

PLAZA STREET PARTNERS
LINCOLN PROFESSIONAL PARK FILING NO.1 LOT 3
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH,
 RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,
 CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE PLAN DOCUMENTS
 JANUARY 2024

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PLAZA STREET PARTNERS
 SITE PLAN DOCUMENTS

PARKER COLORADO

#	Date	Issue / Description	Init.
1	09/23/22	1ST SUBMITTAL	SMB
2	12/14/22	2ND SUBMITTAL	SMB
3	03/06/23	3RD SUBMITTAL	SMB
4			
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Project No: PSP00001
 Drawn By: JRC
 Checked By: SMB
 Date: 01/02/2024

MX4IP LED

4" Ambient - IP Rated

MOUNTING DETAILS

FIXTURE DETAILS

BACK VIEW

PENDANT (IN)	SURFACE (IN)	ACTUAL LENGTH (IN)
2	22	22
4	45 1/2	45
6	68 1/2	70
8	91 1/2	94

FINISH OPTIONS

WHITE, BLACK, GREEN, MEDIUM BRONZE, DARK BRONZE, SILVER, GRAY

For custom color, please specify RAL code or a manufacturer code with description. All custom colors other than RAL require two sample swatches, minimum 7" square.

H. E. Williams, Inc. • Carthage, Missouri • www.hewi.com • 417-358-4065 • Designed and Manufactured in the USA
 Information contained herein is subject to change without notice. REV:09/16/22 - PRELIMINARY Page 3 of 3

RZR SERIES - LED

PHOTOMETRIC DATA GUIDE - ISOFOOTCANDLE PLOTS

RZRM-PLD-48LED-700mA-40K - 18' Pole Height

IES File downloads for this product can be found at www.usallg.com/downloads/asr.html

U.S. Pole Company Inc. An Employee Owned Company
 640 West Avenue O, Denver, CO 80202 Phone (303) 233-2000 www.usallg.com

RZR SERIES - LED

PHOTOMETRIC DATA GUIDE - ISOFOOTCANDLE PLOTS

RZR-PLD-80LED-700mA-40K - 25' Pole Height

IES File downloads for this product can be found at www.usallg.com/downloads/asr.html

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 640 West Avenue O, Denver, CO 80202 Phone (303) 233-2000 www.usallg.com

RZR SERIES - LED

PHOTOMETRIC DATA GUIDE - ISOFOOTCANDLE PLOTS

RZR-PLD-120LED-700mA-40K 30' Pole Height

IES File downloads for this product can be found at www.usallg.com/downloads/asr.html

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RZR SERIES - LED

PHOTOMETRIC DATA GUIDE - LUMEN TABLES (RZR-PLD)

LED Count	Drive Current (mA)	System Watts	Beam Type	27K (2700K - 70CRI)				40K (4000K - 70CRI)				50K (5000K - 70CRI)				System Watts	TBA (9000lm)
				LUMENS	LPW	BUD RATING	Beam Angle	LUMENS	LPW	BUD RATING	Beam Angle	LUMENS	LPW	BUD RATING	Beam Angle		
120	300	1800	100	10000	100	B100C01	100	10000	100	B100C01	100	10000	100	1800	100	10000	
120	300	1800	150	15000	150	B150C01	150	15000	150	B150C01	150	15000	150	1800	150	15000	
120	300	1800	200	20000	200	B200C01	200	20000	200	B200C01	200	20000	200	1800	200	20000	
120	300	1800	250	25000	250	B250C01	250	25000	250	B250C01	250	25000	250	1800	250	25000	
120	300	1800	300	30000	300	B300C01	300	30000	300	B300C01	300	30000	300	1800	300	30000	
120	300	1800	350	35000	350	B350C01	350	35000	350	B350C01	350	35000	350	1800	350	35000	
120	300	1800	400	40000	400	B400C01	400	40000	400	B400C01	400	40000	400	1800	400	40000	
120	300	1800	450	45000	450	B450C01	450	45000	450	B450C01	450	45000	450	1800	450	45000	
120	300	1800	500	50000	500	B500C01	500	50000	500	B500C01	500	50000	500	1800	500	50000	
120	300	1800	550	55000	550	B550C01	550	55000	550	B550C01	550	55000	550	1800	550	55000	
120	300	1800	600	60000	600	B600C01	600	60000	600	B600C01	600	60000	600	1800	600	60000	
120	300	1800	650	65000	650	B650C01	650	65000	650	B650C01	650	65000	650	1800	650	65000	
120	300	1800	700	70000	700	B700C01	700	70000	700	B700C01	700	70000	700	1800	700	70000	
120	300	1800	750	75000	750	B750C01	750	75000	750	B750C01	750	75000	750	1800	750	75000	
120	300	1800	800	80000	800	B800C01	800	80000	800	B800C01	800	80000	800	1800	800	80000	
120	300	1800	850	85000	850	B850C01	850	85000	850	B850C01	850	85000	850	1800	850	85000	
120	300	1800	900	90000	900	B900C01	900	90000	900	B900C01	900	90000	900	1800	900	90000	
120	300	1800	950	95000	950	B950C01	950	95000	950	B950C01	950	95000	950	1800	950	95000	
120	300	1800	1000	100000	1000	B1000C01	1000	100000	1000	B1000C01	1000	100000	1000	1800	1000	100000	

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SITE PLAN DOCUMENTS

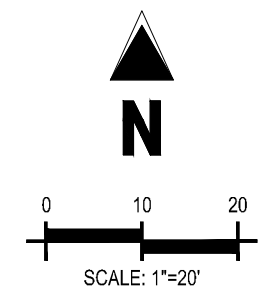
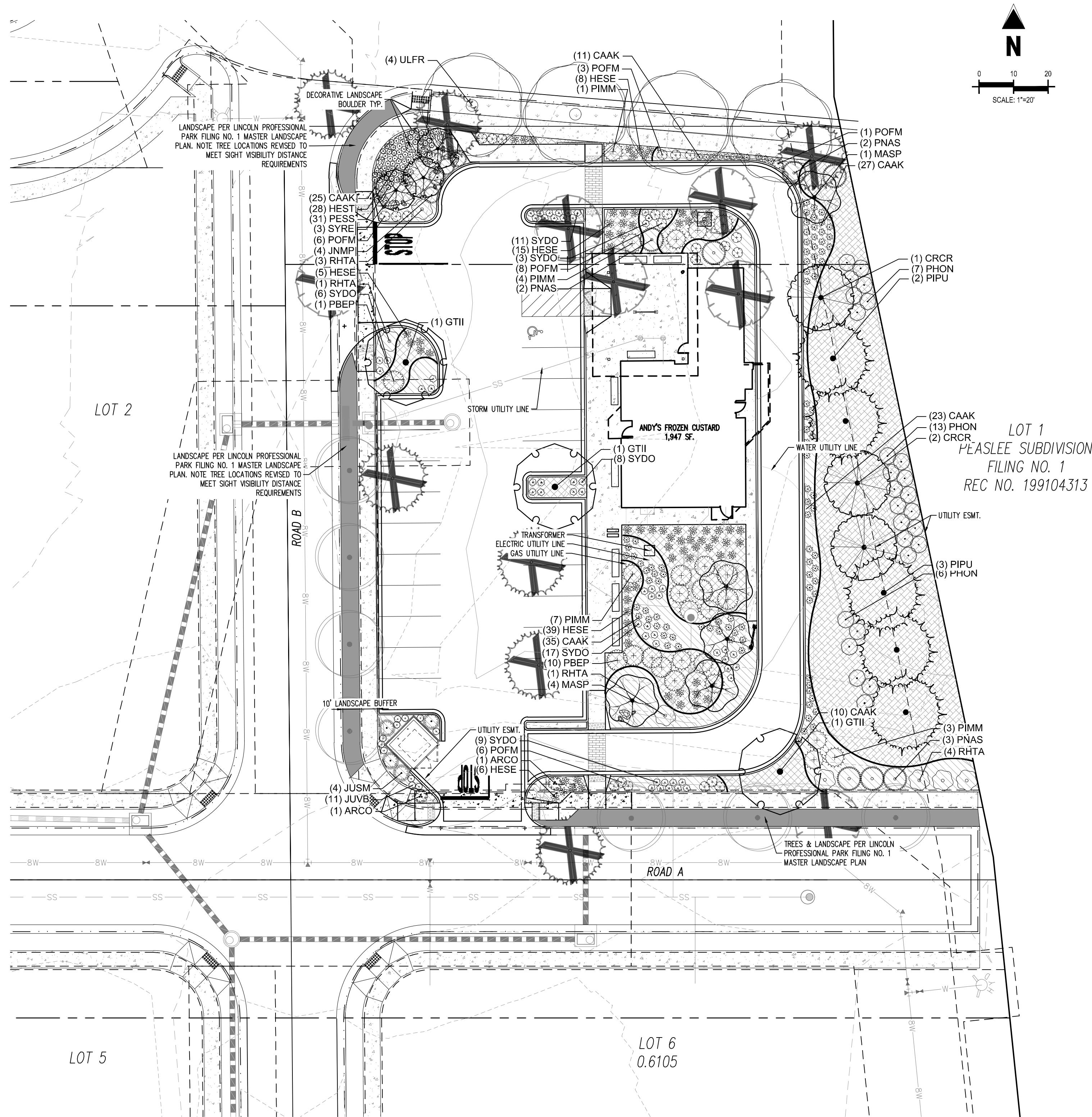
MARCH 2023

Galloway

5500 Greenwood Plaza Blvd., Suite 200
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 303.770.8884
 GallowayUS.com

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PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	CAL / SIZE	HT. X SPD.
	GTII	3	IMPERIAL HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS 'IMPCOLE' TM	B&B	2" CAL	35' X25'
	ULFR	4	FRONTIER ELM	ULMUS X 'FRONTIER'	B&B	2" CAL	40' X30'
EVERGREEN TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	CAL / SIZE	HT. X SPD.
	PIPU	5	COLORADO SPRUCE	PICEA PUNGENS	B&B	6" HT	60' X25'
	PNAS	7	ARNOLD SENTINEL AUSTRIAN PINE	PINUS NIGRA 'ARNOLD SENTINEL'	B&B	6" HT	25' X7'
ORNAMENTAL TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	CAL / SIZE	HT. X SPD.
	CRCR	3	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS-GALLI INERMIS	B&B	1.5" CAL	50' X20'
	MASP	5	SPRING SNOW CRABAPPLE	MALUS X 'SPRING SNOW'	B&B	1.5" CAL	20' X15'
	SYRE	3	JAPANESE TREE LILAC	SYRINGA RETICULATA	B&B	1.5" CAL	15' X12'
EXISTING TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.		
	EXTR	6	EXISTING DECIDUOUS TREE	TO BE REMOVED	EXISTING		
	EXER	7	EXISTING EVERGREEN TREE	TO BE REMOVED	EXISTING		
UPRIGHT JUNIPERS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	
	JUSM	4	MEDORA JUNIPER	JUNIPERUS SCOPULORUM 'MEDORA'	#5 CONT.	10' X5'	
	JUVB	11	BLUE ARROW EASTERN REDCEDAR	JUNIPERUS VIRGINIANA 'BLUE ARROW'	#5 CONT.	15' X2'	
DECIDUOUS SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	
	PHON	26	DWARF NINEBARK	PHYSOCARPUS OPULIFOLIUS 'NANUS'	#5 CONT.	5' X5'	
	POFM	24	MCKAY'S WHITE BUSH CINQUEFOIL	POTENTILLA FRUTICOSA 'MCKAY'S WHITE'	#5 CONT.	2' X3'	
	PBEP	11	PAWNEE BUTTES SAND CHERRY	PRUNUS BESSEYI 'P011S' TM	#5 CONT.	1.5' X6'	
	RHTA	9	AUTUMN AMBER SUMAC	RHUS TRILOBATA 'AUTUMN AMBER'	#5 CONT.	1.5' X6'	
	SYDO	54	CANDY SNOWBERRY	SYMPHORICARPUS X DOORENBOSII 'KOLMCAN' TM	#5 CONT.	2' X2'	
EVERGREEN SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	
	ARCO	2	MOCK BEARBERRY MANZANITA	ARCTOSTAPHYLOS X COLORADENSIS	#5 CONT.	8' X4'	
	JNMP	4	COMPACT PFITZER JUNIPER	JUNIPERUS X MEDIA 'PFITZERANA COMPACTA'	#5 CONT.	4' X5'	
	PIMM	15	MOPS MUGO PINE	PINUS MUGO 'MOPS'	#5 CONT.	5' X6'	
ORNAMENTAL GRASSES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	
	CAAK	131	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	#1 CONT.	5' X2'	
	HESE	73	BLUE AVENA	HELICTOTRICHON SEMPERVIRENS	#1 CONT.	2.5' X2.5'	
PERENNIALS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT.	HT. X SPD.	
	HEST	28	STELLA DE ORO DAYLILY	HEMEROCALLIS X 'STELLA DE ORO'	#1 CONT.	1.5' X1.5'	
	PESS	31	ROCKY MOUNTAIN PENSTEMON	PENSTEMON STRICTUS	#1 CONT.	2' X1.5'	
MULCH	CODE	QTY	COMMON NAME	BOTANICAL NAME			
	RMULCH2	3,509 SF	1.5" ROCK COBBLE MULCH	1.5" ROCK COBBLE MULCH			
	WMULCH	2,590 SF	WOOD MULCH	WOOD MULCH			
SOD/SEED	CODE	QTY	COMMON NAME	BOTANICAL NAME			
	SOD1	599 SF	RTF (RHIZOMATOUS TALL FESCUE)	FESCUE SOD			
	SEED1	4,714 SF	LOW GROW NATIVE SEED	LOW GROW NATIVE SEED			
			STEEL EDGING				



CAUTION
 UTILITIES EXIST WITHIN CONSTRUCTION LIMITS. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THEIR LOCATION PRIOR TO CONSTRUCTION.

LANDSCAPE ARCHITECT INFORMATION
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 1155 KELLY JOHNSON BLVD., SUITE
 305, COLORADO SPRINGS, CO 80920
 BRYNHILDRHALSTEN@GALLOWAYUS.COM

PLAZA STREET PARTNERS
 SITE PLAN DOCUMENTS

PARKER COLORADO

#	Date	Issue / Description	Init.
1	08/23/22	1ST SUBMITTAL	SMH
2	12/14/22	2ND SUBMITTAL	SMH
3	03/09/23	3RD SUBMITTAL	SMH
4	01/02/24	SITE REVISIONS	BH

Project No: PSP000001
 Drawn By: BH
 Checked By: JR
 Date: 08/11/2022

LANDSCAPE PLAN

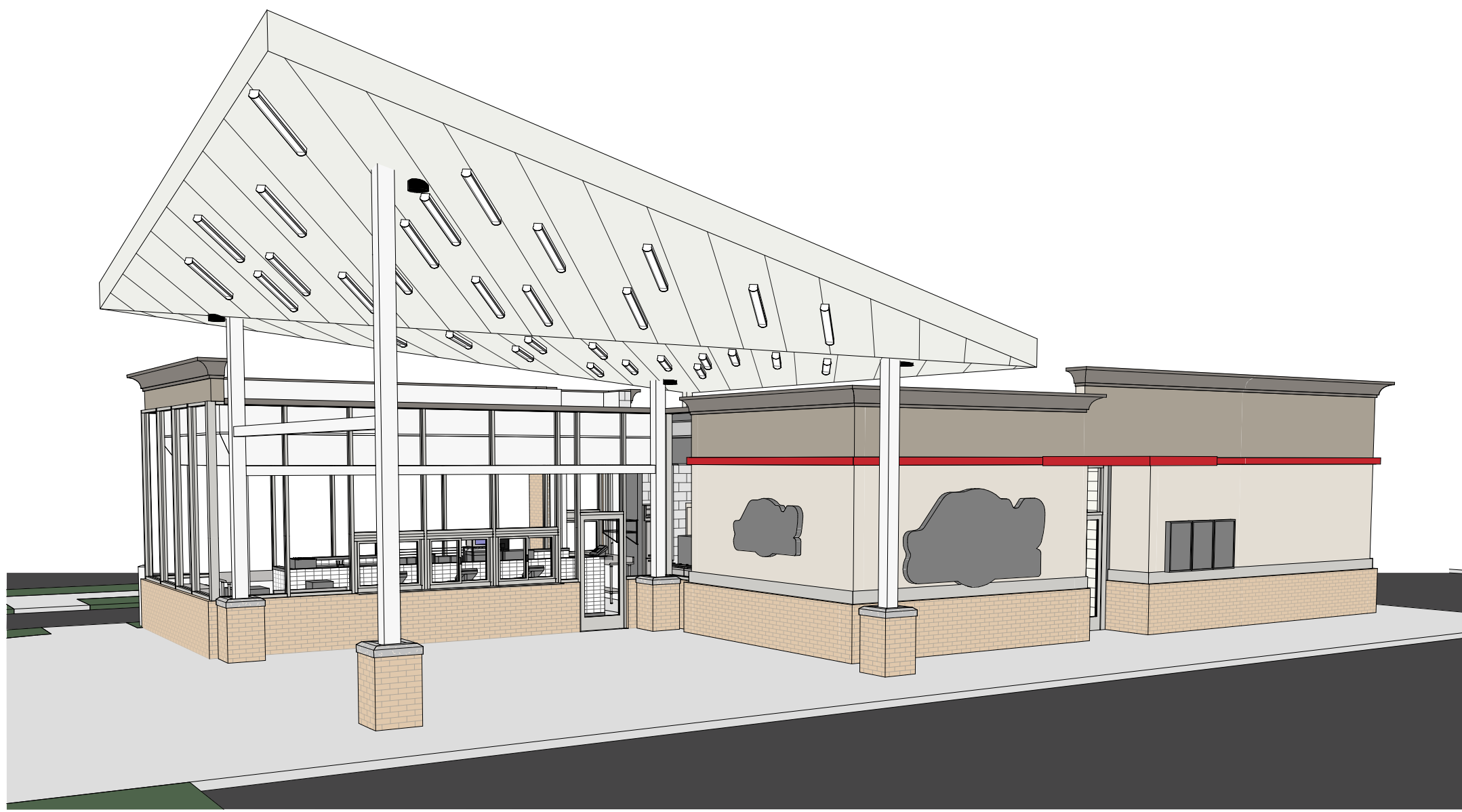
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 Sheet 6 OF 12

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 RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,
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ARCHITECTURE CONSTRUCTION DRAWINGS
 MARCH 2023



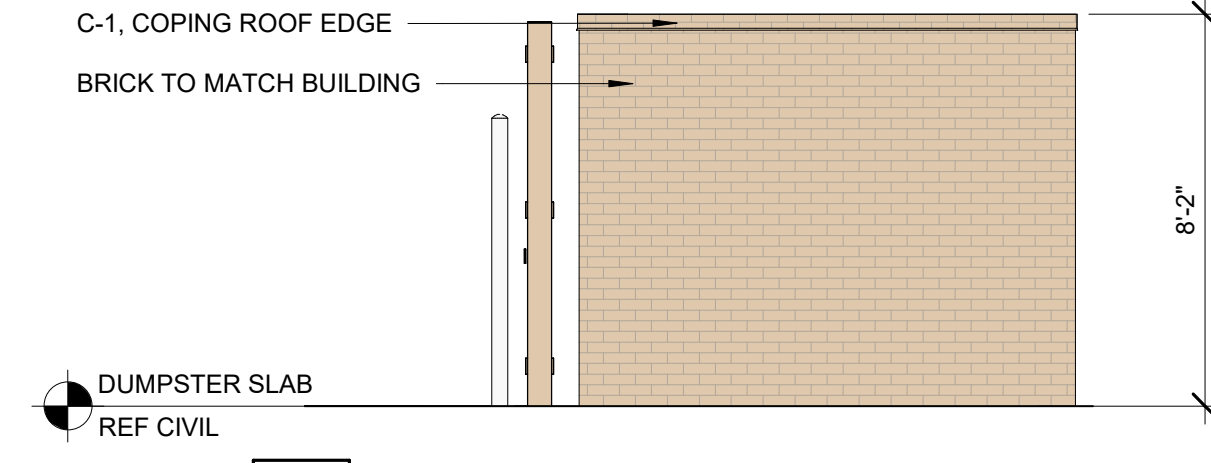
3D VIEW - 1
 R002



BACK-LIT BANDING; REF TR-1 FOR COLORS
 NOTE: PHOTO IS INTENDED TO DISPLAY THE RED BANDING AND LIGHT SOURCE AND NOT REPRESENT THE BUILDING MATERIALS FOR THIS PROJECT LOCATION AS CHANGES MAY OCCUR AS REQ'D PER THE LOCAL AHJ.



SURFACE MOUNTED LED CANOPY LIGHT FIXTURE:
 NOTE: PHOTO IS INTENDED TO DISPLAY THE LIGHT FIXTURE AND NOT REPRESENT THE BUILDING MATERIALS FOR THIS PROJECT LOCATION AS CHANGES MAY OCCUR AS REQ'D PER THE LOCAL AHJ.



3 R002 DUMPSTER ELEVATION - SIDE
 1/4" = 1'-0"

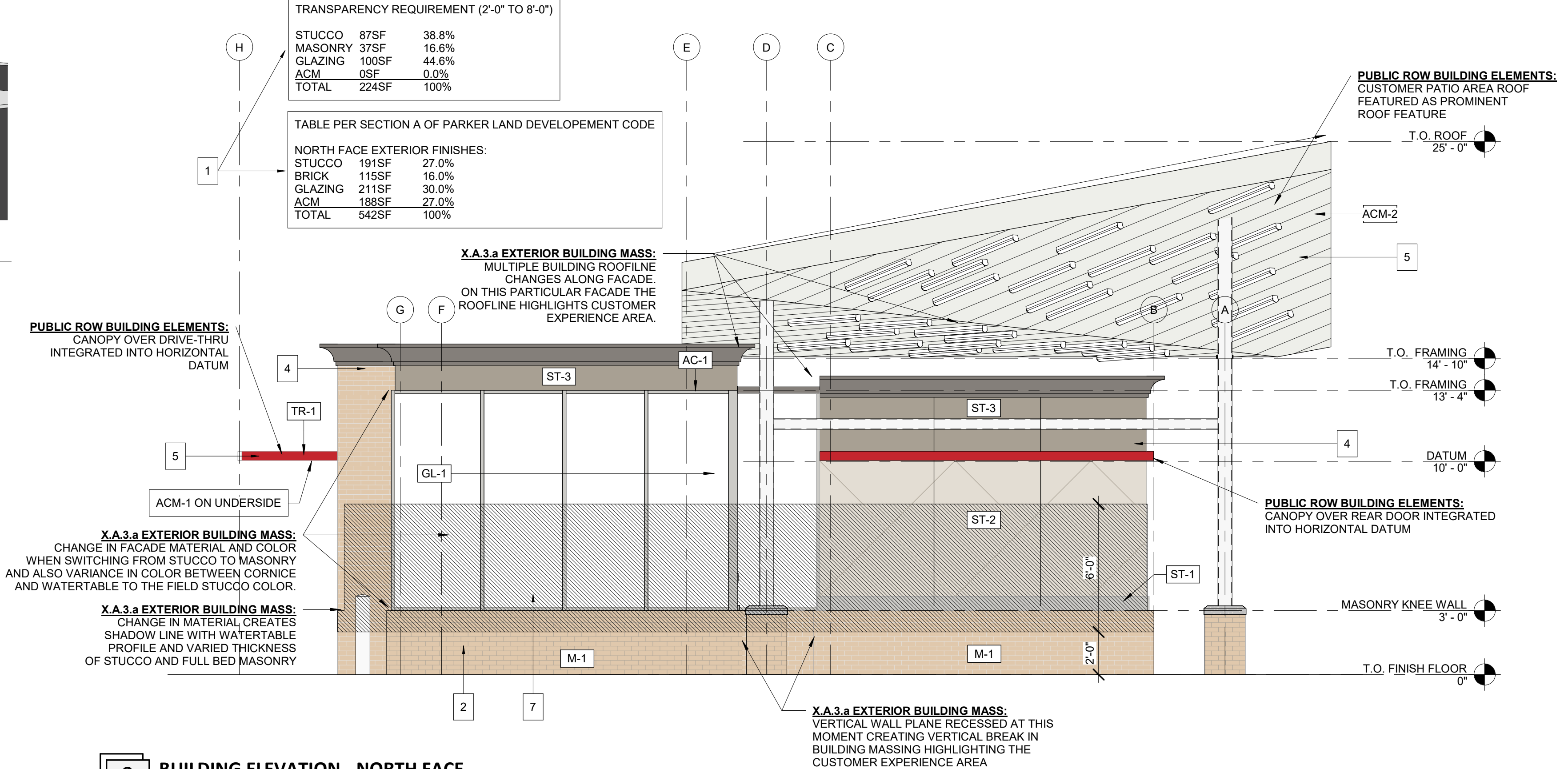
TRANSPARENCY REQUIREMENT (2'-0" TO 8'-0")

STUCCO	87SF	38.8%
MASONRY	37SF	16.6%
GLAZING	100SF	44.6%
ACM	0SF	0.0%
TOTAL	224SF	100%

TABLE PER SECTION A OF PARKER LAND DEVELOPEMENT CODE

NORTH FACE EXTERIOR FINISHES:

STUCCO	191SF	27.0%
BRICK	115SF	16.0%
GLAZING	211SF	30.0%
ACM	188SF	27.0%
TOTAL	542SF	100%

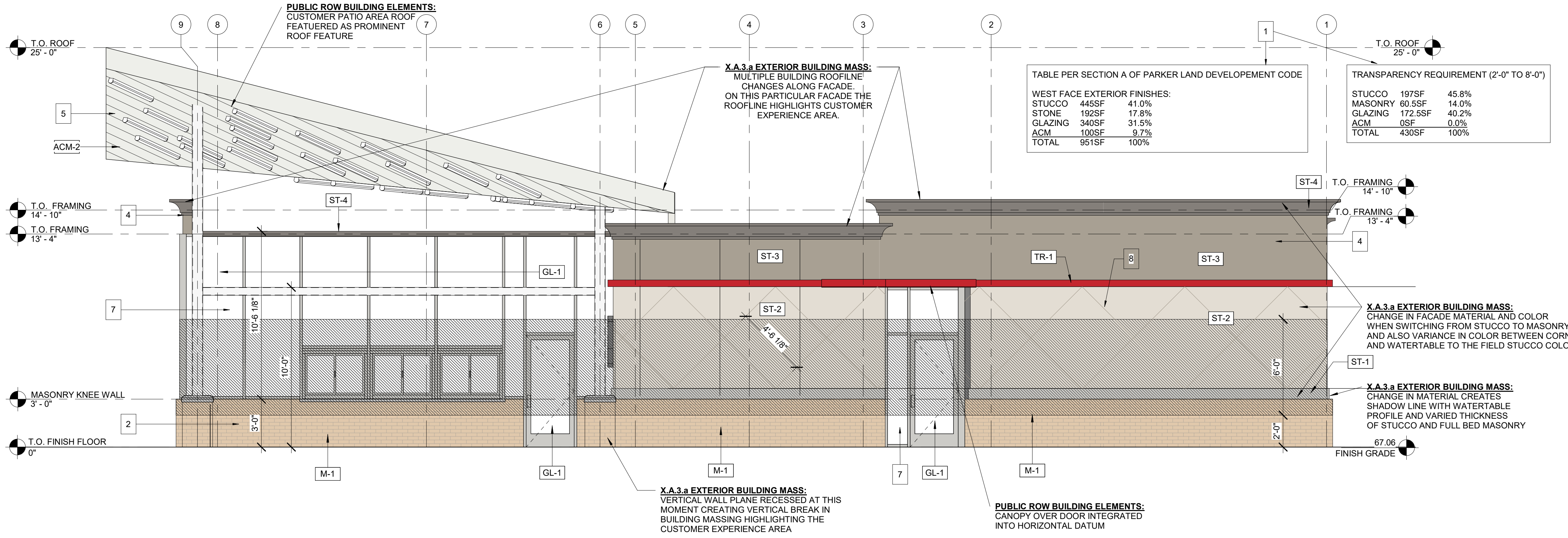


2 R002 BUILDING ELEVATION - NORTH FACE
 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

#	DESCRIPTION
ACM-1	COMPOSITE PANEL TYPE 1; COLOR: PVDF/KYNAR 500, BRITE RED
ACM-2	COMPOSITE PANEL TYPE 2; PVDF/KYNAR 500, BONE WHITE.
GL-1	STOREFRONT TYPE 1; STOREFRONT, KAWNEER 451T. COLOR: CLEAR ANODIZED
M-1	MASONRY TYPE 1; SUMMIT MODULAR BRICK. COLOR: LIGHT PEWTER, GROUT COLOR: GRAY
N-1	PERIMETER FASCIA & NEON LIGHTING: BY SIGNAGE VENDOR. ANODIZED ALUM. FASCIA W/ NEON LIGHTING
ST-1	PAINTED STUCCO TO MATCH PT-3 (SW 2850 - CHELSEA GREY OR EQUIVALENT)
ST-2	PAINTED STUCCO TO MATCH PT-4 (SW 7035 - AESTHETIC WHITE)
ST-3	PAINTED STUCCO TO MATCH PT-5 (SW 7054 - INTELLECTUAL GRAY)
ST-4	PAINTED STUCCO TO MATCH PT-6 (SW 9554 - GOING GREY)
TR-1	BUILDING ACCENT TRIM: ALUM. BRAKE-METAL. COLOR: MATCH ACM-1 BRITE RED

- ELEVATION KEYNOTES**
- SECTION A, 2-C-I OF PARKER LAND DEVELOPEMENT CODE MET. PARAPETS PROVIDED CLEARLY ARTICULATE THE TOP OF THE BUILDING AS OF A 3-C-II. ROOF IS INTEGRAL TO THE MASSING OF THE BUILDING AS OF A 3-C-IV. USING ACCEPTED FLAT ROOF AS MENTIONED IN A. 3-C-V.
 - SECTION A, 3-C OF PARKER LAND DEVELOPEMENT CODE MET. PARAPETS HAVE BEEN BROKEN UP IN HEIGHT ON THE NORTH AND EAST SIDE OF BUILDING. SEE ELEVATIONS.
 - SECTION C, 1-A OF PARKER LAND DEVELOPEMENT CODE MET. TWO REQUIRED DESIGN ELEMENTS ARE THE WING CANOPY AND DRIVE-THRU AWNING
 - SECTION C, 2 OF PARKER LAND DEVELOPEMENT CODE DOES NOT APPLY. NO PUBLIC ENTRIES.
 - SECTION C, 3 OF PARKER LAND DEVELOPEMENT CODE MET. STUCCO CONTROL JOINTS TO BE 1" IN THICKNESS, COLOR TO MATCH PT-5.



1 R002 BUILDING ELEVATION - WEST FACE (ROAD B)
 1/4" = 1'-0"



702 SE 5TH ST STE 30
 BENTONVILLE, AR 72712
 TEL. 479.579.9959

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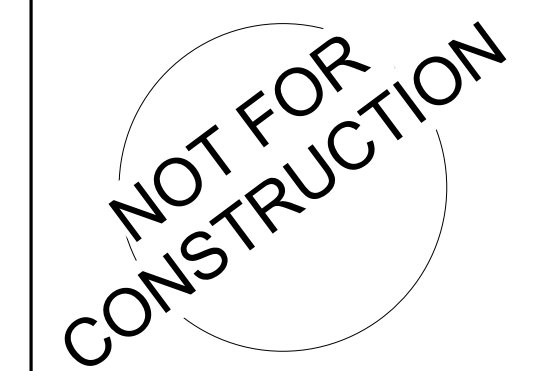
CLIENT NAME
 PLAZA STREET PARTNERS

TENANT
 ANDY'S FROZEN CUSTARD
 211 E. WATER STREET SPRINGFIELD, MO 65806

MEP CONSULTANT
 702 SE 5TH ST, SUITE 30,
 BENTONVILLE, AR 72712
 CONTACT: ANDREW FINNEGAN, P.E.

PROTO. REF. SET: 05/18/2021

ANDY'S FROZEN CUSTARD
 PARKER, COLORADO



Architect Name - RYAN M. FAUST
 Architect Number - ARC.00404846

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REVISIONS

NO.	DATE	DESCRIPTION

Drawing Size: 24 x 36
 Project #: 22038

Drawn By: MBN
 Checked By: RMF

Title:
 PROPOSED REVIEW BOARD ELEVATIONS

Sheet Number:
 Sheet 8 of 13

Date: 09/12/2022 Store #: XXXXX

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LINCOLN PROFESSIONAL PARK FILING NO.1 LOT 3

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CIVIL CONSTRUCTION DRAWINGS

MARCH 2023

NOT FOR CONSTRUCTION

REVISIONS	
NO.	DESCRIPTION

Drawing Size: 24 x 36
 Project #: 22038

Drawn By: MBN
 Checked By: RMF

Title:

PROPOSED REVIEW BOARD ELEVATIONS

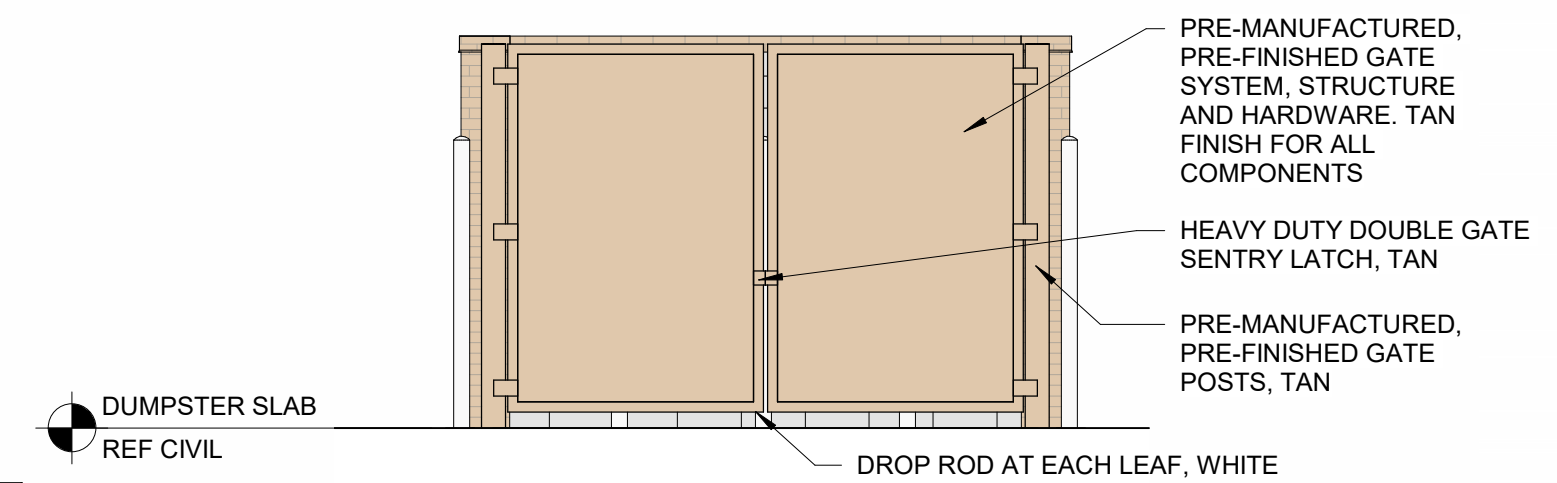
Sheet Number:

Sheet 9 of 13

Date: 09/12/2022 Store #: XXXXX



4
 R003
3D VIEW - 2



3
 R003
DUMPSTER ELEVATION - GATES
 1/4" = 1'-0"

TABLE PER SECTION A OF PARKER LAND DEVELOPMENT CODE

SOUTH FACE EXTERIOR FINISHES:

STUCCO	288SF	60.0%
BRICK	104SF	21.0%
GLAZING	93SF	19.0%
TOTAL	485SF	100%

TRANSPARENCY REQUIREMENT (2'-0" TO 8'-0")

STUCCO	94SF	41.4%
MASONRY	38SF	16.8%
GLAZING	95SF	41.8%
ACM	0SF	0.0%
TOTAL	227SF	100%

EXTERIOR FINISH SCHEDULE

#	DESCRIPTION
ACM-1	COMPOSITE PANEL TYPE 1; COLOR: PVDF/KYNAR 500, BRITE RED
ACM-2	COMPOSITE PANEL TYPE 2; PVDF/KYNAR 500, BONE WHITE.
GL-1	STOREFRONT TYPE 1: STOREFRONT, KAWNEER 451T. COLOR: CLEAR ANODIZED
M-1	MASONRY TYPE 1: SUMMIT MODULAR BRICK. COLOR: LIGHT PEWTER. GROUT COLOR: GRAY
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TR-1	BUILDING ACCENT TRIM: ALUM. BRAKE-METAL. COLOR: MATCH ACM-1 BRITE RED

ELEVATION KEYNOTES

1 SECTION A. 2-C-I OF PARKER LAND DEVELOPMENT CODE MET. SEE MATERIAL AND GLAZING TABLE ON ELEVATIONS.

2 SECTION A. 3-A OF PARKER LAND DEVELOPMENT CODE MET BY BREAKING MATERIALS HORIZONTALLY FROM BRICK TO STUCCO. SEE ELEVATIONS.

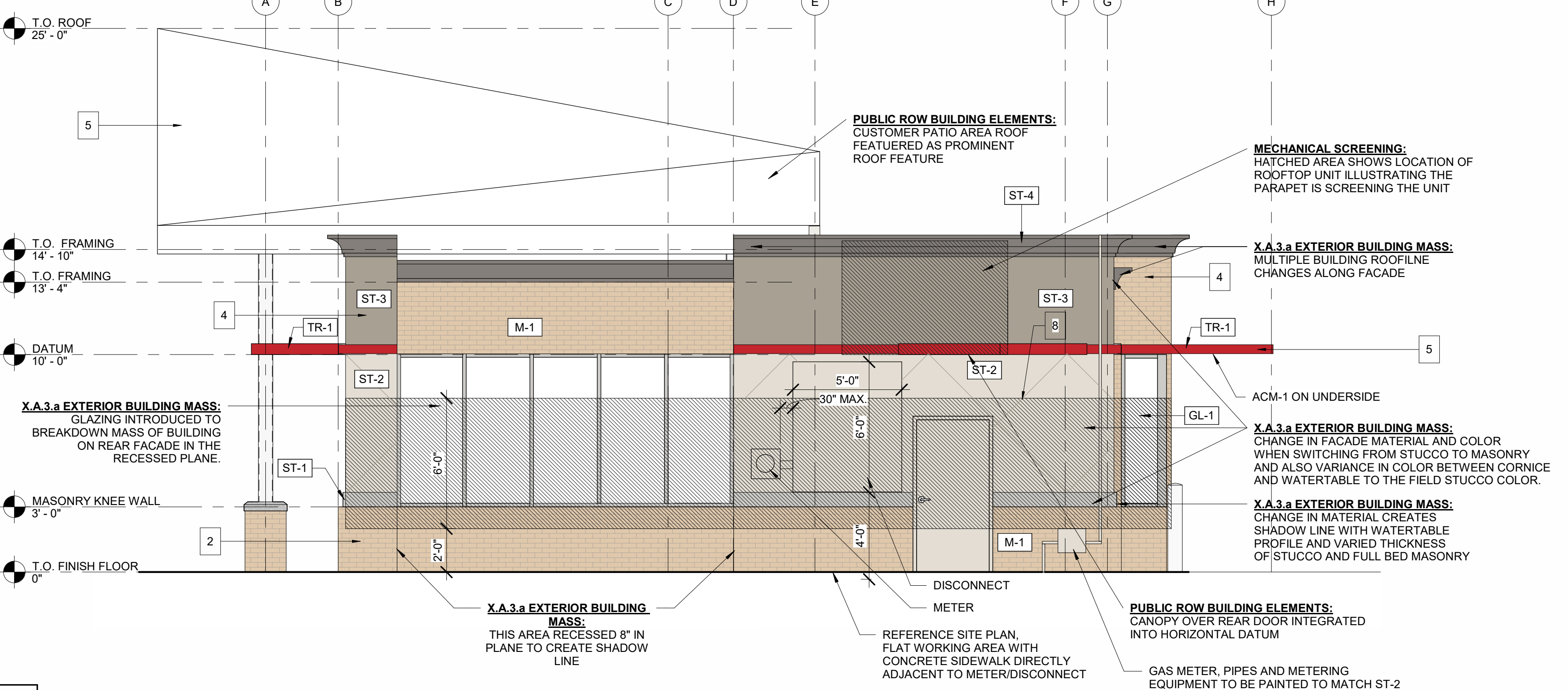
3 SECTION A. 3-C OF PARKER LAND DEVELOPMENT CODE MET. PARAPETS PROVIDED CLEARLY ARTICULATE THE TOP OF THE BUILDING AS OF A. 3-C-III. ROOF IS INTEGRAL TO THE MASSING OF THE BUILDING AS OF A. 3-C-IV. USING ACCEPTED FLAT ROOF AS MENTIONED IN A. 3-C-V.

4 SECTION A. 3-D OF PARKER LAND DEVELOPMENT CODE MET. PARAPETS HAVE BEEN BROKEN UP IN HEIGHT ON THE NORTH AND EAST SIDE OF BUILDING. SEE ELEVATIONS.

5 SECTION C. 1-A OF PARKER LAND DEVELOPMENT CODE MET. TWO REQUIRED DESIGN ELEMENTS ARE THE WING CANOPY AND DRIVE-THRU AWNING

6 SECTION C. 2 OF PARKER LAND DEVELOPMENT CODE DOES NOT APPLY. NO PUBLIC ENTRIES.

7 SECTION C. 3 OF PARKER LAND DEVELOPMENT CODE MET. STOREFRONT ALONG BUILDING MEETS ALL REQUIREMENTS. STUCCO CONTROL JOINTS TO BE 1" IN THICKNESS, COLOR TO MATCH PT-5.



2
 R003
BUILDING ELEVATION - FACING SOUTH FACE (ROAD A)
 1/4" = 1'-0"

TABLE PER SECTION A OF PARKER LAND DEVELOPMENT CODE

EAST FACE EXTERIOR FINISHES:

STUCCO	438SF	45.5%
BRICK	207SF	21.0%
GLAZING	318SF	33.5%
TOTAL	963SF	100%

X.A.3.a EXTERIOR BUILDING MASS:
 CHANGE IN FACADE MATERIAL AND COLOR WHEN SWITCHING FROM STUCCO TO MASONRY AND ALSO VARIANCE IN COLOR BETWEEN CORNICE AND WATERTABLE TO THE FIELD STUCCO COLOR.

X.A.3.a EXTERIOR BUILDING MASS:
 CHANGE IN MATERIAL CREATES SHADOW LINE WITH WATERTABLE PROFILE AND VARIED THICKNESS OF STUCCO AND FULL BED MASONRY

1
 R003
BUILDING ELEVATION - EAST FACE
 1/4" = 1'-0"

C:\Users\callahanm\Documents\22038_ANDYS_PARKER_CO_A_R20_nancem.rvt 8/1/2023 10:20:13 AM

LINCOLN PROFESSIONAL PARK FILING NO.1 LOT 3

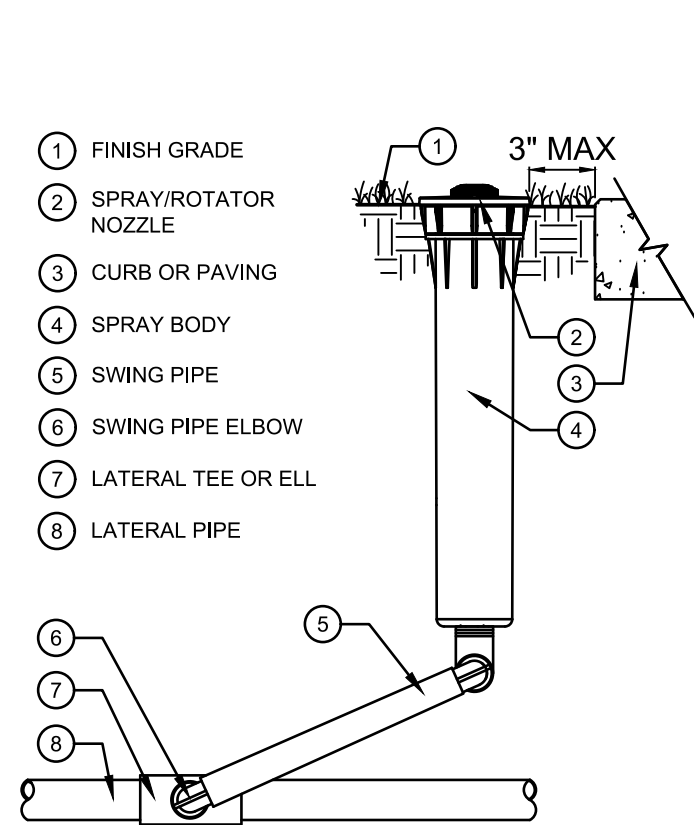
LOCATED IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH,
RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,
CITY OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE PLAN DOCUMENTS

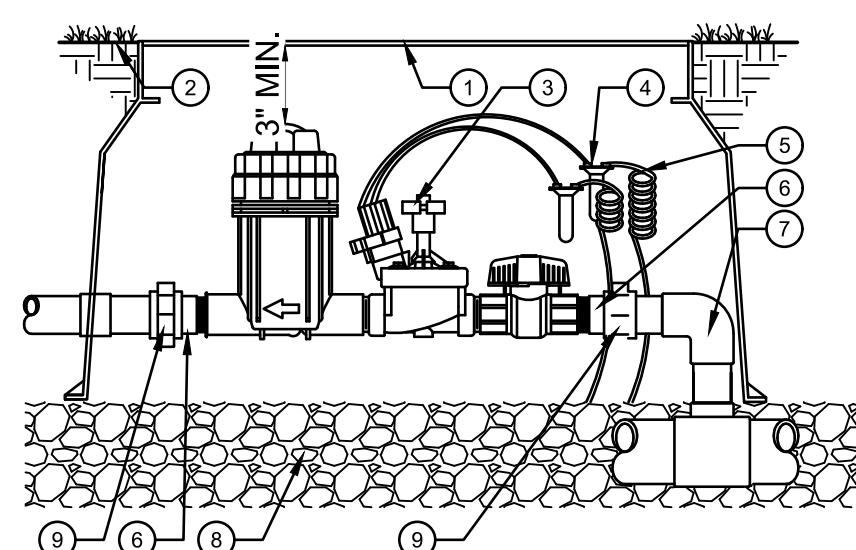
MARCH 2023

PRELIMINARY
NOT FOR BIDDING
NOT FOR CONSTRUCTION

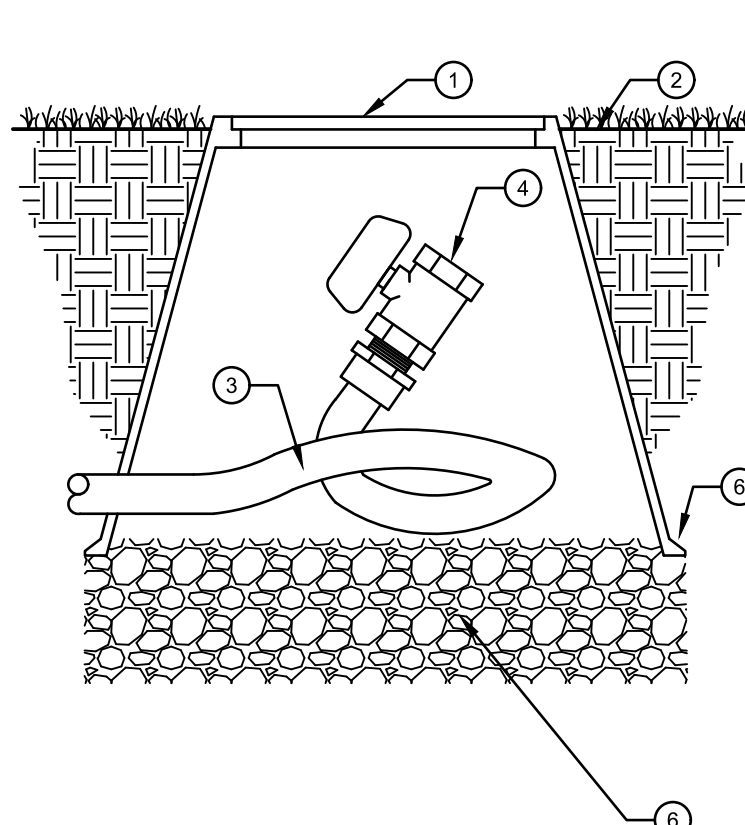
COPYRIGHT
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



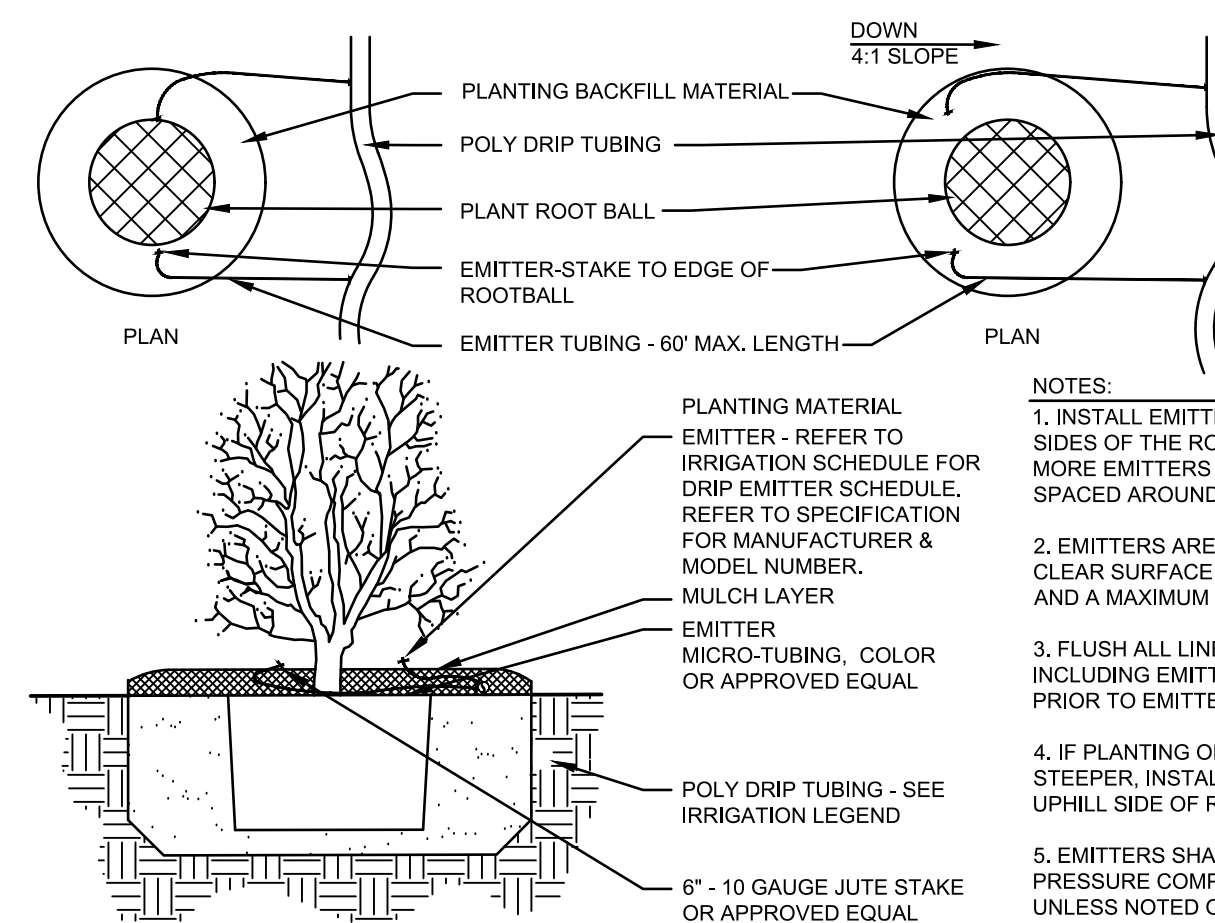
1 SPRAY/ROTATOR
SCALE: NOT TO SCALE



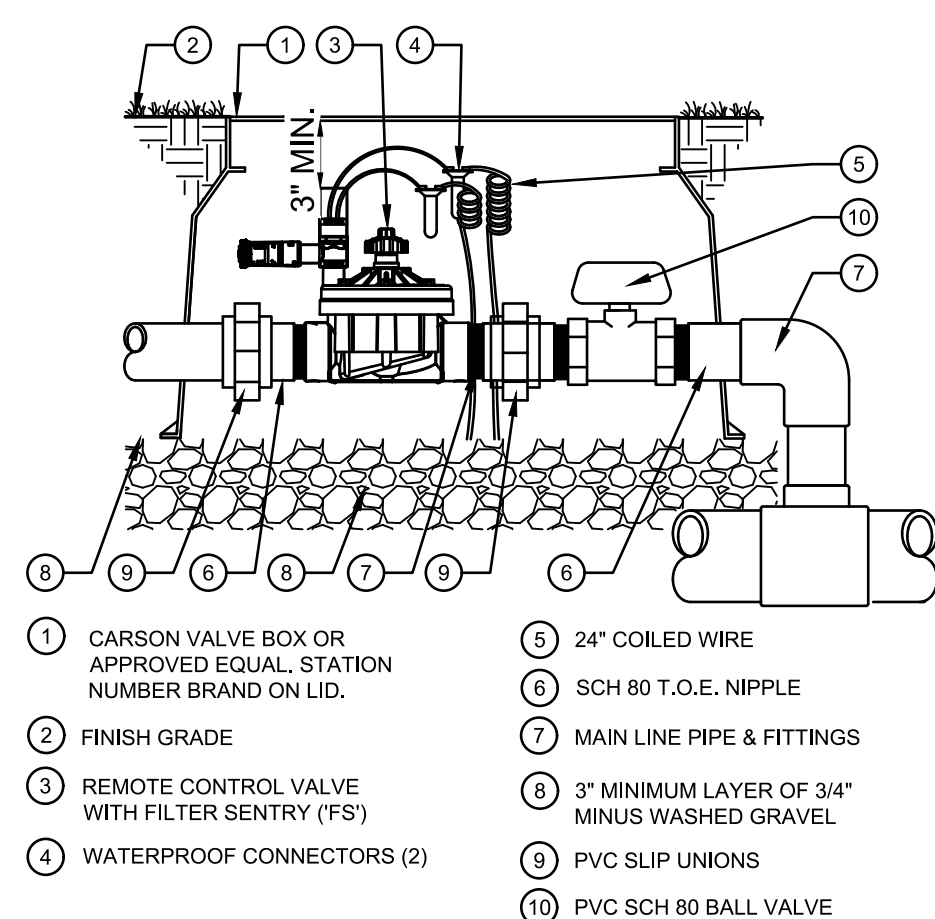
2 REMOTE DRIP CONTROL VALVE
SCALE: NOT TO SCALE



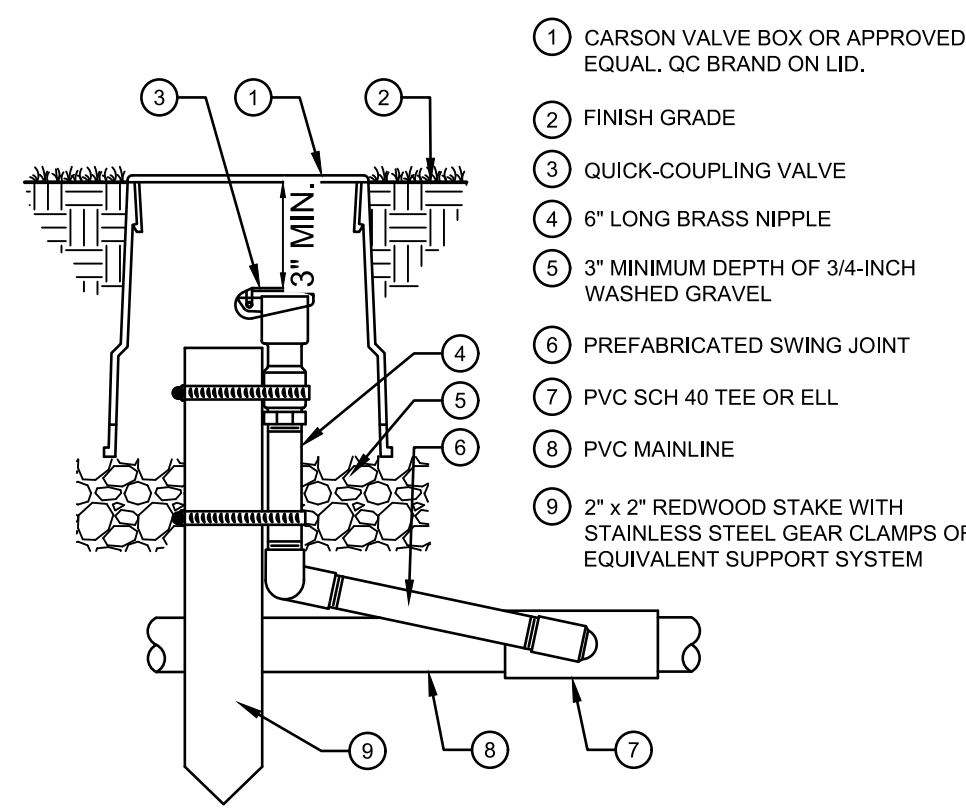
3 MANUAL FLUSH DRAIN VALVE
SCALE: NOT TO SCALE



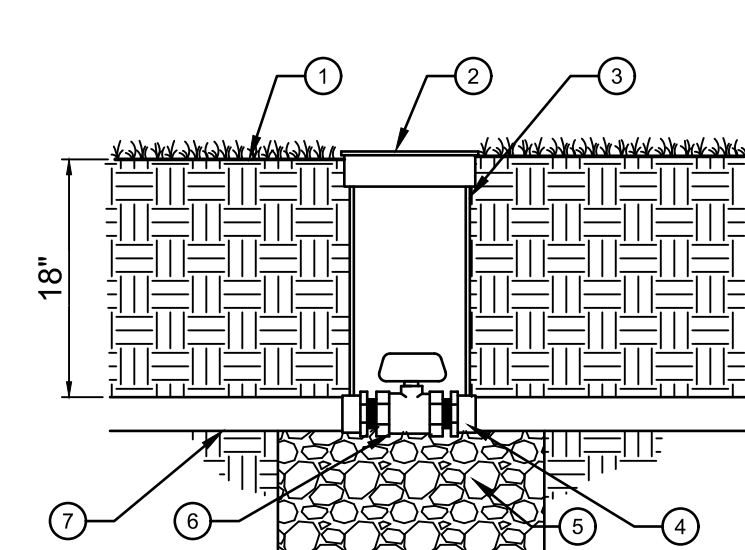
4 DRIP EMITTERS LAYOUT
SCALE: NOT TO SCALE



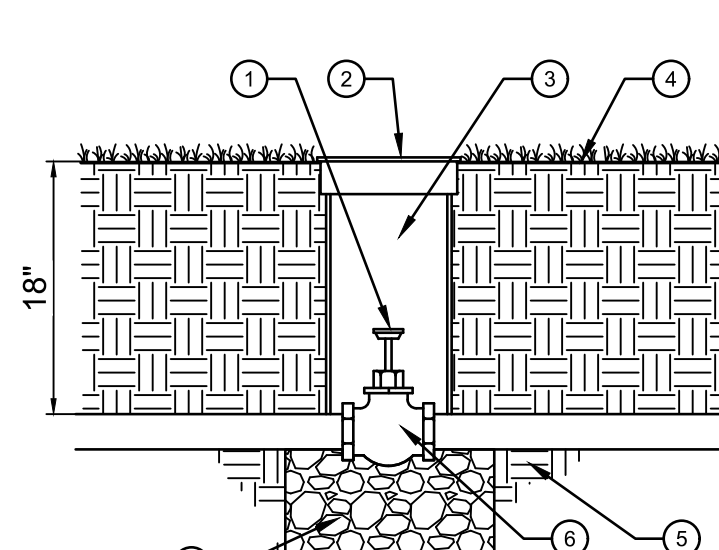
5 REMOTE CONTROL VALVE
SCALE: NOT TO SCALE



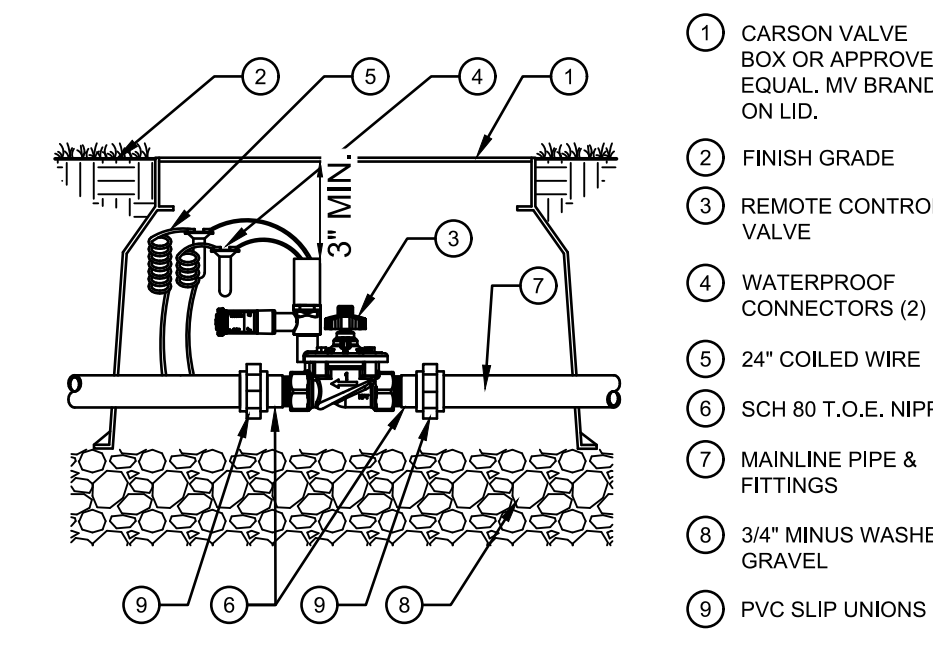
6 QUICK COUPLER
SCALE: NOT TO SCALE



7 BALL VALVE
SCALE: NOT TO SCALE



8 GATE VALVE
SCALE: NOT TO SCALE



9 MASTER VALVE
SCALE: NOT TO SCALE

PLAZA STREET PARTNERS
SITE PLAN DOCUMENTS

PARKER COLORADO

#	Date	Issue / Description	Init.
1	08/23/22	1ST SUBMITTAL	SMB
2	12/14/22	2ND SUBMITTAL	SMB
3	03/08/23	3RD SUBMITTAL	SMB
4			
5			
6			
7			
8			
9			

Project No: PSP000001
Drawn By: TDN
Checked By: TDN
Date: 01/02/2024

IRRIGATION DETAILS

H:\Plaza Street Partners\CO_Park_PSP11_Arty\4-look and Draw\48075A_03\Rev\0504 - Irrigation Plan.dwg - Scott Brown - 2/15/24-18

