

PRELIMINARY
NOT FOR BIDDING
NOT FOR CONSTRUCTION

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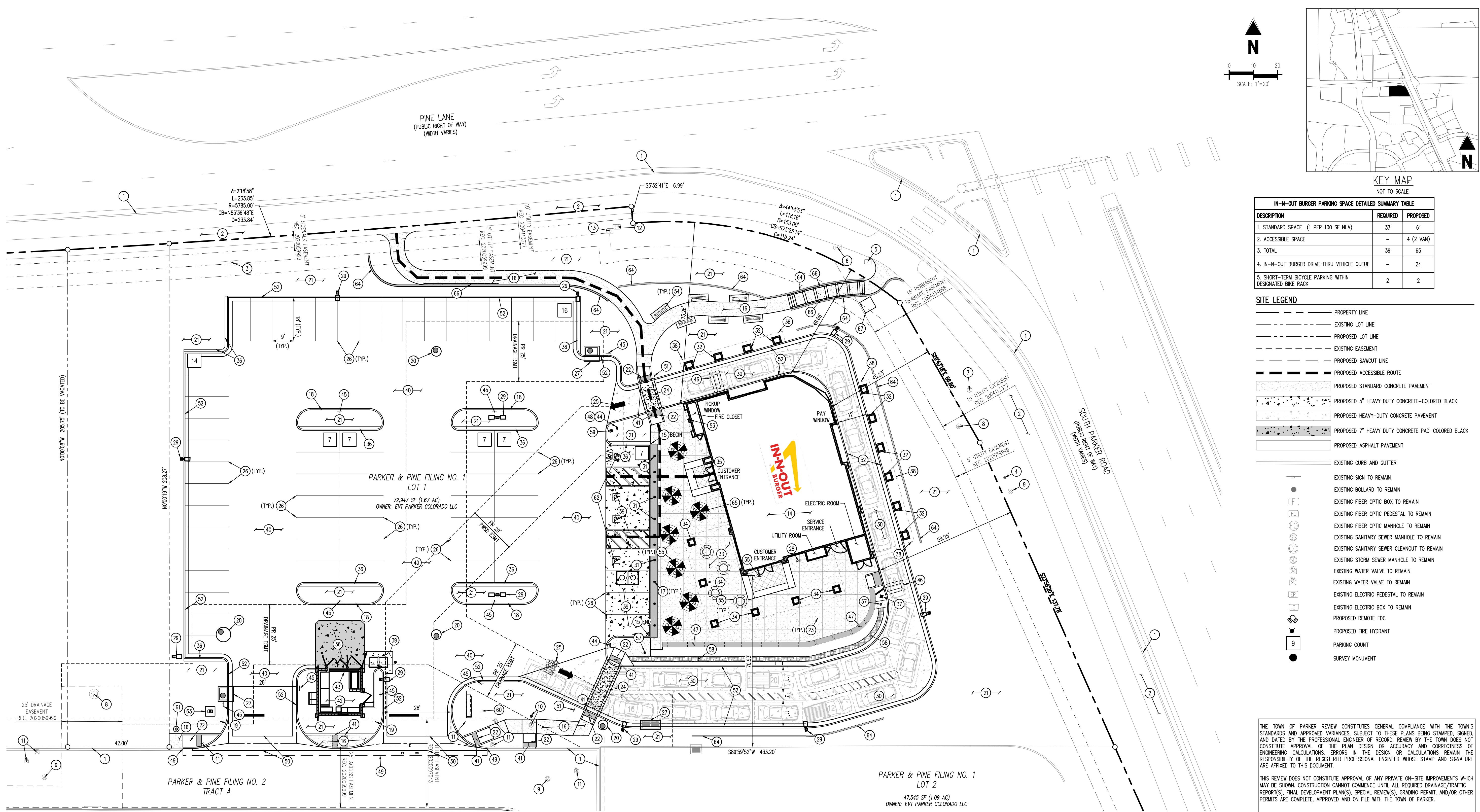
IN-N-OUT BURGER
CONSTRUCTION DOCUMENTS
PARKER & PINE FILING NO. 1, LOT 1
PARKER, CO 80134

Date Issue / Description Init.
12/21/2022 1ST CD SUBMITTAL PJD

Project No: INC000014-20
Drawn By: JNE
Checked By: PJD
Date: 12/21/2022

SITE PLAN

C1.0
Sheet 3 of 28



IN-N-OUT BURGER PARKING SPACE DETAILED SUMMARY TABLE

DESCRIPTION	REQUIRED	PROPOSED
1. STANDARD SPACE (1 PER 100 SF NLA)	37	61
2. ACCESSIBLE SPACE	-	4 (2 VAN)
3. TOTAL	39	65
4. IN-N-OUT BURGER DRIVE THRU VEHICLE QUEUE	-	24
5. SHORT-TERM BICYCLE PARKING WITHIN DESIGNATED BIKE RACK	2	2

SITE LEGEND

- PROPERTY LINE
- - - EXISTING LOT LINE
- - - PROPOSED LOT LINE
- - - EXISTING EASEMENT
- - - PROPOSED SAWCUT LINE
- - - PROPOSED ACCESSIBLE ROUTE
- ▨ PROPOSED STANDARD CONCRETE PAVEMENT
- ▨ PROPOSED 5" HEAVY DUTY CONCRETE-COLORED BLACK
- ▨ PROPOSED HEAVY-DUTY CONCRETE PAVEMENT
- ▨ PROPOSED 7" HEAVY DUTY CONCRETE PAD-COLORED BLACK
- ▨ PROPOSED ASPHALT PAVEMENT
- EXISTING CURB AND GUTTER
- EXISTING SIGN TO REMAIN
- EXISTING BOLLARD TO REMAIN
- EXISTING FIBER OPTIC BOX TO REMAIN
- EXISTING FIBER OPTIC PEDESTAL TO REMAIN
- EXISTING FIBER OPTIC MANHOLE TO REMAIN
- EXISTING SANITARY SEWER MANHOLE TO REMAIN
- EXISTING SANITARY SEWER CLEANOUT TO REMAIN
- EXISTING STORM SEWER MANHOLE TO REMAIN
- EXISTING WATER VALVE TO REMAIN
- EXISTING WATER VALVE TO REMAIN
- EXISTING ELECTRIC PEDESTAL TO REMAIN
- EXISTING ELECTRIC BOX TO REMAIN
- PROPOSED REMOTE FDC
- PROPOSED FIRE HYDRANT
- PARKING COUNT
- SURVEY MONUMENT

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TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

LEGAL DESCRIPTION
LOT 1, PARKER & PINE FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO

BENCHMARK
PUBLISHED BENCHMARK: ELEVATIONS ARE BASED ON A DOUGLAS COUNTY CONTROL MONUMENT, STATION NAME: CRAIN, BEING A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN CULVERT, 25 FEET WEST OF THE EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.

ELEVATION = 5734.25 FEET (NAVD 88) PUBLISHED BY DOUGLAS COUNTY

BASIS OF BEARING
BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST BEARS N001°17'51"E, MONUMENTED BY THE SOUTHWEST CORNER OF SAID SECTION 10, BEING A 3-1/4" INCH ALUMINUM CAP STAMPED "LS 19003", AND MONUMENTED BY THE WEST QUARTER CORNER OF SAID SECTION 10, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 22561", AS SHOWN HEREON.

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



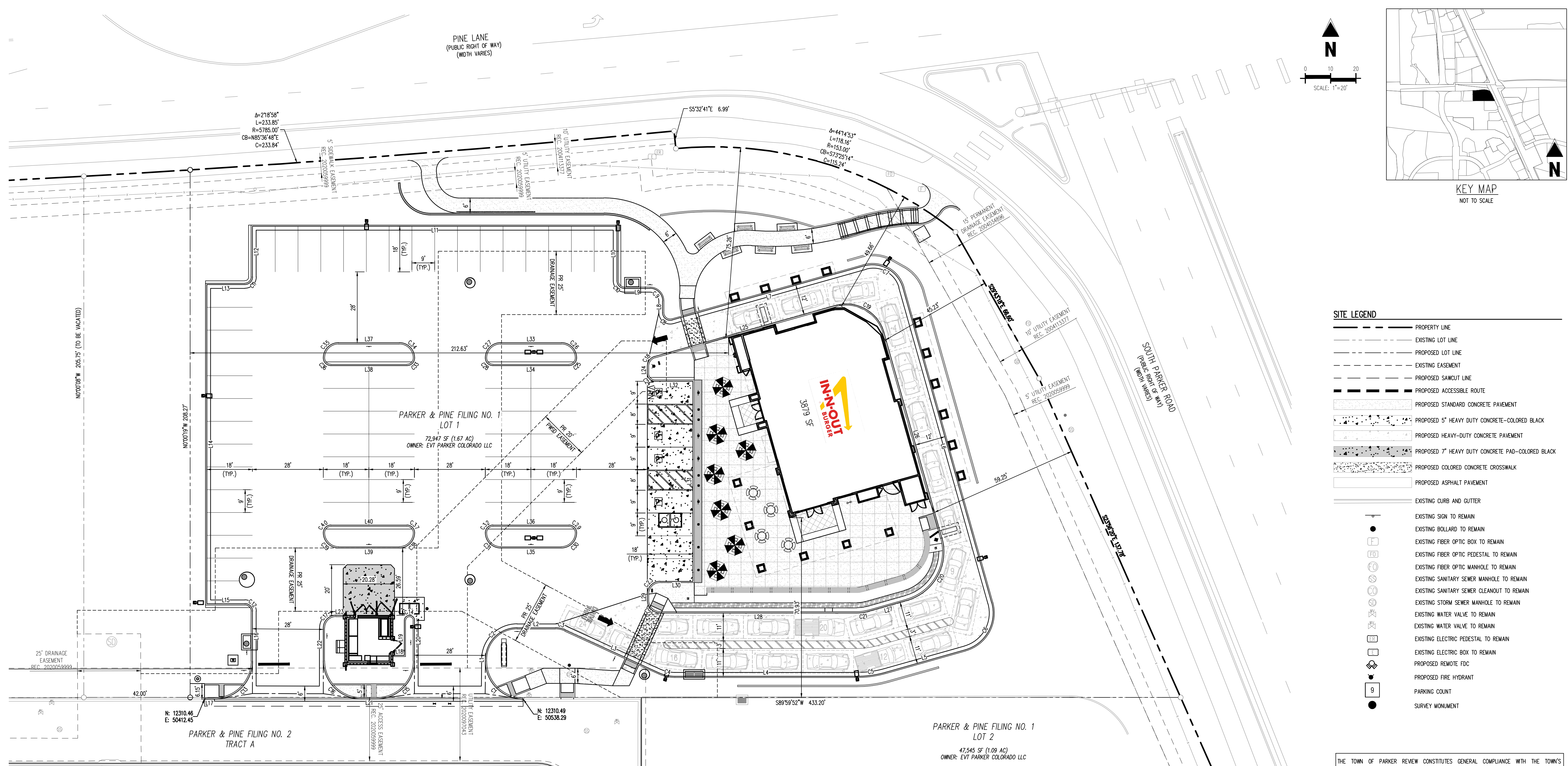
- SCHEDULE**
- | | | | | |
|---|--|--|---|--|
| 1 EXISTING CURB AND GUTTER TO REMAIN | 17 PROPOSED WHITE DECORATIVE BOLLARD (REF DET 2, SHT C1.3) | 33 PROPOSED OUTDOOR SEATING AREA (REF ARCHITECTURAL PLANS) | 45 PROPOSED FIRE LANE SIGN (REF DET 7, SHT C1.3) | 60 PROPOSED MONUMENT SIGN |
| 2 EXISTING SIDEWALK TO REMAIN | 18 PROPOSED PRIVATE 6" PLANTER CURB (REF DET 24, SHT C1.4) | 34 PROPOSED OUTDOOR SEATING CANOPY COLUMN (REF ARCHITECTURAL PLANS) | 46 PROPOSED VEHICLE DETECTOR LOOP. INSTALL (2) LOOPS, 12" FROM FACE OF CURB; FIRST LOOP TO BE 2" BELOW TOP OF PAVEMENT, SECOND LOOP TO BE 1" BELOW THE FIRST. NO REBAR WITHIN 12" OF LOOPS | 61 PROPOSED 1" IRRIGATION TAP & METER |
| 3 EXISTING SIGN TO REMAIN | 19 PROPOSED "STOP" SIGN, MUTCD R1-1 | 35 PROPOSED DECORATIVE CONCRETE JOINT PATTERN AT CUSTOMER ENTRY (REF DET 18 & 19, SHT C1.4) | 47 PROPOSED SEAT WALL (REF DET 12, SHT C1.3) | 62 PROPOSED 9'X18" ADA PARKING STALL AND PAINTED ACCESS AISLE WITH 4" SOLID BLUE STRIPING 2" O.C. @ 45° ANGLE (REF DET 6, SHT C1.3 AND DET 26, SHT C1.4) |
| 4 EXISTING BOLLARD TO REMAIN | 20 PROPOSED STORM SEWER MANHOLE (REF STORM SEWER PLANS) | 36 PROPOSED 6" PLANTER CURB W/ 12" SIDEWALK (REF DET 25, SHT C1.4) | 48 PROPOSED "THANK YOU" SIGN | 63 EXISTING ELECTRIC TRANSFORMER ON CONCRETE PAD TO REMAIN |
| 5 EXISTING FIBER OPTIC BOX TO REMAIN | 21 PROPOSED LANDSCAPED AREA (REF LANDSCAPE PLAN) | 37 PROPOSED IN-N-OUT MENU BOARD AND SPEAKER BOX | 49 PROPOSED SAWCUT EXISTING ASPHALT PAVEMENT | 64 PROPOSED RETAINING WALL |
| 6 EXISTING FIBER OPTIC PEDESTAL TO REMAIN | 22 PROPOSED ADA RAMP WITH DETECTABLE WARNING | 38 PROPOSED IN-N-OUT DRIVE THRU CANOPY (REF ARCHITECTURAL PLANS) | 50 PROPOSED 6" CONCRETE CROSSSPAN (REF DET 17, SHT C1.4) | 65 PROPOSED SEATING TABLE WITH UMBRELLA |
| 7 EXISTING FIBER OPTIC MANHOLE TO REMAIN | 23 PROPOSED CONCRETE SAWCUT JOINT (REF DET 9, SHT C1.3) | 39 PROPOSED HEAVY-DUTY CONCRETE PAVEMENT COLORED JET BLACK PER DAVIS COLORS #860 (LIQUID DOSE RATE: 9 LBS PER 94 LB SACK OF CEMENT) FOR PARKING LOT - MIN 6" THICK 4,000 PSI REINFORCED HEAVY-DUTY CONCRETE OVER 6" MINIMUM THICK 95% COMPACTED CLASS 2 AGGREGATE BASE OVER 12" MINIMUM THICK SUBGRADE SOIL MOISTURE CONDITIONED TO AT LEAST OPTIMUM MOISTURE CONTENT COMPACTED TO AT LEAST 95% OF ITS MAXIMUM DENSITY. REINFORCEMENT TO CONSIST OF NO. 3 REBAR AT 18" O.C. EACH WAY AT MID-HEIGHT OF SLAB (REF GEOTECHNICAL REPORT FOR SPECIFICATIONS) (REF DET 16, SHT C1.4) | 51 PROPOSED "PEDESTRIAN CROSSING" SIGN | 66 PROPOSED HANDRAILS |
| 8 EXISTING STORM DRAIN MANHOLE TO REMAIN | 24 PROPOSED COLORED CONCRETE CROSSWALK (REF DET 27, SHT C1.5) | 40 PROPOSED ASPHALT PAVEMENT - 4.5" THICK OVER 6" MINIMUM THICK 95% COMPACTED CLASS 2 AGGREGATE BASE OVER 12" MINIMUM THICK SUBGRADE SOIL MOISTURE CONDITIONED TO AT LEAST OPTIMUM MOISTURE CONTENT COMPACTED TO AT LEAST 95% OF ITS MAXIMUM DENSITY. REINFORCEMENT TO CONSIST OF NO. 3 REBAR AT 18" O.C. EACH WAY AT MID-HEIGHT OF SLAB (REF GEOTECHNICAL REPORT FOR SPECIFICATIONS) (REF DET 22, SHT C1.4) | 52 PROPOSED PRIVATE 6" CURB W/ 18" GUTTER (REF DET 20, SHT C1.4) | 67 PROPOSED PUBLIC ART AREA |
| 9 EXISTING SANITARY SEWER MANHOLE TO REMAIN | 25 PROPOSED DIRECTIONAL MARKING (REF DET 5, SHT C1.3) | 41 INSTALL 3" WIDE ADA ACCESSIBLE TRUNCATED DOMES DETECTABLE WARNING STRIP. CONTRACTOR TO PROVIDE SAMPLE TO BUILDING INSPECTOR FOR APPROVAL PRIOR TO INSTALLATION. (REF DET 15, SHT C1.4) | 53 PROPOSED FIRE DEPARTMENT CONNECTION | |
| 10 EXISTING SANITARY SEWER CLEANOUT TO BE REMOVED AND REPLACED | 26 PROPOSED 9'X18" STANDARD PARKING STALL W/ 4" SOLID WHITE STRIPING (REF DET 26, SHT C1.4) | 42 PROPOSED CONCRETE BLOCK TRASH ENCLOSURE, ROOF COVERED TRASH, RECYCLE BIN, TRASH COMPACTOR AND STORAGE CONTAINER ENCLOSURE, NOT SUBJECT TO STORM WATER RUNOFF, PER DETS SHOWN ON THE ARCHITECTURAL BUILDING PLANS. | 54 PROPOSED BENCH SEATING (REF LANDSCAPE ARCHITECTURAL PLANS) | |
| 11 EXISTING WATER VALVE TO REMAIN | 27 PROPOSED STORM SEWER INLET; REF STORM SEWER PLANS | 43 PROPOSED 12" WIDE BY 13" LONG CONCRETE TRENCH DRAIN AT THE SPECIFIED ELEVATIONS SHOWN ON SHT C2.1. INSTALL TRAFFIC RATED GRATE SECURED TO PROTECT AGAINST THEFT PER PLUMBING PLANS. TRENCH DRAIN NOT SUBJECT TO STORM WATER RUN-OFF. | 55 PROPOSED COVERED SEATING TABLE (REF ARCHITECTURAL PLANS) | |
| 12 EXISTING ELECTRIC PEDESTAL TO REMAIN | 28 PROPOSED BICYCLE RACK | 44 PROPOSED IN-N-OUT DRIVE THRU SIGNAGE | 56 PROPOSED HEAVY-DUTY CONCRETE PAD COLORED JET BLACK PER DAVIS COLORS #860 (LIQUID DOSE RATE: 9 LBS PER 94 LB SACK OF CEMENT) IN FRONT OF TRASH ENCLOSURE - MIN 7" THICK 4,000 PSI REINFORCED HEAVY-DUTY CONCRETE OVER 6" MINIMUM THICK 95% COMPACTED CLASS 2 AGGREGATE BASE OVER 12" MINIMUM THICK SUBGRADE SOIL MOISTURE CONDITIONED TO AT LEAST OPTIMUM MOISTURE CONTENT COMPACTED TO AT LEAST 95% OF ITS MAXIMUM DENSITY. REINFORCEMENT TO CONSIST OF NO. 3 REBAR AT 18" O.C. EACH WAY AT MID-HEIGHT OF SLAB (PER GEOTECHNICAL RECOMMENDATIONS. REF GEOTECHNICAL REPORT FOR FURTHER PAVEMENT SPECIFICATIONS) | |
| 13 EXISTING ELECTRIC BOX TO REMAIN | 29 PROPOSED SITE LIGHTS (REF PHOTOMETRIC PLAN SHT PH1.0) | | 57 PROPOSED CONCRETE PAD WITH UMBRELLA | |
| 14 PROPOSED 3,879 SF IN-N-OUT BURGER RESTAURANT, REF BUILDING PLANS | 30 PROPOSED MIN 6" THICK 4,000 PSI REINFORCED HEAVY-DUTY CONCRETE OVER 6" MINIMUM THICK 95% COMPACTED CLASS 2 AGGREGATE BASE OVER 12" MINIMUM THICK SUBGRADE SOIL MOISTURE CONDITIONED TO AT LEAST OPTIMUM MOISTURE CONTENT COMPACTED TO AT LEAST 95% OF ITS MAXIMUM DENSITY. REINFORCEMENT TO CONSIST OF NO. 3 REBAR AT 18" O.C. EACH WAY AT MID-HEIGHT OF SLAB (REF DET 16, SHT C1.4) REFER TO GEOTECHNICAL REPORT FOR PAVEMENT SPECIFICATIONS | | 58 PROPOSED ASSOCIATE WALKWAY (REF DET 14, SHT C1.3) | |
| 15 PROPOSED 0" CONCRETE CURB (REF DET 24, SHT C1.4) | 31 PROPOSED ADA SIGNAGE W/ PAINTED WHITE POLE (REF DET 3, SHT C1.3) | | 59 PROPOSED FIRE HYDRANT | |

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IN0014-FLOWLINE LABELS					IN0014-FLOWLINE LABELS					IN0014-FLOWLINE LABELS					IN0014-FLOWLINE LABELS					IN0014-FLOWLINE LABELS							
TAG #	START POINT (N E)	LENGTH (FT)	RADIUS (FT)	LINE/CHORD BEARING	DELTA	CHORD LENGTH (FT)	TAG #	START POINT (N E)	LENGTH (FT)	RADIUS (FT)	LINE/CHORD BEARING	DELTA	CHORD LENGTH (FT)	TAG #	START POINT (N E)	LENGTH (FT)	RADIUS (FT)	LINE/CHORD BEARING	DELTA	CHORD LENGTH (FT)	TAG #	START POINT (N E)	LENGTH (FT)	RADIUS (FT)	LINE/CHORD BEARING	DELTA	CHORD LENGTH (FT)
C1	12310.469 50538.287	23.56	15.00	N44°47'11.41"W	90°00'00"	21.21	L8	12463.024 50593.342	4.60		N0°00'08"W			L18	12327.783 50487.502	3.84		N89°59'52"E			C20	12374.081 50703.623	31.42	20.00	S29°15'14.64"W	90°00'10"	28.28
L1	12325.545 50823.343	0.63		N0°12'49"E			C9	12467.826 50593.342	7.85	5.00	N45°00'04"W	89°59'52"	7.07	L19	12327.783 50491.346	13.82		N0°00'08"W			C21	12345.090 50674.499	4.40	16.00	S82°07'36.06"W	15°44'32"	4.38
C2	12326.170 50823.346	19.59	12.50	N45°06'20.30"E	89°47'03"	17.64	L9	12472.826 50588.342	10.00		N90°00'00"W			C14	12341.802 50491.346	6.10	2.00	S89°31'01.24"E	174°25'10"	4.00	L27	12349.404 50689.800	15.90		S71°15'20"W		
L2	12338.624 50535.845	15.16		N89°59'52"E			C10	12472.826 50578.342	4.71	3.00	N45°00'03.86"W	89°59'52"	4.24	L20	12341.569 50495.346	16.00		S0°00'08"E			L28	12344.490 50670.158	77.81		S89°59'52"W		
C3	12338.624 50551.009	4.07	9.50	S77°43'15.61"E	24°33'45"	4.04	L10	12475.826 50575.342	21.50		N0°00'08"W			C15	12325.572 50495.346	23.55	15.00	S44°59'02.90"W	89°58'21"	21.21	C22	12344.487 50592.345	7.85	5.00	N45°00'07.72"W	90°00'00"	7.07
L3	12337.785 50554.958	40.71		S85°28'23"E			L11	12497.125 50575.341	144.00		S89°59'52"W			L21	12310.571 50490.354	6.00		S89°58'14"W			L29	12349.486 50587.345	2.48		N0°00'08"W		
C4	12320.844 50691.984	6.43	15.00	S77°43'15.47"E	24°33'45"	6.38	L12	12497.120 50431.339	20.00		S0°00'08"E			C16	12310.566 50474.353	23.57	15.00	N45°00'48.38"W	90°01'54"	21.22	C23	12351.966 50587.344	7.85	5.00	N44°59'52.28"E	90°00'00"	7.07
L4	12319.487 50698.219	71.94		N89°59'52"E			C11	12477.120 50431.340	4.71	3.00	S44°59'52.28"W	90°00'00"	4.24	L22	12325.569 50459.345	12.97		N0°00'08"E			L30	12356.967 50592.344	13.00		N89°59'52"E		
C5	12319.490 50670.159	11.26	41.00	N82°07'36.06"E	15°44'32"	11.23	L13	12474.120 50428.340	15.00		S89°59'52"W			C17	12338.534 50459.345	7.85	5.00	N44°59'58.86"E	89°59'44"	7.07	L31	12356.967 50605.345	79.00		N0°00'08"W		
L5	12321.028 50691.282	32.90		N74°15'20"E			L14	12474.119 50431.340	126.00		S0°00'08"E			L23	12343.534 50464.345	2.84		S89°54'37"E			L32	12345.968 50605.342	15.00		S89°59'52"W		
C6	12329.855 50712.948	23.56	15.00	N29°15'14.64"E	90°00'10"	21.21	L15	12348.117 50431.344	15.00		N89°59'52"E			L24	12348.967 50587.341	2.91		N0°00'08"W			C24	12345.967 50592.341	4.71	3.00	N45°00'07.72"W	90°00'00"	4.24
L6	12472.854 50723.315	129.22		N15°44'51"W			C12	12348.118 50431.345	4.71	3.00	S45°00'01.54"E	90°00'12"	4.24	C18	12441.872 50587.341	5.18	4.00	N37°07'30.86"E	74°15'17"	4.83	L33	12451.124 50555.341	24.00		S89°59'52"W		
C7	12472.854 50688.245	19.63	12.50	N60°44'50.56"W	90°00'00"	17.88	L16	12345.118 50431.344	19.86		S0°00'05"W			L25	12445.723 50590.255	74.17		N74°15'09"E			C26	12445.125 50555.341	9.42	6.00	N45°00'08"W	90°00'00"	8.49
L7	12481.472 50672.921	78.62		S74°15'09"W			C13	12325.458 50431.344	23.56	15.00	S45°00'14.57"W	90°00'20"	21.21	C19	12465.852 50691.541	24.35	15.50	S60°44'50.56"E	90°00'00"	21.92	C25	12442.125 50526.341	4.71	3.00	N44°59'52"E	90°00'00"	4.24
C8	12460.136 50597.156	5.54	3.00	N52°52'28.28"W	105°44'43"	4.78	L17	12310.459 50416.343	3.89		N89°58'35"W			L26	12455.140 50680.786	84.22		S15°44'51"E			L34	12442.123 50526.341	30.00		N89°59'52"E		

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CONSTRUCTION DOCUMENTS
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PARKER, CO 80134

#	Date	Issue / Description	Init.
1	12/21/2022	1ST CD SUBMITTAL	PJD

TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

LEGAL DESCRIPTION
LOT 1, PARKER & PINE FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO

BENCHMARK
PUBLISHED BENCHMARK: ELEVATIONS ARE BASED ON A DOUGLAS COUNTY CONTROL MONUMENT, STATION NAME: CRAIN, BEING A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN CULVERT, 25 FEET WEST OF THE EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.

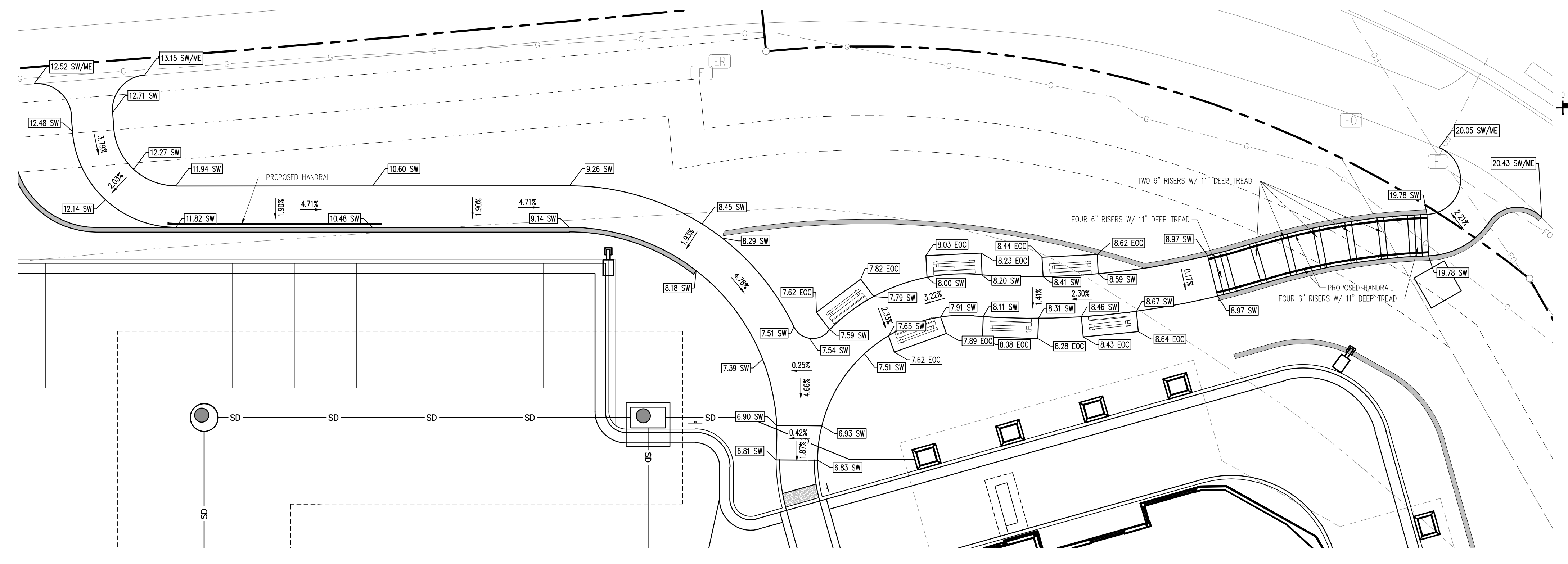
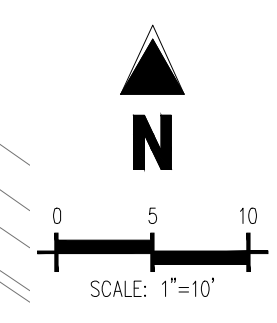
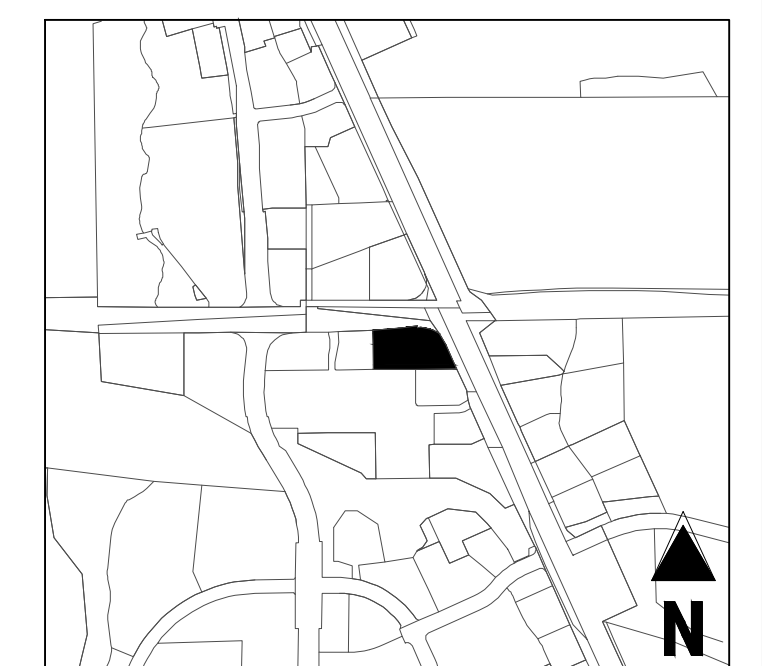
ELEVATION = 5734.25 FEET (NAVD 88) PUBLISHED BY DOUGLAS COUNTY

BASIS OF BEARING
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CAUTION - NOTICE TO CONTRACTOR

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2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



SIDEWALK DETAIL
SCALE: 1"=10'

SOIL PREPARATION AND PAVEMENT DESIGN NOTE
SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS: GEOTECHNICAL ENGINEERING EXPLORATION AND ANALYSIS: PROPOSED IN-N-OUT BURGER SOUTH PARKER RD & PINE LANE.
GEOTECHNICAL ENGINEER: _____
PROJECT NO: _____ DATE: _____
THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

GRADING NOTES

1. ADD 5,800 TO ALL SPOT GRADE ELEVATIONS.
2. REQUIREMENTS SHOWN ON SITE PLAN SHALL GOVERN DRAWINGS AND SPECIFICATIONS SHOWING OTHERWISE NOTWITHSTANDING. CONTRACTOR TO POINT OUT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BID.
3. CONTRACTOR MUST OBTAIN ALL STATE AND CITY STORM WATER DISCHARGE AND EROSION CONTROL PERMITS PRIOR TO ANY DISTURBANCE AND/OR GRADING ACTIVITY.
4. ALL FILL IN OLD TANK AREAS, OLD BASEMENTS, CESSPOOLS, OTHER EXCAVATIONS AND INSIDE BUILDING TO BE APPROVED BY GEOTECHNICAL ENGINEER.
5. FINAL GRADES ARE SUBJECT TO MINOR CHANGE BY COMPANY REPRESENTATIVE. NO GRADE CHANGES IN EXCESS OF 0.05' WITHOUT COMPANY APPROVAL.
6. ANY FILL MATERIAL REQUIRED TO BRING THE SITE TO GRADE SHALL BE CLEAN FILL DIRT APPROVED BY GEOTECHNICAL ENGINEER AND SHALL BE PLACED AND COMPACTED PER GEOTECHNICAL REPORT RECOMMENDATIONS.
7. SET PROPERTY CORNER PINS IN CONCRETE. IF PROPERTY CORNERS ARE DESTROYED BY CONTRACTOR, THE CONTRACTOR SHALL BEAR THE EXPENSE OF RELOCATION CORNERS BY A REGISTERED SURVEYOR.
8. THIS DESIGN IS BASED ON A GEOTECHNICAL INVESTIGATION. A COPY OF THIS REPORT IS AVAILABLE FOR INSPECTION BY THE CONTRACTORS.
9. ALL SPOT GRADES ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
10. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DEPOSITION OF ON-SITE SEDIMENTS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION.
11. ALL LANDSCAPING AREAS SHALL BE GRADED TO WITHIN 0.10' WITH COMPANY APPROVED TOP SOIL TO A MINIMUM 6" DEPTH.
12. GENERAL CONTRACTOR TO PROVIDE BARRICADE PROTECTION WITH FLASHING LIGHTS AROUND ALL FOOTINGS, EXCAVATIONS AND ALL OFFSITE WORK.
13. PROPOSED FLOWLINE ELEVATION DOES NOT TAKE INTO ACCOUNT OUTER DEPRESSION AT INLET.
14. THE GRADING SHOWN IS PRELIMINARY AND IS TO BE FINALIZED IN THE CONSTRUCTION DRAWINGS.

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BENCHMARK

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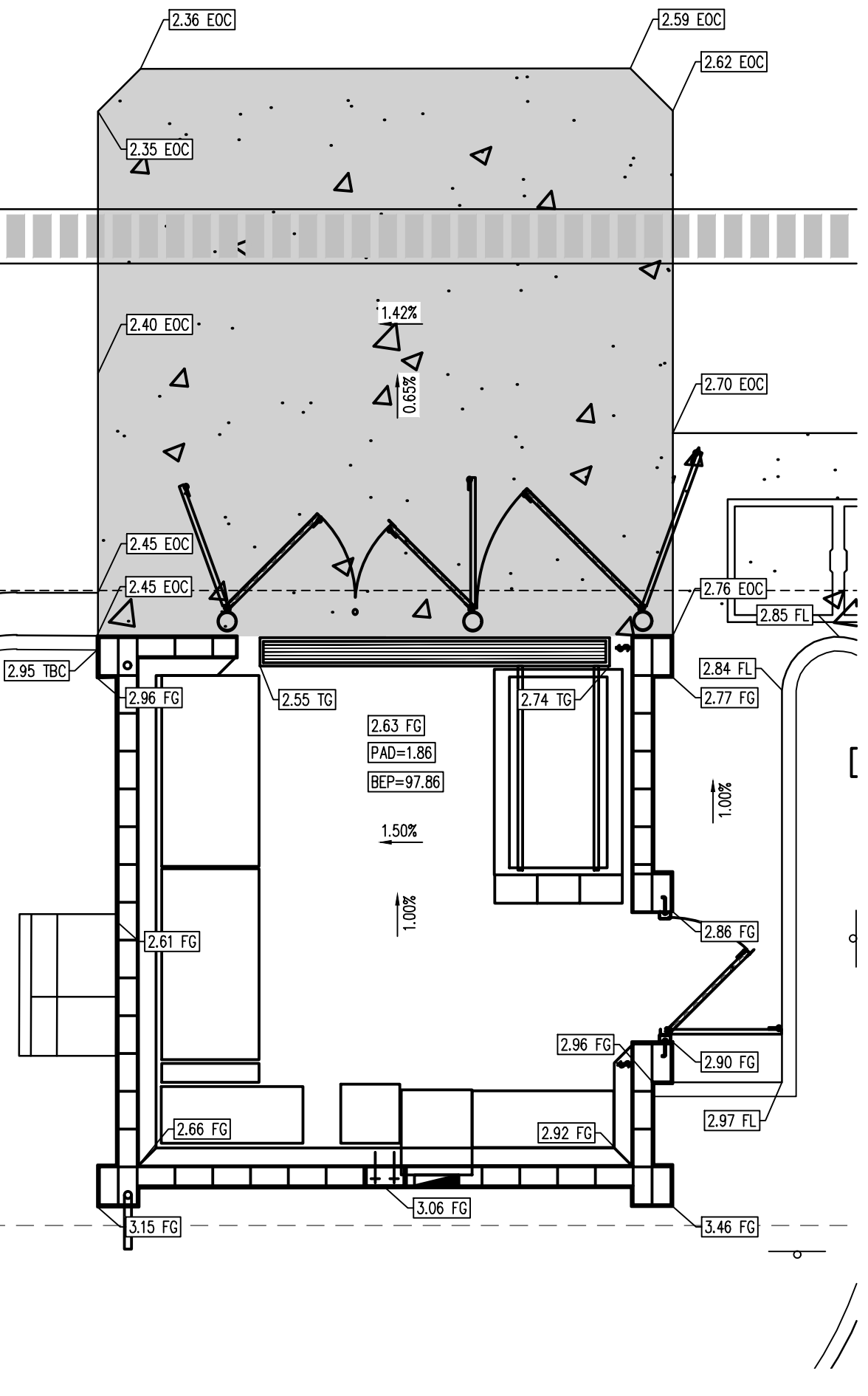
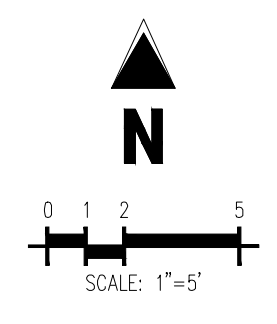
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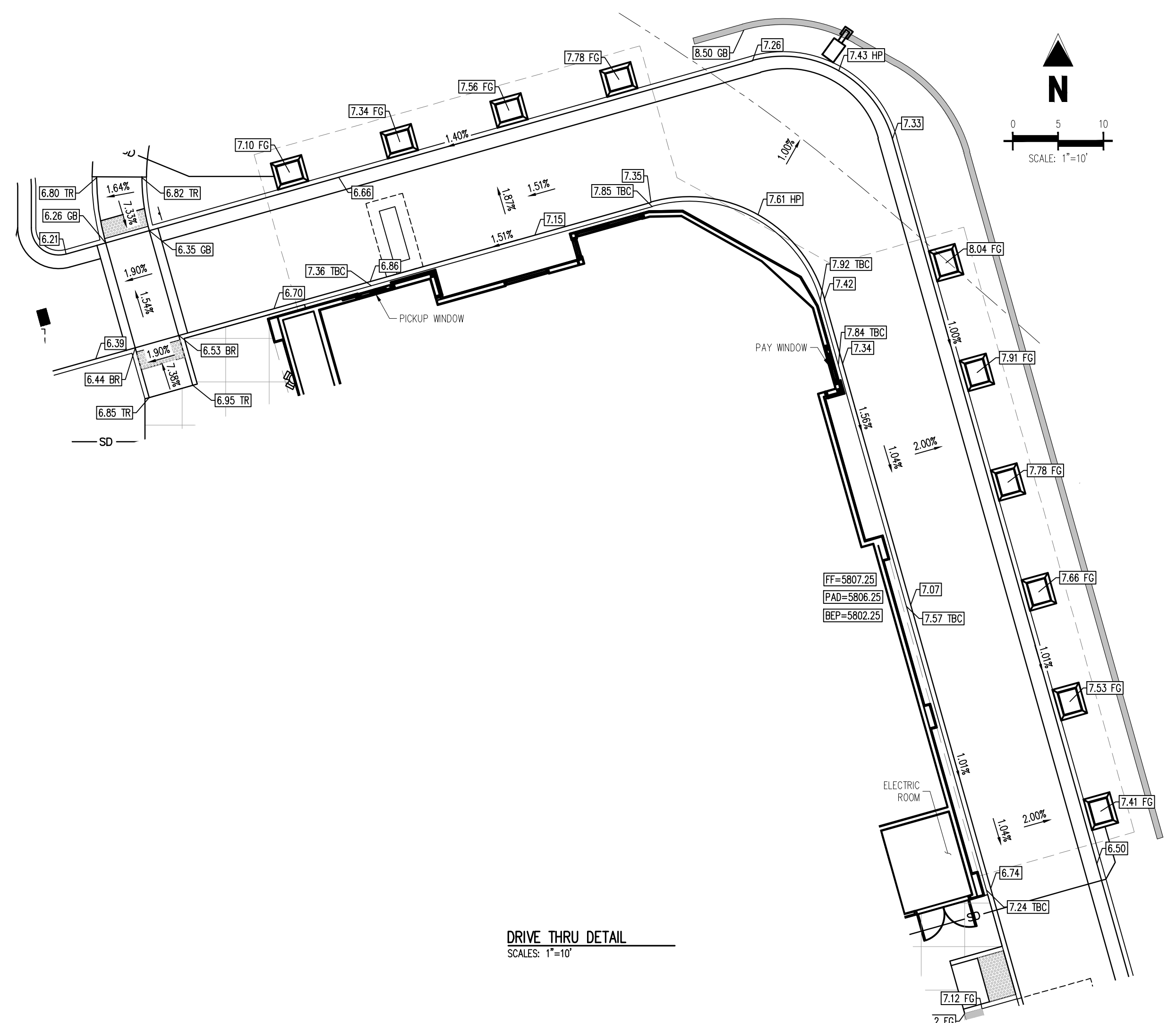
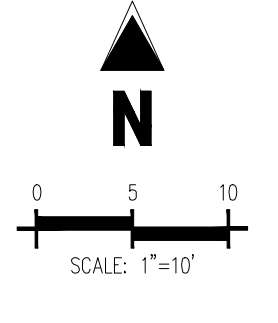
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TRASH ENCLOSURE DETAIL
SCALE: 1"=5'



DRIVE THRU DETAIL
SCALE: 1"=10'

DATE: 12/21/2022, 10:00 AM, PROJECT: IN-N-OUT BURGER PARKER & PINE FILING NO. 1, LOT 1, DRAWN BY: JNE, CHECKED BY: PJD, TOWN OF PARKER, DIRECTOR OF ENGINEERING: _____, DATE: _____

PRELIMINARY
NOT FOR BIDDING
NOT FOR CONSTRUCTION

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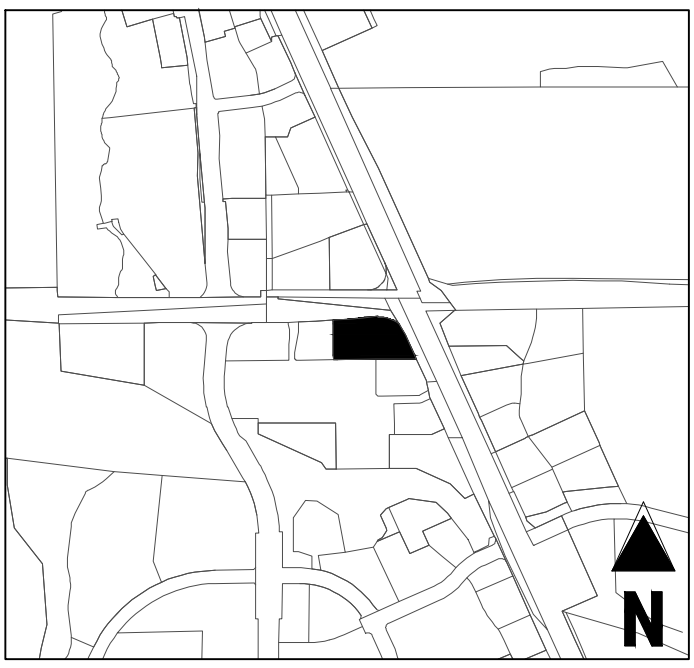
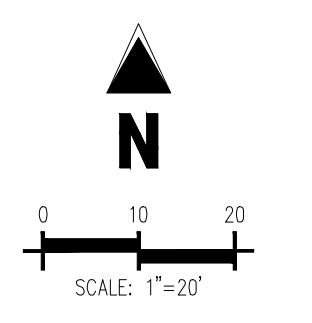
IN-N-OUT BURGER
CONSTRUCTION DOCUMENTS
PARKER & PINE FILING NO. 1, LOT 1
PARKER, CO 80134

#	Date	Issue / Description	Init.
	12/21/2022	1ST CD SUBMITTAL	PJD

TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

Project No: INC000014-20
Drawn By: JNE
Checked By: PJD
Date: 12/21/2022

CBMP PLAN INITIAL



GRADING LEGEND

---	PROPERTY LINE
---	EXISTING LOT LINE
---	PROPOSED LOT LINE
---	EXISTING EASEMENT
---	PROPOSED SAWCUT LINE
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	EXISTING CURB AND GUTTER
---	EXISTING STORM SEWER
---	LOD - LIMITS OF DISTURBANCE / LIMIT OF CONSTRUCTION
(VTC)	VEHICLE TRACKING CONTROL CONST. ENTRANCE
(SSA)	CONTRACTOR STAGING AREA (APPROXIMATE)
(PCOG)	INLET PROTECTION, CURB ON-GRADE, TYPE R INLET
(CWA)	CONCRETE WASHOUT AREA
(CF)	CONSTRUCTION FENCE
(PTP)	PORTABLE TOILET
(SF)	SILT FENCE
(POST)	SITE (CONTACTS AND PERMITS) AND CWA POSTING
(DTC)	DEBRIS AND TRASH CONTROL
(SMC)	LANDSCAPE AREA (REFERENCE LANDSCAPING PLANS FOR DETAIL)

DISTURBED AREA TABLE

LIMITS	AREA (S.F.)	AREA (AC)
LIMITS OF CONSTRUCTION	72,825	1.6700

CUT/FILL SUMMARY

AREA (S.F.)	CUT (C.Y.)	FILL (C.Y.)	NET CUT (C.Y.)
72,825.55	6,503.85	70.23	6,433.62

*RAW CUT AND FILL VALUES, DOES NOT ACCOUNT FOR SOIL COMPACTION OR EXPANSION AND DOES NOT INCLUDE MATERIAL DEPTHS FOR CONCRETE, PAVEMENT, BUILDING FOUNDATION, ETC.

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STORMWATER MANAGEMENT PLAN NOTES

- THE CONTRACTOR AND/OR AUTHORIZED AGENTS SHALL REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATE IN, THE FLOW LINES AND PUBLIC RIGHTS OF WAYS OF THE TOWN AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SAID REMOVAL SHALL BE CONDUCTED IN A TIMELY MANNER.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT FUNCTION AS INTENDED. THE REQUIREMENTS OF THIS PLAN SHALL BE THE OBLIGATION OF THE PERMIT HOLDER UNTIL SUCH TIME AS THE PLAN IS PROPERLY COMPLETED AND THE PERMIT IS RELEASED.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION, EXCAVATION, TRENCHING, BORING, GRADING OR OTHER CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, ETC., RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
- THE CONTRACTOR SHALL LOCATE, INSTALL, AND MAINTAIN ALL WATER QUALITY EROSION CONTROL MEASURES AND AS INDICATED IN THE APPROVED STORMWATER MANAGEMENT PLAN.
- ROUGH-CUT STREETS SHALL BE MULCHED WITHIN 14 DAYS OF THE COMPLETION OF OVERLIT GRADING UNLESS A LAYER OF AGGREGATE ROAD BASE OR ASPHALT PAVING IS TO BE APPLIED TO SAID ROUGH-CUT STREETS WITHIN 14 DAYS.
- THE DEVELOPER, GENERAL CONTRACTOR, GRADING CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL ENSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THIS SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF THE MATERIAL DURING TRANSPORT ON PUBLIC RIGHTS OF WAY.
- SOILS THAT WILL BE STOCKPILED FOR MORE THAN 30 DAYS SHALL BE PROTECTED FROM WIND AND WATER EROSION WITHIN 14 DAYS OF STOCKPILE CONSTRUCTION. IF STOCKPILES ARE LOCATED WITHIN 100 FEET OF A DRAINAGEWAY, ADDITIONAL SEDIMENT CONTROLS SUCH AS TEMPORARY DIKES OR SILT FENCE SHALL BE REQUIRED.
- APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR OF THE DURATION OF THIS PROJECT. ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM A CONTROL MEASURE WHEN THE SEDIMENT OR DEBRIS ADVERSELY IMPACTS THE FUNCTIONING OF THE CONTROL MEASURE.
- CONSTRUCTION SEQUENCING MAY NECESSITATE RELOCATION OR TEMPORARY REMOVAL OF THE CONTROL MEASURES SHOWN HEREON. THE CONTRACTOR MAY RELOCATE CONTROL MEASURES INCLUDING VTC, SSA AND CONSTRUCTION TRAILERS AT THEIR DISCRETION. THE CONTROL MEASURES SHALL BE RESTORED AT SUCH A TIME AS THEY WILL NO LONGER IMPACT THE WORK. THE SITE COPY OF THE DRAWINGS SHALL BE MARKED UP ACCORDINGLY, AND A RECORD OF CONTROL MEASURE MODIFICATIONS KEPT IN THE SITE INSPECTION LOG.
- ALL EROSION AND SEDIMENT CONTROL PRACTICES AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THE SWMP MUST BE MAINTAINED IN EFFECTIVE OPERATION CONDITION. PROPER SELECTION AND INSTALLATION OF CONTROL MEASURES AND IMPLEMENTATION OF COMPREHENSIVE INSPECTION AND MAINTENANCE PROCEDURES IN ACCORDANCE WITH THE SWMP SHOULD BE ADEQUATE TO MEET THIS CONDITION. CONTROL MEASURES THAT ARE NOT ADEQUATELY MAINTAINED IN ACCORDANCE WITH GOOD ENGINEER, HYDROLOGIC, AND POLLUTION CONTROL PRACTICES, INCLUDING REMOVAL OF COLLECTED SEDIMENT OUTSIDE THE ACCEPTABLE TOLERANCES OF THE CONTROL MEASURES ARE CONSIDERED TO BE NO LONGER OPERATING EFFECTIVELY AND MUST BE ADDRESSED.

INITIAL EROSION CONTROL NOTES

- INSTALL THE SWPPP INFORMATION SIGN AND POST REQUIRED DOCUMENTS NEAR THE PLANNED CONSTRUCTION EXIT, AND WITHIN EASY ACCESS TO THE GENERAL PUBLIC WITHOUT ENTERING THE SITE.
- STAKE/FLAG/PAIN THE LOD (WHERE STAKING IS NOT POSSIBLE/PRACTICAL, THE LOD MUST BE CONSPICUOUSLY, AND PROMINENTLY, MARKED TO DENOTE THE BOUNDARY). LOD MUST REMAIN CONSPICUOUSLY MARKED THROUGHOUT THE ENTIRE CONSTRUCTION PROJECT.
- INSTALL INLET PROTECTION ON EXISTING INLETS WITHIN LOD.
- INSTALL TEMPORARY ROCK SOCK DOWN GRADIENT FROM TEMPORARY STRIPING ACTIVITIES.
- BLACK OUT STRIPING THAT CONFLICTS WITH TEMPORARY STRIPING, PAINT TEMPORARY STRIPING AND INSTALL CONSTRUCTION FENCE AND JERSEY BARRIERS.
- INSTALL PERIMETER SEDIMENT CONTROL MEASURES IN THE VICINITY OF, AND DOWN GRADIENT FROM, THE LOCATION OF THE PLANNED CONSTRUCTION EXIT, CONSTRUCTION OFFICE TRAILER, AND TEMPORARY PARKING AND STORAGE AREAS. CLEAR ONLY THE MINIMUM AREA ABSOLUTELY NECESSARY TO INSTALL THESE PERIMETER CONTROL MEASURES.
- INSTALL STABILIZED CONSTRUCTION EXIT WITH SEDIMENT TRAP AND SET THE PROJECT OFFICE TRAILER.
- INSTALL REMAINING PERIMETER SEDIMENT CONTROL MEASURES AS SHOWN ON THE SITE MAPS. CLEAR ONLY THE MINIMUM AREA NECESSARY TO INSTALL PERIMETER CONTROL MEASURES.
- PREPARE TEMPORARY PARKING AND STORAGE AREA.
- STABILIZE SIDE SLOPES, BOTTOM AND ALL SIDES OF EMBANKMENTS OR SLOPES OF SEDIMENT TRAPS IMMEDIATELY UPON COMPLETION OF EACH, AS SPECIFIED IN THE SWPPP AND SEDIMENT TRAP DETAIL.

SANITARY AND SEPTIC WASTE NOTES

- PROVIDE CONVENIENT, WELL-MAINTAINED, AND PROPERLY LOCATED TOILET FACILITIES ON-SITE.
- LOCATE TOILET FACILITIES AWAY FROM STORM DRAIN INLETS AND WATERWAYS TO PREVENT ACCIDENTAL SPILLS AND CONTAMINATION OF STORMWATER.
- MAINTAIN CLEAN RESTROOM FACILITIES AND EMPTY PORTABLE TOILETS REGULARLY.
- WHERE POSSIBLE, PROVIDE SECONDARY CONTAINMENT PANS UNDER PORTABLE TOILETS.
- PROVIDE TIE-DOWNS AND STAKE-DOWNS FOR PORTABLE TOILETS.
- EDUCATE EMPLOYEES, SUBCONTRACTORS, AND SUPPLIERS ON LOCATIONS OF FACILITIES.
- TREAT OR DISPOSE OF SANITARY AND SEPTIC WASTE IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. DO NOT DISCHARGE OR BURY WASTEWATER AT THE CONSTRUCTION SITE.
- INSPECT FACILITIES FOR LEAKS. IF FOUND, REPAIR OR REPLACE IMMEDIATELY.
- SPECIAL CARE IS NECESSARY DURING MAINTENANCE (PUMP OUT) TO ENSURE THAT WASTE AND/OR BIOCODE ARE NOT SPILLED ON THE GROUND.

EROSION CONTROL COST ESTIMATE:

Description	Quantity	Unit	Unit Cost	Amount
SILT FENCE	1900	LF	\$6.00	\$11,400.00
INLET PROTECTION	4	EA	\$350.00	\$1,400.00
VEHICLE TRACK CTL	1	EA	\$3,075.00	\$3,075.00
TEMPORARY SEEDING	23700	SY	\$1.10	\$26,070.00
CONC WASH OUT	1	EA	\$760.00	\$760.00
STABILIZED STAGING AREA	1	EA	\$855.00	\$855.00
SUBTOTAL				\$43,560.00
40% MAINT FEE AND REPLACEMENT				\$17,424.00
TOTAL				\$60,984.00

GALLOWAY & COMPANY DOES NOT GUARANTEE THAT THE COST WILL NOT VARY FROM THESE OPINIONS OF PROBABLE COSTS.

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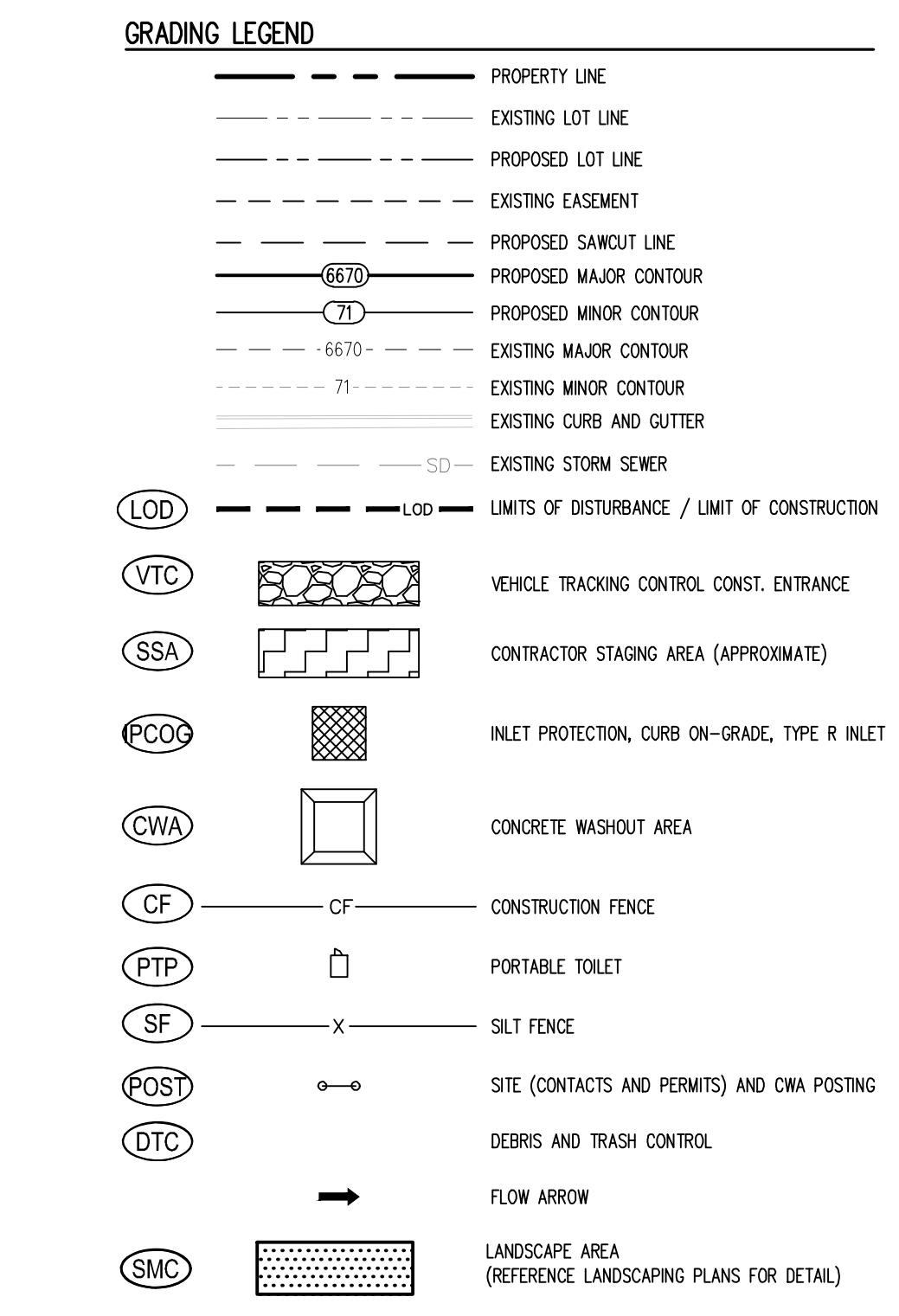
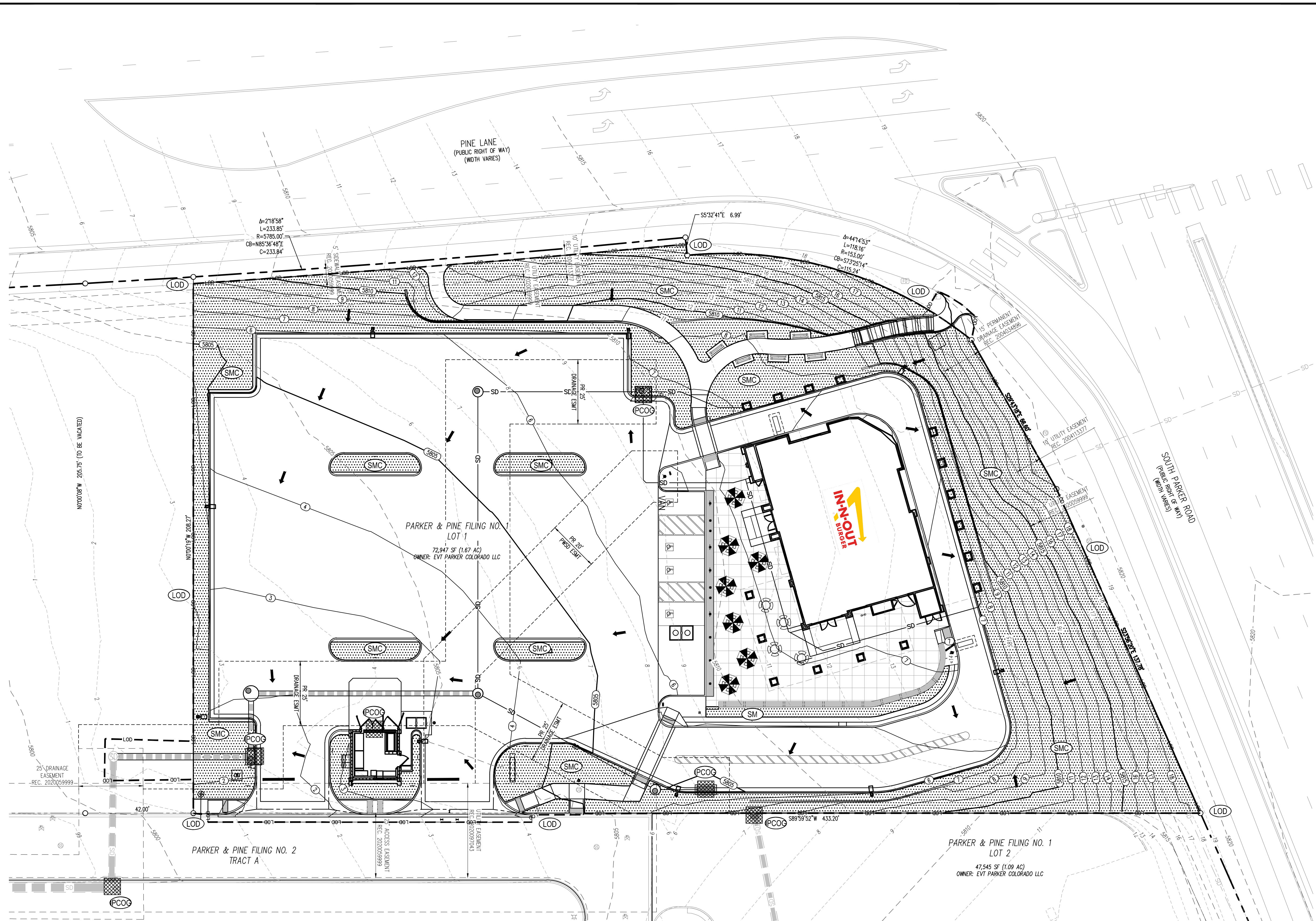
IN-N-OUT BURGER
CONSTRUCTION DOCUMENTS
PARKER & PINE FILING NO. 1, LOT 1
PARKER, CO 80134

#	Date	Issue / Description	Init.
1	12/21/2022	1ST CD SUBMITTAL	PJD

Project No: INC000014-20
Drawn By: JINE
Checked By: PJD
Date: 12/21/2022

CBMP PLAN INTERIM AND FINAL

C2.5
Sheet 14 of 28



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TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

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- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-Holing OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



STORMWATER MANAGEMENT PLAN NOTES

- THE CONTRACTOR AND/OR AUTHORIZED AGENTS SHALL REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATE IN, THE FLOW LINES AND PUBLIC RIGHTS OF WAYS OF THE TOWN AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE. DEVELOPMENT OR CONSTRUCTION PROJECT. SAID REMOVAL SHALL BE CONDUCTED IN A TIMELY MANNER.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT FUNCTION AS INTENDED. THE REQUIREMENTS OF THIS PLAN SHALL BE THE OBLIGATION OF THE PERMIT HOLDER UNTIL SUCH TIME AS THE PLAN IS PROPERLY COMPLETED AND THE PERMIT IS RELEASED.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION, EXCAVATION, TRENCHING, BORING, GRADING OR OTHER CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, ETC., RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
- THE CONTRACTOR SHALL LOCATE, INSTALL, AND MAINTAIN ALL WATER QUALITY EROSION CONTROL MEASURES AND AS INDICATED IN THE APPROVED STORMWATER MANAGEMENT PLAN.
- ROUGH-CUT STREETS SHALL BE MULCHED WITHIN 14 DAYS OF THE COMPLETION OF OVERLIT GRADING UNLESS A LAYER OF AGGREGATE ROAD BASE OR ASPHALT PAVING IS TO BE APPLIED TO SAID ROUGH-CUT STREETS WITHIN 14 DAYS.
- THE DEVELOPER, GENERAL CONTRACTOR, GRADING CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL ENSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THIS SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF THE MATERIAL DURING TRANSPORT ON PUBLIC RIGHTS OF WAY.
- SOILS THAT WILL BE STOCKPILED FOR MORE THAN 30 DAYS SHALL BE PROTECTED FROM WIND AND WATER EROSION WITHIN 14 DAYS OF STOCKPILE CONSTRUCTION. IF STOCKPILES ARE LOCATED WITHIN 100 FEET OF A DRAINAGEWAY, ADDITIONAL SEDIMENT CONTROLS SUCH AS TEMPORARY DIKES OR SILT FENCE SHALL BE REQUIRED.
- APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR OF THE DURATION OF THIS PROJECT. ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM A CONTROL MEASURE WHEN THE SEDIMENT OR DEBRIS ADVERSELY IMPACTS THE FUNCTIONING OF THE CONTROL MEASURE.
- CONSTRUCTION SEQUENCING MAY NECESSITATE RELOCATION OR TEMPORARY REMOVAL OF THE CONTROL MEASURES SHOWN HEREON. THE CONTRACTOR MAY RELOCATE CONTROL MEASURES INCLUDING VTC, SSA AND CONSTRUCTION TRAILERS AT THEIR DISCRETION. THE CONTROL MEASURES SHALL BE RESTORED AT SUCH A TIME AS THEY WILL NO LONGER IMPACT THE WORK. THE SITE COPY OF THE DRAWINGS SHALL BE MARKED UP ACCORDINGLY, AND A RECORD OF CONTROL MEASURE MODIFICATIONS KEPT IN THE SITE INSPECTION LOG.
- ALL EROSION AND SEDIMENT CONTROL PRACTICES AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THE SWMP MUST BE MAINTAINED IN EFFECTIVE OPERATION CONDITION. PROPER SELECTION AND INSTALLATION OF CONTROL MEASURES AND IMPLEMENTATION OF COMPREHENSIVE INSPECTION AND MAINTENANCE PROCEDURES IN ACCORDANCE WITH THE SWMP SHOULD BE ADEQUATE TO MEET THIS CONDITION. CONTROL MEASURES THAT ARE NOT ADEQUATELY MAINTAINED IN ACCORDANCE WITH GOOD ENGINEER, HYDROLOGIC, AND POLLUTION CONTROL PRACTICES, INCLUDING REMOVAL OF COLLECTED SEDIMENT OUTSIDE THE ACCEPTABLE TOLERANCES OF THE CONTROL MEASURES ARE CONSIDERED TO BE NO LONGER OPERATING EFFECTIVELY AND MUST BE ADDRESSED.

INTERIM EROSION CONTROL NOTES

- BEGIN EXCAVATION AND INSTALLATION OF SANITARY SEWER LINE AND STUB WITHIN CONSTRUCTION FENCE.
- PAVE DISTURBED AREA TO PRE-CONSTRUCTION CONDITION. REMOVE JERSEY BARRIERS, AND PAINT EXISTING STRIPING TO PRE-CONSTRUCTION CONDITION.
- BEGIN DEMOLITION OF ASPHALT. (PHASE DEMOLITION TO THE EXTENT PRACTICAL TO MINIMIZE THE AMOUNT OF AREA DISTURBED AT ANY POINT IN TIME)
- EXCAVATE AND SET TANKS AND USE SPOILS TO BUILD KIOSK PAD.
- BEGIN GRADING THE SITE. START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
- TEMPORARILY STABILIZE, THROUGHOUT CONSTRUCTION IMMEDIATELY FOLLOWING THE COMPLETION OF THE MOST RECENT LAND DISTURBING/GRADING ACTIVITY. ANY DISTURBED AREAS, INCLUDING MATERIAL STOCKPILES THAT ARE SCHEDULED OR LIKELY TO REMAIN INACTIVE FOR 14 DAYS OR MORE.
- INSTALL UTILITIES, STORM SEWERS, CURBS AND GUTTERS.
- INSTALL CONTROL MEASURES WITHIN OFF-SITE WORK AREAS PRIOR TO BEGINNING WORK IN THESE AREAS.
- IMMEDIATELY PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO GRADE.
- PREPARE SUBGRADE AS NECESSARY.
- PREPARE SITE FOR PAVING.
- PAVE SITE.
- MAINTAIN APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES, PER BMP DETAILS.
- COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
- REMOVE TEMPORARY STRIPING AND PAINT PERMANENT STRIPING.
- OBTAIN CONCURRENCE FROM CONSTRUCTION MANAGER (CM) AND THAT THE SITE HAS BEEN FULLY STABILIZED AND ALL CONSTRUCTION HAS BEEN COMPLETED.

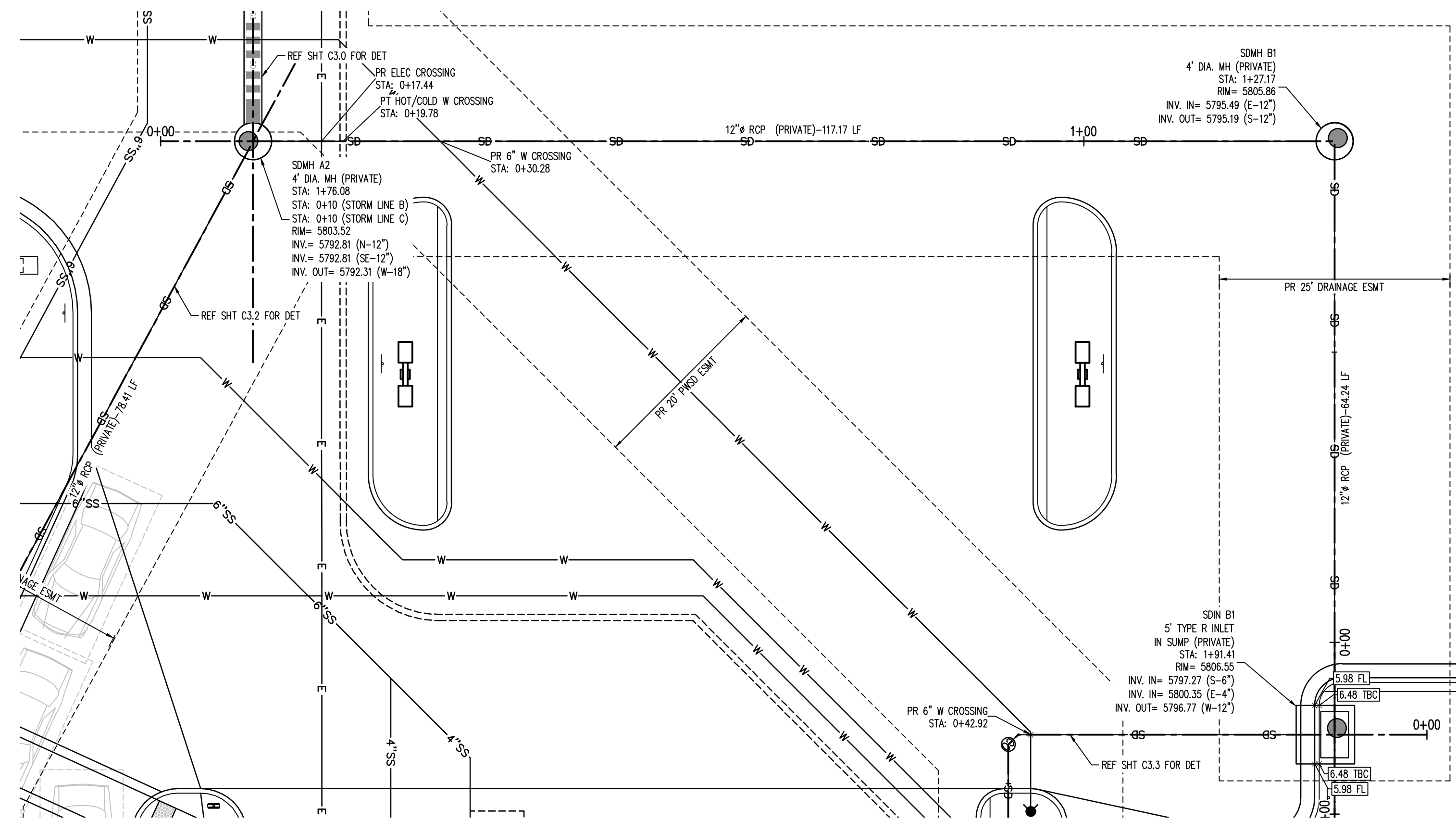
FINAL EROSION CONTROL NOTES

- REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (CONTROL MEASURES).
- STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF TEMPORARY CONTROL MEASURES.
- INSTALL PERMANENT SEED AND LANDSCAPING.
- CONTINUE DAILY INSPECTIONS AND REPORTS UNTIL THE CM FINAL DAILY INSPECTION REPORT, MARKED "READY TO TERMINATE PERMIT", IS SIGNED BY THE CONSTRUCTION MANAGER AND SUBMITTED SWPPP PLACED IN THE JOB SITE BINDER.
- PROVIDE OWNER WITH COMPLETE COPY OF JOBSITE BINDER.

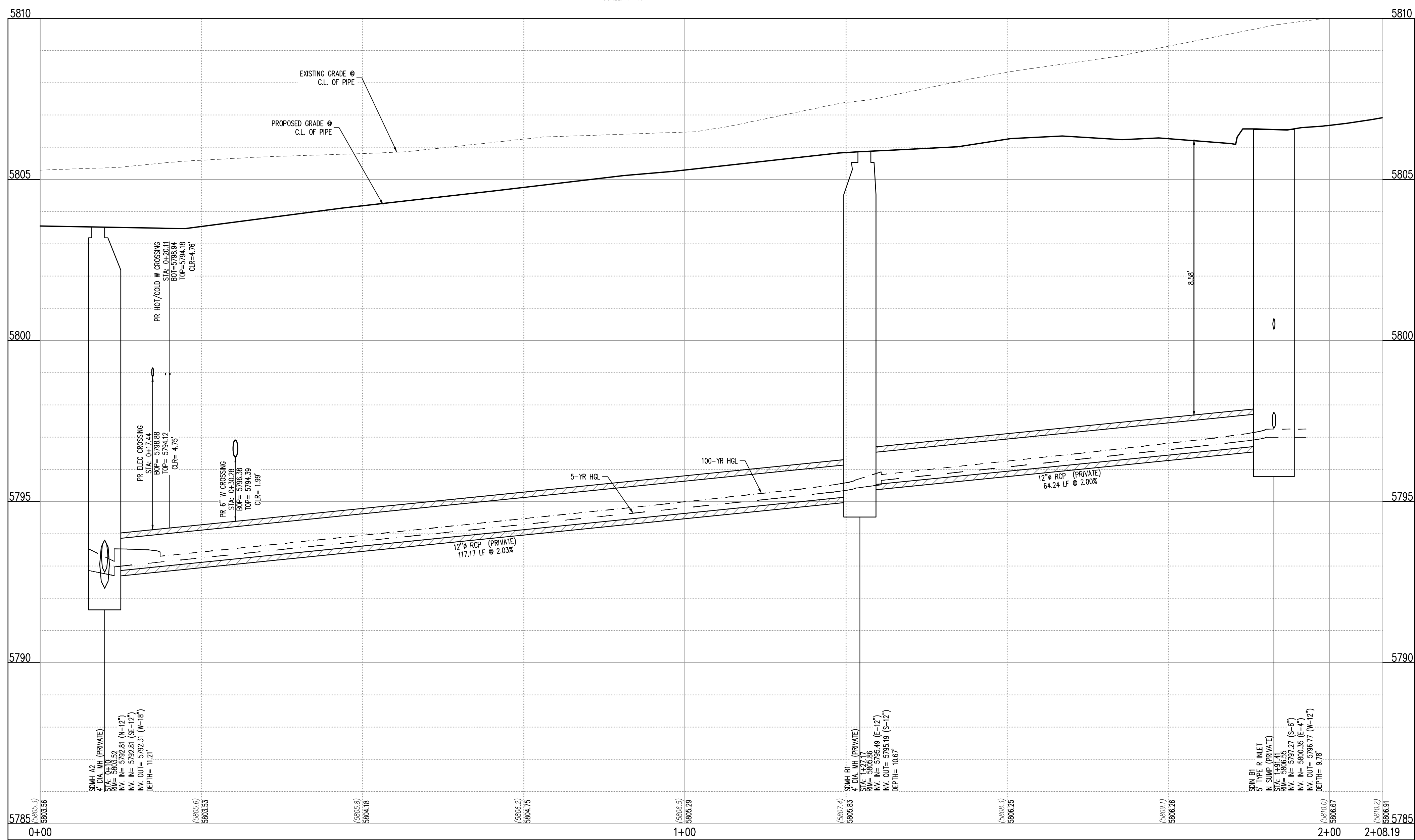
EROSION CONTROL COST ESTIMATE:

Description	Quantity	Unit	Unit Cost	Amount
SILT FENCE	1900	LF	\$6.00	\$11,400.00
INLET PROTECTION	4	EA	\$350.00	\$1,400.00
VEHICLE TRACK CTL	1	EA	\$3,075.00	\$3,075.00
TEMPORARY SEEDING	23700	SY	\$1.10	\$26,070.00
CONC WASH OUT	1	EA	\$760.00	\$760.00
STABILIZED STAGING AREA	1	EA	\$855.00	\$855.00
SUBTOTAL				\$43,560.00
40% MANT FEE AND REPLACEMENT				\$17,424.00
TOTAL				\$60,984.00

GALLOWAY & COMPANY DOES NOT GUARANTEE THAT THE COST WILL NOT VARY FROM THESE OPINIONS OF PROBABLE COSTS.



STORM LINE B - PLAN: STA 0+00 TO 2+00
SCALE: 1"=10'



STORM LINE B - PROFILE: STA 0+00 TO 2+00
SCALE: 1"=10' HORIZONTAL AND 1"=2' VERTICAL



KEY MAP
NOT TO SCALE

STORM LEGEND

- PROPERTY BOUNDARY LINE
- EXISTING LOT LINE
- - - PROPOSED LOT LINE
- - - EXISTING EASEMENT
- - - PROPOSED SAWCUT LINE
- - - EXISTING TO REMAIN
- PROPOSED NEW
- EXISTING ELECTRICAL PULL BOX
- EXISTING PAD MOUNTED TRANSFORMER
- EXISTING LIGHT POLE
- PROPOSED SITE LIGHTING
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM SEWER MANHOLE
- EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EXISTING STORM DRAIN
- EXISTING WATER LINE
- EXISTING SANITARY SEWER
- PROPOSED STORM DRAIN (GREATER THAN 12" DIAMETER)
- SD PROPOSED STORM DRAIN (LESS THAN 12" DIAMETER)
- SS PROPOSED SANITARY SEWER (SIZE INDICATED ON PLAN)
- W PROPOSED WATER LINE (SIZE INDICATED ON PLAN)
- E PROPOSED ELECTRIC LINE

NOTES:

1. ALL RCP STORM SEWER PIPE SHALL BE CLASS III.
2. ALL PROPOSED STORM SEWER IS PRIVATE.
3. STORM SEWER HORIZONTAL ALIGNMENT IS APPROXIMATE. STORM SEWER SHOWN ON PLANS IS CENTER OF STRUCTURE TO CENTER OF STRUCTURE. CONTRACTOR TO ADJUST STORM SEWER ALIGNMENT TO MIDPOINT OF INSIDE FACE OF BOX.
4. CONTRACTOR SHALL VERIFY LOCATION AND INVERTS OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF CONFLICTS.
5. DRY UTILITY ELEVATIONS ARE APPROXIMATE AND NEED TO BE VERIFIED BY THE CONTRACTOR.
6. PROPOSED FLOWLINE ELEVATION DOES NOT TAKE INTO ACCOUNT GUTTER DEPRESSION AT INLETS. REF. TBC ELEVATIONS AT CURB INLETS.
7. TBC ELEVATIONS OF INLET STRUCTURES IN PROFILE VIEW ARE AT CL OF ALIGNMENT. REF. TBC PLAN ELEVATIONS.
8. ALL STORM SEWER CONNECTIONS TO PREFABRICATED INLETS OR MANHOLES MUST USE A REINFORCED CONCRETE COLLAR.
9. STRUCTURE STATION AND RM ELEVATIONS ARE AT THE CENTER OF THE STRUCTURE. REFERENCE PLAN ELEVATIONS AND RM GRADE LABELS.
10. DRY UTILITY CROSSING LOCATIONS & DEPTHS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF CONFLICTS. EXISTING UTILITY RELOCATIONS SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

LEGAL DESCRIPTION

LOT 1, PARKER & PINE FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO

BENCHMARK

PUBLISHED BENCHMARK: ELEVATIONS ARE BASED ON A DOUGLAS COUNTY CONTROL MONUMENT, STATION NAME: CRAIN, BEING A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 INCH CULVERT, 25 FEET WEST OF THE EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.

ELEVATION = 5734.25 FEET (NAVD 88) PUBLISHED BY DOUGLAS COUNTY

BASIS OF BEARING

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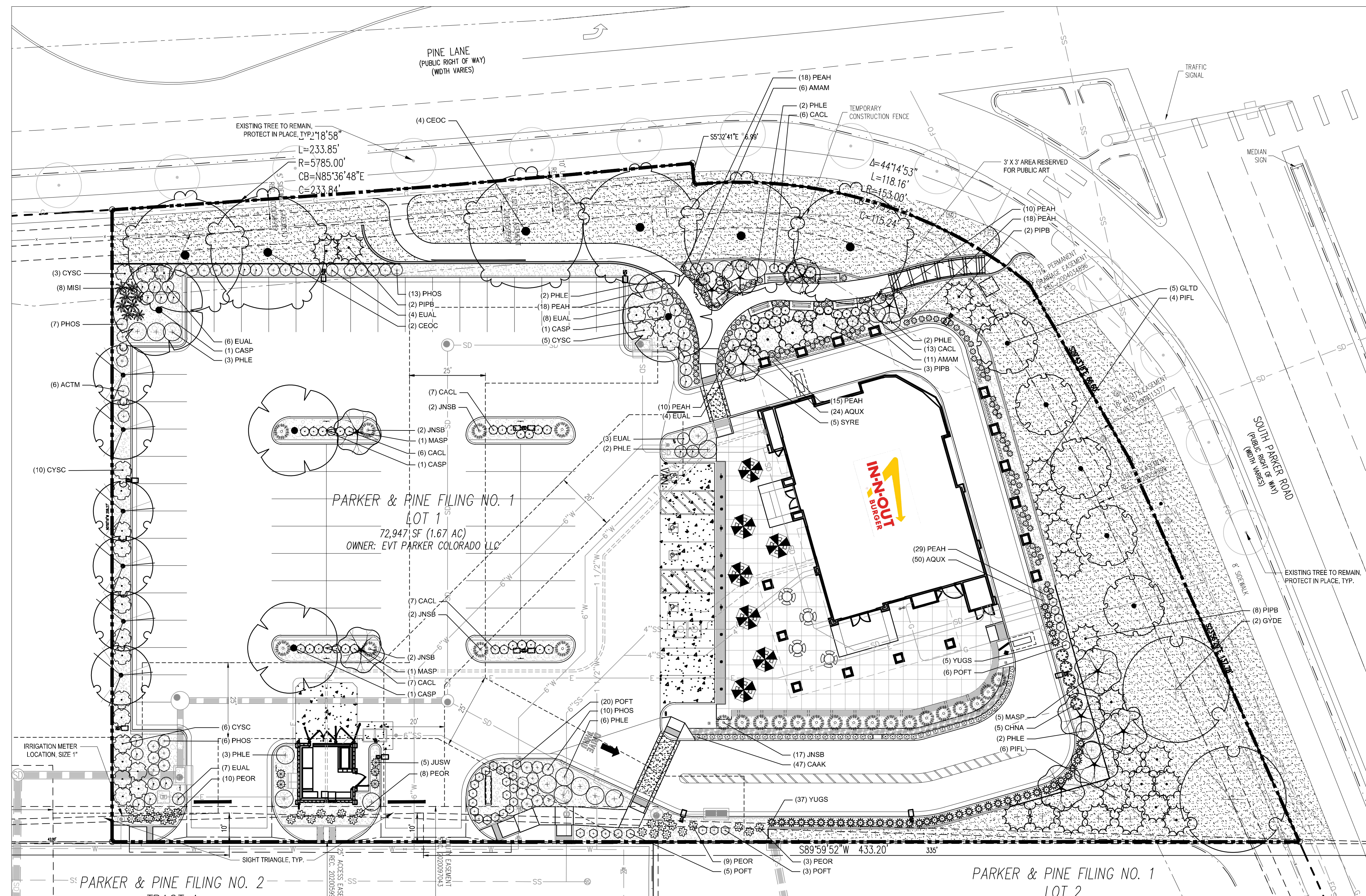


IN-N-OUT BURGER
CONSTRUCTION DOCUMENTS
PARKER & PINE FILING NO. 1, LOT 1
PARKER, CO 80134

#	Date	Issue / Description	Init.
1	12/21/2022	1ST CD SUBMITTAL	PJD

Project No: INC000014-20
Drawn By: JNE
Checked By: PJD
Date: 12/21/2022

STORM PLAN & PROFILE



PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME
	CASP	4	NORTHERN CATALPA	CATALPA SPECIOSA
	CEOC	6	COMMON HACKBERRY	CELTIS OCCIDENTALIS
	GLTD	5	STREET KEEPER HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS 'DRAVES' TM
	GYDE	2	KENTUCKY COFFEETREE 'ESPRESSO'	GYMNOCLAUDUS DIOICA 'ESPRESSO'
EVERGREEN TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME
	PIPB	15	BAKER COLORADO SPRUCE	PICEA PUNGENS 'BAKER'
	PIFL	10	VANDERWOLF'S PYRAMID LIMBER PINE	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'
ORNAMENTAL TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME
	ACTM	6	HOT WINGS TATARIAN MAPLE	ACER TATARICUM 'GARANN' TM
	MASP	7	SPRING SNOW CRABAPPLE	MALUS X 'SPRING SNOW'
	SYRE	5	JAPANESE TREE LILAC	SYRINGA RETICULATA
UPRIGHT JUNIPERS	CODE	QTY	COMMON NAME	BOTANICAL NAME
	JUSW	5	WOODWARD JUNIPER	JUNIPERUS SCOPULORUM 'WOODWARD'
DECIDUOUS SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME
	CACL	46	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS 'BLUE MIST'
	CHNA	5	RABBITBRUSH	CHRYSOETHAMNUS NAUSEOSUS
	EUAL	32	COMPACT BURNING BUSH	EUKOBYMUS ALATUS 'COMPACTUS'
	AMAM	17	WAXFLOWER	JAMESIA AMERICANA
	PHLE	22	CHEYENNE MOCKORANGE	PHILADELPHUS LEWISII 'PWY01S' TM
	PHOS	36	SUMMER WINE NINEBARK	PHYSOCARPUS OPULIFOLIUS 'SEWARD' TM
	POFT	21	TANGERINE POTENTILLA	POTENTILLA FRUTICOSA 'TANGERINE'
EVERGREEN SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME
	CYSI	24	MOONLIGHT BROOM	CYTISUS SCOPARIUS 'MOONLIGHT'
	JNSB	25	BROADMOOR JUNIPER	JUNIPERUS SABINA 'BROADMOOR'
	YUGS	42	GOLDEN SWORD ADAM'S NEEDLE	YUCCA FILAMENTOSA 'GOLDEN SWORD'
ORNAMENTAL GRASSES	CODE	QTY	COMMON NAME	BOTANICAL NAME
	CAAK	47	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'
	MISI	8	MAIDEN GRASS	MISCANTHUS SINENSIS 'GRACILIMUS'
	PEAH	118	HAMELN FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'HAMELN'
	PEOR	30	KARLEY ROSE FOUNTAIN GRASS	PENNISETUM ORIENTALE 'KARLEY ROSE'
PERENNIALS	CODE	QTY	COMMON NAME	BOTANICAL NAME
	AQUX	74	HYBRID COLUMBINE	AQUILEGIA X
MULCH	CODE	QTY	COMMON NAME	BOTANICAL NAME
	RMULCH	9,206 SF	2"-4" ROCK COBBLE MULCH	2"-4" ROCK COBBLE MULCH
SOD/SEED	CODE	QTY	COMMON NAME	BOTANICAL NAME
	SOD	17,654 SF	COLORADO BLUE BUFFALO SOD	COLORADO BLUE BUFFALO SOD

SEE SHEET 4 FOR FULL PLANTING SCHEDULE.

PLAN PREPARED BY:

GALLOWAY & COMPANY, INC.
 610 S. WILLOW DRIVE, SUITE 320
 GREENWOOD VILLAGE, CO 80111
 TEL: (303) 770-8884
 FAX: (303) 770-3636

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TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

CAUTION
 UTILITIES EXIST WITHIN CONSTRUCTION LIMITS. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THEIR LOCATION PRIOR TO CONSTRUCTION.

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 UTILITIES EXIST WITHIN CONSTRUCTION LIMITS. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THEIR LOCATION PRIOR TO CONSTRUCTION.

UTILITY NOTES

1. THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
2. THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.
3. THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HERE IN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.

SIGHT DISTANCE CERTIFICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE PROPOSED SUBDIVISION, PARKER & PINE FILING NO. 1, LOT 1, IS DESIGNED IN ACCORDANCE WITH THE TOWN OF PARKER SIGHT DISTANCE CRITERIA AND WITH AASHTO POLICY ON GEOMETRIC DESIGN OF HIGHWAY AND STREETS.

ANY WORK ACCOMPLISHED WITHOUT THE APPROVAL OF THE INSPECTOR WILL BE SUBJECT TO REJECTION.
 REVIEWED FOR CONFORMANCE TO PARKER WATER AND SANITATION DISTRICT STANDARDS.
 BY: _____
 (DISTRICT REPRESENTATIVE)
 DATE: _____
 APPROVED FOR CONSTRUCTION:
 PARKER WATER AND SANITATION DISTRICT
 BY: _____
 (DISTRICT ENGINEER)
 DATE: _____
 (REGISTERED PROFESSIONAL ENGINEER) (LICENSE NO.) (DATE)

THE DISTRICT INSPECTOR MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO START OF CONSTRUCTION. CALL PARKER WATER AND SANITATION DISTRICT AT 303-841-4627. THE DISTRICT WILL PROVIDE PERIODIC INSPECTIONS OF THE WORK. 24 HOUR NOTICE TO THE INSPECTOR IS REQUIRED FOR SCHEDULING INSPECTIONS.

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IN-N-OUT BURGER
 SITE PLAN
 PARKER & PINE FILING NO. 1, LOT 1
 PARKER, CO 80134

#	Date	Issue / Description	Init.
1	12/21/2022	1ST CD SUBMITTAL	PJD

Project No:	INC000014-20
Drawn By:	KES
Checked By:	JW
Date:	12/23/2022

LANDSCAPE PLAN

L1.0
 Sheet 26 of 28

