

PLAZA STREET PARTNERS  
LINCOLN PROFESSIONAL PARK FILING NO.1 LOT 3

LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH,  
RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

CIVIL CONSTRUCTION DRAWINGS  
AUGUST 2024

Galloway

5500 Greenwood Plaza Blvd., Suite 200  
Greenwood Village, CO 80111  
303.770.8884  
GallowayUS.com



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PLAZA STREET PARTNERS  
CIVIL CONSTRUCTION DRAWINGS  
18900 E. LINCOLN AVE.  
PARKER, CO 80134

Revision table with columns: #, Date, Issue / Description, Init.

PROJECT CONTACTS

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LANDSCAPE ARCHITECT

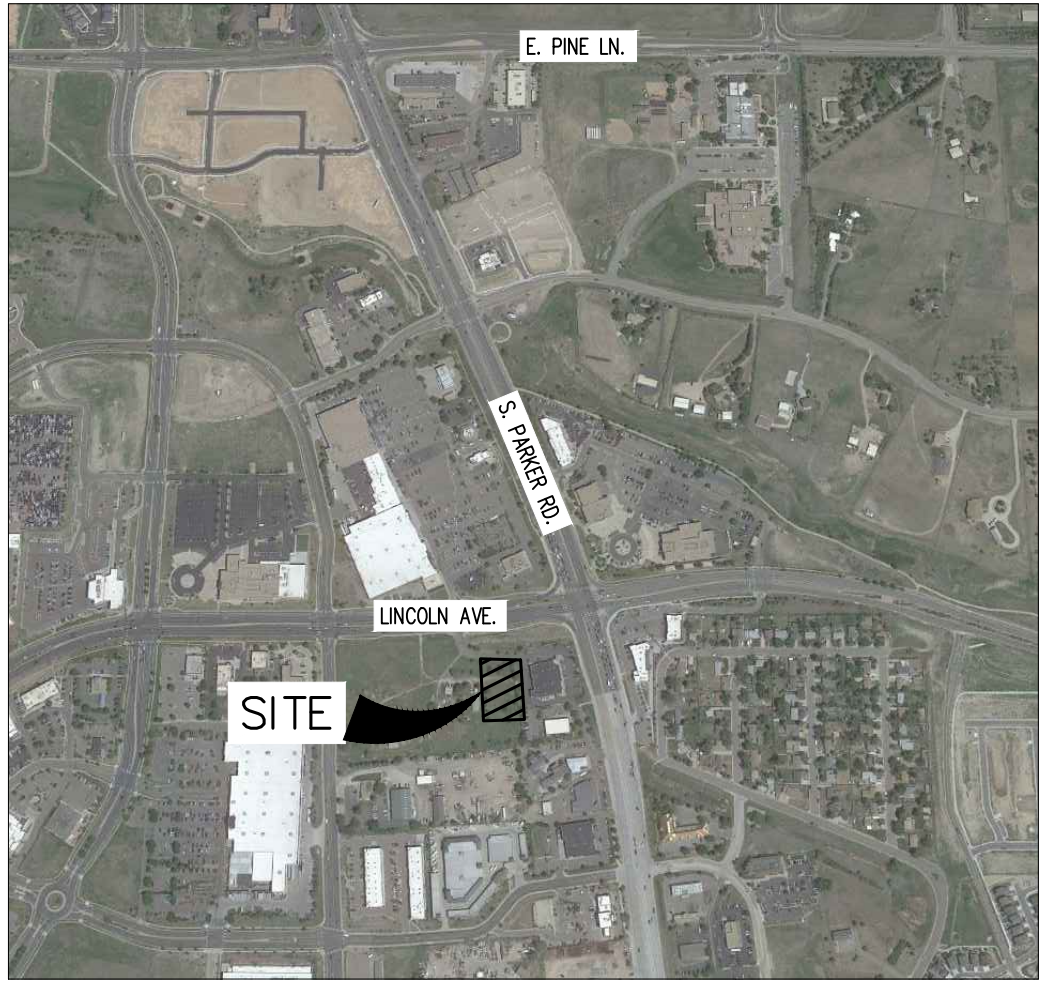
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VICINITY MAP  
(NOT TO SCALE)

SHEET INDEX table with columns: SHEET NUMBER, SHEET DESCRIPTION, SHEET TITLE. Includes sheets for COVER SHEET, SITE PLAN, HORIZONTAL CONTROL PLAN, EROSION CONTROL PLAN, CBMP DETAILS, GRADING PLAN, DETAILED RAMP GRADING, OVERALL UTILITY PLAN, STORM PLAN, STRIPING & PAVING PLAN, SITE DETAILS, DRAINAGE PLAN, LANDSCAPE PLAN, LANDSCAPE NOTES & DETAILS, IRRIGATION PLAN, IRRIGATION DETAILS, IRRIGATION NOTES & DETAILS.

GENERAL CONSTRUCTION NOTES

- 1. REQUIREMENTS SHOWN ON SITE PLAN SHALL GOVERN. DRAWINGS AND SPECIFICATIONS SHOWING OTHERWISE NOTWITHSTANDING. CONTRACTOR TO POINT OUT ANY DISCREPANCIES TO THE OWNERS REP. PRIOR TO BID.
2. NO WORK IS TO BEGIN UNTIL ALL PERMITS HAVE BEEN OBTAINED.
3. CONTRACTOR TO PROVIDE ALL EQUIPMENT AND PERSONNEL REQUIRED FOR FINAL CHECKOUT OF ALL FACILITIES BY OWNER'S REPRESENTATIVE.
4. ENTIRE INSTALLATION SHALL MEET ALL APPLICABLE CODES.
5. VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE.
6. ANY FILL MATERIAL REQUIRED TO BRING THE SITE TO GRADE SHALL BE CLEAN FILL DIRT APPROVED BY GEOTECHNICAL ENGINEER COMPLIANT TO THE RECOMMENDATIONS OF THE APPROVED GEOTECHNICAL REPORT.
7. SET PROPERTY CORNER PINS IN CONCRETE. IF PROPERTY CORNERS ARE DESTROYED BY CONTRACTOR, THE CONTRACTOR SHALL BEAR THE EXPENSE OF RELOCATING CORNERS BY A REGISTERED SURVEYOR.
8. THIS DESIGN IS BASED ON THE GEOTECHNICAL REPORT PROJECT NO. 21.22.116 DATED JULY 21, 2021 BY COLE GARNER GEOTECHNICAL. A COPY OF THIS REPORT SHOULD BE ON-SITE AT ALL TIMES.
9. GENERAL CONTRACTOR SHALL RECEIVE, UNLOAD, STORE AND UNCRATE ALL EQUIPMENT FURNISHED BY THE OWNER AND SHIPPED TO THE SITE. SEE SPECIFICATIONS FOR EQUIPMENT FURNISHED BY OWNER.
10. GENERAL CONTRACTOR TO REFER TO STANDARD DETAILS INCLUDED IN THE SPECIFICATIONS FOR INSTALLING EQUIPMENT
11. GENERAL CONTRACTOR TO PERFORM GENERAL YARD AND BUILDING CLEAN-UP AT COMPLETION OF WORK.
12. SEE THE SITE SURVEY FOR SURVEY INFORMATION & LEGAL DESCRIPTION.
13. ALL TOP OF CURB GRADES ARE 6" HIGHER THAN FINISH GRADES SHOWN ON DRIVE UNLESS OTHERWISE NOTED.
14. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DEPOSITION OF ONSITE SEDIMENTS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION. REFER TO EROSION CONTROL PLANS AND DETAILS FOR ADDITIONAL INFORMATION.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE, AND AVAILABLE TO THE TOWN, ITS AGENTS, OWNER OF GALLOWAY AT ALL TIMES. DIMENSIONS SHALL BE ANNOTATED ON AS-BUILT RECORD DRAWINGS. AS-BUILT DRAWINGS ARE REQUIRED PRIOR TO ISSUANCE OF FINAL PAYMENT. AS BUILT DRAWINGS WILL BE SUPPLIED TO OWNER AND TOWN PRIOR TO FINAL PAYMENT.
16. GRADING/UTILITY CONTRACTOR TO COMPLETE GRADING BELOW FINISHED GRADE IN ACCORDANCE WITH PAVING RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED FOR THIS SITE, SHOWN TO TOLERANCE OF ± 0.08' IN ALL PAVING AREAS.
17. GENERAL CONTRACTOR TO PROVIDE BARRICADE PROTECTION WITH FLASHING LIGHTS AROUND ALL FOOTINGS, EXCAVATIONS AND ALL OFFSITE WORK.
18. CONTRACTOR RESPONSIBLE FOR ALL WORK NECESSARY FOR FINAL ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY, INCLUDING BUT NOT LIMITED TO AS-BUILT DRAWINGS, INSPECTIONS, TESTING REPORTS AND CERTIFICATIONS.
19. SURVEYOR TO OBTAIN AutoCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL, DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

STORM DRAINAGE INFRASTRUCTURE NOTES

- 1. ALL STORM DRAINAGE IMPROVEMENTS ARE SUBJECT TO COMPLIANCE WITH THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, M & S STANDARDS, AND ALL STANDARD SPECIAL PROVISIONS CURRENTLY USED BY CDOT, WITH THE MODIFICATIONS SET FORTH IN THE TOWN OF PARKER'S STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL (SDECM), AS AMENDED.
2. THE CONTRACTOR SHALL COMPLY WITH THE COLORADO WATER QUALITY CONTROL ACT (TITLE 25, ARTICLE 8 CRS), THE PROTECTION OF FISHING STREAMS-TITLE 33, ARTICLE 5, CRS), THE CLEAN WATER ACT (33 USC 1344), CHERRY CREEK RESERVOIR CONTROL REGULATION NO. 72 (5CCR 1002-72), THE REGULATION PROMULGATED, CERTIFICATION OR PERMITS ISSUES, AND THE REQUIREMENTS PRESENTED IN THE SDECM REVISION TO SECTION 107 AND THE CONSTRUCTION BMP PLAN, IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND WATER QUALITY CONTROL LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, OR STATE AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
3. INSPECTIONS: CONSTRUCTION SHALL NOT BEGIN UNTIL A GRADING PERMIT HAS BEEN ISSUED FOR THE PROJECT. THE CONTRACTOR SHALL NOTIFY THE TOWN OF PARKER ENGINEERING DEPARTMENT (PUBLIC WORKS) TO SCHEDULE INSPECTIONS A MINIMUM OF 48 HOURS PRIOR TO THE CONSTRUCTION OF ALL DRAINAGE INFRASTRUCTURE (STORM SEWERS, INLETS, MANHOLES, ENERGY DISSIPATORS, RIPRAP, GROUDED BOULDERS, DETENTION POND OUTLET STRUCTURES, FOREBAYS, TRICKLE CHANNELS, ETC). FAILURE TO NOTIFY THE ENGINEERING DEPARTMENT FOR INSPECTIONS MAY RESULT IN NON-ACCEPTANCE OF THE INFRASTRUCTURE BY THE TOWN. URBAN DRAINAGE AND FLOOD CONTROL DISTRICT MUST ALSO BE NOTIFIED IN A SIMILAR MANNER FOR ALL MAINTENANCE ELIGIBLE DRAINAGE INFRASTRUCTURES (CONSULT WITH STORMWATER ENGINEERING DIVISION).
4. STRUCTURAL BACKFILL (COOT CLASS 1) SHALL BE COMPACTED TO CONFORM TO CDOT STANDARD SPECIFICATION 203.03. STRUCTURAL BACKFILL (COOT CLASS 2) SHALL CONFORM TO CDOT STANDARD SPECIFICATION 203.07. AT THE CONTRACTOR'S OPTION, STRUCTURAL BACKFILL (SQUEEGE) MEETING THE GRADATION REQUIREMENTS CONTAINED IN REVISION OF SECTION 206 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM, MAY BE SUBSTITUTED FOR STRUCTURE BACKFILL (CLASS 1) OR CLASS 2) FOR BACKFILLING OF CULVERT PIPES, STORM SEWER PIPES, MANHOLES AND INLET STRUCTURES; HOWEVER, THE TOP 2 FEET BELOW SUBGRADE ELEVATION SHALL BE THE REQUIRED EMBANKMENT MATERIAL.
5. ALL EXCAVATIONS SHALL MEET OSHA REQUIREMENTS.
6. TESTING: PRELIMINARY ACCEPTANCE OF STORM DRAINAGE IMPROVEMENTS WILL BE CONTINGENT UPON SATISFACTORY TESTING RESULTS. IN ALL CASES WHERE TESTS INDICATE COMPACTION LESS THAN THAT REQUIRED BY TOWN SPECIFICATIONS, ADDITIONAL COMPACTION AND TESTS WILL BE REQUIRED UNTIL THE SPECIFICATIONS ARE MET. FREQUENCY OF TESTING WILL BE AS FOLLOWS: 1 TEST FOR SUBGRADE AND 1 TEST FOR BACKFILL AT EVERY ABOVE GROUND APPURTENANCE (MANHOLES, INLETS, ETC) 1 TEST EVERY 200 LF OF MAINLINE TRENCH EVERY 1 FOOT OF BACKFILL LIFT AND WITHIN 1 FOOT FROM ALL STRUCTURES.
7. ALLOWABLE STORM SEWER CONDUIT MATERIAL WITHIN THE TOWN OF PARKER SHALL BE LIMITED TO REINFORCED CONCRETE PIPE (RCP) CONFORMING TO CDOT STANDARD SPECIFICATION 706.02.
8. ALL RCP JOINTS SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM C443. RUBBER GASKETS SHALL BE USED ON ALL PIPE JOINTS CONFORMING TO ASTM C443. ALL RCP SECTIONS SHALL BE JOINED IN SUCH A MANNER THAT THE ENDS ARE FULLY ENTERED AND THE INNER SURFACES ARE REASONABLE FLUSH. AVERAGE JOINT GAP THAT EXCEEDS 1/8 INCH SHALL BE FILLED WITH AN APPROVED FLEXIBLE PLASTIC SEALANT.
9. JOINT RESTRAINTS AND TOE-WALLS, CONFORMING TO CDOT M&S STANDARD PLAN NO. M-601-11 SHALL BE USED ON ALL RCP FLARED END SECTION OUTFALLS.
10. EPOXY COATED REBAR SHALL BE USED AS REINFORCING STEEL ON ALL STORM INLETS AND STRUCTURES. REFERENCE CDOT M&S STANDARD PLAN NO. M-604-10, 11, 12, AND 13.
11. COOT CLASS D CONCRETE SHALL BE USED FOR ALL CONCRETE DRAINAGE STRUCTURES.
12. PRE-CAST INLETS AND MANHOLE BASES SHALL NOT BE USED WITHIN THE TOWN OF PARKER RIGHT-OF-WAY, WITH THE EXCEPTION OF CDOT TYPE C AND D INLETS.
13. TWO (2) MANHOLE ACCESS POINTS ARE REQUIRED ON ALL TYPE "R" CURB INLETS GREATER THAN OR EQUAL TO TEN (10) FEET IN LENGTH AS PRESENTED IN CDOT M&S STANDARD PLAN NO. M-604-12.
14. ALL GROUDED BOULDERS (RIPRAP) SHALL BE IN ACCORDANCE WITH THE REVISION OF SECTION 506 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM.
15. ALL BOULDERS AND RIPRAP SHALL BE SELECTED AND PLACED IN ACCORDANCE WITH THE REVISION OF SECTION 506 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM.
16. CONTRACTOR SHALL REFER TO THE TOWN OF PARKER'S CONSTRUCTION BEST MANAGEMENT PRACTICES DETAILS AND NOTES FOR ALL REQUIREMENTS RELATING TO RE-VEGETATION, SEDIMENT AND EROSION CONTROL REQUIREMENTS FOR CONSTRUCTION ACTIVITIES.
17. PIPE BELLS SHALL NOT BE CAST INTO MANHOLE BASES OR INLETS.

SOIL PREPARATION NOTE

SOIL PREPARATION SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL ENGINEERING REPORT PREPARED FOR ANDY'S FROZEN CUSTARD AT LINCOLN PROFESSIONAL PARK, PARKER, COLORADO AS FOLLOWS:

GEOTECHNICAL ENGINEER: COLE GARNER GEOTECHNICAL

PROJECT NO.: 21.22.116

THE CONTRACTOR MUST FULLY REVIEW THESE REPORTS PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

SIGHT DISTANCE CERTIFICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE PROPOSED SUBDIVISION, LINCOLN PROFESSIONAL PARK, IS DESIGNED IN ACCORDANCE WITH THE TOWN OF PARKER SIGHT DISTANCE CRITERIA AND WITH AASHTO PLANNING AND GEOMETRIC DESIGN OF HIGHWAY AND STREETS.



(REGISTERED PROFESSIONAL ENGINEER) 08/22/2024 (LICENSE NO.) (DATE)

FIRE NOTES

- 1. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.
2. EMERGENCY VEHICLE ACCESS ROAD IS REQUIRED TO ALLOW ACCESS WITHIN 150' OF ALL EXTERIOR OF THE BUILDING BY AN APPROVED ROUTE.
3. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE PROVIDED WITH A SURFACE SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. ACCESS ROAD SHALL BE EITHER CONCRETE, ASPHALT, OR OTHER APPROVED ALTERNATIVE MATERIAL ACCOMPANIED WITH AN ENGINEER'S STAMP STATING THE MATERIAL WILL MEET A 75,000 LBS IMPOSED LOAD.
4. FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF VERTICAL CONSTRUCTION.
5. "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU: SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE DEPARTMENT ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE DEPARTMENT ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR ACCESS ROADWAY FIRE DEPARTMENT ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS EXCEEDING 32 FEET WIDE.
6. WHEN FIRE APPARATUS ACCESS ROADS OR A WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO BUILDING CONSTRUCTION GOING VERTICAL.

SITE DATA TABLE

Table with columns: SITE AREA, ZONING, BUILDING, FAR, BUILDING COVERAGE, LANDSCAPING, BUILDING SETBACK, BUILDING HT, CAR PARKING, BIKE RACKS. Includes values for 30,927 SF / .709 AC, COMMERCIAL, SINGLE STORY - 1,947 SF (BUILDING), 25% MAX. / 6.7% ACTUAL, 50% MAX. / 6.7% ACTUAL, 15% MIN. / 26.5% ACTUAL (12,632 SF LANDSCAPED AREA), 40' FRONT, 0' SIDE & REAR 25', 35' MAX. / 13.4' ACTUAL, CANOPY 25', 20 REQUIRED / 24 SPACES (INCLUDES 2 ADA) PROVIDED, 4 REQUIRED / 2 RACKS WITH 4 SPOTS.

BENCHMARK

BENCHMARK IS A LUDCO 2" BRASS CAP IN HEAD WALL (60-1) NEAR PARKER ROAD AND BALDWIN AVE. ELEV.=5841.07 NAVD88

BEARS OF BEARINGS

BEARINGS ARE BASED OFF THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN. AS MONUMENTED AT BOTH THE NORTHWEST QUARTER CORNER AND THE NORTH QUARTER CORNER BY 3.25" ALUMINUM CAPS, ASSUMED TO BEAR SOUTH 89°29'00" WEST.

CAUTION – NOTICE TO CONTRACTOR

- 1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



COVER SHEET

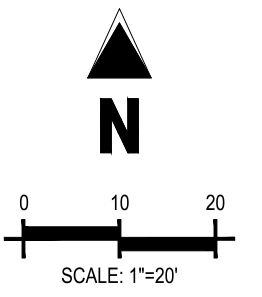
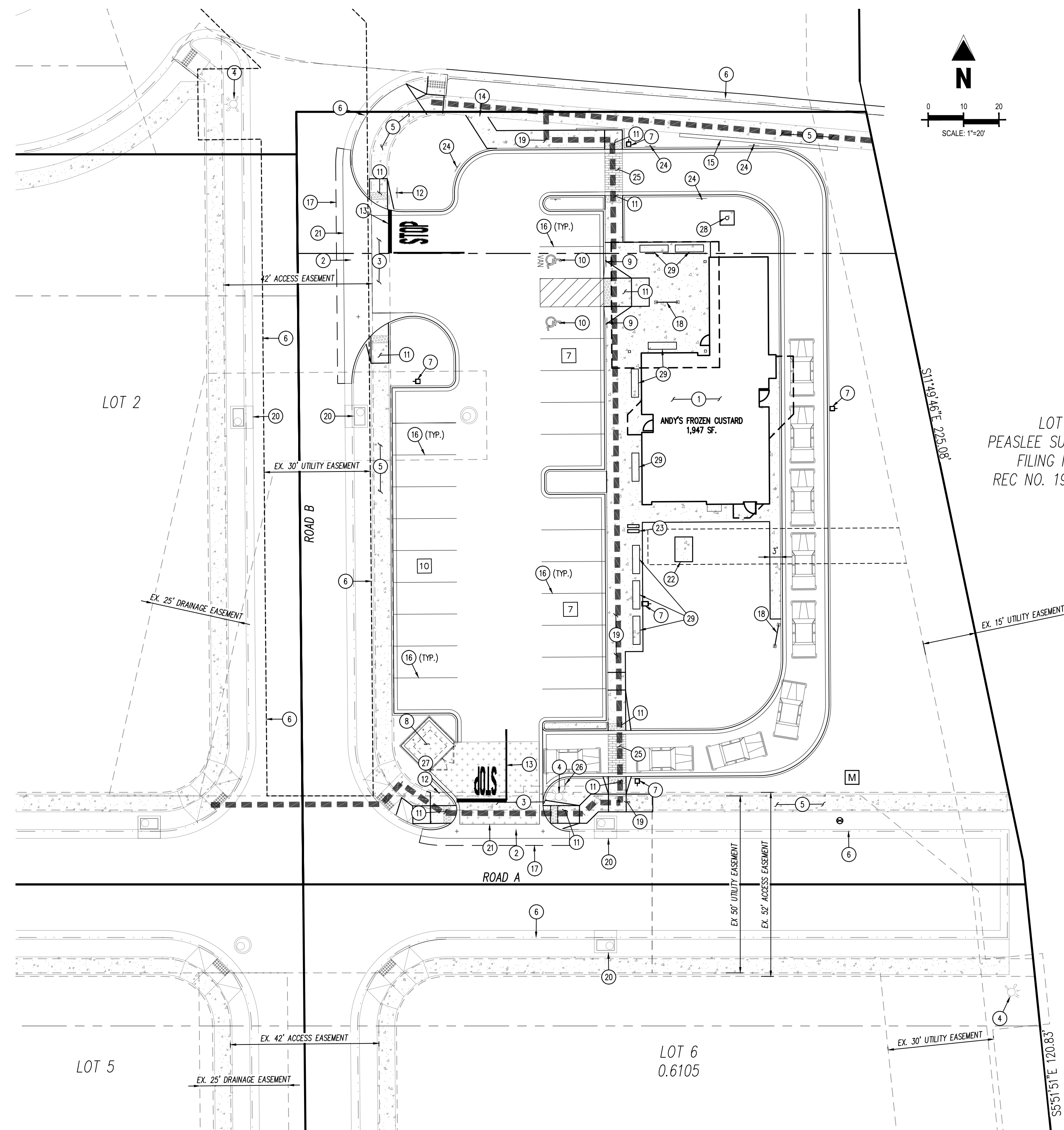
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Sheet 1 of 28

# PLAZA STREET PARTNERS LINCOLN PROFESSIONAL PARK FILING NO.1 LOT 3

LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH,  
RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

## CIVIL CONSTRUCTION DRAWINGS

AUGUST 2024



### LEGEND

- PROPERTY LINE
- EXISTING EASEMENT BOUNDARY LINE
- PROPOSED EASEMENT BOUNDARY LINE
- ADA ACCESSIBLE ROUTE
- PROPOSED SIGN
- PROPOSED CURB & GUTTER
- PROPOSED CONCRETE SIDEWALK
- EXISTING CONCRETE PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED HEAVY DUTY CONCRETE
- EXISTING CONCRETE SIDEWALK TO BE REMOVED
- PROPOSED SITE LIGHTING
- PARKING COUNT

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

CONTRACTOR SHALL BE RESPONSIBLE FOR AND HIRE A COLORADO REGISTERED LAND SURVEYOR TO ESTABLISH PROPERTY CORNERS, BUILDING CORNERS, ETC. AS REQUIRED FOR CONSTRUCTION LAYOUT.

CONTRACTOR TO ENSURE THE LIGHT POLES AND SIGNS ARE AT LEAST 2' FROM THE BACK OF THE CURB TO PREVENT THE VEHICLES STRIKING THE LIGHT POLE OR SIGN.

CONTRACTOR IS TO ENSURE THAT THE CONSTRUCTION FENCE ENCOMPASSES THE ENTIRE WORK AREA.

THESE DRAWINGS DO NOT INCLUDE COMPONENTS FOR CONSTRUCTION SAFETY.

### ZONING: COMMERCIAL

#### SETBACK TABLE

BUILDING SETBACK (FRONT)	40'
BUILDING SETBACK (SIDE)	0'
REAR	25'
PARKING SETBACK	20'

#### IMPERVIOUS SITE RATIO (ISR)

AREA	PRE-CONSTRUCTION		POST-CONSTRUCTION	
	SQUARE FEET	%	SQUARE FEET	%
IMPERVIOUS (ROOF AND PAVING)	0	0	18,185	0%
GREENSPACE	30,927	100.0%	12,741	40.8%
GROSS SITE	30,927	100.0%	30,927	100.0%

#### PARKING INFORMATION: ANDY'S FROZEN CUSTARD

DESCRIPTION	BUILDING AREA (SF)	REQUIRED:				
		RATIO	SPACES			
ANDY'S FROZEN CUSTARD	1,947	1 SPACE / 100 SF GFA	REGULAR	ACCESSIBLE	VAN ACCESSIBLE	TOTAL
			20	0	1	21

STALL DIMENSIONS:	PROVIDED:			
	SPACES			
	REGULAR	ACCESSIBLE	VAN ACCESSIBLE	TOTAL
9' X 18'	19	1	1	19
10' X 18'	5	0	0	5
TOTAL	24	1	1	24

- ### SCHEDULE
- PROPOSED BUILDING
  - EXISTING CURB AND GUTTER TO BE REMOVED
  - EXISTING SIDEWALK TO BE REMOVED
  - EXISTING FIRE HYDRANT TO REMAIN
  - EXISTING CONCRETE SIDEWALK TO REMAIN
  - EXISTING CURB AND GUTTER TO REMAIN
  - INSTALL SITE LIGHT (REF. DETAIL 14 SHEET C7.1 FOR BASE DETAIL)
  - CONSTRUCT TRASH ENCLOSURE (REF. ARCHITECTURE PLANS)
  - INSTALL ADA SIGN MOUNTED ON BOLLARD (REF. DETAIL 2 SHEET C7.1)
  - PAINT ADA PARKING SYMBOL (REF. DETAIL 6 SHEET C7.1)
  - CONSTRUCT ADA RAMP (REF. DETAIL 10 SHEET C7.1)
  - INSTALL STOP SIGN MUTCD R1-1 30"x30" (REF. DETAIL 8 SHEET C7.1)
  - PAINT "STOP" BAR, 20' 4"-WIDE TRAFFIC YELLOW LANE STRIPING, AND "STOP" LETTERING (REF. DETAIL 1 SHEET C7.1)
  - CONNECT TO EXISTING SIDEWALK
  - CONSTRUCT LANDSCAPE WALL (REF. DETAIL 19 SHEET C7.2)
  - PAINT 4" WIDE WHITE PARKING STRIPING
  - SAW CUT ASPHALT AT NEW DRIVEWAY ACCESS
  - PROPOSED ORDERING MENU, PER SEPARATE PLANS
  - CONSTRUCT SIDEWALK (REF. DETAIL 16 SHEET C7.1)
  - EXISTING 5' MODIFIED TYPE R INLET TO REMAIN
  - INSTALL 4" WIDE CROSS PAN
  - PROPOSED TRANSFORMER
  - INSTALL BIKE RACK (REF. DETAIL 13 SHEET C7.1)
  - INSTALL "NO PARKING FIRE LANE" SIGN (REF. DETAIL 18 SHEET C7.2)
  - INSTALL STAMPED CONCRETE CROSSWALK (REF. DETAIL 10 SHEET C7.1)
  - INSTALL "DO NOT OBSTRUCT ACCESS" SIGN
  - INSTALL RIGHT TURN ONLY SIGN (REF. DETAIL 17 SHEET C7.2)
  - INSTALL 30' FLAG POLE (REF. ARCH PLANS FOR DETAILS)
  - INSTALL 8' BENCH (REF. ARCH PLANS FOR DETAILS)

- ### GENERAL SITE NOTES
- ALL DIMENSIONS SHOWN ARE TO THE FLOW LINE UNLESS OTHERWISE NOTED.
  - UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON:
    - ALL CURB AND GUTTER ADJACENT TO PAVING SHALL BE INSTALLED PER DETAIL.
    - PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE PAVING PLAN OVER THE ENTIRE PARKING LOT AREA AND ALL APPROACH DRIVES.
    - ALL PROPOSED PAVEMENT STRIPING OR MARKINGS SHALL FOLLOW THE SPECIFICATIONS FOR PAINT INCLUDED IN DETAIL 10A.

### BASIS OF BEARINGS

BEARINGS ARE BASED OFF THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, AS MONUMENTED AT BOTH THE NORTHWEST QUARTER CORNER AND THE NORTH QUARTER CORNER BY 3.25" ALUMINUM CAPS, ASSUMED TO BEAR SOUTH 89°29'00" WEST.

### BENCHMARK

BENCHMARK IS A UDFCD 2" BRASS CAP IN HEAD WALL (BG-1) NEAR PARKER ROAD AND BALDWIN AVE, ELEV=5841.07 NAVD88

The Town of Parker review constitutes general compliance with the Town's Standards and approved variances, subject to these plans being stamped, signed, and dated by the professional engineer of record. Review by the Town does not constitute approval of the plan design or accuracy and correctness of engineering calculations. Errors in the design or calculations remain the responsibility of the registered professional engineer whose stamp and signature are affixed to this document.

This review does not constitute approval of any private on-site improvements which may be shown. Construction cannot commence until all required drainage/traffic report(s), final development plan(s), special review(s), grading permit, and/or other permits are complete, approved and on file with the Town of Parker.

Town of Parker, Director of Engineering Date: 09/16/2024

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# Galloway

5500 Greenwood Plaza Blvd., Suite 200  
Greenwood Village, CO 80111  
303.770.8884  
GallowayUS.com

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PLAZA STREET PARTNERS  
CIVIL CONSTRUCTION DRAWINGS

18900 E. LINCOLN AVE.  
PARKER, CO 80134

#	Date	Issue / Description	Init.
1	09/23/22	1ST SUBMITTAL	SMB
2	12/14/22	2ND SUBMITTAL	SMB
3	03/08/23	3RD SUBMITTAL	SMB

Project No: PSP00001  
Drawn By: JRC  
Checked By: SMB  
Date: 08/09/2024

**SITE PLAN**

# C1.0

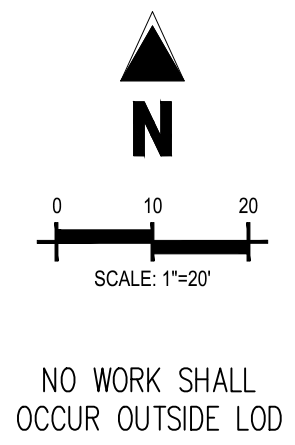
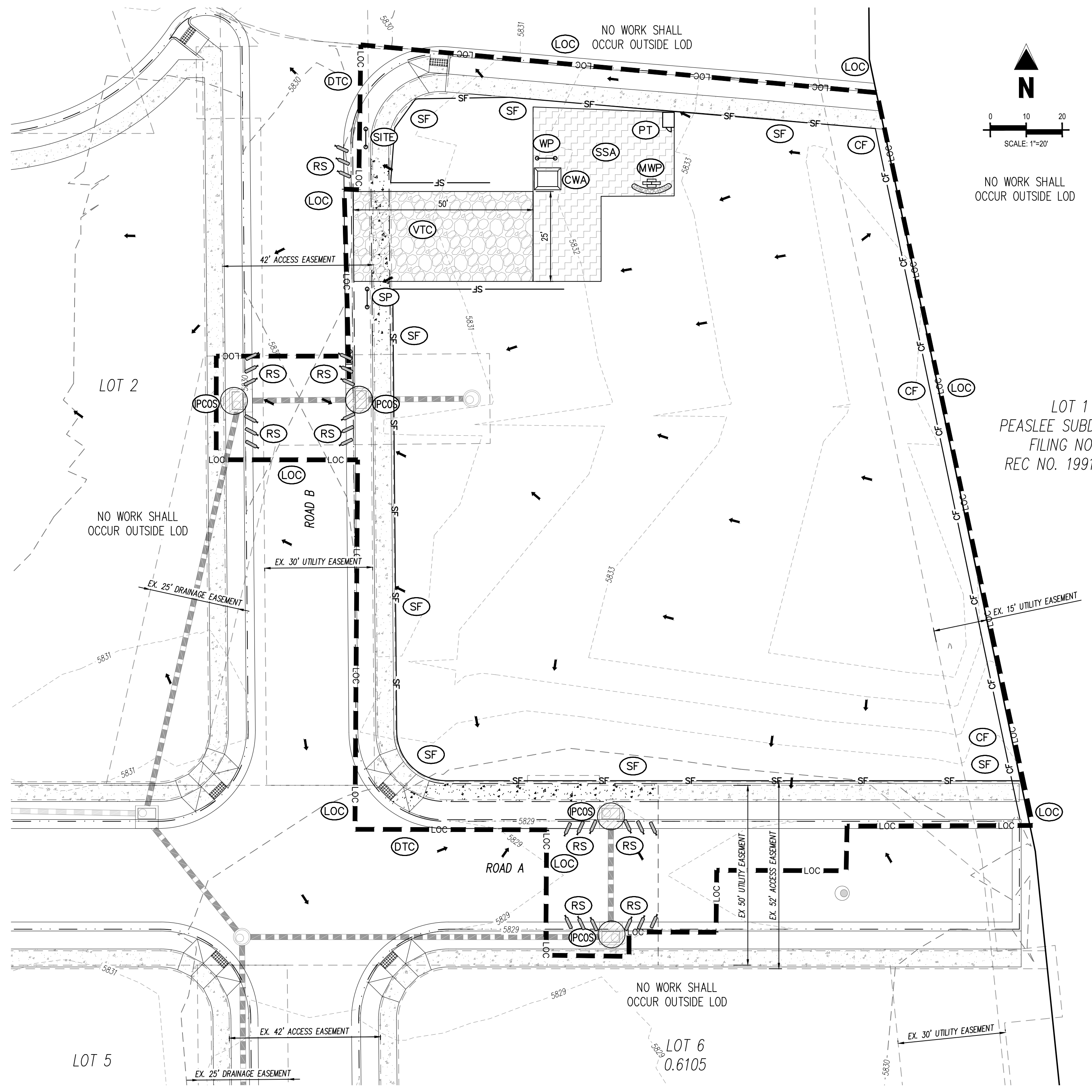
Sheet 2 of 28



PLAZA STREET PARTNERS  
**LINCOLN PROFESSIONAL PARK FILING NO.1 LOT 3**  
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH,  
 RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

**CIVIL CONSTRUCTION DRAWINGS**

AUGUST 2024



EROSION CONTROL LEGEND	
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
→	FLOW ARROW
- - - - -	LOC LIMITS OF CONSTRUCTION/DISTURBANCE
---	VTC VEHICLE TRACKING CONTROL
---	CWA CONCRETE WASHOUT AREA
---	SSA STABILIZED STAGING AREA
---	SMC SEEDING, MULCHING & CRIMPING
---	SP STOCKPILE PROTECTION
---	PCOS INLET PROTECTION (SUMP)
---	CF SILT FENCE
---	SF CONSTRUCTION FENCE
---	SC SEDIMENT CONTROL LOG
---	PT PORTABLE TOILET
---	SITE SITE POSTING (CONTACTS AND PERMITS)
---	WP WASHOUT POSTING
---	SP SWMP POSTING
---	RS ROCK SOCKS
---	MWP MASONRY WORK PROTECTION
---	DTC DEBRIS & TRASH CONTROL
---	STP SIDEWALK TRANSITION PROTECTION

SITE LEGEND	
---	EXISTING PROPERTY BOUNDARY LINE
---	EXISTING EASEMENT LINE
---	EXISTING SIGN
---	EXISTING CURB AND GUTTER

AREA OF CONSTRUCTION SITE	
TOTAL DISTURBED AREA = 35,010 SF (.803 ACRES)	
TOTAL AREA OF PROJECT SITE (ACRES) = 30,927 SF (.709 ACRES)	

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK

THE LOCATION OF THE SILT FENCE AND CONSTRUCTION FENCE ON THE DRAWINGS IS FOR GRAPHICAL REPRESENTATION ONLY. THE CONTRACTOR IS TO ENSURE THAT THE SILT FENCE AND CONSTRUCTION FENCE ENCOMPASSES THE ENTIRE WORK AREA.

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EROSION CONTROL AND TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITY AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

**PROJECT INFORMATION**

PROPOSED PROJECT SITE MADE UP OF A SINGLE COMMERCIAL LOT. STORM RUN-OFF FROM SITE WILL PIPE INTO OFF SITE DETENTION SYSTEM WHICH WILL ACCOMMODATE STORM RUN-OFF FOR THE DRIVE-THRU RESTAURANT.

PROPOSED PROJECT IS CONSTRUCTING A DRIVE-THRU RESTAURANT CONSISTING OF 1,947 SF WITH PATIO AREA AND ASSOCIATED PARKING AREA.

ANTICIPATED CONSTRUCTION START DATE IS JUNE 2023 AND COMPLETION DATE IS DECEMBER 2023.

CONTRACTOR TO TAKE APPROPRIATE MEASURES TO KEEP SEDIMENT FROM ESCAPING SITE AND ALL ACCUMULATED SEDIMENT SHALL BE CLEANED OUT AND REMOVED FROM SITE.

DOWNSTREAM CONDITION WILL NOT BE NEGATIVELY AFFECTED BY PROPOSED DEVELOPMENT.

**SEQUENCE OF CONSTRUCTION**

**PHASE 1**

1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
2. PREPARE TEMPORARY PARKING AND STORAGE AREA.
3. CONSTRUCT THE SILT FENCES ON THE SITE.
4. INSTALL ALL PERIMETER SEDIMENT MEASURES.
5. INSTALL ALL TEMPORARY EROSION & SEDIMENT CONTROLS AS NEEDED.
6. CLEAR AND GRUB THE SITE.
7. BEGIN GRADING THE SITE.

**PHASE 2**

8. START CONSTRUCTION BUILDING PAD AND STRUCTURES.
9. TEMPORARILY SEED DENUDEED AREAS.
10. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
11. INSTALL INLET/FLOWLINE PROTECTION DEVICES.
12. PREPARE SITE FOR PAVING.
13. PAVE SITE.
14. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
15. REMOVE EROSION AND TEMPORARY SEDIMENT CONTROL DEVICES AFTER FINAL STABILIZATION IS ACHIEVED.

The Town of Parker review constitutes general compliance with the Town's Standards and approved variances, subject to these plans being stamped, signed, and dated by the professional engineer of record. Review by the Town does not constitute approval of the plan design or accuracy and correctness of engineering calculations. Errors in the design or calculations remain the responsibility of the registered professional engineer whose stamp and signature are affixed to this document.

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Town of Parker, Director of Engineering

09/16/2024

Date

**BENCHMARK**

BENCHMARK IS A W/ODD 2" BRASS CAP IN HEAD WALL (B6-1) NEAR PARKER ROAD AND BALDWIN AVE, ELEV=5841.07 NAVD88

**BASIS OF BEARINGS**

BEARINGS ARE BASED OFF THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN. AS MONUMENTED AT BOTH THE NORTHWEST QUARTER CORNER AND THE NORTH QUARTER CORNER BY 3.25" ALUMINUM CAPS, ASSUMED TO BEAR SOUTH 89°29'00" WEST.

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**PLAZA STREET PARTNERS  
 CIVIL CONSTRUCTION DRAWINGS**

**18900 E. LINCOLN AVE.  
 PARKER, CO 80134**

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1	09/23/22	1ST SUBMITTAL	SMB
2	12/14/22	2ND SUBMITTAL	SMB
3	03/08/23	3RD SUBMITTAL	SMB

Project No:	PSP000001
Drawn By:	JRC
Checked By:	SMB
Date:	08/09/2024

**EROSION CONTROL  
 PLAN-INITIAL**

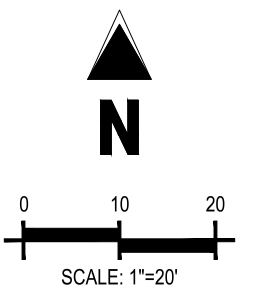
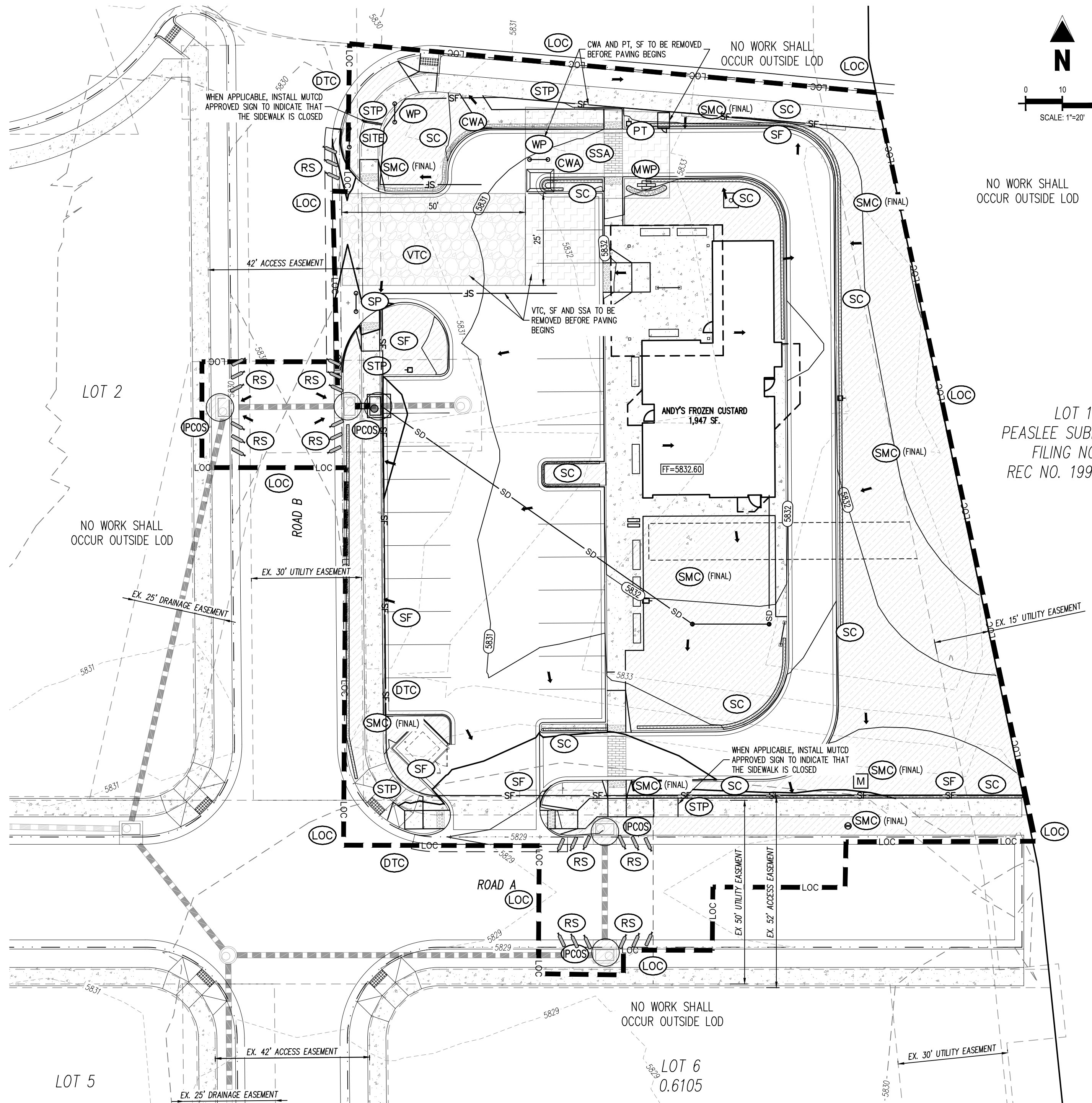
**C3.1**  
 Sheet 4 of 28

H:\Plaza Street Partners\CD\_Park\_P\1911\_Arched\Book and Drawings\CD\1911\_CD\_C3.1\_Erosion Control\Book and Drawings - Matthew Patten - 20150406.rvt

PLAZA STREET PARTNERS  
**LINCOLN PROFESSIONAL PARK FILING NO.1 LOT 3**  
LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH,  
RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

CIVIL CONSTRUCTION DRAWINGS

AUGUST 2024



- EROSION CONTROL LEGEND**
- 5225 --- EXISTING MAJOR CONTOUR
- 5224 --- EXISTING MINOR CONTOUR
- 5465 --- PROPOSED MAJOR CONTOUR
- 66 --- PROPOSED MINOR CONTOUR
- FLOW ARROW
- LOC --- LIMITS OF CONSTRUCTION/DISTURBANCE
- VTC --- VEHICLE TRACKING CONTROL
- CWA --- CONCRETE WASHOUT AREA
- SSA --- STABILIZED STAGING AREA
- SMC --- SEEDING, MULCHING & CRIMPING (FINAL) (REF. LANDSCAPE PLANS)
- SP --- STOCKPILE PROTECTION
- PCOS --- INLET PROTECTION (SUMP)
- CF --- SILT FENCE
- SF --- CONSTRUCTION FENCE
- SC --- SEDIMENT CONTROL LOG
- PT --- PORTABLE TOILET
- SITE --- SITE POSTING (CONTACTS AND PERMITS)
- WP --- WASHOUT POSTING
- SP --- SWPPP POSTING
- RS --- ROCK SOCKS
- MWP --- MASONRY WORK PROTECTION
- DTC --- DEBRIS & TRASH CONTROL
- STP --- SIDEWALK TRANSITION PROTECTION

- UTILITY LEGEND**
- X" W --- EXISTING WATER LINE
- X" SS --- EXISTING SANITARY SEWER
- --- EXISTING STORM SEWER
- SD --- PROPOSED STORM SEWER
- --- EXISTING SANITARY SEWER MANHOLE
- --- EXISTING WATER VALVE
- --- EXISTING FIRE HYDRANT

- SITE LEGEND**
- --- EXISTING PROPERTY BOUNDARY LINE
- --- EXISTING EASEMENT LINE
- --- EXISTING SIGN
- --- EXISTING CURB AND GUTTER

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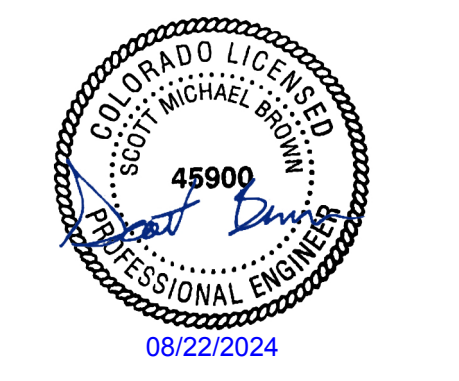
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CIVIL CONSTRUCTION DRAWINGS

18900 E. LINCOLN AVE.  
PARKER, CO 80134

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Project No:	PSP000001
Drawn By:	JRC
Checked By:	SMB
Date:	08/09/2024

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- PHASE 2**
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H:\Plaza Street Partners\CD\_Park\_PSP1\_Peaslee\Drawings\CD\02\0205\020503\02050301.dwg - Matthew Nipper - 2/23/24 8:48



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CIVIL CONSTRUCTION DRAWINGS**

**18900 E. LINCOLN AVE.  
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1	09/23/22	1ST SUBMITTAL	SMB
2	12/14/22	2ND SUBMITTAL	SMB
3	03/06/23	3RD SUBMITTAL	SMB

Project No: PSP000001  
Drawn By: JRC  
Checked By: SMB  
Date: 08/09/2024

**CBMP DETAILS**

**C3.3**  
Sheet 6 of 28

**PLAZA STREET PARTNERS**  
**LINCOLN PROFESSIONAL PARK FILING NO.1 LOT 3**  
**LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH,**  
**RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,**  
**TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO**

**CIVIL CONSTRUCTION DRAWINGS**

**AUGUST 2024**

- GRADING, DRILLING, CLEARING, EXCAVATING, BACK-FILLING, SOIL STRIPPING, SOIL IMPORTING EXPORTING OR ANY OTHER FORM OF SOIL DISTURBANCE SHALL NOT COMMENCE UNTIL A TOWN OF PARKER GRADING/EXCAVATION PERMIT HAS BEEN ISSUED.
- THE TOWN OF PARKER GRADING/EXCAVATION PERMIT IS VALID FOR A PERIOD OF 2 YEARS FROM THE DATE OF ISSUANCE. ANY LAPSE IN PERMIT COVERAGE MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER AND/OR FINES.
- ALL EROSION AND SEDIMENT CONTROL BMPs SHALL BE INSTALLED ACCORDING TO THE CBMP PLAN INSTALLATION NOTES AND DETAILS AND/OR PERMITTED VARIANCES. ALL MATERIALS, WORKMANSHIP AND INSTALLATION METHODS ARE SUBJECT TO INSPECTION BY THE TOWN'S INSPECTOR. THE TOWN OF PARKER RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS, WORKMANSHIP AND/OR INSTALLATION METHODS THAT DO NOT CONFORM TO THE CBMP PLAN AND/OR PERMITTED VARIANCES.
- THE EROSION CONTROL SUPERVISOR SHALL REVISE OR MODIFY THE EROSION AND SEDIMENT CONTROL MEASURES IF IT BECOMES APPARENT THAT THE ORIGINAL PLAN IS INADEQUATE, OR AS A RESULT OF DEFICIENCIES IDENTIFIED DURING INSPECTIONS PERFORMED BY THE TOWN'S INSPECTOR.
- THE INSTALLATION OF ADDITIONAL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) MAY BE REQUIRED OF THE EROSION CONTROL SUPERVISOR, PROPERTY OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS AT ANY TIME THROUGHOUT THE DURATION OF THE PROJECT CONSTRUCTION AND/OR SUBSEQUENT REVEGETATION PERIOD.
- THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE SITE REMAINS IN COMPLIANCE WITH THE NOTICE OF NUISANCE REPORTS (a.k.a. CONSTRUCTION SITE RUNOFF CONTROL INSPECTION REPORTS), APPROVED CBMP PLAN(S) AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
- THE EROSION CONTROL SUPERVISOR SHALL BE READILY AVAILABLE TO DISCUSS AND CORRECT ANY PROBLEMS THAT MAY ARISE RELATING TO GRADING, EROSION AND SEDIMENT CONTROL.
- IF IT IS ANTICIPATED THAT ALL OR A PORTION OF THE PROJECT WILL OCCUR DURING SEASONS SUSCEPTIBLE TO SNOWFALL, THE USE OF CERTAIN EROSION AND SEDIMENT CONTROL BMPs ADJACENT TO PUBLIC ROADWAYS MAY NEED TO BE RECONSIDERED DUE TO THE NATURE OF SNOW REMOVAL OPERATIONS. AN APPROVED ALTERNATIVE MAY BE NECESSARY TO MINIMIZE DAMAGE FROM THESE OPERATIONS. THE TOWN OF PARKER ASSUMES NO RESPONSIBILITY FOR DAMAGE TO ANY BMPs AS A RESULT OF SNOW PLOWING AND SNOW REMOVAL.
- AREAS OF LAND DISTURBANCE EQUAL TO 40 ACRES OR GREATER SHALL NOT BE EXPOSED FOR MORE THAN 30 CONSECUTIVE DAYS WITHOUT TEMPORARY OR PERMANENT STABILIZATION.
- AUTHORIZED EXEMPTIONS MAY BE ALLOWED TO THE 40-ACRE LIMIT FOR REMOVAL AND STORAGE OF CUT MATERIAL WHERE (A) GEOTECHNICAL LIMITATIONS RESTRICT THE USE OF TEMPORARY OR PERMANENT STABILIZATION OF THE STORED MATERIAL (E.G., SWELLING SOILS, ROCK) AND (B) WHEN THE OWNER CAN DEMONSTRATE THAT THE 40-ACRE LIMIT IS PHYSICALLY AND/OR FINANCIALLY IMPRACTICABLE. FOR SITES GRANTED THIS EXEMPTION, A PHASING AND EARTHWORK QUANTITIES PLAN SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT AND APPROVED PRIOR TO THE COMMENCEMENT OF LAND DISTURBANCE ACTIVITIES. SUBMITTAL REQUIREMENTS INCLUDE:
  - PHASING PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
  - EARTHWORK QUANTITY PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
  - BMP PLAN SHOWING SPECIFIC EROSION AND SEDIMENT CONTROLS FOR EACH PHASE.

**Parker COLORADO** **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **GEN NOTES** 1 OF 4 Oct. 2013

- ANY EROSION AND SEDIMENT CONTROL BMPs THAT ARE DAMAGED OR IN NEED OF MAINTENANCE OR REPLACEMENT SHALL BE CORRECTED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
- ALL DEFICIENCIES LISTED ON THE NOTICE OF NUISANCE FORM SHALL BE COMPLETED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES. ALL REQUIRED ACTIONS MUST BE IN THE CORRECTED FORM DURING THE FOLLOW-UP INSPECTION.
- THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR ENSURING THAT ALL STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, ALLEYS, TRICKLE CHANNELS, AND/OR OTHER IMPERVIOUS SURFACES IMPACTED BY CONSTRUCTION ACTIVITIES ARE THOROUGHLY CLEANED THROUGHOUT THE DAY IF THEY BECOME SOILED. THESE AREAS MUST ALSO BE THOROUGHLY CLEAN BEFORE THE END OF THE WORK DAY.
- BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS.
- ALL TRASH RECEPTACLES ON SITE SHALL BE FREE OF HOLES, CRACKS, GAPS, AND/OR OTHER PERMEABLE AREAS THAT MAY ALLOW FOR THE DISCHARGE OF POLLUTANTS.
- ALL TRASH RECEPTACLES ON SITE SHALL BE EMPLOYED AT A FREQUENCY AS TO ENSURE THAT THE TRASH REMAINS CONFINED TO THE RECEPTACLE.
- ALL LOOSE TRASH AND LITTER ASSOCIATED WITH THE PROJECT MUST BE REMOVED AND PROPERLY DISCARDED ON A DAILY BASIS.
- ALL PORTABLE TOILETS SHALL BE STAKED DOWN AT ALL TIMES USING U-SHAPED REBAR STAKES. THE PORTABLE TOILETS SHALL ALSO BE PLACED A MINIMUM DISTANCE OF 10 FEET FROM ALL IMPERVIOUS SURFACES, INCLUDING, BUT NOT LIMITED TO STREETS, CURBS, GUTTERS, SIDEWALKS AND PARKING LOTS.
- THE EROSION CONTROL SUPERVISOR SHALL MAINTAIN STRICT ADHERENCE TO THE LIMITS OF CONSTRUCTION AND PROPERTY LIMITS FOR ALL MATERIALS, VEHICLES AND EQUIPMENT. FAILURE TO ABIDE BY THIS REQUIREMENT MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER.
- ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE THROUGH THE APPROVED ACCESS POINT(S). A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL APPROVED ACCESS POINTS TO THE SITE. EXCEPTIONS MAY BE CONSIDERED FOR CONSTRUCTION ACTIVITY OCCURRING IMMEDIATELY ADJACENT TO PAVED AREAS AND WHERE ALTERNATIVE BMPs ARE IMPLEMENTED. SUCH ACTIVITY MAY INCLUDE, BUT NOT BE LIMITED TO RESIDENTIAL CONSTRUCTION, UTILITY CONSTRUCTION, ETC.
- NO PERMANENT SLOPES GREATER THAN 3:1 ARE ALLOWED.
- ALL PERMANENT SLOPES STEEPER THAN 4:1 (HORIZONTAL TO VERTICAL) SHALL REQUIRE EROSION CONTROL BLANKET(S). TEMPORARY SLOPES IN TEMPORARY SEDIMENT BASINS THAT ARE STEEPER THAN 4:1 MAY REQUIRE EROSION CONTROL BLANKETS.
- THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ADVERSE IMPACTS THAT OCCUR TO NEIGHBORING PROPERTIES. THE EROSION CONTROL SUPERVISOR MUST OBTAIN PERMISSION FROM LAND OWNERS PRIOR TO ENTERING SUCH PROPERTY.
- A WATER SOURCE SHALL BE AVAILABLE ONSITE DURING CONSTRUCTION ACTIVITIES, AND UTILIZED TO MINIMIZE FUGITIVE DUST. ALTERNATIVE BMPs MAY BE REQUIRED IF INITIAL ATTEMPTS TO SUPPRESS DUST ARE UNSUCCESSFUL.

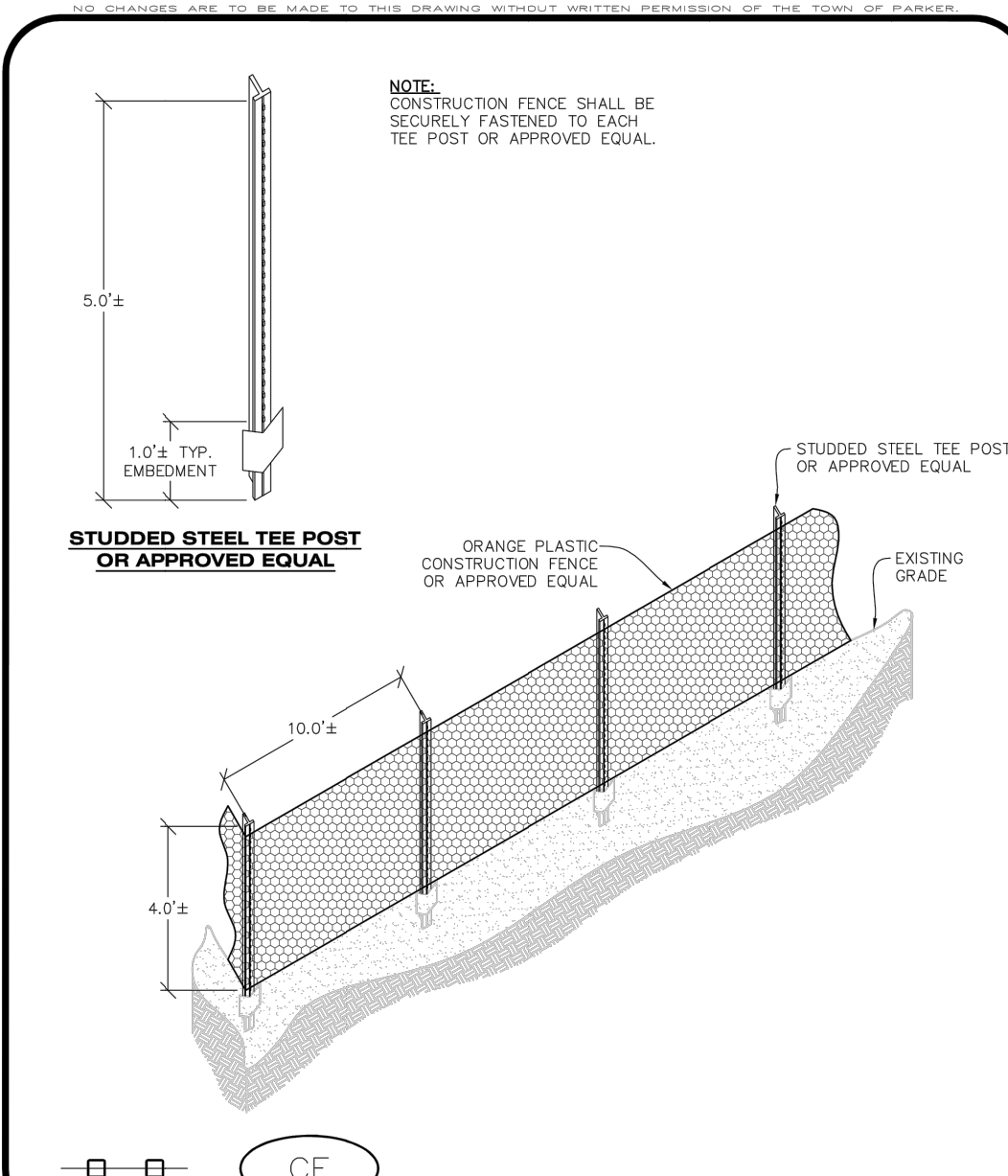
**Parker COLORADO** **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **GEN NOTES** 2 OF 4 Oct. 2013

- ALL CHEMICAL OR HAZARDOUS MATERIAL SPILLS, INCLUDING CONCRETE WASHOUT WATER, WHICH MAY ENTER WATERS OF THE STATE OF COLORADO, WHICH INCLUDES BUT ARE NOT LIMITED TO, SURFACE WATER, GROUND WATER, DRY GULLIES OR STORM SEWERS LEADING TO SURFACE WATER, SHALL BE IMMEDIATELY REPORTED TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) PER 25-8-601, AND THE TOWN OF PARKER. RELEASES OF PETROLEUM PRODUCTS AND CERTAIN HAZARDOUS SUBSTANCES LISTED UNDER THE FEDERAL CLEAN WATER ACT (40 CFR PART 116) MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER AND THE CDPHE. SPILLS THAT POSE AN IMMEDIATE SAFETY HAZARD SHALL BE REPORTED TO 911.
- THE CLEANING OF CONCRETE TRUCKS AND EQUIPMENT IS RESTRICTED TO THE APPROVED CONCRETE WASHOUT LOCATION ON THE JOB SITE. CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO STATE WATERS OR STORM SEWER SYSTEMS.
- VEHICLE AND EQUIPMENT DEGREASING IS PROHIBITED ON THE JOB SITE.
- ALL DEWATERING ON SITE SHALL BE COORDINATED WITH THE TOWN'S INSPECTOR. A STATE PERMIT MAY BE REQUIRED FOR DEWATERING. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR OBTAINING AND ADHERING TO ALL APPLICABLE PERMITS.
- HYDRAULIC SEEDING AND/OR HYDRAULIC MULCHING ARE ONLY ALLOWED IN AREAS UNDER TEMPORARY OR PERMANENT IRRIGATION OR FOR THE PURPOSE OF TEMPORARY SOIL STABILIZATION.
- APPLICABLE CONSTRUCTION BMPs SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL ALL LANDSCAPING HAS BEEN INSTALLED AND THE DESIRABLE VEGETATION HAS REACHED A POINT IN WHICH EROSION AND SEDIMENTATION IS NO LONGER A CONCERN AS DETERMINED BY THE TOWN'S INSPECTOR.
- GRADING SECURITY RELEASE REQUIREMENTS:
  - DEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H AND J, OR ITEMS I AND J (BELOW).
    - ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
    - UNIFORM PERENNIAL VEGETATION COVER HAS BEEN ESTABLISHED WITH AN INDIVIDUAL PLANT DENSITY OF AT LEAST SEVENTY PERCENT (70%) OF PRE-DISTURBANCE LEVELS.
    - ALL CBMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
    - IF ANY EROSION IS PRESENT, IT IS INSIGNIFICANT AND IS NOT LEAVING THE SITE AND/OR LEADING INTO ANY ON-SITE DRAINAGE INFRASTRUCTURE THAT MAY CONVEY SURFACE WATER OFF SITE.
    - WEEDS REPRESENT NO MORE THAN FIFTY PERCENT (50%) OF THE TOTAL VEGETATION ON THE SITE.
    - NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
    - THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
    - WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
    - A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR ASSIGNMENT AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION AT THE TIME OF CLOSING TO ENSURE THAT THE NEW SITE OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.

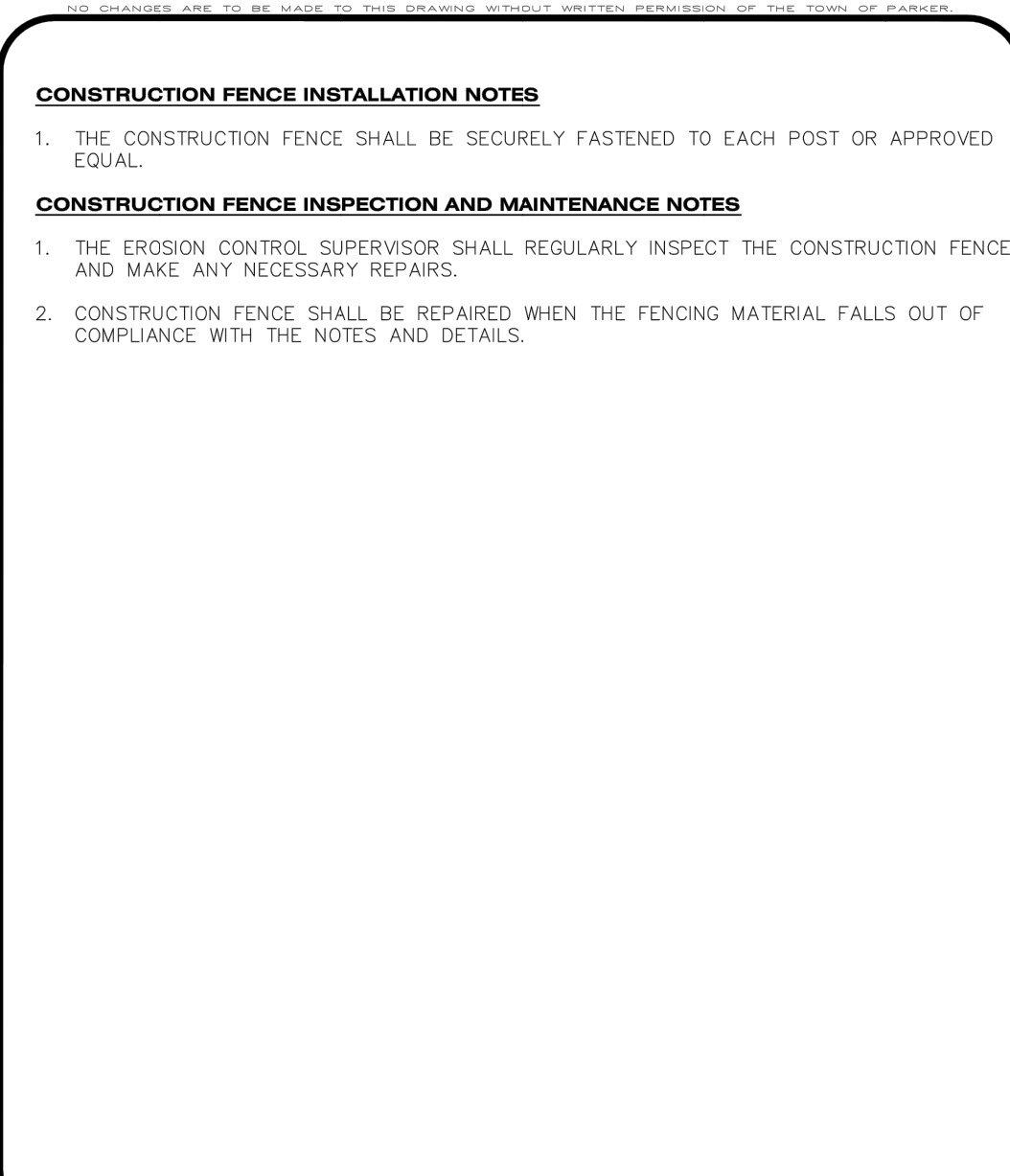
**Parker COLORADO** **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **GEN NOTES** 3 OF 4 Oct. 2013

- NONDEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H AND J, OR ITEMS I AND J (BELOW).
  - ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
  - ALL CBMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
  - EROSION IS NEGLIGIBLE, IF EVEN PRESENT.
  - THE VEGETATION REPRESENTS A PERENNIAL STAND OF A DENSE, UNIFORM SURFACE OF GRASS WITH NO AREA GREATER THAN ONE (1) SQUARE FOOT THAT IS BARREN OR DESIRABLE VEGETATION, INFREQUENT, WIDELY SCATTERED AREAS WHERE NATIVE VEGETATION HAS NOT YET TAKEN HOLD MAY QUALIFY FOR ACCEPTANCE AT THE DISCRETION OF THE TOWN.
  - WEEDS REPRESENT NO MORE THAN TEN PERCENT (10%) OF THE TOTAL VEGETATION ON SITE.
  - NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
  - THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
  - WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
  - A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR THE GRADING PERMIT HAS BEEN ASSIGNED AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION AT THE TIME OF CLOSING ON THE SALE OF A SITE THAT IS SUBJECT TO A GRADING PERMIT, TO ENSURE THAT THE NEW PROPERTY OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.
  - ALL KNOWN DRAINAGE ISSUES ASSOCIATED WITH THE PROJECT HAVE BEEN MITIGATED AND A SUFFICIENT AMOUNT OF TIME HAS PASSED TO ENSURE THAT SUCH ISSUES HAVE BEEN CORRECTED. THIS REQUIREMENT DOES NOT INCLUDE THOSE DRAINAGE ISSUES ORIGINATING ON RESIDENTIAL LOTS.
  - NOXIOUS WEEDS MUST BE CONTROLLED AS PROVIDED UNDER STATE LAW AND SECTION 6.01.260 OF THE TOWN OF PARKER MUNICIPAL CODE. FAILURE TO CONTROL NOXIOUS WEEDS ON THE SITE MAY CONSTITUTE A NUISANCE, SUBJECT TO THE PENALTIES CONTAINED IN THE CODE.
- DEFINITIONS:
  - DEVELOPABLE PROPERTY MEANS ANY LAND THAT HAS BEEN GRADED AND IS PART OF A PLATTED LOT OR PLATTED TRACT OF RECORD, THAT WAS PLATTED FOR FUTURE DEVELOPMENT, INCLUDING RESIDENTIAL HOME CONSTRUCTION OR PUBLIC IMPROVEMENTS.
  - NONDEVELOPABLE PROPERTY MEANS LAND THAT HAS BEEN GRADED AND WILL NOT BE FURTHER DISTURBED AS PART OF ANY FUTURE DEVELOPMENT. EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO: PARKS, OPEN SPACE, HOMEOWNER ASSOCIATION OR BUSINESS ASSOCIATION PLATTED TRACTS, DETENTION POND AND DRAINAGEWAYS.
- FAILURE TO COMPLY WITH ANY OF THE REQUIREMENTS DESCRIBED IN THIS SECTION MAY RESULT IN THE ISSUANCE OF A NOTICE OF INTENT TO ISSUE A STOP WORK ORDER, A STOP WORK ORDER AND/OR THE REMEDIES/PENALTIES DESCRIBED IN CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE.
- ANY PERSON CONVICTED OF VIOLATING ANY PROVISION OF THE TOWN OF PARKER, GRADING & EARTH MOVEMENT SECTION OF THE MUNICIPAL CODE SHALL BE GUILTY OF A MISDEMEANOR AND, UPON CONVICTION, BE PUNISHED BY A FINE OF NOT MORE THAN FOUR HUNDRED NINETY NINE DOLLARS (\$499.00) FOR EACH SEPARATE OFFENSE. EACH DAY A VIOLATION CONTINUES SHALL CONSTITUTE A SEPARATE OFFENSE. THE TOWN ALSO MAY SEEK IN MUNICIPAL COURT AN INJUNCTION, ABATEMENT, RESTITUTION OR ANY OTHER REMEDY TO PREVENT, ENJOIN, ABATE OR REMOVE THE VIOLATION. A PERSON CONVICTED OF VIOLATING CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE SHALL BE LIABLE FOR THE ACTUAL COST OF REHABILITATING THE PROPERTY. THE COSTS MAY BE RECOVERED AS RESTITUTION IN MUNICIPAL COURT PROCEEDINGS OR IN A SEPARATE CIVIL ACTION.
- THE TOWN OF PARKER RESERVES THE RIGHT TO ALLOW MODIFICATIONS AND SUBSTITUTIONS TO THE CBMP NOTES AND DETAILS WHEN SUCH MODIFICATIONS AND SUBSTITUTIONS OFFER THE SAME LEVEL OF PROTECTION AS THE REQUIREMENTS BASED UPON THE SPECIFIC SITUATION. AS DETERMINED BY TOWN STAFF. DUE TO THE INSIGNIFICANCE AND REGULARITY OF SUCH MODIFICATIONS AND SUBSTITUTIONS, THE APPROVAL OF SUCH VARIATIONS MAY NOT BE DOCUMENTED BY TOWN STAFF.

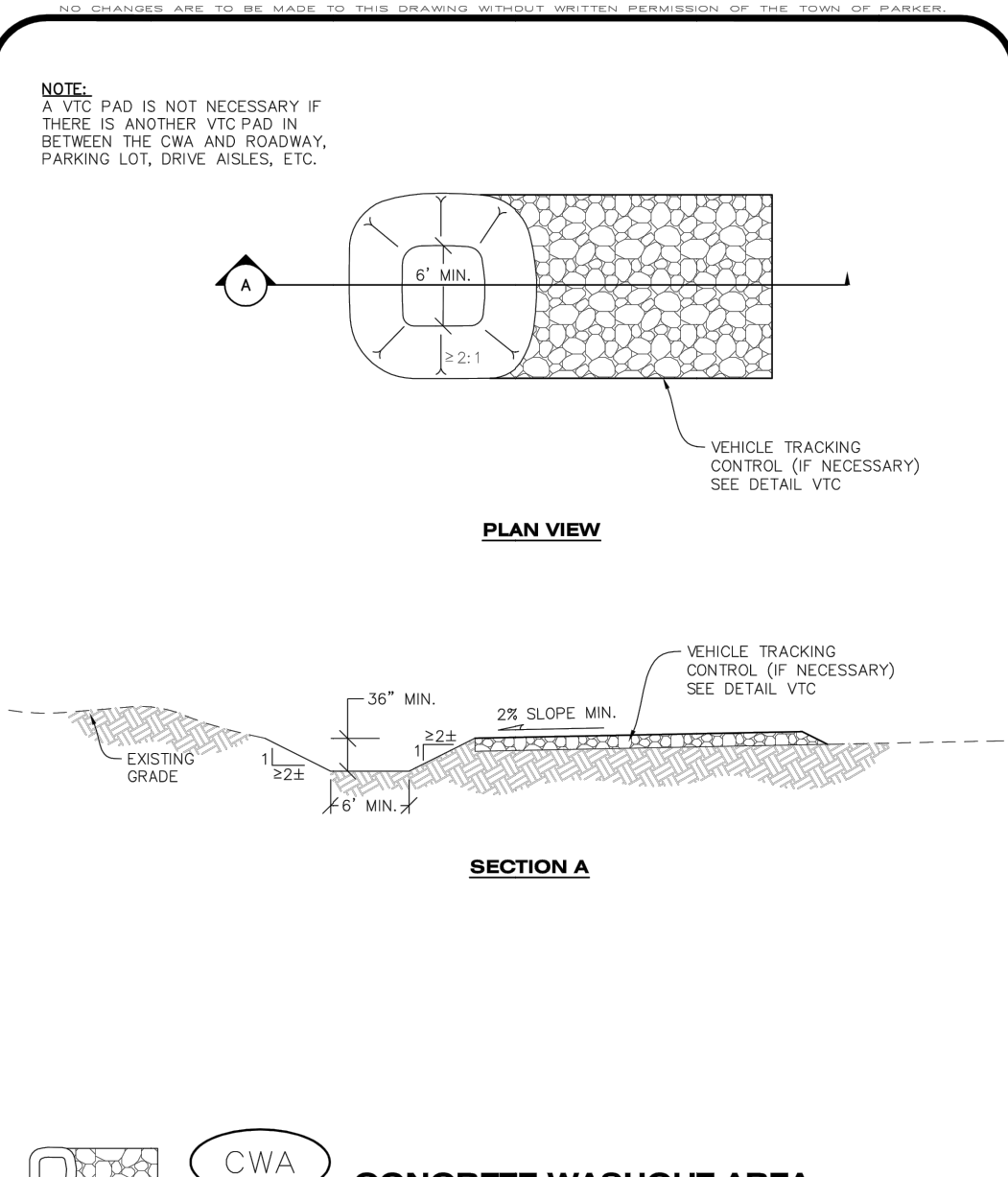
**Parker COLORADO** **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **GEN NOTES** 4 OF 4 Oct. 2013



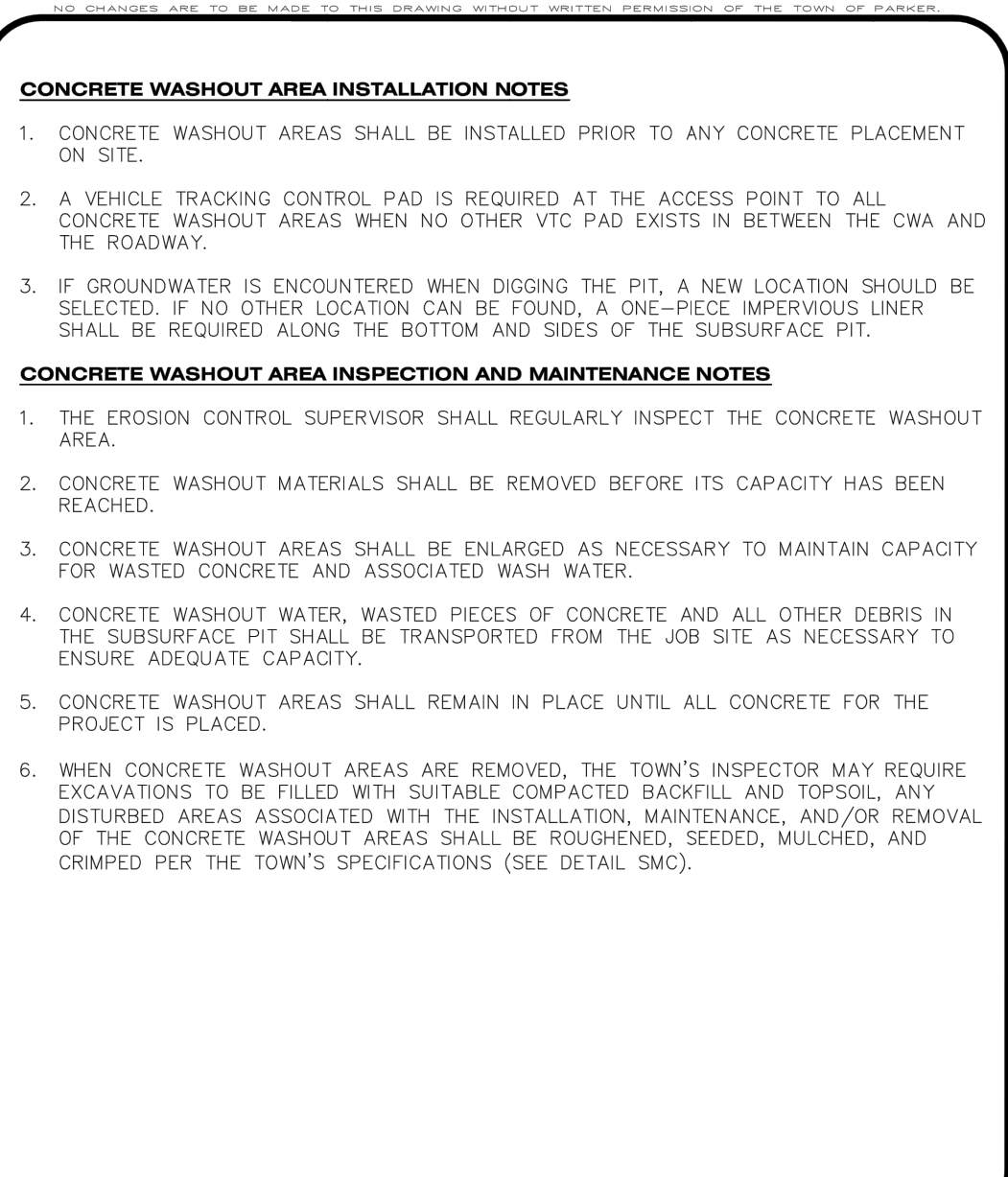
**Parker COLORADO** **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **CF** 1 OF 2 Oct. 2013



**Parker COLORADO** **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **CF** 2 OF 2 Oct. 2013



**Parker COLORADO** **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **CWA** 1 OF 2 Oct. 2013



**Parker COLORADO** **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **CWA** 2 OF 2 Oct. 2013

# LINCOLN PROFESSIONAL PARK FILING NO.1 LOT 3

LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH,  
RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

## CIVIL CONSTRUCTION DRAWINGS

AUGUST 2024

5500 Greenwood Plaza Blvd., Suite 200  
Greenwood Village, CO 80111  
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GallowayUS.com



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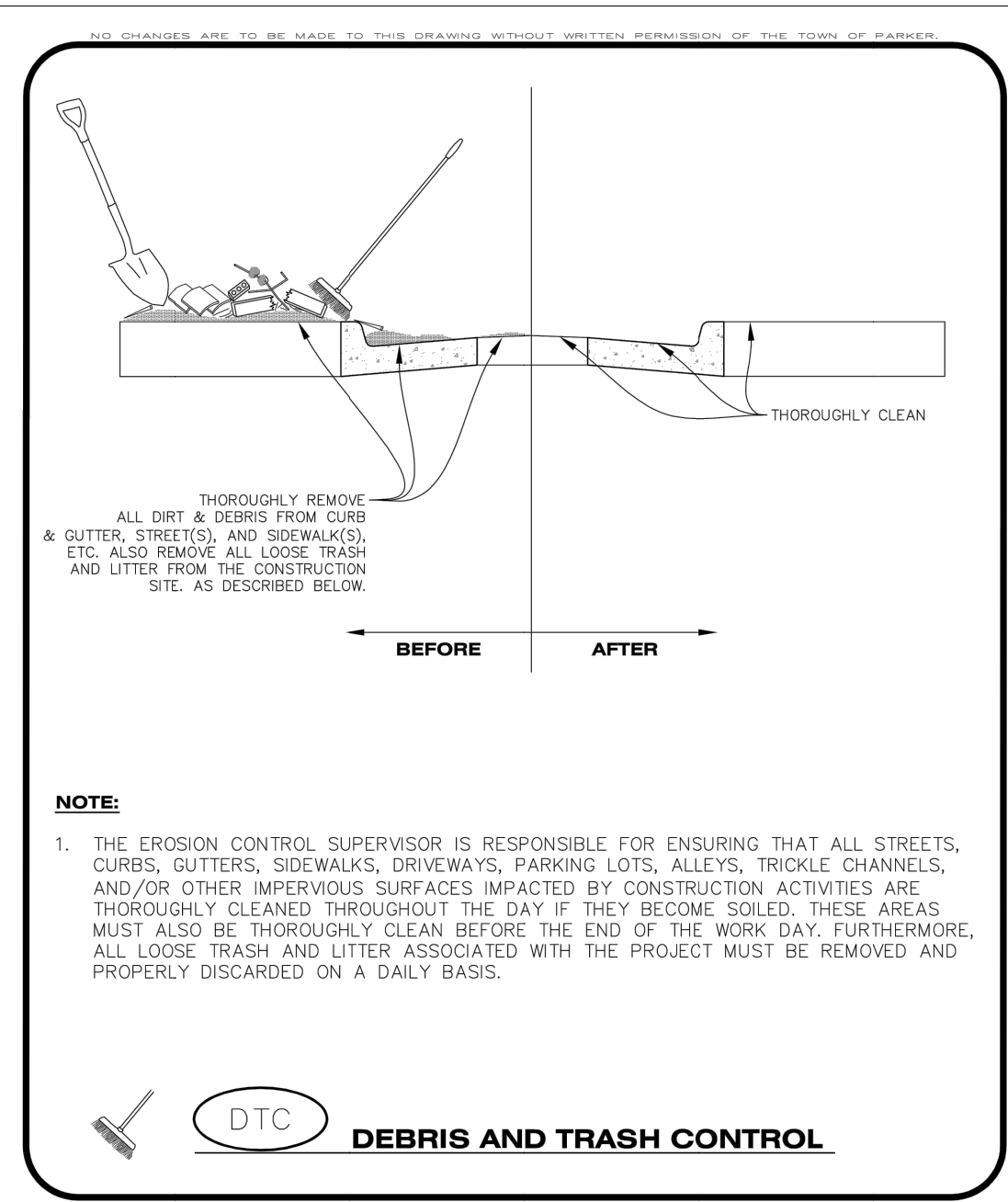
PLAZA STREET PARTNERS  
CIVIL CONSTRUCTION DRAWINGS

18900 E. LINCOLN AVE.  
PARKER, CO 80134

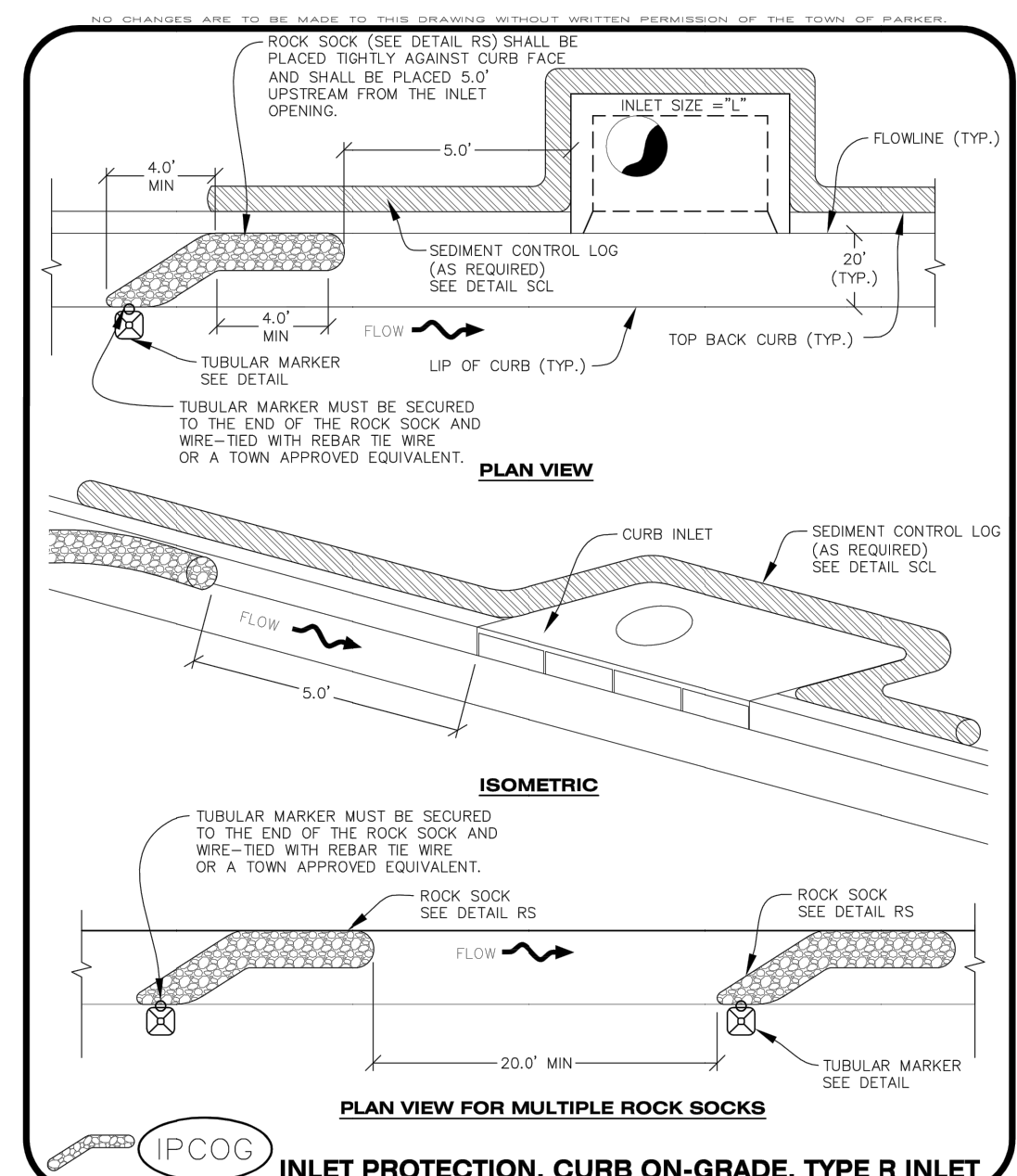
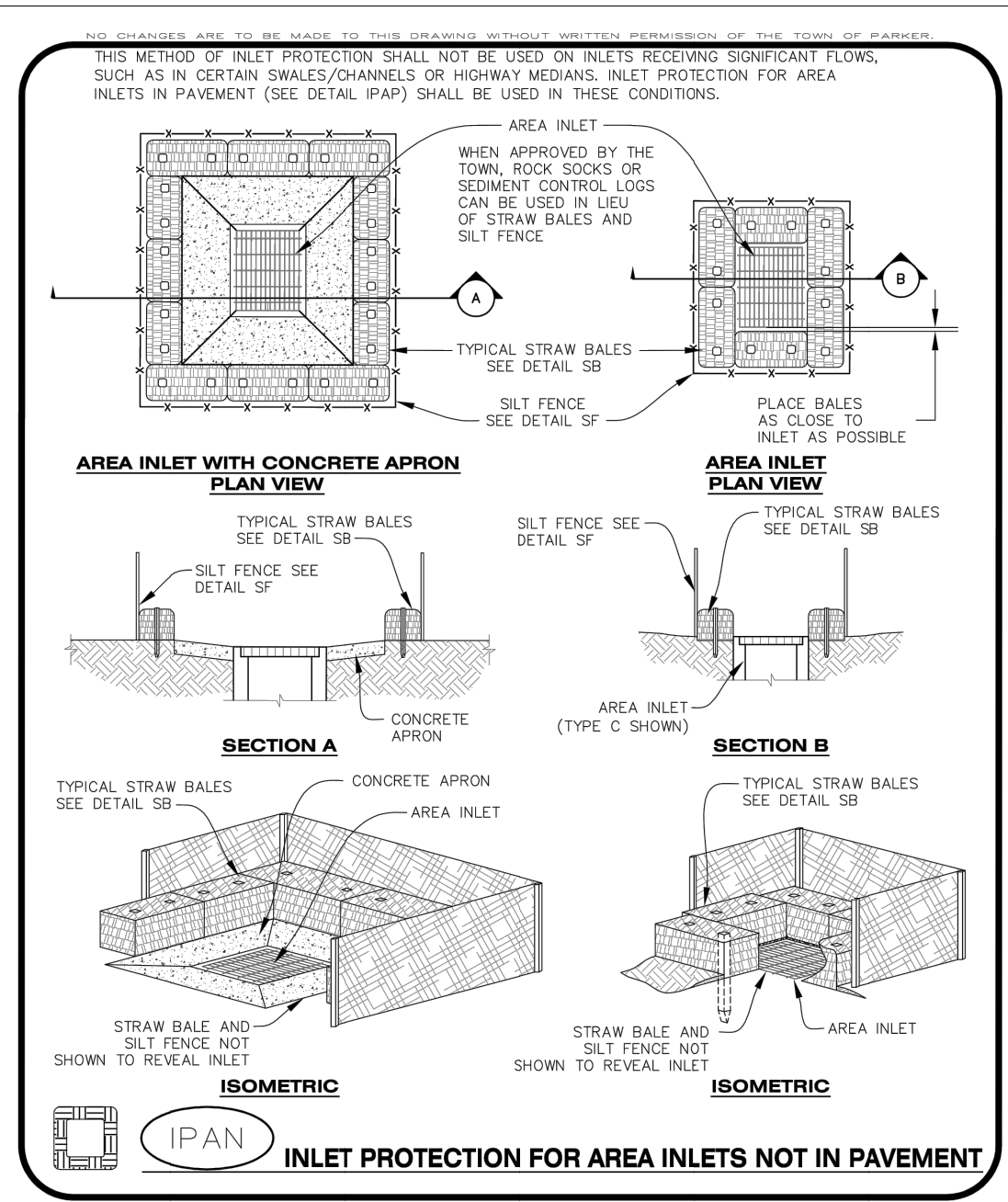
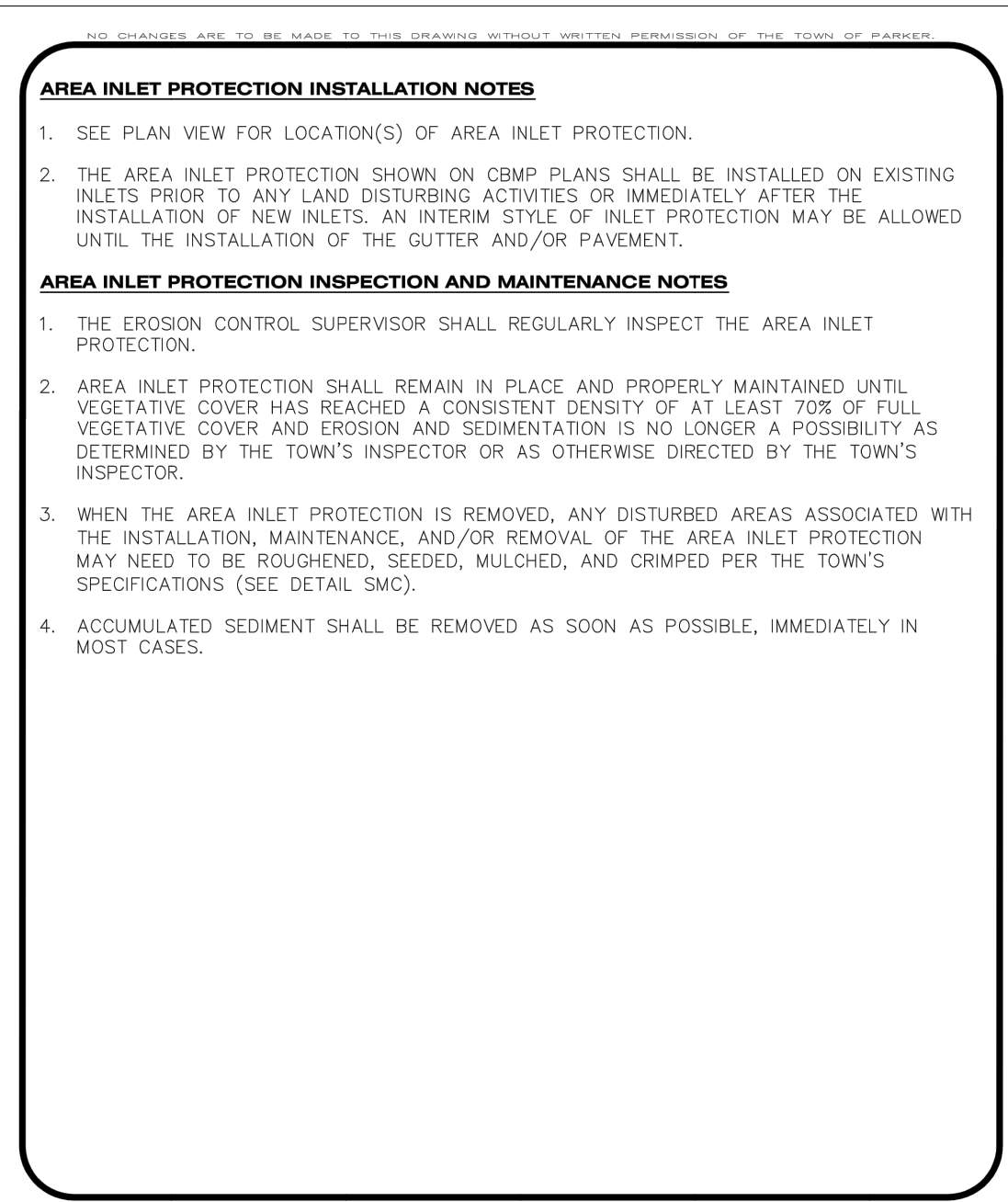
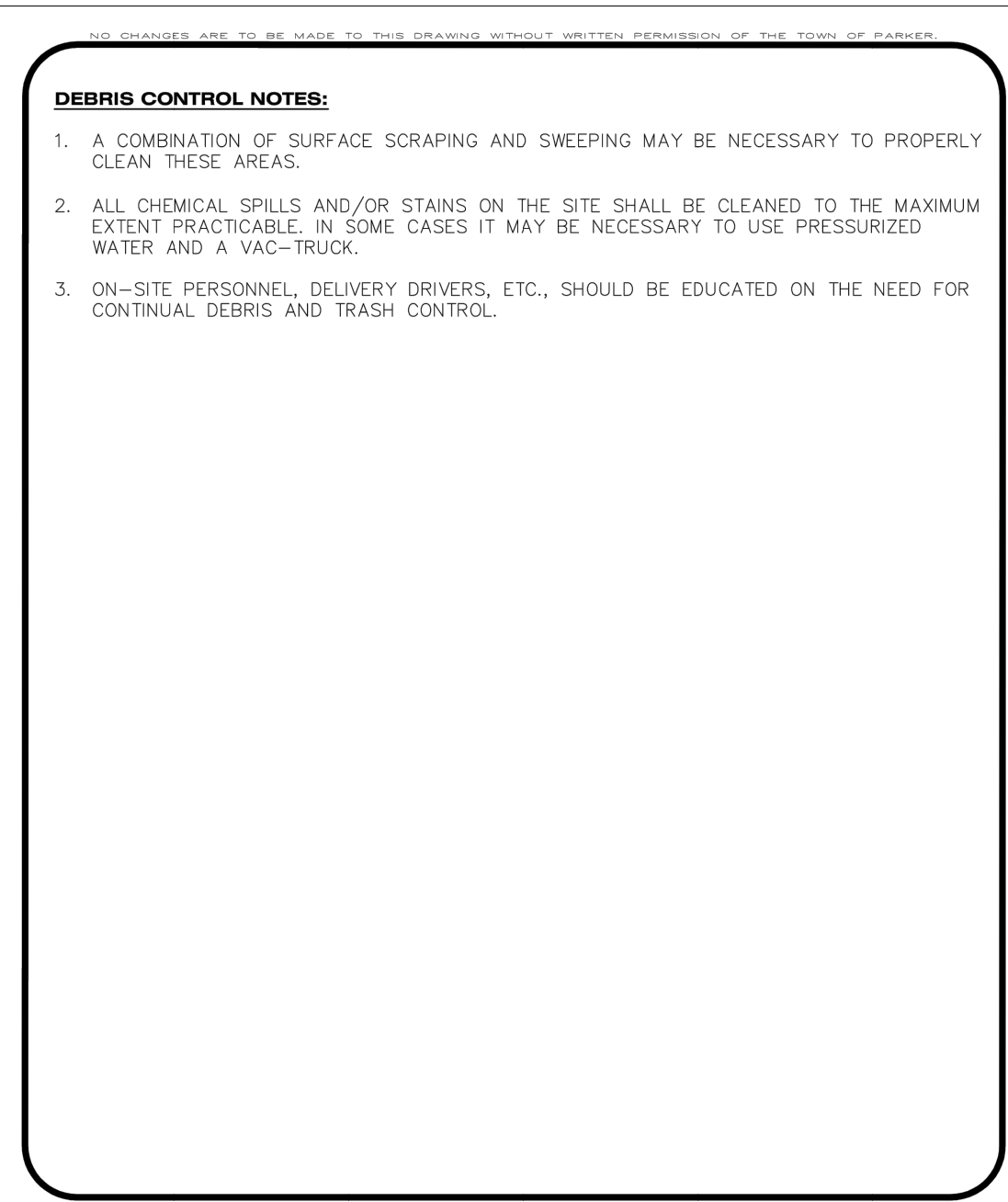
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2	12/14/22	2ND SUBMITTAL	SMB
3	03/08/23	3RD SUBMITTAL	SMB

Project No: PSP00001  
Drawn By: JRC  
Checked By: SMB  
Date: 08/09/2024

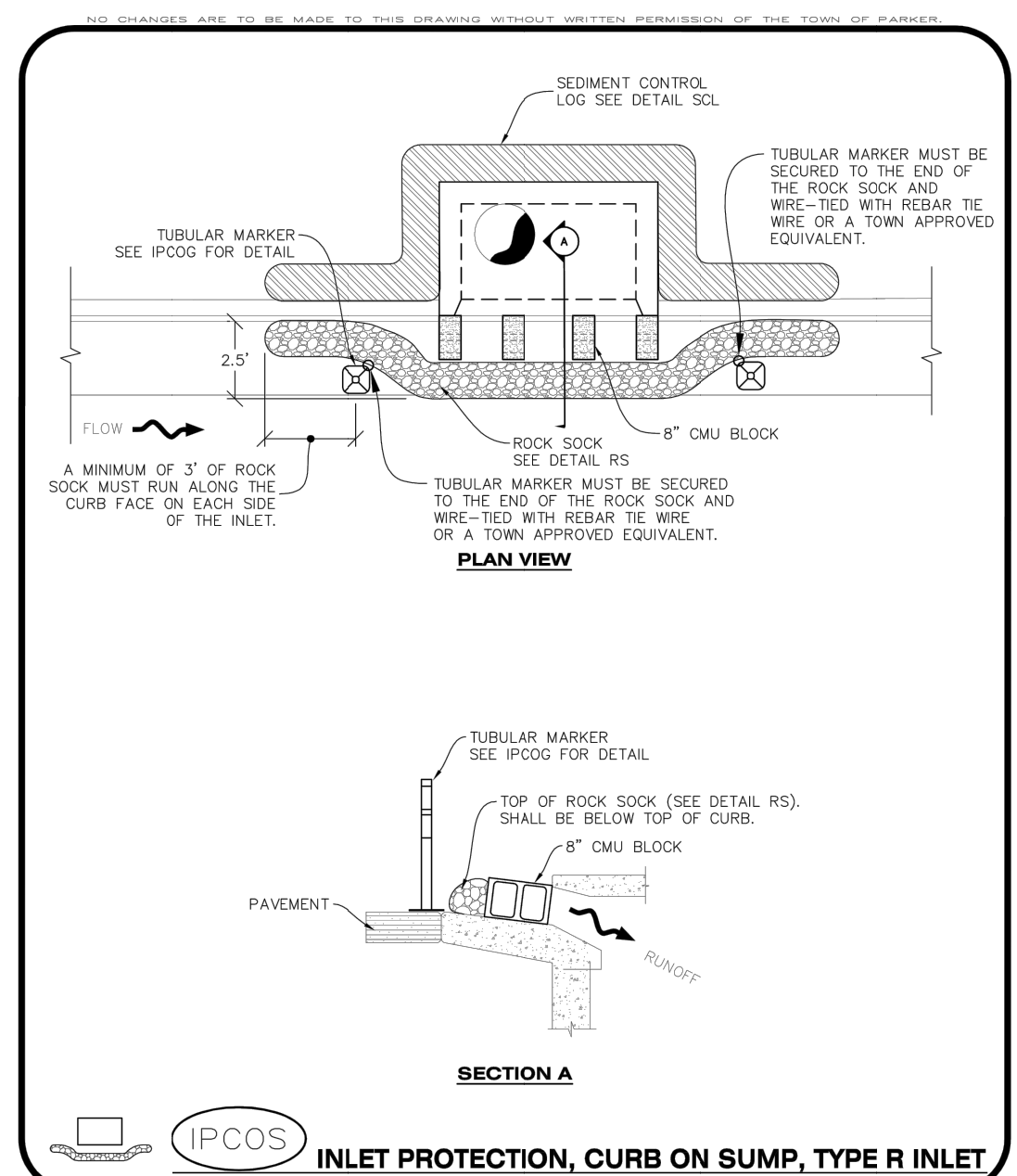
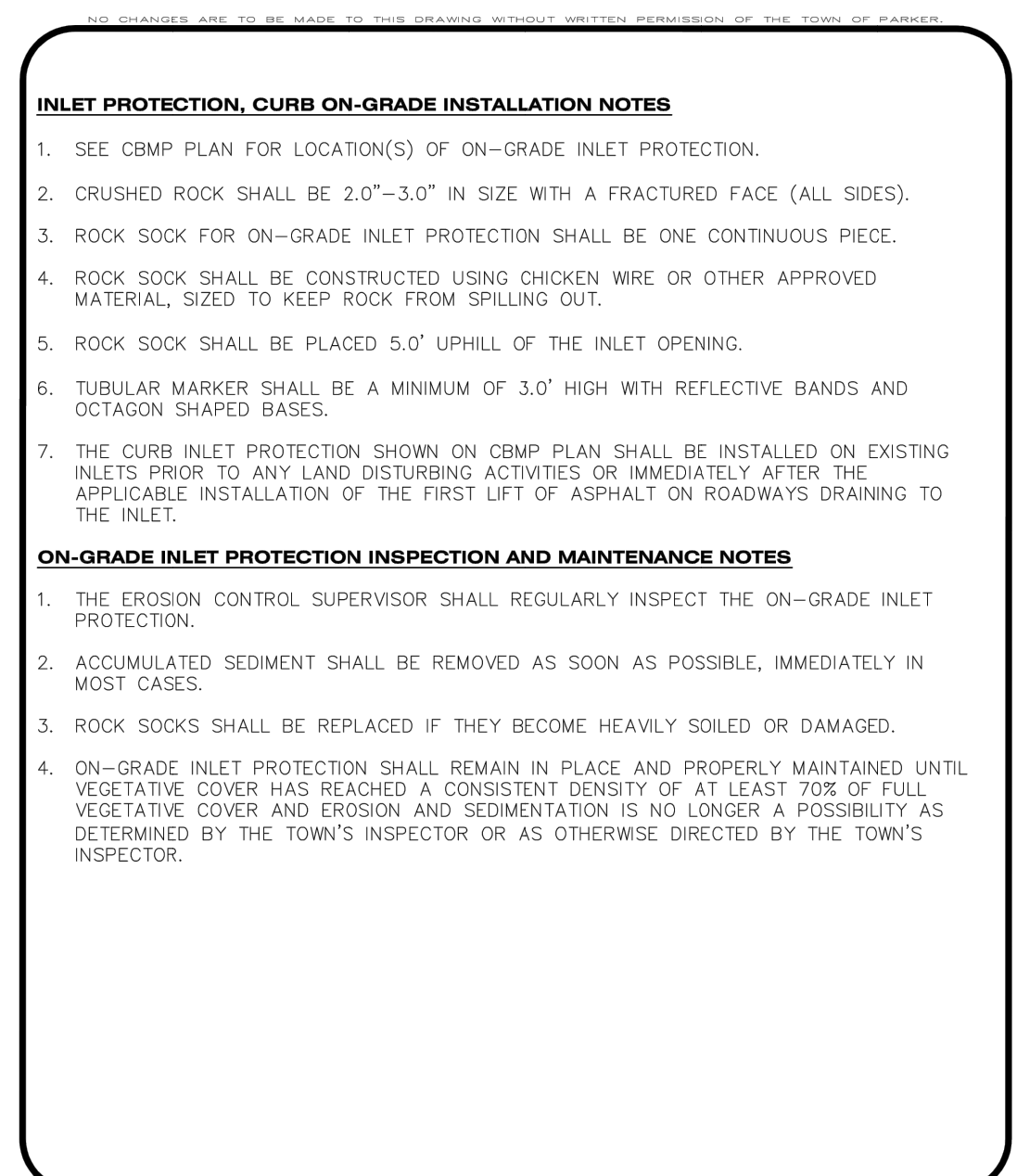
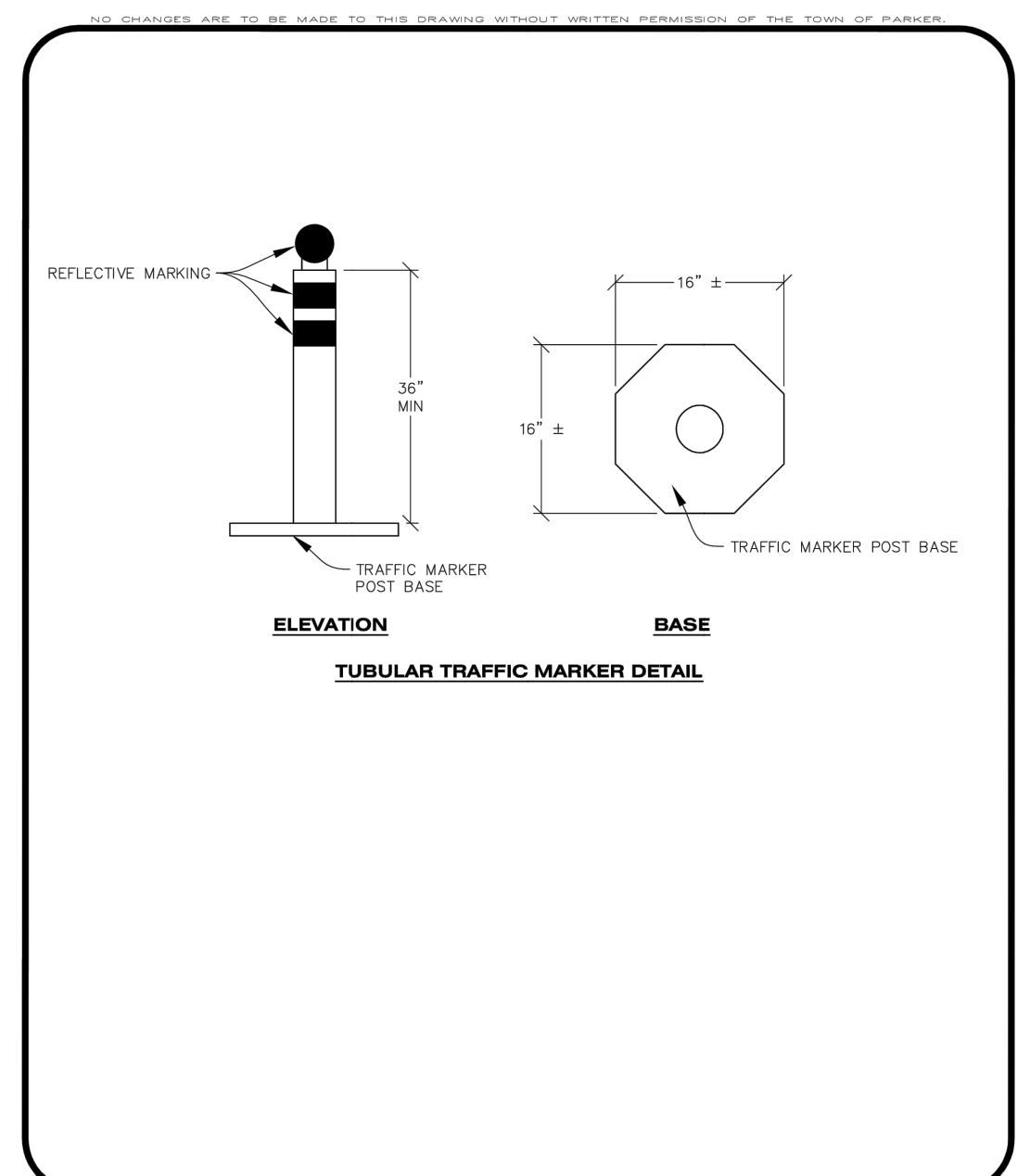
CBMP DETAILS



**Parker COLORADO** | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **DTC** 1 OF 2 Oct. 2013



**Parker COLORADO** | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **IPCOG** 1 OF 3 Oct. 2013



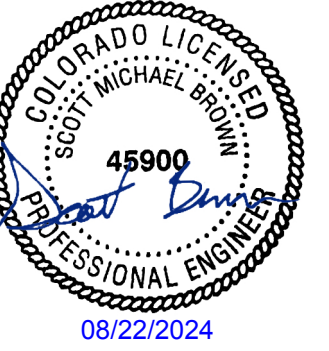
**Parker COLORADO** | **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES | **IPCOG** 1 OF 2 Oct. 2013

# LINCOLN PROFESSIONAL PARK FILING NO.1 LOT 3

LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH,  
RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

## CIVIL CONSTRUCTION DRAWINGS

AUGUST 2024



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PLAZA STREET PARTNERS  
CIVIL CONSTRUCTION DRAWINGS

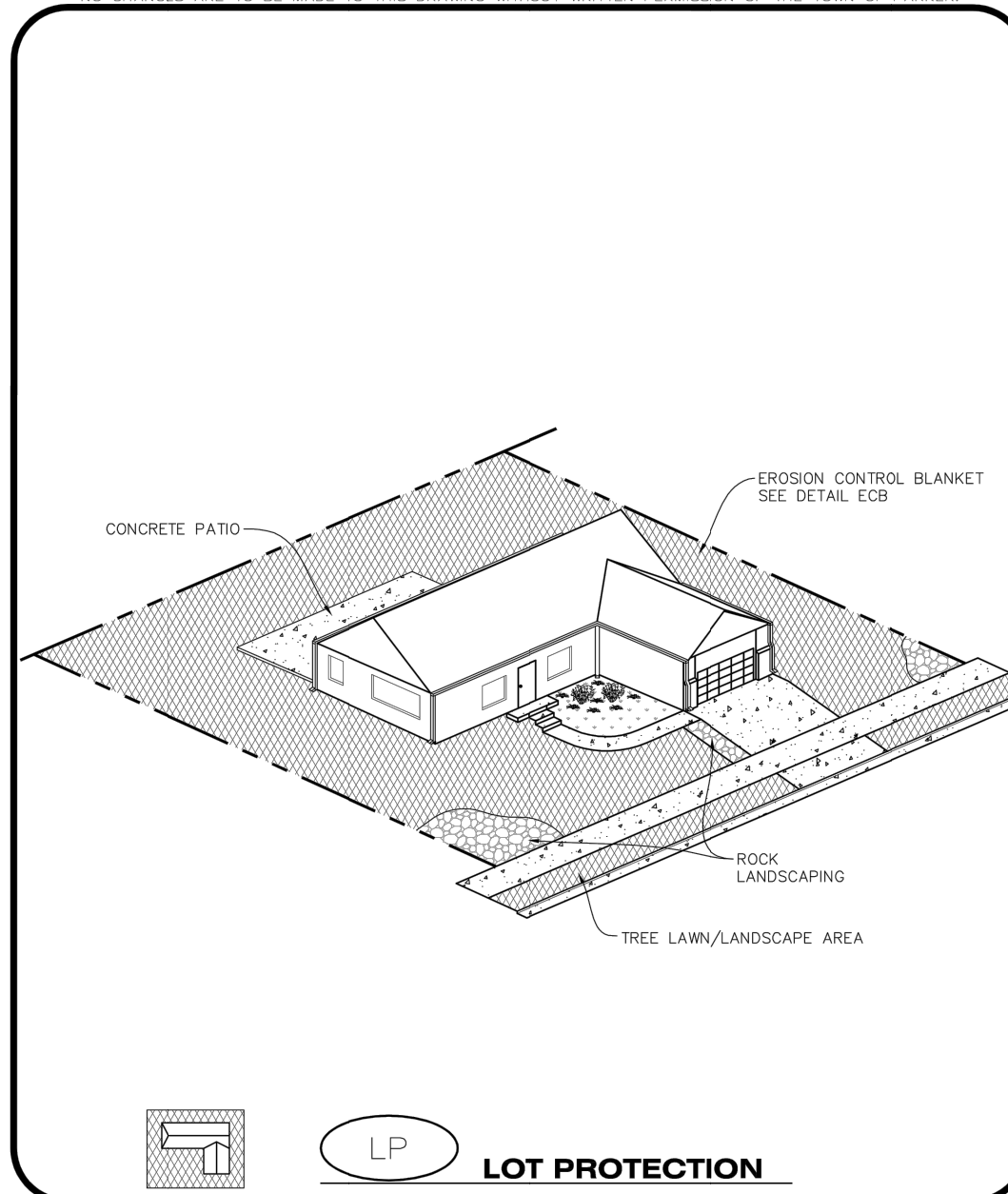
18900 E. LINCOLN AVE.  
PARKER, CO 80134

**CURB INLET PROTECTION INSTALLATION NOTES**

- SEE CBMP PLAN FOR LOCATION(S) OF CURB INLET PROTECTION.
- CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
- ROCK SOCK SHALL BE ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAPPED JOINTS (SEE DETAIL RS).
- ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL SIZED TO KEEP ROCK FROM SPILLING OUT.
- ROCK SOCK SHALL EXTEND 3.0' ALONG THE CURB BEYOND LOCATIONS WHERE IT RETURNS TO CONTACT CURB FACE.
- TUBULAR TRAFFIC MARKERS SHALL BE A MINIMUM OF 36" IN HEIGHT WITH REFLECTIVE BANDS AND OCTAGON SHAPED BASES.
- THE CURB INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE INSTALLATION OF THE FIRST LIFT OF ASPHALT ON ROADWAYS DRAINING TO THE CURB INLET. CMU BLOCKS OR THE ROCK SOCK SHALL BE USED AS INTERIM PROTECTION UNTIL THE FIRST LIFT OF ASPHALT IS INSTALLED.

**CURB INLET PROTECTION INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CURB INLET PROTECTION.
- ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
- CURB INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.



**EROSION CONTROL BLANKET FOR LOT PROTECTION INSTALLATION NOTES**

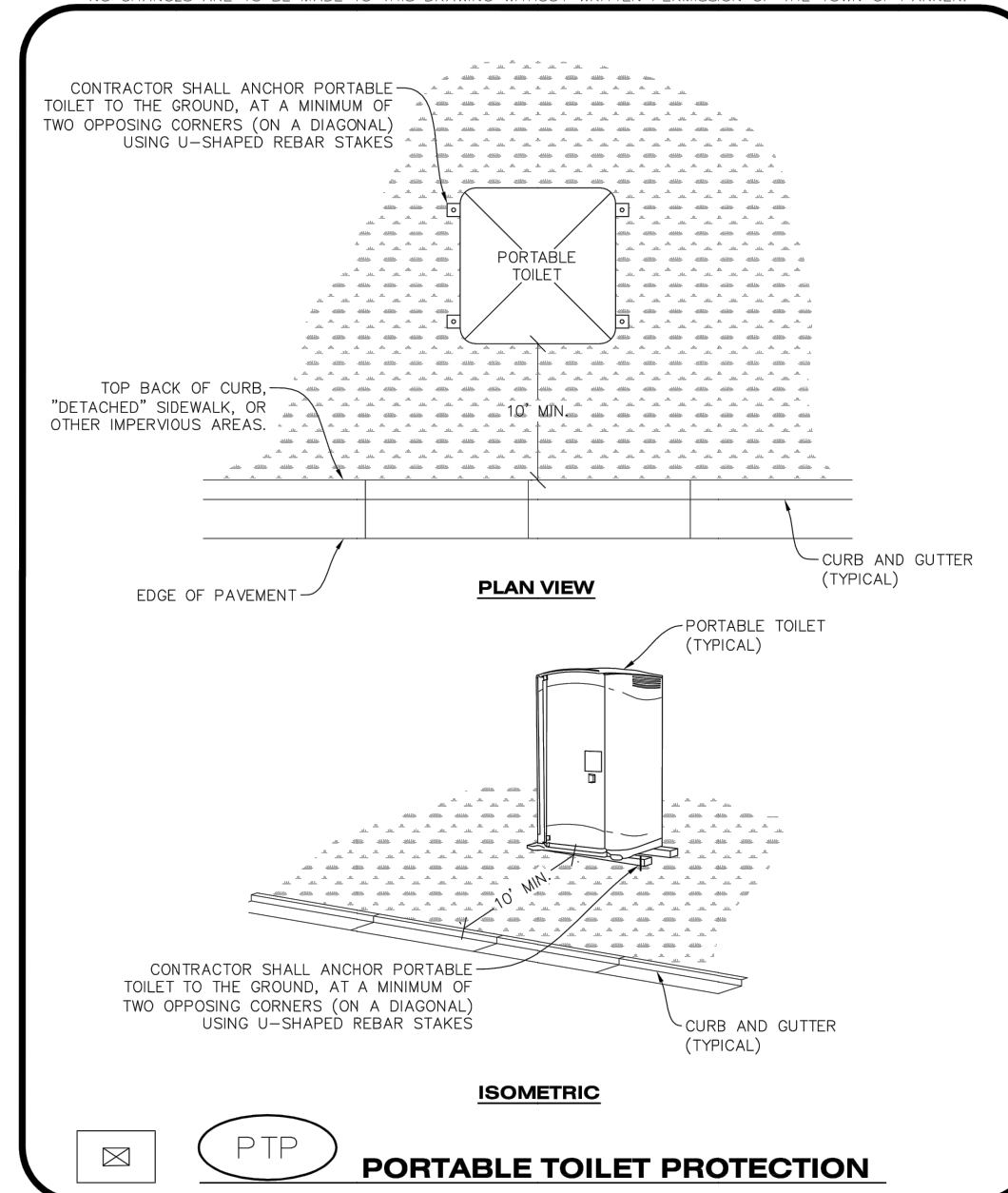
- ALL EROSION CONTROL BLANKETS FOR LOT PROTECTION INSTALLED IN THE TOWN SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:

MANUFACTURER	PRODUCT NAME
NORTH-AMERICAN GREEN	3750 BN
APPROVED EQUAL	APPROVED EQUAL

- ALL EROSION CONTROL BLANKETS FOR LOT PROTECTION SHALL BE INSTALLED ACCORDING TO THE DETAIL DRAWINGS, WITH THE FOLLOWING ALLOWANCES AND ADDITIONS:
  - THE TOWN WILL ALLOW THE USE OF BIODEGRADABLE, EROSION CONTROL BLANKET-SPECIFIC STAPLES, IN LIEU OF TRADITIONAL METAL STAPLES.
  - ALL EROSION CONTROL BLANKET EDGES (SIDES AND ENDS) MUST OVERLAP THE ADJACENT BLANKET BY A MINIMUM OF 6-INCHES WITH THE UP-GRADED EDGES BEING PLACED ON TOP OF THE DOWN-GRADIENT EDGE OF THE ADJACENT BLANKET.
  - THE EDGES (SIDES AND ENDS) OF THE EROSION CONTROL BLANKETS DO NOT NEED TO BE TRENCHED INTO THE GROUND ASSUMING THE SITE CONDITIONS WILL NOT CAUSE EROSION BENEATH THE BLANKETS. THESE ASSUMPTIONS WILL BE THE RESPONSIBILITY OF THE EROSION CONTROL SUPERVISOR. ON OCCASION, THE TOWN'S INSPECTOR MAY REQUEST TRENCHING BASED UPON SITE CONDITIONS.
  - TOPSOIL PLACEMENT, SEEDING, AND MULCHING WILL NOT BE REQUIRED ON THE LOTS PRIOR TO THE INSTALLATION OF THE EROSION CONTROL BLANKET.
- ANY DAMAGED OR EXCESS STAPLES SHALL BE REMOVED FROM THE SITE FOLLOWING INSTALLATION.
- THE EROSION CONTROL BLANKETING REQUIRED AS PART OF THE LOT PROTECTION (LP) REQUIREMENT MUST BE INSTALLED OVER ALL UN-LANDSCAPED AREAS WITHIN EACH RESIDENTIAL, MULTI-FAMILY, AND COMMERCIAL LOT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY / TEMPORARY CERTIFICATE OF OCCUPANCY.

**EROSION CONTROL BLANKET FOR LOT PROTECTION MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE EROSION CONTROL BLANKET FOR LOT PROTECTION.
- EROSION CONTROL BLANKETS FOR LOT PROTECTION ARE INTENDED TO REMAIN IN PLACE AND MAINTAINED UNTIL LANDSCAPING IS INSTALLED.



**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 2 Oct. 2013  
**IPCOS** 2 OF 2 Oct. 2013

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 2 Oct. 2013  
**LP** 1 OF 2 Oct. 2013

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 2 Oct. 2013  
**LP** 2 OF 2 Oct. 2013

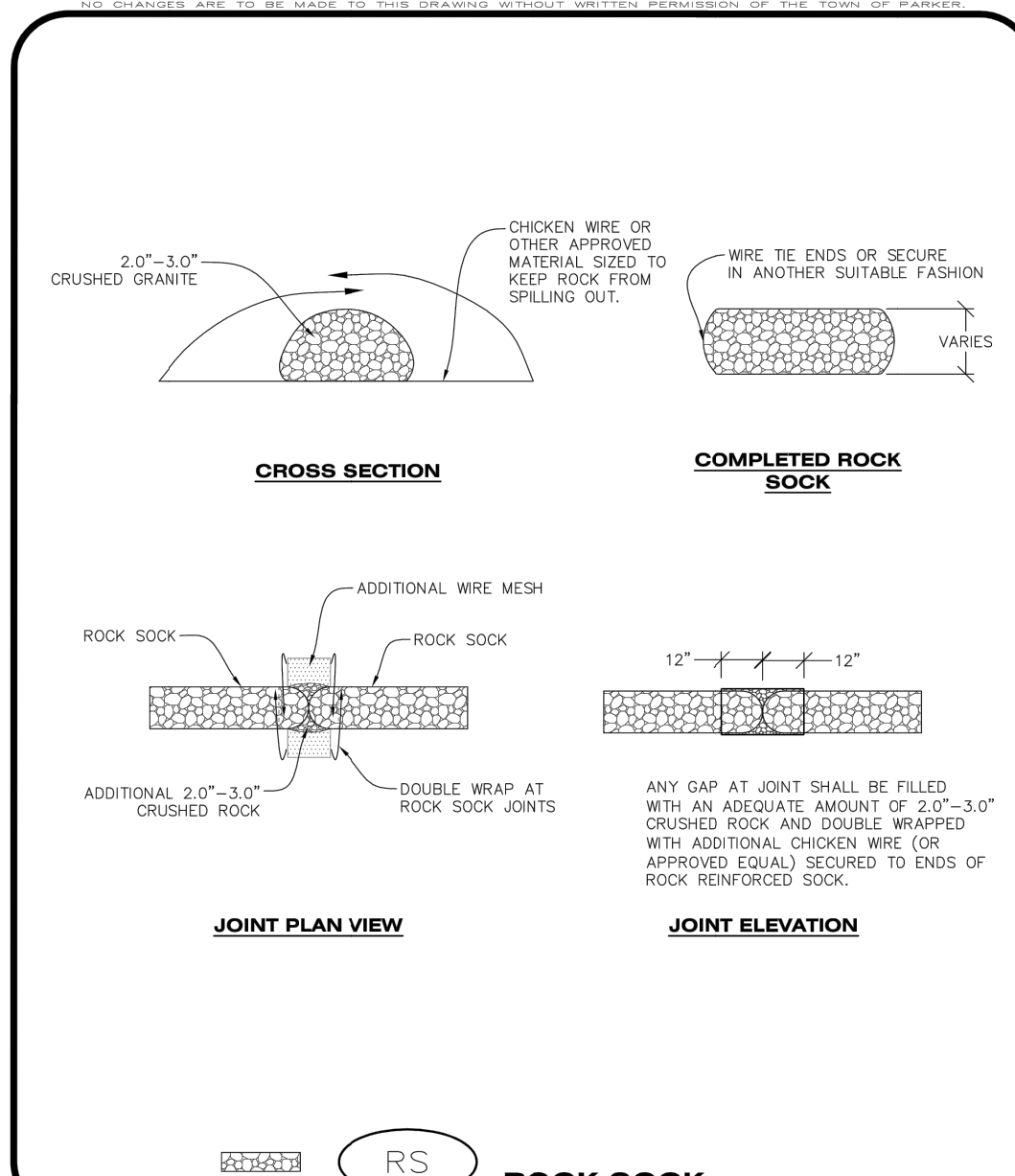
**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 2 Oct. 2013  
**PTP** 1 OF 2 Oct. 2013

**PORTABLE TOILET PROTECTION INSTALLATION NOTES**

- PORTABLE TOILETS SHALL BE PLACED A MINIMUM OF 10.0' BEHIND ALL CURBS, SIDEWALKS, AND OTHER IMPERVIOUS AREAS.
- ALL PORTABLE TOILETS MUST BE GROUPED TOGETHER.
- PORTABLE TOILETS SHALL BE SECURELY ANCHORED TO THE GROUND USING U-SHAPED REBAR STAKES.
- U-SHAPED REBAR STAKES SHALL BE POSITIONED ON AT LEAST 2 OPPOSING (DIGITAL) CORNERS.

**PORTABLE TOILET PROTECTION INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE PORTABLE TOILET PROTECTION.
- PORTABLE TOILETS SHALL BE SERVICED AT THE NECESSARY INTERVALS TO ELIMINATE THE POSSIBILITY OF OVERFLOW.
- WHEN THE PORTABLE TOILETS ARE REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE TOILETS MAY NEED TO BE LANDSCAPED OR ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
- PORTABLE TOILETS THAT ARE NOT CONSISTENTLY MAINTAINED IN ACCORDANCE WITH THESE REQUIREMENTS MAY NEED TO BE CLUSTERED TOGETHER, IN ONE CENTRALIZED LOCATION IN ORDER TO INCREASE COMPLIANCE AND REDUCE THE CHANCE OF A SPILL.

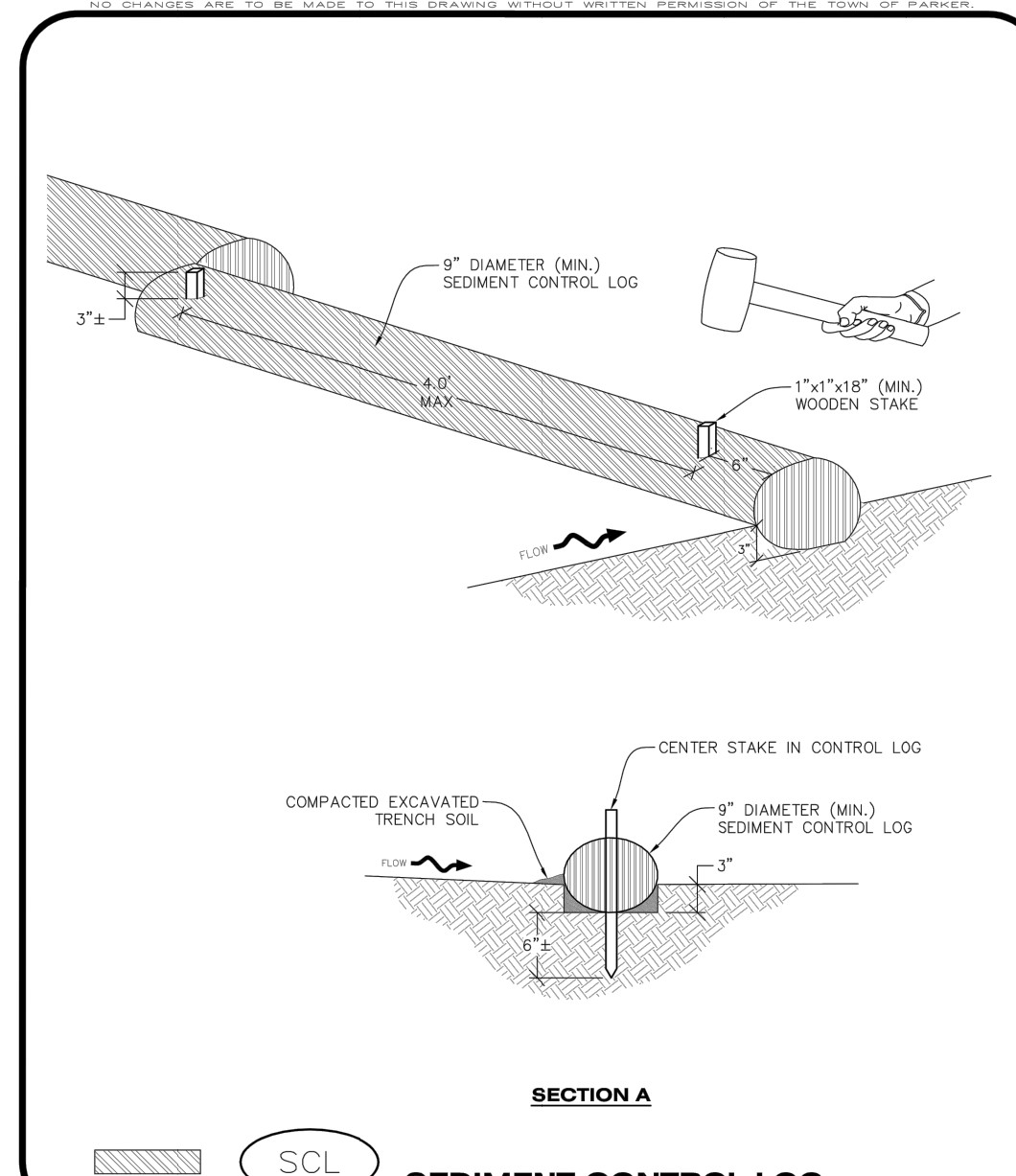


**ROCK SOCK INSTALLATION NOTES**

- SEE CBMP PLAN FOR LOCATION(S) OF ROCK SOCK.
- CRUSHED ROCK SHALL BE APPROXIMATELY 2.0"-3.0" GRANITE IN SIZE WITH A FRACTURED FACE (ALL SIDES).
- ROCK SOCK SHALL BE APPROXIMATELY ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAPPED JOINTS (SEE DETAIL RS).
- ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL SIZED TO KEEP ROCK FROM SPILLING OUT.
- MINIMUM ROCK SOCK DIAMETER SHALL VARY BASED ON APPLICATION (7" MIN).
- TUBULAR MARKERS MAY NEED TO BE USED IN CONJUNCTION WITH ROCKS SOCKS ANYTIME THE ROCK SOCK IS PLACED ON A ROADWAY, SIDEWALK, PARKING LOT OR OTHER LOCATION SUSCEPTIBLE TO VEHICLE OR PEDESTRIAN TRAFFIC. TUBULAR MARKERS SHALL CONFORM TO THE TUBULAR MARKER DETAIL.

**ROCK SOCK INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE ROCK SOCKS.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
- ROCK SOCKS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.



**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 2 Oct. 2013  
**PTP** 2 OF 2 Oct. 2013

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 2 Oct. 2013  
**RS** 1 OF 2 Oct. 2013

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 2 Oct. 2013  
**RS** 2 OF 2 Oct. 2013

**CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 3 Oct. 2013  
**SCL** 1 OF 3 Oct. 2013

#	Date	Issue / Description	Init.
1	09/23/22	1ST SUBMITTAL	SMB
2	12/14/22	2ND SUBMITTAL	SMB
3	03/08/23	3RD SUBMITTAL	SMB
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6			
7			
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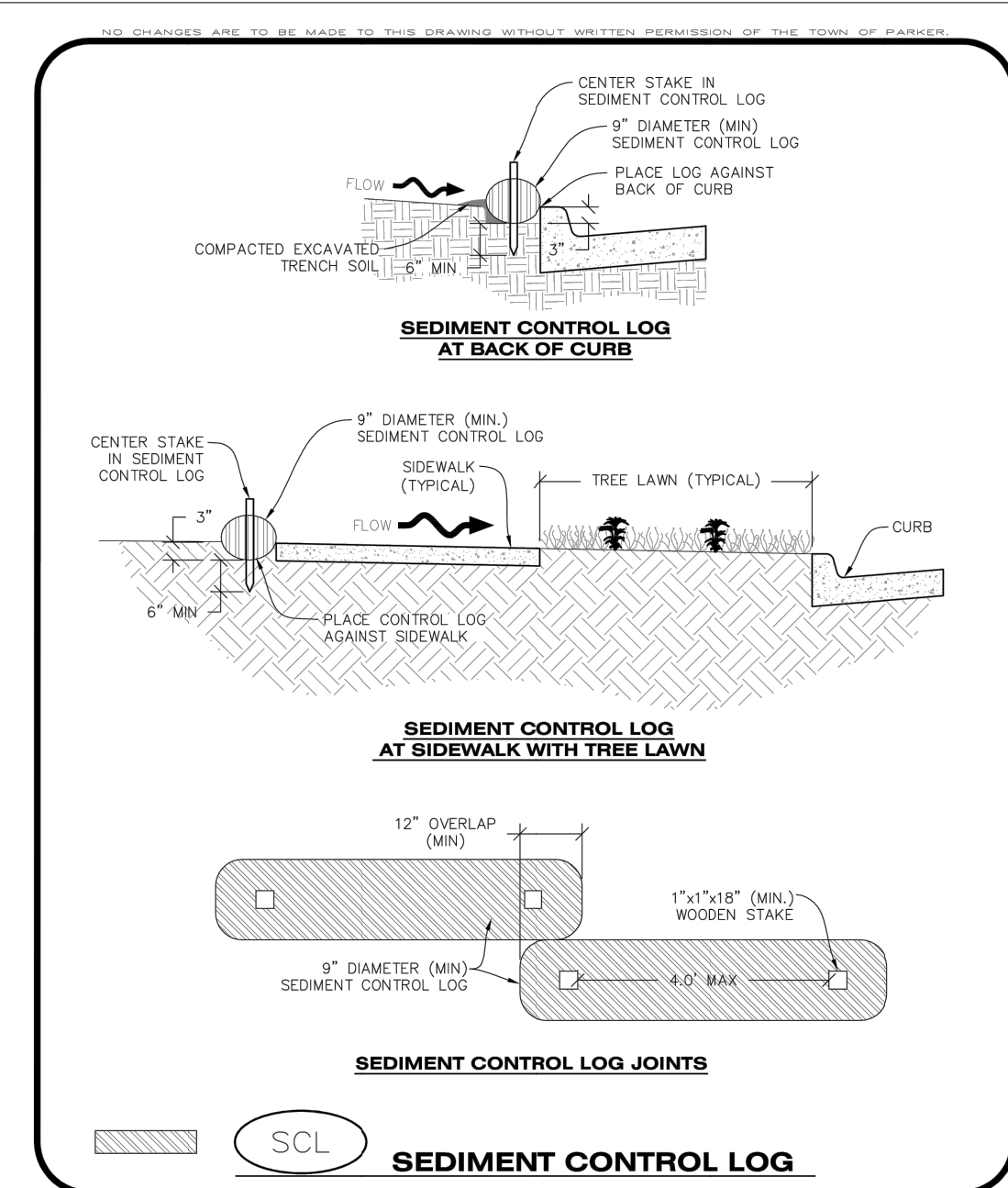
Project No:	PSP000001
Drawn By:	JRC
Checked By:	SMB
Date:	08/09/2024

**CBMP DETAILS**

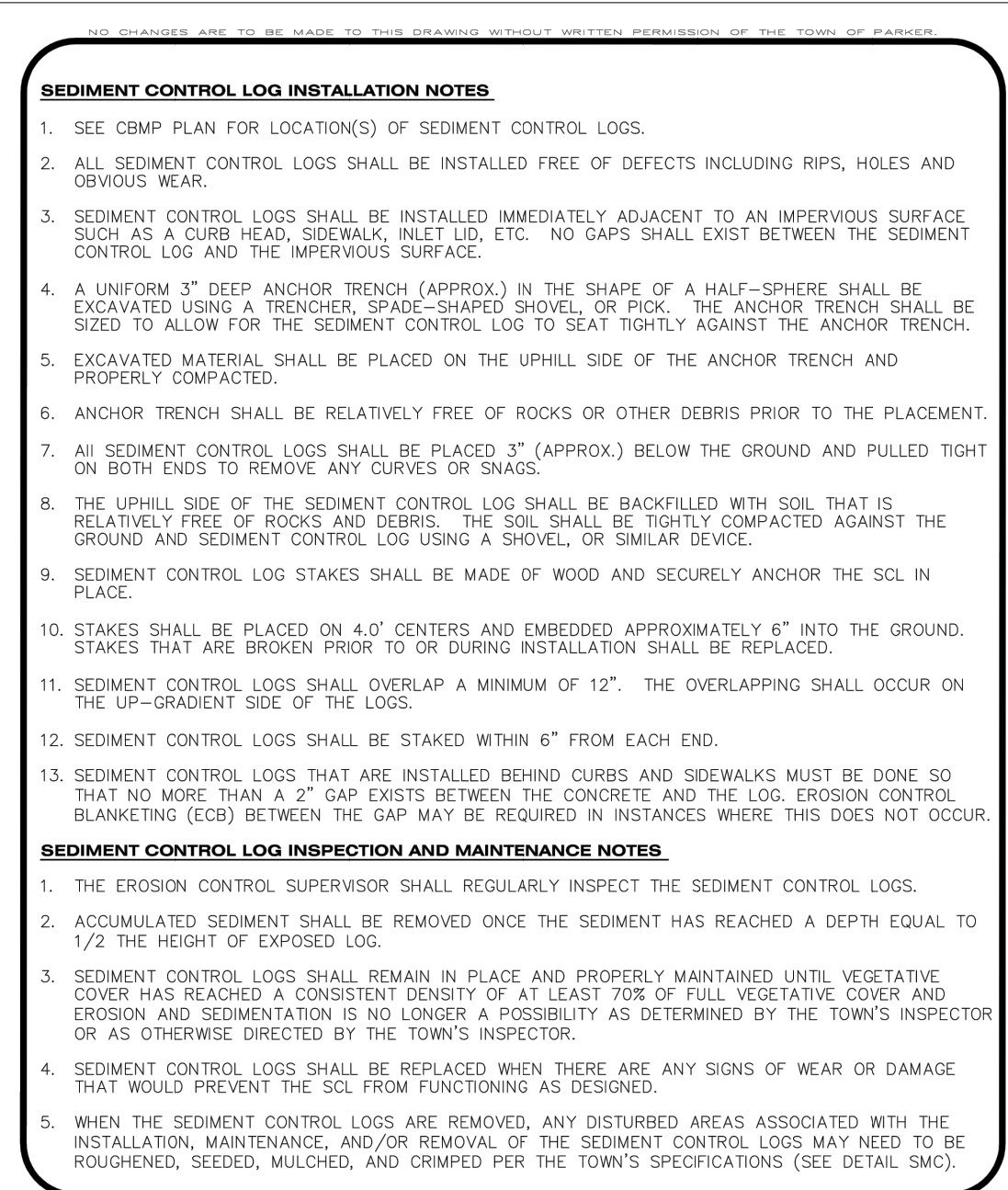
**PLAZA STREET PARTNERS**  
**LINCOLN PROFESSIONAL PARK FILING NO.1 LOT 3**  
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH,  
 RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

**CIVIL CONSTRUCTION DRAWINGS**

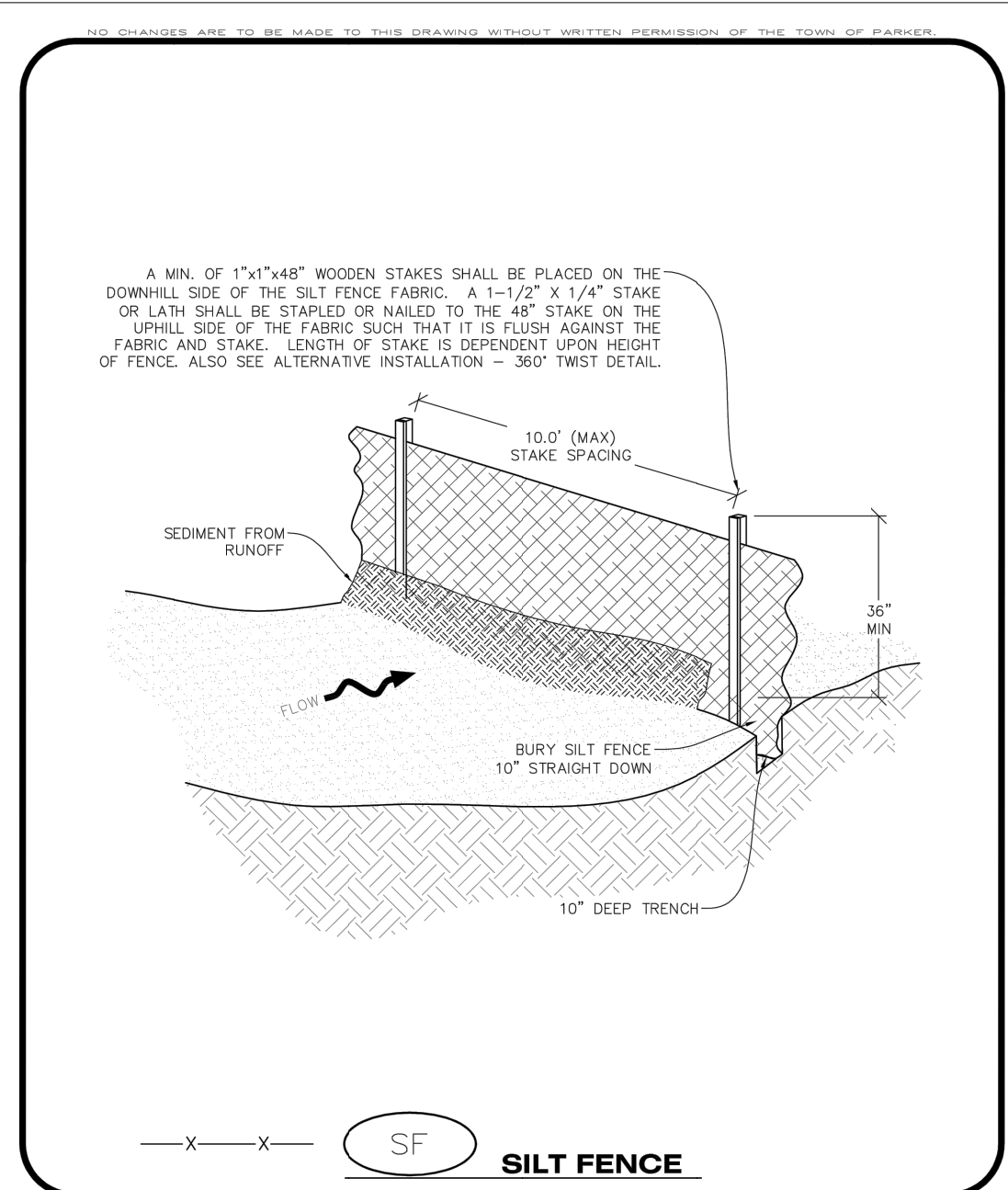
**AUGUST 2024**



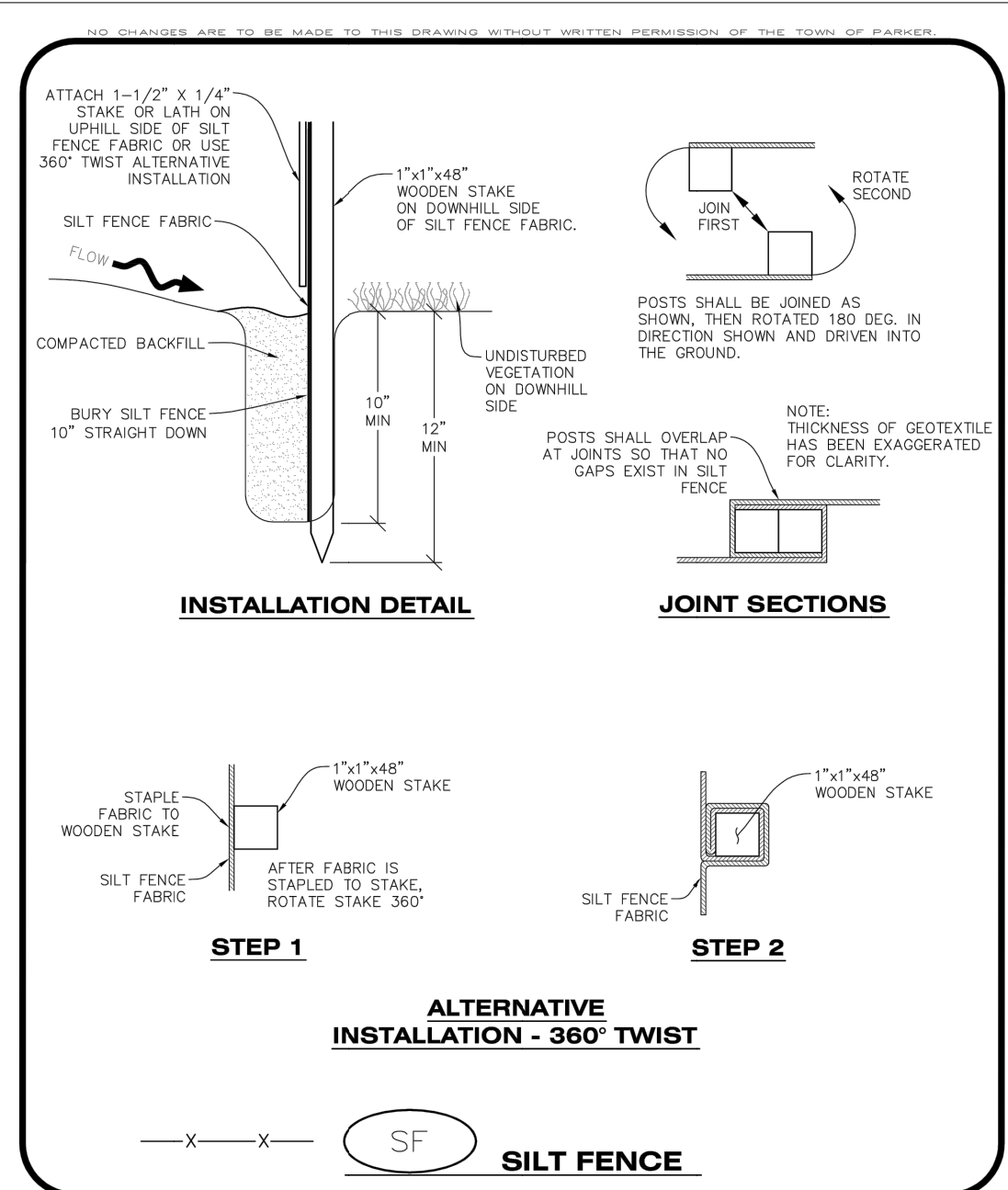
**CBMP** | **SCL**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 3  
Oct. 2013



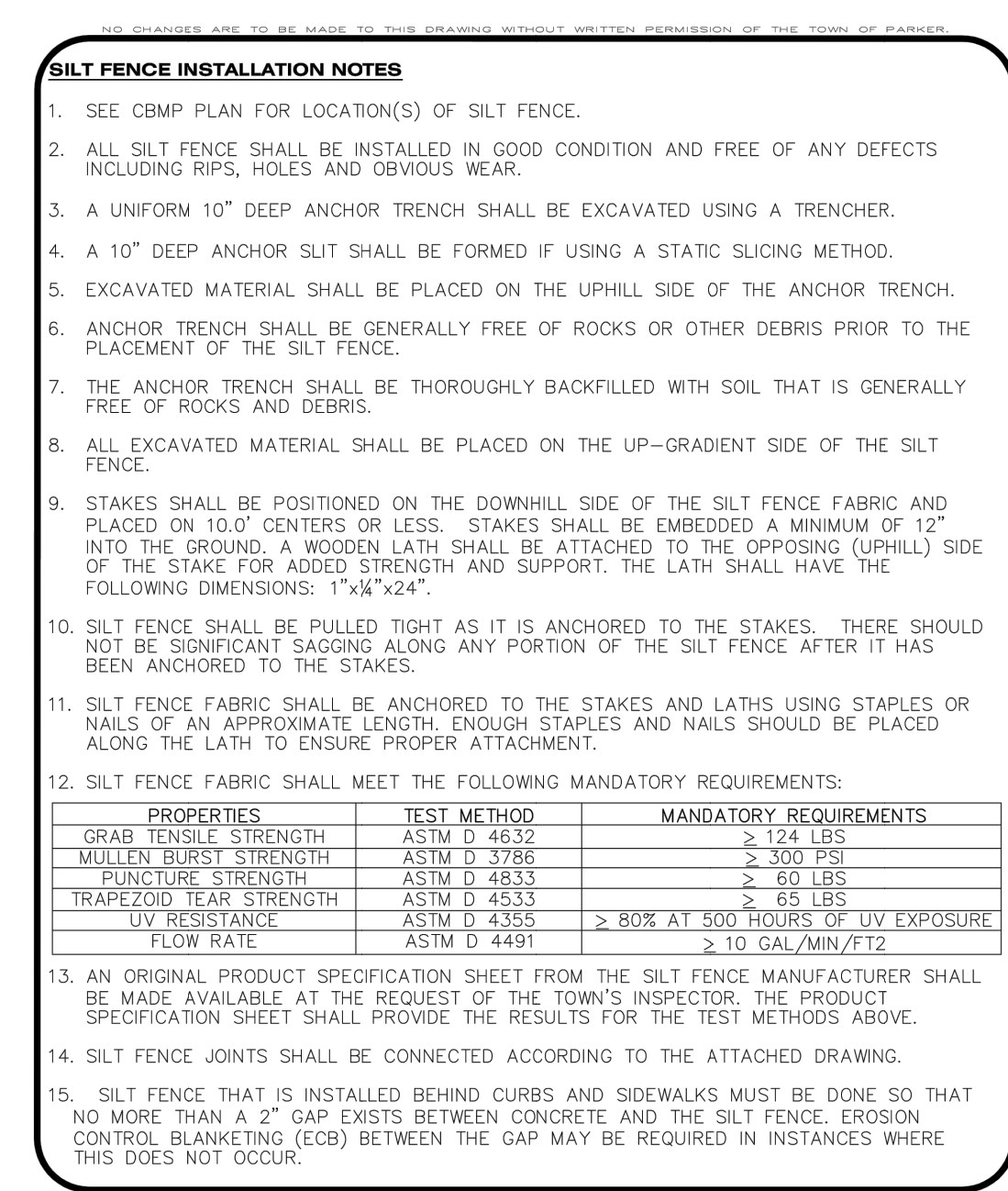
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 CONSTRUCTION BEST MANAGEMENT PRACTICES | 3 OF 3  
Oct. 2013



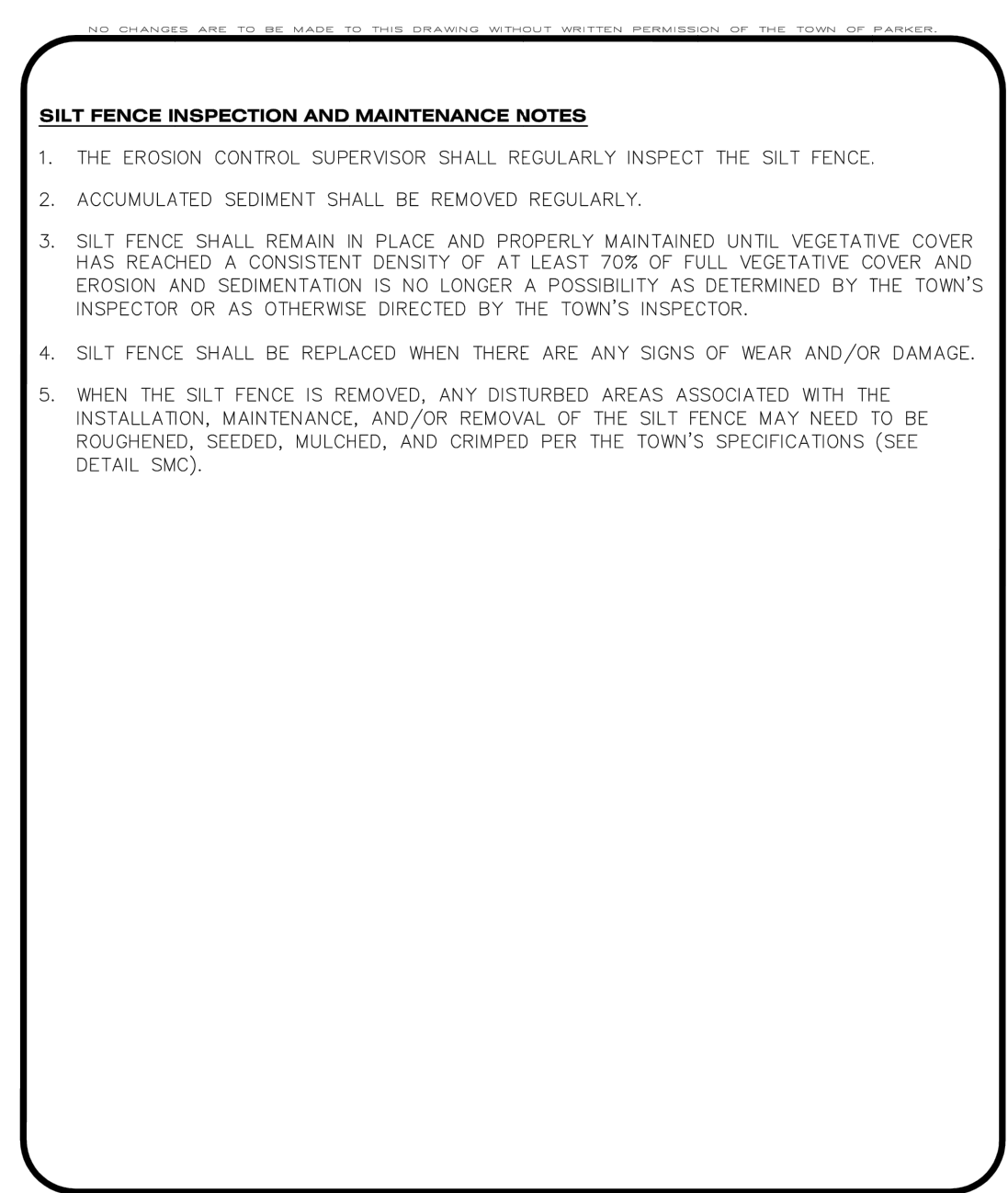
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 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 4  
Oct. 2013



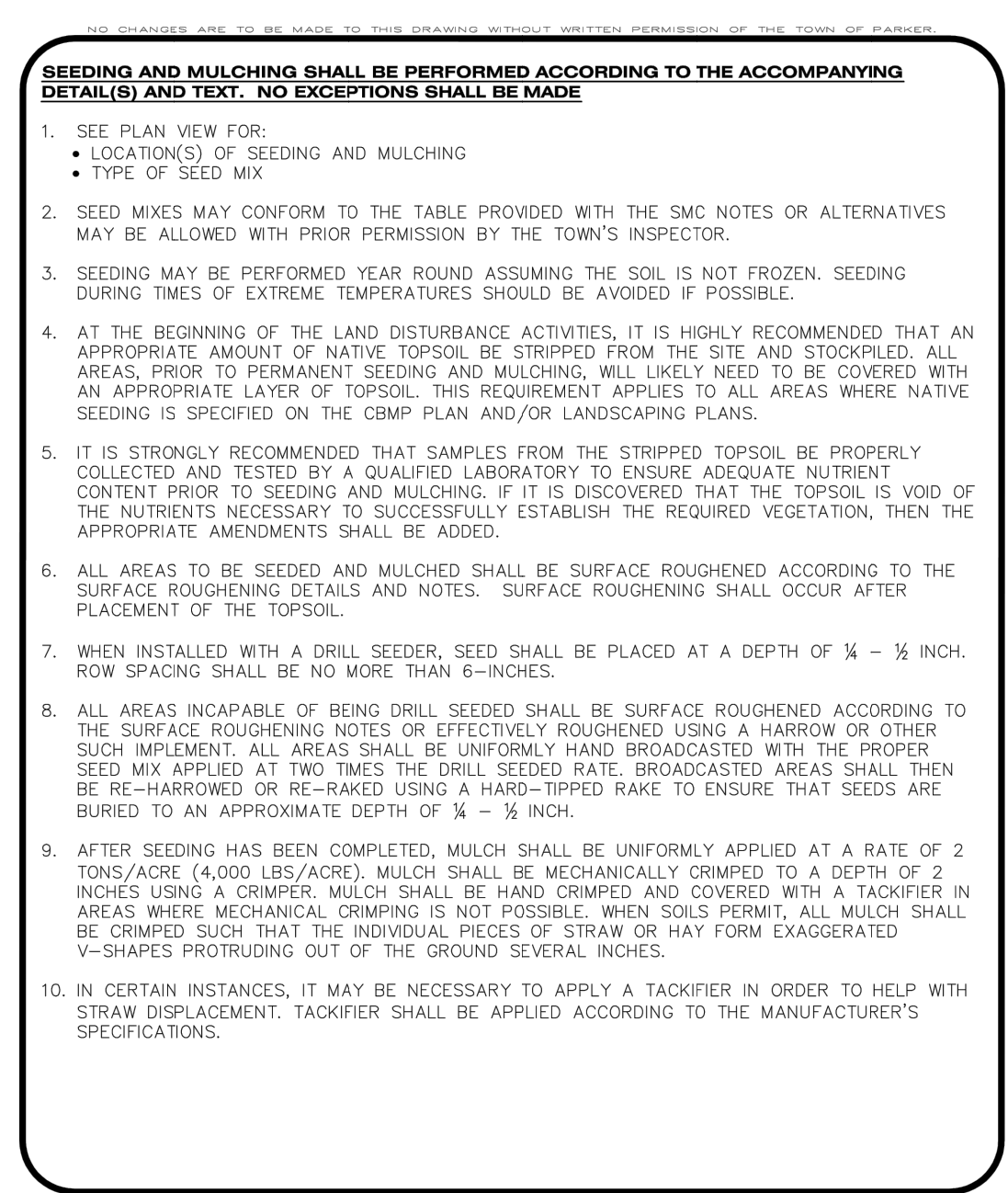
**CBMP** | **SF**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 4  
Oct. 2013



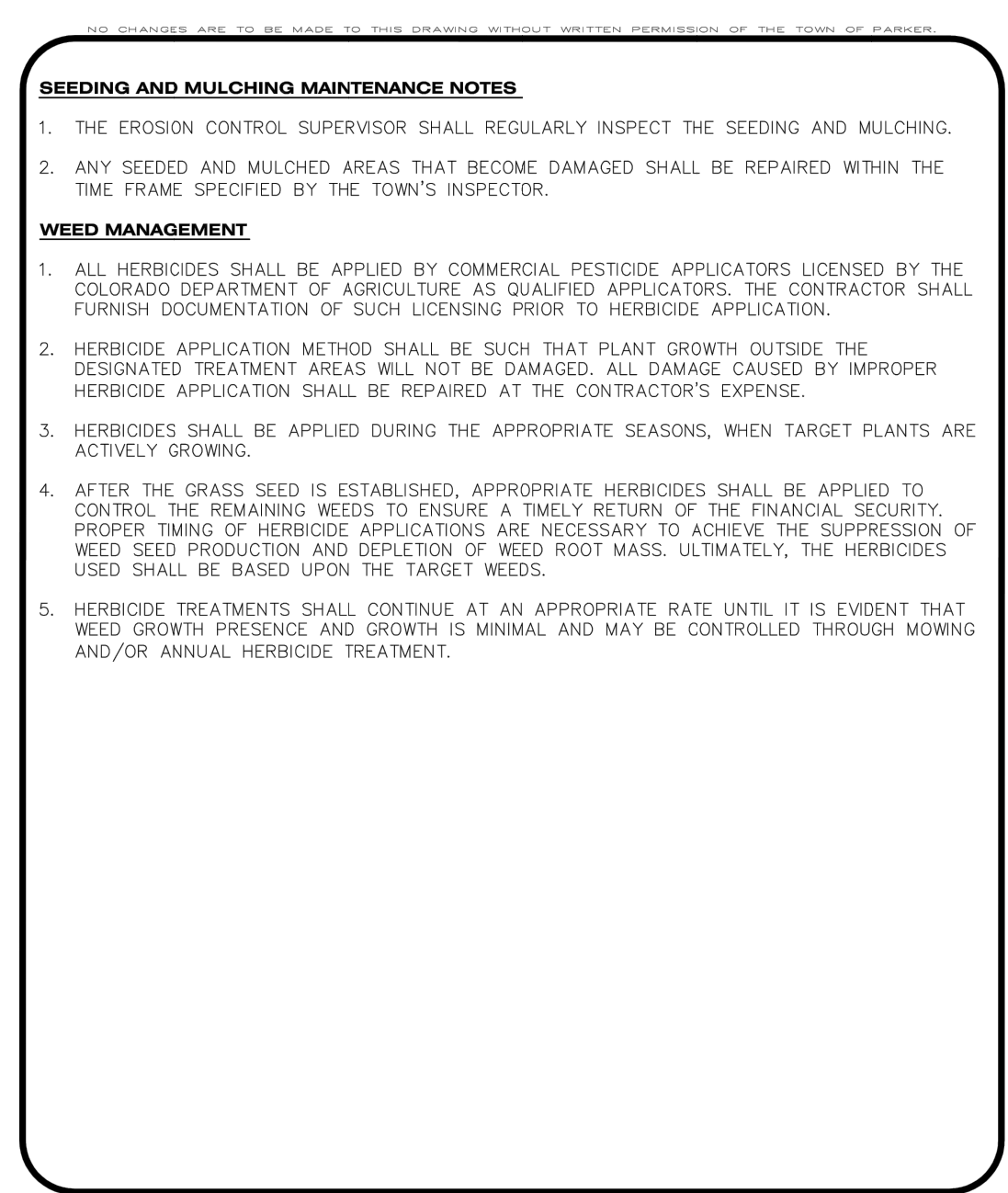
**CBMP** | **SF**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 3 OF 4  
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**CBMP** | **SF**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 4 OF 4  
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**CBMP** | **SMC**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 3  
Oct. 2013



**CBMP** | **SMC**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 3  
Oct. 2013

**Galloway**  
 5500 Greenwood Plaza Blvd., Suite 200  
 Greenwood Village, CO 80111  
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**PLAZA STREET PARTNERS**  
**CIVIL CONSTRUCTION DRAWINGS**  
  
**18900 E. LINCOLN AVE.**  
**PARKER, CO 80134**

#	Date	Issue / Description	Init.
1	09/23/22	1ST SUBMITTAL	SMB
2	12/14/22	2ND SUBMITTAL	SMB
3	03/06/23	3RD SUBMITTAL	SMB
4			
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Project No: PSP000001  
 Drawn By: JRC  
 Checked By: SMB  
 Date: 08/09/2024

**CBMP DETAILS**

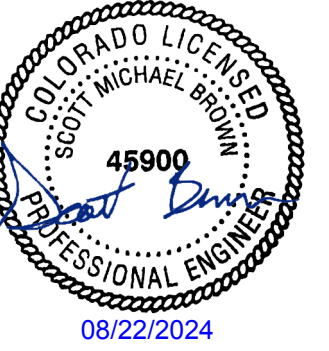
PLAZA STREET PARTNERS

LINCOLN PROFESSIONAL PARK FILING NO.1 LOT 3

LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

CIVIL CONSTRUCTION DRAWINGS

AUGUST 2024

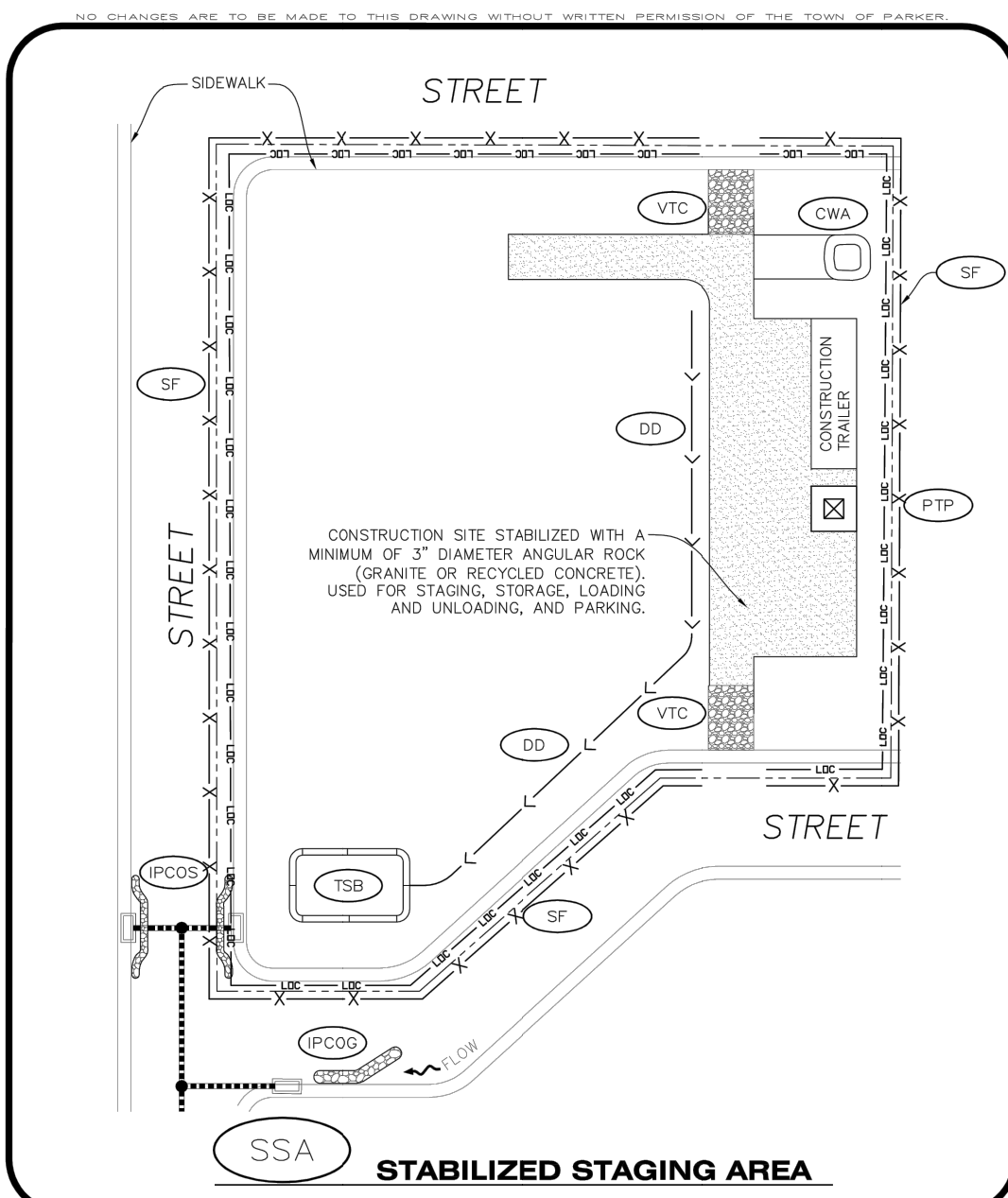


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PLAZA STREET PARTNERS  
CIVIL CONSTRUCTION DRAWINGS

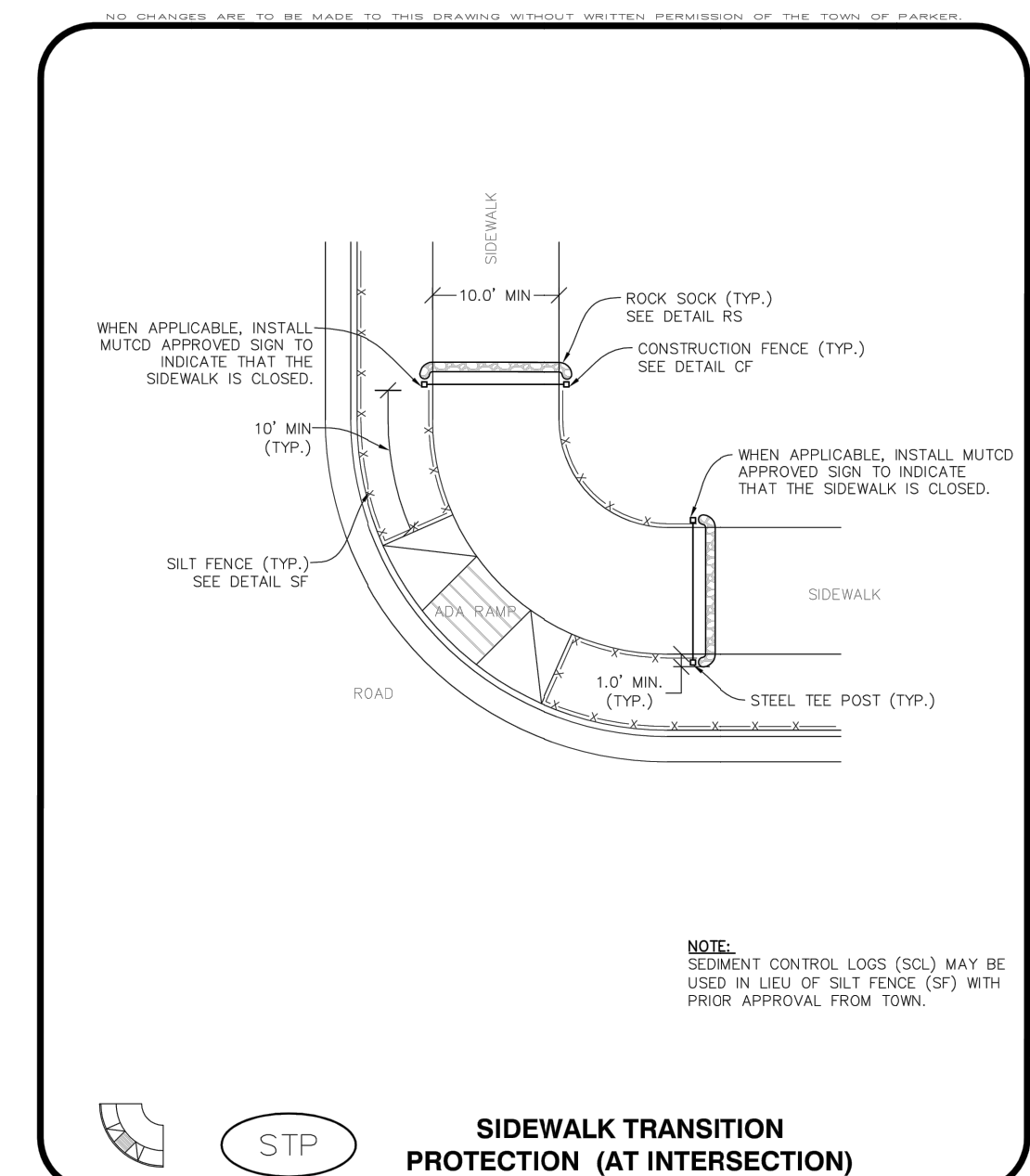
18900 E. LINCOLN AVE.  
PARKER, CO 80134



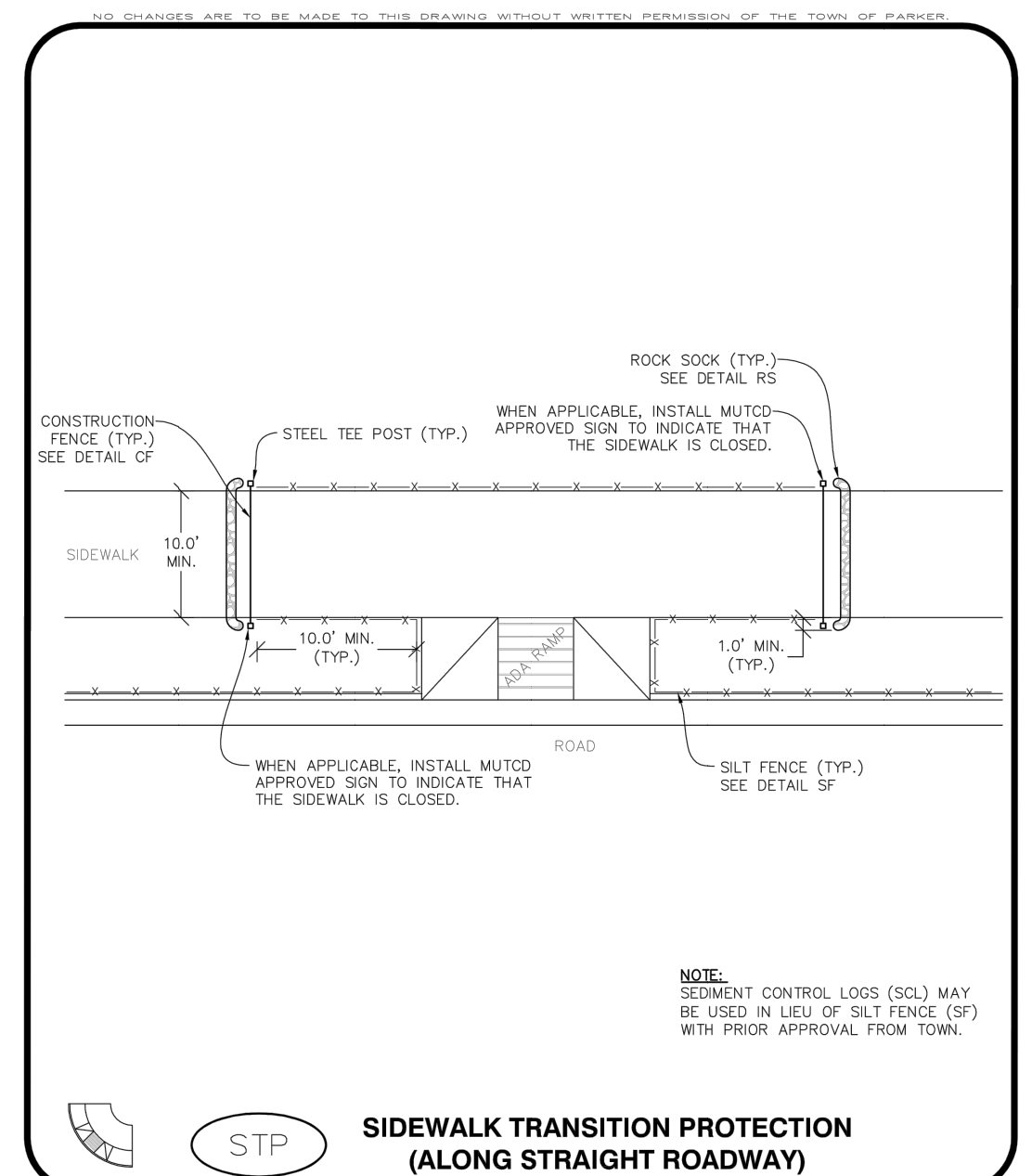
- STABILIZED STAGING AREA INSTALLATION NOTES**
- SEE CBMP PLAN FOR LOCATION OF STAGING AREA. CONTRACTOR MAY MODIFY LOCATION AND SIZE OF STABILIZED STAGING AREA WITH TOWN APPROVAL.
  - STABILIZED STAGING AREA SHALL BE LARGE ENOUGH TO FULLY CONTAIN PARKING, STORAGE, AND LOADING OPERATIONS.
  - THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM OF 3" DIAMETER OF ANGULAR ROCK (GRANITE OR RECYCLED CONCRETE).
  - SSA FOR SMALLER SITES MAY NOT BE PRACTICAL. IN THESE AND SIMILAR SITUATIONS, VARIANCES MAY BE PERMITTED BY THE TOWN.

- STABILIZED STAGING AREA INSPECTION AND MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE STAGING AREA.
  - STABILIZED STAGING AREA SHALL BE ENLARGED AS NECESSARY TO CONTAIN PARKING, STORAGE, LOADING, AND UNLOADING.

**CBMP** | **SSA**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2  
Oct. 2013



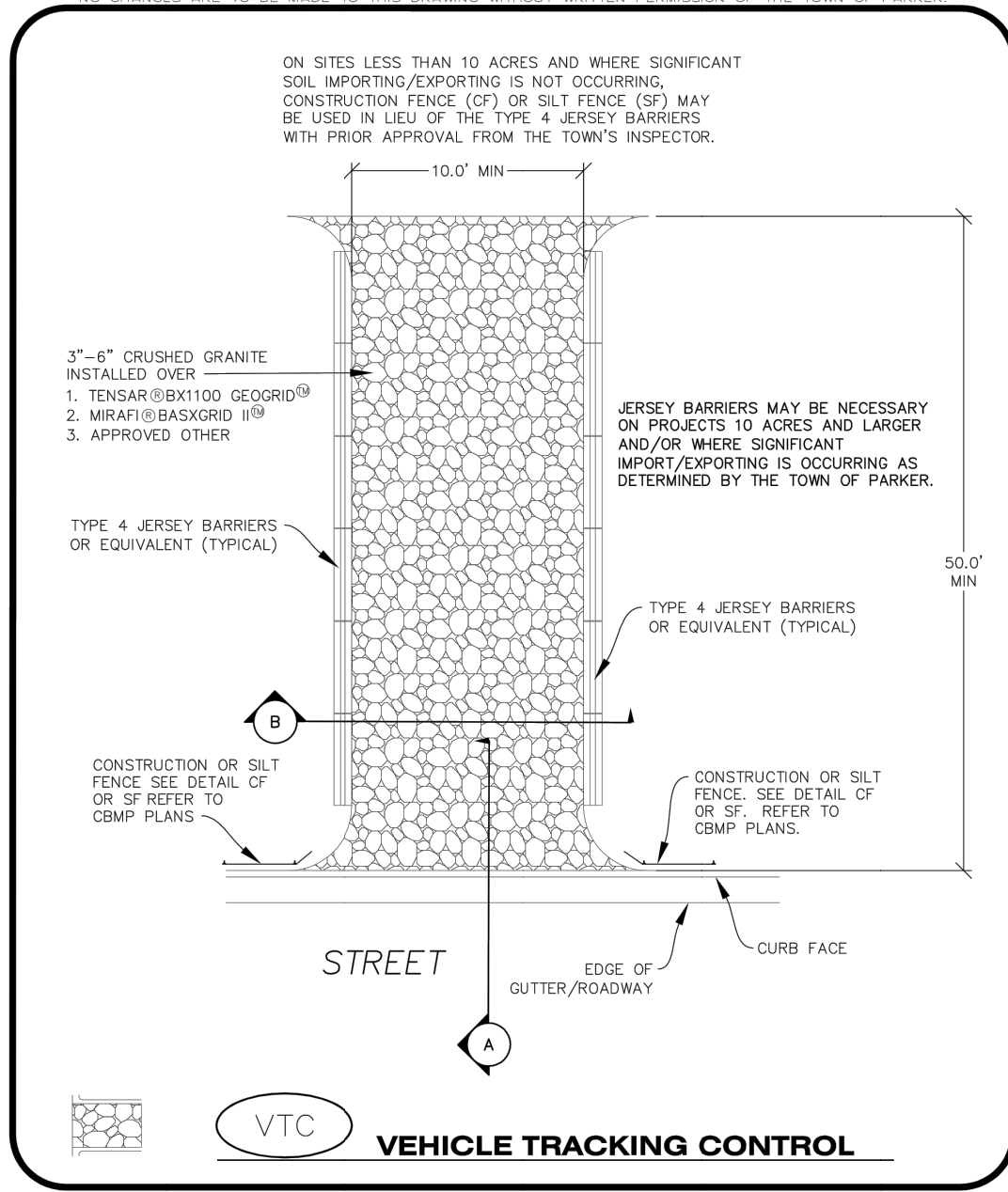
**CBMP** | **STP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 3  
Oct. 2013



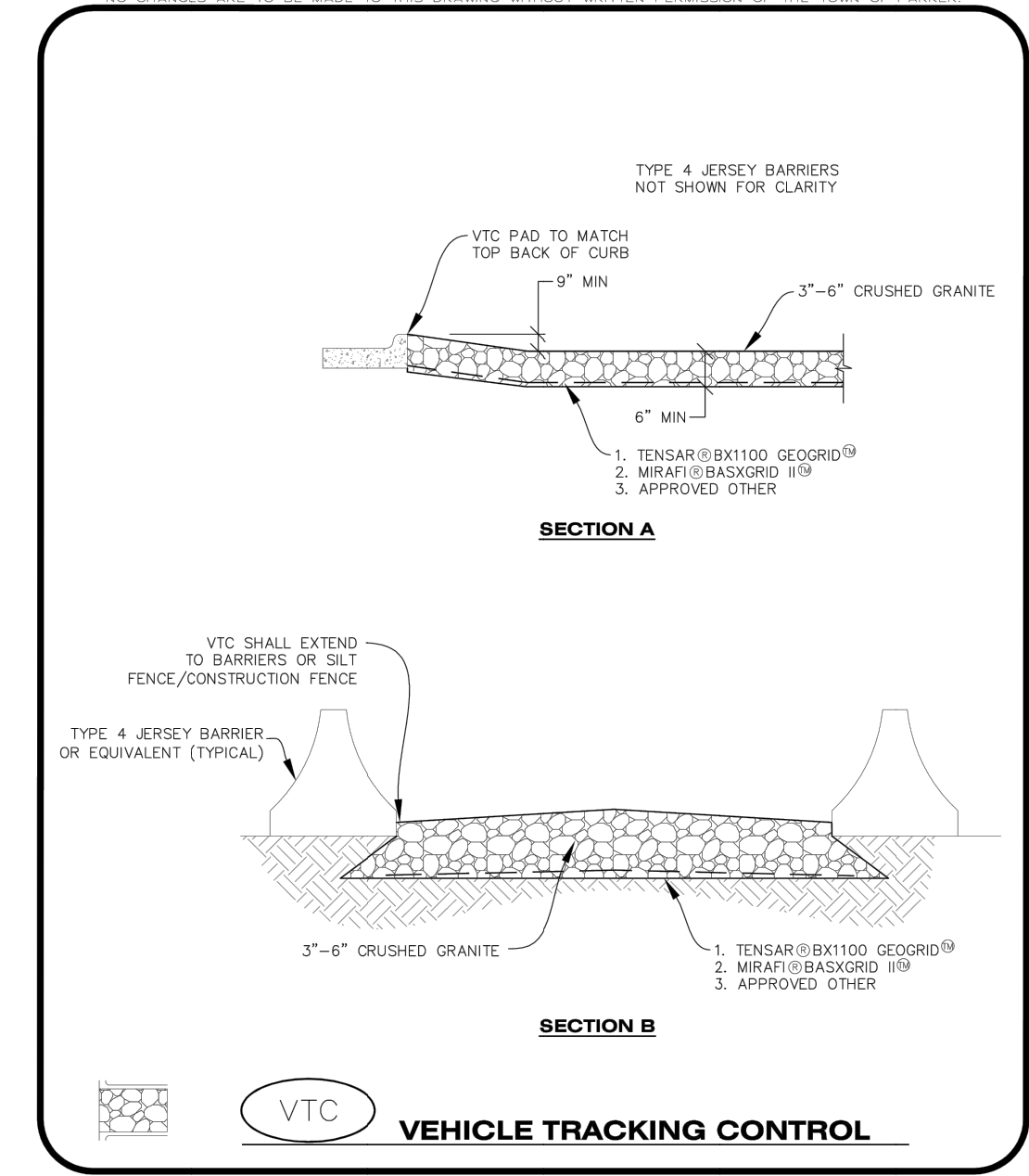
**CBMP** | **STP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 3  
Oct. 2013

- SIDEWALK TRANSITION PROTECTION INSTALLATION NOTES**
- SEE PLAN VIEW FOR LOCATION(S) OF SIDEWALK TRANSITION PROTECTION.
  - ROCK SOCK SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL (SEE DETAIL RS).
  - SILT FENCE SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL (SEE DETAIL SF).
  - CONSTRUCTION FENCE SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL (SEE DETAIL CF).
  - SEDIMENT CONTROL LOGS MAY BE USED IN LIEU OF SILT FENCE WITH PRIOR APPROVAL FROM THE TOWN.
- SIDEWALK TRANSITION PROTECTION INSPECTION & MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SIDEWALK TRANSITION INSPECTION.

**CBMP** | **STP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 3 OF 3  
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**CBMP** | **VTC**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 3  
Oct. 2013



**CBMP** | **VTC**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 3  
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- VEHICLE TRACKING CONTROL PAD INSTALLATION NOTES**
- SEE CBMP PLAN FOR LOCATION(S) OF VEHICLE TRACKING CONTROL PAD(S).
  - ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE THROUGH THE APPROVED ACCESS POINT(S). A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL APPROVED ACCESS POINT(S) TO THE SITE. EXCEPTIONS MAY BE CONSIDERED FOR CONSTRUCTION ACTIVITY OCCURRING IMMEDIATELY ADJACENT TO PAVED AREAS AND WHERE ALTERNATIVE BMP'S ARE IMPLEMENTED. SUCH ACTIVITY MAY INCLUDE, BUT NOT BE LIMITED TO, RESIDENTIAL CONSTRUCTION, UTILITY CONSTRUCTION, ETC.
  - THE VEHICLE TRACKING CONTROL PAD(S) INDICATED ON CBMP PLAN SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
  - VEHICLE TRACKING CONTROL PADS SHALL BE A MINIMUM OF 50- FEET LONG AND 10- FEET WIDE, UNLESS A VARIANCE HAS BEEN GRANTED BY THE TOWN'S INSPECTOR.
  - A BIAXIAL GEO-GRID SHALL BE PLACED UNDER THE VEHICLE TRACKING CONTROL PAD PRIOR TO THE PLACEMENT OF ROCK. THE AREA SHALL BE FREE FROM ANY VOIDS, ROCKS AND DEBRIS. THE BIAXIAL GEO-GRID SHALL BE TENSAR BX1100, MIRAFI BASKGRID II, OR AN APPROVED EQUAL. GEO-GRID SHALL BE PLACED, AND APPROPRIATELY OVERLAPPED IF NECESSARY, TO COVER THE ENTIRE LENGTH AND WIDTH OF THE VEHICLE TRACKING CONTROL PAD.
  - CRUSHED ROCK SHALL BE A MINIMUM OF 3-6" GRANITE WITH A FRACTURED FACE (ALL SIDES).
- VEHICLE TRACKING CONTROL PAD INSTALLATION AND MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE VEHICLE TRACKING CONTROL PAD.
  - WHEN THE VEHICLE TRACKING CONTROL PAD IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE VEHICLE TRACKING CONTROL PAD SHALL BE ROUGHENED, SEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
  - THE VEHICLE TRACKING CONTROL PAD SHALL BE MAINTAINED SUCH THAT THE ROCK REMAINS RELATIVELY LOOSE AND ACCUMULATED MUD AND OTHER DEBRIS IS REGULARLY REMOVED.

**CBMP** | **VTC**  
CONSTRUCTION BEST MANAGEMENT PRACTICES | 3 OF 3  
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#	Date	Issue / Description	Init.
1	09/23/22	1ST SUBMITTAL	SMB
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3	03/06/23	3RD SUBMITTAL	SMB

Project No:	PSP000001
Drawn By:	JRC
Checked By:	SMB
Date:	08/09/2024

CBMP DETAILS

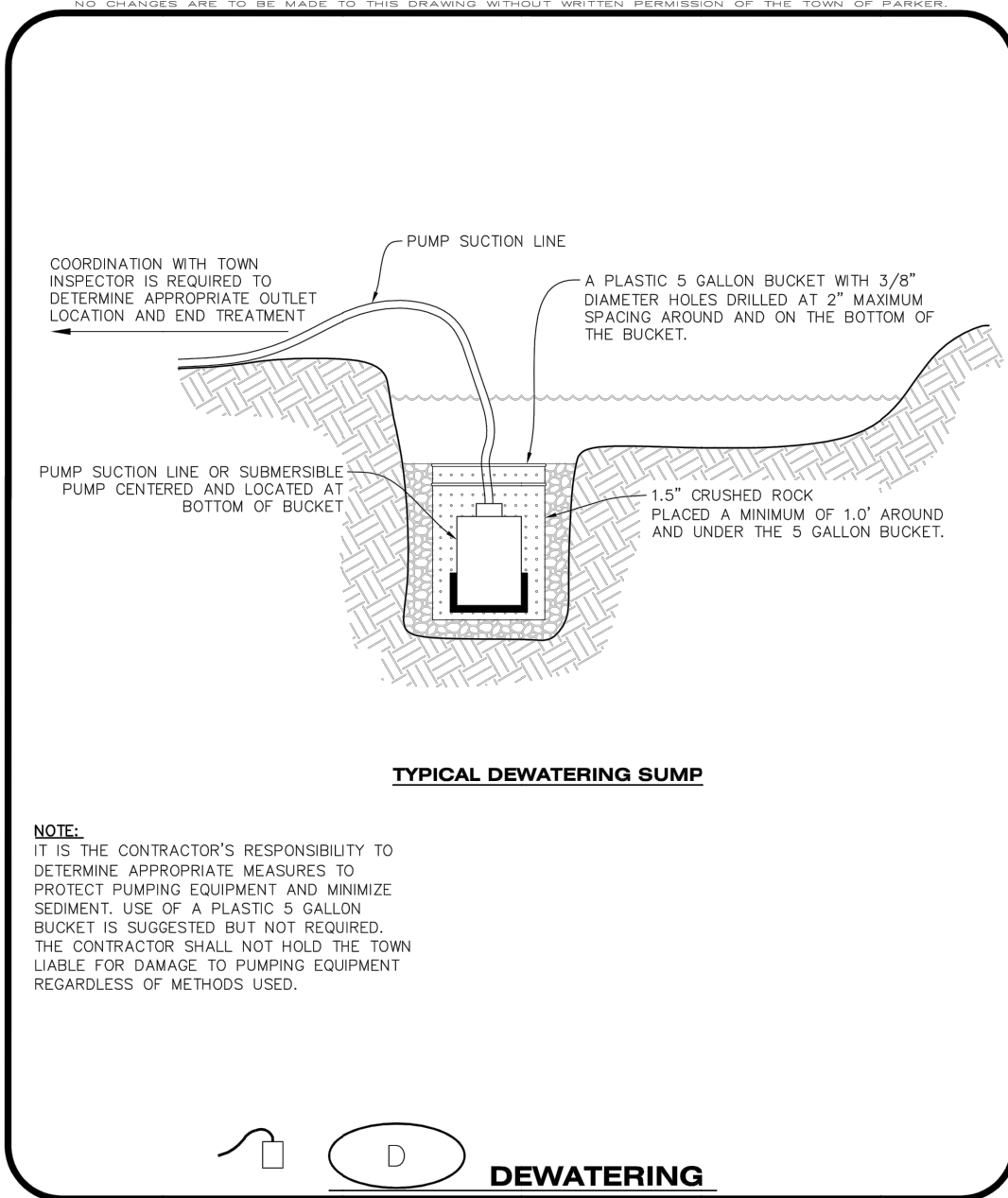


# LINCOLN PROFESSIONAL PARK FILING NO.1 LOT 3

LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH,  
RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

## CIVIL CONSTRUCTION DRAWINGS

AUGUST 2024



**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES  
D 1 OF 2  
Oct. 2013

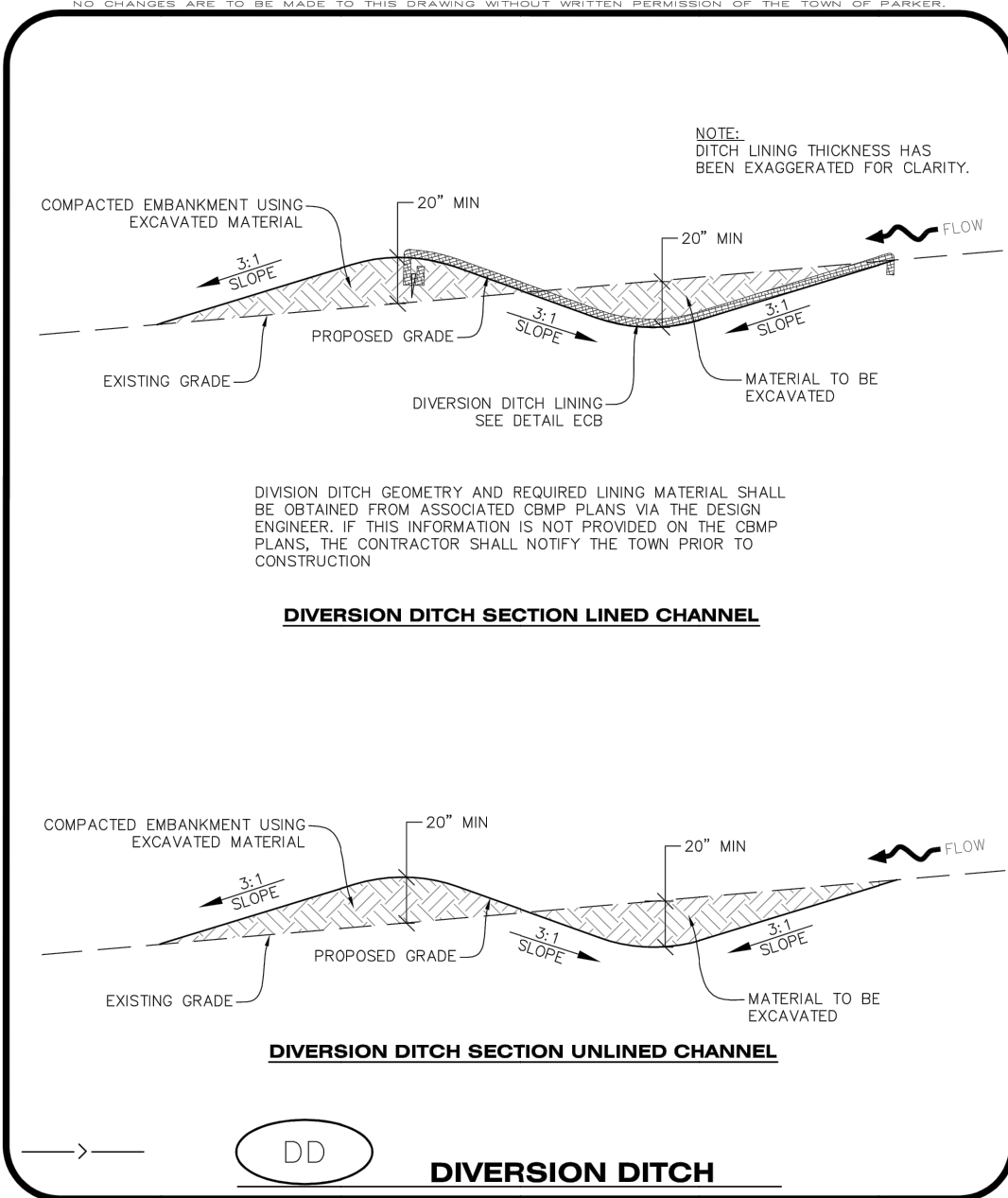
**DEWATERING INSTALLATION NOTES**

- IT IS THE EROSION CONTROL SUPERVISOR'S RESPONSIBILITY TO ENSURE THAT ALL DEWATERING IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE).

**DEWATERING MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL INSPECT THE DEWATERING OPERATION TO ENSURE THAT THE DISCHARGE WATER IS DRAINING TO THE PROPER LOCATION(S) AND PERFORM ANY NECESSARY REPAIRS OR MAINTENANCE ON A FREQUENT BASIS.

**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES  
D 2 OF 2  
Oct. 2013



**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES  
DD 1 OF 2  
Oct. 2013

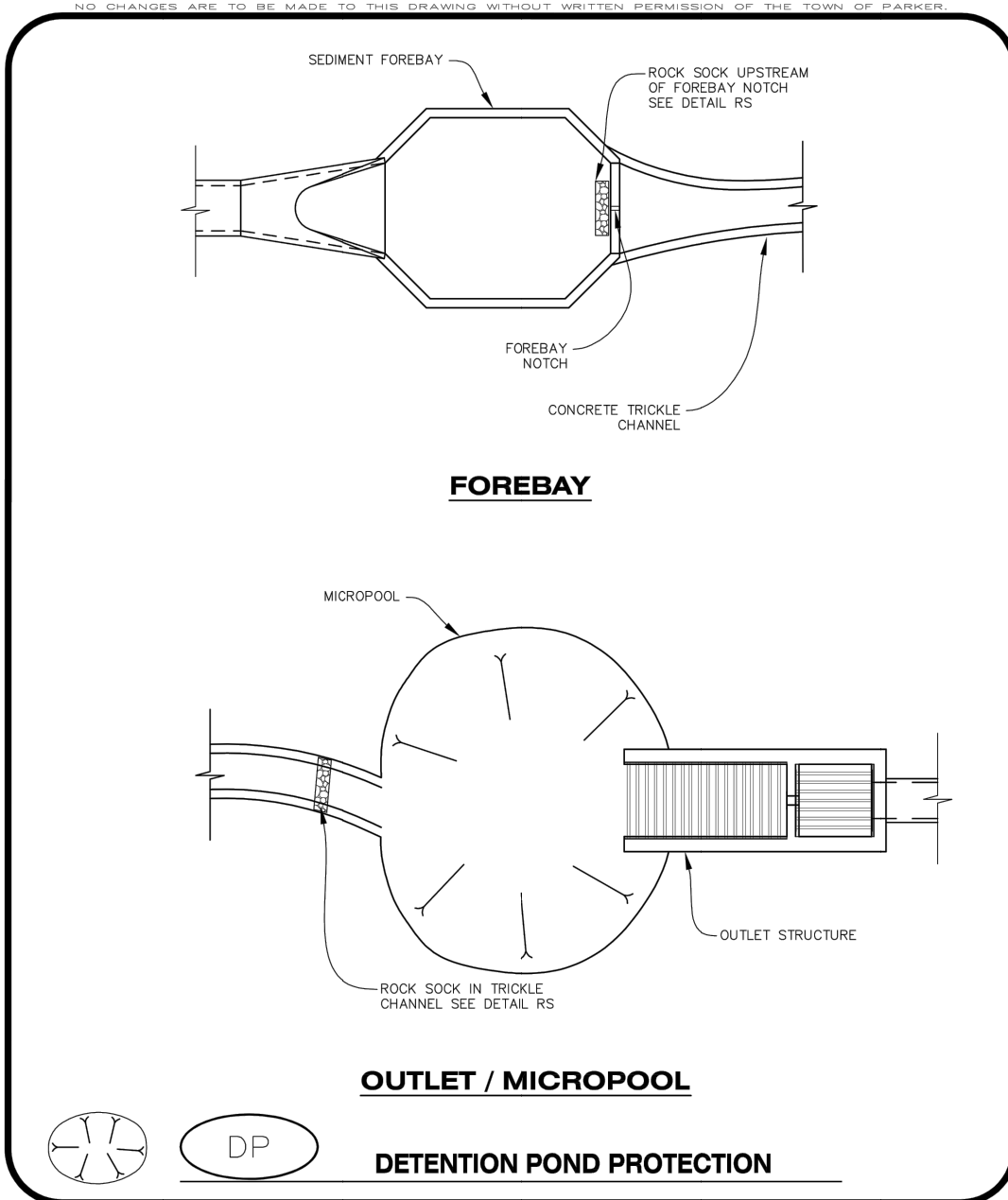
**DIVERSION DITCH INSTALLATION NOTES**

- SEE THE PLAN VIEW FOR THE LOCATION(S) OF THE DIVERSION DITCHES.
- A PLASTIC LINER, RIPRAP, OR EROSION CONTROL BLANKET MAY BE NECESSARY TO PROTECT THE DIVERSION DITCH. THE REQUIRED LINING MATERIAL SHALL BE OBTAINED FROM THE CBMP PLANS VIA THE DESIGN ENGINEER.
- ALL MATERIAL EXCAVATED FROM THE DITCH MAY BE USED TO CONSTRUCT THE BERM ON THE DOWNHILL SIDE OF THE DITCH.
- THE DIVERSION DITCH SHALL BE A MINIMUM OF 20" DEEP WITH APPROX. 3:1 SIDE SLOPES. THE ADJACENT BERM SHALL BE A MINIMUM OF 20" IN HEIGHT WITH APPROX. 3:1 SIDE SLOPES. ALL EMBANKMENTS SHALL BE FIRMLY COMPACTED.
- THE DISCHARGE FROM THE DIVERSION DITCH SHALL BE DIRECTED TOWARDS AN APPROPRIATELY SIZED TEMPORARY SEDIMENT BASIN OR OTHER APPROVED AREA.

**DIVERSION DITCH INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE DIVERSION DITCH.
- ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE THE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 (10") THE CREST HEIGHT.
- DIVERSION DITCHES SHALL BE RE-GRADED FOLLOWING THE SIGNS OF MODERATE OR MORE SOIL EROSION OR ANY DAMAGE.
- DIVERSION DITCHES ARE TO REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR. ALTERNATIVELY, THE DIVERSION DITCHES MAY BE REMOVED WHEN THE SITE'S TOPOGRAPHY CHANGES SUCH THAT SIGNIFICANT RUNOFF IS NO LONGER POSSIBLE. IN SOME INSTANCES, THE DIVERSION DITCHES MAY REMAIN IN PLACE PERMANENTLY.

**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES  
DD 2 OF 2  
Oct. 2013



**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES  
DP 1 OF 2  
Oct. 2013

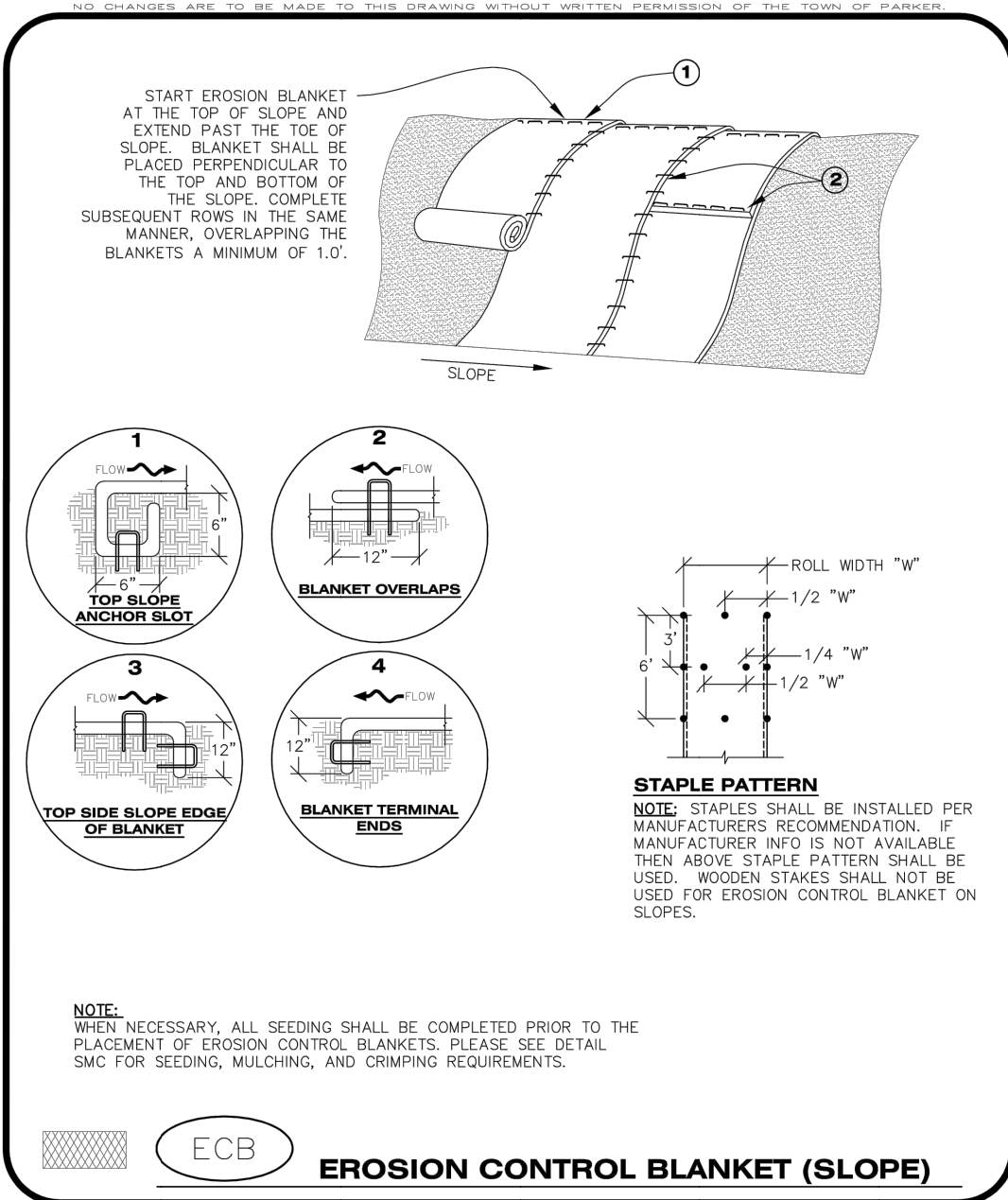
**DETENTION POND PROTECTION INSTALLATION NOTES**

- DETENTION POND PROTECTION SHALL BE INSTALLED IMMEDIATELY FOLLOWING THE CONSTRUCTION OF THE TRICKLE CHANNEL AND FOREBAY.
- CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
- ROCK SOCK FOR OUTLET STRUCTURE AND FOREBAY PROTECTION SHALL BE ONE CONTINUOUS PIECE (SEE DETAIL RS).

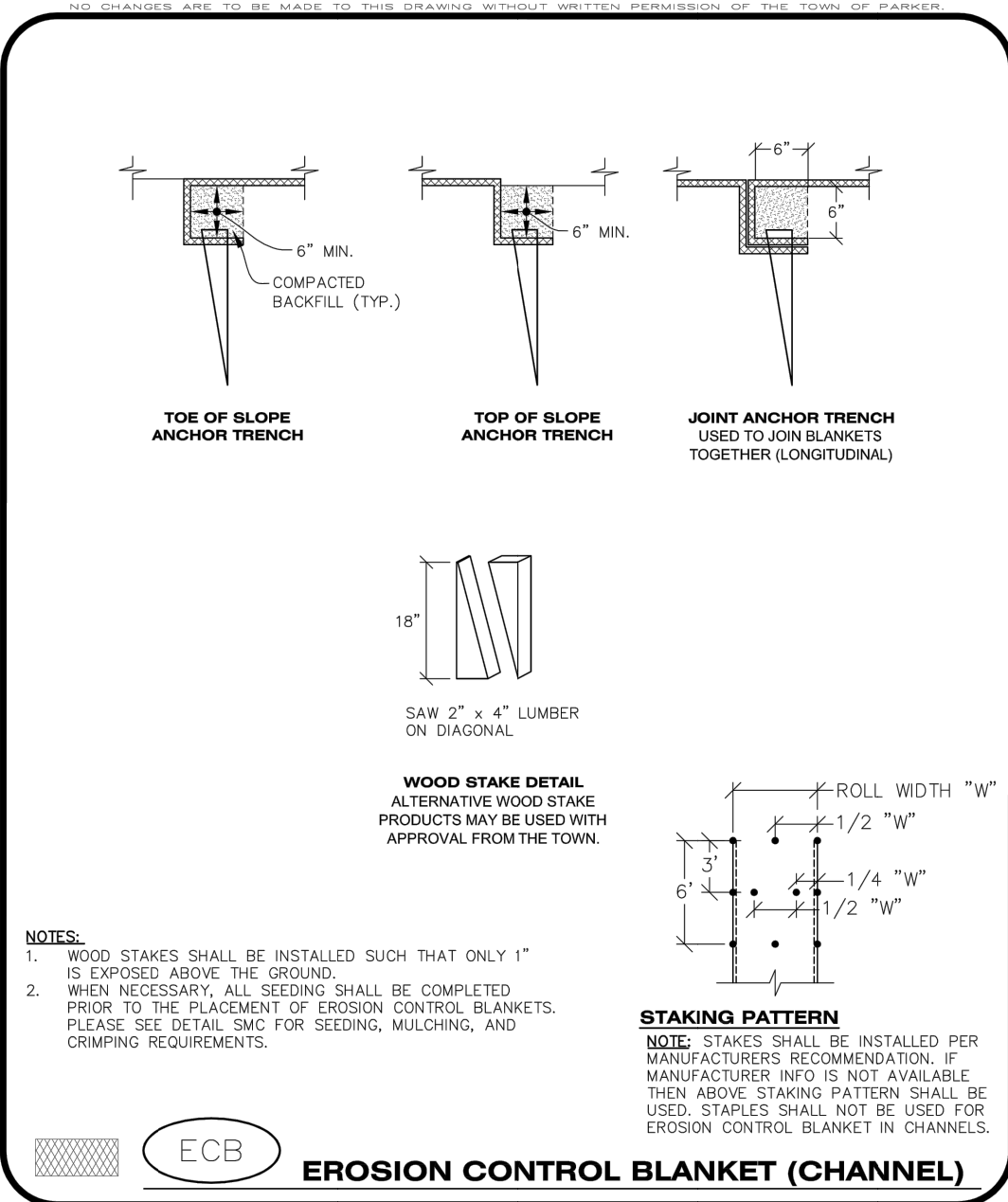
**DETENTION POND PROTECTION INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE OUTLET STRUCTURE PROTECTION.
- ACCUMULATED SEDIMENT SHALL BE REMOVED IMMEDIATELY.
- OUTLET STRUCTURE PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES  
DP 2 OF 2  
Oct. 2013



**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES  
ECB 1 OF 3  
Oct. 2013



**CBMP**  
CONSTRUCTION BEST MANAGEMENT PRACTICES  
ECB 2 OF 3  
Oct. 2013



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**PLAZA STREET PARTNERS  
CIVIL CONSTRUCTION DRAWINGS**  
18900 E. LINCOLN AVE.  
PARKER, CO 80134

#	Date	Issue / Description	Init.
1	09/23/22	1ST SUBMITTAL	SMB
2	12/14/22	2ND SUBMITTAL	SMB
3	03/08/23	3RD SUBMITTAL	SMB

Project No: PSP000001  
Drawn By: JRC  
Checked By: SMB  
Date: 08/09/2024

**CBMP DETAILS**

**C3.9**  
Sheet 12 of 28

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**PLAZA STREET PARTNERS**  
**LINCOLN PROFESSIONAL PARK FILING NO.1 LOT 3**  
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH,  
 RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

**CIVIL CONSTRUCTION DRAWINGS**

**AUGUST 2024**

**Galloway**

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**PLAZA STREET PARTNERS  
 CIVIL CONSTRUCTION DRAWINGS**

**18900 E. LINCOLN AVE.  
 PARKER, CO 80134**

**EROSION CONTROL BLANKET INSTALLATION NOTES**

- SEE THE PLAN VIEW FOR THE LOCATION(S) OF THE EROSION CONTROL BLANKETS.
- EROSION CONTROL BLANKETS USED FOR CHANNEL PROTECTION SHALL BE PROPERLY SELECTED BY THE DESIGN ENGINEER BASED ON CURRENT AND FUTURE FLOW RATES WITHIN THE CHANNEL. BASED ON THESE CALCULATIONS, TURF REINFORCEMENT MATTING OR RIPRAP MAY BE NECESSARY IN LIEU OF EROSION CONTROL BLANKETS.
- IMMEDIATELY PRIOR TO BLANKET INSTALLATION, SOIL SURFACE SHALL BE SMOOTH, AND FREE OF ANY GAPS, VOIDS, WEEDS, ROCKS, STICKS, OR OTHER MISCELLANEOUS DEBRIS.
- EROSION CONTROL BLANKET SHALL THEN BE INSTALLED ACCORDING TO THE DETAILED DRAWINGS.
- ANY DAMAGED OR REMAINING STAPLES OR STAKES SHALL BE REMOVED FROM THE SITE.
- ALL EROSION CONTROL BLANKETS FOR SLOPE PROTECTION INSTALLED IN THE TOWN SHALL BE DOUBLE NET, STRAW OR EXCELSIOR.

MANUFACTURER	PRODUCT NAME
NORTH AMERICAN GREEN	S150
APPROVED EQUAL	APPROVED EQUAL

7. IN MOST CASES, EROSION CONTROL BLANKETS FOR SLOPE PROTECTION ARE TO REMAIN IN PLACE PERMANENTLY.

**EROSION CONTROL BLANKET MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE EROSION CONTROL BLANKETS AND MAKE ANY NECESSARY REPAIRS.

**CBMP** | **ECB**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 3 OF 3  
 Oct. 2013

**AREA INLET PROTECTION INSTALLATION NOTES**

- SEE PLAN VIEW FOR LOCATION(S) OF AREA INLET PROTECTION.
- THE AREA INLET PROTECTION SHOWN ON CBMP PLANS SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE INSTALLATION OF NEW INLETS. AN INTERIM STYLE OF INLET PROTECTION MAY BE ALLOWED UNTIL THE INSTALLATION OF THE GUTTER AND/OR PAVEMENT.

**AREA INLET PROTECTION INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE AREA INLET PROTECTION.
- AREA INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- WHEN THE AREA INLET PROTECTION IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE AREA INLET PROTECTION MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
- ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.

**CBMP** | **IPA**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 1  
 Oct. 2013

**INLET PROTECTION FOR AREA INLETS IN PAVEMENT**

**CBMP** | **IPAP**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 1  
 Oct. 2013

**MASONRY WORK PROTECTION**

**CBMP** | **MWP**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2  
 Oct. 2013

**MASONRY WORK PROTECTION INSTALLATION NOTES**

- MASONRY WORK PROTECTION MAY NEED TO BE INSTALLED WHEN MASONRY WORK AND MIXING IS OCCURRING.
- A ROCK SOCK SHALL BE INSTALLED IN A CRESCENT SHAPE ON THE DOWNHILL SIDE OF THE MASONRY WORK AND MIXER.
- CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
- ROCK SOCK SHALL BE ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAPPED JOINTS (SEE DETAIL RS).
- ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL, SIZED TO KEEP ROCK FROM SPILLING OUT.

**MASONRY WORK PROTECTION INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE MASONRY WORK PROTECTION.
- ALL CONCRETE WASTE SHALL BE REGULARLY CLEANED AND PLACED IN THE CONCRETE WASH OUT AREA.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.

**CBMP** | **MWP**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2  
 Oct. 2013

**ROUGH CUT STREET CONTROL**

**CBMP** | **RCSC**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 2  
 Oct. 2013

**ROUGH CUT STREET CONTROL INSTALLATION NOTES**

- SEE CBMP PLAN FOR LOCATION(S) OF ROUGH CUT STREET CONTROL.
- THE SPACING OF THE ROUGH CUT STREET CONTROL MAY BE DETERMINED BY THE DESIGN ENGINEER AND SHOWN ON THE CBMP PLAN.

**ROUGH CUT STREET CONTROL INSPECTION AND MAINTENANCE NOTES**

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE ROUGH CUT STREET CONTROL.
- ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN THE SEDIMENT DEPTH IS 1/2 THE HEIGHT OF THE ROCK SOCK.
- ROUGH CUT STREET CONTROL SHALL BE REPAIRED IMMEDIATELY FOLLOWING ANY SIGN OF WEAR OR ALTERATION OF THE ORIGINAL SHAPE AND DIMENSIONS.
- ROUGH CUT STREET CONTROL SHALL BE KEPT IN PLACE AND MAINTAINED UNTIL SUB-GRADE PREPARATION BEGINS FOR PAVING. AT THAT POINT, THE RCSC SHOULD BE REMOVED IN INCREMENTS BASED ON SUBGRADE PREPARATION.

**CBMP** | **RCSC**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 2 OF 2  
 Oct. 2013

**ROCK SOCK IN SWALE**

**CBMP** | **RSS**  
 CONSTRUCTION BEST MANAGEMENT PRACTICES | 1 OF 1  
 Oct. 2013

#	Date	Issue / Description	Init.
1	09/23/22	1ST SUBMITTAL	SMB
2	12/14/22	2ND SUBMITTAL	SMB
3	03/08/23	3RD SUBMITTAL	SMB

Project No:	PSP000001
Drawn By:	JRC
Checked By:	SMB
Date:	08/09/2024

**CBMP DETAILS**

H:\Plaza Street Partners\CD Parker\JRC\1\_August2024\Drawings\C3.10\_Erosion Control Details.dwg - Matthew Pappas - 20240814



# LINCOLN PROFESSIONAL PARK FILING NO.1 LOT 3

LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH,  
RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

## CIVIL CONSTRUCTION DRAWINGS

AUGUST 2024

### GRADING NOTES

- REQUIREMENTS SHOWN ON SITE PLAN SHALL GOVERN. DRAWINGS AND SPECIFICATIONS SHOWING OTHERWISE NOTWITHSTANDING. CONTRACTOR TO POINT OUT ANY DISCREPANCIES TO THE OWNERS REPRESENTATIVE PRIOR TO BID.
- CONTRACTOR MUST OBTAIN ALL STATE AND CITY STORMWATER DISCHARGE AND EROSION CONTROL PERMITS PRIOR TO ANY DISTURBANCE AND/OR GRADING ACTIVITY.
- ALL CESSPOOLS, OTHER EXCAVATIONS AND INSIDE BUILDING TO BE APPROVED BY GEOTECHNICAL ENGINEER.
- FINAL GRADES ARE SUBJECT TO MINOR CHANGE BY COMPANY REPRESENTATIVE. NO GRADE CHANGES IN EXCESS OF 0.05' WITHOUT COMPANY APPROVAL.
- ANY FILL MATERIAL REQUIRED TO BRING THE SITE TO GRADE SHALL BE CLEAN FILL DIRT APPROVED BY GEOTECHNICAL ENGINEER AND SHALL BE PLACED AND COMPACTED PER GEOTECHNICAL REPORT RECOMMENDATIONS.
- SET PROPERTY CORNER PINS IN CONCRETE. IF PROPERTY CORNERS ARE DESTROYED BY CONTRACTOR, THE CONTRACTOR SHALL BEAR THE EXPENSE OF RELOCATION CORNERS BY A REGISTERED SURVEYOR.
- THIS DESIGN IS BASED ON A SOIL AND FOUNDATION INVESTIGATION. A COPY OF THIS REPORT IS AVAILABLE FOR INSPECTION BY THE CONTRACTORS.
- ALL SPOT GRADES ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DEPOSITION OF ONSITE SEDIMENTS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION.
- ALL LANDSCAPING AREAS SHALL BE GRADED TO WITHIN 0.10' WITH COMPANY APPROVED TOP SOIL TO A MINIMUM 6" DEPTH.
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- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEED/SODDED, FERTILIZED, MULCHED, WATER AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- REFER TO GEOTECHNICAL REPORT FOR SPECIFIC SITE CONDITIONS AND CONSIDERATIONS.
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- PIPE JOINTS SHALL BE WRAPPED WITH GEOTEXTILE FABRIC (LAPPED 18").

### LEGEND

- EXISTING PROPERTY LINE
- - - - 5225 - - - - EXISTING MAJOR CONTOUR
- - - - EXISTING MINOR CONTOUR
- 5465 --- PROPOSED MAJOR CONTOUR
- 5464 --- PROPOSED MINOR CONTOUR
- FLOW ARROW
- - - - EXISTING EASEMENT
- PROPOSED RETAINING WALL
- S --- SPILL CURB
- CATCH CURB
- EXISTING FIRE HYDRANT
- S --- EXISTING 4" SANITARY SEWER MANHOLE
- S --- EXISTING STORM DRAIN MANHOLE
- S --- PROPOSED NO. 16 COMBO INLET
- 89.00 FG --- PROPOSED SPOT ELEVATION - FINISHED GRADE
- 89.00 FL --- PROPOSED SPOT ELEVATION - FLOW LINE
- 89.00 PT --- PROPOSED SPOT ELEVATION - POINT OF TANGENCY
- 89.00 PC --- PROPOSED SPOT ELEVATION - POINT OF CURVATURE
- 89.00 ME --- PROPOSED SPOT ELEVATION - MATCH EXISTING

THESE DRAWINGS DO NOT INCLUDE COMPONENTS FOR CONSTRUCTION SAFETY.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

ALL CASTINGS SHALL BE COATED WITH BLACK ASPHALTIC VARNISH.

### SOIL PREPARATION NOTE

SOIL PREPARATION SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL ENGINEERING REPORT PREPARED FOR ANDY'S FROZEN CUSTARD AT LINCOLN PROFESSIONAL PARK, PARKER, COLORADO AS FOLLOWS:

GEOTECHNICAL ENGINEER: COLE GARNER GEOTECHNICAL

PROJECT NO.: 21.22.116

THE CONTRACTOR MUST FULLY REVIEW THESE REPORTS PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

The Town of Parker review constitutes general compliance with the Town's Standards and approved variances, subject to these plans being stamped, signed, and dated by the professional engineer of record. Review by the Town does not constitute approval of the plan design or accuracy and correctness of engineering calculations. Errors in the design or calculations remain the responsibility of the registered professional engineer whose stamp and signature are affixed to this document.

This review does not constitute approval of any private on-site improvements which may be shown. Construction cannot commence until all required drainage/traffic report(s), final development plan(s), special review(s), grading permit, and/or other permits are complete, approved and on file with the Town of Parker.

*[Signature]* 09/16/2024  
Town of Parker, Director of Engineering Date

### BASIS OF BEARINGS

BEARINGS ARE BASED OFF THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, AS MONUMENTED AT BOTH THE NORTHWEST QUARTER CORNER AND THE NORTH QUARTER CORNER BY 3.25" ALUMINUM CAPS, ASSUMED TO BEAR SOUTH 89°29'00" WEST.

### BENCHMARK

BENCHMARK IS A UDFCD 2" BRASS CAP IN HEAD WALL (B6-1) NEAR PARKER ROAD AND BALDWIN AVE, ELEV=5841.07 NAVD88

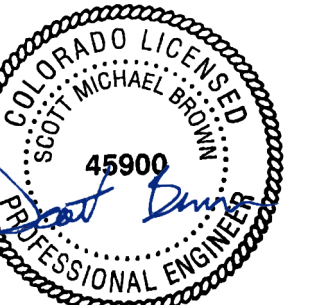
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Know what's below.  
Call before you dig.

5500 Greenwood Plaza Blvd., Suite 200  
Greenwood Village, CO 80111  
303.770.8884  
GallowayUS.com



### COPYRIGHT

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



PLAZA STREET PARTNERS  
CIVIL CONSTRUCTION DRAWINGS

18900 E. LINCOLN AVE.  
PARKER, CO 80134

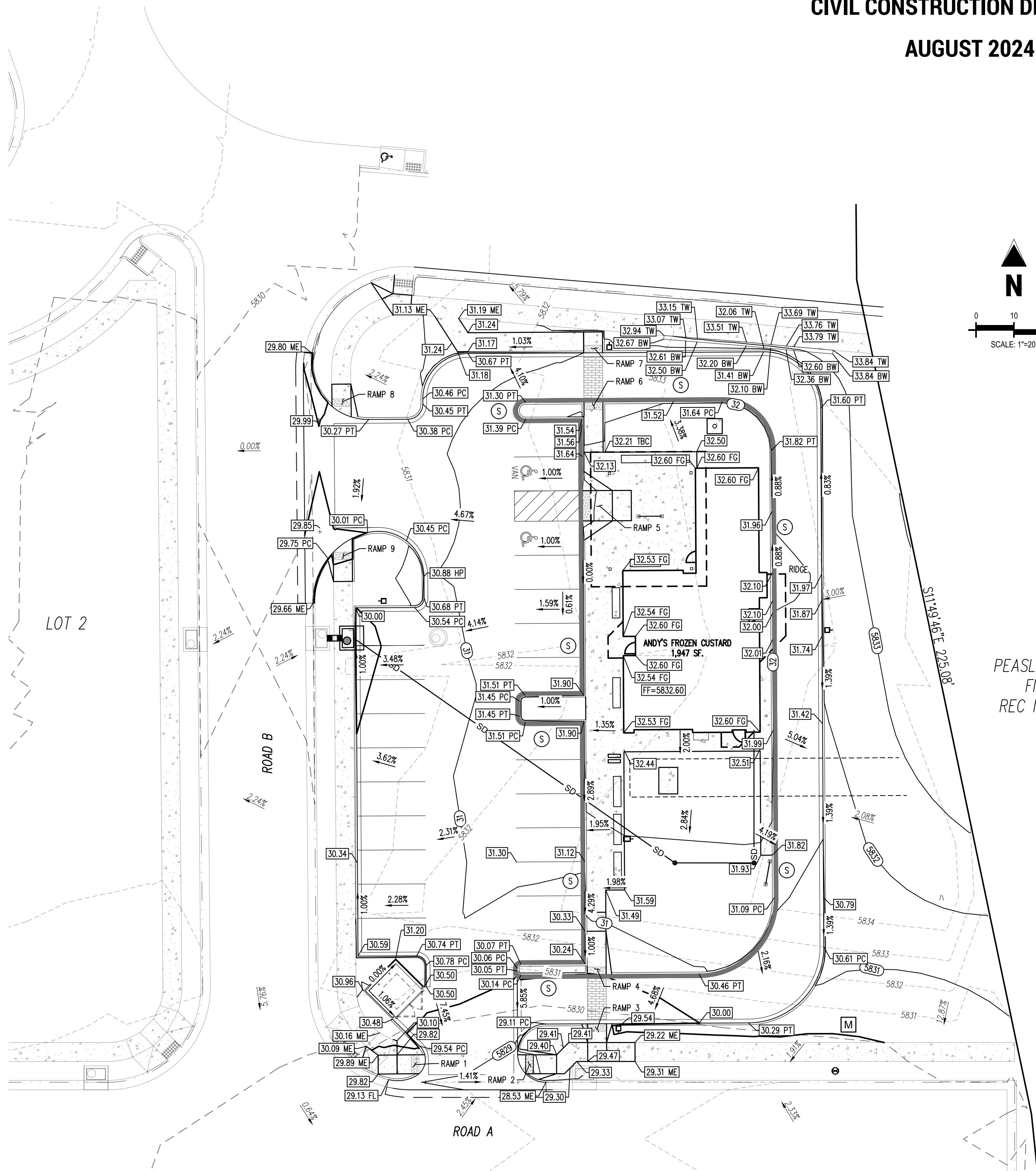
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Project No:	PSP000001
Drawn By:	JRC
Checked By:	SMB
Date:	08/09/2024

### GRADING PLAN

# C4.1

Sheet 15 of 28



LOT 1  
PEASLEE SUBDIVISION  
FILING NO. 1  
REC NO. 199104313

H:\Plaza Street Partners\CO Parker JPD\Arch\Archbook and Drawings\2024\20240910\PLAZA ST PARTNERS - 20240818.rvt

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	PROPOSED SPOT ELEVATION - TOP OF FOUNDATION
	PROPOSED SPOT ELEVATION - MATCH EXISTING
	PROPOSED SPOT ELEVATION - TOP BACK OF CURVE
	PROPOSED SPOT ELEVATION - TOP OF RAMP
	PROPOSED SPOT ELEVATION - BOTTOM OF RAMP

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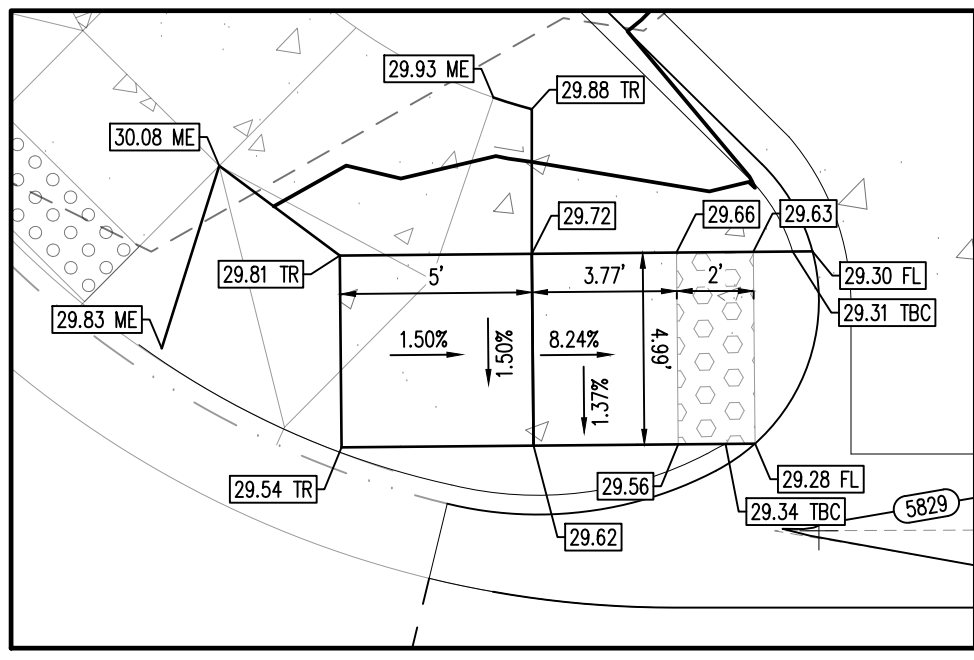
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### BENCHMARK

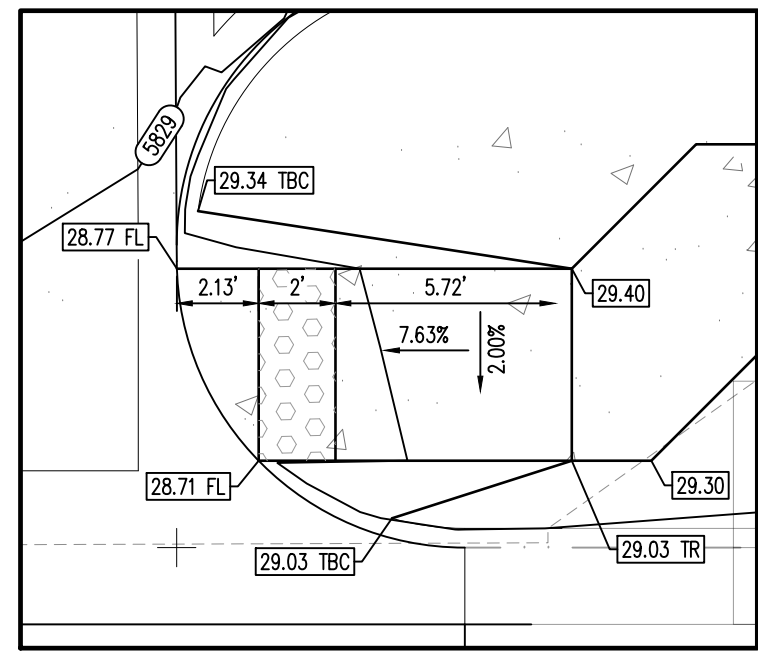
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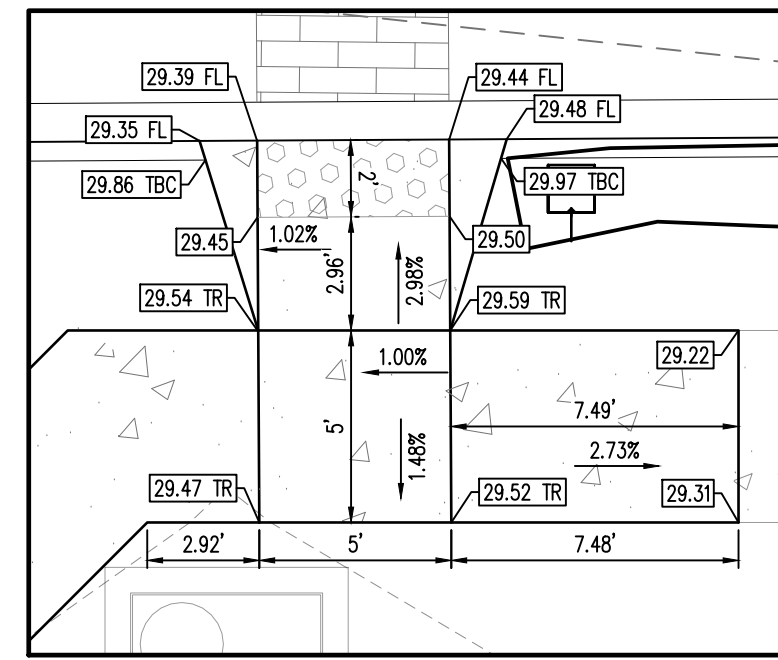
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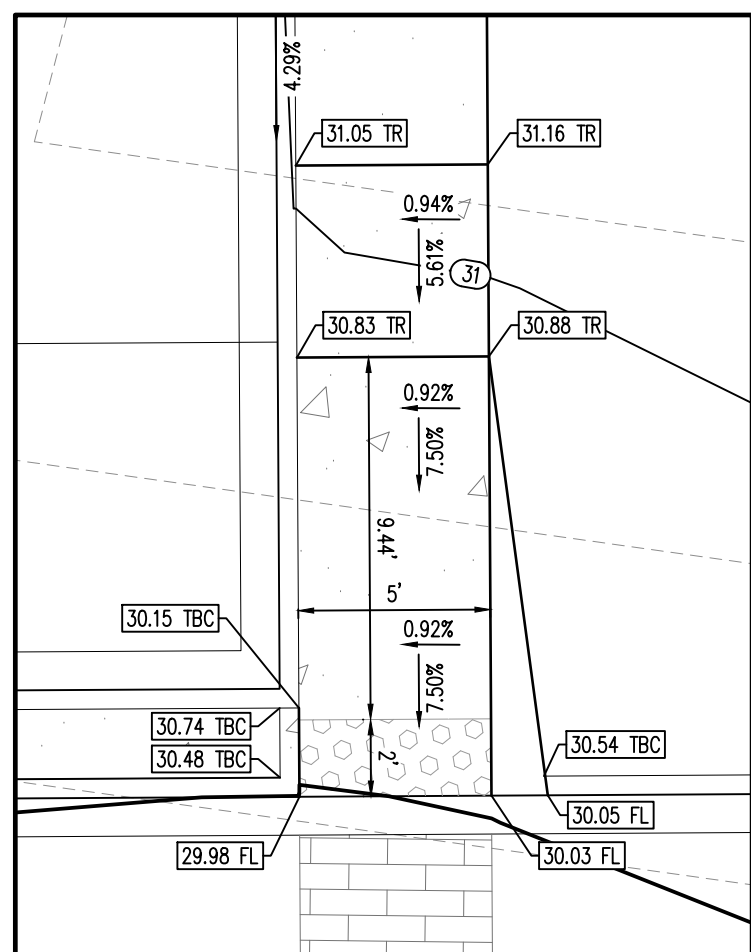
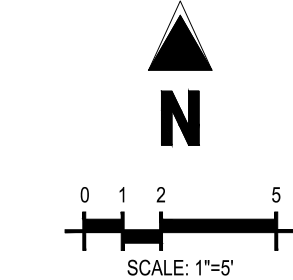
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SCALE: 1"=5'



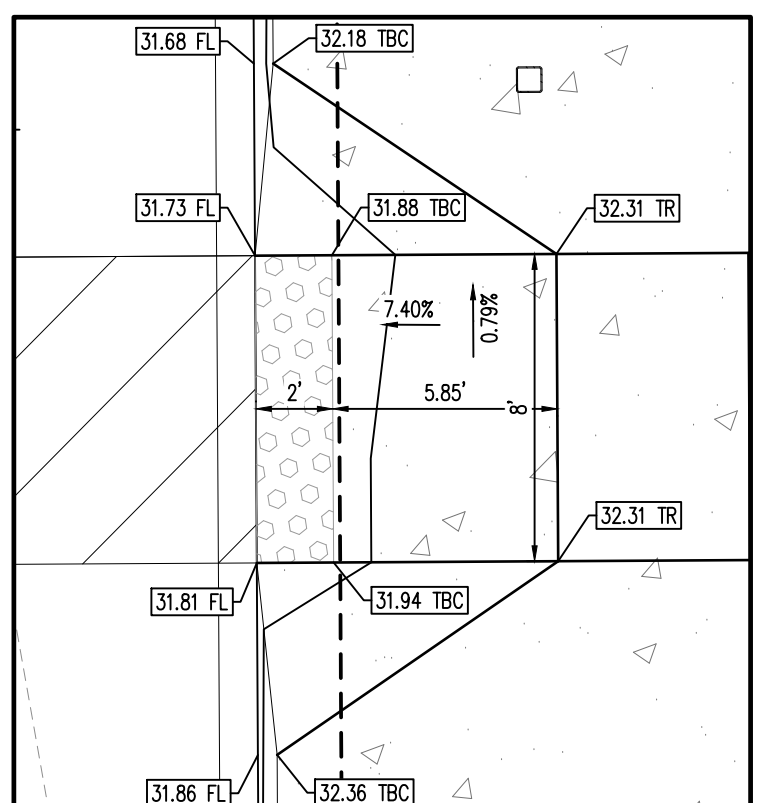
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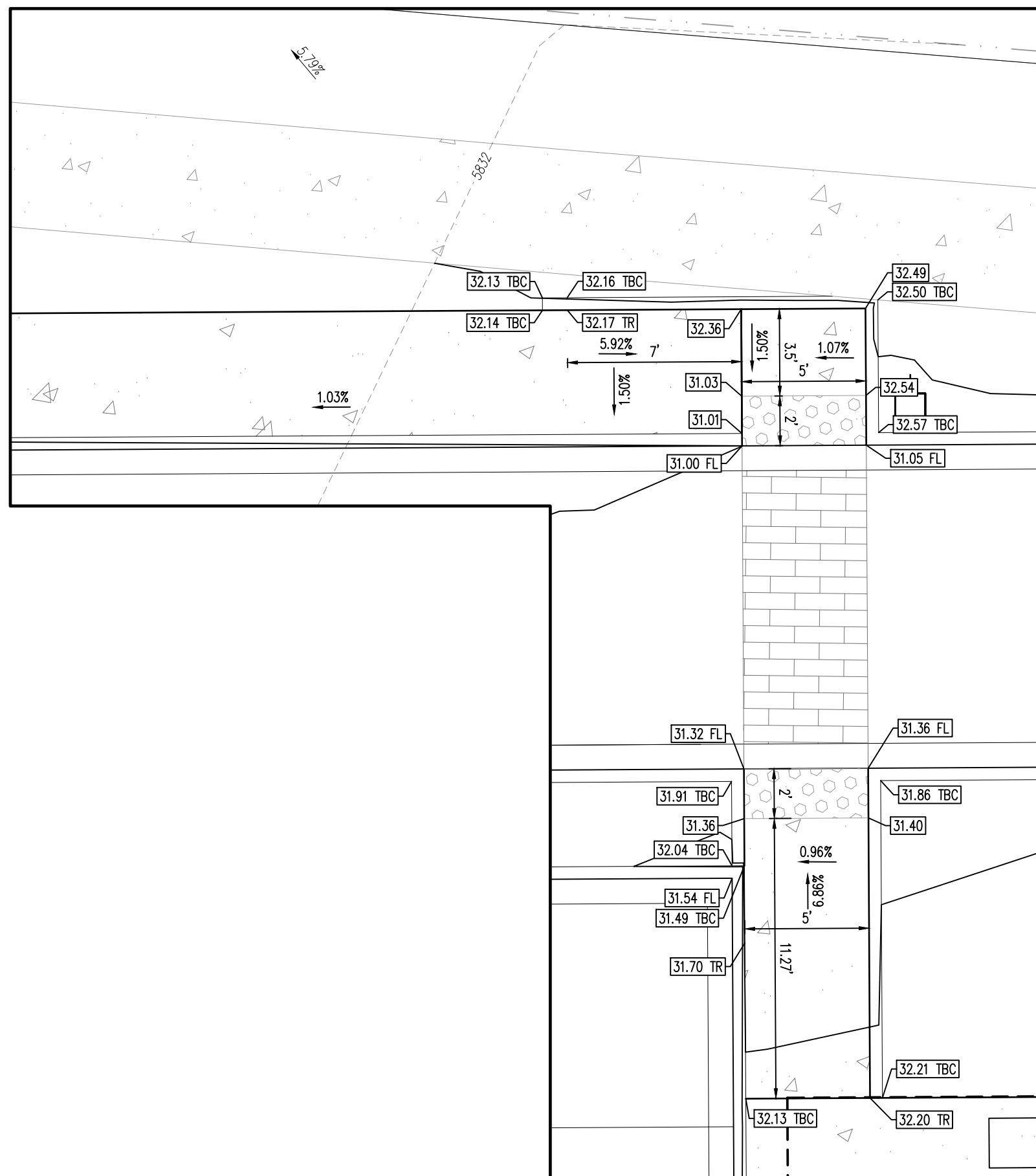
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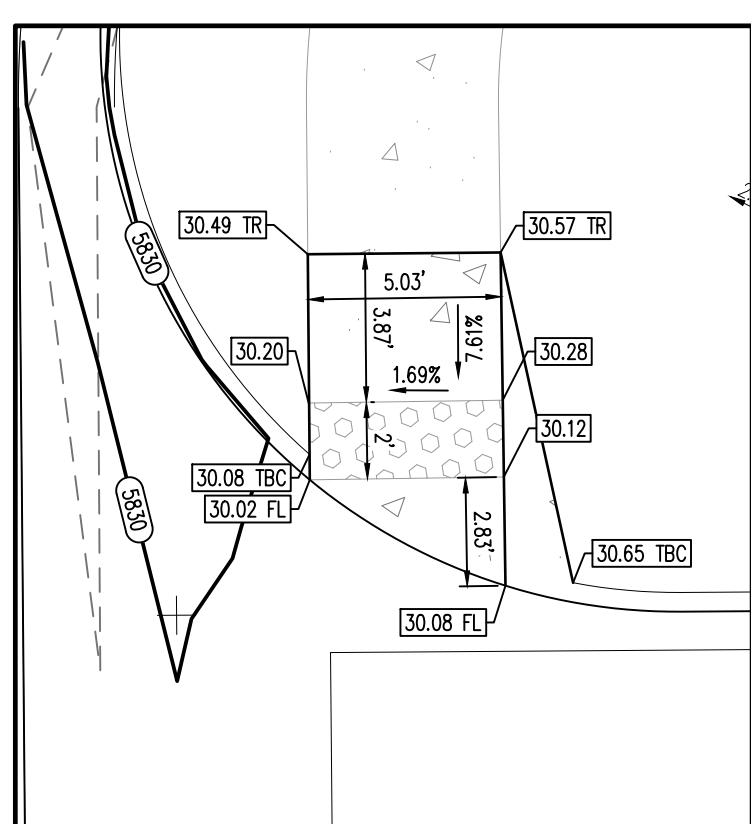
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SCALE: 1"=5'



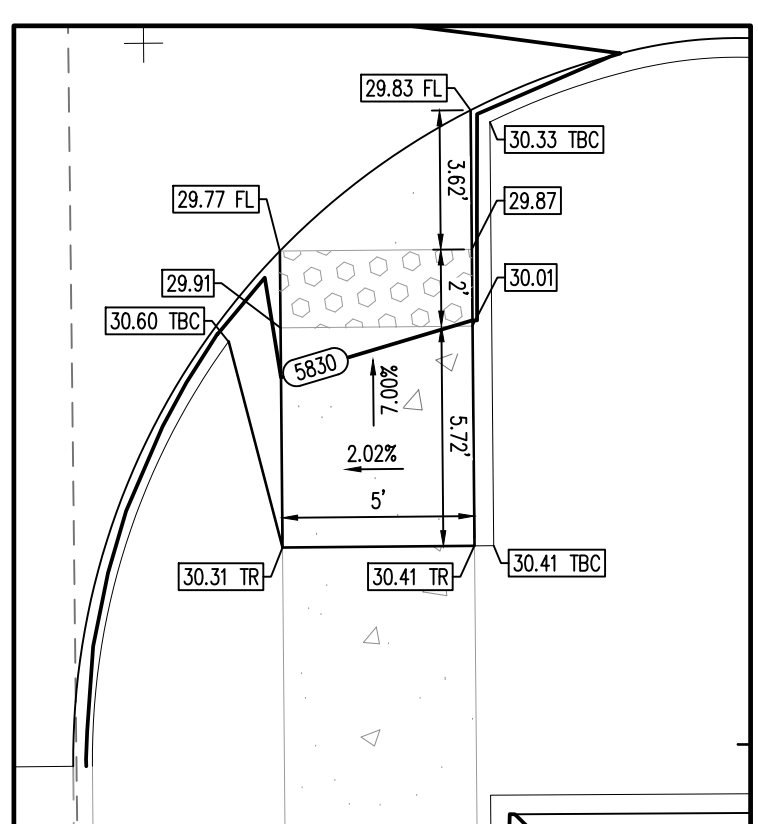
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RAMP 6 & 7  
SCALE: 1"=5'



RAMP 8  
SCALE: 1"=5'

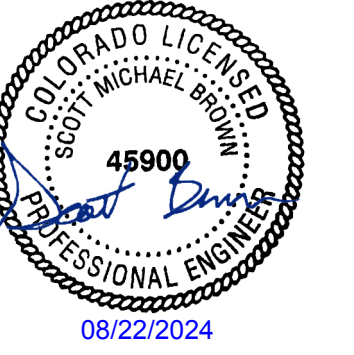


RAMP 9  
SCALE: 1"=5'

THESE DRAWINGS DO NOT INCLUDE COMPONENTS FOR CONSTRUCTION SAFETY.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

ALL CASTINGS SHALL BE COATED WITH BLACK ASPHALTIC VARNISH.



### COPYRIGHT

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PLAZA STREET PARTNERS  
CIVIL CONSTRUCTION DRAWINGS

18900 E. LINCOLN AVE.  
PARKER, CO 80134

Project No:	PSP000001
Drawn By:	JRC
Checked By:	SMB
Date:	08/09/2024

### DETAILED RAMP GRADING

# C4.2

Sheet 16 of 28

H:\Plaza Street Partners\C4.2\_Parker\_PSP01\_Archie\Book and Drawings\C4.2\_Detailed Ramp Grading.dwg - Matthew Roper - 20240816

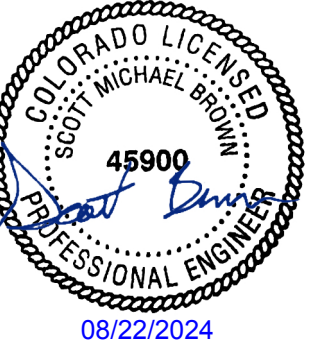


# LINCOLN PROFESSIONAL PARK FILING NO.1 LOT 3

LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH,  
RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

## CIVIL CONSTRUCTION DRAWINGS

AUGUST 2024



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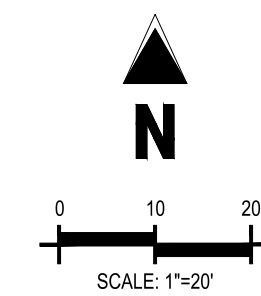
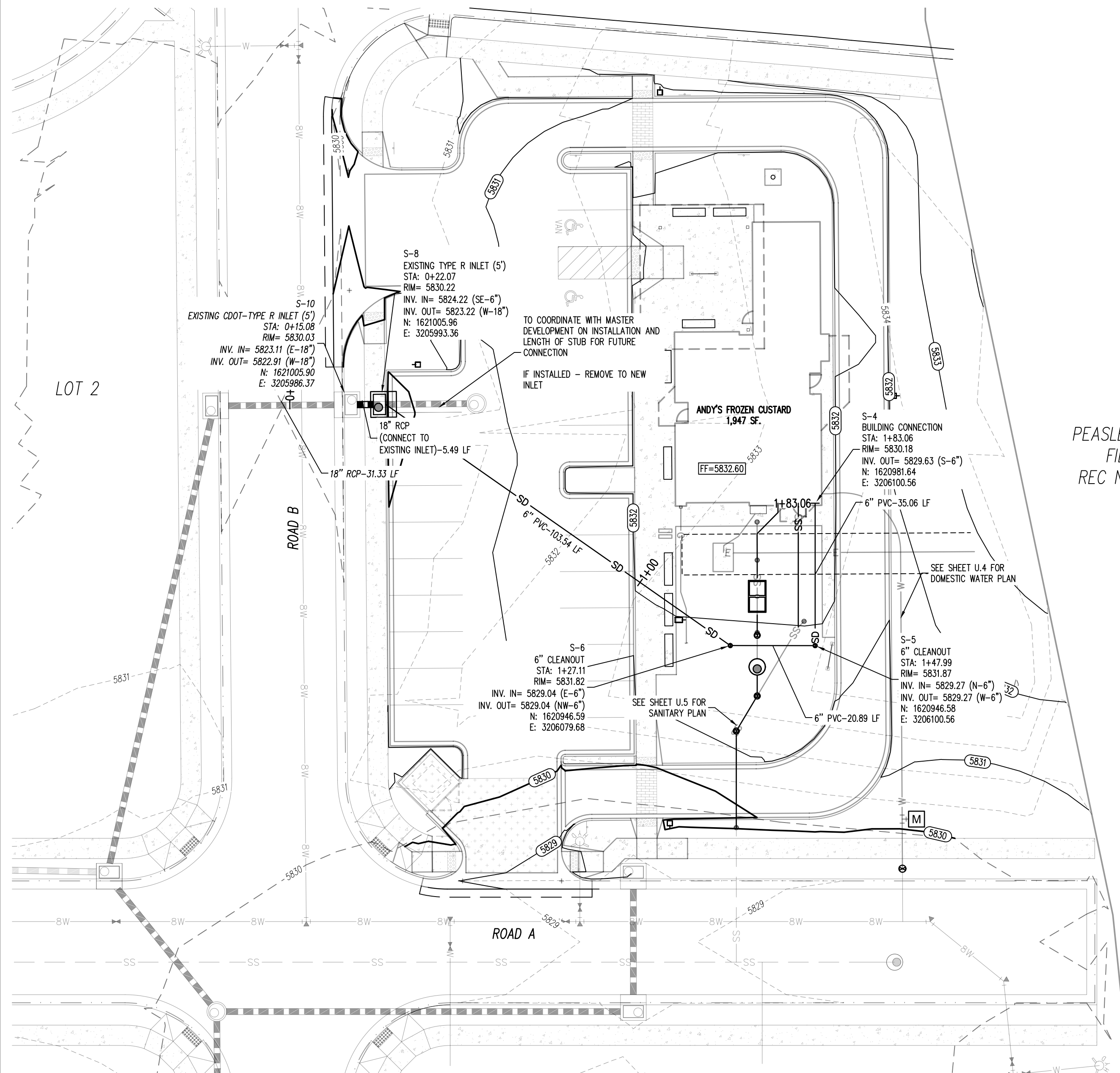


### UTILITY LEGEND

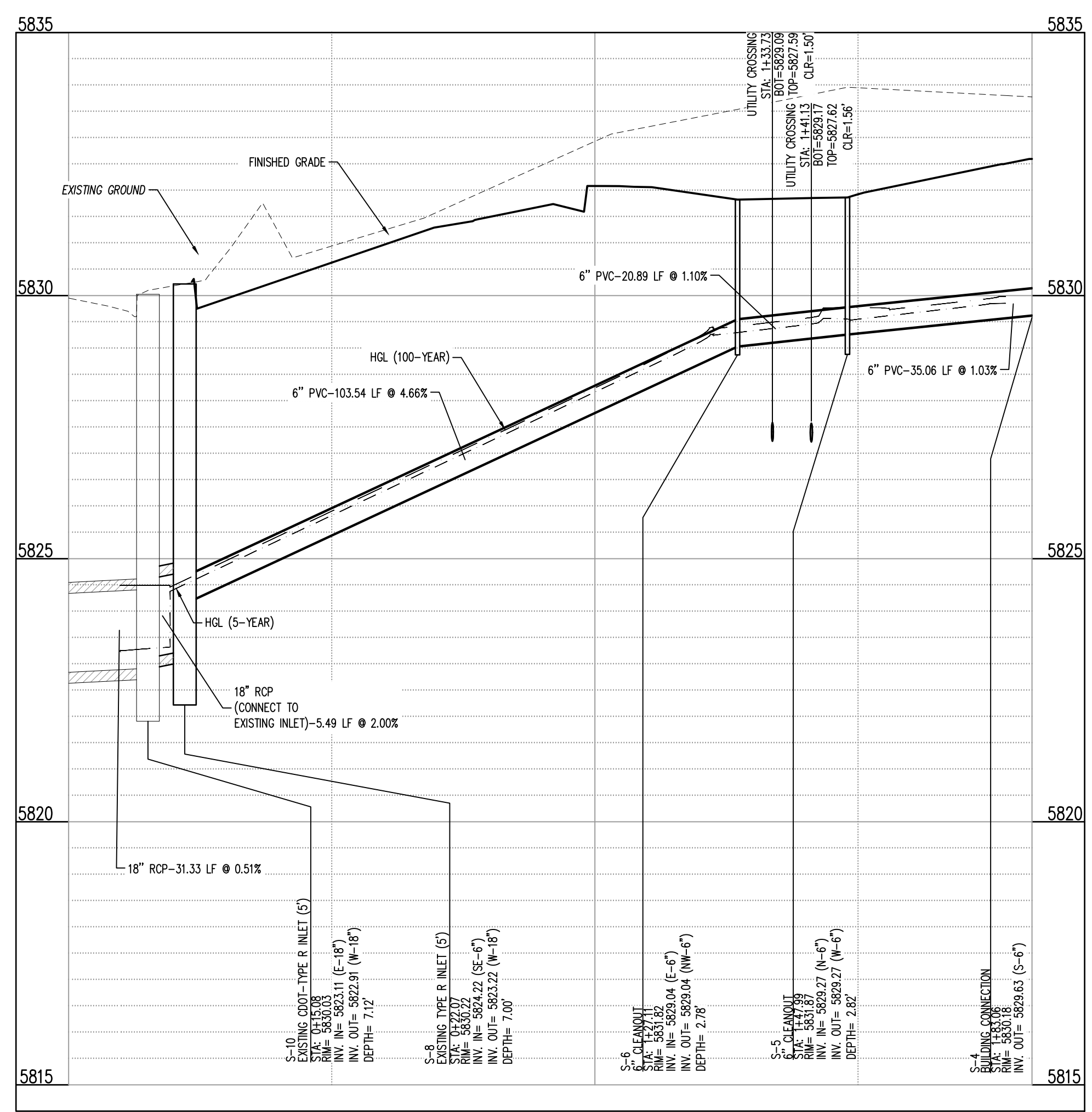
---	EXISTING WATER LINE
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
⊙	PROPOSED MANHOLE
⊙	EXISTING INLET
⊙	PROPOSED INLET

### GENERAL UTILITY NOTES

- ALL BUILDING WATER LINES FROM METER TOWARDS BUILDING SHALL BE SCHEDULE 40 PVC MEETING ASTM D1785 & D2665 SPECIFICATIONS AND SHALL BE RATED FOR USE WITH POTABLE WATER PER NSF ST. 61 WITH 36" MIN. COVER.
- ALL SANITARY SEWER LINES SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE SPECIFIED BY THE UTILITY COMPANY, PROVIDE 36" MINIMUM COVER.
- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATE WITH THE DESIGNATED UTILITY COMPANIES.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
- PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM CONSULTING ENGINEER(S) AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF (72) HOURS PRIOR TO CONSTRUCTION. CONSULTANT AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.



LOT 1  
PEASLEE SUBDIVISION  
FILING NO. 1  
REC NO. 199104313



### CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



### BASIS OF BEARINGS

BEARINGS ARE BASED OFF THE NORTH LINE OF THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, AS MONUMENTED AT BOTH THE NORTHWEST QUARTER CORNER AND THE NORTH QUARTER CORNER BY 3.25" ALUMINUM CAPS, ASSUMED TO BEAR SOUTH 89°29'00" WEST.

### BENCHMARK

BENCHMARK IS A UDFCD 2" BRASS CAP IN HEAD WALL (BG-1) NEAR PARKER ROAD AND BALDWIN AVE, ELEV=5841.07 NAVD88

The Town of Parker review constitutes general compliance with the Town's Standards and approved variances, subject to these plans being stamped, signed, and dated by the professional engineer of record. Review by the Town does not constitute approval of the plan design or accuracy and correctness of engineering calculations. Errors in the design or calculations remain the responsibility of the registered professional engineer whose stamp and signature are affixed to this document.

This review does not constitute approval of any private on-site improvements which may be shown. Construction cannot commence until all required drainage/traffic report(s), final development plan(s), special review(s), grading permit, and/or other permits are complete, approved and on file with the Town of Parker.

*[Signature]*  
Town of Parker, Director of Engineering  
Date: 09/16/2024

STORM PROFILE: STA 0+00.00 TO 1+11.68  
SCALE: 1"=20'

PLAZA STREET PARTNERS  
CIVIL CONSTRUCTION DRAWINGS

18900 E. LINCOLN AVE.  
PARKER, CO 80134

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Project No:	PSP000001
Drawn By:	JRC
Checked By:	SMB
Date:	08/09/2024

### STORM PLAN



**PLAZA STREET PARTNERS**  
**LINCOLN PROFESSIONAL PARK FILING NO.1 LOT 3**  
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH,  
 RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
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**CIVIL CONSTRUCTION DRAWINGS**

**AUGUST 2024**



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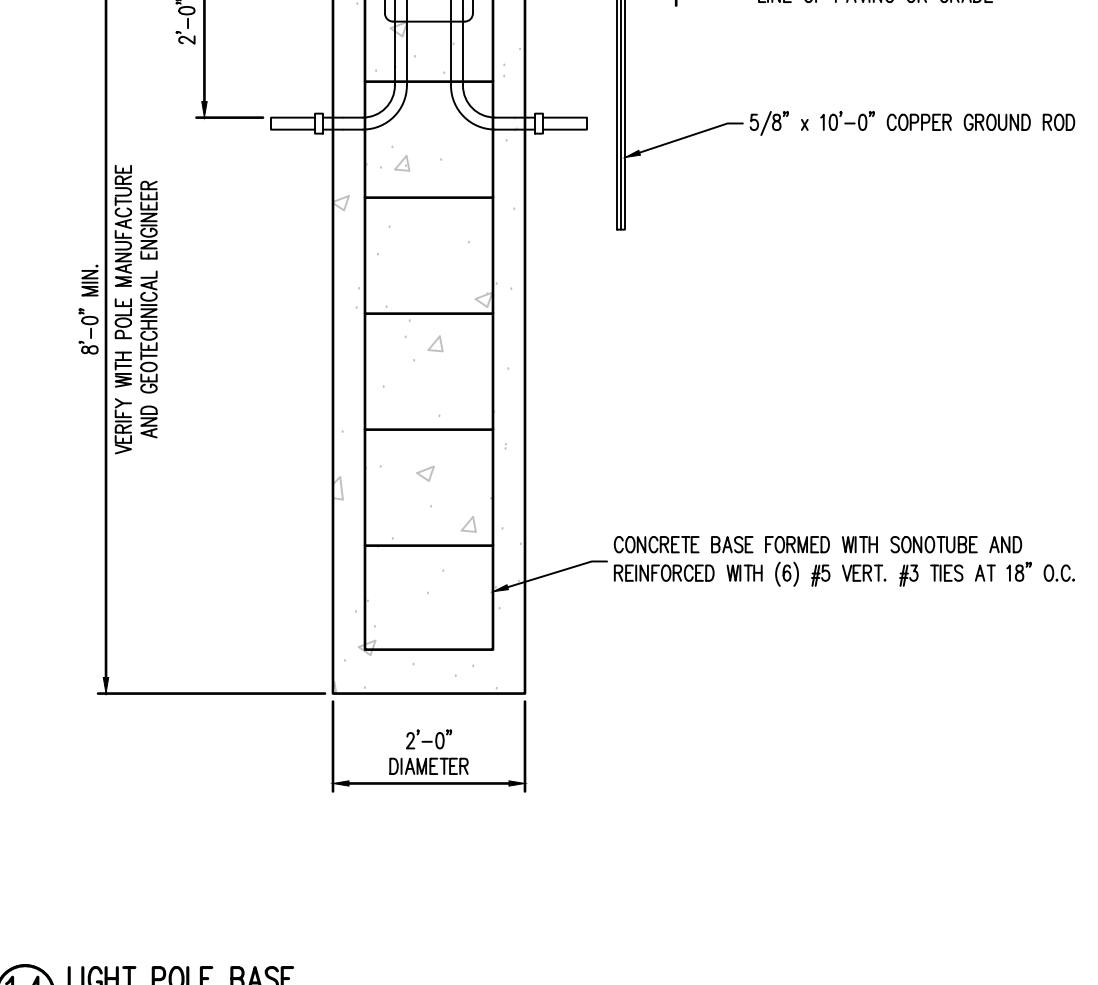
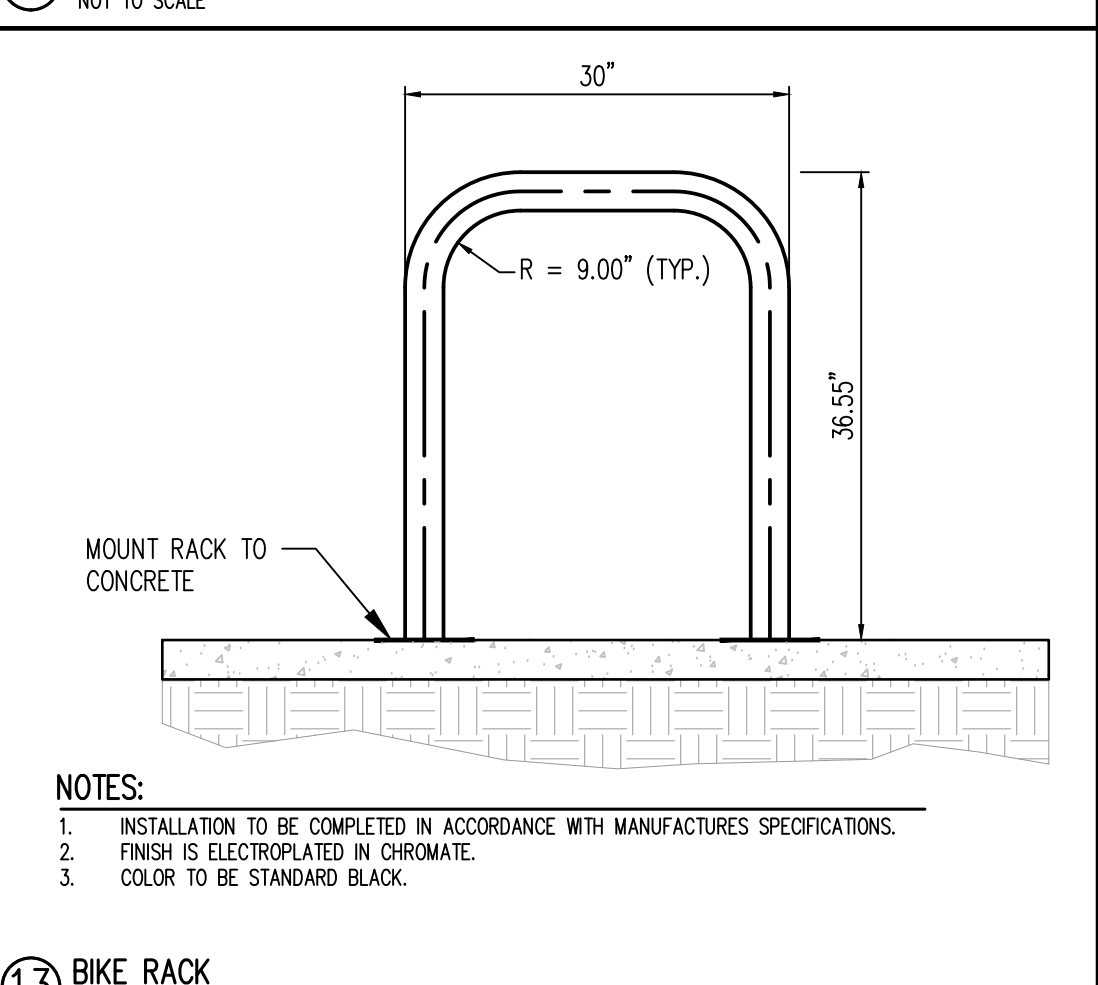
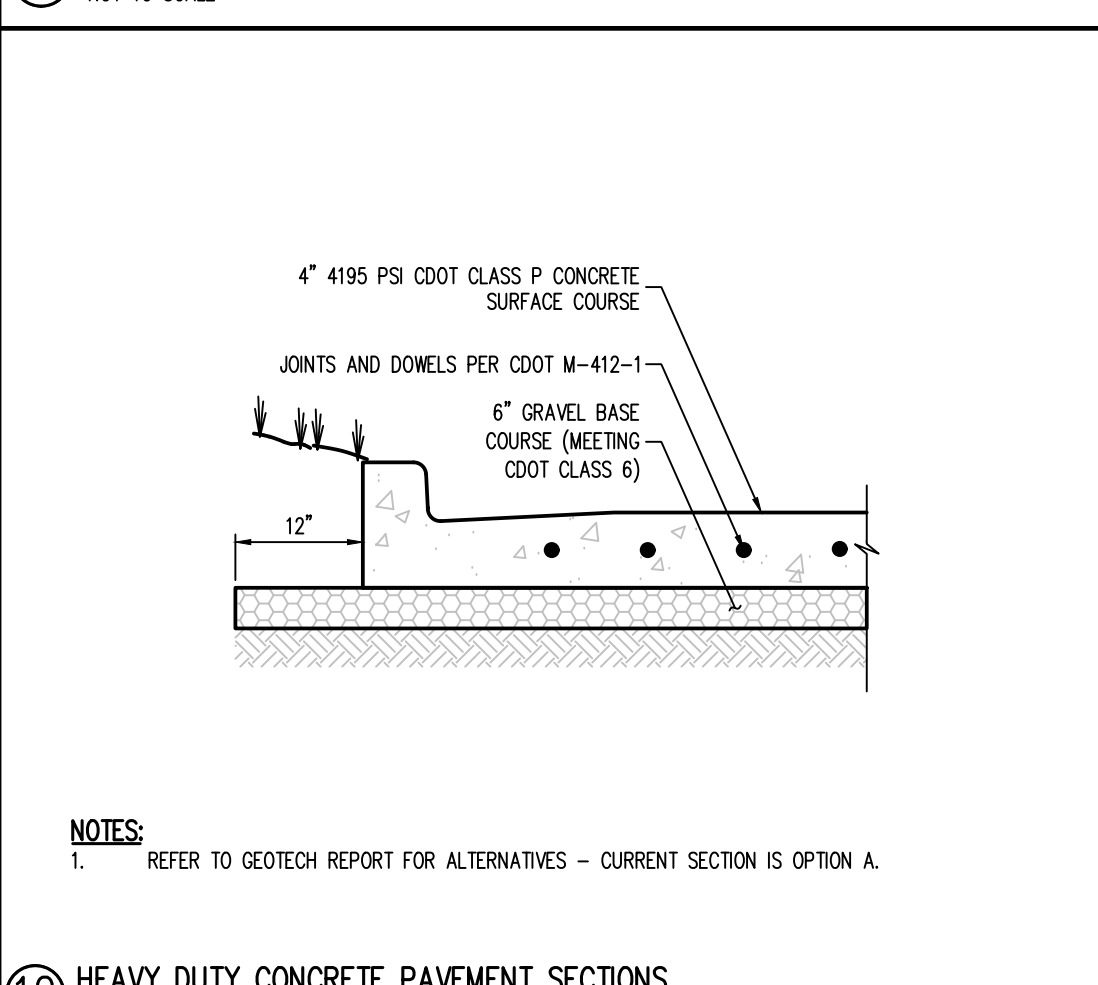
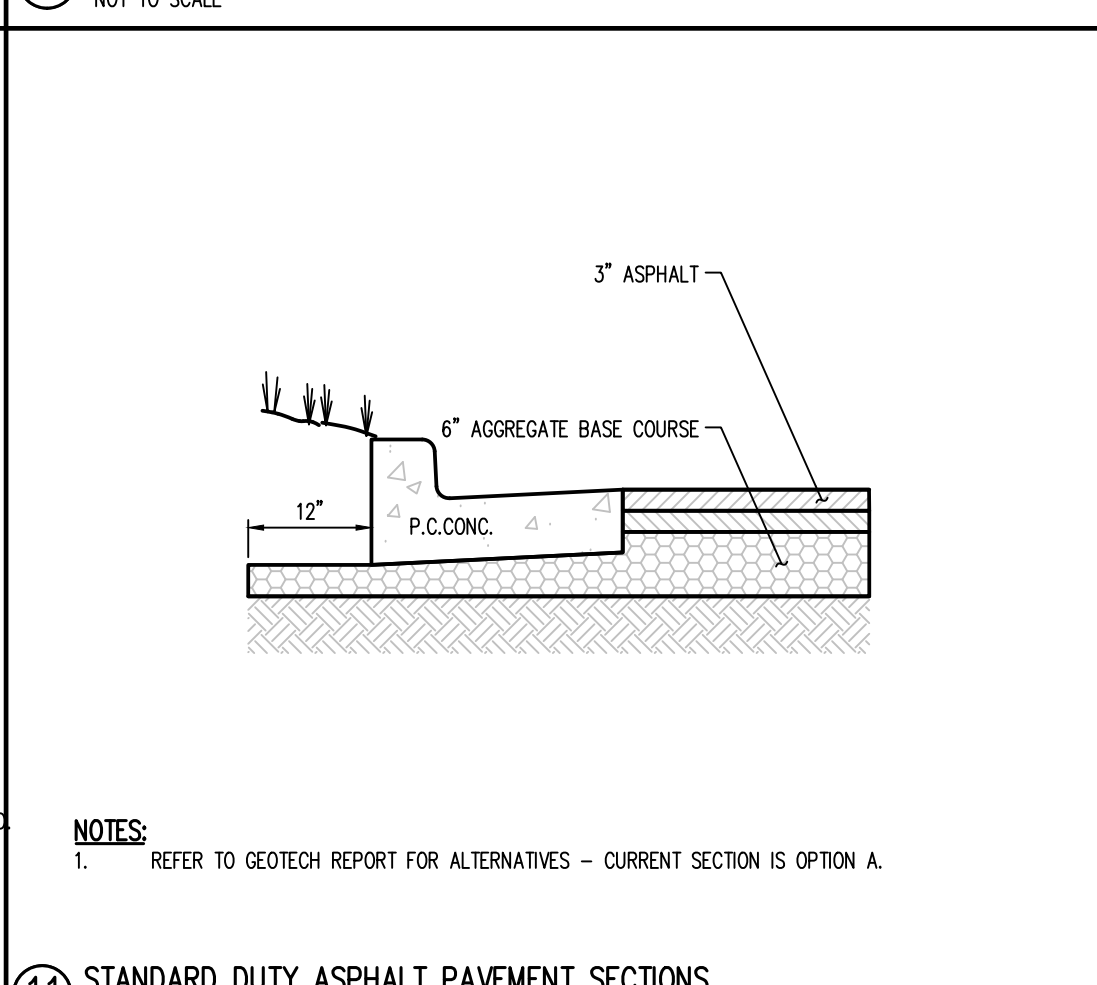
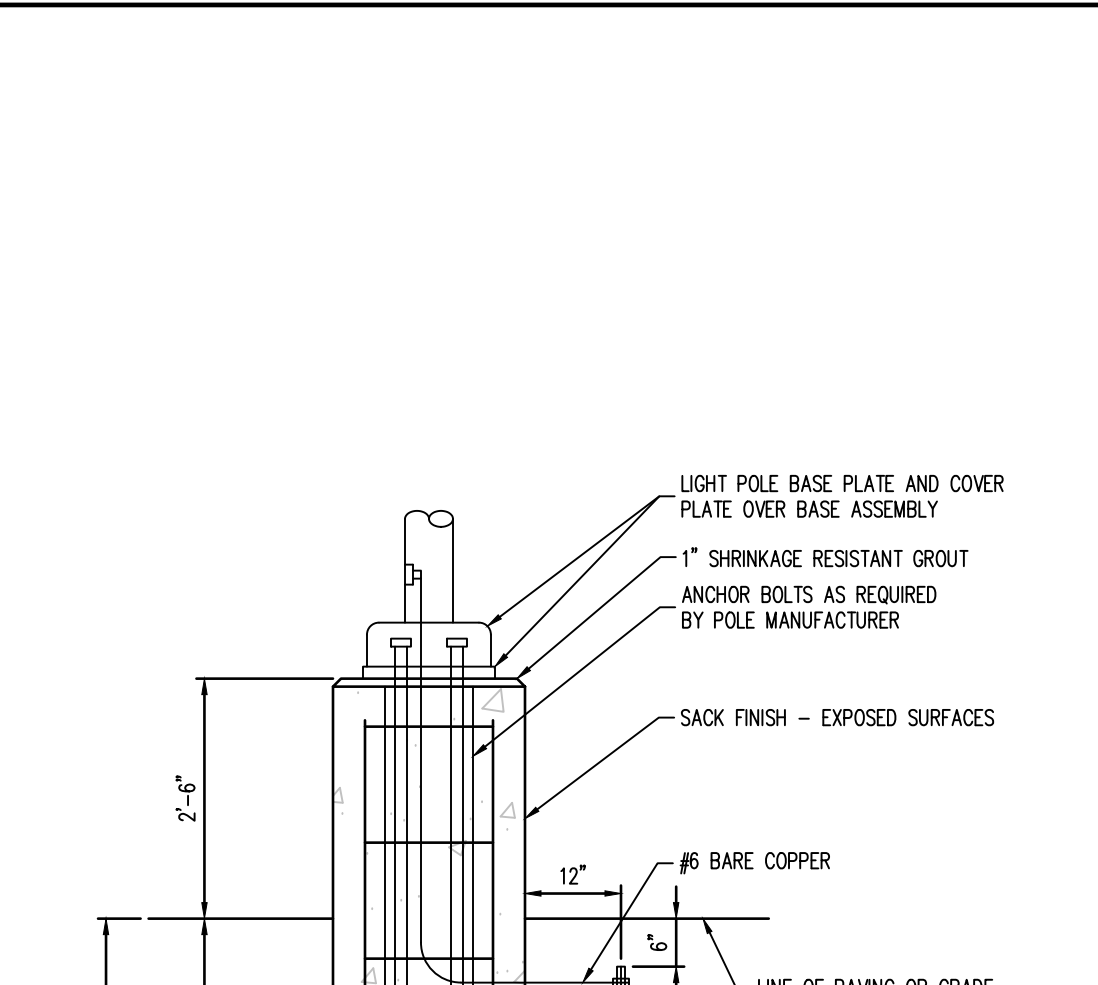
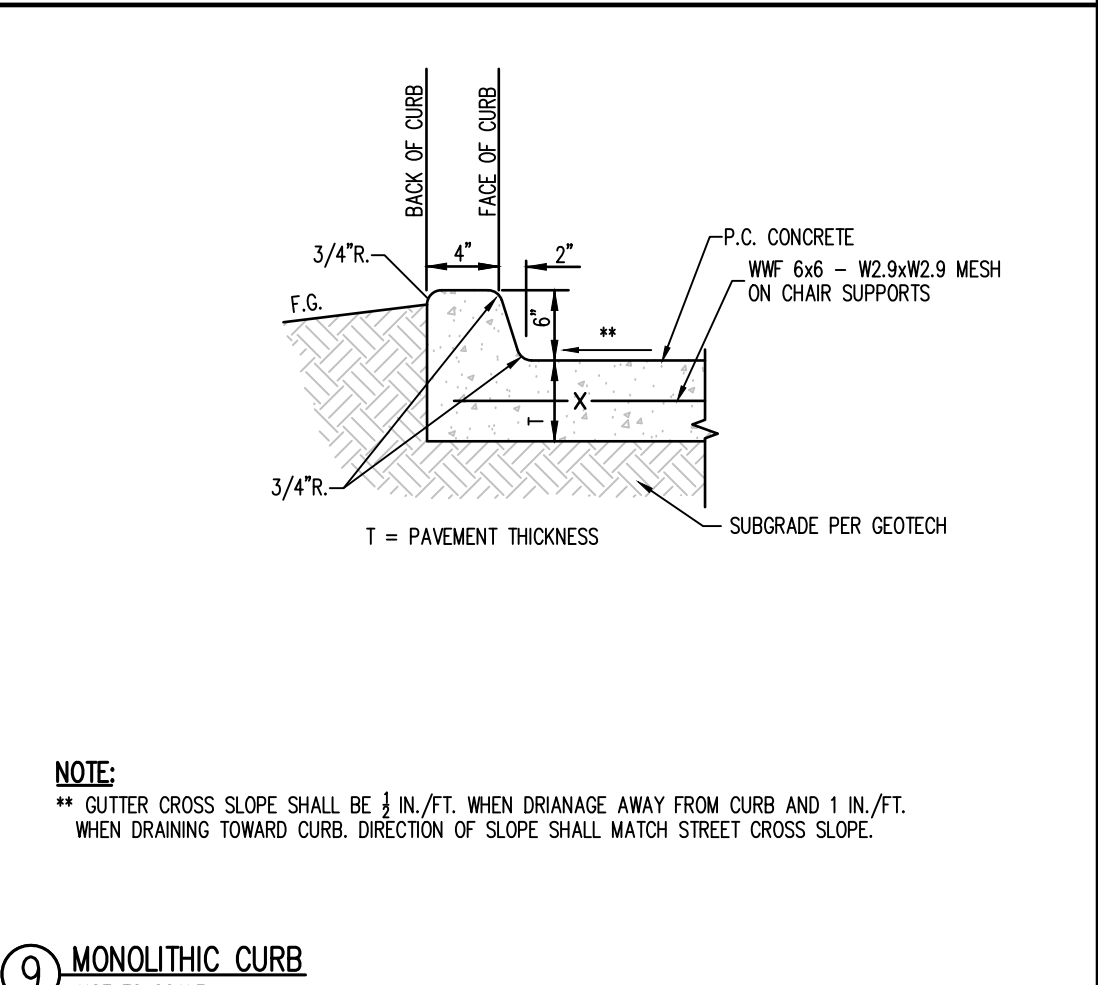
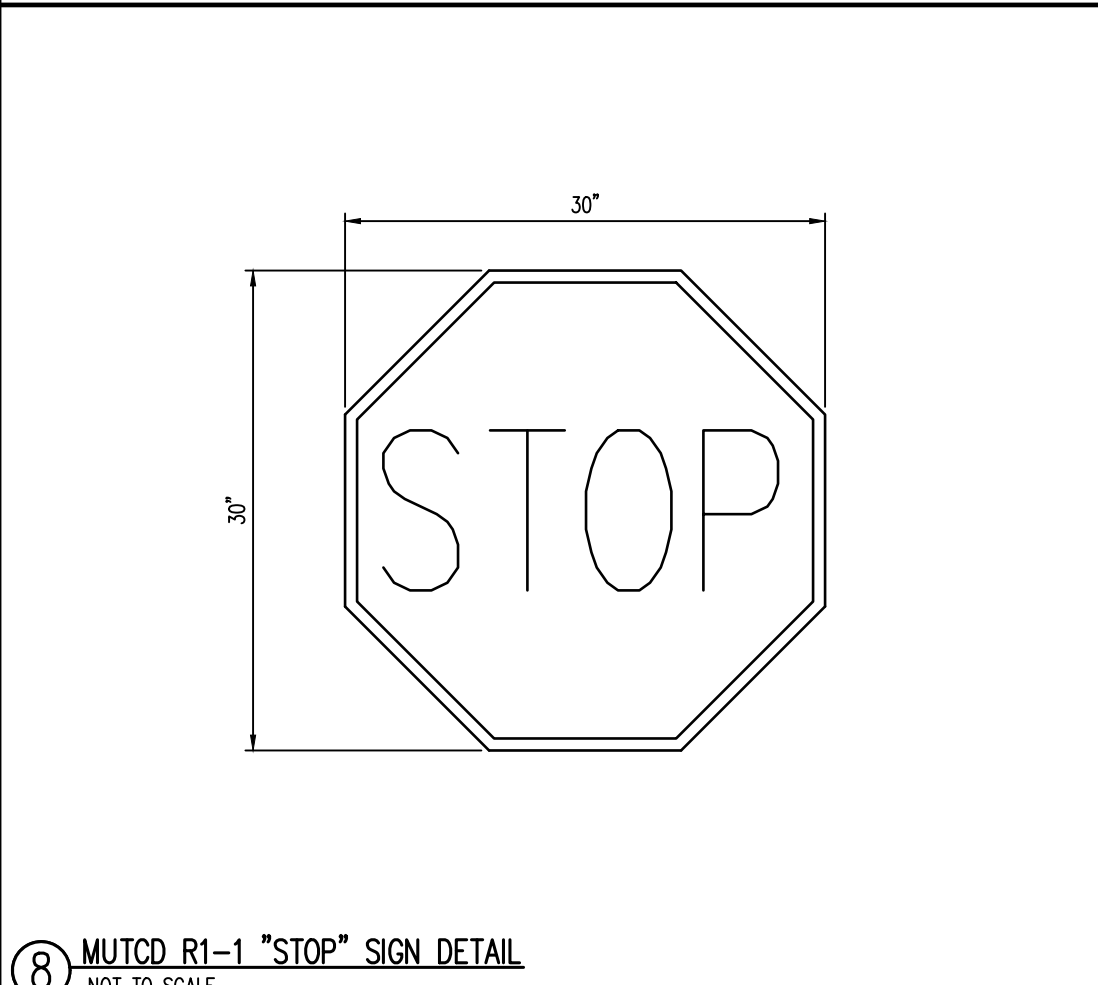
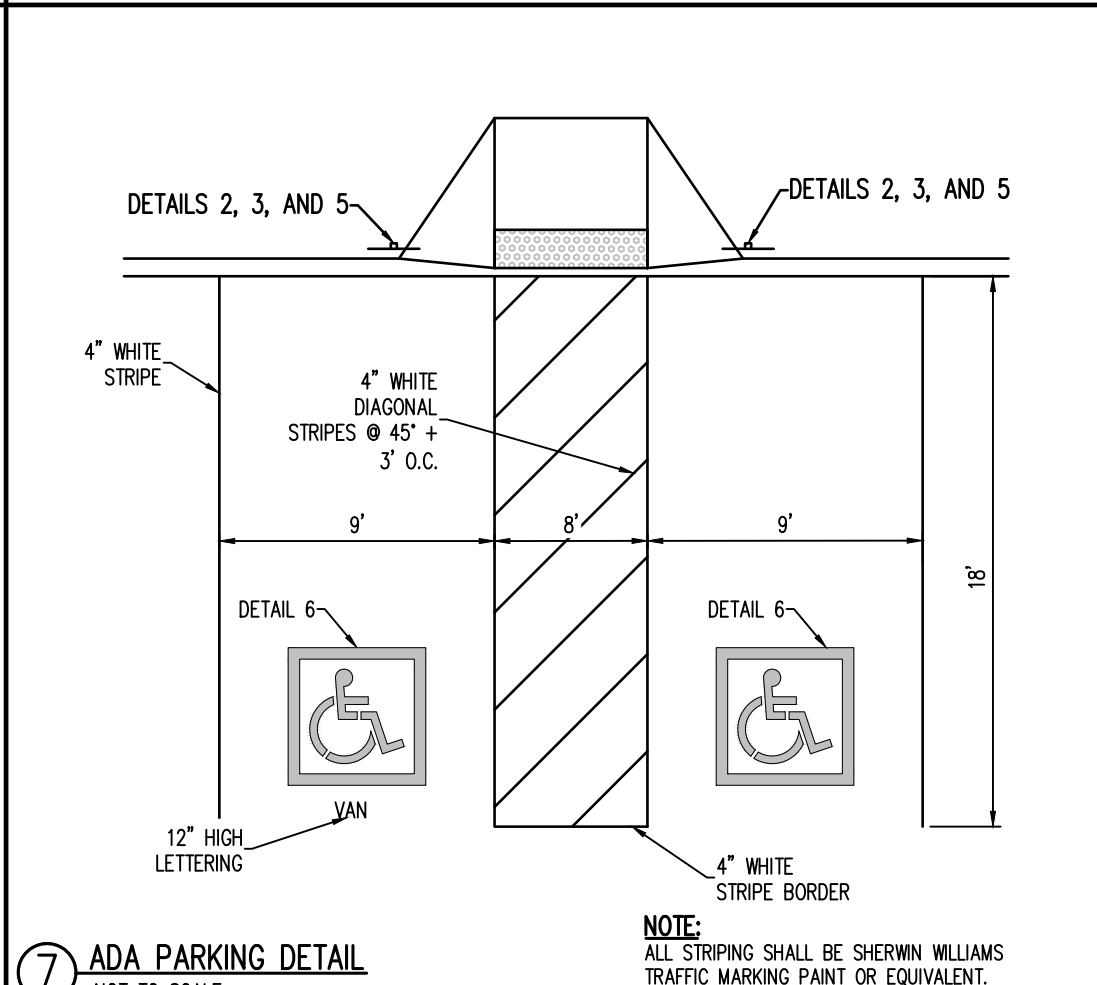
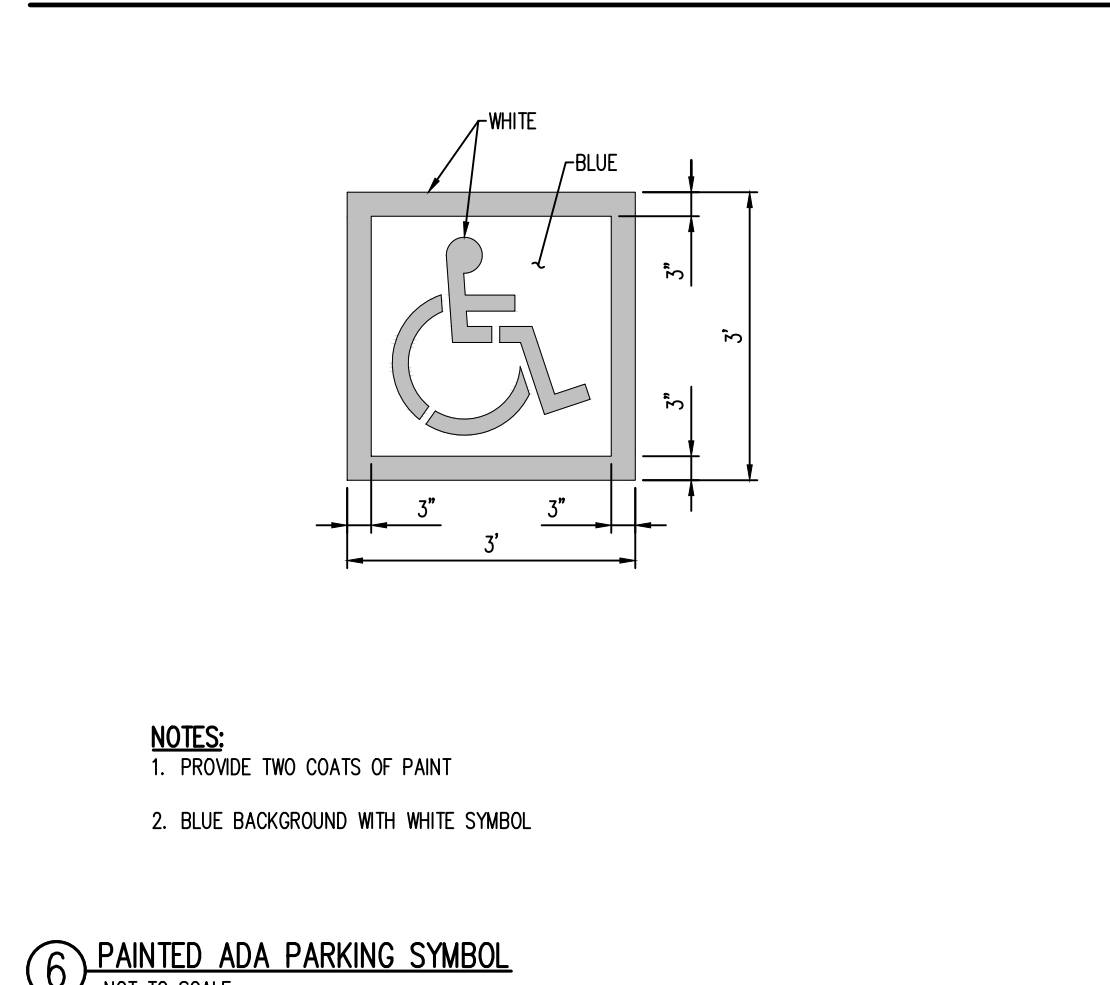
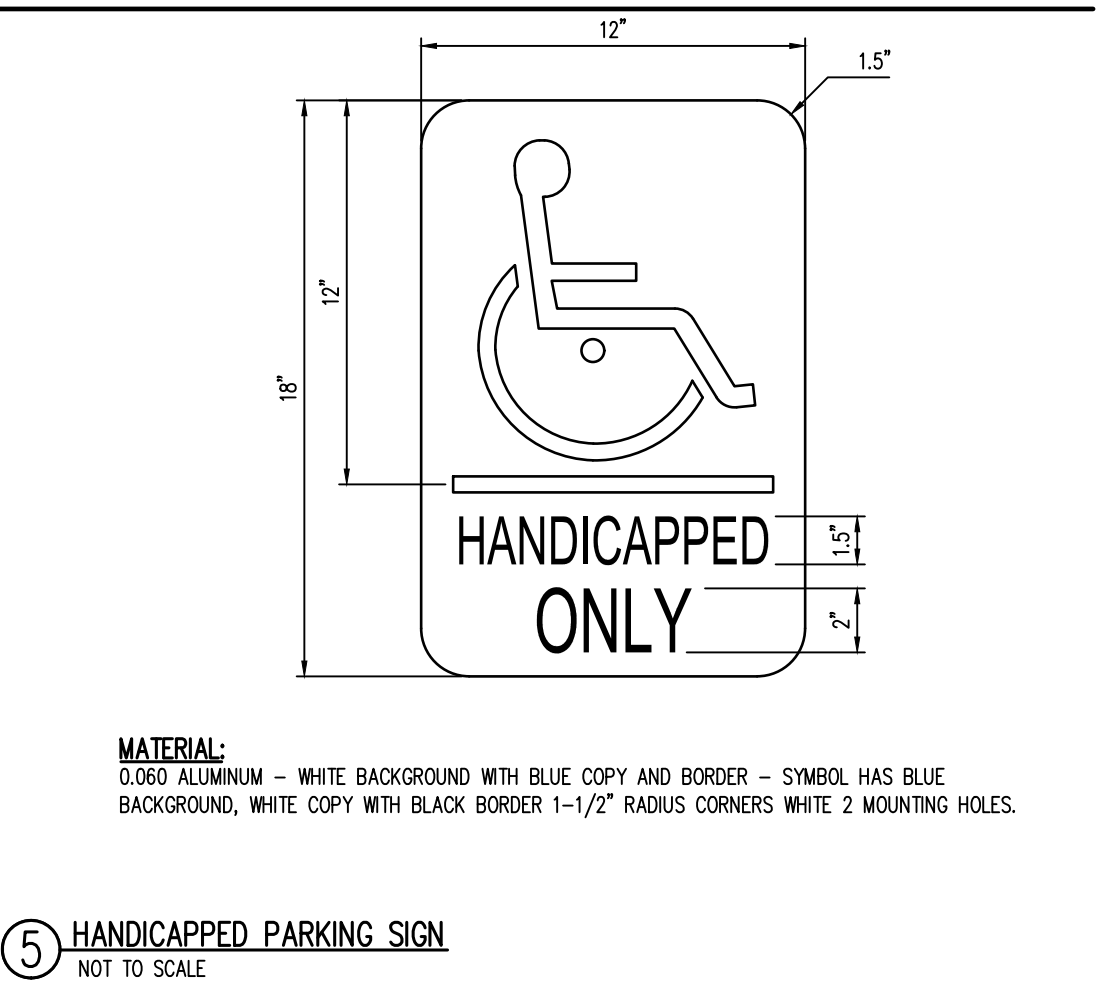
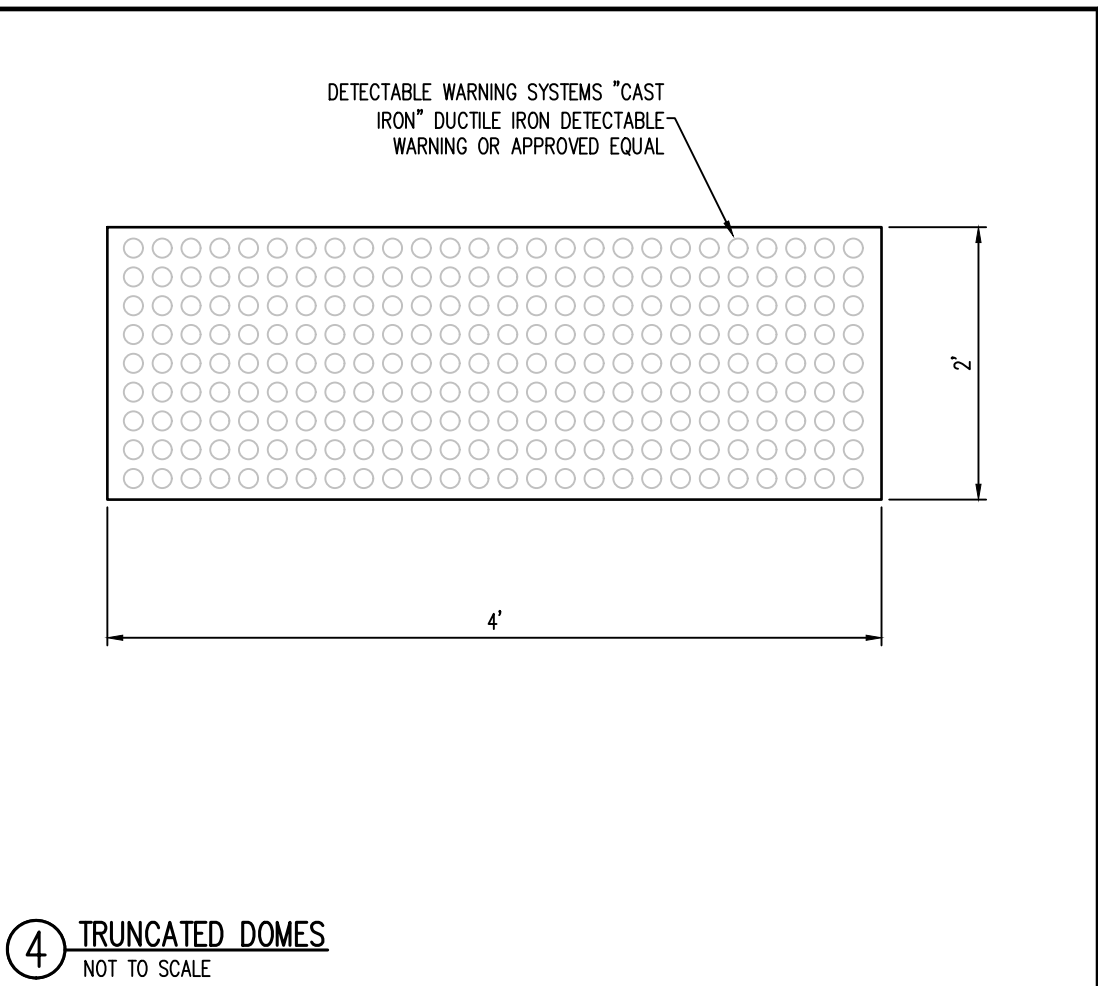
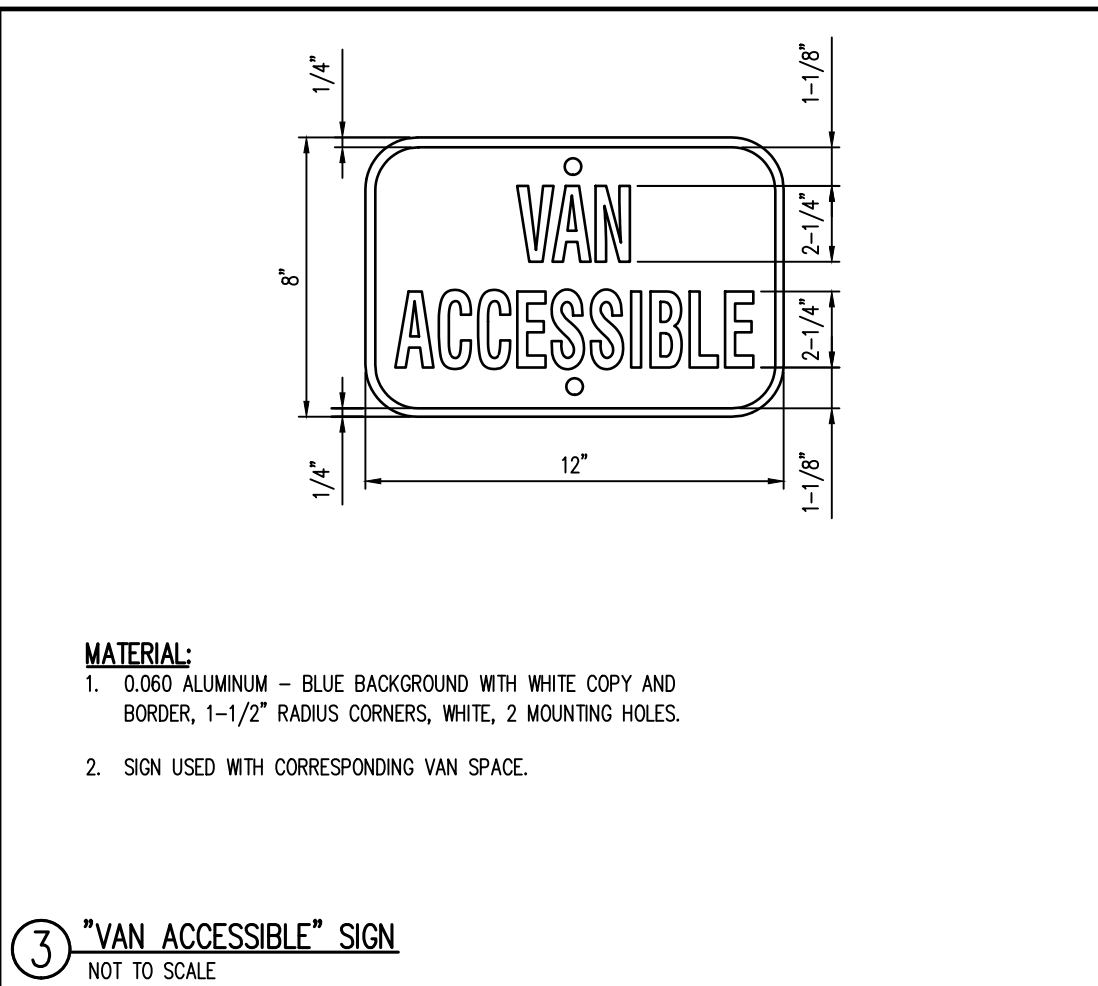
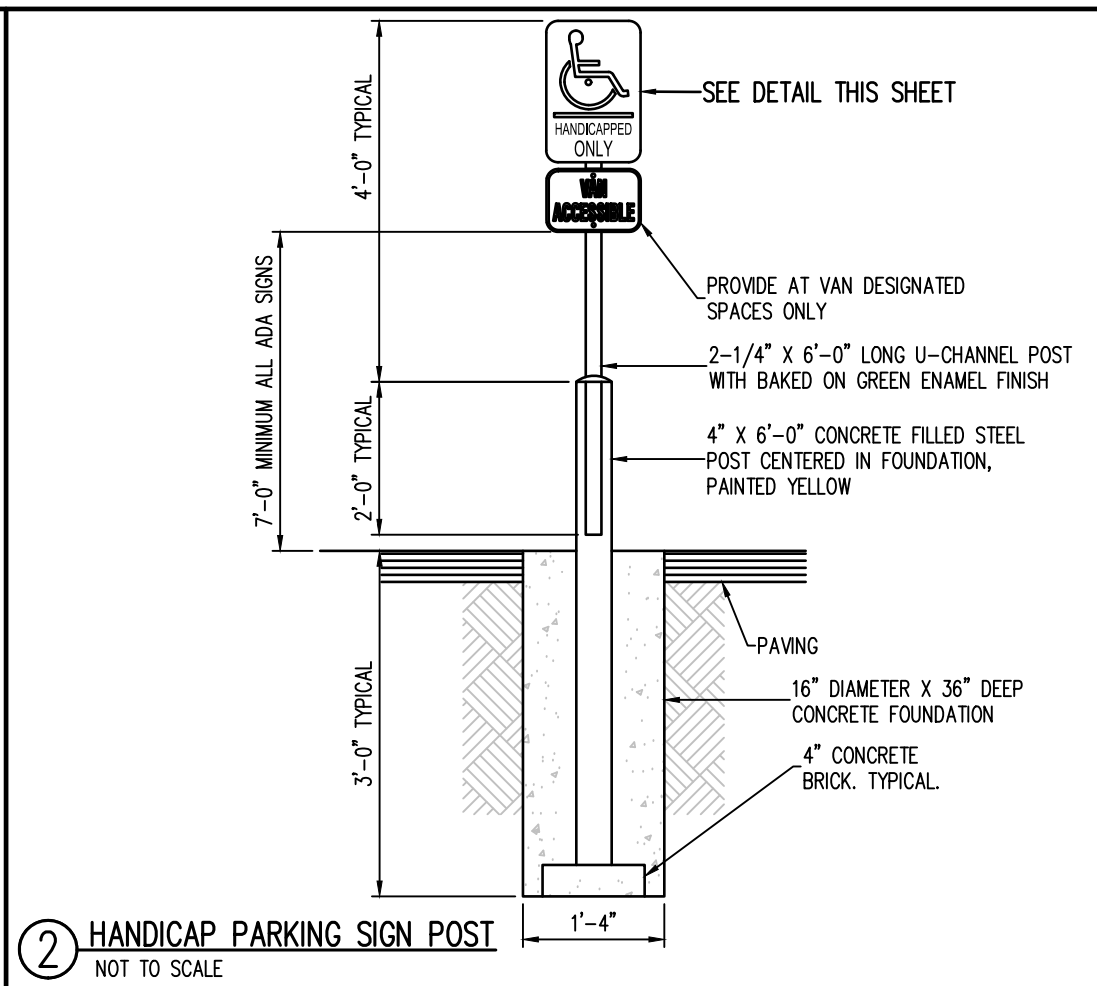
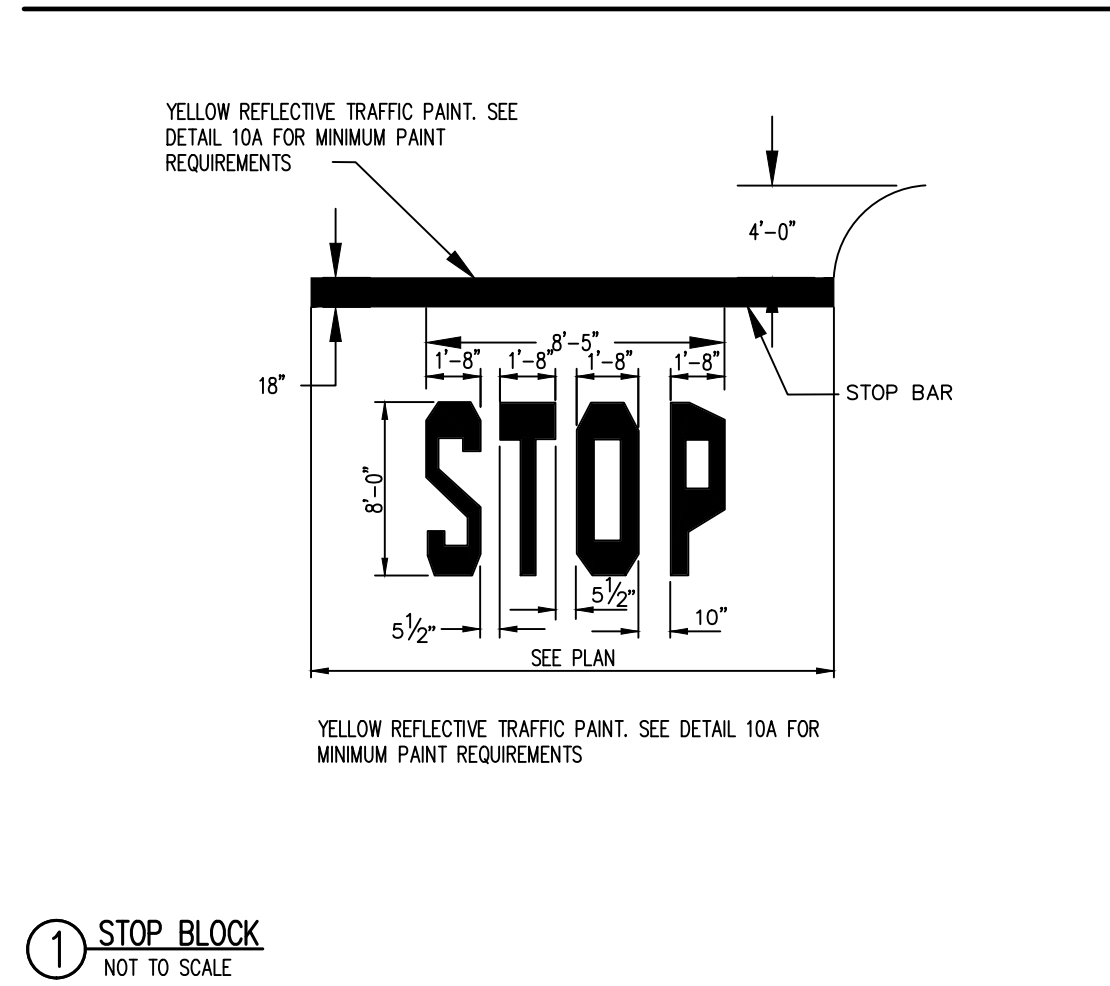
**PLAZA STREET PARTNERS  
 CIVIL CONSTRUCTION DRAWINGS**

**18900 E. LINCOLN AVE.  
 PARKER, CO 80134**

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Project No:	PSP000001
Drawn By:	JRC
Checked By:	SMB
Date:	08/09/2024

**SITE DETAILS**



H:\P\Plaza Street Partners\CAD\Plaza\_SPT\_P\01\_Architectural and Details\02024\020240909\C7.1\_Site Details.dwg - Matthew Pagan - 20240818

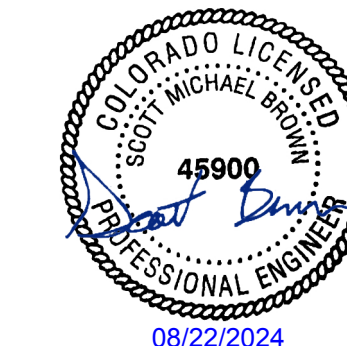
# LINCOLN PROFESSIONAL PARK FILING NO.1 LOT 3

LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH,  
RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

## CIVIL CONSTRUCTION DRAWINGS

AUGUST 2024

5500 Greenwood Plaza Blvd., Suite 200  
Greenwood Village, CO 80111  
303.770.8884  
GallowayUS.com



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Project No: PSP000001  
 Drawn By: JRC  
 Checked By: SMB  
 Date: 08/09/2024

SITE DETAILS

# C7.2

Sheet 21 of 28

**CONCRETE SIDEWALK**  
NOT TO SCALE

**FIRE LANE & TOW AWAY ZONE SIGN**  
NOT TO SCALE

**RIGHT TURN ONLY SIGN**  
NOT TO SCALE

**4' CROSS PAN DETAIL**  
SCALE: 1 1/2" = 1'-0"

**PRIVATE RETAINING WALL DETAIL**  
NOT TO SCALE

**CURB INLET TYPE R**  
STANDARD PLAN NO. M-604-12  
Standard Sheet No. 1 of 2

**MANHOLE COVER STANDARD DETAIL**  
DATE: NOVEMBER 2020  
DETAIL: 33  
1 OF 1

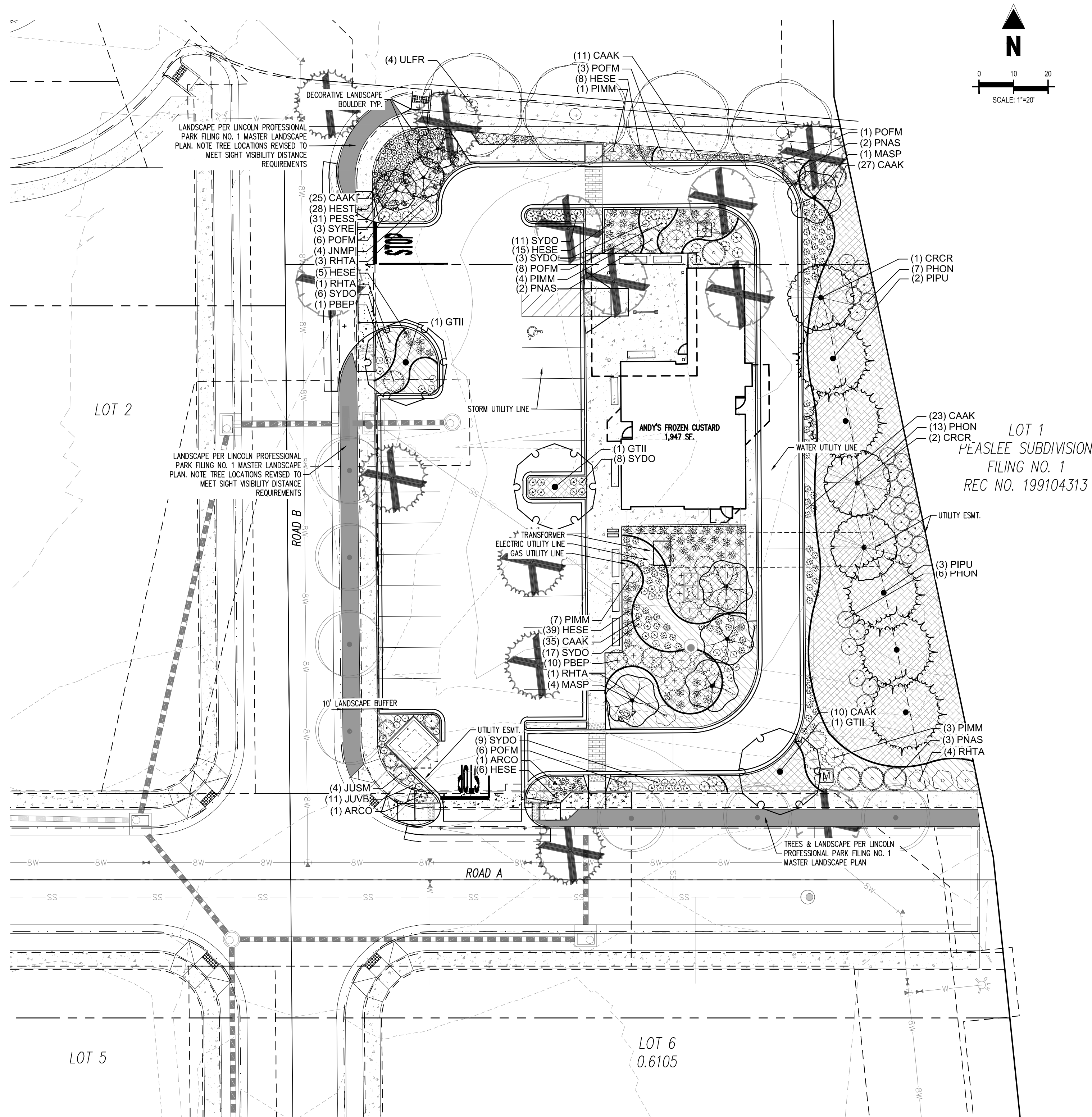
Computer File Information	Sheet Revisions	Colorado Department of Transportation	STANDARD PLAN NO.
Creation Date: 07/31/19	Date:	2829 West Howard Place CDOT HQ, 3rd Floor Denver, CO 80204 Phone: 303-757-9021 FAX: 303-757-9868	M-604-12
Designer Initials: JKB	Comments:	Project Development Branch	Standard Sheet No. 1 of 2
Last Modification Date: 07/31/19		JBK	Project Sheet Number:
Detailer Initials: LTA			
CAD Ver.: MicroStation V8 Scales: Not to Scale Units: English			



**PLAZA STREET PARTNERS**  
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**CIVIL CONSTRUCTION DRAWINGS**

**AUGUST 2024**



**PLANT SCHEDULE**

DECIDUOUS TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	CAL / SIZE	HT. X SPD.
	GTII	3	IMPERIAL HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS 'IMPCOLE' TM	B&B	2" CAL	35' X25'
	ULFR	4	FRONTIER ELM	ULMUS X 'FRONTIER'	B&B	2" CAL	40' X30'
EVERGREEN TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	CAL / SIZE	HT. X SPD.
	PIPU	5	COLORADO SPRUCE	PICEA PUNGENS	B&B	6" HT	60' X25'
	PNAS	7	ARNOLD SENTINEL AUSTRIAN PINE	PINUS NIGRA 'ARNOLD SENTINEL'	B&B	6" HT	25' X7'
ORNAMENTAL TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	CAL / SIZE	HT. X SPD.
	CRCR	3	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS-GALLI INERMIS	B&B	1.5" CAL	50' X20'
	MASP	5	SPRING SNOW CRABAPPLE	MALUS X 'SPRING SNOW'	B&B	1.5" CAL	20' X15'
	SYRE	3	JAPANESE TREE LILAC	SYRINGA RETICULATA	B&B	1.5" CAL	15' X12'
EXISTING TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	CAL / SIZE	HT. X SPD.
	EXTR	6	EXISTING DECIDUOUS TREE	TO BE REMOVED	EXISTING		
	EXER	7	EXISTING EVERGREEN TREE	TO BE REMOVED	EXISTING		
UPRIGHT JUNIPERS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	
	JUSM	4	MEDORA JUNIPER	JUNIPERUS SCOPULORUM 'MEDORA'	#5 CONT.	10' X5'	
	JUVB	11	BLUE ARROW EASTERN REDCEDAR	JUNIPERUS VIRGINIANA 'BLUE ARROW'	#5 CONT.	15' X2'	
DECIDUOUS SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	
	PHON	26	DWARF NINEBARK	PHYSOCARPUS OPUULIFOLIUS 'NANUS'	#5 CONT.	5' X5'	
	POFM	24	MCKAY'S WHITE BUSH CINQUEFOIL	POTENTILLA FRUTICOSA 'MCKAY'S WHITE'	#5 CONT.	2' X3'	
	PBEP	11	PAWNEE BUTTES SAND CHERRY	PRUNUS BESSEYI 'P011S' TM	#5 CONT.	1.5' X6'	
	RHHT	9	AUTUMN AMBER SUMAC	RHUS TRILOBATA 'AUTUMN AMBER'	#5 CONT.	1.5' X6'	
	SYDO	54	CANDY SNOWBERRY	SYMPHORICARPUS X DOORENBOSII 'KOLMCAN' TM	#5 CONT.	2' X2'	
EVERGREEN SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	
	ARCO	2	MOCK BEARBERRY MANZANITA	ARCTOSTAPHYLOS X COLORADENSIS	#5 CONT.	8' X4'	
	JNMP	4	COMPACT PFITZER JUNIPER	JUNIPERUS X MEDIA 'PFITZERANA COMPACTA'	#5 CONT.	4' X5'	
	PIMM	15	MOPS MUGO PINE	PINUS MUGO 'MOPS'	#5 CONT.	5' X6'	
ORNAMENTAL GRASSES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	
	CAAK	131	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS X ACU...			
	HESE	73	BLUE AVENA	HELICTOTRICHON SEMF			
PERENNIALS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	
	HEST	28	STELLA DE ORO DAYLILY	HEMEROCALLIS X 'STEL			
	PESS	31	ROCKY MOUNTAIN PENSTEMON	PENSTEMON STRICTUS			
MULCH	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	
	RMULCH2	3,509 SF	1.5" ROCK COBBLE MULCH	1.5" ROCK COBBLE MUL			
	WMULCH	2,590 SF	WOOD MULCH	WOOD MULCH			
SOD/SEED	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	
	SOD1	599 SF	RTF (RHIZOMATOUS TALL FESCUE)	FESCUE SOD			
	SEED1	4,714 SF	LOW GROW NATIVE SEED	LOW GROW NATIVE SEED			
			STEEL EDGING				

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Town of Parker, Director of Engineering 09/16/2024  
Date



**CAUTION**  
 UTILITIES EXIST WITHIN CONSTRUCTION LIMITS. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THEIR LOCATION PRIOR TO CONSTRUCTION.

**LANDSCAPE ARCHITECT INFORMATION**  
 BRYNHILDR HALSTEN, PLA ASLA  
 1155 KELLY JOHNSON BLVD., SUITE  
 305, COLORADO SPRINGS, CO 80920  
 BRYNHILDRHALSTEN@GALLOWAYUS.COM



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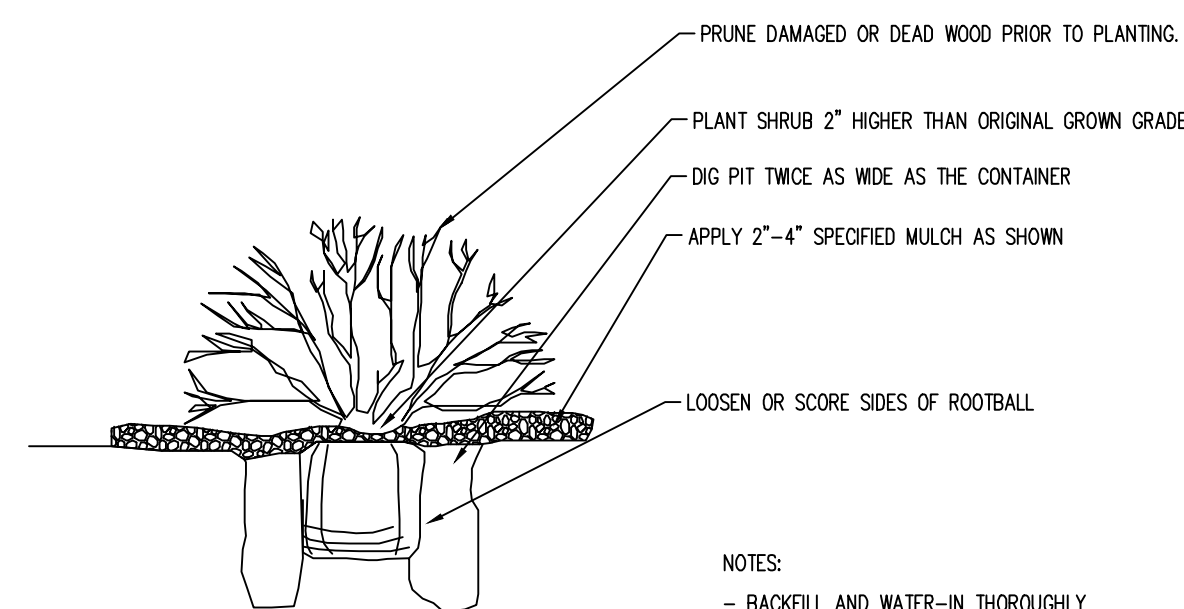
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# LINCOLN PROFESSIONAL PARK FILING NO.1 LOT 3

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RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

## CIVIL CONSTRUCTION DRAWINGS

AUGUST 2024



- NOTES:
- BACKFILL AND WATER-IN THOROUGHLY
  - BROKEN ROOTBALLS WILL BE REJECTED

### 2 TOWN OF PARKER SHRUB PLANTING STANDARD N.T.S.

#### PLANTING NOTES

##### GENERAL

- ANY/ALL CHANGES TO THE LANDSCAPING REQUIRES APPROVAL FROM THE TOWN OF PARKER.
- ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, STANDARDS, AND SPECIFICATIONS.
- LANDSCAPE DESIGN IS DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLAN QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE AND NOTIFY THE LANDSCAPE ARCHITECT OF THESE DISCREPANCIES. MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THERE SHALL BE NO REDUCTION IN THE NUMBER AND SIZE OF MATERIALS.
- CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON. THIS DRAWING IS PART OF A COMPLETE SET OF CONTRACT DOCUMENTS. UNDER NO CIRCUMSTANCES SHOULD THIS PLAN BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE AND REVIEW ALL RELATED PLANS AND DOCUMENTS.
- ALL UTILITY EASEMENTS SHALL REMAIN UNOBTSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT.
- THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS "TO REMAIN". ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).
- LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN AN APPROVAL WILL BE OBTAINED FROM THE CITY. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
- ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED AND CLEANED OUT PRIOR TO INSTALLATION OF TOPSOIL, TREES, SHRUBS, AND TURF.
- FOR ALL INFORMATION ON SURFACE MATERIAL OF WALKS, DRIVES, AND PARKING LOTS, SEE THE SITE PLAN. SEE PHOTOMETRIC PLAN FOR FREE STANDING LIGHTING INFORMATION.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.
- WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.
- ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONTRACTORS HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTORS ASSOCIATION.
- LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.

##### FINISH GRADING AND SOIL PREPARATION

- CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.

- AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.

- THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT FOR THE THE OWNER/OWNERS' REPRESENTATIVE CONSIDERATION.

- AT A MINIMUM, ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT COMPOST AT A RATE OF 5.0 CUBIC YARDS AND AMMONIUM PHOSPHATE 16-20-0 AT A RATE OF 15 POUNDS PER THOUSAND SQUARE FEET OF LANDSCAPE AREA. COMPOST SHALL BE MECHANICALLY INTEGRATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPING. GROUND COVER & PERENNIAL BED AREAS SHALL BE AMENDED AT A RATE OF 8 CUBIC FEET PER THOUSAND SQUARE FEET OF NITROGEN STABILIZED ORGANIC AMENDMENT AND 10 LBS. OF 12-12-12 FERTILIZER PER CU. YD., ROTOTILLED TO A DEPTH OF 8". NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS.

##### PLANTING

- ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS/ALL EVERGREENS SHALL BE UNSHEARED AND FULL TO THE GROUND; UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
- ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
- ALL TREES SHALL BE GUYED AND WOOD STAKED AS PER DETAILS. NO "T-STAKES" SHALL BE USED FOR TREES.
- ALL PLANT MATERIALS SHALL BE TRUE TO TYPE, SIZE, SPECIES, QUALITY, AND FREE OF INJURY, BROKEN ROOT BALLS, PESTS, AND DISEASES, AS WELL AS CONFORM TO THE MINIMUM REQUIREMENTS DESCRIBED IN THE "AMERICAN STANDARD FOR NURSERY STOCK". FOLLOW GREENCO TREE PLANTING RECOMMENDATIONS FOR MINIMUM QUALITY REQUIREMENTS FOR TREES.
- ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED CLEAR OF ALL BRANCHES BETWEEN GROUND AND A HEIGHT OF EIGHT (8) FEET FOR THAT PORTION OF THE PLAN LOCATED OVER THE SIDEWALK AND/OR ROAD.
- ALL PLANT MATERIAL SHALL NOT BE PLANTED PRIOR TO INSTALLATION OF TOPSOIL.
- ALL PLANT BEDS SHALL BE CONTAINED WITH STEEL EDGER. STEEL EDGER IS NOT REQUIRED ALONG CURBS, WALKS OR BUILDING FOUNDATIONS. ALL EDGING SHALL OVERLAP AT JOINTS A MINIMUM OF 6-INCHES, AND SHALL BE FASTENED WITH A MINIMUM OF 4 PINS PER EACH 10 FOOT SECTION. THE TOP OF ALL EDGING MATERIAL SHALL BE A ROLLED TOP AND 1/2 INCH ABOVE THE FINISHED GRADE OF ADJACENT LAWN OR MULCH AREAS. COLOR: GREEN.
- THE DEVELOPER, HIS SUCCESSOR, OR ASSIGNEE SHALL BE RESPONSIBLE FOR ESTABLISHING AND CONTINUING A REGULAR PROGRAM OF MAINTENANCE FOR ALL LANDSCAPED AREAS. SEE LANDSCAPE GUARANTEE AND MAINTENANCE NOTE.
- A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.
- LANDSCAPE CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPING MATERIALS TO THE LANDSCAPE ARCHITECTS AND OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, IE: MULCH, EDGER, LANDSCAPE FABRIC, ETC.

##### MULCHING

- AFTER ALL PLANTING IS COMPLETE, THE CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF ROCK OR WOOD MULCH AS SPECIFIED IN THE PLANTING LEGEND. INSTALL A 4" THICK RING OF DOUBLE SHREDDED CEDAR BARK MULCH AROUND ALL PLANT MATERIAL IN ROCK MULCH BEDS WHERE LANDSCAPING IS SHOWN ON THE PLANS. WOOD MULCH RING SIZE SHALL BE THE CONTAINER SIZE OF THE SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. TREE RING SIZE SHALL BE GREEN INDUSTRIES OF COLORADO INDUSTRY STANDARD WIDTH.
- ROCK MULCH TO BE 1.5" DIAMETER MIN. 4" DEPTH. ROCK COBBLE TO BE XXX MIN. 4" DEPTH.
- WOOD MULCH TO BE GORILLA HAIR SHREDDED CEDARWOOD MIN. 4" DEPTH.
- ALL MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE.
- INSTALL DEWITT PRO-5 WEED BARRIER FABRIC UNDER ALL ROCK MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY. NO LANDSCAPE FABRIC SHALL BE USED IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED.
- ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.
- ALL PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH, TYPE AND DEPTH PER PLANS. SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES 4:1 OR STEEPER, OR AS OTHERWISE DENOTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER MULCH HAS BEEN INSTALLED.
- ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS. NETTING SHALL BE #CT-125, AS MANUFACTURED BY NORTH AMERICAN GREEN (OR EQUAL). INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS. SEE ALSO THE CIVIL ENGINEER'S EROSION CONTROL PLAN.

#### IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE WATER SOURCE IF APPLICABLE.
- ALL NON-TURF/SEED PLANTED AREAS WILL BE DRIP IRRIGATED. TURF SOD/SEED SHALL RECEIVE POP-UP SPRAY IRRIGATION FOR HEAD TO HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND SMART MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

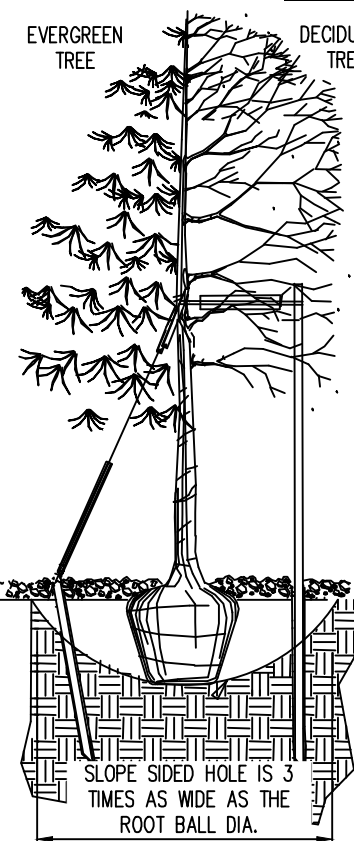
#### LANDSCAPE GUARANTEE AND MAINTENANCE

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, WEEDING, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION. IF SITE OPENS DURING WINTER, TO AVOID FREEZE DAMAGE ON PLANTINGS, THE 90 DAYS SHOULD BEGIN AFTER ACCEPTANCE OF THE WORK.
- DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.

#### UTILITY NOTES

- THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
- THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.
- THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HERE IN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.

NOTE: BROKEN OR CRUMBLING ROOTBALLS WILL BE REJECTED  
PRUNE ALL DEAD OR DAMAGED WOOD AFTER PLANTING



- NOTES:
- EXCAVATE PLANTING HOLES WITH SLOPING SIDES. MAKE EXCAVATIONS AT LEAST THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER AND NO DEEPER THAN THE DISTANCE FROM THE TOP MOST ROOTS IN THE ROOT BALL TO THE BOTTOM OF THE ROOT BALL TO ALLOW FOR SETTLING. DO NOT DISTURB SOIL AT BOTTOM OF PLANTING HOLES, BUT DO SCORE THE SIDES OF THE PLANTING HOLE. THE PLANTING AREA SHALL BE LOOSENED AND AERATED AT LEAST THREE TIMES THE DIAMETER OF THE ROOT BALL. BACKFILL SHALL CONSIST OF EXISTING ON SITE TOPSOIL - NO AMENDMENTS SHALL BE USED UNLESS OTHERWISE SPECIFIED.
  - TREES SHALL BE PLANTED WITH THE ROOT COLLAR/FLARE VISIBLE ABOVE GRADE AND TWO OR MORE STRUCTURAL ROOTS LOCATED WITHIN THE TOP 1' TO 2' OF THE ROOT BALL/FINISHED GRADE MEASURED 3' TO 4' FROM TRUNK. THIS INCLUDES TREES THAT ARE SET ON SLOPES (SEE SLOPE PLANTING DETAIL). TREES THAT DO NOT HAVE A VISIBLE ROOT COLLAR SHALL BE REJECTED. DO NOT COVER THE ROOT BALL WITH SOIL.

- FORM SOIL INTO A 3' TO 5' TALL WATERING RING (SAUCER) AROUND PLANTING AREA. THIS IS NOT NECESSARY IN IRRIGATED TURF AREAS. APPLY 2" TO 4" DEPTH OF SPECIFIED MULCH OVER PLANTING AREA AND INSIDE SAUCERS, AWAY FROM TRUNK.
- STAKING AND GUYING OF TREES IS OPTIONAL IN MOST PLANTING SITUATIONS. IN AREAS OF EXTREME WINDS, OR ON STEEP SLOPES, STAKING MAY BE REQUIRED TO STABILIZE TREES. STAKING AND GUYING MUST BE REMOVED WITHIN 1 YEAR OF PLANTING DATE.
- TREE WRAP IS NOT TO BE USED ON ANY NEW PLANTINGS, EXCEPT IN LATE FALL PLANTING SITUATIONS, AND ONLY THEN AFTER CONSULTATION WITH THE TOWN ARBORIST.
- RESETTING OF IMPROPERLY PLANTED TREES WILL ONLY BE ALLOWED IF IT IS DETERMINED THAT DOING SO WILL IN NO WAY COMPROMISE THE ROOT BALL, AND SHALL ONLY BE DONE WITH APPROVAL OF THE TOWN ARBORIST.

### 1 TOWN OF PARKER TREE PLANTING N.T.S.

#### LANDSCAPE REQUIREMENTS

CODE SECTION	CATEGORY	FORMULA	CALCULATION	REQUIRED	PROVIDED
13.06.070 (L)(2)	MIN. SITE LANDSCAPING STANDARDS	COMMERCIAL - MIN. 15%	TOTAL AREA 30,927 SF X 0.15	4,639 SF	12,632 SF
13.06.070 (L)(2) a	MIN. SITE LANDSCAPING STANDARDS	75% LANDSCAPE AREA VEGETATION COVERAGE	TOTAL LANDSCAPE AREA 12,632 SF X 0.75	9,474 SF	9,474 SF
13.06.070 (L)(5)	MIN. SITE LANDSCAPING STANDARDS	1 TREE / 1500 SF LANDSCAPE AREA	12,632 SF / 1500	8 TREES	8 TREES
13.06.070 (L)(5)	MIN. SITE LANDSCAPING STANDARDS	5 SHRUBS / 1500 SF LANDSCAPE AREA	(12,632 SF / 1500) X 5	42 SHRUBS	42 SHRUBS
13.06.070 (M)	STREETSCAPE LANDSCAPING	TREES NO GREATER THAN 40 FT APART	520 LF / 40	13 TREES	13 TREES *
13.06.070 (O)(5)	PARKING LOT PERIMETER	PARKING LOT BUFFER SCREEN	ADJACENT TO ROADWAY	10 FT	10 FT
13.06.070 (P)(2)	INTERNAL PARKING LOT LANDSCAPING	10% OF PARKING ALLOCATED TO LANDSCAPE ISLANDS	4,050 SF X 0.10	405 SF	472 SF
13.06.070 (P)(4)	INTERNAL PARKING LOT LANDSCAPING	1 TREE / 162 SF LANDSCAPE ISLAND	472 SF / 162	3 TREES	3 TREES
13.06.070 (P)(4)	INTERNAL PARKING LOT LANDSCAPING	5 SHRUBS / 162 SF LANDSCAPE ISLAND (1 SHRUB/ADD. 15 SF)	(472 SF / 162) X 5	15 SHRUBS	15 SHRUBS
13.06.070 (Q) SCHEDULE B	SITE PERIMETER LANDSCAPE STANDARDS	COMMERCIAL ADJ. TO NON RESIDENTIAL USE (1 TREE & 5 SHRUBS / 40 LF)	NORTH 120 LF / 40	3 TREES & 15 SHRUBS	3 TREES & 15 SHRUBS
13.06.070 (Q) SCHEDULE B	SITE PERIMETER LANDSCAPE STANDARDS	COMMERCIAL ADJ. TO NON RESIDENTIAL USE (1 TREE & 5 SHRUBS / 40 LF)	EAST 200 LF / 40	5 TREES & 25 SHRUBS	5 TREES & 25 SHRUBS
13.06.070 (Q) SCHEDULE B	SITE PERIMETER LANDSCAPE STANDARDS	COMMERCIAL ADJ. TO NON RESIDENTIAL USE (1 TREE & 5 SHRUBS / 40 LF)	SOUTH 160 LF / 40	4 TREES & 20 SHRUBS	4 TREES & 20 SHRUBS
* LANDSCAPE AND TREES ALONG PRIVATE ROAD A AND B BY OTHERS PER THE LINCOLN PROFESSIONAL PARK FILING NO. 1 MASTER LANDSCAPE PLAN					

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PLAZA STREET PARTNERS  
CIVIL CONSTRUCTION DRAWINGS

18900 E. LINCOLN AVE.  
PARKER, CO 80134

#	Date	Issue / Description	Init.
1	09/23/22	1ST SUBMITTAL	SMB
2	12/14/22	2ND SUBMITTAL	SMB
3	03/08/23	3RD SUBMITTAL	SMB
-	01/02/24	SITE REVISIONS	BH
-			
-			
-			
-			
-			
-			
-			
-			
-			

Project No: PSP000001  
Drawn By: JRC  
Checked By: SMB  
Date: 08/09/2024

#### LANDSCAPE NOTES & DETAILS

L1.1

11/19/2024 11:48 AM: [Drawing File Path]

PLAZA STREET PARTNERS

# LINCOLN PROFESSIONAL PARK FILING NO.1 LOT 3

LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH,  
RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

CIVIL CONSTRUCTION DRAWINGS

AUGUST 2024

## VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM
A1	HUNTER ICV-G-FS	1"	TURF ROTARY	7.04
A2	HUNTER ICZ-101-25-LF	1"	AREA FOR DRIP EMITTERS	3.09
A3	HUNTER ICZ-101-25-LF	1"	AREA FOR DRIP EMITTERS	1.45
A4	HUNTER ICZ-101-25-LF	1"	AREA FOR DRIP EMITTERS	1.4
A5	HUNTER ICZ-101-25-LF	1"	AREA FOR DRIP EMITTERS	3.14
A6	HUNTER ICZ-101-25-LF	1"	AREA FOR DRIP EMITTERS	1.57
A7	HUNTER ICZ-101-25-LF	1"	AREA FOR DRIP EMITTERS	1.17
A8	HUNTER ICV-G-FS	1"	TURF ROTARY	0.65
A9	HUNTER ICV-G-FS	1"	TURF ROTARY	4.25
A10	HUNTER ICV-G-FS	1"	TURF ROTARY	7.04
A11	HUNTER ICV-G-FS	1"	TURF ROTARY	9.46
A12	HUNTER ICV-G-FS	1"	TURF ROTARY	9.47

### CONTROLLER 'A' NOTE

- ONE (1) IS STATION CONTROLLER. SEE LEGEND.
- FOUR (4) OPEN STATIONS FOR FUTURE EXPANSION.
- STATION RUN ORDER SHALL MATCH PLANS.
- LOCATE CONTROLLER IN THE UTILITY CLOSET. VERIFY LOCATION WITH OWNER OR REPRESENTATIVE.
- 120 VAC POWER TO CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS. HOOK-UP OF CONTROLLERS TO 120 VAC SHALL BE PERFORMED BY THE LANDSCAPE CONTRACTOR.
- CONDUIT FROM INSIDE THE BUILDING TO EXTERIOR IRRIGATION SYSTEM SHALL BE PROVIDED BY OTHERS.

### POINT OF CONNECTION 'A'

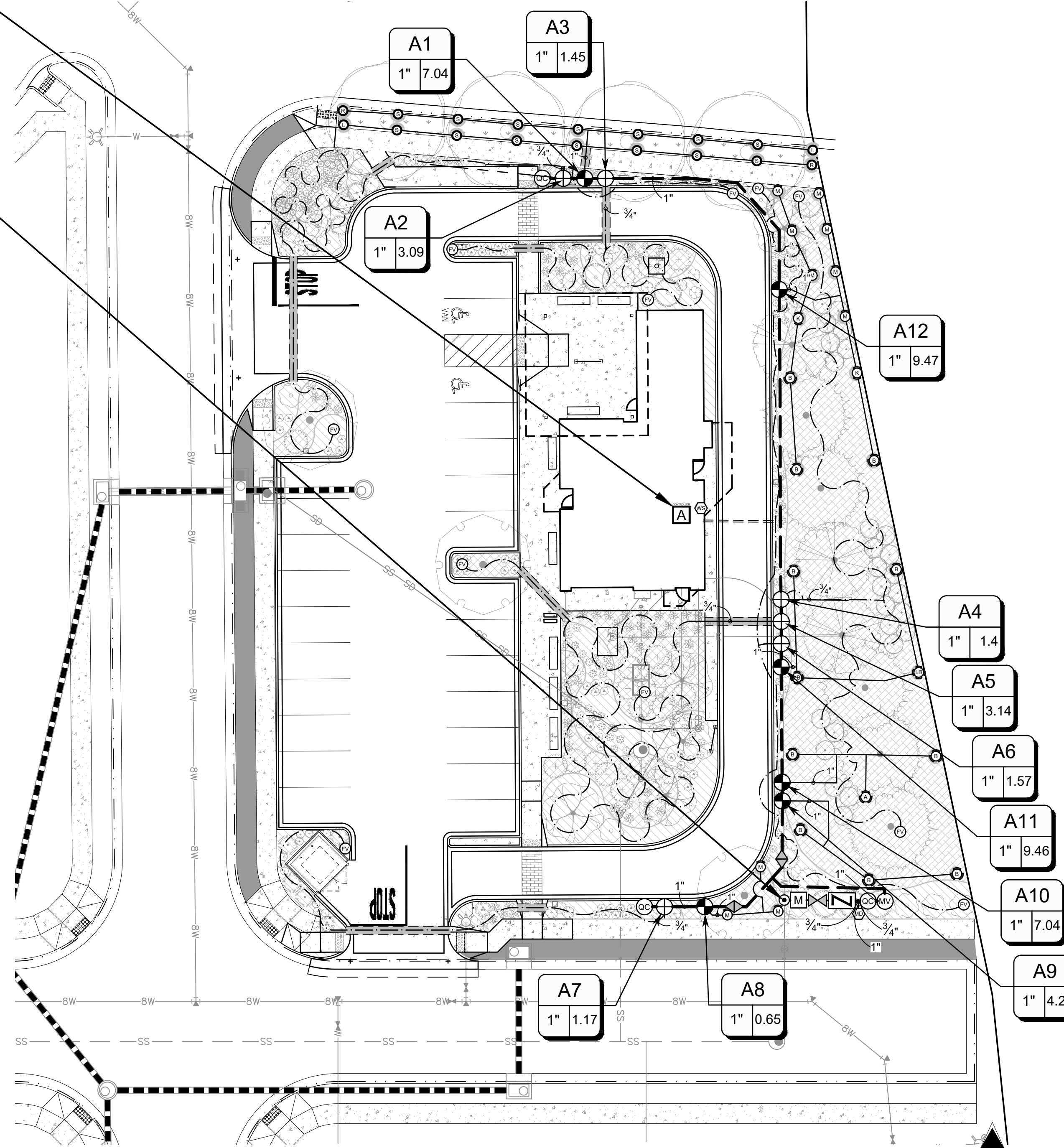
- STATIC PRESSURE: +/- 122' SIZE OF TAP: 3/4"
- USE 3/4" TAP INTO THE DOMESTIC WATER LINE DOWNSTREAM OF THE BUILDING METER.
  - 3/4" TYPE K COPPER SERVICE FROM THE TAP THROUGH THE IRRIGATION BACKFLOW, TO THE MASTER VALVE.
  - CONTRACTOR SHALL VERIFY LOCATION OF THE EQUIPMENT, IN FIELD WITH OWNER OR OWNER'S AUTHORIZED REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.
  - SEE POINT OF CONNECTION DIAGRAM, THIS SHEET, FOR THE IRRIGATION SYSTEM EQUIPMENT CONFIGURATION.
  - THE IRRIGATION CONTRACTOR SHALL FIELD VERIFY THE STATIC & OPERATING WATER PRESSURE SHOWN ABOVE PRIOR TO CONSTRUCTION. IF PRESSURE IS UNKNOWN, THE CONTRACTOR MUST TEST WATER PRESSURE AND CONTACT THE LANDSCAPE ARCHITECT WITH THE RESULTS TO ENSURE SYSTEM WILL BE OPERATIONAL. SEE GENERAL IRRIGATION NOTES.
  - WHEN WATER PRESSURE TO THE IRRIGATION SYSTEM EXCEEDS 100 PSI, THE IRRIGATION CONTRACTOR SHALL INSTALL A PRESSURE REDUCING / REGULATING VALVE (PRV) TO LIMIT THE WATER TO 80 PSI MAXIMUM. WHEN PRESSURE DROPS BELOW 65 PSI, THE IRRIGATION CONTRACTOR SHALL INSTALL A BOOSTER PUMP TO A MINIMUM PRESSURE OF 80 PSI.

### IRRIGATION DISCLAIMER

1. IRRIGATION DESIGN IS NOT AN EXACT SCIENCE. IT IS BASED ON THEORIES, ASSUMPTIONS, AND/OR INFORMATION PROVIDED BY CIVIL ENGINEERS, MUNICIPALITIES ENTITIES AND THUS DIAGRAMMATIC IN NATURE.
2. CONTRACTOR SHALL INSTALL MAINLINES ±12" FROM PAVEMENT EDGE IN PLANTING AREAS. ALL PIPING, VALVES, AND OTHER EQUIPMENT SHOWN WITHIN PAVED AREAS OR OUT OF PROPERTY BOUNDARIES ARE FOR DESIGN CLARIFICATION ONLY, AND SHALL BE INSTALLED IN PLANTING AREAS WITHIN THE PROPERTY LINES OR LIMITS AS INDICATED ON THESE PLANS.
3. THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE-GRADE AND VISIBLE IRRIGATION EQUIPMENT (CONTROLLERS, BACKFLOW PREVENTERS, METER PITS, ETC.) WITH THE OWNER'S AUTHORIZED REPRESENTATIVE AND / OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. THE INSTALLATION OF THESE ITEMS SHALL BE INTEGRATED WITHIN DESIGNATED LANDSCAPE AREAS. FAILURE TO LOCATE THIS EQUIPMENT IN AN APPROVED LOCATION MAY RESULT IN THE IRRIGATION CONTRACTOR BEING REQUIRED TO MOVE SUCH ITEMS AT HIS OWN COST.
4. THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE AND THE MAXIMUM FLOW DEMAND SHOWN ON THE DRAWINGS. THE IRRIGATION CONTRACTOR SHALL FIELD VERIFY THE STATIC & OPERATING WATER PRESSURE PRIOR TO CONSTRUCTION OF ANY COMPONENT OF THE IRRIGATION SYSTEM. AFTER FIELD VERIFICATION, THE IRRIGATION CONTRACTOR SHALL NOTIFY THE OWNER, OWNER'S REPRESENTATIVE, LANDSCAPE ARCHITECT, & IRRIGATION DESIGNER OF THE PRESSURE READING FOR THE TAP.
5. ALL PRESSURIZED MAINLINES, VALVES, DRIP, AND ROTOR AND SPRAY HEADS SHALL BE INSTALLED A MINIMUM OF 5' AWAY FROM ANY BUILDING FOUNDATION. ADDITIONAL REQUIREMENTS MAY BE LISTED IN THE GEOTECHNICAL REPORT REGARDING IRRIGATION NEAR BUILDING FOUNDATIONS. CONTRACTOR IS RESPONSIBLE TO ABIDE BY THE 5' MINIMUM DISTANCE AND/OR THE GEOTECHNICAL REPORT REQUIREMENTS. IF THIS EQUIPMENT IS SHOWN WITHIN THE 5' OFFSET ON THESE PLANS, IT IS FOR THE PURPOSE OF GRAPHIC CLARITY ONLY.
6. REFER TO SHEET IR1.2 AND IR1.3 FOR IRRIGATION DETAILS AND SHEET IR1.4 IRRIGATION NOTES.

### UTILITY NOTES

1. THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
2. THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.
3. THE LOCATION OF ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HERE IN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.

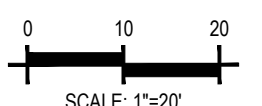


**WIRING/SLEEVING NOTES**

IN ADDITION TO PROVIDING SLEEVES FOR ALL PIPING UNDER ROADWAYS AND WALKWAYS, PROVIDE AND INSTALL SCH. 40 PVC SLEEVES FOR ALL CONTROLLER WIRES OCCURRING UNDER ALL ROADWAYS AND WALKWAYS. SLEEVES FOR CONTROLLER WIRES SHALL BE 2" DIA. AND CONTAIN NO MORE THAN 25 WIRES.

**CAUTION**

UTILITIES EXIST WITHIN CONSTRUCTION LIMITS. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THEIR LOCATION PRIOR TO CONSTRUCTION.



## IRRIGATION\_SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	DETAIL
	HUNTER MP STRIP PROS-06-PRS40-CV TURF ROTATOR, 6IN. POP-UP WITH FACTORY INSTALLED CHECK VALVE. PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE ON PRS40 BODY. LST=IVORY LEFT STRIP, SST=BROWN SIDE STRIP, RST=COPPER RIGHT STRIP.	DETAIL 1 SHEET IR1.2
	HUNTER MP1000 PROS-06-PRS40-CV TURF ROTATOR, 6IN. POP-UP WITH CHECK VALVE, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE ON PRS40 BODY. M=MAROON ADJ ARC 90 TO 210, L=LIGHT BLUE 210 TO 270 ARC, O=OLIVE 360 ARC.	DETAIL 1 SHEET IR1.2
	HUNTER MP2000 PROS-06-PRS40-CV TURF ROTATOR, 6IN. POP-UP WITH FACTORY INSTALLED CHECK VALVE. PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE ON PRS40 BODY. K=BLACK ADJ ARC 90-210, G=GREEN ADJ ARC 210-270, R=RED 360 ARC.	DETAIL 1 SHEET IR1.2
	HUNTER MP3000 PROS-06-PRS40-CV TURF ROTATOR, 6IN. POP-UP WITH FACTORY INSTALLED CHECK VALVE. PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE ON PRS40 BODY. B=BLUE ADJ ARC 90-210, Y=YELLOW ADJ ARC 210-270, A=GRAY 360 ARC.	DETAIL 1 SHEET IR1.2
	HUNTER MP3500 PROS-06-PRS40-CV TURF ROTATOR, 6IN. POP-UP WITH FACTORY INSTALLED CHECK VALVE. PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE ON PRS40 BODY. LB=LIGHT BROWN ADJUSTABLE ARC, 90-210.	DETAIL 1 SHEET IR1.2
	HUNTER ICZ-101-25-LF 1" DRIP CONTROL ZONE KIT. 1IN. ICV GLOBE VALVE WITH 1IN. HY100 FILTER SYSTEM. PRESSURE REGULATION: 25 PSI. FLOW RANGE: .5 GPM - 15 GPM. 150 MESH STAINLESS STEEL SCREEN.	DETAIL 2 SHEET IR1.2
	NIBCO 4660-T 3/4" SCHEDULE 40 MANUAL FLUSH VALVE. CONNECT TO DRIP POLYUBING FOR WINTERIZATION/BLOWOUT.	DETAIL 3 SHEET IR1.2
	HUNTER HE-B POINT SOURCE DRIP EMITTER WITH SELF PIERCING BARB. COLOR CODED EMITTERS FOR FLOW RATES OF 0.5 GPH, 1.0 GPH, 2.0 GPH, 4.0 GPH, AND 6.0 GPH. CAN BE INSERTED INTO 1/2IN. AND 3/4IN. TUBING AND HAVE PRESSURE COMPENSATING FROM 15 PSI-50 PSI. OPTIONAL DIFFUSER CAP (HE) AVAILABLE.	DETAIL 4 SHEET IR1.2
	EMITTER SCHEDULE: - 1 GALLON AND SMALLER: 1, HEB-10-B EMITTER PER PLANT (1 GPH TOTAL) - 5 GALLON: 2, HEB-10-B EMITTERS PER PLANT (2 GPH TOTAL) - 10-15 GALLONS & UPRIGHT JUNIPERS: 3, HEB-10-B EMITTERS PER PLANT (3 GPH TOTAL) - 1" TO 2-1/2" CALIPER TREES: 4, HEB-10-B EMITTERS PER PLANT (4 GPH TOTAL) - 3" TO 4" CALIPER TREES: 6, HEB-10-B EMITTERS PER PLANT (6 GPH TOTAL)	DETAIL 4 SHEET IR1.2
	HUNTER ICV-G-FS 1" 1IN., 1-1/2IN., 2IN., AND 3IN. PLASTIC ELECTRIC REMOTE CONTROL VALVES, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE. WITH FILTER SENTRY.	DETAIL 5 SHEET IR1.2
	HUNTER HQ-44LRC 1" QUICK COUPLER VALVE. YELLOW RUBBER LOCKING COVER, RED BRASS AND STAINLESS STEEL, WITH 1IN. NPT INLET, 2-PIECE BODY.	DETAIL 6 SHEET IR1.2
	NIBCO 4660-S SCHEDULE 40 MANUAL BALL VALVE. SAME SIZE AS MAINLINE PIPE DIAMETER AT VALVE LOCATION. SIZE RANGE - 3/4" - 3"	DETAIL 7 SHEET IR1.2
	NIBCO T-113-K CLASS 125 BRONZE GATE SHUT OFF VALVE WITH CROSS HANDLE. SAME SIZE AS MAINLINE PIPE DIAMETER AT VALVE LOCATION. SIZE RANGE - 1/4IN. - 3IN.	DETAIL 8 SHEET IR1.2
	HUNTER IBV-FS 1" 1IN., 1-1/2IN., 2IN., AND 3IN. BRASS ELECTRIC MASTER VALVE. GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE. WITH FILTER SENTRY FACTORY INSTALLED OPTION.	DETAIL 9 SHEET IR1.2
	1" NIBCO T-113-K CLASS 125 BRONZE MANUAL DRAIN VALVE WITH CROSS HANDLE	DETAIL 10 SHEET IR1.3
	FEBCO 825Y 3/4" REDUCED PRESSURE BACKFLOW PREVENTER	DETAIL 11 SHEET IR1.3
	HUNTER I2C-1600-PL 16 STATION OUTDOOR MODULAR CONTROLLER. WITH ONE ICM-800 MODULE. COMMERCIAL USE. PLASTIC CABINET.	DETAIL 12 SHEET IR1.3
	HUNTER WSS WIRELESS SOLAR, RAIN FREEZE SENSOR WITH OUTDOOR INTERFACE, CONNECTS TO HUNTER PCC, PRO-C, AND I-CORE CONTROLLERS. INSTALL AS NOTED. INCLUDES 10 YEAR LITHIUM BATTERY AND RUBBER MODULE COVER, AND GUTTER MOUNT BRACKET.	DETAIL 13 SHEET IR1.3
	WATER METER 3/4" USE 3/4" TAP INTO DOMESTIC WATERLINE DOWNSTREAM OF THE BUILDING METER. IRRIGATION TO BE SUB-METERED. POINT OF CONNECTION	DETAIL 14 SHEET IR1.3
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 1" IRRIGATION DRIP SUPPLY TUBING: POLYETHYLENE PIPE SDR-7 SIZE: 3/4" IRRIGATION SERVICE LINE: TYPE K COPPER PIPE SIZE: 3/4"	DETAIL 14 SHEET IR1.3
	IRRIGATION MAINLINE: PVC CLASS 200 SDR 21 SIZE 1" UNLESS OTHERWISE NOTED ON THE PLAN. WIRE SLEEVE: SCHEDULE 40 PVC SIZE 3"	DETAIL 14 SHEET IR1.3
	SIZE: SLEEVE: SCHEDULE 40 PVC SIZE: DOUBLE THE SIZE OF THE INSERTED PIPE	DETAIL 14 SHEET IR1.3



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PLAZA STREET PARTNERS  
CIVIL CONSTRUCTION DRAWINGS

18900 E. LINCOLN AVE.  
PARKER, CO 80134

#	Date	Issue / Description	Init.
1	09/23/22	1ST SUBMITTAL	SMB
2	12/14/22	2ND SUBMITTAL	SMB
3	03/06/23	3RD SUBMITTAL	SMB

Project No: PSP000001  
Drawn By: TDN  
Checked By: TDN  
Date: 08/09/2024

IRRIGATION PLAN

# IR1.1

# LINCOLN PROFESSIONAL PARK FILING NO.1 LOT 3

LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH,  
RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

## CIVIL CONSTRUCTION DRAWINGS

AUGUST 2024

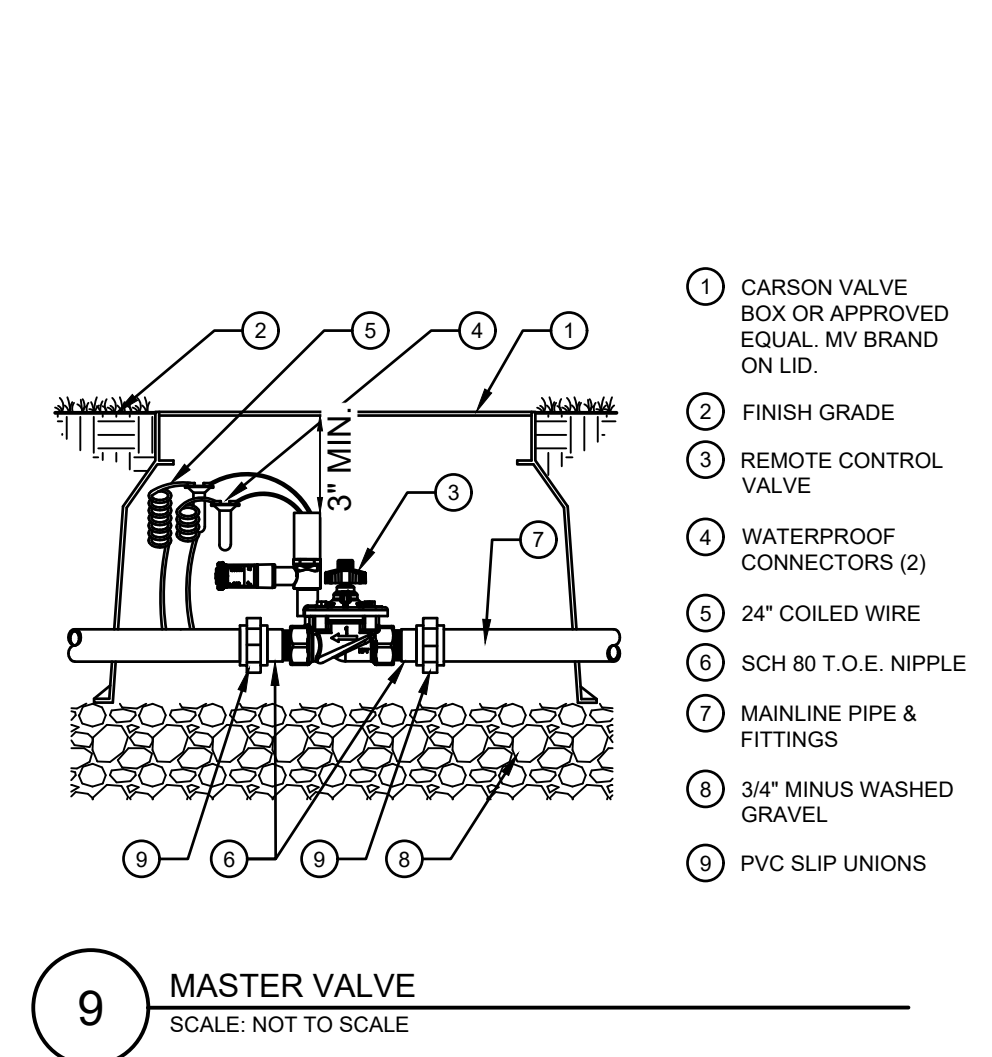
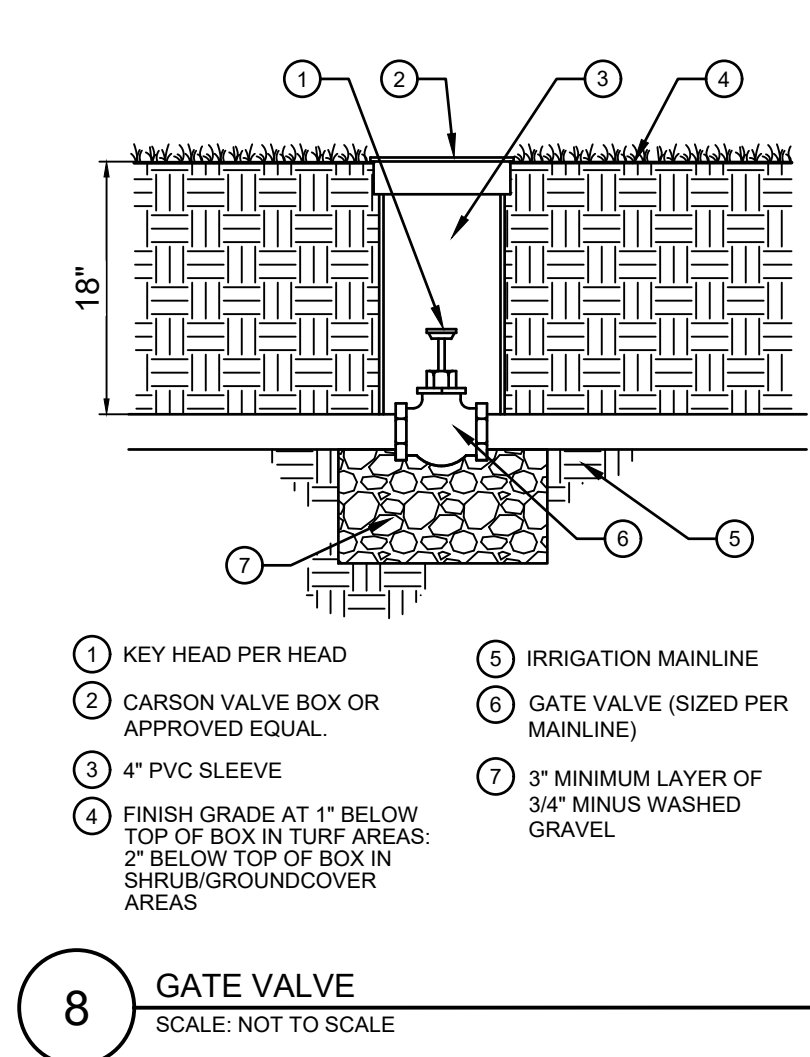
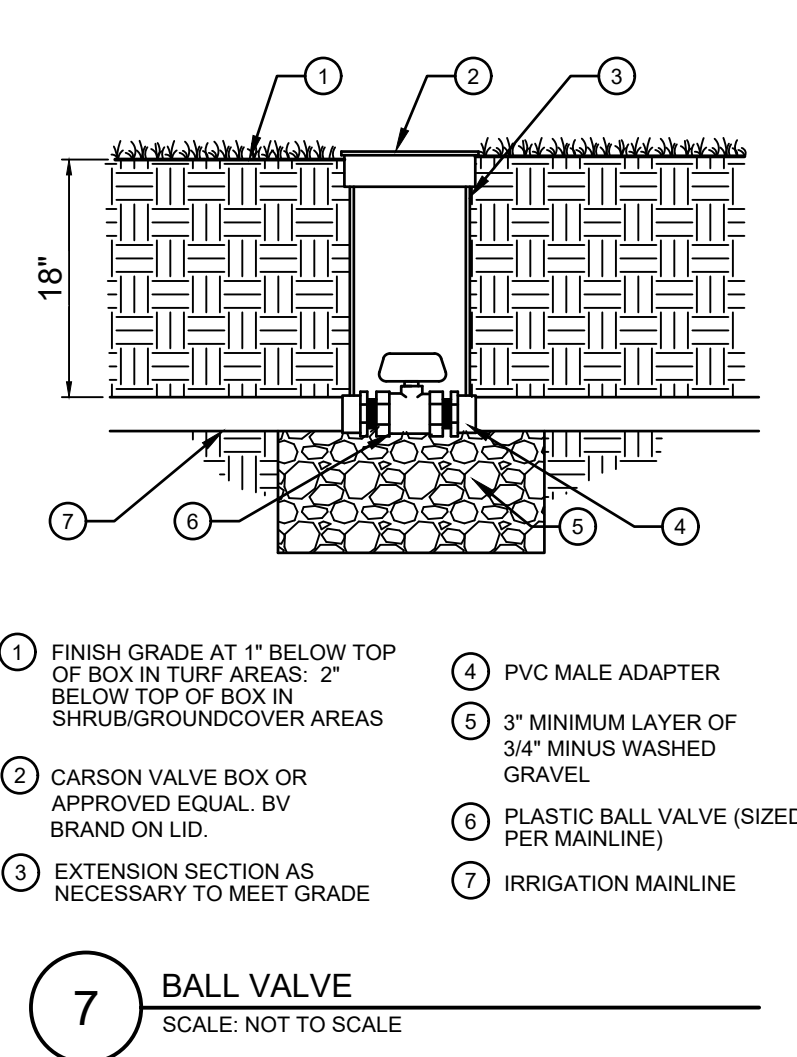
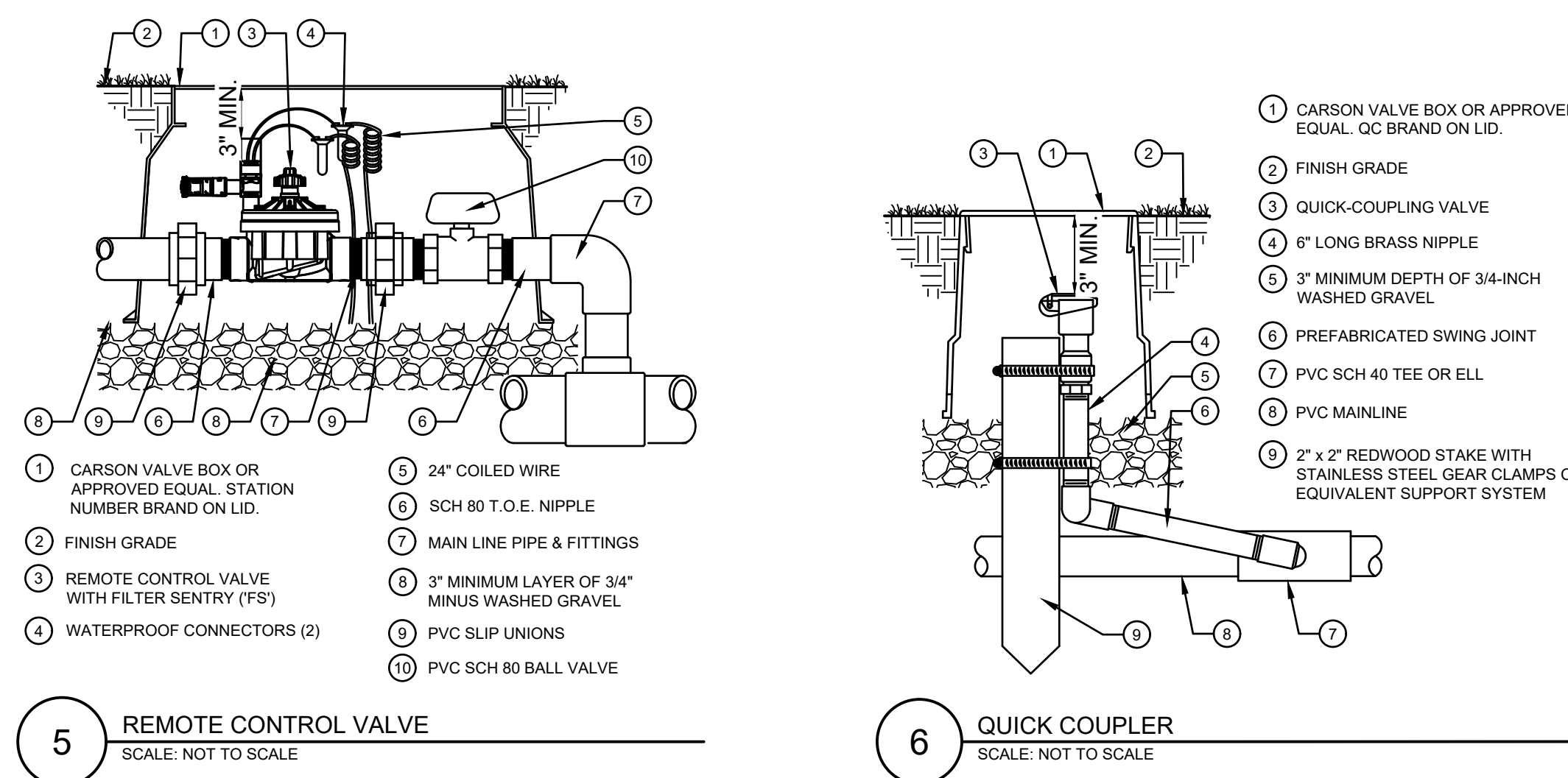
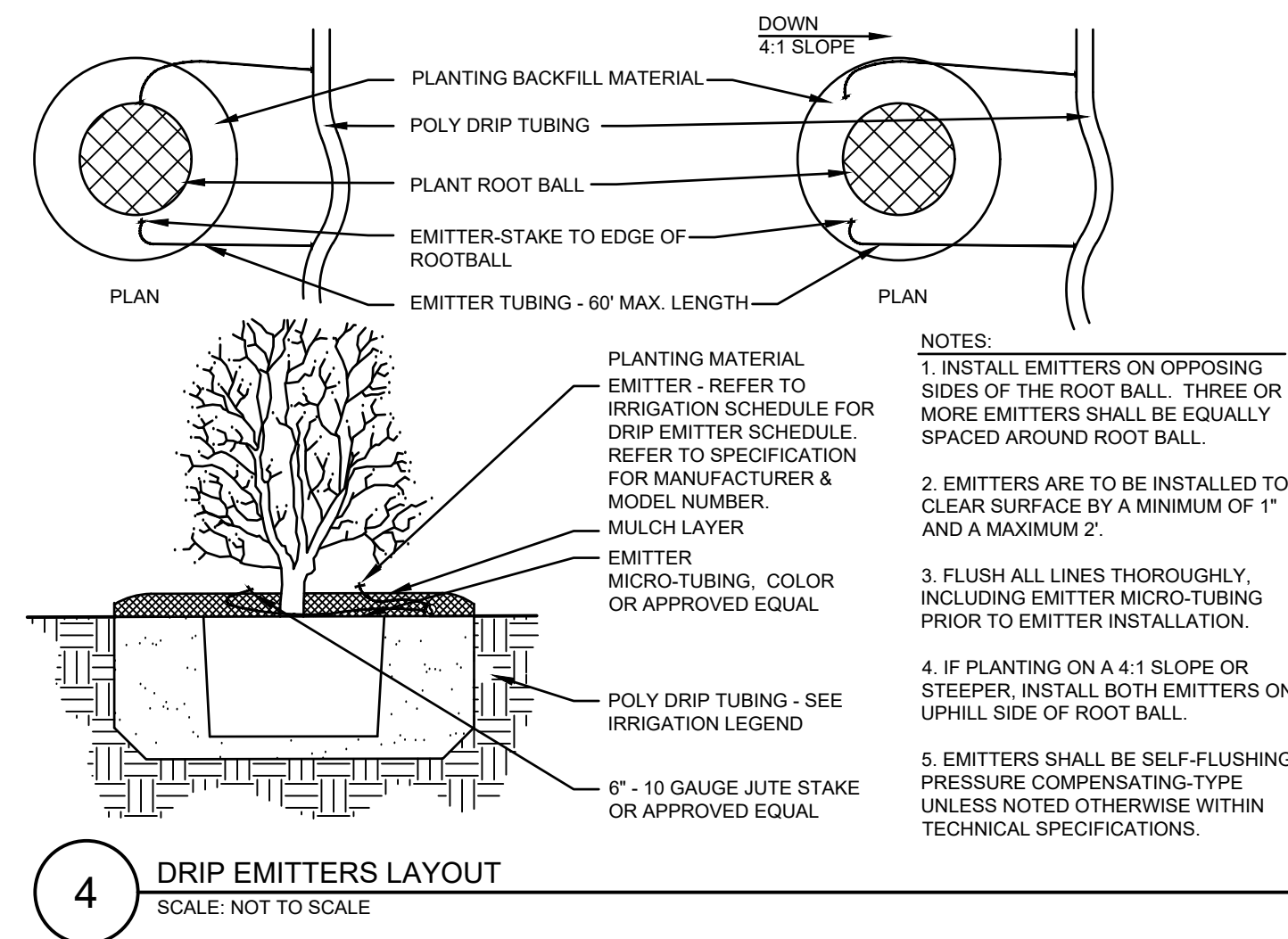
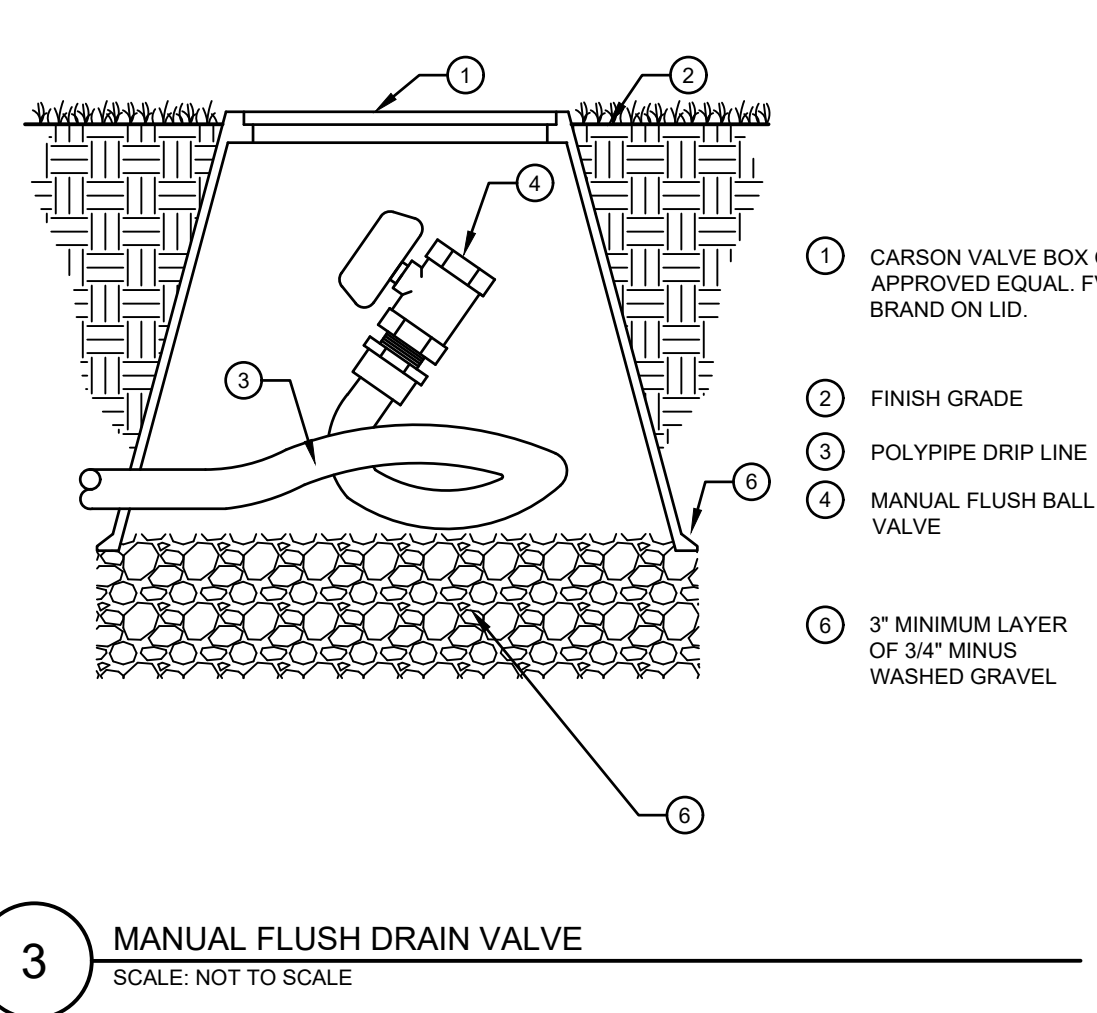
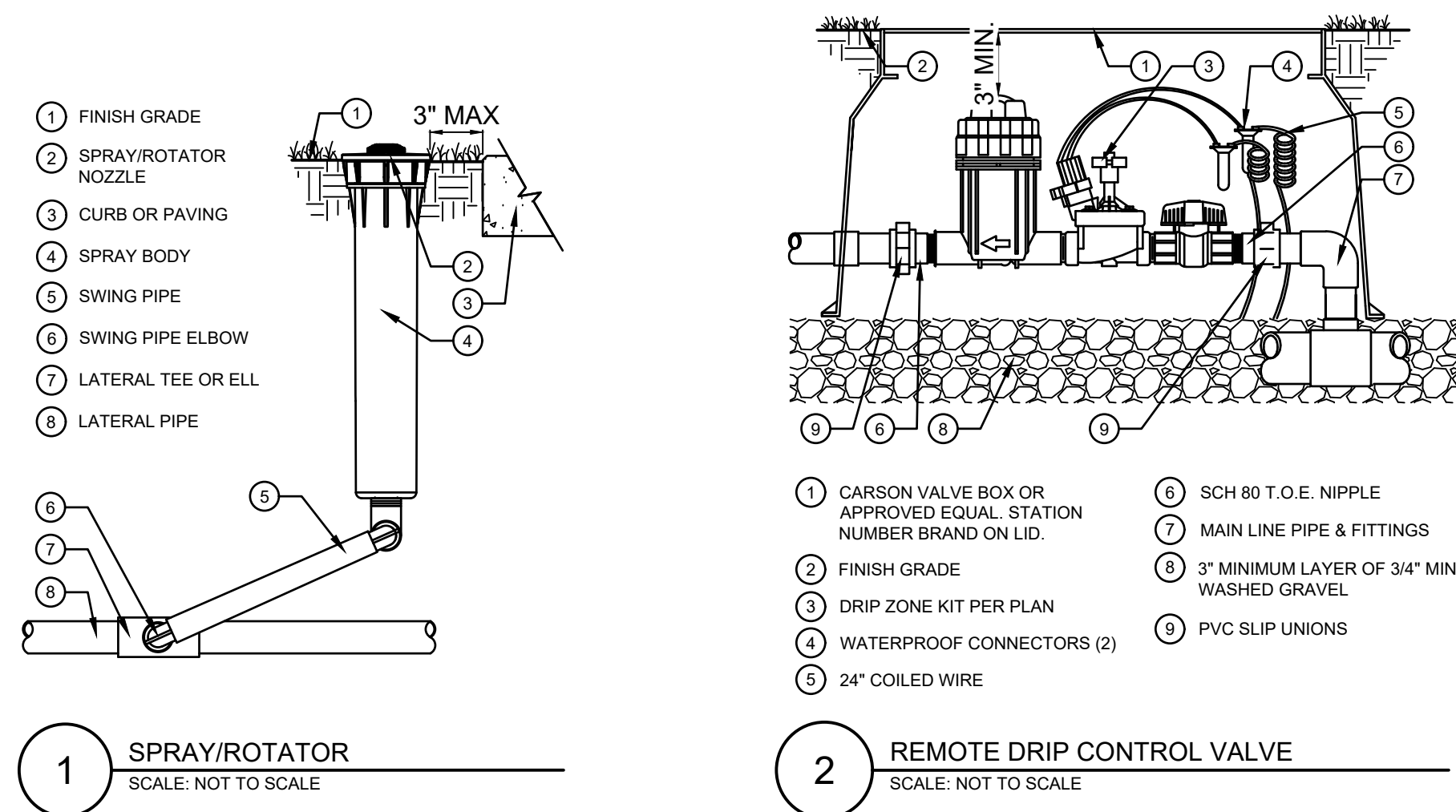


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PLAZA STREET PARTNERS  
CIVIL CONSTRUCTION DRAWINGS

18900 E. LINCOLN AVE.  
PARKER, CO 80134



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2	12/14/22	2ND SUBMITTAL	SMB
3	03/06/23	3RD SUBMITTAL	SMB

Project No:	PSP000001
Drawn By:	TDN
Checked By:	TDN
Date:	08/09/2024

IRRIGATION DETAILS

**IR1.2**

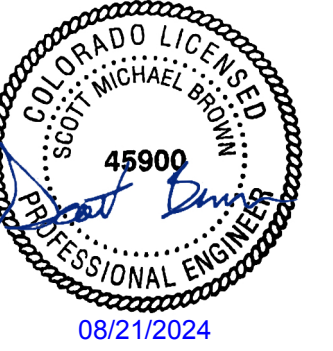
H:\Plaza Street Partners\CD Parker\_PSP17\_Archie-Lookout and Drawings\IR1.2\_ParkPSP17.dwg - Vaughan, Paul, Reg - Matthew Pappas - 20/04/24

# LINCOLN PROFESSIONAL PARK FILING NO.1 LOT 3

LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH,  
RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

## CIVIL CONSTRUCTION DRAWINGS

AUGUST 2024



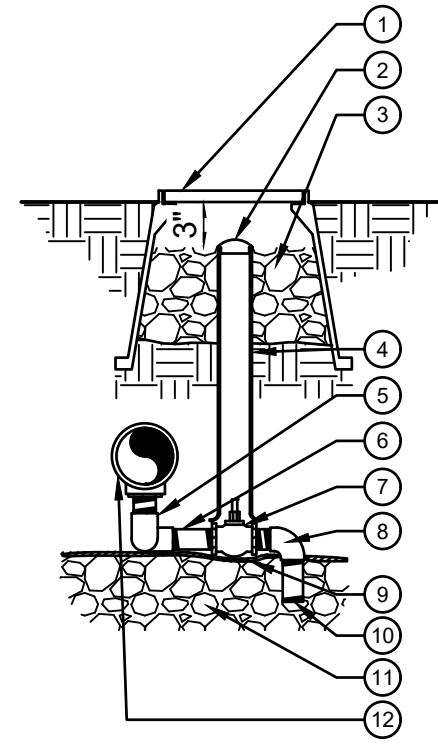
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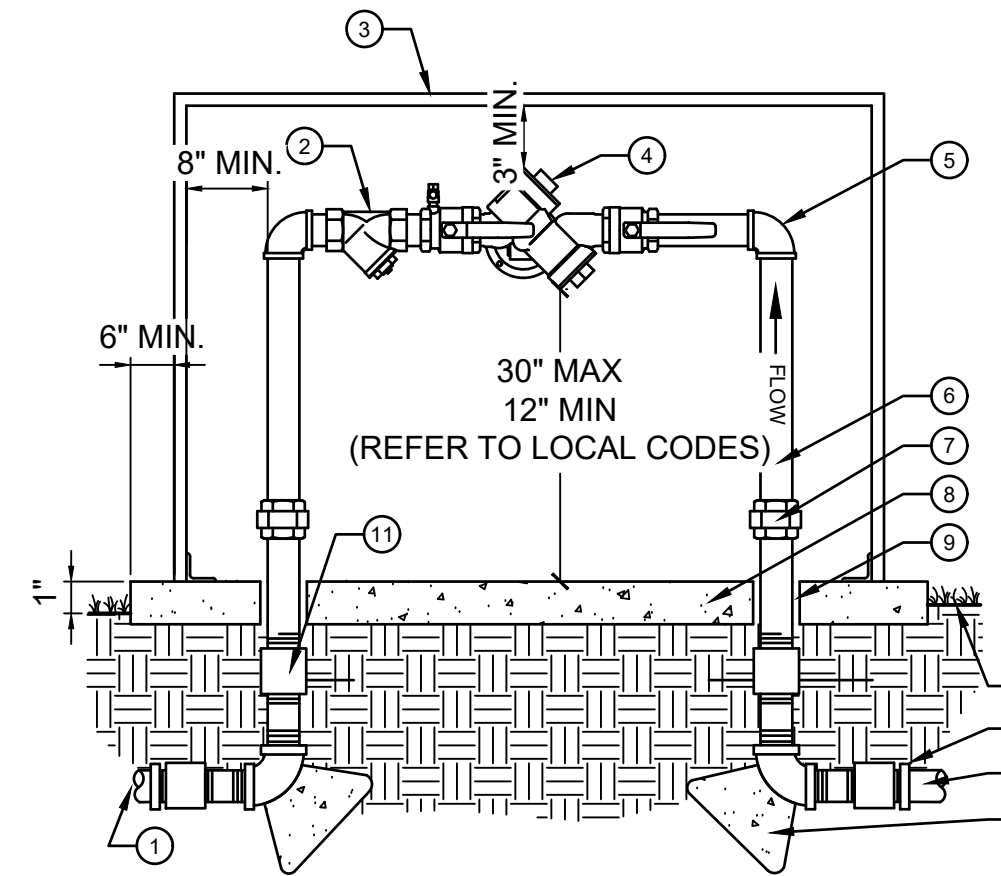
PLAZA STREET PARTNERS  
CIVIL CONSTRUCTION DRAWINGS

18900 E. LINCOLN AVE.  
PARKER, CO 80134



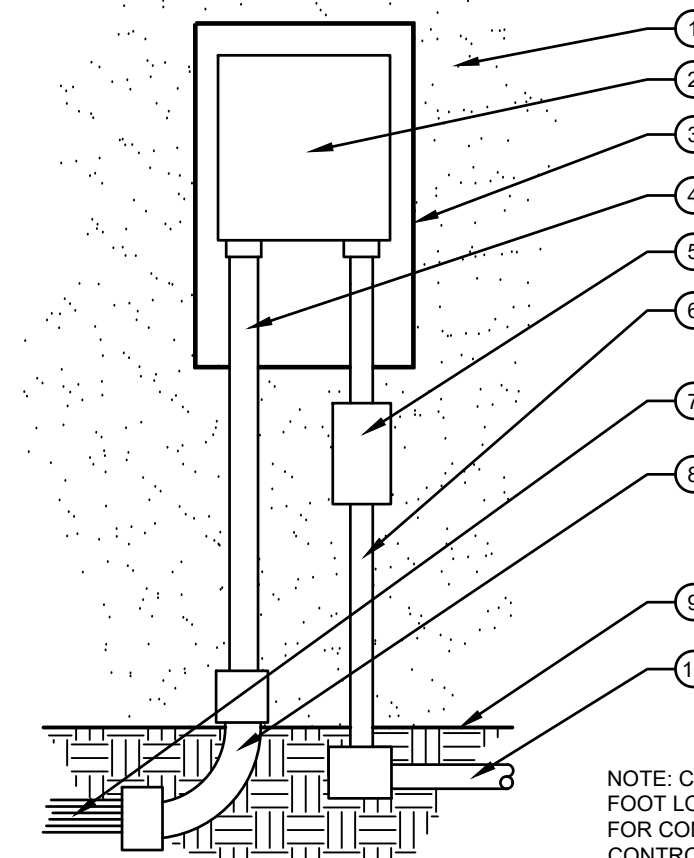
- 1 CARSON VALVE BOX OR APPROVED EQUAL. DV BRAND ON LID.
- 2 2" VALVE MARKER
- 3 3/4" CRUSHED GRAVEL SUMP 1 CU. FT.
- 4 2" CL160 PVC ACCESS SLEEVE - LENGTH AS REQUIRED
- 5 3/4" FxF SCH.80 PVC 90 ELL (2)
- 6 3/4"xCL PVC NIPPLE SCH. 80 (2)
- 7 3/4"x6" SCH. 80 GALVANIZED STEEL NIPPLE
- 8 3/4" McDONALD #6101 SERIES VALVE
- 9 3/4" MxK SCH.40 PVC 90 ELL
- 10 SOIL BLANKET COVERING SUMP
- 11 3/4"x4" PVC NIPPLE SCH. 80
- 12 3/4" CRUSHED GRAVEL SUMP SEE TECHNICAL SPECIFICATIONS FOR SUMP SIZE
- 13 PRESSURE MAINLINE

**10** MANUAL DRAIN VALVE  
SCALE: NOT TO SCALE



- 1 MAINLINE CONNECTION- ADAPT AS NECESSARY ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES
- 2 BRASS WYE STRAINER W/60 MESH SCREEN
- 3 ENCLOSURE PER IRRIGATION LEGEND
- 4 BACKFLOW PREVENTER UNIT
- 5 BRASS 90 DEGREE ELLS (TYP.)
- 6 BRASS NIPPLES (TYPICAL)
- 7 BRASS UNION (TYPICAL)
- 8 4" CONCRETE PAD - SLOPE TO DRAIN AWAY FROM BACKFLOW PREVENTER
- 9 PVC CONCRETE SLEEVE
- 10 FINISH GRADE 1" BELOW PAD
- 11 BRASS COUPLING
- 12 COPPER SERVICE LINE
- 13 12"x12"x12" THRUST BLOCKS

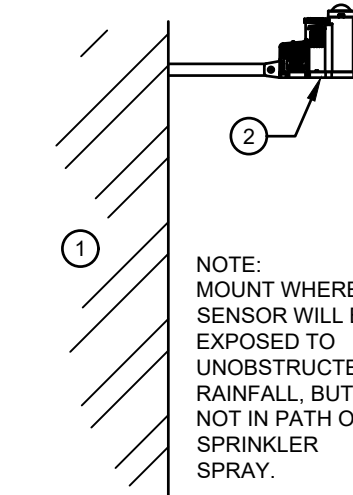
**11** BACKFLOW PREVENTER, REDUCED PRESSURE  
SCALE: NOT TO SCALE



- NOTE: VERIFY FINAL LOCATION WITH OWNER PRIOR TO INSTALLATION
- 1 EXTERIOR WALL
  - 2 CONTROLLER PER LEGEND
  - 3 LOCKING VANDAL-RESISTANT ENCLOSURE. ATTACH TO WALL PER MANUFACTURER'S SPECIFICATIONS.
  - 4 PVC CONDUIT FOR CONTROL WIRES
  - 5 LOCKABLE ELECTRIC DISCONNECT BOX PER APPLICABLE CODES.
  - 6 120 VOLT POWER WIRES IN CONDUIT. INSTALL PER APPLICABLE CODES.
  - 7 CONTROL WIRES
  - 8 INSTALL PVC SWEEP 1'-6" BELOW FINISH GRADE. WIRES SHALL SHARE MAINLINE TRENCHING WHEREVER POSSIBLE.
  - 9 FINISH GRADE
  - 10 ELECTRICAL SOURCE PER APPLICABLE ELECTRICAL CODES.

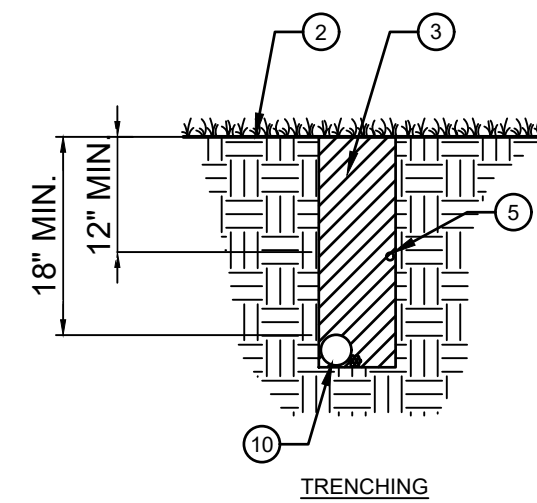
NOTE: CONTRACTOR SHALL PROVIDE AND INSTALL AN EIGHT FOOT LONG COPPER GROUNDING ROD INTO THE GROUND FOR CONTROLLER. PROVIDE PROPER INSTALLATION FOR CONTROLLER PER MANUFACTURER RECOMMENDATIONS AND LOCAL BUILDING CODES. ALL ELECTRICAL EQUIPMENT TO BE INSTALLED BY A CERTIFIED ELECTRICIAN.

**12** WALL MOUNT CONTROLLER  
SCALE: NOT TO SCALE



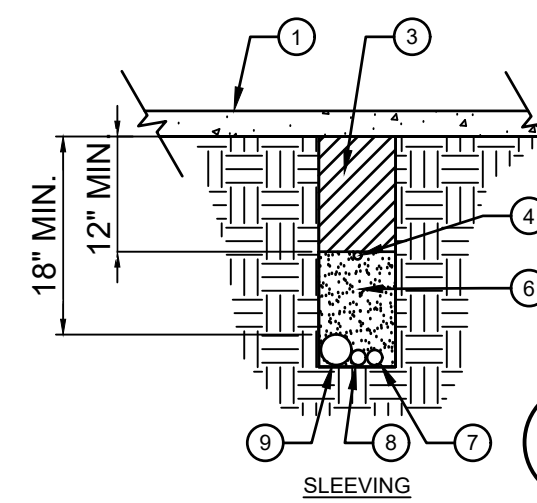
- 1 EXTERIOR WALL OR POLE
- 2 WEATHER SENSOR

**13** WEATHER SENSOR  
SCALE: NOT TO SCALE



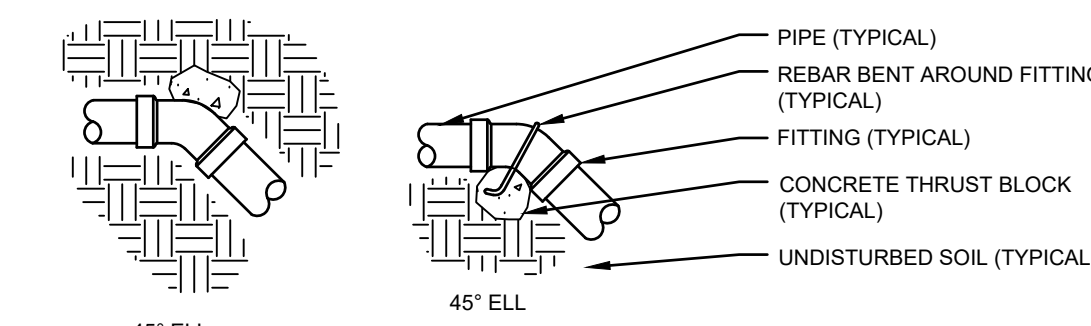
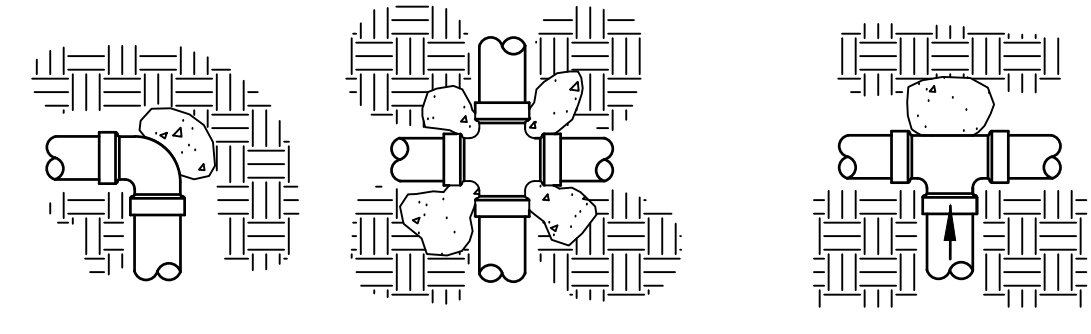
- 1 PAVEMENT SURFACE
- 2 FINISH GRADE
- 3 TRENCH BACKFILL
- 4 LOCATOR WIRE WITH BURIED CAUTION TAPE IF SPECIFIED
- 5 PVC IRRIGATION LATERAL - BURIED MIN. 12" BELOW GRADE
- 6 SAND BACKFILL
- 7 PVC LATERAL SLEEVE SEE PLANS FOR SIZE
- 8 2" MIN. PVC WIRE SLEEVE FOR CONTROL WIRES
- 9 PVC MAINLINE SLEEVE SEE PLANS FOR SIZE
- 10 PVC IRRIGATION MAINLINE

TRENCHING



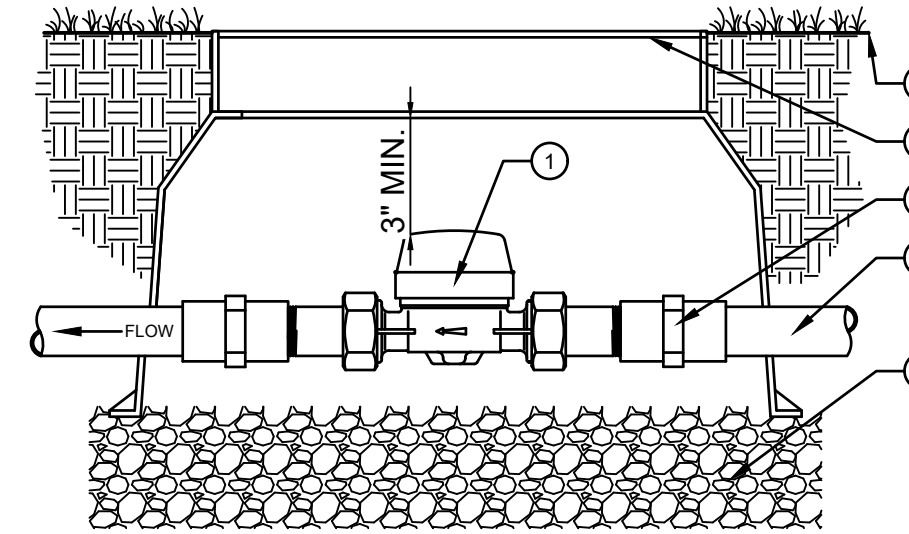
NOTE: EXTEND SLEEVES INTO LANDSCAPE AREAS 12" BEYOND EDGE OF HARDSCAPE

**14** PIPE AND SLEEVE INSTALLATION  
SCALE: NOT TO SCALE



- NOTES:  
1. PRESSURE SUPPLY LINES SIZE 2" AND LARGER SHALL RECEIVE CONCRETE THRUST BLOCKS.  
2. SEE SOILS ENGINEER FOR AMOUNT OF CONCRETE TO BE USED FOR THRUST BLOCK.

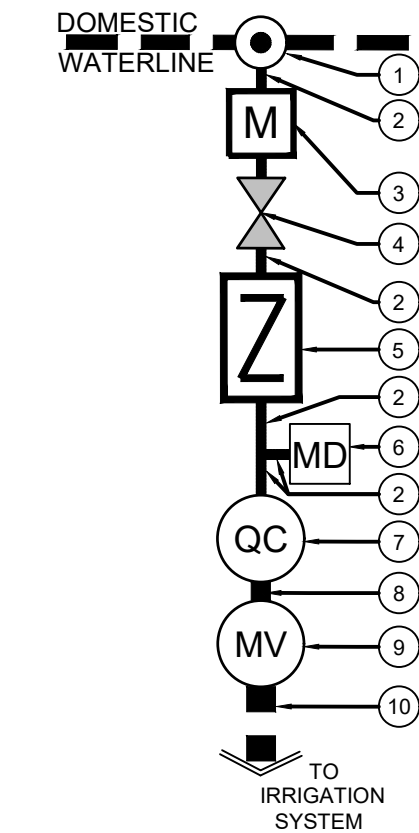
**15** THRUST BLOCKING  
SCALE: NOT TO SCALE



- 1 WATER METER PER LEGEND
- 2 FINISHED GRADE
- 3 CARSON VALVE BOX OR APPROVED EQUAL. M BRAND ON LID.
- 4 PVC FEMALE ADAPTER
- 5 PVC MAINLINE PIPE
- 6 3" MINIMUM LAYER OF 3/4" MINUS WASHED GRAVEL

**16** WATER METER  
SCALE: NOT TO SCALE

TYPICAL POINT OF CONNECTION SCHEMATIC DIAGRAM



- 1 IRRIGATION POINT OF CONNECTION. TAP INTO THE DOMESTIC WATERLINE DOWNSTREAM OF THE BUILDING METER.
- 2 3/4" & 1" (SEE PLAN) K COPPER WATER SERVICE PIPE
- 3 IRRIGATION METER, SEE CIVIL FOR SIZE & LOCATION
- 4 1" GATE VALVE
- 5 3/4" BACKFLOW DEVICE
- 6 MANUAL DRAIN VALVE, SEE THIS SHEET DETAIL 10
- 7 1" QUICK COUPLER
- 8 1" PVC LINE, CLASS 200 PIPE
- 9 1" MASTER VALVE
- 10 1" MAINLINE, CLASS 200 PIPE

WINTERIZATION PROCEDURES:  
TURN OFF SYSTEM AT THE GATE VALVE DOWNSTREAM OF THE IRRIGATION METER. OPEN ONE CONTROL VALVE TO RELIEVE PRESSURE SLOWLY OPEN BLOW OUT VALVE. REPEAT PROCEDURE FOR ALL BLOW OUT VALVES ALONG IRRIGATION MAINLINE.

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1	09/23/22	1ST SUBMITTAL	SMB
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3	03/06/23	3RD SUBMITTAL	SMB

Project No:	PSP000001
Drawn By:	TDN
Checked By:	TDN
Date:	08/09/2024

IRRIGATION NOTES & DETAILS

IR1.3

**PLAZA STREET PARTNERS**  
**LINCOLN PROFESSIONAL PARK FILING NO.1 LOT 3**  
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH,  
 RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
 TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

**CIVIL CONSTRUCTION DRAWINGS**

**AUGUST 2024**

**Galloway**

5500 Greenwood Plaza Blvd., Suite 200  
 Greenwood Village, CO 80111  
 303.770.8884  
 GallowayUS.com



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**PLAZA STREET PARTNERS  
 CIVIL CONSTRUCTION DRAWINGS**

**18900 E. LINCOLN AVE.  
 PARKER, CO 80134**

**GENERAL IRRIGATION NOTES**

- IRRIGATION DESIGN IS BASED ON THEORIES, ASSUMPTIONS, AND/OR INFORMATION PROVIDED BY CIVIL MODELS/UTILITIES/MUNICIPAL ENTITIES AND THUS, IS DIAGRAMMATIC IN NATURE. ALL PIPING, VALVES, AND OTHER EQUIPMENT SHOWN WITHIN PAVED AREAS OR OUT OF PROPERTY BOUNDARIES ARE FOR GRAPHIC CLARIFICATION ONLY, AND SHALL BE INSTALLED IN PLANTING AREAS WITHIN THE PROPERTY LINES OR LIMITS INDICATED ON PLAN. THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE-GRADE IRRIGATION EQUIPMENT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION, OR IRRIGATION CONTRACTOR MAY BE REQUIRED TO MOVE SUCH ITEMS AT HIS OWN COST.
- REFER TO SPECIFICATIONS (AS APPROPRIATE) FOR SUBMITTALS, INSPECTIONS AND OTHER APPLICABLE INFORMATION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A COPY OF THE PROJECT SPECIFICATIONS PRIOR TO BIDDING. THE PROJECT SPECIFICATIONS ARE A PART OF THESE PLANS AND SHALL BE CONSULTED BY THE IRRIGATION CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING WORK AS SPECIFIED IN THE PROJECT SPECIFICATIONS AND ON THE PLANS.
- THE IRRIGATION CONTRACTOR SHALL MEET WITH THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK, AND SHALL OBTAIN ALL ENGINEERING, LANDSCAPE, AND OTHER APPLICABLE PLANS & DOCUMENTS. CONTRACTOR SHALL THOROUGHLY REVIEW PLANS & REPORT ANY CONFLICTS OR DISCREPANCIES TO OWNER'S REPRESENTATIVE IMMEDIATELY.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, EQUIPMENT QUANTITIES, AND UTILITY LOCATIONS PRIOR TO BEGINNING WORK. DO NOT INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES, OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE EXISTED AT THE TIME OF THE IRRIGATION DESIGN PREPARATION. SUCH OBSTRUCTIONS OR DIFFERENCES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND LANDSCAPE ARCHITECT. IN THE EVENT THIS NOTIFICATION IS NOT GIVEN, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY TO BRING THE SYSTEM TO A PROPER WORKING CONDITION, AND TO THE OWNER'S SATISFACTION.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATIONS OF WALLS, RETAINING WALLS, ETC. THE IRRIGATION CONTRACTOR SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR AND OTHER SUBCONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES THROUGH WALL, UNDER ROADWAY PAVING, ETC.
- THE CONTRACTOR SHALL MAKE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.
- SEE CIVIL ENGINEER'S DRAWINGS FOR IRRIGATION POINT OF CONNECTION (TAP) AND DOMESTIC WATER SUPPLY.
- ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS.
- THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE AND THE MAXIMUM FLOW DEMAND SHOWN ON THE POINT OF CONNECTION NOTE TAG(S) ON THE DRAWINGS. THE IRRIGATION CONTRACTOR SHALL FIELD VERIFY THE STATIC & OPERATING WATER PRESSURE PRIOR TO CONSTRUCTION, AND SHALL REPORT ANY DIFFERENCES BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE AND LANDSCAPE ARCHITECT. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED OR PRESSURES HAVE GREATLY CHANGED PRIOR TO THE START OF THE IRRIGATION SYSTEM CONSTRUCTION, THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR RECOMMENDING A SOLUTION AND PROVIDING AN ADD ALTERNATE BID FOR IRRIGATION COSTS.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF AVAILABLE WATER PRESSURE EXCEEDS 5 PSI HIGHER OR LOWER THAN AVAILABLE WATER PRESSURE.
- NO MORE THAN 90% OF AVAILABLE MINIMUM STATIC WATER PRESSURE WAS USED IN PREPARATION OF THESE PLANS, FURTHERMORE, THE MAXIMUM FLOW THROUGH THE METER SHOULD NOT EXCEED 75% OF THE MAXIMUM SAFE FLOW.
- SUPPLY LINE AND METER TO BE PROVIDED BY GENERAL CONTRACTOR. BACKFLOW PREVENTER TO BE PROVIDED BY IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR'S POINT OF CONNECTION TO BEGIN AFTER THE IRRIGATION WATER METER.
- INSTALL ALL MATERIALS AND EQUIPMENT AS SHOWN ON THE PLANS AND DETAILS. NO SUBSTITUTIONS OF EQUIPMENT WILL BE ACCEPTABLE WITHOUT PRIOR WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT OR THE OWNER'S REPRESENTATIVE. THE IRRIGATION CONTRACTOR MAY BE REQUIRED TO REMOVE AND REPLACE ALL UNAPPROVED SUBSTITUTED EQUIPMENT AT HIS OWN COST IF SO DIRECTED BY THE OWNER.
- WHEN INSTALLING IRRIGATION PIPE AND EQUIPMENT NEXT TO HARDSCAPE (SUCH AS WALLS, CURBS, OR WALKS), PLACE PIPE AS CLOSE AS POSSIBLE TO HARDSCAPE TO AVOID CONFLICTS WITH PLANTING. REFER TO MAINLINE TRENCHING DETAILS FOR ADDITIONAL INFORMATION.
- THE IRRIGATION CONTRACTOR SHALL COORDINATE 120 V.A.C. ELECTRICAL POWER TO CONTROLLERS AND DEDICATE ONE (1) 20-AMP BREAKER FOR EACH CONTROLLER. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO MAKE THE FINAL HOOK-UP FROM THE ELECTRICAL SOURCE TO THE CONTROLLER UNIT ONLY.
- THE RAIN SENSOR SHALL BE LOCATED NEAR THE IRRIGATION CONTROLLER, AND SHALL BE MOUNTED AS SHOWN ON THE DETAIL AND/OR LEGEND. LOCATE SENSOR AWAY FROM TALL TREES, SHRUBS, AND OTHER POTENTIAL OBSTRUCTIONS.
- ALL VALVE CONTROL WIRE SHALL BE AWG 14 TYPE UF, 600 VOLT TEST, DIRECT BURIAL. NO SPLICES SHALL BE ALLOWED EXCEPT AT VALVES AND CONTROLLER. WHERE SPLICES MAY BE NECESSARY DUE TO EXCESSIVELY LONG WIRE RUNS, THE CONTRACTOR SHALL MAKE ALL SPLICES IN 6" ROUND VALVE BOXES WITH 3MS "DBY-DIRECT BURIAL SPLICE KIT". THE CONTRACTOR SHALL LABEL ALL WIRES WITH WATERPROOF TAGS AND MARKERS AT ALL SPLICES AND VALVE MANIFOLDS, AND SHALL LEAVE A 24" COIL OF EXCESS WIRE AT EACH CONNECTION.
- CONTRACTOR SHALL PROVIDE #10 COMMON WIRE, DIRECT BURIAL, TO ALL REMOTE CONTROL VALVES.
- CONNECT ALL DIRECT BURIAL WIRES TO VALVES USING 3MS "DBY-DIRECT BURIAL SPLICE KIT" (UNLESS OTHERWISE SPECIFIED).
- PROVIDE ADDITIONAL IRRIGATION CONTROL WIRES TO THE AMOUNT OF OPEN ZONES ON THE CONTROLLER ALONG EACH BRANCH OF MAINLINE FOR FUTURE EXPANSION. STUB ADDITIONAL CONTROL WIRES INTO BACK OF IRRIGATION CONTROLLERS.
- THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL CONTROL WIRE SLEEVES AND PIPE SLEEVES UNDER PAVED AREAS PRIOR TO PAVING. ELECTRICAL WIRES FOR IRRIGATION VALVES AND IRRIGATION LINES ARE TO BE PLACED IN SEPARATE SLEEVES. ALL SLEEVING SHALL BE PVC SCHEDULE 40 PIPE. SLEEVES FOR MAINLINE AND LATERAL LINES SHALL BE A MINIMUM TWICE THE DIAMETER OF THE ENCLOSED PIPE. SLEEVES FOR CONTROL WIRES SHALL BE AS PER THE SLEEVING / WIRING NOTE AND THE WIRING SLEEVE LEGEND ITEM AS SHOWN ON THESE DRAWINGS.
- TRENCH BACKFILL MATERIAL SHALL BE FREE OF ROCKS, GLASS, AND OTHER EXTRANEOUS MATERIALS LARGER THAN 1" IN DIAMETER. BACKFILL SHALL BE COMPACTED TO 90% MAXIMUM DRY DENSITY.
- WHERE VALVES ARE LOCATED IN CLOSE PROXIMITY TO EACH OTHER, CLUSTER VALVES INTO MANIFOLDS. INSTALL NO MORE THAN ONE VALVE PER VALVE BOX.
- MANUAL DRAIN VALVE, FOR FREEZE PROTECTION, ARE TO BE LOCATED AT ALL LOW POINTS OF IRRIGATION LATERAL LINES. WHERE THE LOW POINT IS AT THE END OF THE LINE, LOCATE DRAIN VALVE A MINIMUM OF 12" DOWNSTREAM FROM THE LAST SPRINKLER HEAD. SEE DETAIL FOR VALVE ORIENTATION.
- USE TEFLON TAPE ON ALL PVC MALE PIPE THREADS ON ALL SWING JOINT AND VALVE ASSEMBLIES.
- ALL IRRIGATION HEADS, INCLUDING FIXED-SPRAY AND DRIP DEVICES, SHALL BE SET PERPENDICULAR TO THE FINISH GRADE OF THE AREA TO BE IRRIGATED.
- ALL PRESSURIZED MAINLINES, VALVES, DRIP, AND ROTOR AND SPRAY HEADS SHALL BE INSTALLED A MINIMUM OF 3' AWAY FROM ANY BUILDING FOUNDATION. IF THIS EQUIPMENT IS SHOWN WITHIN THE 3' OFFSET ON THESE PLANS, IT IS FOR THE PURPOSE OF GRAPHIC CLARITY ONLY.
- EXCEPT WHERE SPECIFICALLY NOTED OTHERWISE, IT IS THE INTENT OF THE IRRIGATION DESIGN TO INDICATE ALL SPRAY HEADS AS "POP-UPS". IN THE EVENT THAT POP-UP HEADS HAVE NOT BEEN SPECIFIED IN TURF AREAS, IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO BRING THIS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BIDDING AND CONSTRUCTION.
- ALL SPRAY AND ROTOR HEAD LOCATIONS SHALL BE STAKED, FLAGGED AND/OR OTHERWISE CLEARLY MARKED ON THE GROUND PRIOR TO INSTALLATION. SPRINKLER HEAD STAKING SHALL BE INSPECTED AND APPROVED BY THE OWNER'S REPRESENTATIVE OR THE LANDSCAPE ARCHITECT BEFORE INSTALLATION. STAKED LOCATIONS SHALL BE SPACED TO PROVIDE HEAD-TO-HEAD COVERAGE. RECOMMENDED SETBACK DISTANCE OF ALL PROPOSED IRRIGATION HEADS IS 12" FROM BACK OF CURB AND EDGE OF PAVEMENT.
- FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVERSPRAY ONTO WALKS, ROADWAYS, AND/OR BUILDINGS AS MUCH AS POSSIBLE. THIS SHALL INCLUDE SELECTING THE BEST NOZZLE ARC AND RADIUS TO FIT THE EXISTING SITE CONDITIONS.
- ALL POP-UP TYPE SPRINKLER HEADS INSTALLED IN TURF AREAS SHALL BE INSTALLED SO THE TOP OF THE SPRINKLER HEAD IS FLUSH WITH THE ADJACENT SIDEWALK, OR PAVING. ALL POP-UP HEADS AWAY FROM HARDSCAPE EDGES IN TURF SHALL BE 1" ABOVE THE FINISH GRADE TO PREVENT CONTACT WITH MOWERS.
- EXISTING TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. DO NOT TRENCH OR EXCAVATE WITHIN THE CRITICAL ROOT ZONE OF ANY TREE.
- ALL PLANT MATERIAL IN TREE HOLDING AREAS SHALL BE MANUALLY WATERED/IRRIGATED TO KEEP MOIST UNTIL PLANTED.
- UPON COMPLETION OF INSTALLATION OF IRRIGATION SYSTEM, IRRIGATION CONTRACTOR SHALL PROVIDE THE FOLLOWING:
  - ACCURATE AND COMPLETE "AS BUILT" PLANS OF IRRIGATION SYSTEM INCLUDING 8-1/2" X 11" ZONE MAP TO BE PLACED INSIDE EACH CONTROLLER BOX.
  - LOG ON ALL WATER WINDOWS, RUN SCHEDULE TIMES, AND OTHER CHANGES AND/OR MODIFICATIONS TO THE IRRIGATION SYSTEM SINCE INSTALLATION.
  - ONE HOUR OF TRAINING TO OWNER ON IRRIGATION SYSTEM AND CONTROLLER OPERATION.
  - THREE OF EACH TYPE OF HEAD AND EMITTER INSTALLED.
  - ONE OF EACH TYPE OF VALVE INSTALLED.
  - REVIEW WINTERIZATION PROCEDURES FOR IRRIGATION SYSTEM WITH OWNERS REPRESENTATIVE.
- PRIOR TO ACCEPTANCE OF IRRIGATION SYSTEM AT THE END OF THE MAINTENANCE PERIOD, THE IRRIGATION CONTRACTOR SHALL PROVIDE THE FOLLOWING: CURRENT SCHEDULE RUN TIME AND WATER WINDOW LOG, ALONG WITH NOTING ANY OTHER PERTINENT INFORMATION.
- UNLESS OTHERWISE SPECIFIED, THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ANYTHING DAMAGED BY HIS WORK AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL INSTALL MAINLINES ±12" FROM PAVEMENT EDGE IN PLANTING AREAS. ALL PIPING, VALVES, AND OTHER EQUIPMENT SHOWN WITHIN PAVED AREAS OR OUT OF PROPERTY BOUNDARIES ARE FOR DESIGN CLARIFICATION ONLY, AND SHALL BE INSTALLED IN PLANTING AREAS WITHIN THE PROPERTY LINES OR LIMITS AS INDICATED ON THESE PLANS.
- IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND SPECIFICATIONS, THE PLAN SHALL TAKE PRECEDENCE.
- THE IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED IRRIGATION CONTRACTOR.



**LANDSCAPE/IRRIGATION WORKSHEET**

Tap sizing for dedicated irrigation taps

**\*Yellow fields require user input\***

<b>Irrigation Water Requirement = (ETo x PF x LA)/IE</b>	
<b>Define Landscape &amp; Irrigation System:</b>	
<b>High Water Use Plant Material</b>	
*Cool season turfgrass (Kentucky bluegrass)	
Plant Factor (PF, %)	High 0.9
Landscape Area (LA, sq ft)	0
Irrigation Efficiency (IE, %)	Overhead 0.65
<b>High-Moderate Water Use Plant Material</b>	
*Hybrid grass types (Texas hybrids, fescue, etc.)	
Plant Factor (PF, %)	High-Med 0.8
Landscape Area (LA, sq ft)	599
Irrigation Efficiency (IE, %)	Overhead 0.65
<b>Moderate Water Use Plant Material</b>	
*Traditional trees/shrubs/perennials, alternative grass types (buffalograss, blue grama, etc.)	
Plant Factor (PF, %)	Med 0.5
Landscape Area (LA, sq ft)	6,099
Irrigation Efficiency (IE, %)	Drip 0.9
<b>Low Water Use Plant Material</b>	
*Xeric trees/shrubs/perennials, native grass mixes	
Plant Factor (PF, %)	Low 0.25
Landscape Area (LA, sq ft)	4714
Irrigation Efficiency (IE, %)	Overhead 0.65
*PWSD holds final discretion for determining appropriate plant factor designations based on landscape plan submission	
<a href="#">Visit Appendix B of the SMWSA Model Ordinance for Plant Factor Guidelines</a>	
<b>Site Summary:</b>	
Total Irrigated Area (sq ft)	11412
Avg Plant Factor (%)	0.41
Avg Irrigation Efficiency (%)	0.78
<b>Peak monthly ET, Parker, CO:</b>	
Peak monthly ET (July):	7.56 in
<b>Irrigation Water Requirement (IWR):</b>	
Peak monthly IWR:	27836 gal
Maximum flow requirement	2.9 GPM
* Max. flow requirements are based on peak monthly irrigation demands and follow PWSD's watering guidelines	
<b>Hydraulic Requirements:</b>	
Tap Size (in)	Max GPM
3/4"	10
1"	18
1 1/2"	40
2"	71
3"	189
4"	380
* 2" and smaller assumes Seamless K Copper Tube 3" and larger assumes Ductile Iron Pipe Class 350	
<b>Tap Size Requirement</b>	<b>3/4"</b>
System Design Pressure: 122 PSI	
<input checked="" type="checkbox"/> Design pressure has been field tested & verified	
<input checked="" type="checkbox"/> This form has been completed in compliance with PWSD's Engineering Standards & Specifications Manual regarding irrigation design specifications	

**CRITICAL ANALYSIS**

P.O.C. NUMBER: 01  
 Water Source Information: USE 3/4" TAP INTO DOMESTIC WATERLINE DOWNSTREAM OF THE BUILDING METER. IRRIGATION TO BE SUB-METERED.

**FLOW AVAILABLE**  
 Water Meter Size: 3/4"  
 Flow Available: 10.2 GPM

**PRESSURE AVAILABLE**  
 Static Pressure at POC: 122 PSI  
 Elevation Change: 3.00 ft  
 Service Line Size: 3/4"  
 Length of Service Line: 12 ft  
 Pressure Available: 119 PSI

**DESIGN ANALYSIS**  
 Maximum Station Flow: 9.47 GPM  
 Flow Available at POC: 10.2 GPM  
 Residual Flow Available: 0.73 GPM

**Critical Station:** A12  
 Design Pressure: 40 PSI  
 Friction Loss: 0.15 PSI  
 Fittings Loss: 0.02 PSI  
 Elevation Loss: 0 PSI  
 Loss through Valve: 2.95 PSI  
 Pressure Req. at Critical Station: 43.1 PSI  
 Loss for Fittings: 0.49 PSI  
 Loss for Main Line: 4.95 PSI  
 Loss for POC to Valve Elevation: 0 PSI  
 Loss for Backflow: 12.4 PSI  
 Loss for Master Valve: 2.95 PSI  
 Loss for Water Meter: 1.44 PSI  
 Critical Station Pressure at POC: 65.3 PSI  
 Pressure Available: 119 PSI  
 Residual Pressure Available: 53.7 PSI

#	Date	Issue / Description	Init.
1	09/23/22	1ST SUBMITTAL	SMB
2	12/14/22	2ND SUBMITTAL	SMB
3	03/06/23	3RD SUBMITTAL	SMB

Project No: PSP000001  
 Drawn By: TDN  
 Checked By: TDN  
 Date: 08/09/2024

**IRRIGATION NOTES & DETAILS**

IR1.4

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