARD
 PARKER, COLORADO



Architect Name - RYAN M. FAUST
 Architect Number - ARC.00404846

REVISIONS

NO.	DATE	DESCRIPTION

Drawing Size: 24 x 36
 Project #: 22038
 Drawn By: MBN
 Checked By: RMF

Title:
 PROPOSED REVIEW BOARD ELEVATIONS

Sheet Number:
 Sheet 8 of 13

Date: 09/12/2022 Store #: XXXXX

PLAZA STREET PARTNERS
LINCOLN PROFESSIONAL PARK FILING NO.1 LOT 3

LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH,
 RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,
 CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

CIVIL CONSTRUCTION DRAWINGS

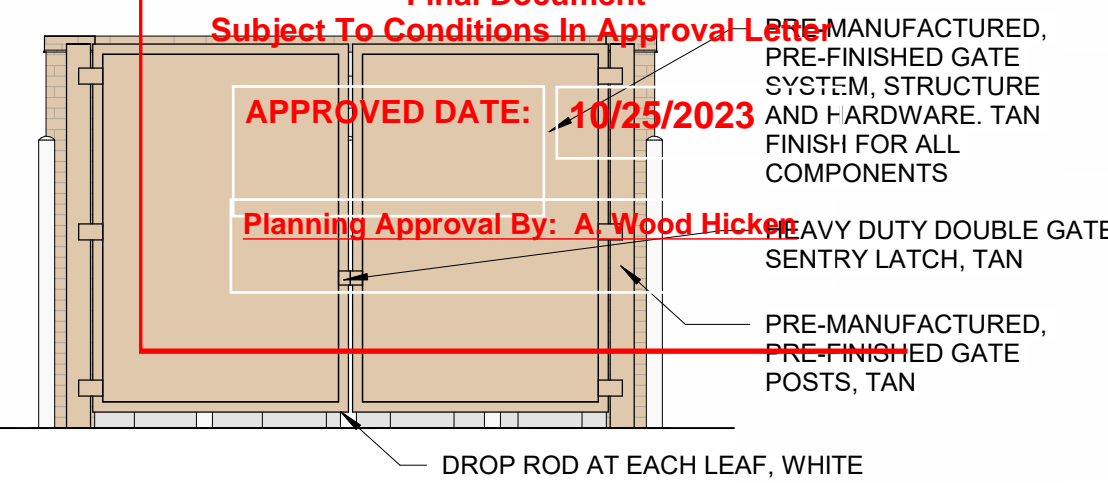
MARCH 2023



Final Document
 Subject To Conditions In Approval Letter

APPROVED DATE: 10/25/2023

Planning Approval By: A. Wood Hickey



DUMPSTER SLAB
 REF CIVIL

3 DUMPSTER ELEVATION - GATES
 1/4" = 1'-0"

TABLE PER SECTION A OF PARKER LAND DEVELOPMENT CODE

SOUTH FACE EXTERIOR FINISHES:

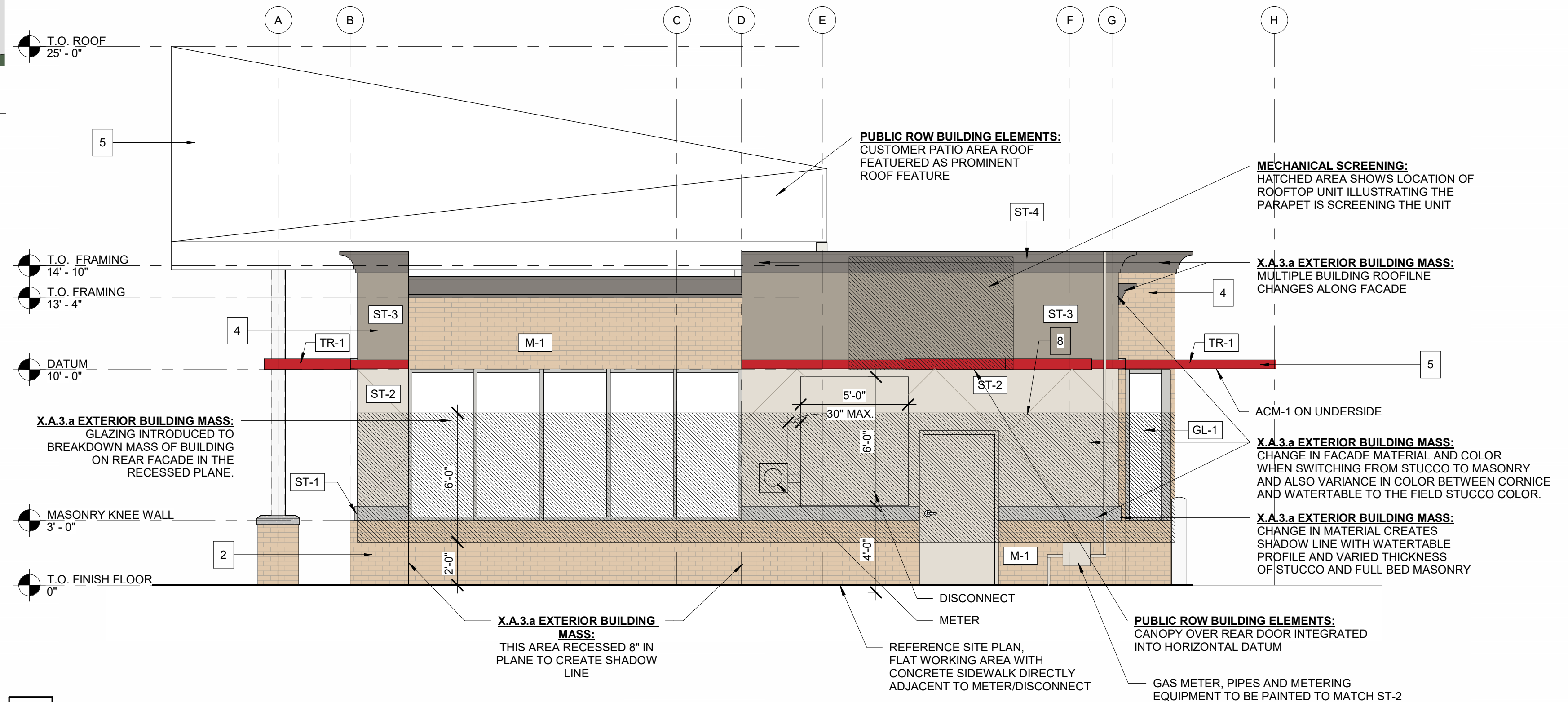
STUCCO	288SF	60.0%
BRICK	104SF	21.0%
GLAZING	93SF	19.0%
TOTAL	485SF	100%

TRANSPARENCY REQUIREMENT (2'-0" TO 8'-0")

STUCCO	94SF	41.4%
MASONRY	38SF	16.8%
GLAZING	95SF	41.8%
ACM	0SF	0.0%
TOTAL	227SF	100%



4 3D VIEW - 2
 R003

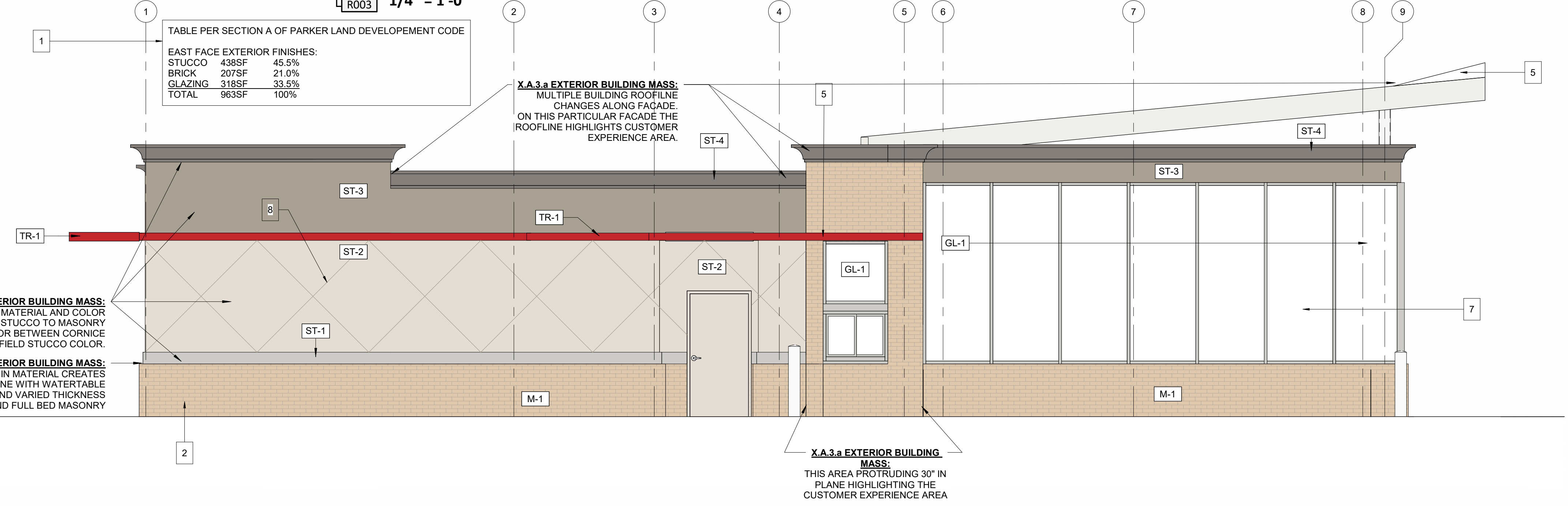


2 BUILDING ELEVATION - FACING SOUTH FACE (ROAD A)
 1/4" = 1'-0"

TABLE PER SECTION A OF PARKER LAND DEVELOPMENT CODE

EAST FACE EXTERIOR FINISHES:

STUCCO	438SF	45.5%
BRICK	207SF	21.0%
GLAZING	318SF	33.5%
TOTAL	963SF	100%



1 BUILDING ELEVATION - EAST FACE
 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

#	DESCRIPTION
ACM-1	COMPOSITE PANEL TYPE 1; COLOR: PVDF/KYNAR 500, BRITE RED
ACM-2	COMPOSITE PANEL TYPE 2; PVDF/KYNAR 500, BONE WHITE.
GL-1	STOREFRONT TYPE 1: STOREFRONT, KAWNEER 451T. COLOR: CLEAR ANODIZED
M-1	MASONRY TYPE 1: SUMMIT MODULAR BRICK. COLOR: LIGHT PEWTER. GROUT COLOR: GRAY
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ST-4	PAINTED STUCCO TO MATCH PT-6 (SW 9554 - GOING GREY)
TR-1	BUILDING ACCENT TRIM: ALUM. BRAKE-METAL. COLOR: MATCH ACM-1 BRITE RED

ELEVATION KEYNOTES

- SECTION A. 2-C-I OF PARKER LAND DEVELOPMENT CODE MET. SEE MATERIAL AND GLAZING TABLE ON ELEVATIONS.
- SECTION A. 3-A OF PARKER LAND DEVELOPMENT CODE MET BY BREAKING MATERIALS HORIZONTALLY FROM BRICK TO STUCCO. SEE ELEVATIONS.
- SECTION A. 3-C OF PARKER LAND DEVELOPMENT CODE MET. PARAPETS PROVIDED CLEARLY ARTICULATE THE TOP OF THE BUILDING AS OF A. 3-C-III. ROOF IS INTEGRAL TO THE MASSING OF THE BUILDING AS OF A. 3-C-IV. USING ACCEPTED FLAT ROOF AS MENTIONED IN A. 3-C-V.
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- SECTION C. 2 OF PARKER LAND DEVELOPMENT CODE DOES NOT APPLY. NO PUBLIC ENTRIES.
- SECTION C. 3 OF PARKER LAND DEVELOPMENT CODE MET. STOREFRONT ALONG BUILDING MEETS ALL REQUIREMENTS. STUCCO CONTROL JOINTS TO BE 1" IN THICKNESS, COLOR TO MATCH PT-5.



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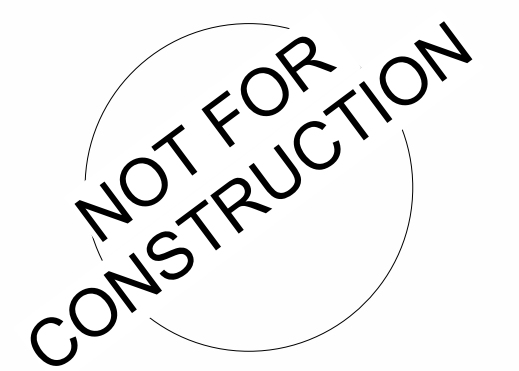
CLIENT NAME
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TENANT
 ANDY'S FROZEN CUSTARD
 211 E. WATER STREET SPRINGFIELD, MO 65806

MEP CONSULTANT
 702 SE 6TH ST. SUITE 30,
 BENTONVILLE, AR 72712
 CONTACT: ANDREW FINNEGAN, P.E.

PROTO: REF. SET: 05/18/2021

ANDY'S FROZEN CUSTARD
 PARKER, COLORADO



Architect Name - RYAN M. FAUST
 Architect Number - ARC-00404846

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REVISIONS

NO.	DATE	DESCRIPTION
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Drawing Size: 24 x 36
 Project #: 22038

Drawn By: MBN
 Checked By: RMF

Title:
 PROPOSED REVIEW BOARD ELEVATIONS

Sheet Number:
 Sheet 9 of 13

Date: 09/12/2022 Store #: XXXXX

LINCOLN PROFESSIONAL PARK FILING NO.1 LOT 3

LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH,
RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE PLAN DOCUMENTS

MARCH 2023



Final Document
Subject To Conditions In Approval Letter

APPROVED DATE: 10/25/2023

Planning Approval By: A. Wood Hicken



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PLAZA STREET PARTNERS
SITE PLAN DOCUMENTS

PARKER COLORADO

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM
A1	HUNTER ICV-G-FS	1"	TURF ROTARY	7.04
A2	HUNTER ICZ-101-25-LF	1"	AREA FOR DRIP EMITTERS	3.09
A3	HUNTER ICZ-101-25-LF	1"	AREA FOR DRIP EMITTERS	1.45
A4	HUNTER ICZ-101-25-LF	1"	AREA FOR DRIP EMITTERS	1.4
A5	HUNTER ICZ-101-25-LF	1"	AREA FOR DRIP EMITTERS	3.14
A6	HUNTER ICZ-101-25-LF	1"	AREA FOR DRIP EMITTERS	1.57
A7	HUNTER ICZ-101-25-LF	1"	AREA FOR DRIP EMITTERS	1.17
A8	HUNTER ICV-G-FS	1"	TURF ROTARY	0.65
A9	HUNTER ICV-G-FS	1"	TURF ROTARY	11.28
A10	HUNTER ICV-G-FS	1"	TURF ROTARY	13.09
A11	HUNTER ICV-G-FS	1"	TURF ROTARY	5.84

CONTROLLER 'A' NOTE

- ONE (1) 16 STATION CONTROLLER. SEE LEGEND.
- FIVE (5) OPEN STATIONS FOR FUTURE EXPANSION.
- STATION RUN ORDER SHALL MATCH PLANS.
- LOCATE CONTROLLER IN THE UTILITY CLOSET. VERIFY LOCATION WITH OWNER OR REPRESENTATIVE.
- 120 VAC POWER TO CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS. HOOK-UP OF CONTROLLERS TO 120 VAC SHALL BE PERFORMED BY THE LANDSCAPE CONTRACTOR.
- CONDUIT FROM INSIDE THE BUILDING TO EXTERIOR IRRIGATION SYSTEM SHALL BE PROVIDED BY OTHERS.

POINT OF CONNECTION 'A'

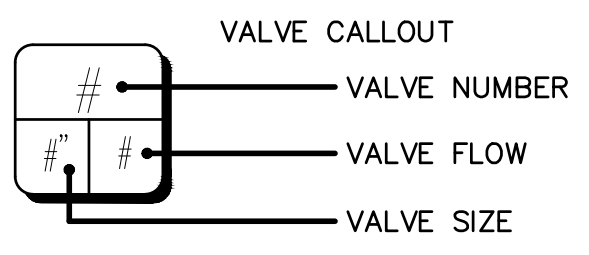
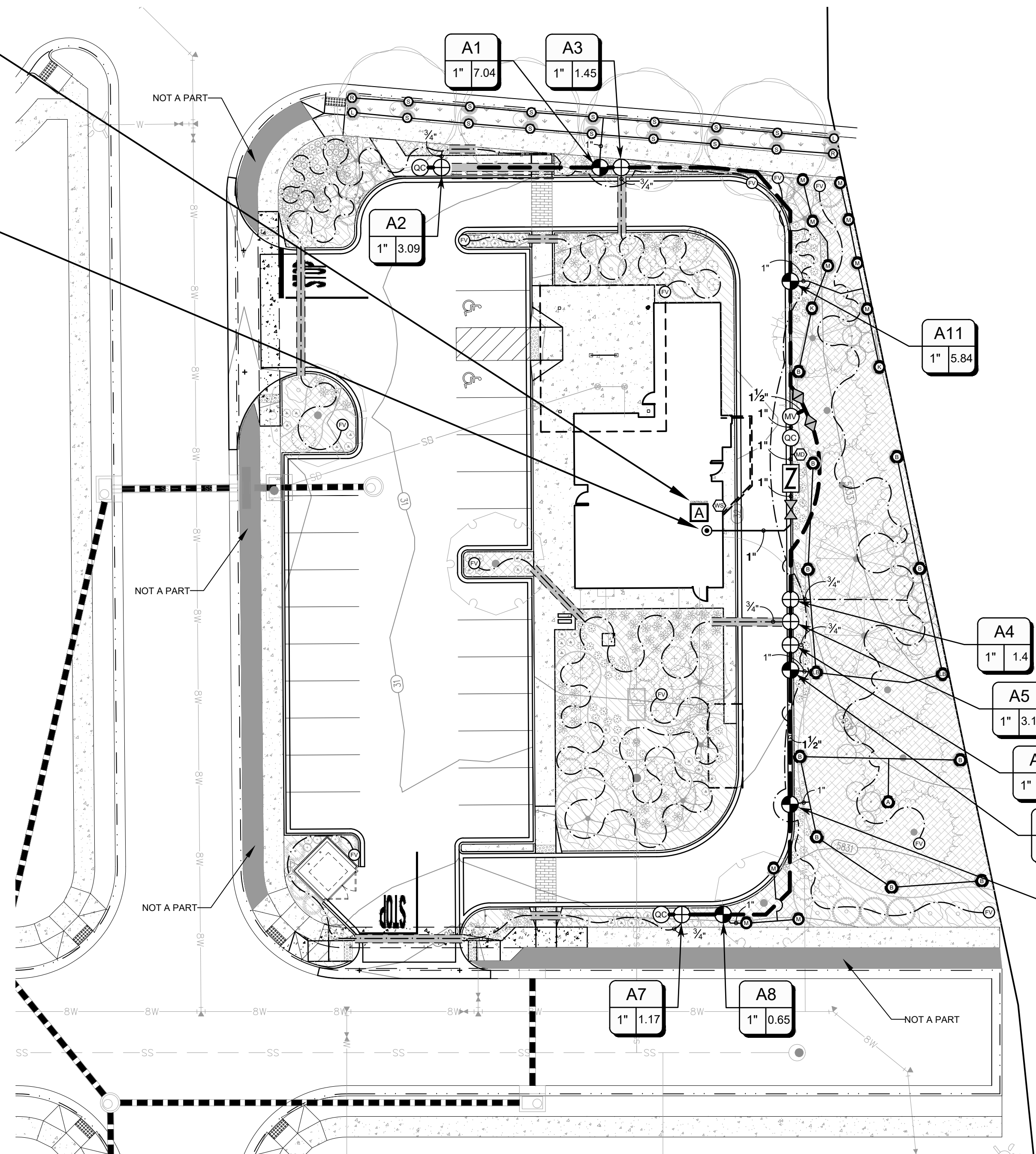
- STATIC PRESSURE: +/- TBD. SIZE OF TAP: 1"**
- USE 1" TAP INTO THE DOMESTIC WATER LINE DOWNSTREAM OF THE BUILDING METER.
 - 1" TYPE K COPPER SERVICE FROM THE TAP THROUGH THE IRRIGATION BACKFLOW, TO THE MASTER VALVE.
 - CONTRACTOR SHALL VERIFY LOCATION OF THE EQUIPMENT, IN FIELD WITH OWNER OR OWNER'S AUTHORIZED REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.
 - SEE POINT OF CONNECTION DIAGRAM, THIS SHEET, FOR THE IRRIGATION SYSTEM EQUIPMENT CONFIGURATION.
 - THE IRRIGATION CONTRACTOR SHALL FIELD VERIFY THE STATIC & OPERATING WATER PRESSURE SHOWN ABOVE PRIOR TO CONSTRUCTION. IF PRESSURE IS UNKNOWN, THE CONTRACTOR MUST TEST WATER PRESSURE AND CONTACT THE LANDSCAPE ARCHITECT WITH THE RESULTS TO ENSURE SYSTEM WILL BE OPERATIONAL. SEE GENERAL IRRIGATION NOTES.
 - WHEN WATER PRESSURE TO THE IRRIGATION SYSTEM EXCEEDS 100 PSI, THE IRRIGATION CONTRACTOR SHALL INSTALL A PRESSURE REDUCING / REGULATING VALVE (PRV) TO LIMIT THE WATER TO 80 PSI MAXIMUM. WHEN PRESSURE DROPS BELOW 65 PSI, THE IRRIGATION CONTRACTOR SHALL INSTALL A BOOSTER PUMP TO A MINIMUM PRESSURE OF 80 PSI.

IRRIGATION DISCLAIMER

- IRRIGATION DESIGN IS NOT AN EXACT SCIENCE. IT IS BASED ON THEORIES, ASSUMPTIONS, AND/OR INFORMATION PROVIDED BY CIVIL ENGINEERS, UTILITIES, MUNICIPALITIES ENTITIES AND THUS DIAGRAMMATIC IN NATURE.
- CONTRACTOR SHALL INSTALL MAINLINES $\pm 12"$ FROM PAVEMENT EDGE IN PLANTING AREAS. ALL PIPING, VALVES, AND OTHER EQUIPMENT SHOWN WITHIN PAVED AREAS OR OUT OF PROPERTY BOUNDARIES ARE FOR DESIGN CLARIFICATION ONLY, AND SHALL BE INSTALLED IN PLANTING AREAS WITHIN THE PROPERTY LINES OR LIMITS AS INDICATED ON THESE PLANS.
- THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE-GRADE AND VISIBLE IRRIGATION EQUIPMENT (CONTROLLERS, BACKFLOW PREVENTERS, METER PITS, ETC.) WITH THE OWNER'S AUTHORIZED REPRESENTATIVE AND / OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. THE INSTALLATION OF THESE ITEMS SHALL BE INTEGRATED WITHIN DESIGNATED LANDSCAPE AREAS. FAILURE TO LOCATE THIS EQUIPMENT IN AN APPROVED LOCATION MAY RESULT IN THE IRRIGATION CONTRACTOR BEING REQUIRED TO MOVE SUCH ITEMS AT HIS OWN COST.
- THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE AND THE MAXIMUM FLOW DEMAND SHOWN ON THE DRAWINGS. THE IRRIGATION CONTRACTOR SHALL FIELD VERIFY THE STATIC & OPERATING WATER PRESSURE PRIOR TO CONSTRUCTION OF ANY COMPONENT OF THE IRRIGATION SYSTEM. AFTER FIELD VERIFICATION, THE IRRIGATION CONTRACTOR SHALL NOTIFY THE OWNER, OWNER'S AUTHORIZED REPRESENTATIVE, LANDSCAPE ARCHITECT, & IRRIGATION DESIGNER OF THE PRESSURE READING FOR THE TAP.
- ALL PRESSURIZED MAINLINES, VALVES, DRIP, AND ROTOR AND SPRAY HEADS SHALL BE INSTALLED A MINIMUM OF 5' AWAY FROM ANY BUILDING FOUNDATION. ADDITIONAL REQUIREMENTS MAY BE LISTED IN THE GEOTECHNICAL REPORT REGARDING IRRIGATION NEAR BUILDING FOUNDATIONS. CONTRACTOR IS RESPONSIBLE TO ABIDE BY THE 5' MINIMUM DISTANCE AND/OR THE GEOTECHNICAL REPORT REQUIREMENTS. IF THIS EQUIPMENT IS SHOWN WITHIN THE 5' OFFSET ON THESE PLANS, IT IS FOR THE PURPOSE OF GRAPHIC CLARITY ONLY.
- REFER TO SHEET IR1.2 AND IR1.3 FOR IRRIGATION DETAILS AND SHEET IR1.4 IRRIGATION NOTES.

UTILITY NOTES

- THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
- THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.
- THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HERE IN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.

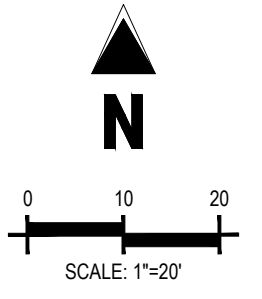


WIRING/SLEEVING NOTES

IN ADDITION TO PROVIDING SLEEVES FOR ALL PIPING UNDER ROADWAYS AND WALKWAYS, PROVIDE AND INSTALL SCH. 40 PVC SLEEVES FOR ALL CONTROLLER WIRES OCCURRING UNDER ALL ROADWAYS AND WALKWAYS. SLEEVES FOR CONTROLLER WIRES SHALL BE 2" DIA. AND CONTAIN NO MORE THAN 25 WIRES.

CAUTION

UTILITIES EXIST WITHIN CONSTRUCTION LIMITS. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THEIR LOCATION PRIOR TO CONSTRUCTION.



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	DETAIL
	HUNTER MP STRIP PROS-06-PRS40-CV TURF ROTATOR, 6IN. POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI. MP ROTATOR NOZZLE ON PRS40 BODY. LST=IVORY LEFT STRIP, SST=BROWN SIDE STRIP, RST=COPPER RIGHT STRIP.	DETAIL 1 SHEET IR1.2
	HUNTER MP1000 PROS-12-PRS40-CV TURF ROTATOR, 12IN. POP-UP WITH CHECK VALVE, PRESSURE REGULATED TO 40 PSI. MP ROTATOR NOZZLE ON PRS40 BODY. M=MAROON ADJ ARC 90 TO 210, L=LIGHT BLUE 210 TO 270 ARC, O=OLIVE 360 ARC.	DETAIL 1 SHEET IR1.2
	HUNTER MP2000 PROS-12-PRS40-CV TURF ROTATOR, 12IN. POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI. MP ROTATOR NOZZLE ON PRS40 BODY. K=BLACK ADJ ARC 90-210, G=GREEN ADJ ARC 210-270, R=RED 360 ARC.	DETAIL 1 SHEET IR1.2
	HUNTER MP3000 PROS-12-PRS40-CV TURF ROTATOR, 12IN. POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI. MP ROTATOR NOZZLE ON PRS40 BODY. B=BLUE ADJ ARC 90-210, Y=YELLOW ADJ ARC 210-270, A=GRAY 360 ARC.	DETAIL 1 SHEET IR1.2
	HUNTER MP3500 PROS-12-PRS40-CV TURF ROTATOR, 12IN. POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI. MP ROTATOR NOZZLE ON PRS40 BODY. LB=LIGHT BROWN ADJUSTABLE ARC, 90-210.	DETAIL 1 SHEET IR1.2
	HUNTER ICZ-101-25-LF 1" DRIP CONTROL ZONE KIT. 1IN. ICV GLOBE VALVE WITH 1IN. HY100 FILTER SYSTEM. PRESSURE REGULATION: 25 PSI. FLOW RANGE: .5 GPM - 15 GPM. 150 MESH STAINLESS STEEL SCREEN.	DETAIL 2 SHEET IR1.2
	NIBCO 4660-T 3/4" SCHEDULE 40 MANUAL FLUSH VALVE. CONNECT TO DRIP POLYTUBING FOR WINTERIZATION/BLOWOUT.	DETAIL 3 SHEET IR1.2
	AREA TO RECEIVE DRIP EMITTERS HUNTER HE-B POINT SOURCE DRIP EMITTER WITH SELF PIERCING BARB. COLOR CODED EMITTERS FOR FLOW RATES OF 0.5 GPH, 1.0 GPH, 2.0 GPH, 4.0 GPH, AND 6.0 GPH. CAN BE INSERTED INTO 1/2IN. AND 3/4IN. TUBING AND HAVE PRESSURE COMPENSATING FROM 15 PSI-50 PSI. OPTIONAL DIFFUSER CAP (HE) AVAILABLE.	DETAIL 4 SHEET IR1.2
	EMITTER SCHEDULE: - 1 GALLON AND SMALLER: 1, HEB-10-B EMITTER PER PLANT (1 GPH TOTAL) - 5 GALLON: 2, HEB-10-B EMITTERS PER PLANT (2 GPH TOTAL) - 1" TO 2-1/2" CALIPER TREES: 4, HEB-10-B EMITTERS PER PLANT (4 GPH TOTAL) - 3" TO 4" CALIPER TREES: 6, HEB-10-B EMITTERS PER PLANT (6 GPH TOTAL)	
	HUNTER ICV-G-FS 1" 1IN., 1-1/2IN., 2IN., AND 3IN. PLASTIC ELECTRIC REMOTE CONTROL VALVES, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE. WITH FILTER SENTRY.	DETAIL 5 SHEET IR1.2
	HUNTER HQ-44RC 1" QUICK COUPLER VALVE, YELLOW RUBBER LOCKING COVER, RED BRASS AND STAINLESS STEEL, WITH 1IN. NPT INLET, 2-PIECE BODY.	DETAIL 6 SHEET IR1.2
	NIBCO 4660-S SCHEDULE 40 MANUAL BALL VALVE, SAME SIZE AS MAINLINE PIPE DIAMETER AT VALVE LOCATION. SIZE RANGE - 3/4" - 3"	DETAIL 7 SHEET IR1.2
	NIBCO T-113-K CLASS 125 BRONZE GATE SHUT OFF VALVE WITH CROSS HANDLE, SAME SIZE AS MAINLINE PIPE DIAMETER AT VALVE LOCATION. SIZE RANGE - 1/4IN. - 3IN.	DETAIL 8 SHEET IR1.2
	HUNTER IBV-FS 1" 1IN., 1-1/2IN., 2IN., AND 3IN. BRASS ELECTRIC MASTER VALVE, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE. WITH FILTER SENTRY FACTORY INSTALLED OPTION.	DETAIL 9 SHEET IR1.2
	1" NIBCO T-113-K CLASS 125 BRONZE MANUAL DRAIN VALVE WITH CROSS HANDLE	DETAIL 10 SHEET IR1.3
	FEBCO 825Y 1" REDUCED PRESSURE BACKFLOW PREVENTER	DETAIL 11 SHEET IR1.3
	HUNTER I2C-1600-PL 16 STATION OUTDOOR MODULAR CONTROLLER. WITH ONE ICM-800 MODULE. COMMERCIAL USE. PLASTIC CABINET.	DETAIL 12 SHEET IR1.3
	HUNTER WSS WIRELESS SOLAR, RAIN FREEZE SENSOR WITH OUTDOOR INTERFACE. CONNECTS TO HUNTER PCC, PRO-C, AND I-CORE CONTROLLERS. INSTALL AS NOTED. INCLUDES 10 YEAR LITHIUM BATTERY AND RUBBER MODULE COVER, AND GUTTER MOUNT BRACKET.	DETAIL 13 SHEET IR1.3
	POINT OF CONNECTION 1" USE 1" TAP INTO DOMESTIC WATERLINE DOWNSTREAM OF THE BUILDING METER.	N/A
	IRRIGATION LATERAL LINE: CLASS 200 PVC SIZE: 1" UNLESS OTHERWISE NOTED ON PLAN	DETAIL 14 SHEET IR1.3
	IRRIGATION LATERAL LINE: POLYETHYLENE PIPE SDR-7 SIZE: 3/4"	DETAIL 14 SHEET IR1.3
	IRRIGATION SERVICE LINE: TYPE K COPPER PIPE SIZE: 1"	DETAIL 14 SHEET IR1.3
	IRRIGATION MAINLINE: CLASS 200 PVC SIZE: 1-1/2" UNLESS OTHERWISE NOTED ON PLAN	DETAIL 14 SHEET IR1.3
	PIPE SLEEVE: SCHEDULE 40 PVC SIZE: DOUBLE THE SIZE OF INSERTED PIPE	DETAIL 14 SHEET IR1.3
	WIRE SLEEVE: SCHEDULE 40 PVC SIZE: 1"	DETAIL 14 SHEET IR1.3

#	Date	Issue / Description	Init.
1	09/23/22	1ST SUBMITTAL	SMB
2	12/14/22	2ND SUBMITTAL	SMB
3	03/09/23	3RD SUBMITTAL	SMB

Project No:	PSP000001
Drawn By:	TDN
Checked By:	TDN
Date:	07/08/2022

LINCOLN PROFESSIONAL PARK FILING NO.1 LOT 3

LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH,
RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE PLAN DOCUMENTS

MARCH 2023



Final Document
Subject To Conditions In Approval Letter

APPROVED DATE: 10/25/2023

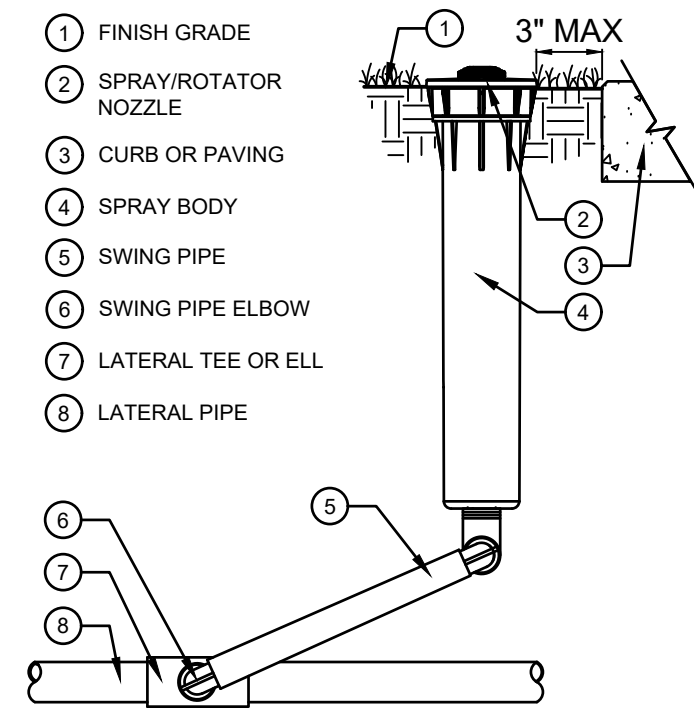
Planning Approval By: A. Wood Hicken



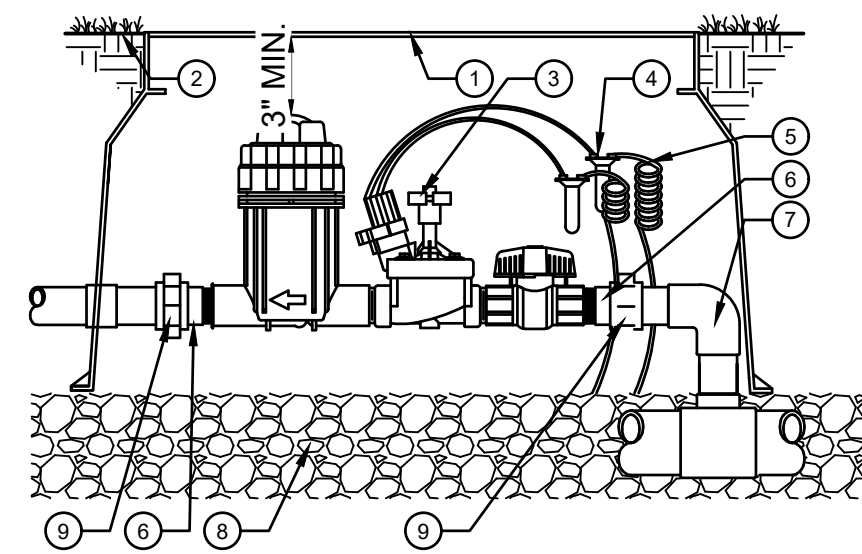
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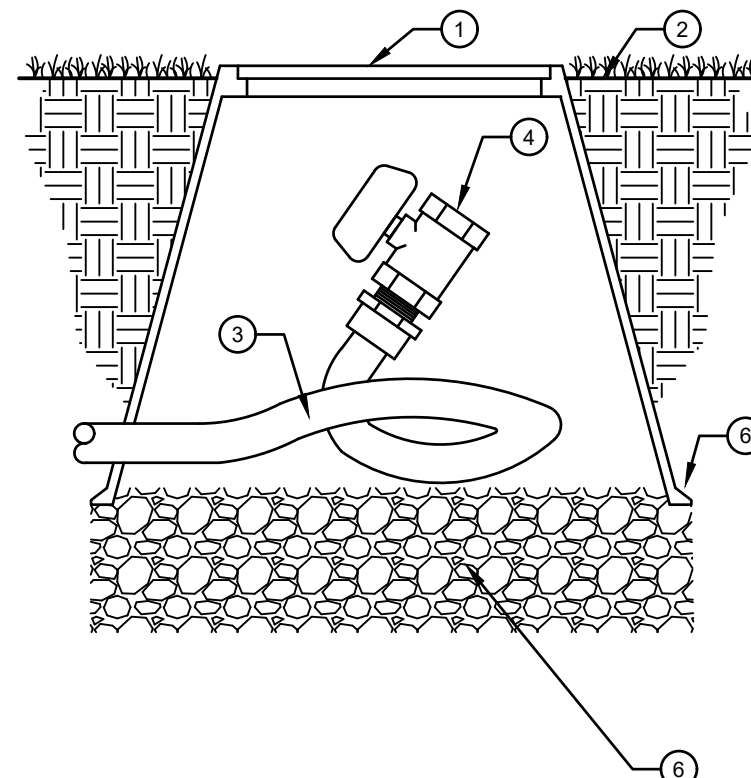
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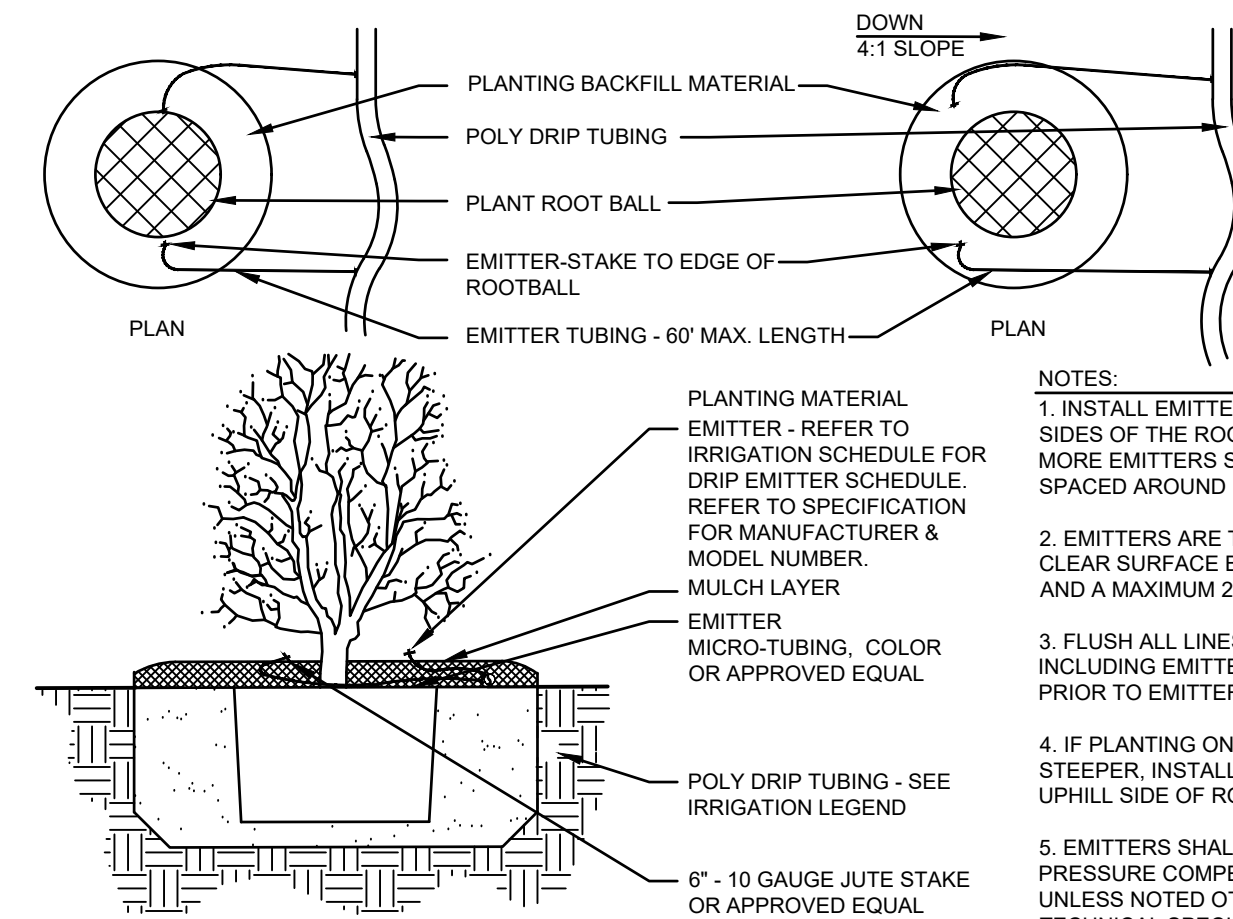
1 SPRAY/ROTATOR
SCALE: NOT TO SCALE



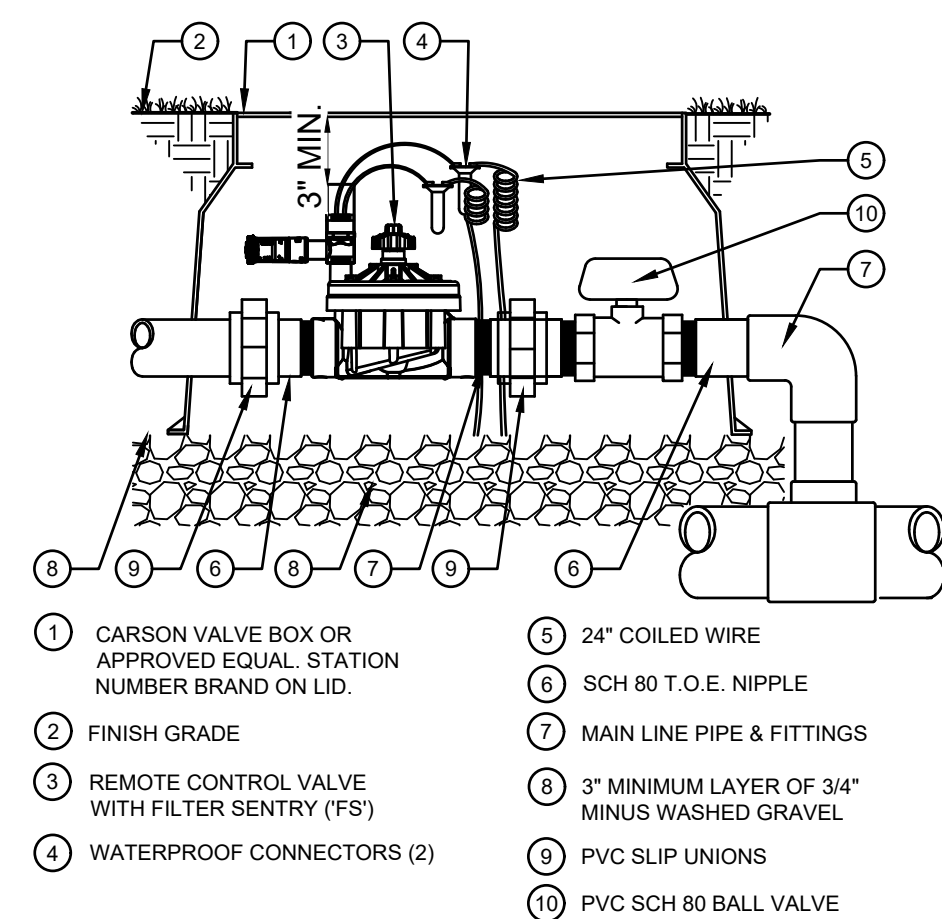
2 REMOTE DRIP CONTROL VALVE
SCALE: NOT TO SCALE



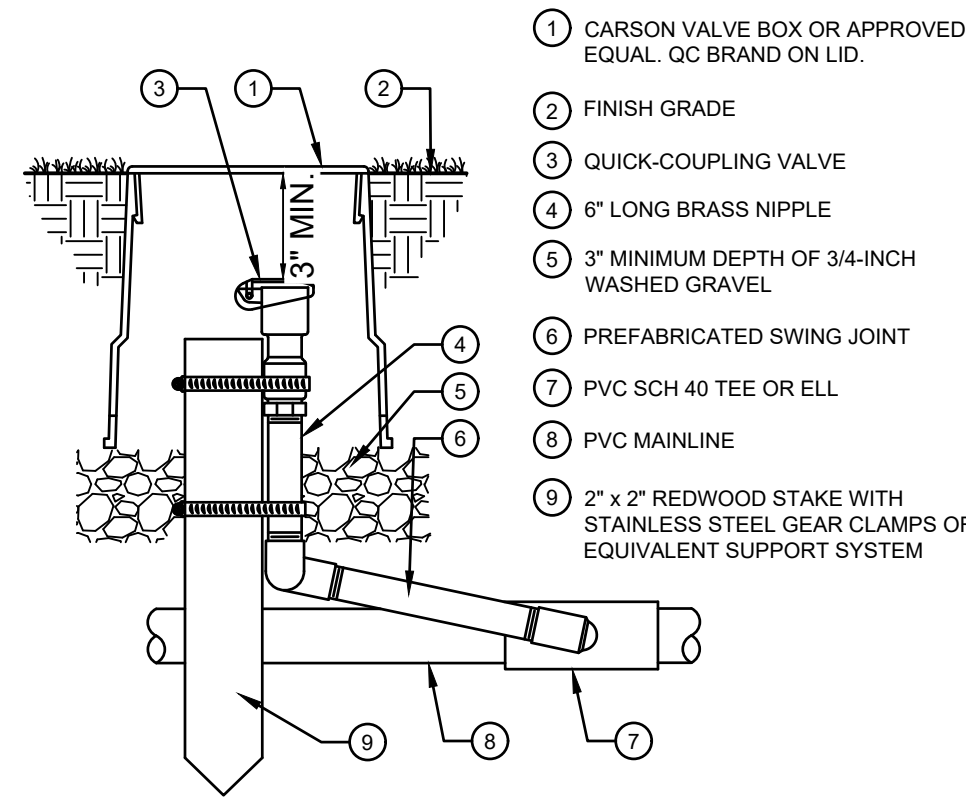
3 MANUAL FLUSH DRAIN VALVE
SCALE: NOT TO SCALE



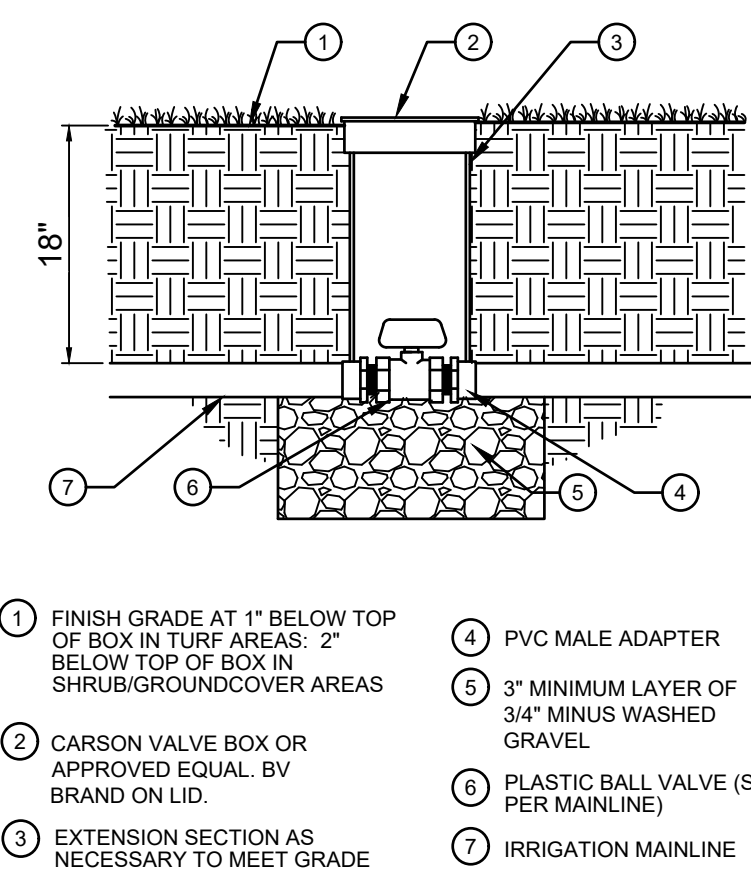
4 DRIP EMITTERS LAYOUT
SCALE: NOT TO SCALE



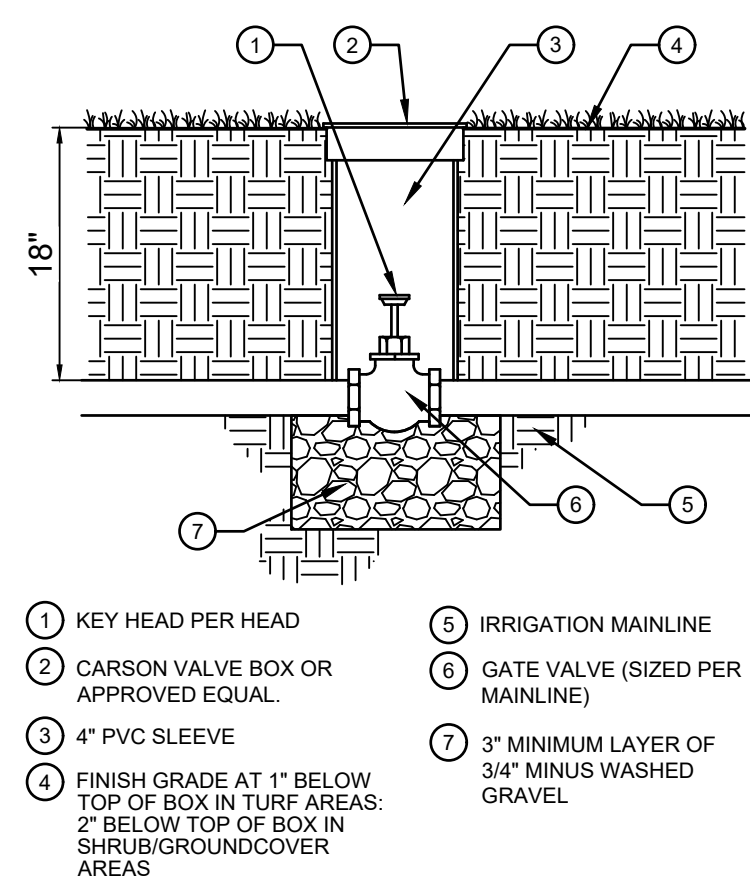
5 REMOTE CONTROL VALVE
SCALE: NOT TO SCALE



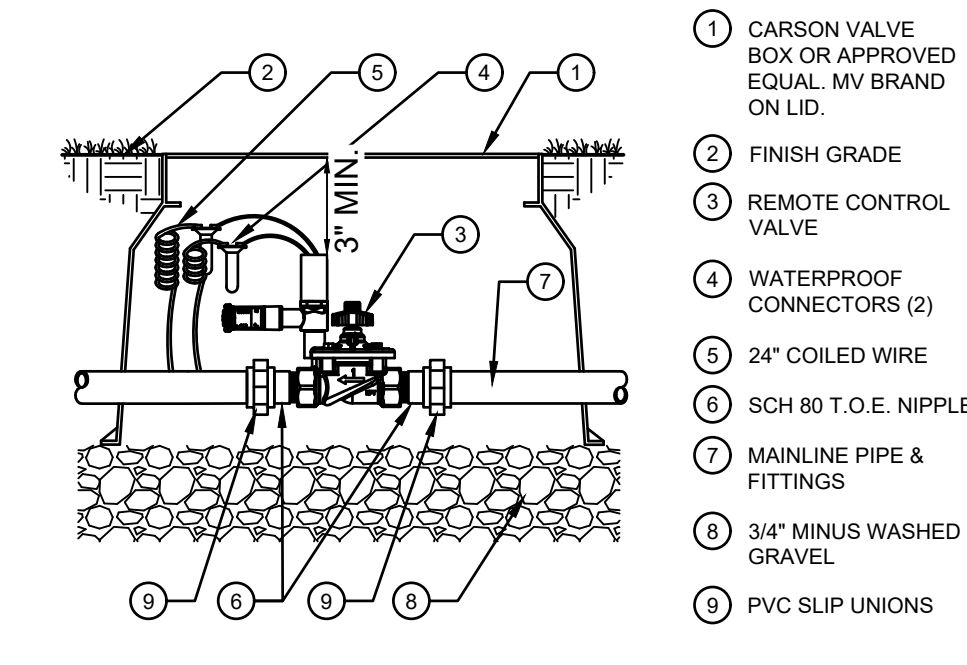
6 QUICK COUPLER
SCALE: NOT TO SCALE



7 BALL VALVE
SCALE: NOT TO SCALE



8 GATE VALVE
SCALE: NOT TO SCALE



9 MASTER VALVE
SCALE: NOT TO SCALE

PLAZA STREET PARTNERS
SITE PLAN DOCUMENTS

PARKER COLORADO

#	Date	Issue / Description	Init.
1	08/23/22	1ST SUBMITTAL	SMB
2	12/14/22	2ND SUBMITTAL	SMB
3	03/08/23	3RD SUBMITTAL	SMB
4			
5			
6			
7			
8			
9			

Project No:	PSP000001
Drawn By:	TDN
Checked By:	TDN
Date:	07/08/2022

IRRIGATION DETAILS

Small: 02/08/2022 (Sheet Plan) - Parker_PSP01_Archie Lincoln and David Hicken (02/08/2022) - Irrigation Plan (Rev. 01/15/2022)

LINCOLN PROFESSIONAL PARK FILING NO.1 LOT 3

LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH,
RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,
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SITE PLAN DOCUMENTS

MARCH 2023



Final Document
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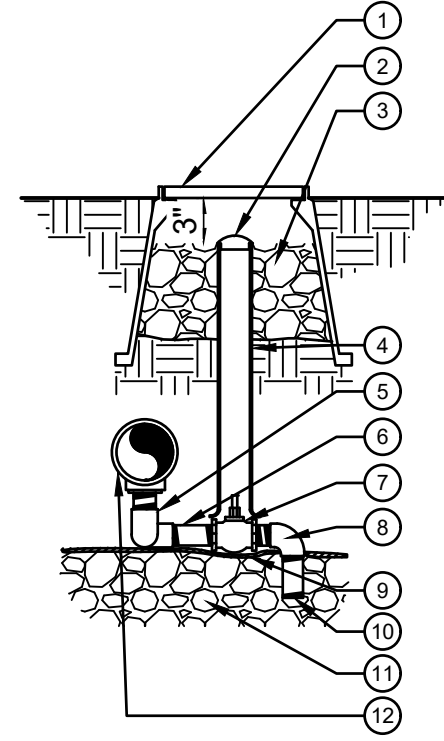
APPROVED DATE: 10/25/2023

Planning Approval By: A. Wood Hicken

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GallowayUS.com

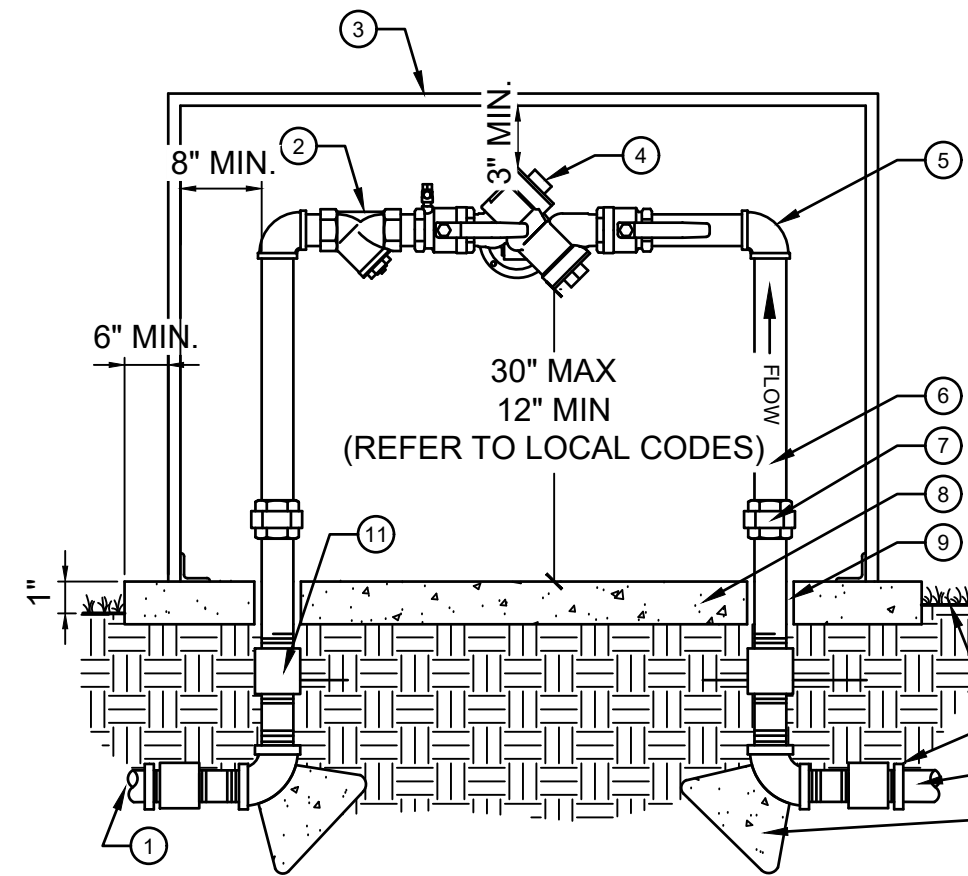
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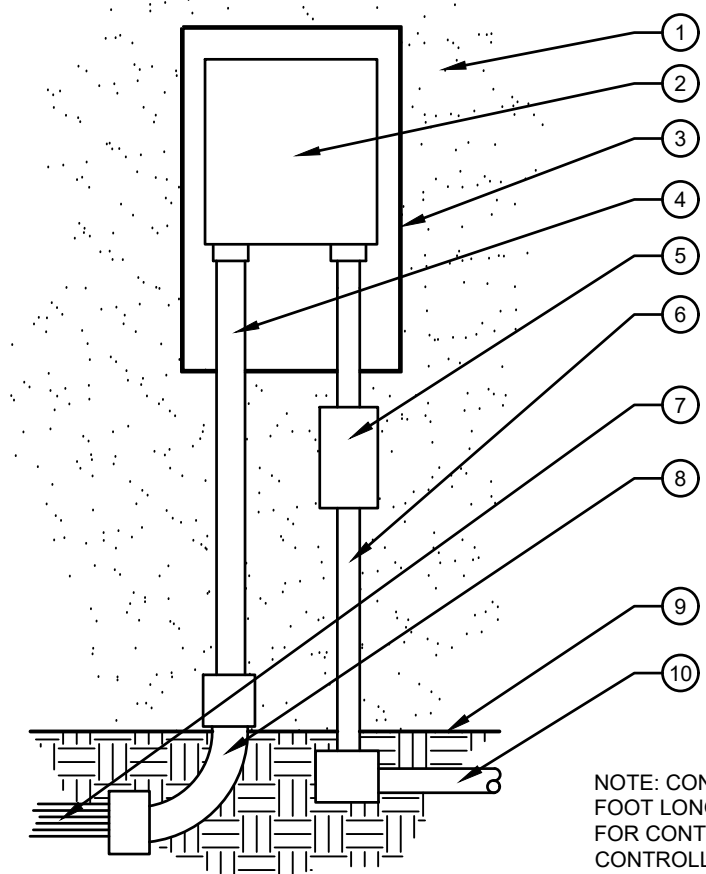
- 1 CARSON VALVE BOX OR APPROVED EQUAL DV BRAND ON LID.
- 2 2" VALVE MARKER
- 3 3/4" CRUSHED GRAVEL SUMP 1 CU. FT.
- 4 2" CL160 PVC ACCESS SLEEVE - LENGTH AS REQUIRED
- 5 3/4" Fx F SCH. 80 PVC 90 ELL (2)
- 6 3/4" x CL PVC NIPPLE SCH. 80 (2)
- 7 3/4" x 6" SCH. 80 GALVANIZED STEEL NIPPLE
- 8 3/4" McDONALD #6101 SERIES VALVE
- 9 3/4" Mx F SCH. 40 PVC 90 ELL
- 10 SOIL BLANKET COVERING SUMP
- 11 3/4" x 4" PVC NIPPLE SCH. 80
- 12 3/4" CRUSHED GRAVEL SUMP SEE TECHNICAL SPECIFICATIONS FOR SUMP SIZE
- 13 PRESSURE MAINLINE

10 MANUAL DRAIN VALVE
SCALE: NOT TO SCALE



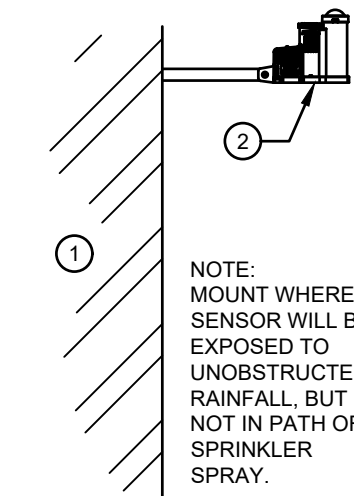
- 1 MAINLINE CONNECTION- ADAPT AS NECESSARY ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES
- 2 BRASS WYE STRAINER W/60 MESH SCREEN
- 3 ENCLOSURE PER IRRIGATION LEGEND
- 4 BACKFLOW PREVENTER UNIT
- 5 BRASS 90 DEGREE ELLS (TYP.)
- 6 BRASS NIPPLES (TYPICAL)
- 7 BRASS UNION (TYPICAL)
- 8 4" CONCRETE PAD - SLOPE TO DRAIN AWAY FROM BACKFLOW PREVENTER
- 9 PVC CONCRETE SLEEVE
- 10 FINISH GRADE 1" BELOW PAD
- 11 BRASS COUPLING
- 12 COPPER SERVICE LINE
- 13 12"X12"X12" THRUST BLOCKS

11 BACKFLOW PREVENTER, REDUCED PRESSURE
SCALE: NOT TO SCALE



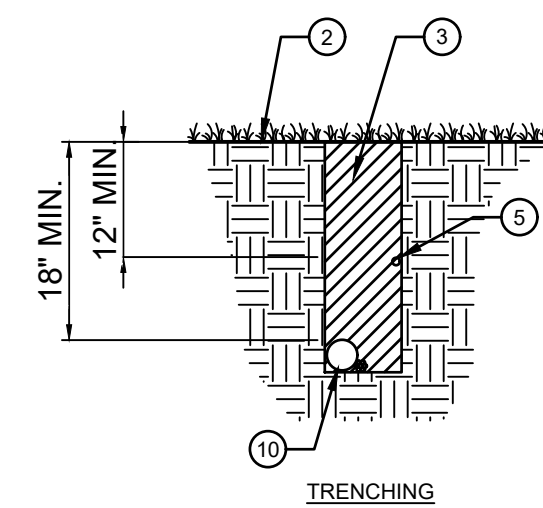
- NOTE: VERIFY FINAL LOCATION WITH OWNER PRIOR TO INSTALLATION
- 1 EXTERIOR WALL
 - 2 CONTROLLER PER LEGEND
 - 3 LOCKING VANDAL-RESISTANT ENCLOSURE. ATTACH TO WALL PER MANUFACTURER'S SPECIFICATIONS.
 - 4 PVC CONDUIT FOR CONTROL WIRES
 - 5 LOCKABLE ELECTRIC DISCONNECT BOX PER APPLICABLE CODES.
 - 6 120 VOLT POWER WIRES IN CONDUIT. INSTALL PER APPLICABLE CODES.
 - 7 CONTROL WIRES
 - 8 INSTALL PVC SWEEP 1'-6" BELOW FINISH GRADE. WIRES SHALL SHARE MAINLINE TRENCHING WHEREVER POSSIBLE.
 - 9 FINISH GRADE
 - 10 ELECTRICAL SOURCE PER APPLICABLE ELECTRICAL CODES.

12 WALL MOUNT CONTROLLER
SCALE: NOT TO SCALE

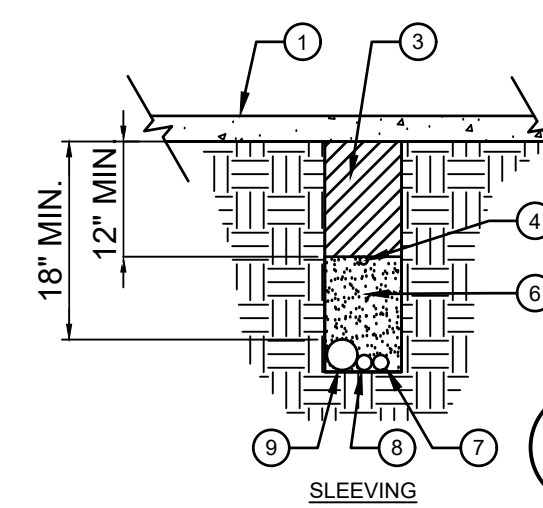


- NOTE: MOUNT WHERE SENSOR WILL BE EXPOSED TO UNOBSTRUCTED RAINFALL BUT NOT IN PATH OF SPRINKLER SPRAY.
- 1 EXTERIOR WALL OR POLE
 - 2 WEATHER SENSOR

13 WEATHER SENSOR
SCALE: NOT TO SCALE

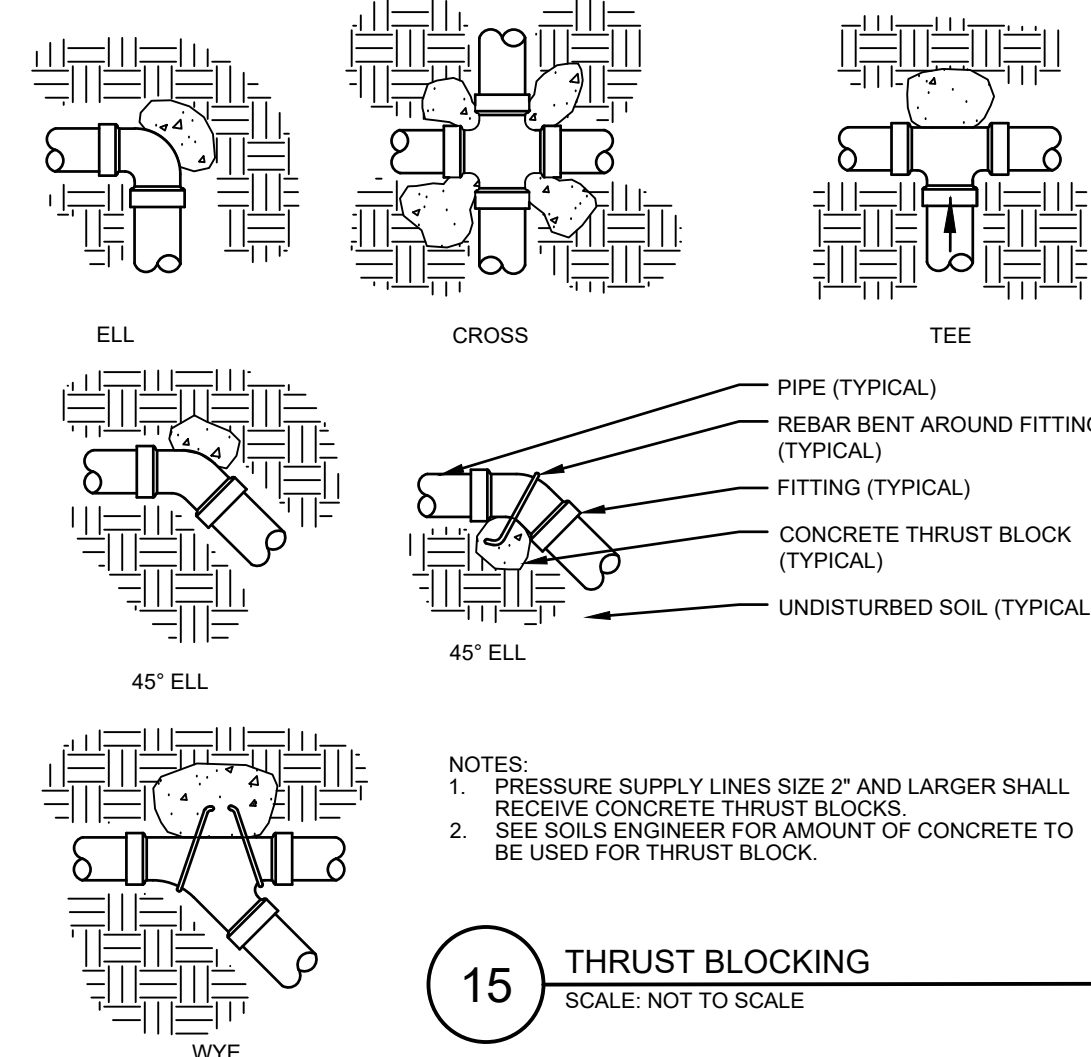


- 1 PAVEMENT SURFACE
- 2 FINISH GRADE
- 3 TRENCH BACKFILL
- 4 LOCATOR WIRE WITH BURIED CAUTION TAPE IF SPECIFIED
- 5 PVC IRRIGATION LATERAL - BURIED MIN. 12" BELOW GRADE
- 6 SAND BACKFILL
- 7 PVC LATERAL SLEEVE SEE PLANS FOR SIZE
- 8 2" MIN. PVC WIRE SLEEVE FOR CONTROL WIRES
- 9 PVC MAINLINE SLEEVE SEE PLANS FOR SIZE
- 10 PVC IRRIGATION MAINLINE



- NOTE: EXTEND SLEEVES INTO LANDSCAPE AREAS 12" BEYOND EDGE OF HARDSCAPE
- 1 PAVEMENT SURFACE
 - 2 FINISH GRADE
 - 3 TRENCH BACKFILL
 - 4 LOCATOR WIRE WITH BURIED CAUTION TAPE IF SPECIFIED
 - 5 PVC IRRIGATION LATERAL - BURIED MIN. 12" BELOW GRADE
 - 6 SAND BACKFILL
 - 7 PVC LATERAL SLEEVE SEE PLANS FOR SIZE

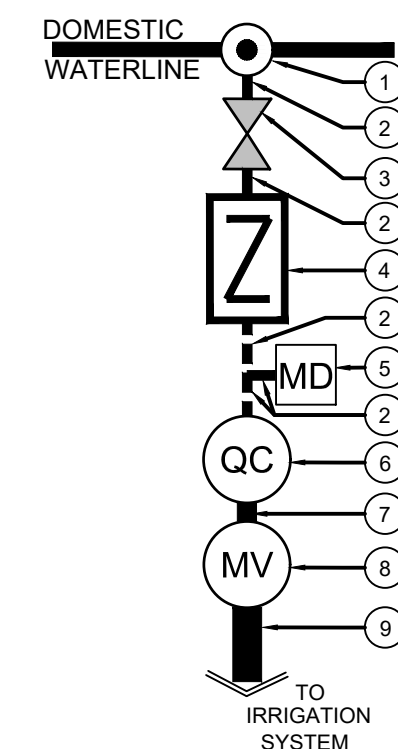
14 PIPE AND SLEEVE INSTALLATION
SCALE: NOT TO SCALE



- NOTES:
1. PRESSURE SUPPLY LINES SIZE 2" AND LARGER SHALL RECEIVE CONCRETE THRUST BLOCKS.
2. SEE SOILS ENGINEER FOR AMOUNT OF CONCRETE TO BE USED FOR THRUST BLOCK.

15 THRUST BLOCKING
SCALE: NOT TO SCALE

TYPICAL POINT OF CONNECTION SCHEMATIC DIAGRAM



- 1 IRRIGATION POINT OF CONNECTION. TAP INTO THE DOMESTIC WATERLINE DOWNSTREAM OF THE BUILDING METER.
- 2 1" K COPPER WATER SERVICE PIPE
- 3 1" GATE VALVE
- 4 1" BACKFLOW DEVICE
- 5 MANUAL DRAIN VALVE. SEE THIS SHEET DETAIL 10
- 6 1" QUICK COUPLER
- 7 1" PVC LINE, CLASS 200 PIPE
- 8 1" MASTER VALVE
- 9 1-1/2" MAINLINE, CLASS 200 PIPE

WINTERIZATION PROCEDURES:
TURN OFF SYSTEM AT THE GATE VALVE DOWNSTREAM OF THE IRRIGATION METER. OPEN ONE CONTROL VALVE TO RELIEVE PRESSURE SLOWLY OPEN BLOW OUT VALVE. REPEAT PROCEDURE FOR ALL BLOW OUT VALVES ALONG IRRIGATION MAINLINE.

Light:DWG/Plaza Street Partners/2023 Parker_PSPV_Anyto Lincoln and Douglas/05/23/2023/001 - Irrigation Plan.dwg, Matthew Pugh, 2023.04.16

PLAZA STREET PARTNERS
SITE PLAN DOCUMENTS

PARKER COLORADO

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Project No:	PSP000001
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IRRIGATION DETAILS

