

9/12/2022 9:41:36 PM

C:\Users\Ryan\Faust\OneDrive - BUF Studio\Documents\22038_ANDYS_PARKER_CO_A_R20_boutellec.rvt

6

5

4

3

2

1

F

D

C

B

A

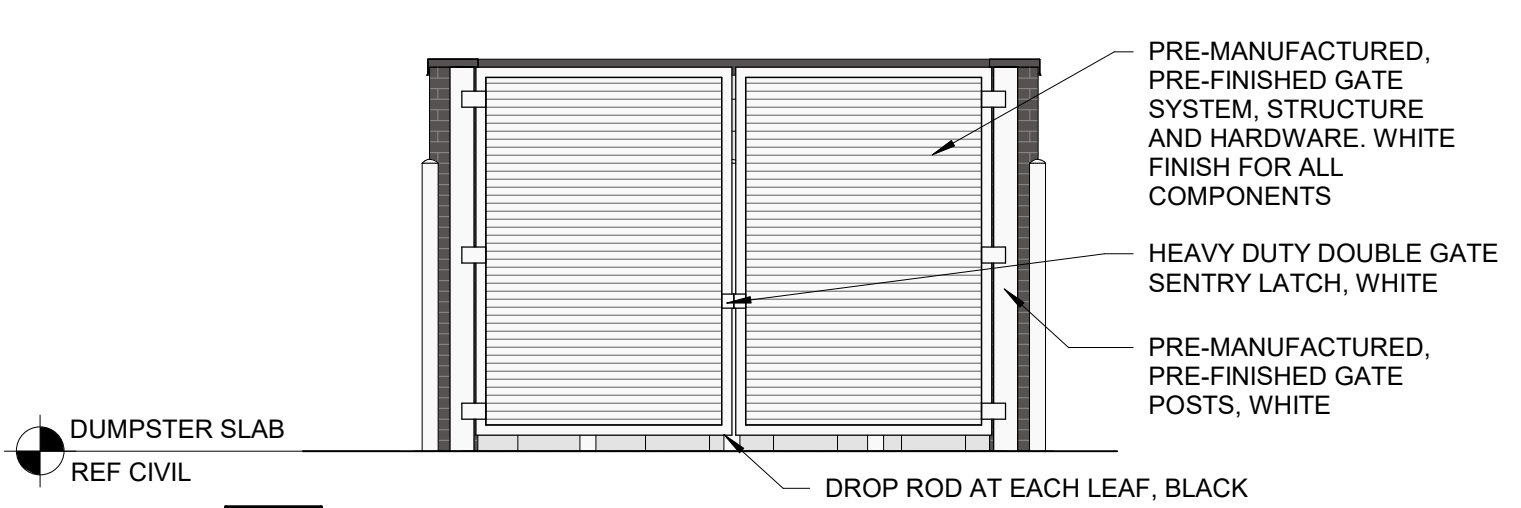
F

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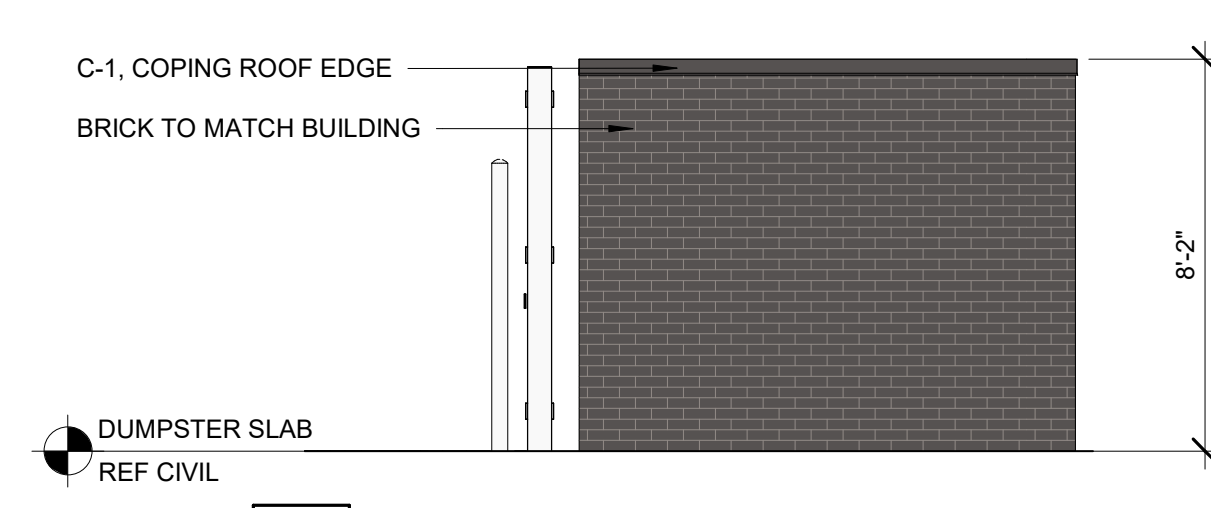
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B

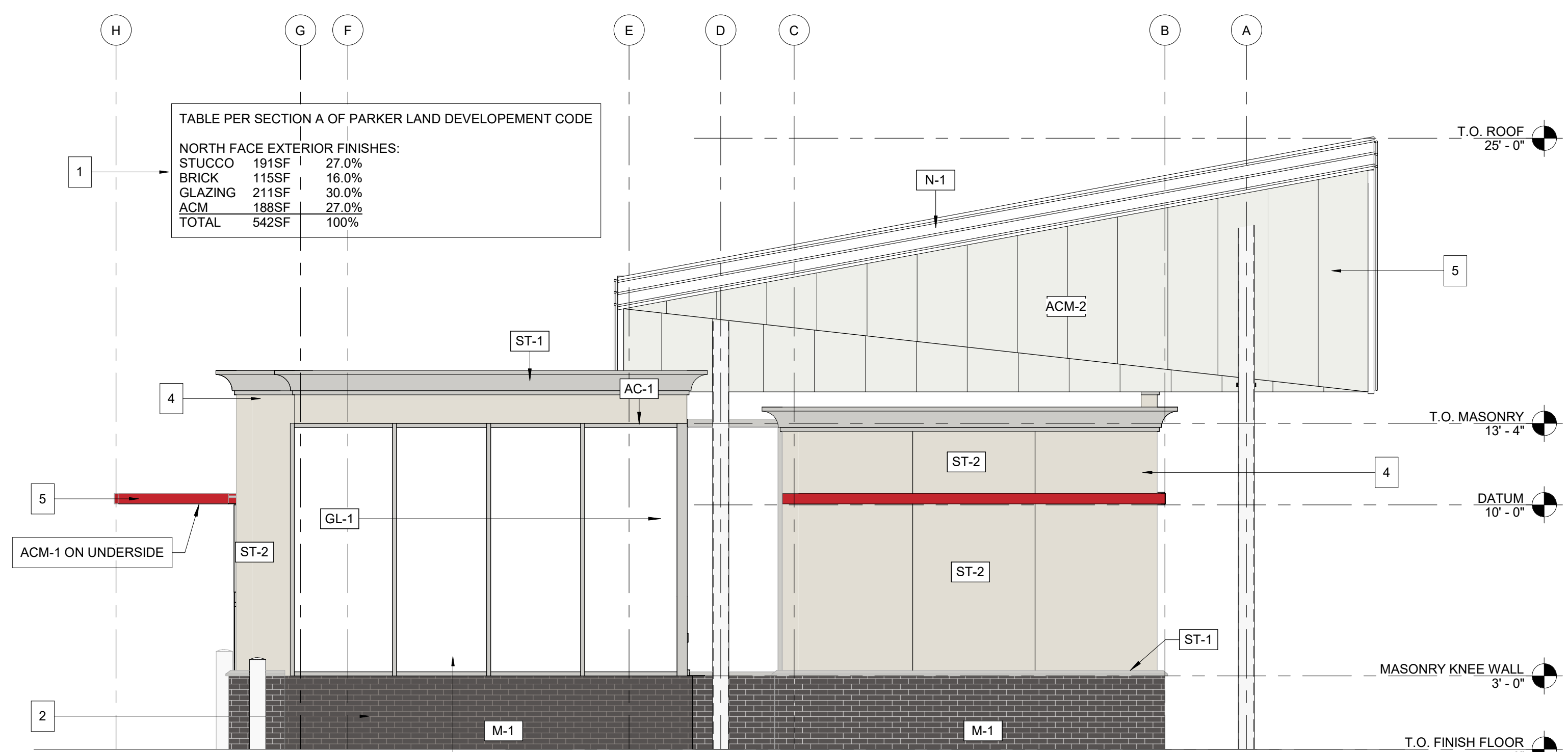
A



4
R002
DUMPSTER ELEVATION - GATES
1/4" = 1'-0"



3
R002
DUMPSTER ELEVATION - SIDE
1/4" = 1'-0"

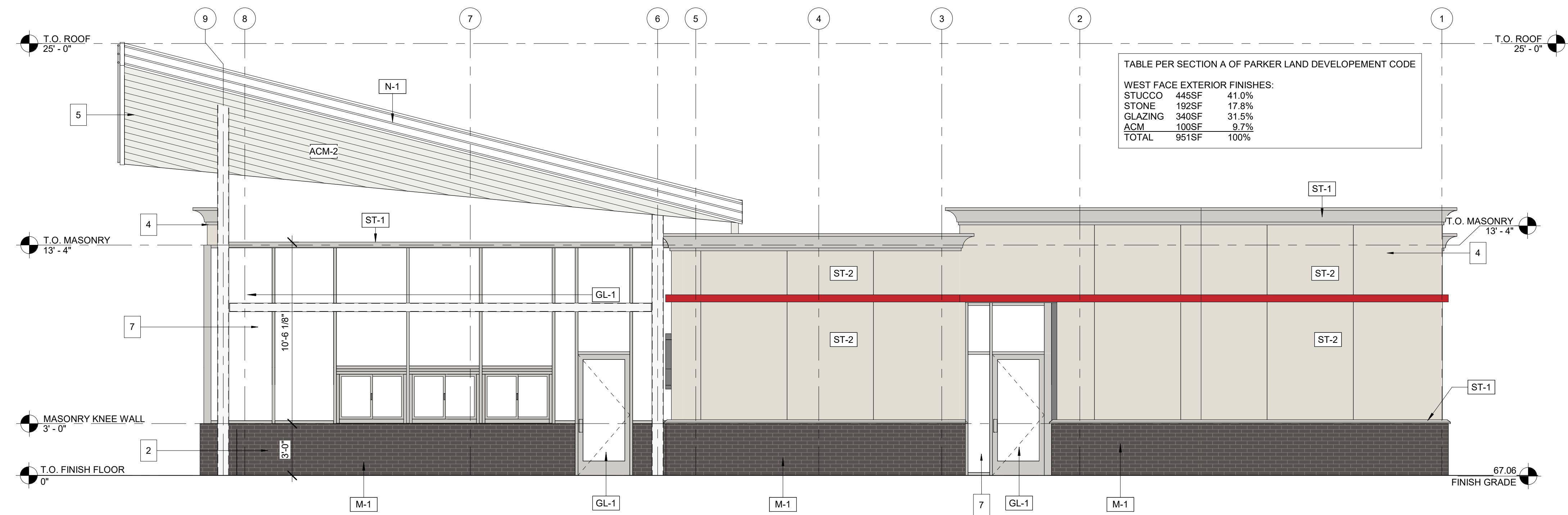


Elevation description is unclear, please discuss with planning for proper labeling. North Elevation or Elevation facing South or Front elevation?

2
R002
BUILDING ELEVATION - SOUTH E. 20TH AVE.
1/4" = 1'-0"

#	DESCRIPTION
ACM-1	COMPOSITE PANEL TYPE 1; COLOR: PVDF/KYNAR 500, BRITE RED
ACM-2	COMPOSITE PANEL TYPE 2; PVDF/KYNAR 500, BONE WHITE
C-1	COPING/ROOF EDGE TYPE 1: PRE-FINISHED ALUMINUM CAP AND SILL FLASHING AT MASONRY VENEER AND, TYP. COLOR: MATCH MASONRY COLOR
C-2	COPING/ROOF EDGE TYPE 2: ANODIZED ALUMINUM CAP AND SILL FLASHING AT STOREFRONT, TYP. COLOR: MATCH STOREFRONT FRAMING
GL-1	STOREFRONT TYPE 1: STOREFRONT, KAWNEER 451T. COLOR: CLEAR ANODIZED
M-1	MASONRY TYPE 1: GLEN GERY MODULAR BRICK. COLOR: EBONITE VELOUR
N-1	PERIMETER FASCIA & NEON LIGHTING; BY SIGNAGE VENDOR. ANODIZED ALUM. FASCIA W/ NEON LIGHTING
ST-1	PAINTED STUCCO TO MATCH PT-4 (SW 7035 - AESTHETIC WHITE)
ST-2	PAINTED STUCCO TO MATCH PT-3 (SW 2850 - CHELSEA GREY OR EQUIVALENT)
TR-1	BUILDING ACCENT TRIM: ALUM. BRAKE-METAL. COLOR: MATCH ACM-1 BRITE RED

- ELEVATION KEYNOTES**
- SECTION A. 2-C4 OF PARKER LAND DEVELOPMENT CODE MET. SEE MATERIAL AND GLAZING TABLE ON ELEVATIONS.
 - SECTION A. 3-A OF PARKER LAND DEVELOPMENT CODE MET BY BREAKING MATERIALS HORIZONTALLY FROM BRICK TO STUCCO. SEE ELEVATIONS.
 - SECTION A. 3-C OF PARKER LAND DEVELOPMENT CODE MET. PARAPETS PROVIDED CLEARLY ARTICULATE THE TOP OF THE BUILDING AS OF A. 3-C-III. ROOF IS INTEGRAL TO THE MASSING OF THE BUILDING AS OF A. 3-C-IV. USING ACCEPTED FLAT ROOF AS MENTIONED IN A. 3-C-V.
 - SECTION A. 3-D OF PARKER LAND DEVELOPMENT CODE MET. PARAPETS HAVE BEEN BROKEN UP IN HEIGHT ON THE NORTH AND EAST SIDE OF BUILDING. SEE ELEVATIONS.
 - SECTION C. 1-A OF PARKER LAND DEVELOPMENT CODE MET. TWO REQUIRED DESIGN ELEMENTS ARE THE WING CANOPY AND DRIVE-THRU AWNING
 - SECTION C. 2 OF PARKER LAND DEVELOPMENT CODE DOES NOT APPLY. NO PUBLIC ENTRIES.
 - SECTION C. 3 OF PARKER LAND DEVELOPMENT CODE MET. STOREFRONT ALONG BUILDING MEETS ALL REQUIREMENTS.



Elevation description is unclear, please discuss with planning for proper labeling. West Elevation or Elevation facing East?

1
R002
BUILDING ELEVATION - EAST FACE
1/4" = 1'-0"



702 SE 5TH ST STE 30
BENTONVILLE, AR 72712
TEL. 479.579.9959

Drawings & Specifications as instruments of service are & shall remain the property of the Architect. They are not to be used on other projects or extensions to this project except by agreement in writing & with appropriate compensation to the Architect.

Contractor is responsible for confirming and correlating dimensions at job site. The Architect will not be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the project.

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CLIENT NAME
PLAZA STREET PARTNERS

TENANT
ANDY'S FROZEN CUSTARD
211 E. WATER STREET SPRINGFIELD, MO 65806

MEP CONSULTANT
702 SE 5TH ST. SUITE 30,
BENTONVILLE, AR 72712
CONTACT-ANDREW FINNEGAN, P.E.

PROTO.REF. SET: 05/18/2021

ANDY'S FROZEN CUSTARD
PARKER, COLORADO

NOT FOR CONSTRUCTION

Architect Name - RYAN M. FAUST
Architect Number - ARC 00404846

THE SEAL & SIGNATURE APPLY ONLY TO THE DOCUMENT TO WHICH THEY ARE AFFIXED & WE EXPRESSLY DISCLAIM ANY RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT.

REVISIONS

NO.	DATE	DESCRIPTION
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Drawing Size: 24 x 36
Project #: 22038
Drawn By: PJC
Checked By: RMF

Title:
PROPOSED REVIEW BOARD ELEVATIONS

Sheet Number:
R002

Date: 09/12/2022 Store #: XXXXX

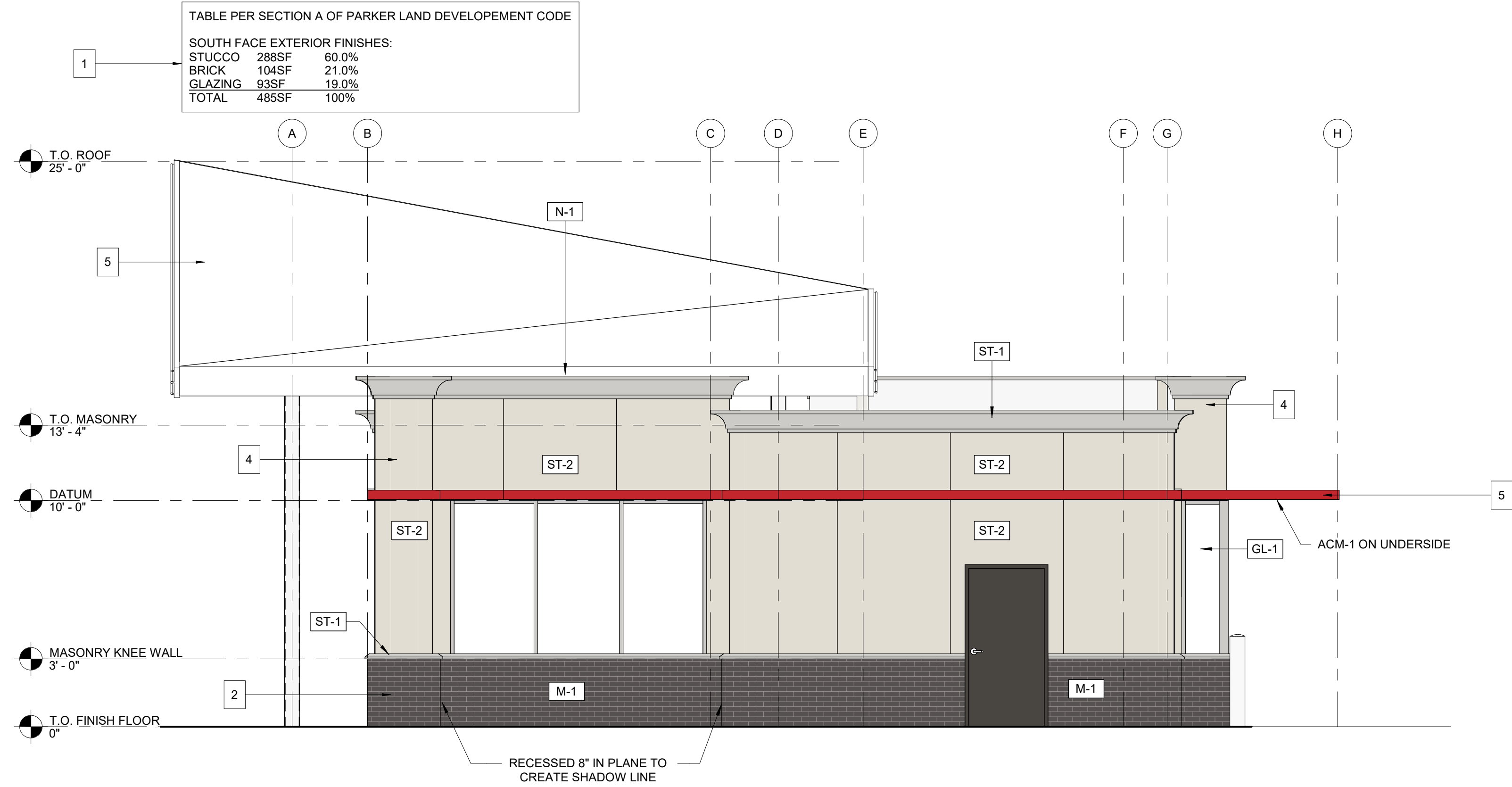
General comments that do not need a response and are informational only.

We highly encourage a Building pre-application meeting before applying for the permit to discuss construction type, occupancy, allowable areas, MEP's, energy, structural, fire, etc... Please visit our website for all plan submittal requirements: Plan Review | Town of Parker - Official Website (parkeronline.org), and our most current code adoptions.

Building and/or Fire Life Safety permit application will not be accepted/reviewed until the associated site plan is approved or otherwise discussed. All plans submitted for Building's review must meet the 2021 I-Codes, ICC A117.1-2017 for accessibility, the 2020 NEC, and the referenced NFPA editions noted in the applicable codes (i.e., 2021 IFC references the 2019 edition of NFPA 72) if received by December 31, 2024. NFRC certificates, interior/exterior lighting along with the mechanical and envelope compliance path must be included with the original submittal. All Fire Permit applications and inspections will be handled through the Parker Building Division. All land use applications and the associated Grading Permit must be approved/issued per Planning and Public Works prior to the Building Permit being approved/issued.

Retaining walls greater than 4' from base of footing or bottom course requires separate building permits and plans must be stamped by qualified professional.

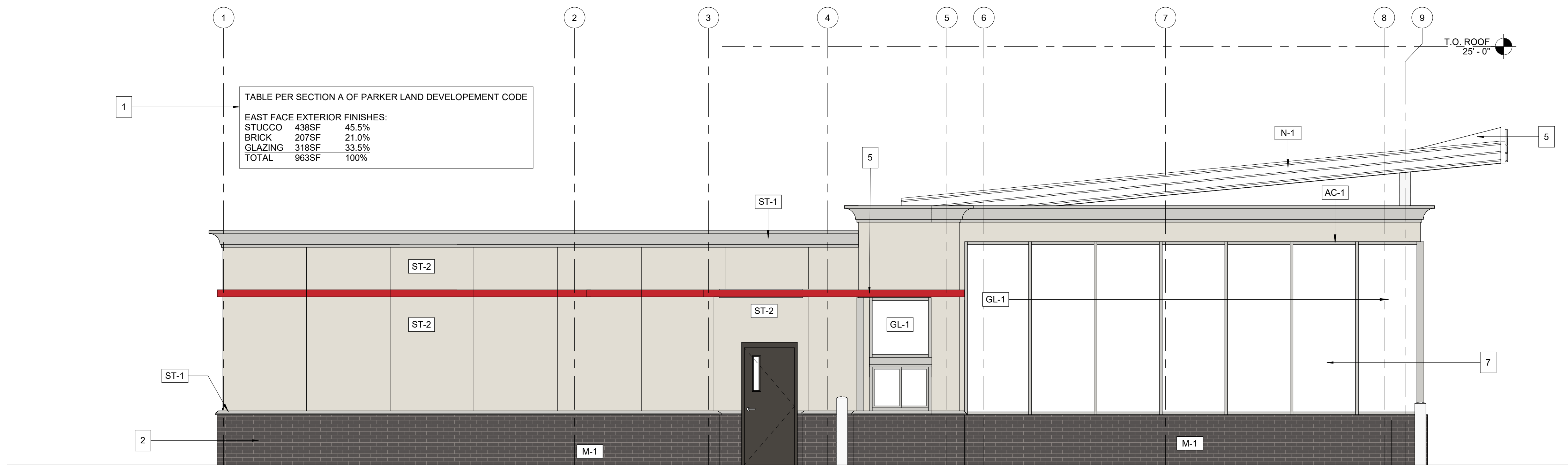
Please know the Town's Charge Back Agreement may be required for this project, specific to the building permit application. The form will be emailed to the applicant prior to the Building Pre-App meeting or upon receiving the permit application submittal. Once all required documents have been accepted and the charge back agreement form has been returned signed to the Building Division, then full plan review process may be able to begin.



Elevation description is unclear, please discuss with planning for proper labeling. South Elevation or what is listed below?

2 BUILDING ELEVATION - FACING NORTH (REAR ELEVATION)
R003 1/4" = 1'-0"

#	DESCRIPTION
ACM-1	COMPOSITE PANEL TYPE 1; COLOR: PVDF/KYNAR 500, BRITE RED
ACM-2	COMPOSITE PANEL TYPE 2; PVDF/KYNAR 500, BONE WHITE.
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TR-1	BUILDING ACCENT TRIM: ALUM. BRAKE-METAL. COLOR: MATCH ACM-1 BRITE RED



Elevation description is unclear, please discuss with planning for proper labeling. East Elevation or Elevation facing West?

1 BUILDING ELEVATION - WEST FACE
R003 1/4" = 1'-0"

- ELEVATION KEYNOTES**
- SECTION A. 2-C-I OF PARKER LAND DEVELOPMENT CODE MET. SEE MATERIAL AND GLAZING TABLE ON ELEVATIONS.
 - SECTION A. 3-A OF PARKER LAND DEVELOPMENT CODE MET BY BREAKING MATERIALS HORIZONTALLY FROM BRICK TO STUCCO. SEE ELEVATIONS.
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ANDY'S FROZEN CUSTARD
PARKER, COLORADO

NOT FOR CONSTRUCTION

REVISIONS	
NO.	DESCRIPTION