



## Development Review Division

Community Development Department: *Town Hall / 20120 East Mainstreet Parker, CO 80138* Phone: 303.841.2332 Fax: 303.841.3223

### MEMORANDUM

**TO:** Jeff Weeder, Galloway & Company, Inc.  
**FROM:** Stacey Nerger, Senior Planner  
**DATE:** November 3, 2022  
**SUBJECT:** SP21-133 Lincoln Professional Park Filing No. 1 Lot 3 Site Plan

Listed below are the Planning Division's comments related to your applications, which must be responded to. If you wish to discuss a comment, please contact your Case Planner. Upon resubmittal, please sign and return this memo. A follow-up meeting with the reviewing agencies can be scheduled to provide additional guidance by contacting the Case Planner.

**TOWN OF PARKER PLANNING DEPARTMENT CASE PLANNER:** Stacey Nerger  
**EMAIL:** [snerger@parkeronline.org](mailto:snerger@parkeronline.org)  
**PHONE:** 303.805.3199

#### GENERAL PROJECT COMMENTS:

1. For your reference, any future approvals of this Site Plan are final. The Planning Division will use this plan set to determine compliance at the time of inspection for Certificate of Occupancy. Therefore, any changes to an approved Site Plan need to be reviewed and approved by the Planning Division through the appropriate process prior to inspection.
2. The Planning Division has referenced certain section of the Land Development Ordinance (LDO) and the Development Design Standards (DDS). A copy of these document are available at:  
[LDO](#)  
[DDS](#)
3. The Planning Division has made every effort to make this comment letter as comprehensive as possible. However, additional comments that have not been provided as part of this comment letter may be identified as part of future submittals, based on revisions to the project.
4. Signage was not reviewed, nor was it approved as part of this review. All signage will need to obtain a separate sign permit for all signage.
5. Prior to the approval of the replat, the applicant and the Town will need to have a signed Subdivision Improvement Agreement (SIA) in place. At the time of resubmittal, please provide the cost estimates so that staff may draft this agreement for your review.
6. The Town of Parker has implemented a naming convention for all applications. For all future documents that are uploaded to TRAKIT please ensure the submittal round is first, the name of the document is second and the name of the project is third. Staff will not refer the application out with this naming convention.
  - a. Example: "02 Site Plan"

**General**

- 1. Please see the attached redlines for additional information.**

Comment Addressed:  Yes  No  
Response:

- 2. Please change the title on all pages of the Site Plan to the legal description of the property. This means the title should be: Lincoln Professional Park Filing No. 1 Lot 3.**

Comment Addressed:  Yes  No  
Response:

- 3. Please include an existing conditions map (possible the second page) to show what is currently located on the property.**

Comment Addressed:  Yes  No  
Response:

- 4. Please add the setbacks from all property lines to the building including the canopy. Setbacks need to meet the minimum requirements of the C-Commercial Zone District Standards. The setbacks will also be important to include on the building permit. The required setbacks for this property will be 40' from the west property line, 25' from the north and south property lines and 0' feet from the east property line.**

Comment Addressed:  Yes  No  
Response:

**Parking**

- 1. Pursuant to the LDO Section 13.06.050(f) Parking spaces adjacent to landscape islands shall be ten (10) feet in width or a concrete strip, at least eighteen (18) inches wide, shall be provided on the adjacent side of the island for pedestrians to step out of the car. Please make sure all parking spaces meet this minimum requirement. In addition, please include the width and length measurements on the site plan.**

Comment Addressed:  Yes  No  
Response:

2. Pursuant to the LDO Section 13.06.050(g) Internal drive widths “When two-way traffic is proposed, the drive shall be designed to be between twenty-four (24) and twenty-six (26) feet in width.” Please make sure all drive aisle widths meet this requirement. In addition, please label the width on the site plan. Please note that the Fire Department may require greater widths. Please see their comments for more information.

Comment Addressed:  Yes  No

Response:

3. Pursuant to the LDO Section 13.06.060 (c) bicycle parking spaces are required for any building that requires site plan approval. A stand along eating or drinking establishment requires a total of 4 bicycle parking spaces. The bike rack should be located near the main entrance. Please add this to the Site Data Table. In addition, please provide an image of what the bicycle rack will look like including the materials and colors.

Comment Addressed:  Yes  No

Response:

### Landscape Plan

1. Please include a landscape table that includes a breakdown of all of the different types of landscaping required for the site. This should include overall landscape, property perimeter, and parking lot perimeter. All landscaping that is on the proposed property will fall under the overall landscaping total. An example of what this table may look like is:

LANDSCAPE REQUIREMENTS		
LANDSCAPE STANDARD	REQUIREMENT	PROVIDED
DEVELOPED AREA	15% OF DEVELOPED AREA TO BE LANDSCAPED (671,780 X 15% = 100,767) 1 TREE AND 5 SHRUBS PER 1,500 SF OF LANDSCAPE AREA (102 TREES / 510 SHRUBS)  75% OF LANDSCAPE AREA MUST BE LIVING PLANT MATERIAL	151,850 SF (22%) 62 TREES / 712 SHRUBS / 687 GRASSES 200 GRASSES/1 = 200 SHRUBS, 400 SHRUBS/10= 40 TREES 118,454 SF (78%)
SITE PERIMETER LANDSCAPE	1 TREE AND 5 SHRUBS PER 40 LINEAR FEET OF EDGE (2,600 LF/40=65) 65 TREES / 325 SHRUBS	46 TREES / 248 SHRUBS / 301 GRASSES (267 GRASSES/1 = 267 SHRUBS, 190 SHRUBS/10 = 19 TREES)
SITE TURF AREA	TURF GRASS NOT TO EXCEED 15% OF TOTAL LANDSCAPE AREA (22,777 SF)	11,830 SF (8%)
STREETSCAPE PLANTING	STREET TREES NO MORE THAN 40' ON CENTER	EXISTING STREETSCAPE TO REMAIN (12 STREET TREES ALONG COMPARK BLVD)
PARKING LOT INTERIOR LANDSCAPE	MIN. 10% OF PARKING AREA MUST BE LANDSCAPE ISLAND (343,000 SF X 10% = 34,300 SF) 1 TREE AND 5 SHRUBS PER ISLAND (39 ISLANDS)	34,315 SF (10%) 58 TREES / 813 SHRUBS / 730 GRASSES
TREE CONSERVATION	1 TREE REPLACED FOR EVERY 1 TREE REMOVED (3 REMOVED)	3 TREES

Comment Addressed:  Yes  No

Response:

- 2. Please show all landscaping for the development (in and around Lot 1). If landscaping is provided as part of the MDP, this landscaping should be grayed back with a note that states that this landscaping is not a part of this application.

Comment Addressed:  Yes  No

Response:

- 3. Pursuant to Section 13.06.070 (l) of the Town of Parker LDO at maturity, at least seventy-five percent (75%) of the landscaped area shall have a ground cover of living plant material, including, but not limited to, trees, shrubs, ground cover, turf or seed and other recognized perennial ground covering plant materials. Deciduous tree canopies shall not be included in the calculation. Please include the percentage of living landscaping proposed for the property within the table to ensure this minimum is satisfied.

Comment Addressed:  Yes  No

Response:

- 4. Pursuant to Section 13.06.070 (m) of the Town of Parker LDO streetscape landscaping shall be provided along all property lines directly abutting a street (includes public and private roadways). Streetscape landscaping shall be installed between the back of curb and the sidewalk. Streetscape landscaping shall consist of traditional turf grass along with 1 tree per 40 linear feet of frontage. Please ensure that this requirement is satisfied on the MDP Landscape Plan. If not on the MDP, it will need to be included as part of this application. As of now, the sidewalk around the site will be an attached sidewalk. Therefore, the proposed streetscape (1 tree per 40 linear feet) will need to be provided on the back (inside) side of the sidewalk.

Comment Addressed:  Yes  No

Response:

- 5. Pursuant to the LDO Section 13.06.070 (o) parking lot perimeter landscaping is required to establish minimum requirements for plantings to screen the parking area from view. All parking spaces shall include a perimeter landscaped area meeting these requirements excluding those spaces in front of the building. Parking lots adjacent to a public or private roadway shall provide a buffer a minimum of ten (10) feet in width measured from back of sidewalk or curb, whichever is greater. When hardscape elements, such as walls or other architectural elements, are proposed as a buffering technique, this width may be reduced to no less than six (6) feet, as approved by the Planning Director. Please add landscaping along the west property line to meet this requirement

**and add the proposed landscaping to the landscape table.**

Comment Addressed:  Yes  No

Response:

- 6. Pursuant to the LDO Section 13.06.070 (q) site perimeter landscaping is required to establish minimum requirements for plantings around the perimeter of a site. When a commercial use is next to a commercial use a minimum of 1 tree and 5 shrubs is required for every 40 lineal feet of edge. This requirement will apply to all property lines excluding the west where parking lot perimeter landscaping shall apply. Please add this requirement and the proposed landscaping to the landscape table.**

Comment Addressed:  Yes  No

Response:

- 7. Pursuant the Development Design Standards (Page 37); A building located on a corner site shall be oriented to address both street frontages, and shall have enhanced landscaping and architectural design features such as street-facing windows and doors. Enhanced landscaping is not defined, but should include hardscape elements (walls), shrubs, ornamental grasses and perennials. Please add enhanced landscaping at the northwest corner of the property.**

Comment Addressed:  Yes  No

Response:

- 8. Please include the Town’s planting standards located on pages 44 -46 of the pdf within the following document: [CONSTRUCTION SPECIFICATIONS AND DESIGN CONSIDERATIONS FOR \(parkeronline.org\)](http://parkeronline.org).**

Comment Addressed:  Yes  No

Response:

- 9. Please include an irrigation plan to be reviewed as part of this site plan. This irrigation plan will also require specific Parker Water and Sanitation District calculations for water taps.**

Comment Addressed:  Yes  No

Response:

**Lighting**

- 1. Please include within the photometric table the height and color of each fixture within the fixture table.**

Comment Addressed:  Yes  No

Response:

- 2. Per Section 13.10.140 of the Parker Land Development Ordinance inventory and general parking areas shall not exceed 12.0 foot-candles, maximum installed illuminance. Please adjust the lights within these areas to ensure this maximum is not exceeded.**

Comment Addressed:  Yes  No

Response:

- 3. Per Section 13.10.140 (c) (7) of the Parker Land Development a maximum of one (1) foot-candle is allowed at the lot line of any site. Please adjust the lights within the highlighted areas to ensure this maximum is not exceeded.**

Comment Addressed:  Yes  No

Response:

- 4. Per Section 13.10.140 (c) (11) of the Parker Land Development Luminaires exceeding the equivalent of fifteen thousand (15,000) lumens shall be shielded. Please ensure that this requirement is satisfied.**

Comment Addressed:  Yes  No

Response:

- 5. Pursuant to Section 13.10.140 (c) (9) A photometric site plan and cut sheets for all proposed exterior fixtures shall be included with the application requirements for a site plan. Please provide the cut sheets for each luminaire proposed.**

Comment Addressed:  Yes  No

Response:

**Development Design Standards**

1. Pursuant to Development Design Standards Section X. A. 3. a.; exterior building mass shall be reduced through a variation in wall planes, wall surfaces, fenestration and height to achieve a pedestrian-scaled building design. Building mass can also be broken down vertically by creating regular intervals of vertical elements of the building composition. Breaking down the building vertically shall require three of the following:
- A change in recesses, protrusions, or changes in the plane of the façade to create a visual shadow line.
  - A significant break in the eave line of roof form
  - A change in façade material or color.
  - All sides of the building shall meet this requirement.

Based on the site plan the changes in plane are only created by material changes and are not recesses or protrusions. If these are recesses and protrusions, please update the overall site plan to show these. If these are not, please create greater protrusions in the wall form to meet this intent. This is required along all sides of the building, not just the front.

Comment Addressed:  Yes  No

Response:

4. Pursuant the Development Design Standards; all front and side building facades that face a public roadway shall include a minimum of two of the following building elements: awnings, canopies, arcades, galleries, tower elements, or prominent roof feature. Please ensure that two of these features are located on all sides of the building that face a public roadway. This requirement also applies to the south side of the building.

Comment Addressed:  Yes  No

Response:

5. Pursuant to Development Design Standards XI. A. 3.; EIFS shall not be used as a primary building material and shall only be used as an accent application. Please see this section of the Design standards for maximum percentages of the structure that can be EIFS. Please amend the materials used on the building to meet this maximum requirement.

Comment Addressed:  Yes  No

Response:

**6. Pursuant the Development Design Standards; utility equipment shall be located away from the public realm and shall be screen from view. Utilities attached to the building shall be painted to match the building façade and shall be inset into the wall to help screen from view. Please show the location of all equipment proposed for the site.**

Comment Addressed:  Yes  No

Response:

**7. All rooftop mechanical equipment shall be screened from view by either the parapet wall or a screen wall. These details will need to be shown on the site plan. Please include.**

Comment Addressed:  Yes  No

Response:

**OUTSIDE REFERRAL AGENCY COMMENTS**

Please address all outside referral agency comments with a written response. At the time this letter was drafted, the following agencies have provided comments for the applicant to address. **It is in the applicant’s best interest to continue to monitor the project in TRAKiT as additional comments may be posted after the release of this letter.**

- **Town of Parker – Building**
- **Town of Parker Engineering - CD’s, Drainage Plan & Site Plan**
- **Town of Parker Stormwater – CD’s, Drainage Plan & Site Plan**
- **Fire Life Safety**
- **IREA**
- **Parker Water and Sanitation District (PWSD)**

**We are waiting on the following agencies to provide comments:**

- **Public Service Company**

Comment(s) Addressed:  Yes  No

Response:

Staff Comments - 1  
SP22-113; Lincoln Professional Park – Site Plan  
November 3, 2022  
Page 9 of 9

Property Owner

Date

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Project Representative

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Date





8/22/2022 10:08:17 PM

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Add Title to all pages

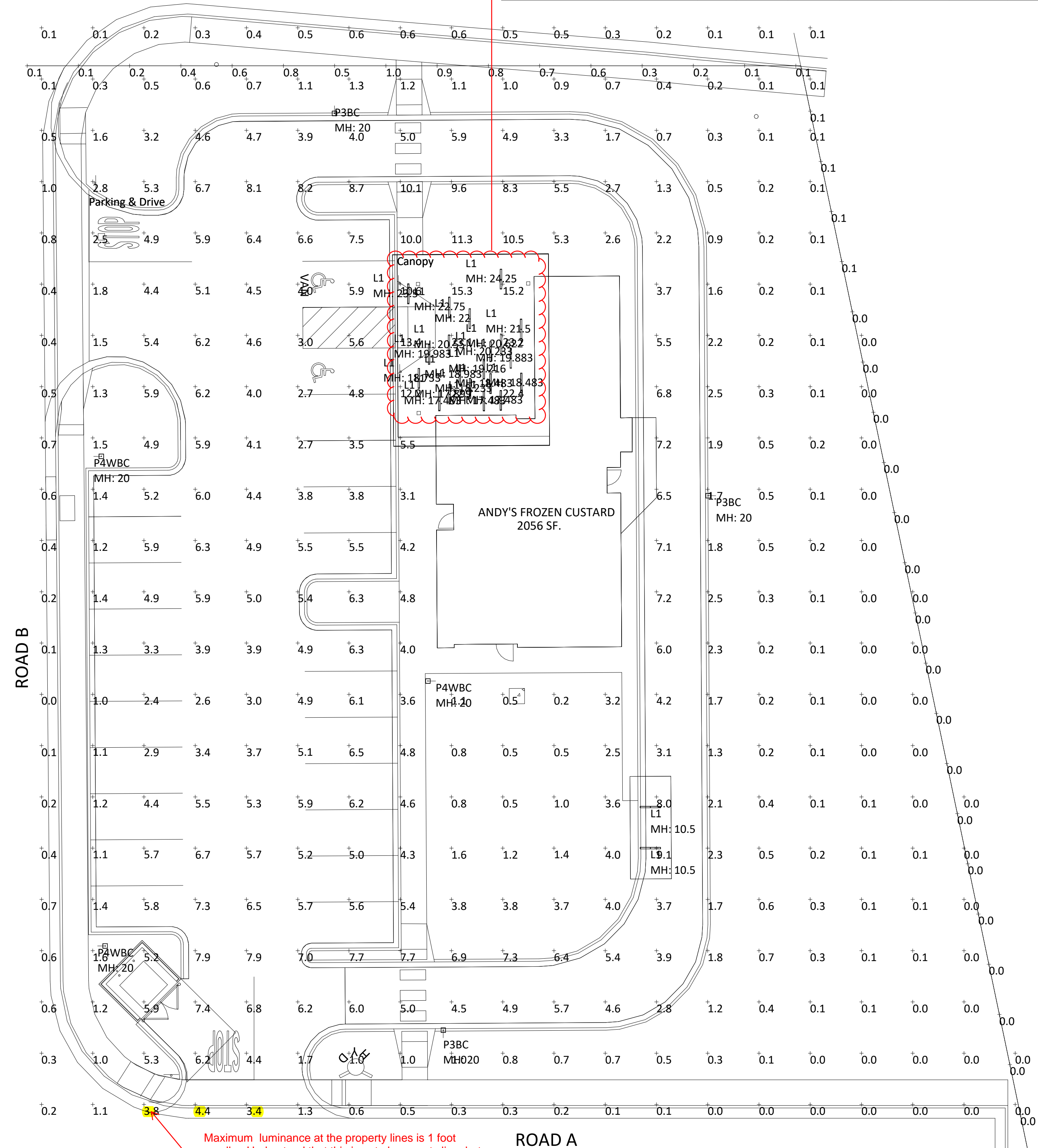
Lights exceed 15000 lumens shall be shielded. Please make sure this is the case when the cut sheets are added.

Please clean this area up so that it is legible.

Maximum luminance within the Town of Parker is 12 foot candles. Please reduce lighting.

Please include the height and the color of each luminaire within this table.

Luminaire Schedule						Calculation Summary									
Symbol	Label	Qty	Arrangement	Description	LfF	Luminaire Lumens	Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description
—	L1	22	SINGLE	NULITE RXT-R-FF-05L35-1C-X-X-4FT	0.900	1989	Grade_Planar	Illuminance	Fc	0.89	23.2	0.0	N.A.	N.A.	Readings taken at 0'-0" AFG
—	P3BC	3	Single	BEACON VP-2-320L-210-4K7-3-BC	0.900	17256	Property Line	Illuminance	Fc	0.21	1.0	0.0	N.A.	N.A.	Readings taken at 0'-0" AFG
—	P4WBC	3	Single	BEACON VP-2-320L-210-4K7-4W-BC	0.900	16177	Canopy	Illuminance	Fc	17.57	23.2	10.6	1.66	2.19	Readings taken at 0'-0" AFG
							Parking & Drive	Illuminance	Fc	5.05	9.4	1.3	3.88	7.00	Readings taken at 0'-0" AFG



Maximum luminance at the property lines is 1 foot candle. Understand that this is not eh property line, but since this exceeds the allowed amount, please continue to the property line to show compliance with the code.

N

1 SITE PHOTOMETRICS  
E0.2 N.T.S.

Drawings & Specifications as instruments of service are & shall remain the property of the Architect. They are not to be used on other projects or extensions to this project except by agreement in writing & with appropriate compensation to the Architect.

Contractor is responsible for confirming and correlating dimensions at job site. The Architect will not be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the project.

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TENANT  
ANDY'S FROZEN CUSTARD  
211 E. WATER STREET SPRINGFIELD,  
MO 65806

PROTO.REF. SET: 05/18/2022

ANDY'S FROZEN CUSTARD  
PARKER, CO

08/22/2022

Engineer Name  
Engineer Number

THE SEAL & SIGNATURE APPLY ONLY TO THE DOCUMENT TO WHICH THEY ARE AFFIXED & WE EXPRESSLY DISCLAIM ANY RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT.

REVISIONS	
NO.	DESCRIPTION

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Drawn By: ADF	Checked By: ADF
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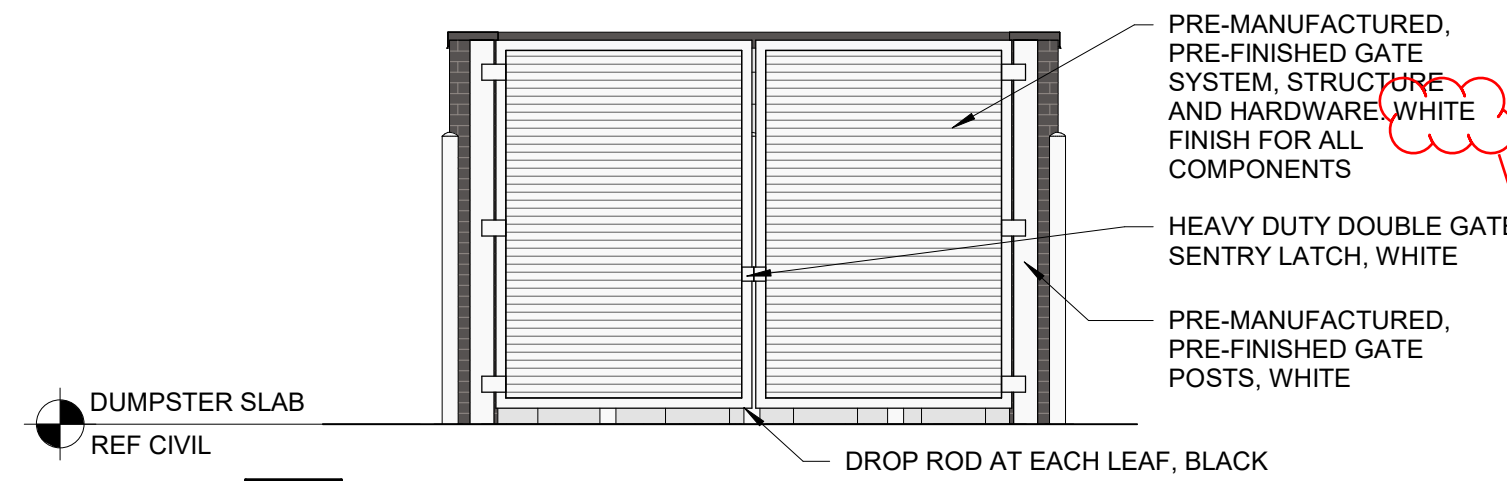
Sheet Number:  
**E0.2**

Date: 08/22/2022

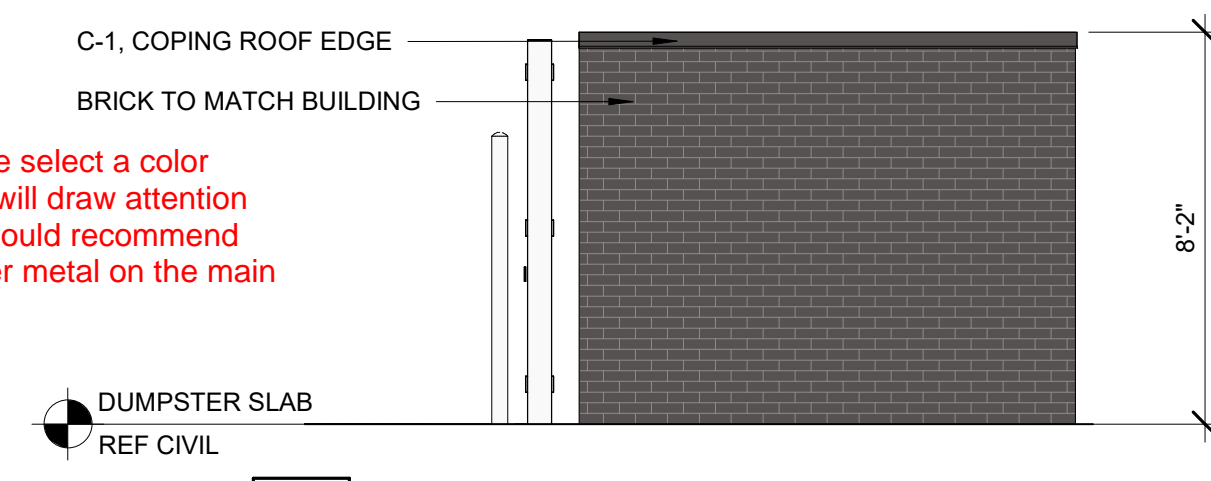




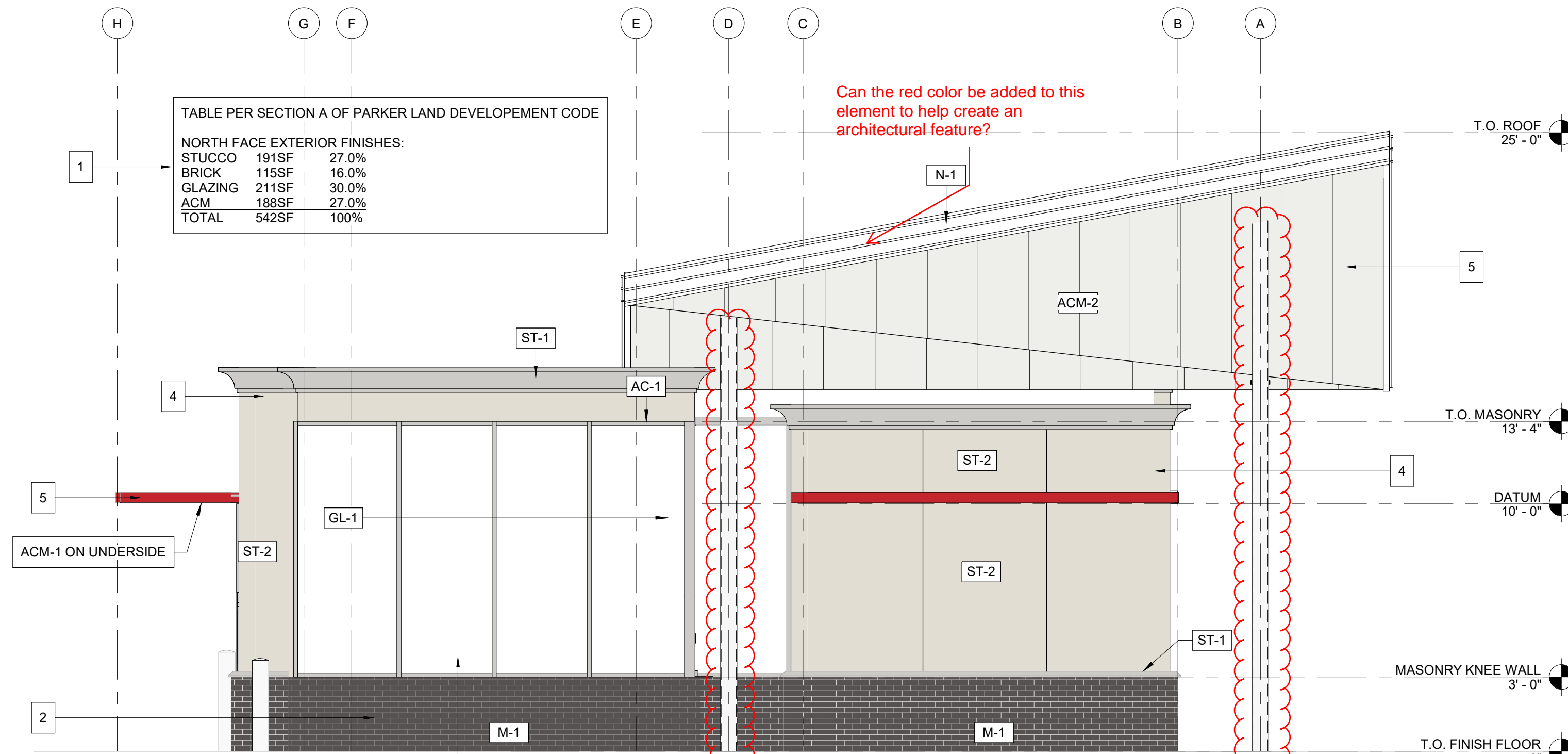
Add Title to all pages



4 DUMPSTER ELEVATION - GATES 1/4" = 1'-0"



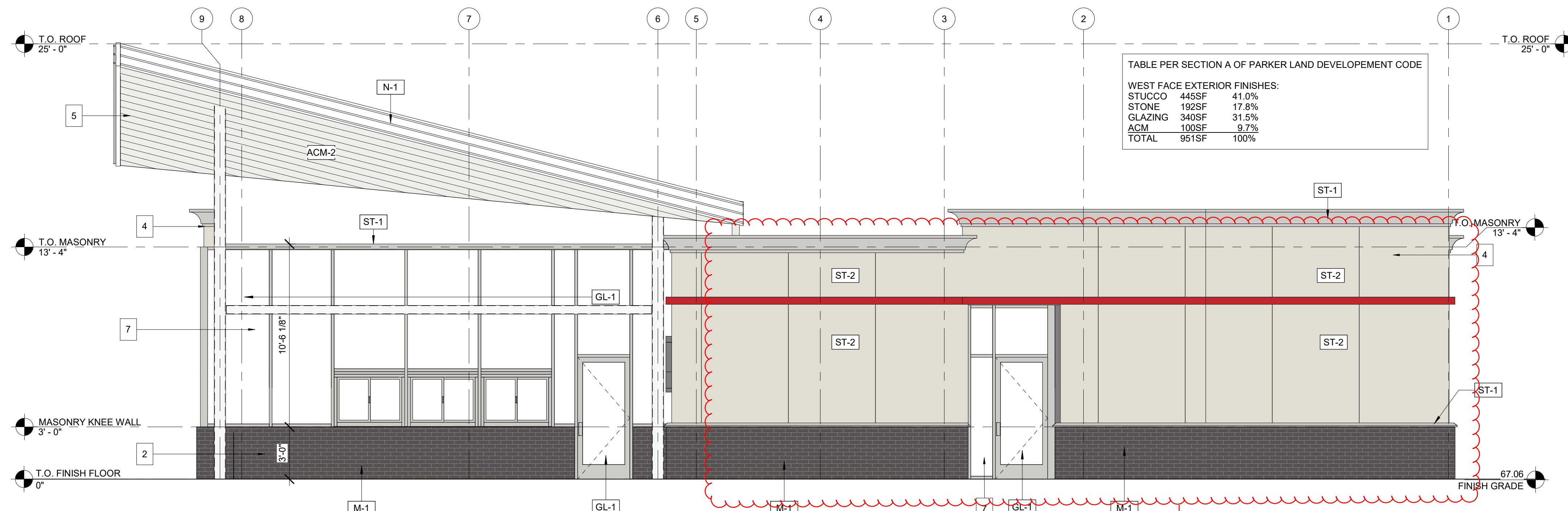
3 DUMPSTER ELEVATION - SIDE 1/4" = 1'-0"



2 BUILDING ELEVATION - SOUTH E. 40TH AVE 1/4" = 1'-0"

#	DESCRIPTION
ACM-1	COMPOSITE PANEL TYPE 1; COLOR: PVDF/KYNAR 500, BRITE RED
ACM-2	COMPOSITE PANEL TYPE 2; PVDF/KYNAR 500, BONE WHITE
C-1	COPING/ROOF EDGE TYPE 1: PRE-FINISHED ALUMINUM CAP AND SILL FLASHING AT MASONRY VENEER AND, TYP. COLOR: MATCH MASONRY COLOR
C-2	COPING/ROOF EDGE TYPE 2: ANODIZED ALUMINUM CAP AND SILL FLASHING AT STOREFRONT, TYP. COLOR: MATCH STOREFRONT FRAMING
GL-1	STOREFRONT TYPE 1: STOREFRONT, KAWNEER 451T. COLOR: CLEAR ANODIZED
M-1	MASONRY TYPE 1: GLEN GERY MODULAR BRICK. COLOR: EBONITE VELOUR
N-1	PERIMETER FASCIA & NEON LIGHTING; BY SIGNAGE VENDOR. ANODIZED ALUM. FASCIA W/ NEON LIGHTING
ST-1	PAINTED STUCCO TO MATCH PT-4 (SW 7035 - AESTHETIC WHITE)
ST-2	PAINTED STUCCO TO MATCH PT-3 (SW 2850 - CHELSEA GREY OR EQUIVALENT)
TR-1	BUILDING ACCENT TRIM: ALUM. BRAKE-METAL. COLOR: MATCH ACM-1 BRITE RED

- ELEVATION KEYNOTES**
- SECTION A. 2-C4 OF PARKER LAND DEVELOPMENT CODE MET. SEE MATERIAL AND GLAZING TABLE ON ELEVATIONS.
  - SECTION A. 3-A OF PARKER LAND DEVELOPMENT CODE MET BY BREAKING MATERIALS HORIZONTALLY FROM BRICK TO STUCCO. SEE ELEVATIONS.
  - SECTION A. 3-C OF PARKER LAND DEVELOPMENT CODE MET. PARAPETS PROVIDED CLEARLY ARTICULATE THE TOP OF THE BUILDING AS OF A. 3-C-III. ROOF IS INTEGRAL TO THE MASSING OF THE BUILDING AS OF A. 3-C-IV. USING ACCEPTED FLAT ROOF AS MENTIONED IN A. 3-C-V.
  - SECTION A. 3-D OF PARKER LAND DEVELOPMENT CODE MET. PARAPETS HAVE BEEN BROKEN UP IN HEIGHT ON THE NORTH AND EAST SIDE OF BUILDING. SEE ELEVATIONS.
  - SECTION C. 1-A OF PARKER LAND DEVELOPMENT CODE MET. TWO REQUIRED DESIGN ELEMENTS ARE THE WING CANOPY AND DRIVE-THRU AWNING
  - SECTION C. 2 OF PARKER LAND DEVELOPMENT CODE DOES NOT APPLY. NO PUBLIC ENTRIES.
  - SECTION C. 3 OF PARKER LAND DEVELOPMENT CODE MET. STOREFRONT ALONG BUILDING MEETS ALL REQUIREMENTS.



1 BUILDING ELEVATION - EAST FACE 1/4" = 1'-0"

NOT FOR CONSTRUCTION

REVISIONS	
NO.	DESCRIPTION

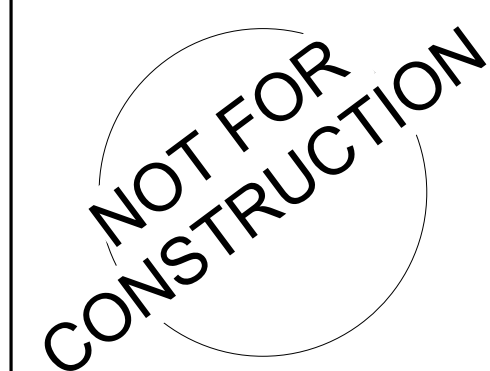
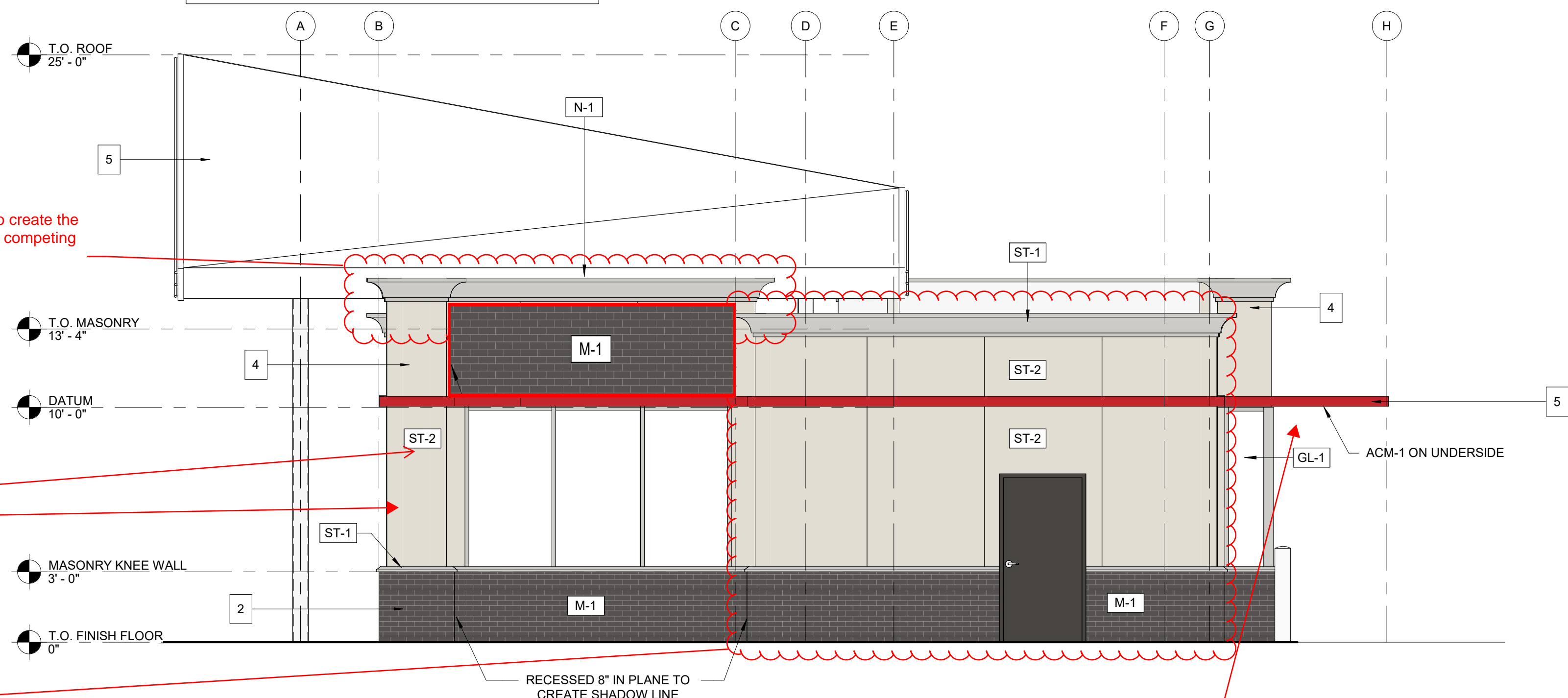


TABLE PER SECTION A OF PARKER LAND DEVELOPMENT CODE

SOUTH FACE EXTERIOR FINISHES:		
STUCCO	288SF	60.0%
BRICK	104SF	21.0%
GLAZING	933SF	19.0%
TOTAL	485SF	100%



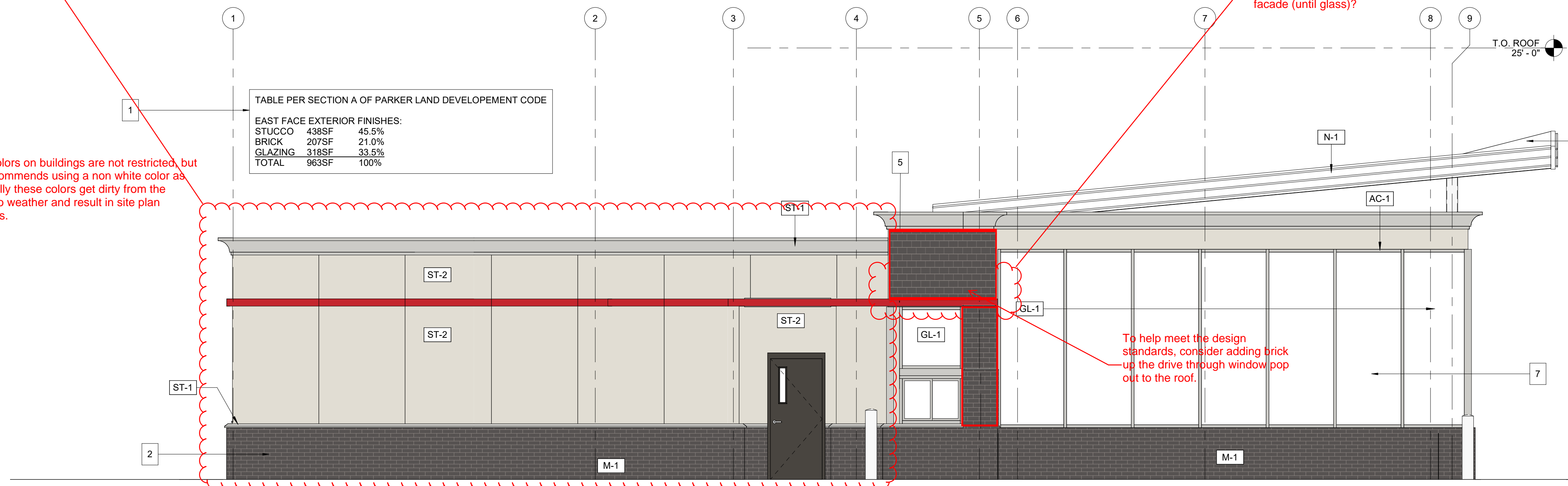
**2**  
R003 **BUILDING ELEVATION - FACING NORTH (REAR ELEVATION)**  
1/4" = 1'-0"

#	DESCRIPTION
ACM-1	COMPOSITE PANEL TYPE 1; COLOR: PVDF/KYNAR 500, BRITE RED
ACM-2	COMPOSITE PANEL TYPE 2; PVDF/KYNAR 500, BONE WHITE
C-1	COPING/ROOF EDGE TYPE 1: PRE-FINISHED ALUMINUM CAP AND SILL FLASHING AT MASONRY VENEER AND, TYP. COLOR: MATCH MASONRY COLOR
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ST-2	PAINTED STUCCO TO MATCH PT-3 (SW 2850 - CHELSEA GREY OR EQUIVALENT)
TR-1	BUILDING ACCENT TRIM: ALUM. BRAKE-METAL, COLOR: MATCH ACM-1 BRITE RED

White colors on buildings are not restricted, but staff recommends using a non white color as historically these colors get dirty from the Colorado weather and result in site plan violations.

TABLE PER SECTION A OF PARKER LAND DEVELOPMENT CODE

EAST FACE EXTERIOR FINISHES:		
STUCCO	438SF	45.5%
BRICK	207SF	21.0%
GLAZING	318SF	33.5%
TOTAL	963SF	100%



**1**  
R003 **BUILDING ELEVATION - WEST FACE**  
1/4" = 1'-0"

- ELEVATION KEYNOTES**
- SECTION A. 2-C-I OF PARKER LAND DEVELOPMENT CODE MET. SEE MATERIAL AND GLAZING TABLE ON ELEVATIONS.
  - SECTION A. 3-A OF PARKER LAND DEVELOPMENT CODE MET BY BREAKING MATERIALS HORIZONTALLY FROM BRICK TO STUCCO. SEE ELEVATIONS.
  - SECTION A. 3-C OF PARKER LAND DEVELOPMENT CODE MET. PARAPETS PROVIDED CLEARLY ARTICULATE THE TOP OF THE BUILDING AS OF A. 3-C-III. ROOF IS INTEGRAL TO THE MASSING OF THE BUILDING AS OF A. 3-C-IV. USING ACCEPTED FLAT ROOF AS MENTIONED IN A. 3-C-V.
  - SECTION A. 3-D OF PARKER LAND DEVELOPMENT CODE MET. PARAPETS HAVE BEEN BROKEN UP IN HEIGHT ON THE NORTH AND EAST SIDE OF BUILDING. SEE ELEVATIONS.
  - SECTION C. 1-A OF PARKER LAND DEVELOPMENT CODE MET. TWO REQUIRED DESIGN ELEMENTS ARE THE WING CANOPY AND DRIVE-THRU AWNING
  - SECTION C. 2 OF PARKER LAND DEVELOPMENT CODE DOES NOT APPLY. NO PUBLIC ENTRIES.
  - SECTION C. 3 OF PARKER LAND DEVELOPMENT CODE MET. STOREFRONT ALONG BUILDING MEETS ALL REQUIREMENTS.