

PRELIMINARY
NOT FOR BIDDING
NOT FOR CONSTRUCTION

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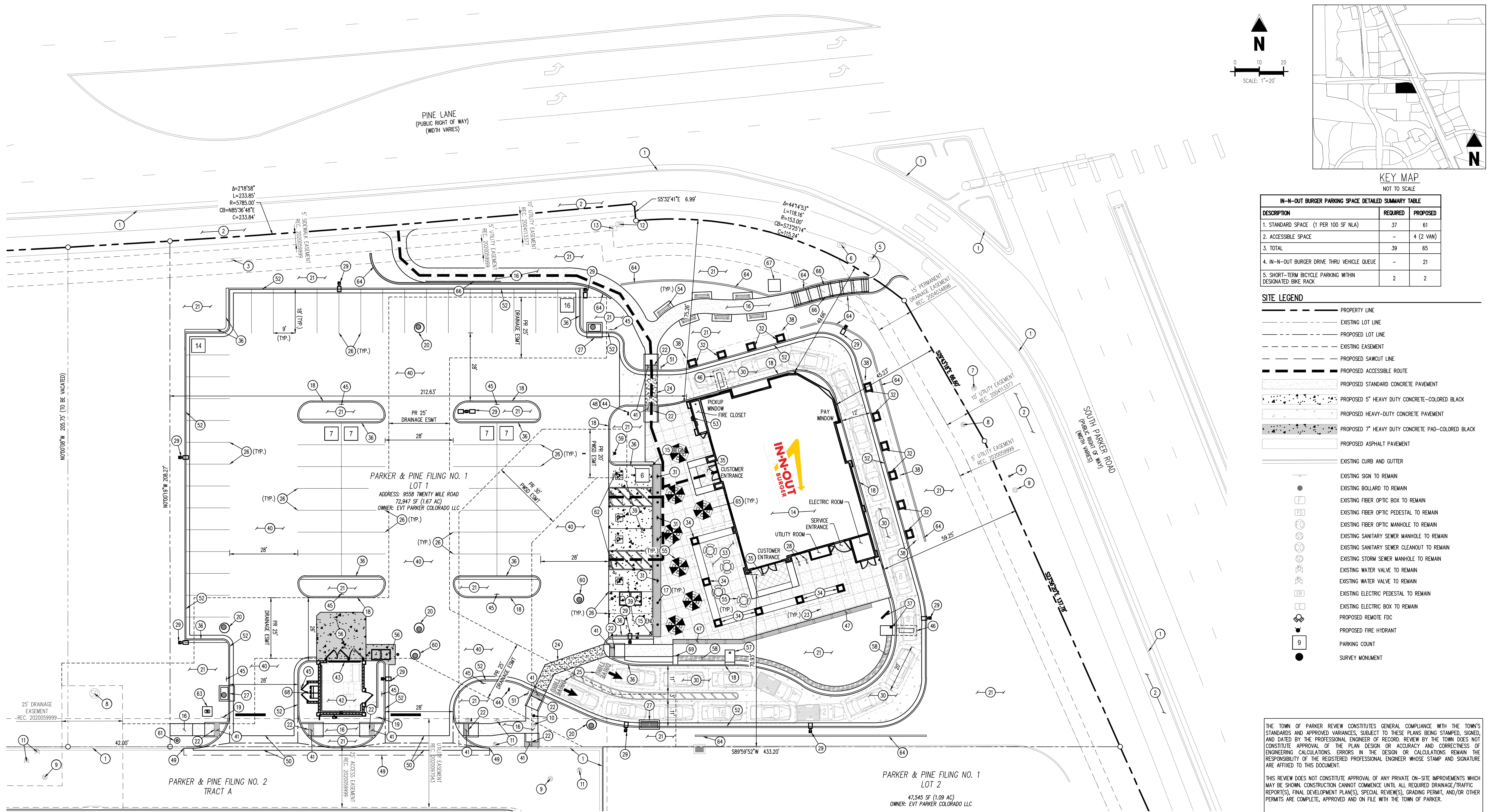
IN-N-OUT BURGER
CONSTRUCTION DOCUMENTS
PARKER & PINE FILING NO. 1, LOT 1
PARKER, CO 80134

#	Date	Issue / Description	Init.
1	12/21/2022	1ST CD SUBMITTAL	PJD
2	03/17/2023	2ND CD SUBMITTAL	PJD
3	04/26/2023	3RD CD SUBMITTAL	PJD

Project No:	INC000014-20
Drawn By:	JNE
Checked By:	PJD
Date:	04/26/2023

SITE PLAN

C1.0
Sheet 3 of 36



IN-N-OUT BURGER PARKING SPACE DETAILED SUMMARY TABLE

DESCRIPTION	REQUIRED	PROPOSED
1. STANDARD SPACE (1 PER 100 SF NLA)	37	61
2. ACCESSIBLE SPACE	-	4 (2 VAN)
3. TOTAL	39	65
4. IN-N-OUT BURGER DRIVE THRU VEHICLE QUEUE	-	21
5. SHORT-TERM BICYCLE PARKING WITHIN DESIGNATED BIKE RACK	2	2

SITE LEGEND

---	PROPERTY LINE
---	EXISTING LOT LINE
---	PROPOSED LOT LINE
---	EXISTING EASEMENT
---	PROPOSED SAWCUT LINE
---	PROPOSED ACCESSIBLE ROUTE
---	PROPOSED STANDARD CONCRETE PAVEMENT
---	PROPOSED 5" HEAVY DUTY CONCRETE-COLORED BLACK
---	PROPOSED HEAVY-DUTY CONCRETE PAVEMENT
---	PROPOSED 7" HEAVY DUTY CONCRETE PAD-COLORED BLACK
---	PROPOSED ASPHALT PAVEMENT
---	EXISTING CURB AND GUTTER
●	EXISTING SIGN TO REMAIN
○	EXISTING BOLLARD TO REMAIN
□	EXISTING FIBER OPTIC BOX TO REMAIN
□	EXISTING FIBER OPTIC PEDESTAL TO REMAIN
○	EXISTING FIBER OPTIC MANHOLE TO REMAIN
○	EXISTING SANITARY SEWER MANHOLE TO REMAIN
○	EXISTING SANITARY SEWER CLEANOUT TO REMAIN
○	EXISTING STORM SEWER MANHOLE TO REMAIN
○	EXISTING WATER VALVE TO REMAIN
○	EXISTING WATER VALVE TO REMAIN
○	EXISTING ELECTRIC PEDESTAL TO REMAIN
○	EXISTING ELECTRIC BOX TO REMAIN
○	PROPOSED REMOTE FDC
○	PROPOSED FIRE HYDRANT
○	PARKING COUNT
○	SURVEY MONUMENT

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TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

LEGAL DESCRIPTION
LOT 1, PARKER & PINE FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO

BENCHMARK
PUBLISHED BENCHMARK: ELEVATIONS ARE BASED ON A DOUGLAS COUNTY CONTROL MONUMENT, STATION NAME: CRAIN, BEING A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN CULVERT, 25 FEET WEST OF THE EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.

ELEVATION = 5734.25 FEET (NAV 88) PUBLISHED BY DOUGLAS COUNTY

BASIS OF BEARING
BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST BEARS N001°7'51"E, MONUMENTED BY THE SOUTHWEST CORNER OF SAID SECTION 10, BEING A 3-1/4" INCH ALUMINUM CAP STAMPED "LS 19003", AND MONUMENTED BY THE WEST QUARTER CORNER OF SAID SECTION 10, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 22561", AS SHOWN HEREON.

CAUTION - NOTICE TO CONTRACTOR

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- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



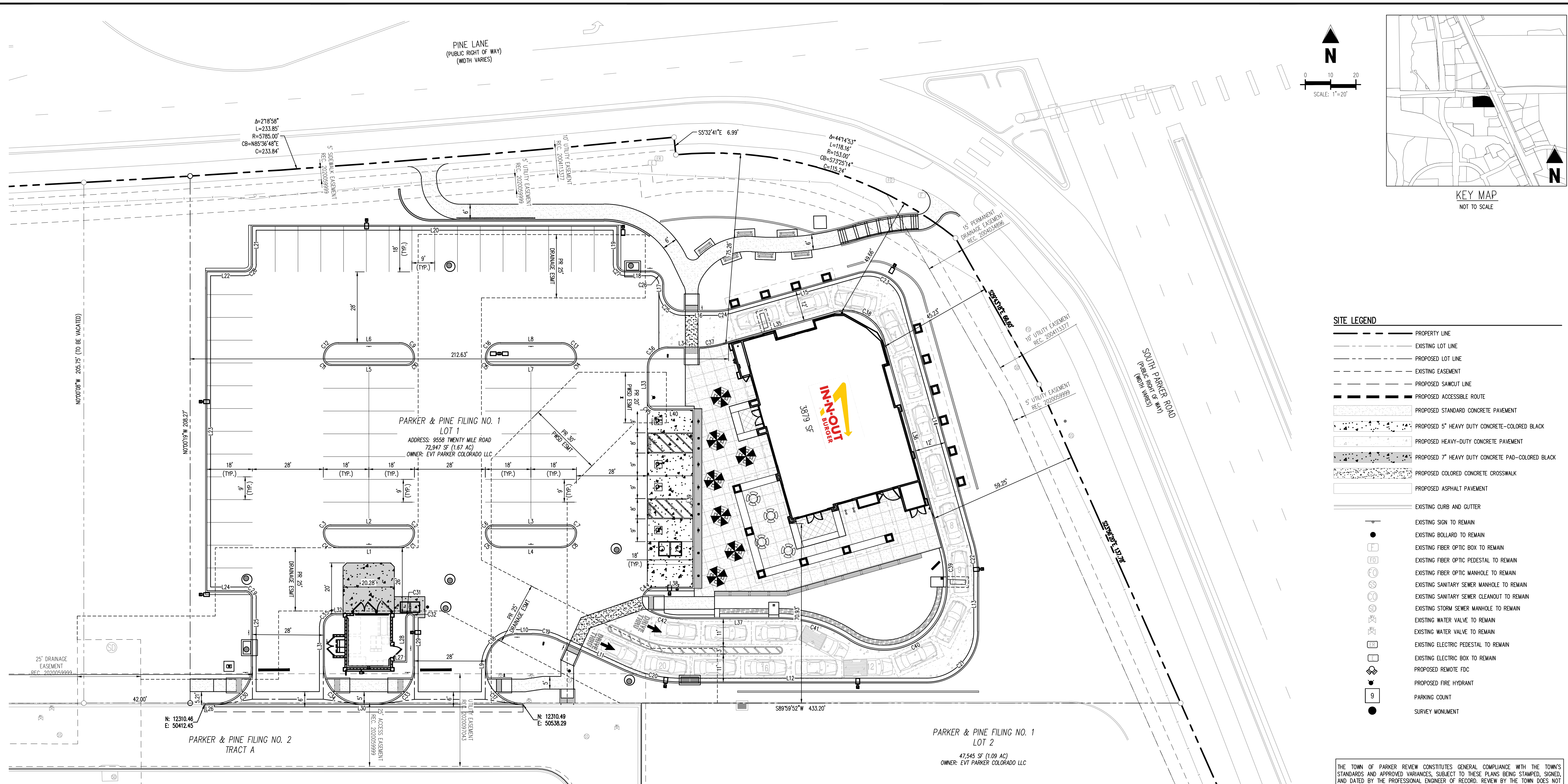
- SCHEDULE**
- | | | | | |
|--|--|--|---|--|
| 1 EXISTING CURB AND GUTTER TO REMAIN | 17 PROPOSED WHITE DECORATIVE BOLLARD (REF DET 2, SHT C1.3) | 33 PROPOSED OUTDOOR SEATING AREA (REF ARCHITECTURAL PLANS) | 49 PROPOSED FIRE LANE SIGN (REF DET 7, SHT C1.3) | 60 NOT USED |
| 2 EXISTING SIDEWALK TO REMAIN | 18 PROPOSED PRIVATE 6" PLANTER CURB (REF DET 24, SHT C1.4) | 34 PROPOSED OUTDOOR SEATING CANOPY COLUMN (REF ARCHITECTURAL PLANS) | 46 PROPOSED VEHICLE DETECTOR LOOP. INSTALL (2) LOOPS, 12" FROM FACE OF CURB; FIRST LOOP TO BE 2" BELOW TOP OF PAVEMENT, SECOND LOOP TO BE 1" BELOW THE FIRST. NO REBAR WITHIN 12" OF LOOPS | 61 PROPOSED 1" IRRIGATION TAP & METER |
| 3 EXISTING SIGN TO REMAIN | 19 PROPOSED "STOP" SIGN, MUTCD R1-1 | 35 PROPOSED DECORATIVE CONCRETE JOINT PATTERN AT CUSTOMER ENTRY (REF DET 18 & 19, SHT C1.4) | 47 PROPOSED SEAT WALL (REF DET 12, SHT C1.3) | 62 PROPOSED 9'X18" ADA PARKING STALL AND PAINTED ACCESS AISLE WITH 4" SOLID BLUE STRIPING 2" O.C. @ 45° ANGLE (REF DET 6, SHT C1.3 AND DET 26, SHT C1.4) |
| 4 EXISTING BOLLARD TO REMAIN | 20 PROPOSED STORM SEWER MANHOLE (REF STORM SEWER PLANS) | 36 PROPOSED 6" PLANTER CURB W/ 12" SIDEWALK (REF DET 25, SHT C1.4) | 48 PROPOSED "THANK YOU" SIGN | 63 EXISTING ELECTRIC TRANSFORMER ON CONCRETE PAD TO REMAIN |
| 5 EXISTING FIBER OPTIC BOX TO REMAIN | 21 PROPOSED LANDSCAPED AREA (REF LANDSCAPE PLAN) | 37 PROPOSED IN-N-OUT MENU BOARD AND SPEAKER BOX | 49 PROPOSED SAWCUT EXISTING ASPHALT PAVEMENT | 64 PROPOSED RETAINING WALL |
| 6 EXISTING FIBER OPTIC PEDESTAL TO REMAIN | 22 PROPOSED ADA RAMP WITH DETECTABLE WARNING | 38 PROPOSED IN-N-OUT DRIVE THRU CANOPY (REF ARCHITECTURAL PLANS) | 50 PROPOSED 6" CONCRETE CROSSSPAN (REF DET 17, SHT C1.4) | 65 PROPOSED SEATING TABLE WITH UMBRELLA |
| 7 EXISTING FIBER OPTIC MANHOLE TO REMAIN | 23 PROPOSED CONCRETE SAWCUT JOINT (REF DET 9, SHT C1.3) | 39 PROPOSED HEAVY-DUTY CONCRETE PAVEMENT COLORED JET BLACK PER DAVIS COLORS #860 (LIQUID DOSE RATE: 9 LBS PER 94 LB SACK OF CEMENT) FOR PARKING LOT - MIN 4" THICK 4,000 PSI REINFORCED HEAVY-DUTY CONCRETE OVER 6" MINIMUM THICK 95% COMPACTED CLASS 2 AGGREGATE BASE OVER 12" MINIMUM THICK SUBGRADE SOIL MOISTURE CONDITIONED TO AT LEAST OPTIMUM MOISTURE CONTENT COMPACTED TO AT LEAST 95% OF ITS MAXIMUM DENSITY. REINFORCEMENT TO CONSIST OF NO. 3 REBAR AT 18" O.C. EACH WAY AT MID-HEIGHT OF SLAB (REF GEOTECHNICAL REPORT FOR SPECIFICATIONS) (REF DET 16, SHT C1.4) | 51 PROPOSED "PEDESTRIAN CROSSING" SIGN | 66 PROPOSED HANDRAILS |
| 8 EXISTING STORM DRAIN MANHOLE TO REMAIN | 24 PROPOSED COLORED CONCRETE CROSSWALK (REF DET 27, SHT C1.5) | 40 PROPOSED ASPHALT PAVEMENT - 4.5" THICK OVER 6" MINIMUM THICK 95% COMPACTED CLASS 2 AGGREGATE BASE OVER 12" MINIMUM THICK SUBGRADE SOIL MOISTURE CONDITIONED TO AT LEAST 95% OF ITS MAXIMUM DENSITY. REINFORCEMENT TO CONSIST OF NO. 3 REBAR AT 18" O.C. EACH WAY AT MID-HEIGHT OF SLAB (REF GEOTECHNICAL REPORT FOR SPECIFICATIONS) (REF DET 22, SHT C1.4) | 52 PROPOSED PRIVATE 6" CURB W/ 18" GUTTER (REF DET 20, SHT C1.4) | 67 PROPOSED PUBLIC ART AREA |
| 9 EXISTING SANITARY SEWER MANHOLE TO REMAIN | 25 PROPOSED DIRECTIONAL MARKING (REF DET 5, SHT C1.3) | 41 INSTALL 3" WIDE ADA ACCESSIBLE TRUNCATED DOMES DETECTABLE WARNING STRIP. CONTRACTOR TO PROVIDE SAMPLE TO BUILDING INSPECTOR FOR APPROVAL PRIOR TO INSTALLATION. (REF DET 15, SHT C1.4) | 53 PROPOSED FIRE DEPARTMENT CONNECTION | 68 PROPOSED EUSERC CABINET |
| 10 EXISTING SANITARY SEWER CLEANOUT TO BE REMOVED AND REPLACED | 26 PROPOSED 9'X18" STANDARD PARKING STALL W/ 4" SOLID WHITE STRIPING (REF DET 26, SHT C1.4) | 42 PROPOSED CONCRETE BLOCK TRASH ENCLOSURE, ROOF COVERED TRASH, RECYCLE BIN, TRASH COMPACTOR AND STORAGE CONTAINER ENCLOSURE, NOT SUBJECT TO STORM WATER RUNOFF, PER DETS SHOWN ON THE ARCHITECTURAL BUILDING PLANS. | 54 PROPOSED BENCH SEATING (REF LANDSCAPE ARCHITECTURAL PLANS) | 69 PROPOSED SANITARY MANHOLE |
| 11 EXISTING WATER VALVE TO REMAIN | 27 PROPOSED STORM SEWER INLET; REF STORM SEWER PLANS | 43 PROPOSED 12" WIDE BY 13" LONG CONCRETE TRENCH DRAIN AT THE SPECIFIED ELEVATIONS SHOWN ON SHT C2.1. INSTALL TRAFFIC RATED GRATE SECURED TO PROTECT AGAINST THEFT PER PLUMBING PLANS. TRENCH DRAIN NOT SUBJECT TO STORM WATER RUN-OFF. | 55 PROPOSED COVERED SEATING TABLE (REF ARCHITECTURAL PLANS) | |
| 12 EXISTING ELECTRIC PEDESTAL TO REMAIN | 28 PROPOSED BICYCLE RACK | 44 PROPOSED IN-N-OUT DRIVE THRU SIGNAGE | 56 PROPOSED HEAVY-DUTY CONCRETE PAD COLORED JET BLACK PER DAVIS COLORS #860 (LIQUID DOSE RATE: 9 LBS PER 94 LB SACK OF CEMENT) IN FRONT OF TRASH ENCLOSURE - MIN 7" THICK 4,000 PSI REINFORCED HEAVY-DUTY CONCRETE OVER 6" MINIMUM THICK 95% COMPACTED CLASS 2 AGGREGATE BASE OVER 12" MINIMUM THICK SUBGRADE SOIL MOISTURE CONDITIONED TO AT LEAST OPTIMUM MOISTURE CONTENT COMPACTED TO AT LEAST 95% OF ITS MAXIMUM DENSITY. REINFORCEMENT TO CONSIST OF NO. 3 REBAR AT 18" O.C. EACH WAY AT MID-HEIGHT OF SLAB (PER GEOTECH RECOMMENDATIONS. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION) | |
| 13 EXISTING ELECTRIC BOX TO REMAIN | 29 PROPOSED SITE LIGHTS (REF PHOTOMETRIC PLAN SHT ####) | | 57 PROPOSED CONCRETE PAD WITH UMBRELLA | |
| 14 PROPOSED 3879 SF IN-N-OUT BURGER RESTAURANT, REF BUILDING PLANS | 30 PROPOSED MIN 6" THICK 4,000 PSI REINFORCED HEAVY-DUTY CONCRETE OVER 6" MINIMUM THICK 95% COMPACTED CLASS 2 AGGREGATE BASE OVER 12" MINIMUM THICK SUBGRADE SOIL MOISTURE CONDITIONED TO AT LEAST OPTIMUM MOISTURE CONTENT COMPACTED TO AT LEAST 95% OF ITS MAXIMUM DENSITY. REINFORCEMENT TO CONSIST OF NO. 3 REBAR AT 18" O.C. EACH WAY AT MID-HEIGHT OF SLAB (REF DET 16, SHT C1.4) REFER TO GEOTECHNICAL REPORT FOR PAVEMENT SPECIFICATIONS | | 58 PROPOSED ASSOCIATE WALKWAY (REF DET 14, SHT C1.3) | |
| 15 PROPOSED 0" CONCRETE CURB (REF DET 24, SHT C1.4) | 31 PROPOSED ADA SIGNAGE W/ PAINTED WHITE POLE (REF DET 3, SHT C1.3) | | 59 PROPOSED FIRE HYDRANT | |

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- PROPOSED REMOTE FDC
- PROPOSED FIRE HYDRANT
- PARKING COUNT
- SURVEY MONUMENT

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2	03/17/2023	2ND CD SUBMITTAL	PJD
3	04/28/2023	3RD CD SUBMITTAL	PJD

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C1	12372.536 50489.341	9.43	6.00	N45°01'15.29"E	90°03'16"	8.49	C12	12447.532 50469.338	9.43	6.00	N45°01'15.29"E	90°03'16"	8.49	C20	12324.011 50579.159	21.43	50.66	S77°43'15.47"E	24°14'17"	21.27	L19	12484.538 50575.342	15.00		N0°00'08"W			L29	12344.785 50486.345	19.14		S0°00'08"E			C33	12499.538 50575.341	144.00		S89°59'52"W			L30	12310.645 50480.341	6.00		S0°00'08"E			L31	12310.647 50474.339	23.57	15.00	S45°00'34.37"W	90°01'24"	21.22	C34	12484.533 50431.339	15.00		S0°00'08"E			L32	12310.647 50474.339	23.56	15.00	N44°59'18.76"W	89°58'50"	21.21	C35	12484.533 50431.339	4.71	3.00	S44°59'52.28"W	90°00'00"	4.24	L33	12325.648 50489.345	15.89		N0°00'08"E			C36	12310.647 50474.339	23.56	15.00	N44°59'18.76"W	89°58'50"	21.21	L34	12325.648 50489.345	15.89		N0°00'08"E			C37	12484.533 50431.339	15.00		S89°59'52"W			L35	12310.647 50474.339	23.56	15.00	N44°59'18.76"W	89°58'50"	21.21	C38	12484.533 50431.339	4.71	3.00	S44°59'52.28"W	90°00'00"	4.24	L36	12325.648 50489.345	15.89		N0°00'08"E			C39	12484.533 50431.339	15.00		S0°00'08"E			L37	12310.647 50474.339	23.56	15.00	N44°59'18.76"W	89°58'50"	21.21	C40	12484.533 50431.339	4.71	3.00	S44°59'52.28"W	90°00'00"	4.24	L38	12325.648 50489.345	15.89		N0°00'08"E			C41	12484.533 50431.339	15.00		S89°59'52"W			L39	12310.647 50474.339	23.56	15.00	N44°59'18.76"W	89°58'50"	21.21	C42	12484.533 50431.339	4.71	3.00	S44°59'52.28"W	90°00'00"	4.24	L40	12325.648 50489.345	15.89		N0°00'08"E			C43	12484.533 50431.339	15.00		S0°00'08"E			L41	12310.647 50474.339	23.56	15.00	N44°59'18.76"W	89°58'50"	21.21	C44	12484.533 50431.339	4.71	3.00	S44°59'52.28"W	90°00'00"	4.24	L42	12325.648 50489.345	15.89		N0°00'08"E			C45	12484.533 50431.339	15.00		S89°59'52"W			L43	12310.647 50474.339	23.56	15.00	N44°59'18.76"W	89°58'50"	21.21	C46	12484.533 50431.339	4.71	3.00	S44°59'52.28"W	90°00'00"	4.24	L44	12325.648 50489.345	15.89		N0°00'08"E			C47	12484.533 50431.339	15.00		S0°00'08"E			L45	12310.647 50474.339	23.56	15.00	N44°59'18.76"W	89°58'50"	21.21	C48	12484.533 50431.339	4.71	3.00	S44°59'52.28"W	90°00'00"	4.24	L46	12325.648 50489.345	15.89		N0°00'08"E			C49	12484.533 50431.339	15.00		S89°59'52"W			L47	12310.647 50474.339	23.56	15.00	N44°59'18.76"W	89°58'50"	21.21	C50	12484.533 50431.339	4.71	3.00	S44°59'52.28"W	90°00'00"	4.24	L48	12325.648 50489.345	15.89		N0°00'08"E			C51	12484.533 50431.339	15.00		S0°00'08"E			L49	12310.647 50474.339	23.56	15.00	N44°59'18.76"W	89°58'50"	21.21	C52	12484.533 50431.339	4.71	3.00	S44°59'52.28"W	90°00'00"	4.24	L50	12325.648 50489.345	15.89		N0°00'08"E			C53	12484.533 50431.339	15.00		S89°59'52"W			L51	12310.647 50474.339	23.56	15.00	N44°59'18.76"W	89°58'50"	21.21	C54	12484.533 50431.339	4.71	3.00	S44°59'52.28"W	90°00'00"	4.24	L52	12325.648 50489.345	15.89		N0°00'08"E			C55	12484.533 50431.339	15.00		S0°00'08"E			L53	12310.647 50474.339	23.56	15.00	N44°59'18.76"W	89°58'50"	21.21	C56	12484.533 50431.339	4.71	3.00	S44°59'52.28"W	90°00'00"	4.24	L54	12325.648 50489.345	15.89		N0°00'08"E			C57	12484.533 50431.339	15.00		S89°59'52"W			L55	12310.647 50474.339	23.56	15.00	N44°59'18.76"W	89°58'50"	21.21	C58	12484.533 50431.339	4.71	3.00	S44°59'52.28"W	90°00'00"	4.24	L56	12325.648 50489.345	15.89		N0°00'08"E			C59	12484.533 50431.339	15.00		S0°00'08"E			L57	12310.647 50474.339	23.56	15.00	N44°59'18.76"W	89°58'50"	21.21	C60	12484.533 50431.339	4.71	3.00	S44°59'52.28"W	90°00'00"	4.24	L58	12325.648 50489.345	15.89		N0°00'08"E			C61	12484.533 50431.339	15.00		S89°59'52"W			L59	12310.647 50474.339	23.56	15.00	N44°59'18.76"W	89°58'50"	21.21	C62	12484.533 50431.339	4.71	3.00	S44°59'52.28"W	90°00'00"	4.24	L60	12325.648 50489.345	15.89		N0°00'08"E			C63	12484.533 50431.339	15.00		S0°00'08"E			L61	12310.647 50474.339	23.56	15.00	N44°59'18.76"W	89°58'50"	21.21	C64	12484.533 50431.339	4.71	3.00	S44°59'52.28"W	90°00'00"	4.24	L62	12325.648 50489.345	15.89		N0°00'08"E			C65	12484.533 50431.339	15.00		S89°59'52"W			L63	12310.647 50474.339	23.56	15.00	N44°59'18.76"W	89°58'50"	21.21	C66	12484.533 50431.339	4.71	3.00	S44°59'52.28"W	90°00'00"	4.24	L64	12325.648 50489.345	15.89		N0°00'08"E			C67	12484.533 50431.339	15.00		S0°00'08"E			L65	12310.647 50474.339	23.56	15.00	N44°59'18.76"W	89°58'50"	21.21	C68	12484.533 50431.339	4.71	3.00	S44°59'52.28"W	90°00'00"	4.24	L66	12325.648 50489.345	15.89		N0°00'08"E			C69	12484.533 50431.339	15.00		S89°59'52"W			L67	12310.647 50474.339	23.56	15.00	N44°59'18.76"W	89°58'50"	21.21	C70	12484.533 50431.339	4.71	3.00	S44°59'52.28"W	90°00'00"	4.24	L68	12325.648 50489.345	15.89		N0°00'08"E			C71	12484.533 50431.339	15.00		S0°00'08"E			L69	12310.647 50474.339	23.56	15.00	N44°59'18.76"W	89°58'50"	21.21	C72	12484.533 50431.339	4.71	3.00	S44°59'52.28"W	90°00'00"	4.24	L70	12325.648 50489.345	15.89		N0°00'08"E			C73	12484.533 50431.339	15.00		S89°59'52"W			L71	12310.647 50474.339	23.56	15.00	N44°59'18.76"W	89°58'50"	21.21	C74	12484.533 50431.339	4.71	3.00	S44°59'52.28"W	90°00'00"	4.24	L72	12325.648 50489.345	15.89		N0°00'08"E			C75	12484.533 50431.339	15.00		S0°00'08"E			L73	12310.647 50474.339	23.56	15.00	N44°59'18.76"W	89°58'50"	21.21	C76	12484.533 50431.339	4.71	3.00	S44°59'52.28"W	90°00'00"	4.24	L74	12325.648 50489.345	15.89		N0°00'08"E			C77	12484.533 50431.339	15.00		S89°59'52"W			L75	12310.647 50474.339	23.56	15.00	N44°59'18.76"W	89°58'50"	21.21	C78	12484.533 50431.339	4.71	3.00	S44°59'52.28"W	90°00'00"	4.24	L76	12325.648 50489.345	15.89		N0°00'08"E			C79	12484.533 50431.339	15.00		S0°00'08"E			L77	12310.647 50474.339	23.56	15.00	N44°59'18.76"W	89°58'50"	21.21	C80	12484.533 50431.339	4.71	3.00	S44°59'52.28"W	90°00'00"	4.24	L78	12325.648 50489.345	15.89		N0°00'08"E			C81	12484.533 50431.339	15.00		S89°59'52"W			L79	12310.647 50474.339	23.56	15.00	N44°59'18.76"W	89°58'50"	21.21	C82	12484.533 50431.339	4.71	3.00	S44°59'52.28"W	90°00'00"	4.24	L80	12325.648 50489.345	15.89		N0°00'08"E			C83	12484.533 50431.339	15.00		S0°00'08"E			L81	12310.647 50474.339	23.56	15.00	N44°59'18.76"W	89°58'50"	21.21	C84	12484.533 50431.339	4.71	3.00	S44°59'52.28"W	90°00'00"	4.24	L82	12325.648 50489.345	15.89		N0°00'08"E			C85	12484.533 50431.339	15.00		S89°59'52"W			L83	12310.647 50474.339	23.56	15.00

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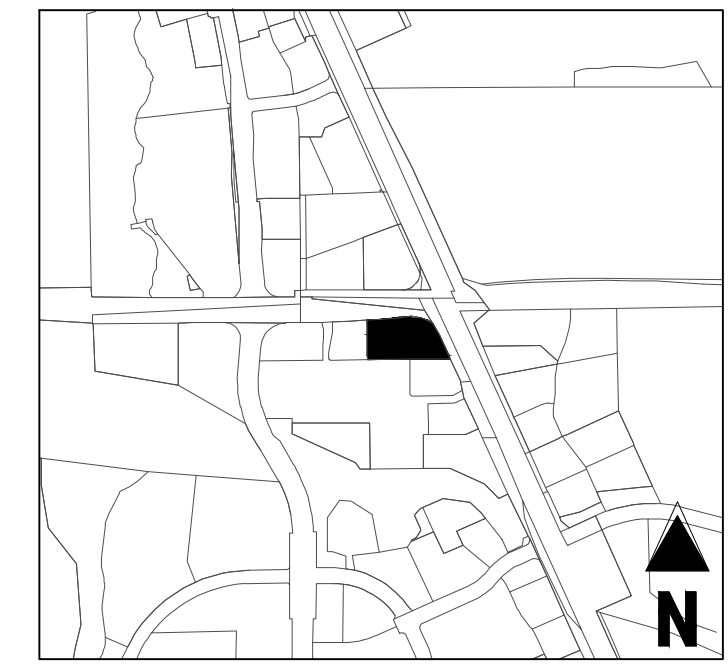
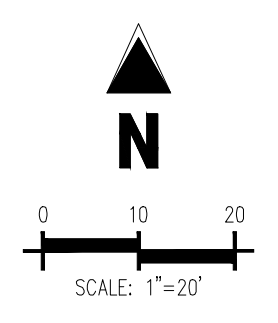
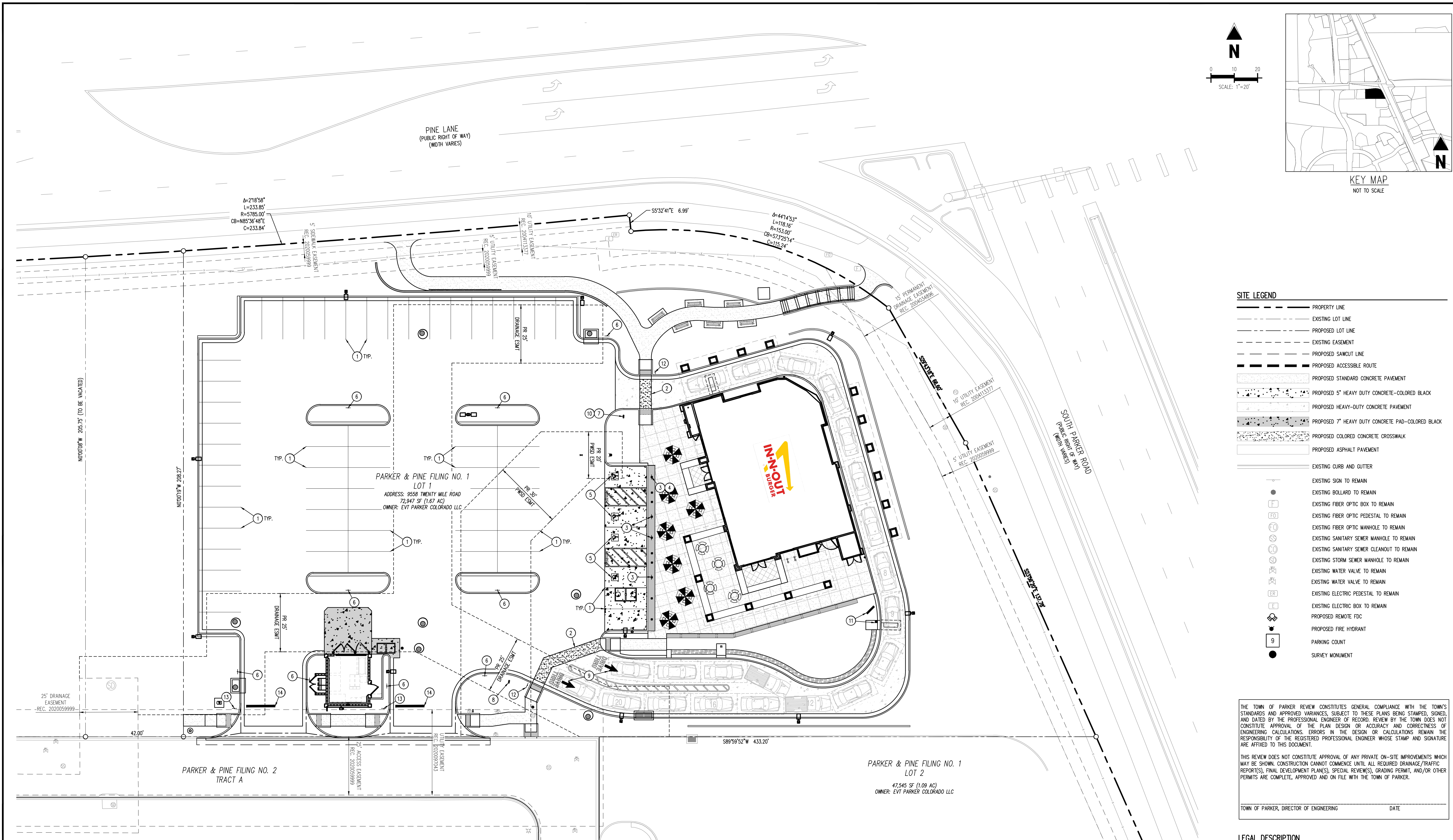
IN-N-OUT BURGER
CONSTRUCTION DOCUMENTS
PARKER & PINE FILING NO. 1, LOT 1
PARKER, CO 80134

#	Date	Issue / Description	Init.
	12/21/2022	1ST CD SUBMITTAL	PJD
	03/17/2023	2ND CD SUBMITTAL	PJD
	04/28/2023	3RD CD SUBMITTAL	PJD

Project No:	INC000014-20
Drawn By:	JNE
Checked By:	PJD
Date:	04/28/2023

SIGNAGE & STRIPING PLAN

C1.2
Sheet 5 of 36



SITE LEGEND

	PROPERTY LINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT
	PROPOSED SAWCUT LINE
	PROPOSED ACCESSIBLE ROUTE
	PROPOSED STANDARD CONCRETE PAVEMENT
	PROPOSED 5" HEAVY DUTY CONCRETE-COLORED BLACK
	PROPOSED HEAVY-DUTY CONCRETE PAVEMENT
	PROPOSED 7" HEAVY DUTY CONCRETE PAD-COLORED BLACK
	PROPOSED COLORED CONCRETE CROSSWALK
	PROPOSED ASPHALT PAVEMENT
	EXISTING CURB AND GUTTER
	EXISTING SIGN TO REMAIN
	EXISTING BOLLARD TO REMAIN
	EXISTING FIBER OPTIC BOX TO REMAIN
	EXISTING FIBER OPTIC PEDESTAL TO REMAIN
	EXISTING FIBER OPTIC MANHOLE TO REMAIN
	EXISTING SANITARY SEWER MANHOLE TO REMAIN
	EXISTING SANITARY SEWER CLEANOUT TO REMAIN
	EXISTING STORM SEWER MANHOLE TO REMAIN
	EXISTING WATER VALVE TO REMAIN
	EXISTING WATER VALVE TO REMAIN
	EXISTING ELECTRIC PEDESTAL TO REMAIN
	EXISTING ELECTRIC BOX TO REMAIN
	PROPOSED REMOTE FDC
	PROPOSED FIRE HYDRANT
	PARKING COUNT
	SURVEY MONUMENT

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

LEGAL DESCRIPTION
LOT 1, PARKER & PINE FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO

BENCHMARK
PUBLISHED BENCHMARK: ELEVATIONS ARE BASED ON A DOUGLAS COUNTY CONTROL MONUMENT, STATION NAME: CRAIN, BEING A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN CULVERT, 25 FEET WEST OF THE EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.

ELEVATION = 5734.25 FEET (NAVD 88) PUBLISHED BY DOUGLAS COUNTY

BASIS OF BEARING
BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST BEARS N001°17'51"E, MONUMENTED BY THE SOUTHWEST CORNER OF SAID SECTION 10, BEING A 3-1/4 INCH ALUMINUM CAP STAMPED "LS 19003", AND MONUMENTED BY THE WEST QUARTER CORNER OF SAID SECTION 10, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 22561", AS SHOWN HEREON.

CAUTION - NOTICE TO CONTRACTOR

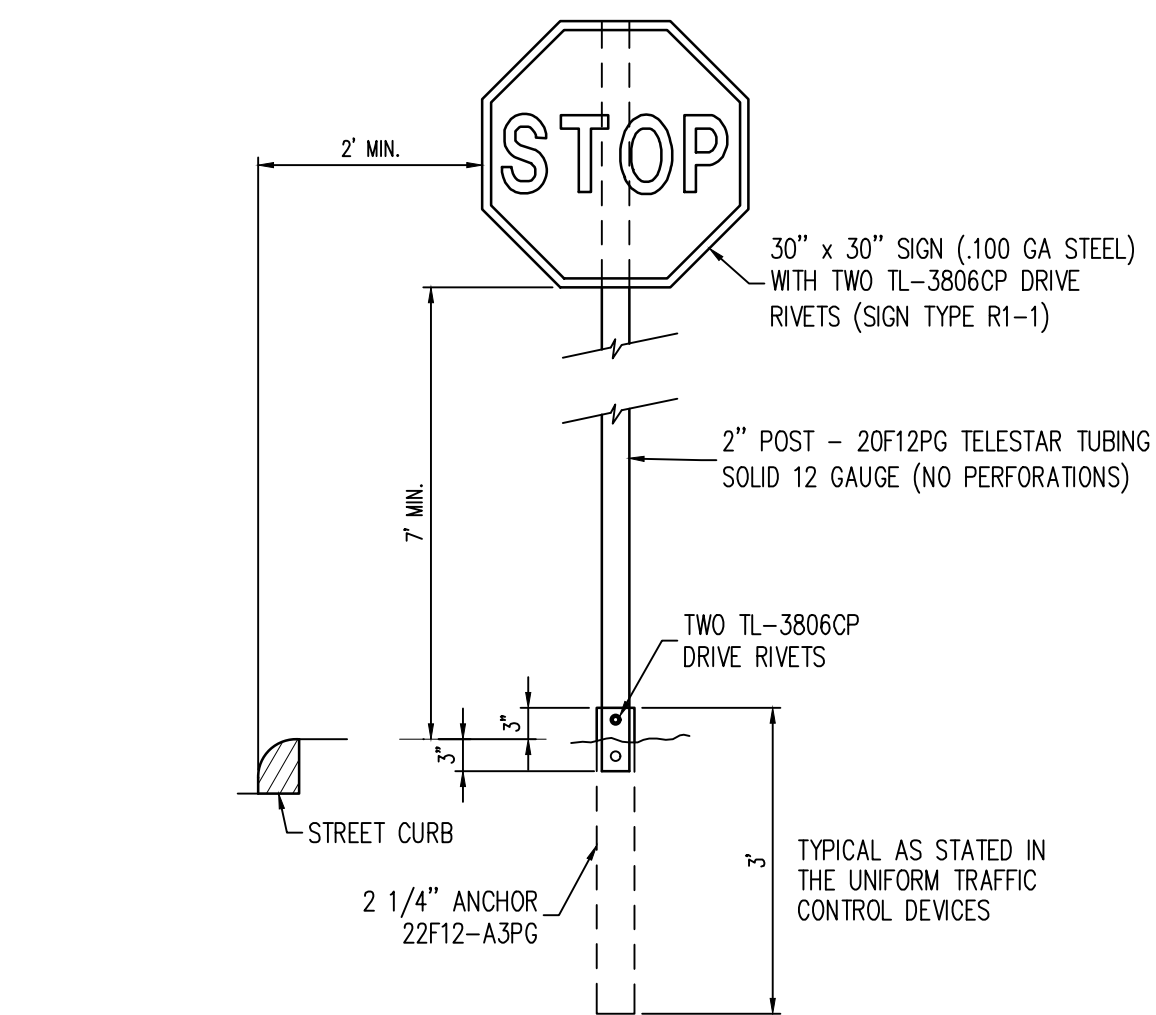
1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-Holing OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

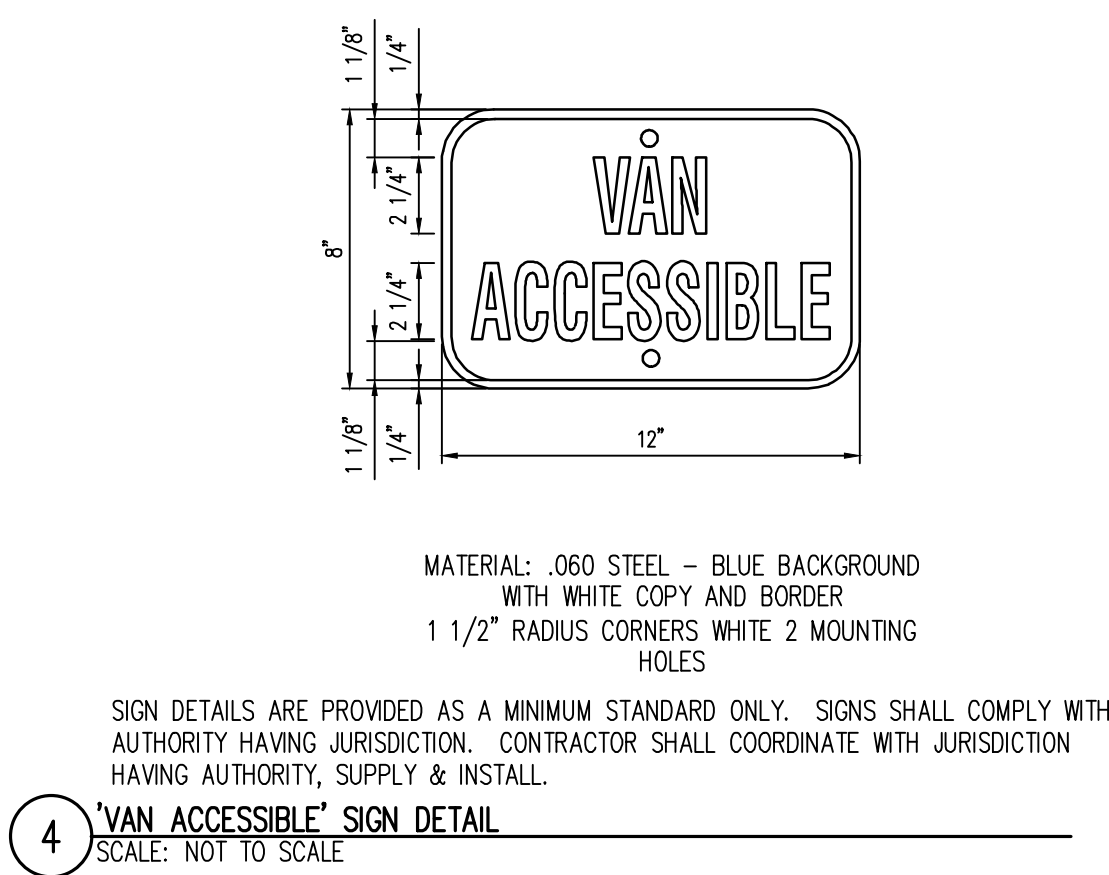
SCHEDULE

1	PROPOSED 9'X18' STANDARD PARKING STALL W/4" SOLID WHITE STRIPING (REF DET 25, SHT C1.4)
2	PROPOSED COLORED CONCRETE CROSSWALK (REF DET 27, SHT C1.5)
3	PROPOSED ADA SIGNAGE W/ PAINTED WHITE POLE (REF DET 3, SHT C1.3)
4	PROPOSED ADA PARKING "VAN" PLACARD (REF DET 4, SHT C1.3)
5	PROPOSED 9'X18' ADA PARKING STALL AND PAINTED ACCESS AISLE WITH 4" SOLID BLUE STRIPING 2" O.C. @ 45° ANGLE (REF DET 6, SHT C1.3 AND DET 26, SHT C1.4)
6	PROPOSED FIRE LANE SIGN (REF DET 7, SHT C1.3) REF SIGNAGE & STRIPING PLAN FOR DETS.
7	PROPOSED "DO NOT ENTER" SIGN
8	PROPOSED IN-N-OUT DRIVE THRU DIRECTIONAL SIGNAGE
9	PROPOSED DIRECTIONAL MARKING (REF DET 5, SHT C1.3)
10	PROPOSED "THANK YOU" SIGN
11	PROPOSED IN-N-OUT MENU BOARD AND SPEAKER
12	PROPOSED "PEDESTRIAN CROSSING" SIGN
13	PROPOSED "STOP" SIGN, MUTCD R1-1
14	PROPOSED STOP LINE, WHITE, 24" WIDE

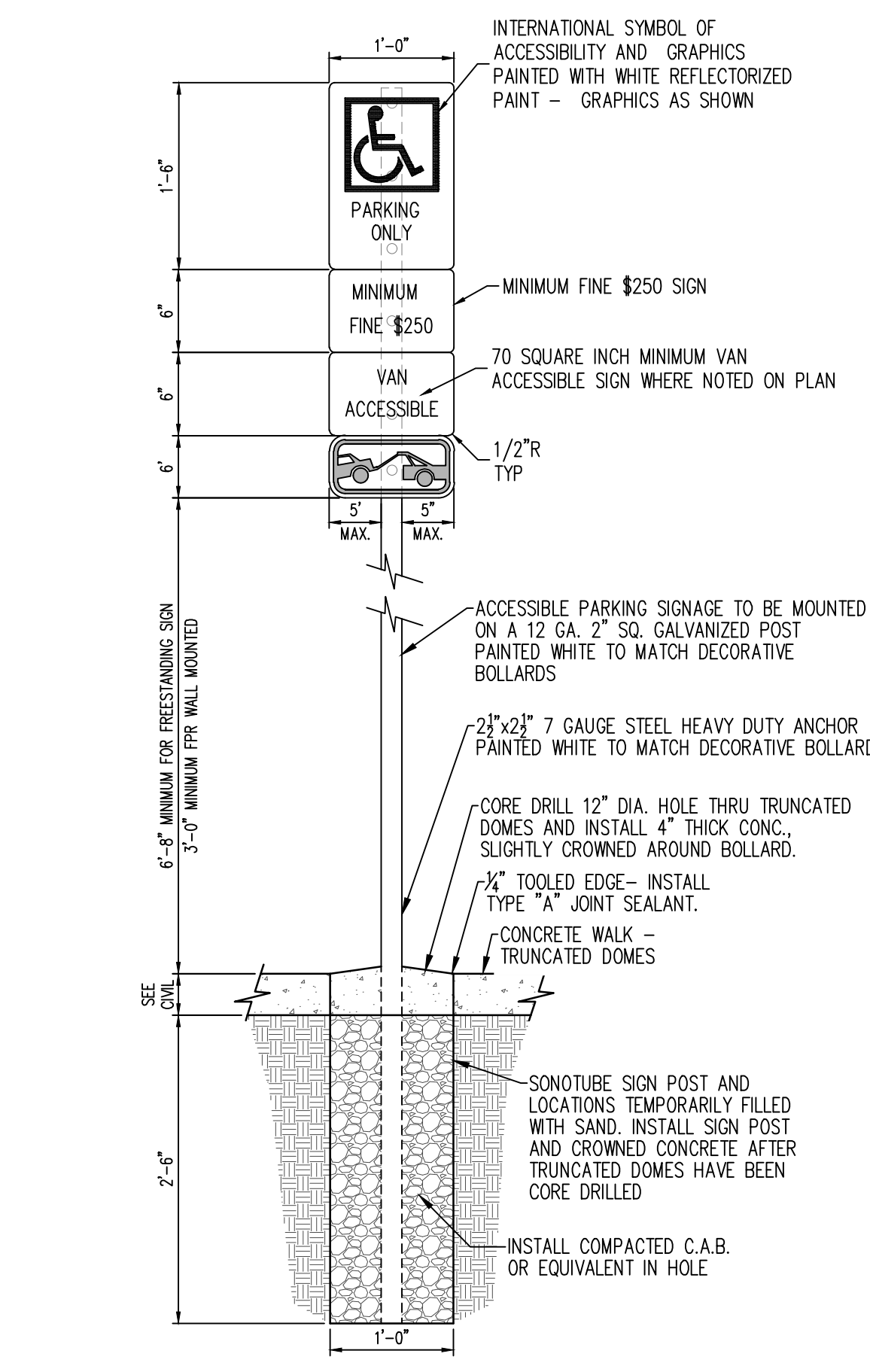




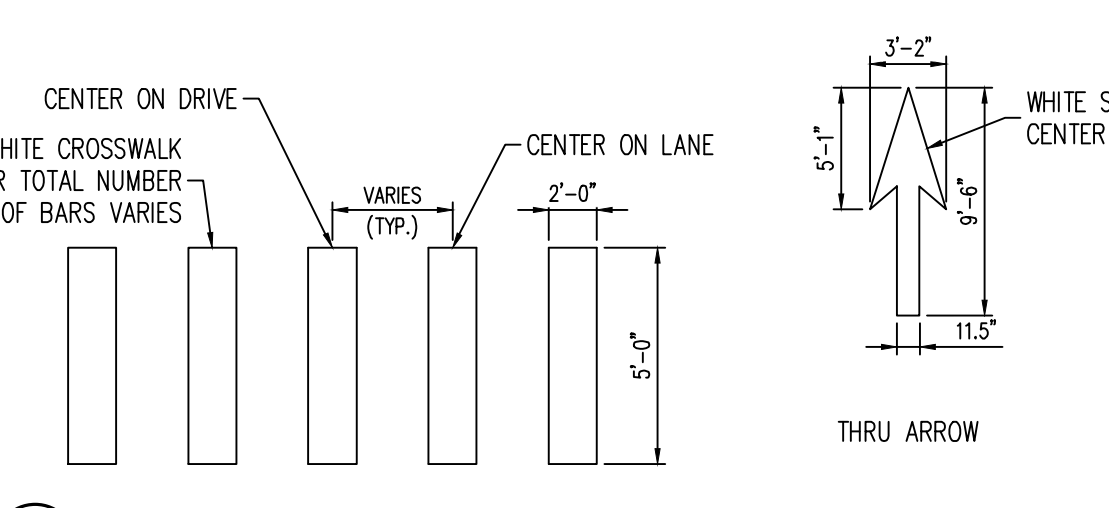
1 STOP SIGN DETAIL
SCALE: NOT TO SCALE



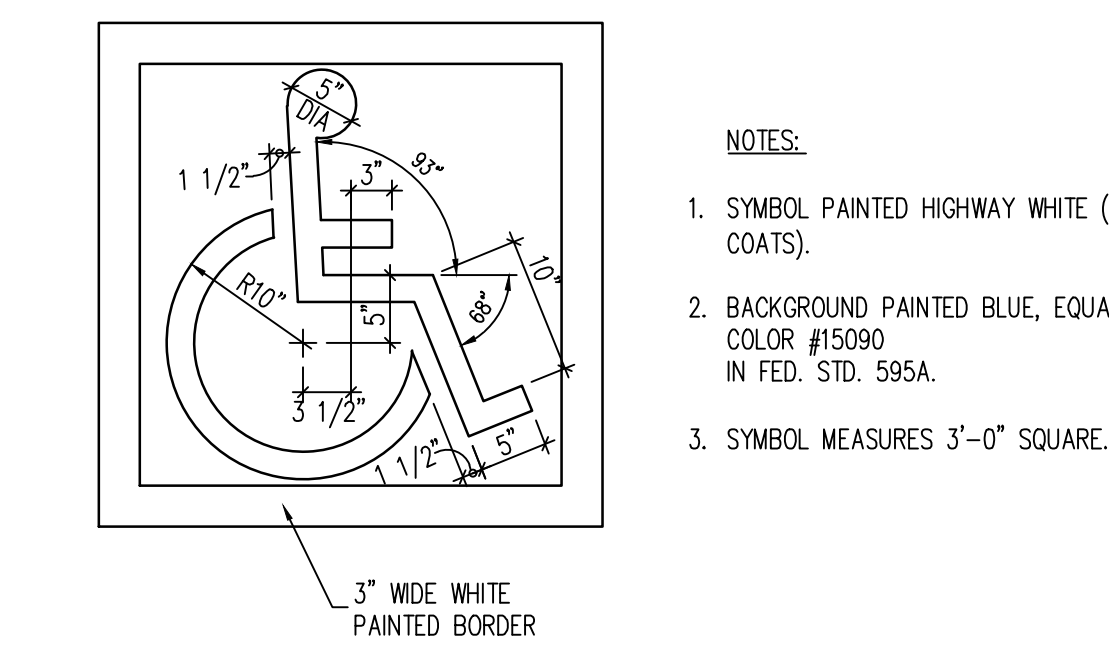
4 'VAN ACCESSIBLE' SIGN DETAIL
SCALE: NOT TO SCALE



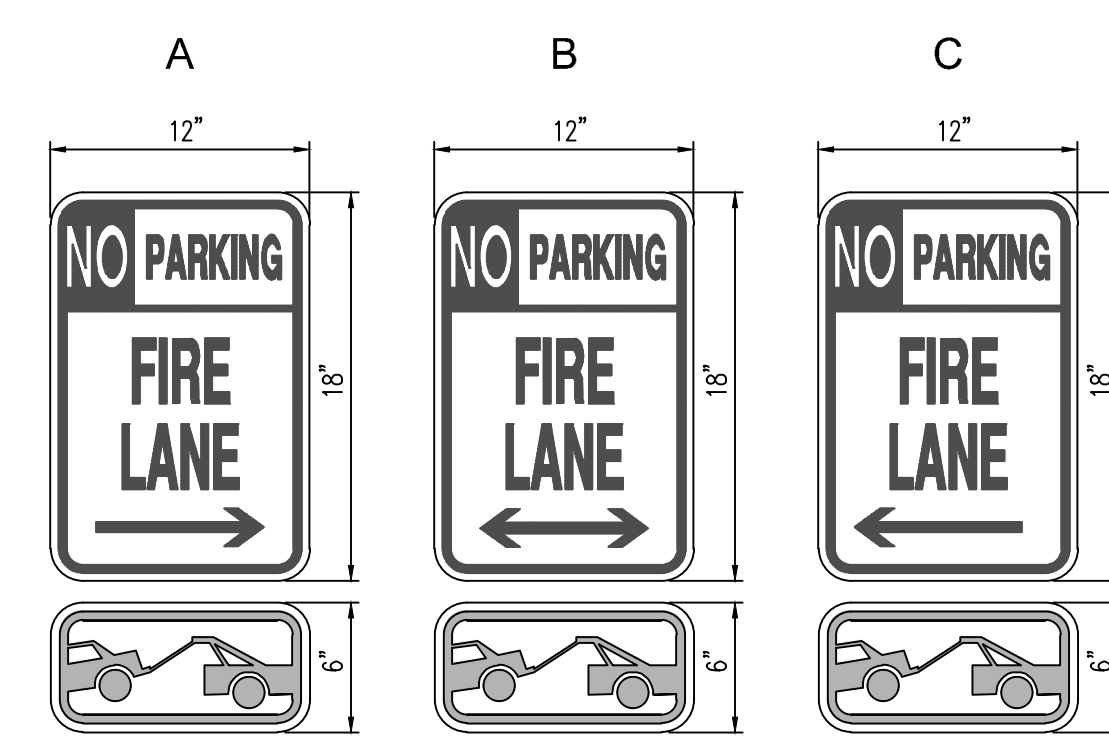
2 ACCESSIBLE PARKING SIGN
SCALE: NOT TO SCALE



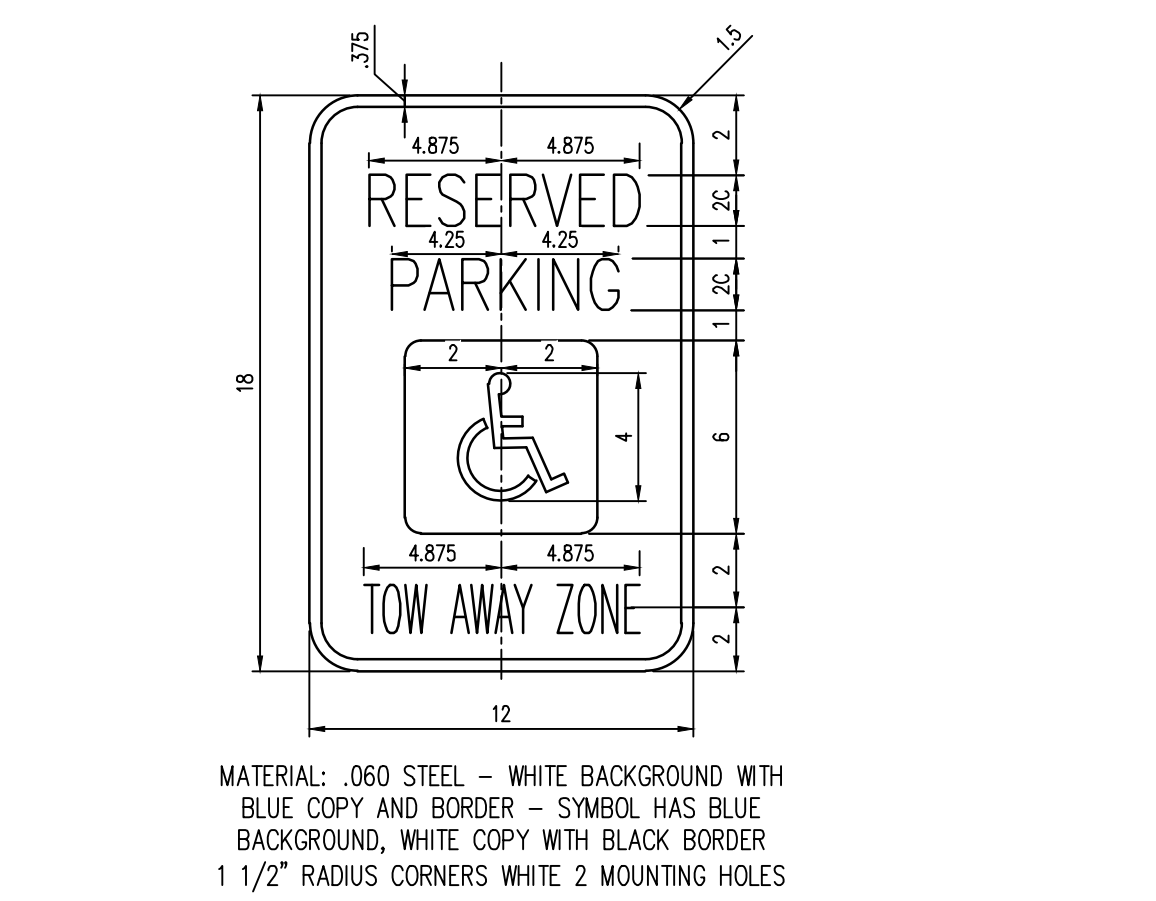
5 LANE STRIPING DETAILS
SCALE: 1/8\"/>



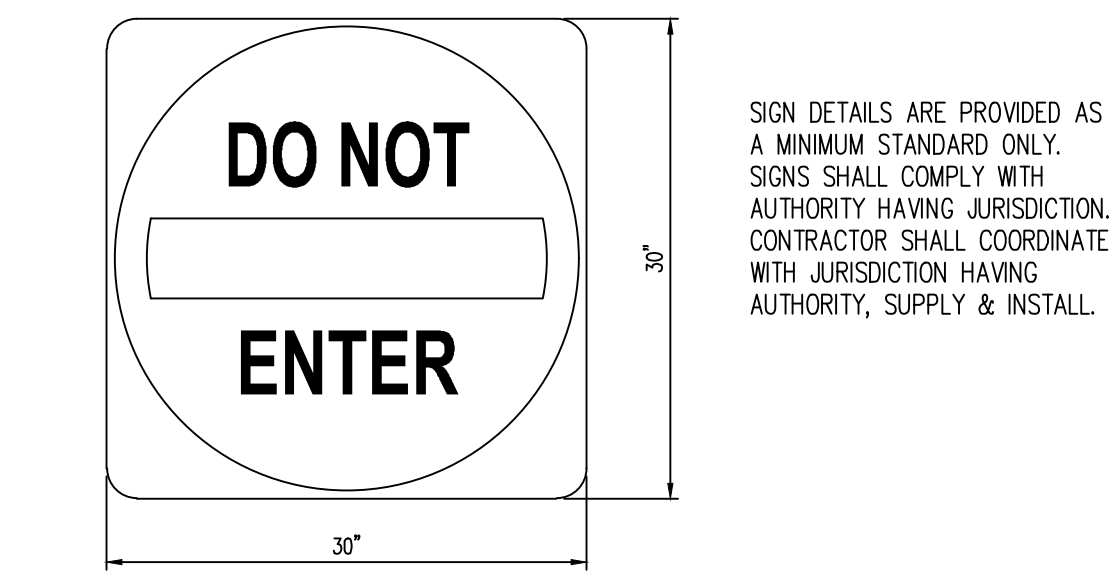
6 ADA PARKING SYMBOL
SCALE: 1/2\"/>



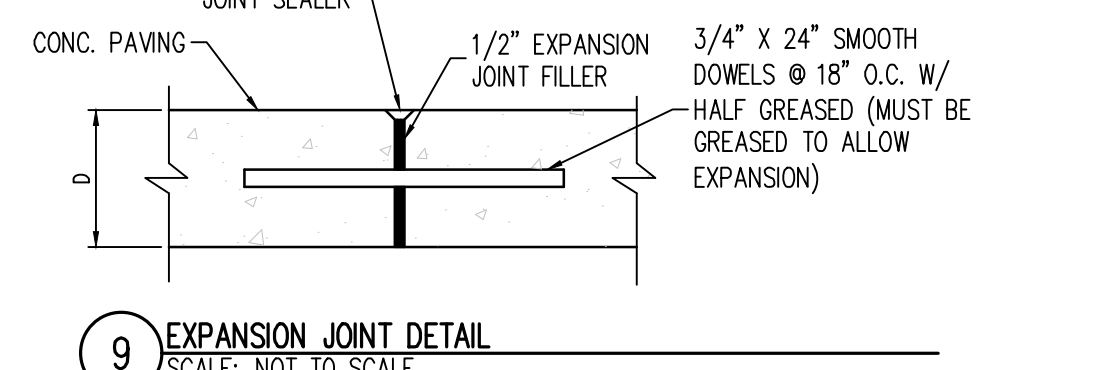
7 FIRE LANE & TOW AWAY ZONE SIGN DETAILS
SCALE: NOT TO SCALE



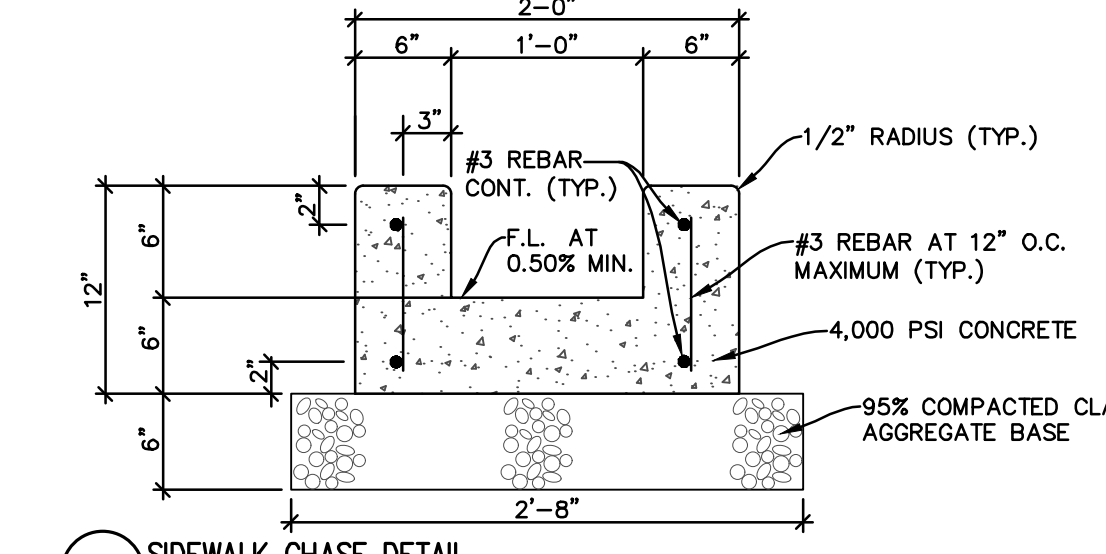
3 ACCESSIBLE SIGN DETAIL
SCALE: NOT TO SCALE



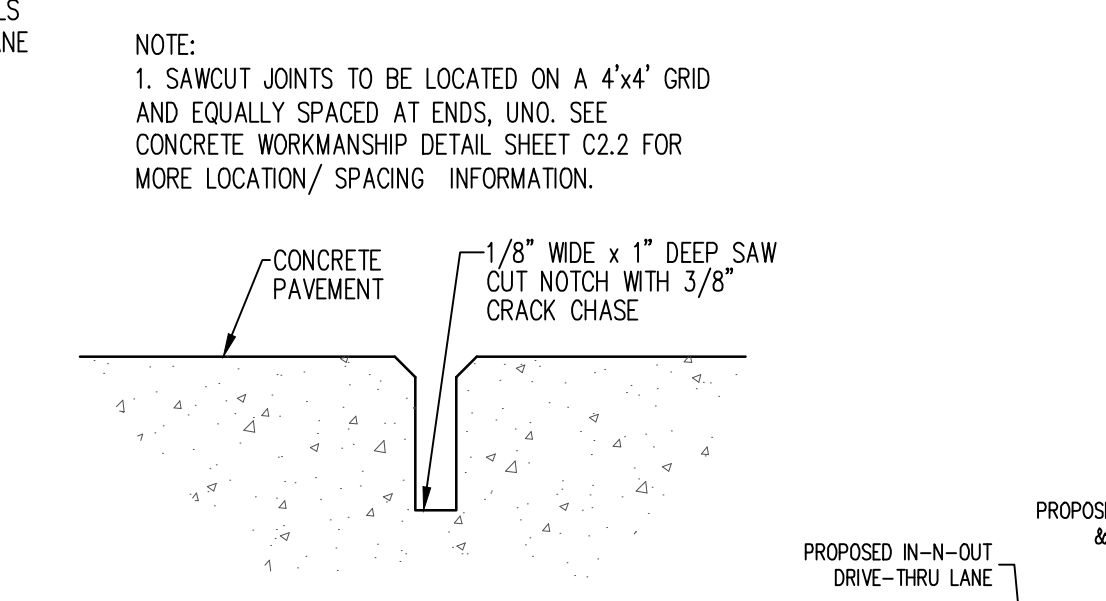
8 DO NOT ENTER SIGN DETAIL
SCALE: NOT TO SCALE



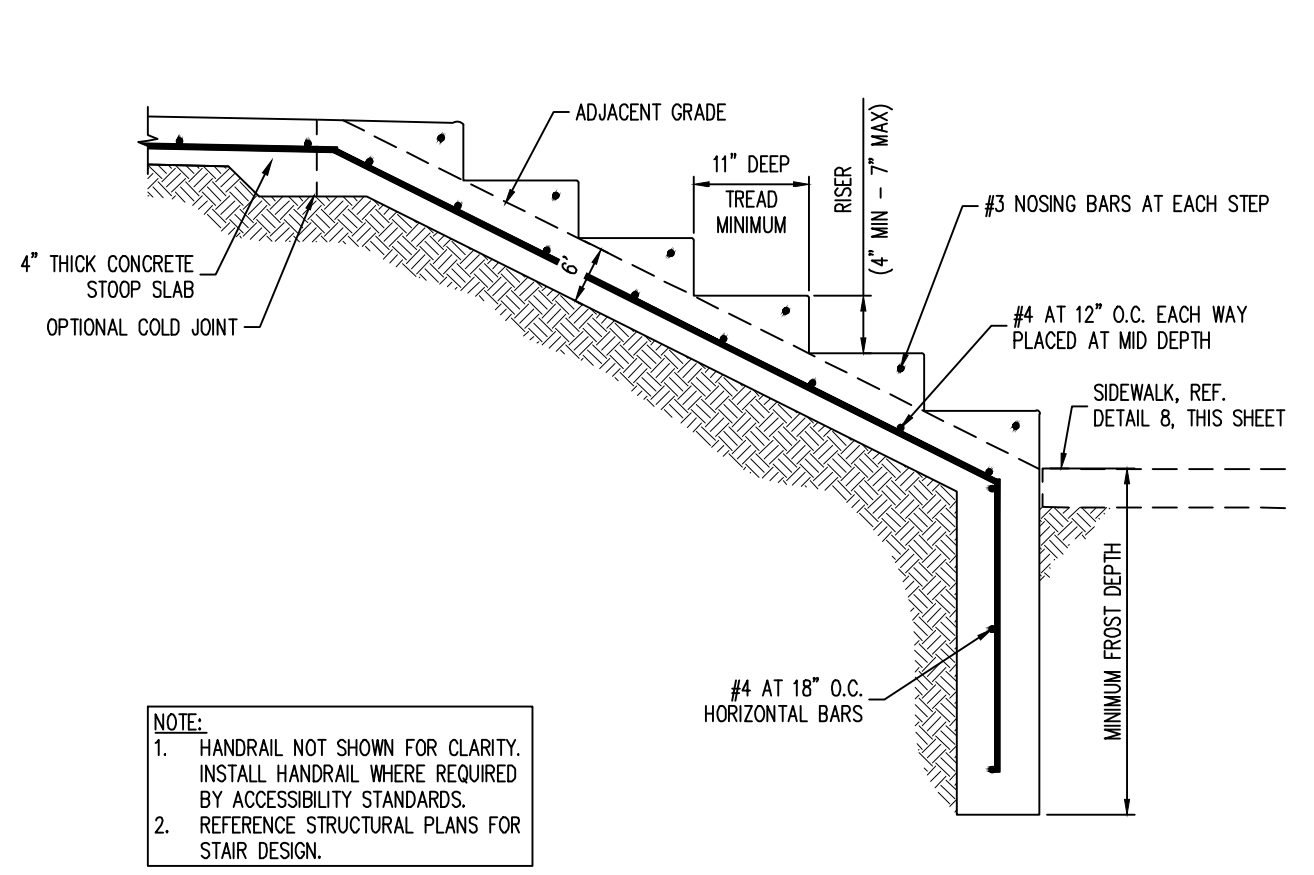
9 EXPANSION JOINT DETAIL
SCALE: NOT TO SCALE



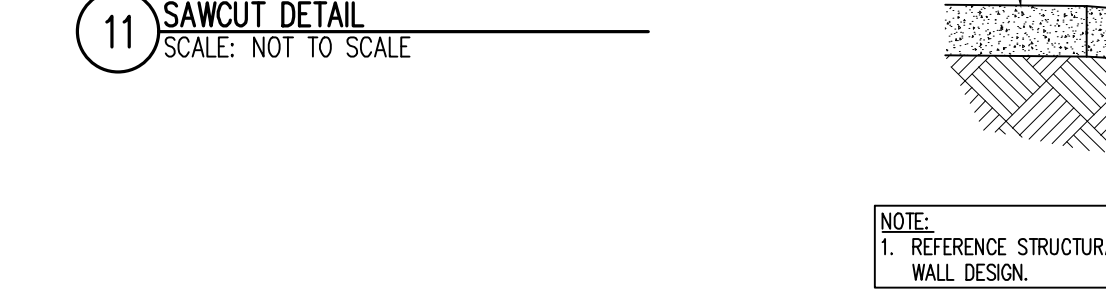
10 SIDEWALK CHASE DETAIL
SCALE: NOT TO SCALE



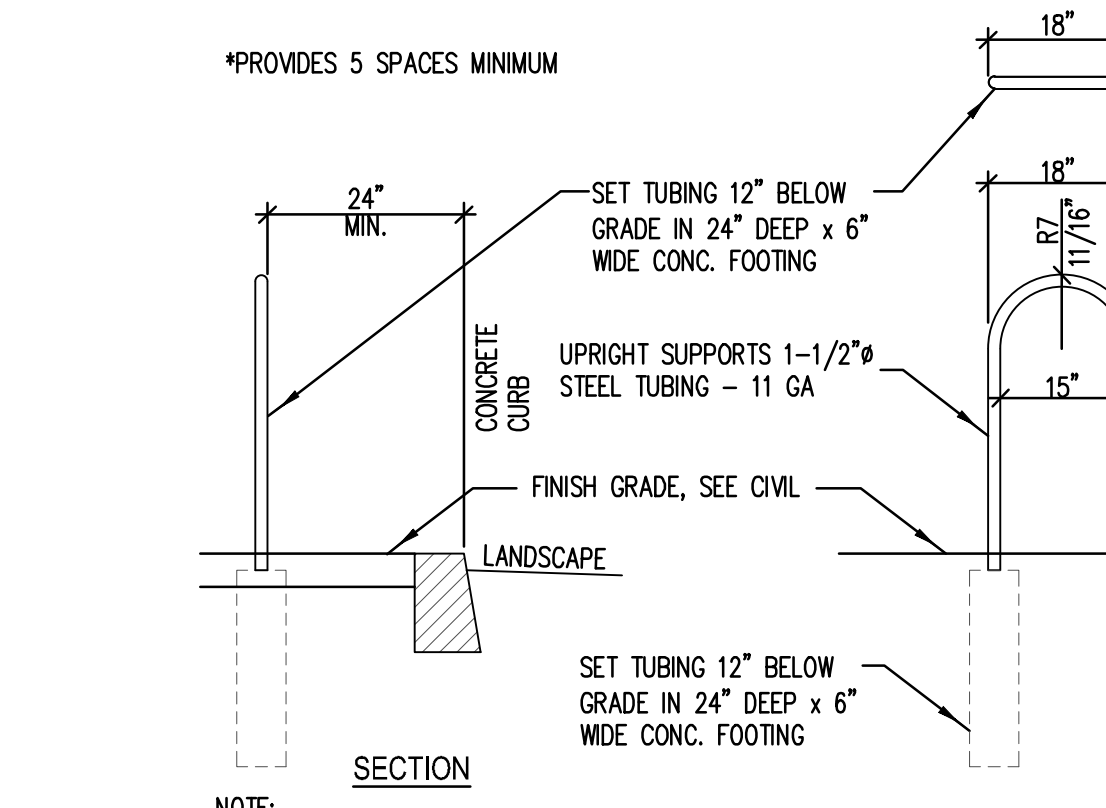
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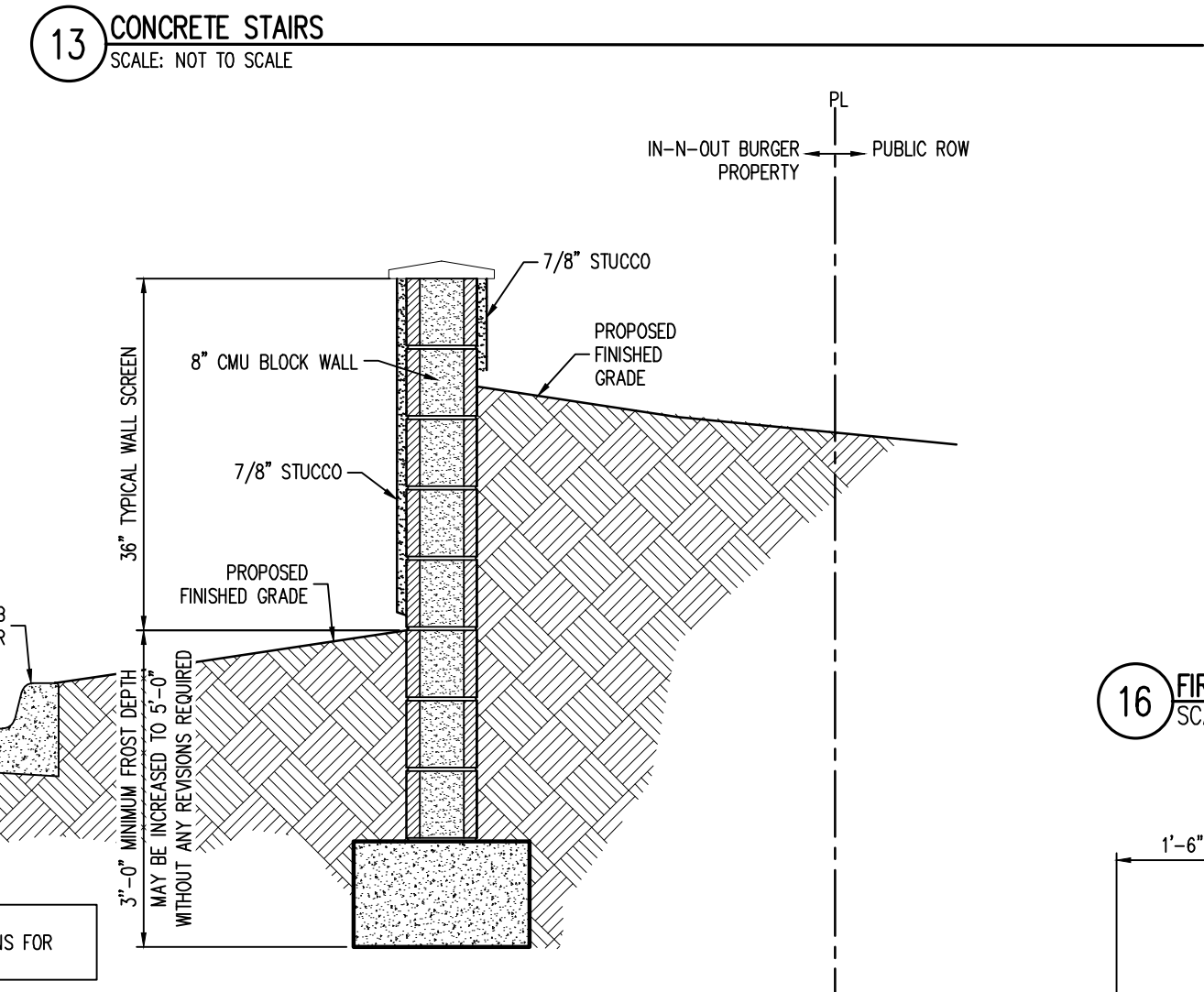
13 CONCRETE STAIRS
SCALE: NOT TO SCALE



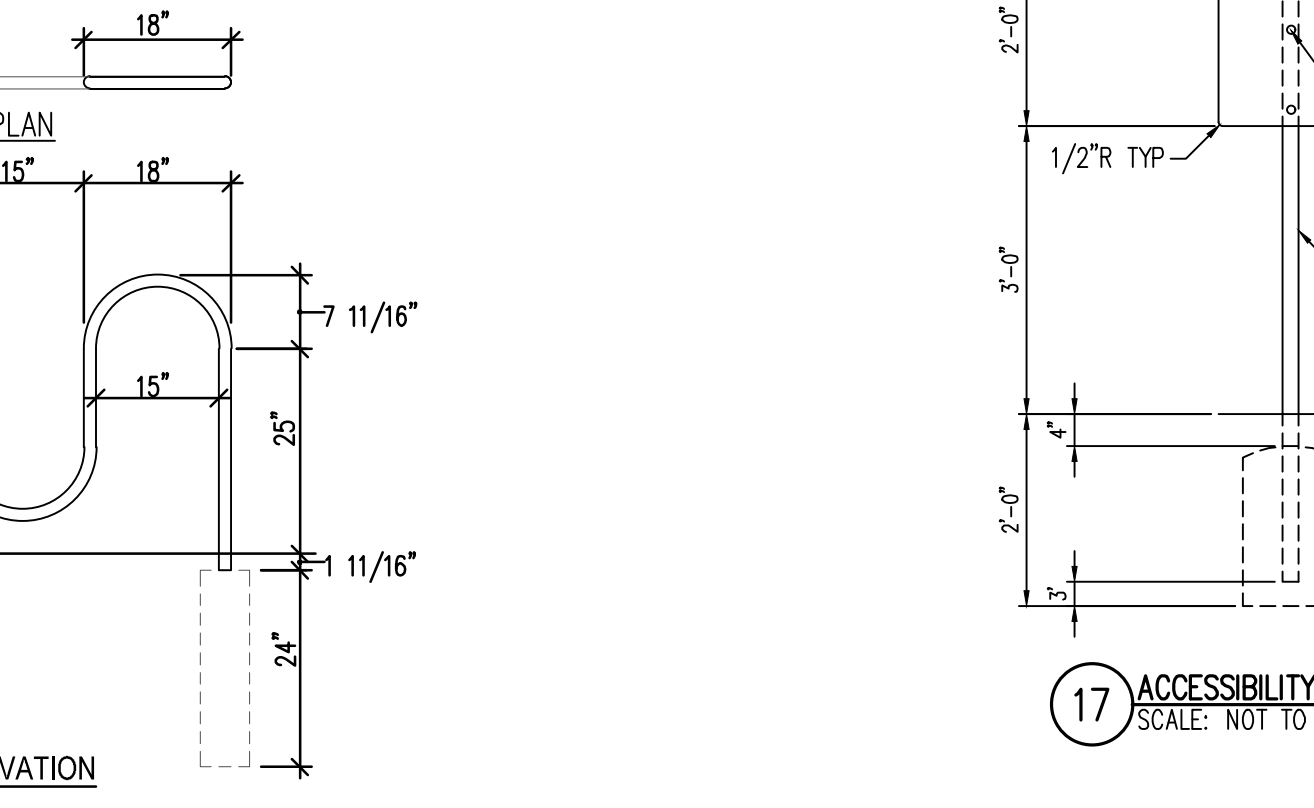
14 SCREEN WALL-SECTION DETAIL
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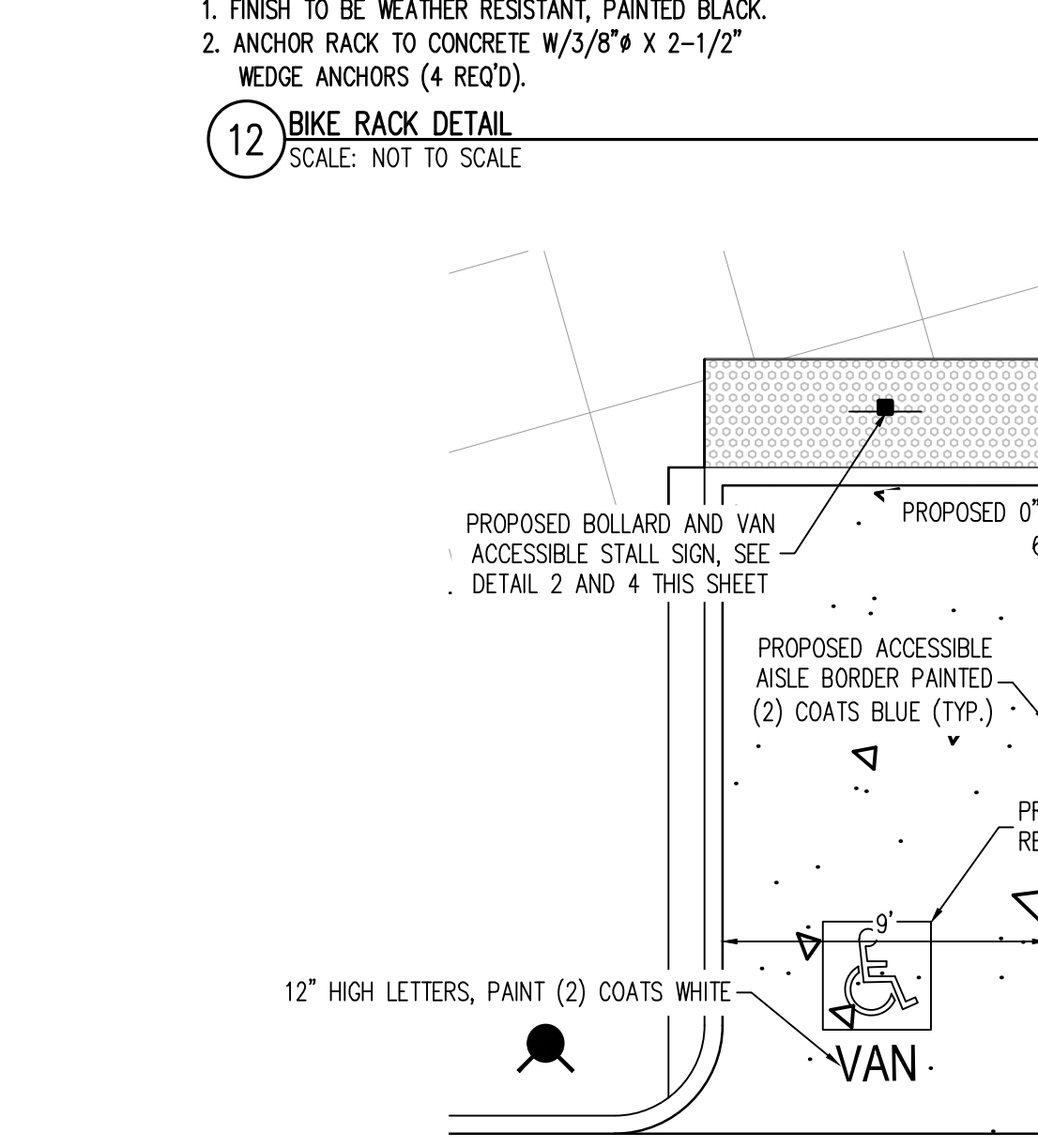
12 BIKE RACK DETAIL
SCALE: NOT TO SCALE



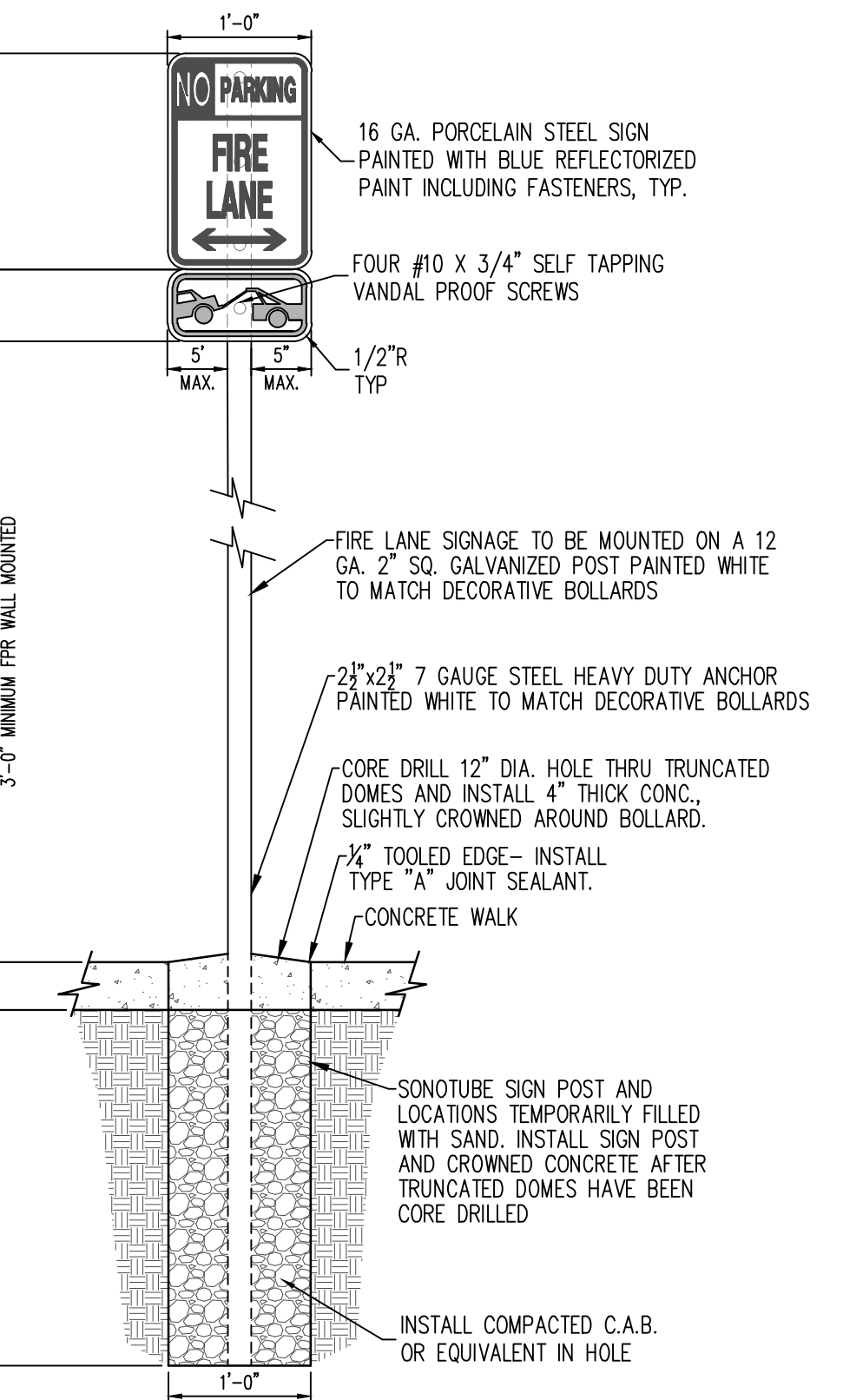
16 FIRE LANE SIGN POSTING DETAIL
SCALE: NOT TO SCALE



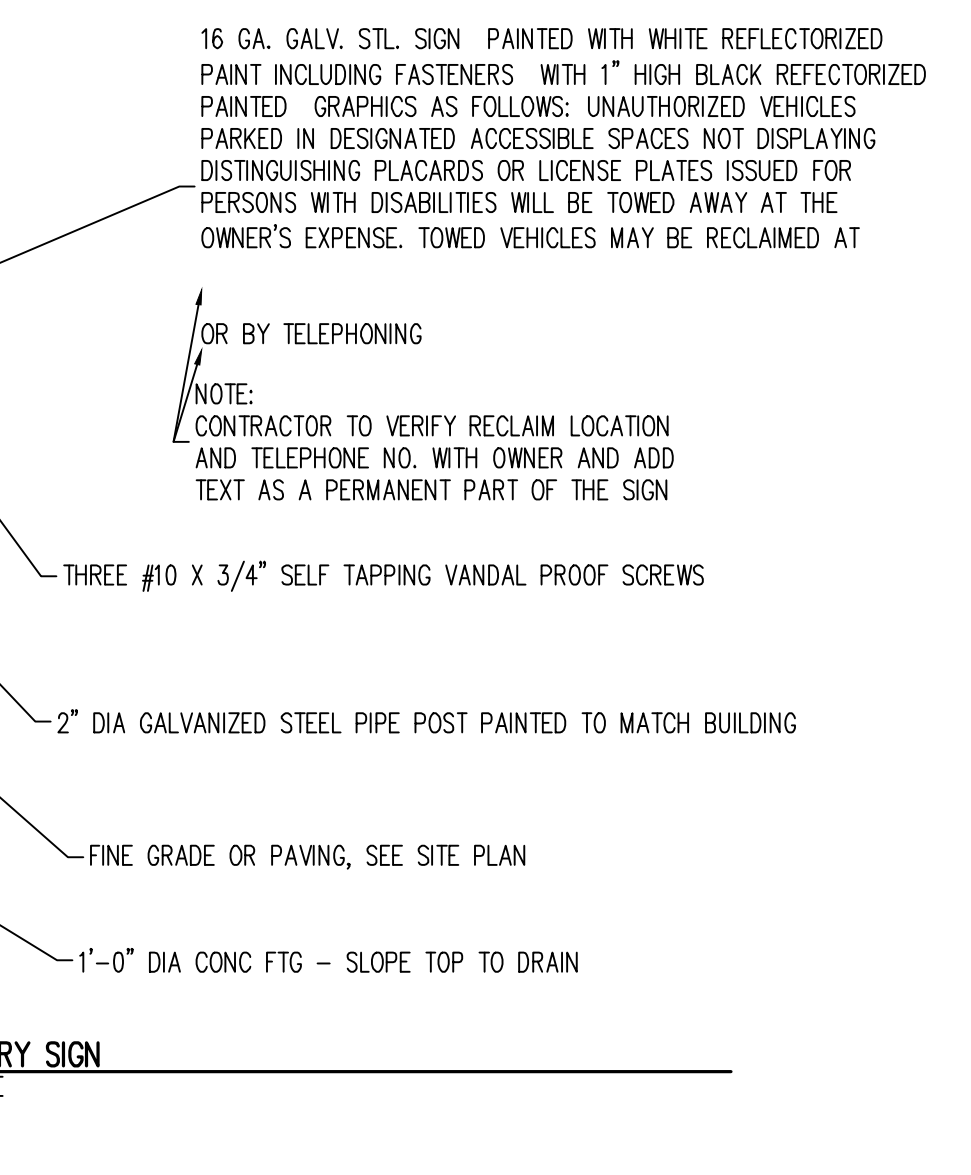
17 ACCESSIBILITY ENTRY SIGN
SCALE: NOT TO SCALE



15 TYPICAL ACCESSIBLE STALL
SCALE: NOT TO SCALE



16 FIRE LANE SIGN POSTING DETAIL
SCALE: NOT TO SCALE



17 ACCESSIBILITY ENTRY SIGN
SCALE: NOT TO SCALE

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PARKER, CO 80134

#	Date	Issue / Description	Init.
1	12/21/2022	1ST CD SUBMITTAL	PJD
2	03/17/2023	2ND CD SUBMITTAL	PJD
3	04/28/2023	3RD CD SUBMITTAL	PJD

Project No:	INC000014-20
Drawn By:	JNE
Checked By:	PJD
Date:	04/28/2023

SITE DETAILS

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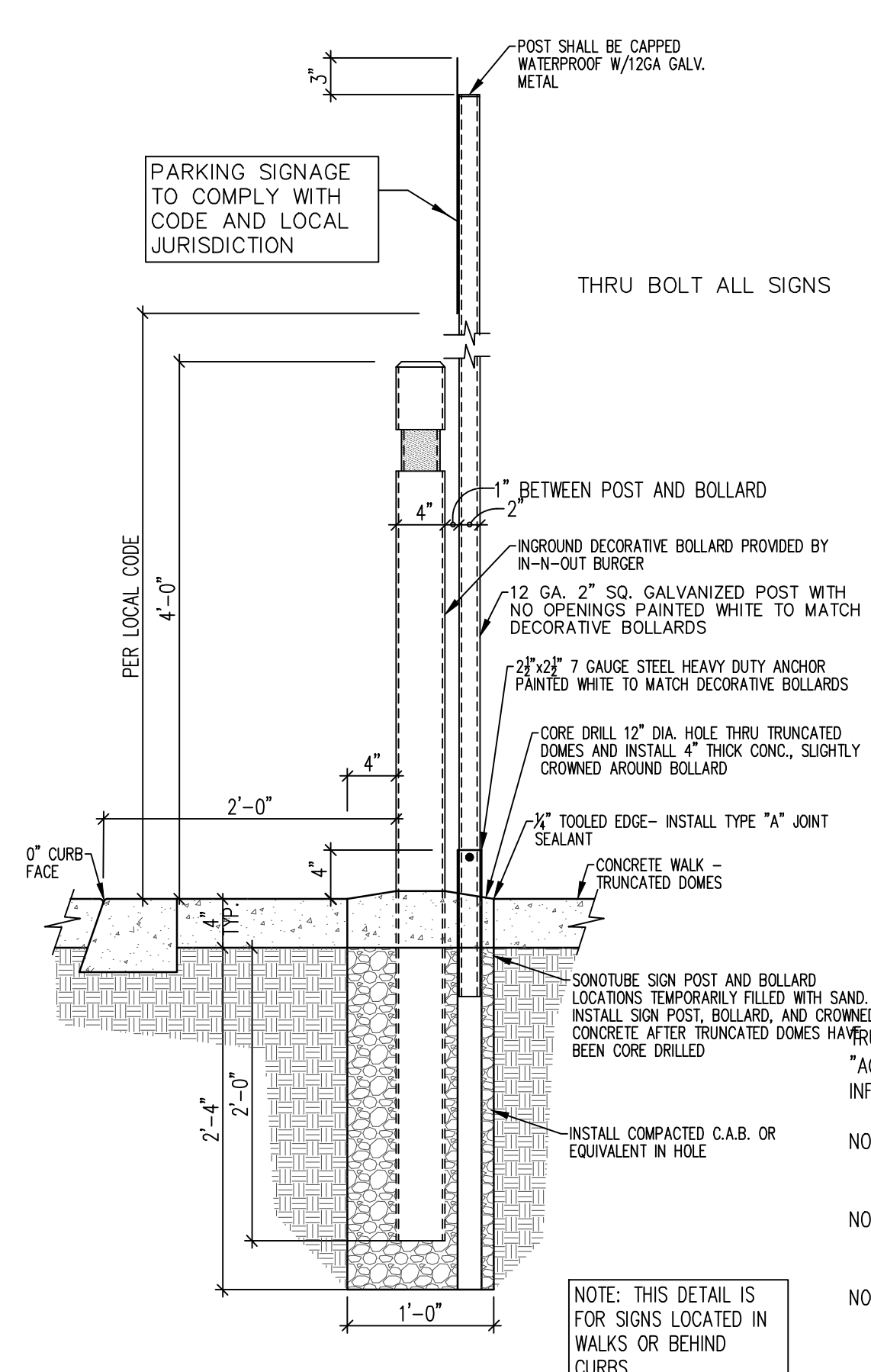


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PARKER, CO 80134

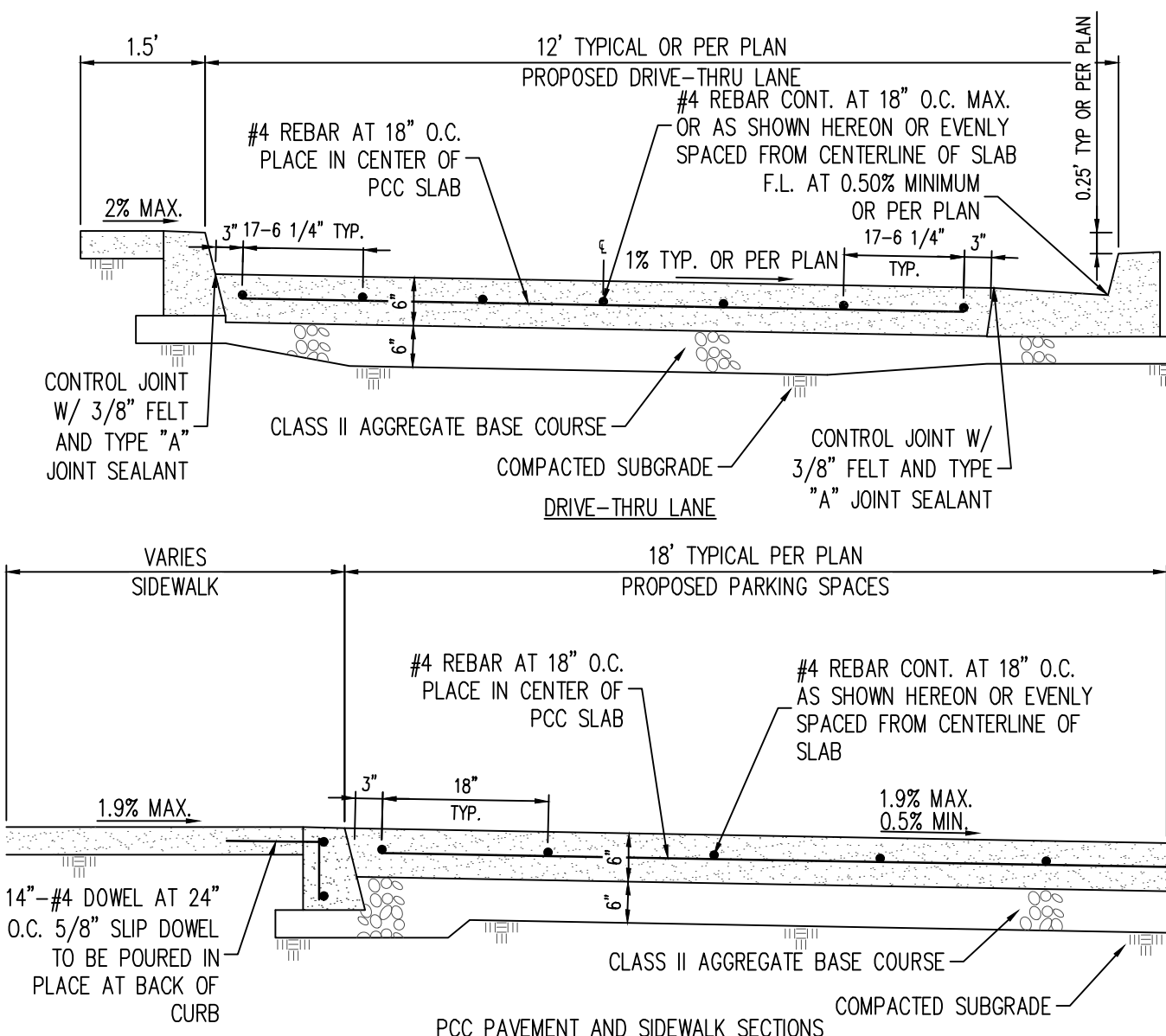
#	Date	Issue / Description	Init.
1	12/21/2022	1ST CD SUBMITTAL	PJD
2	03/17/2023	2ND CD SUBMITTAL	PJD
3	04/26/2023	3RD CD SUBMITTAL	PJD

Project No: IN000014.20
Drawn By: JNE
Checked By: PJD
Date: 04/26/2023

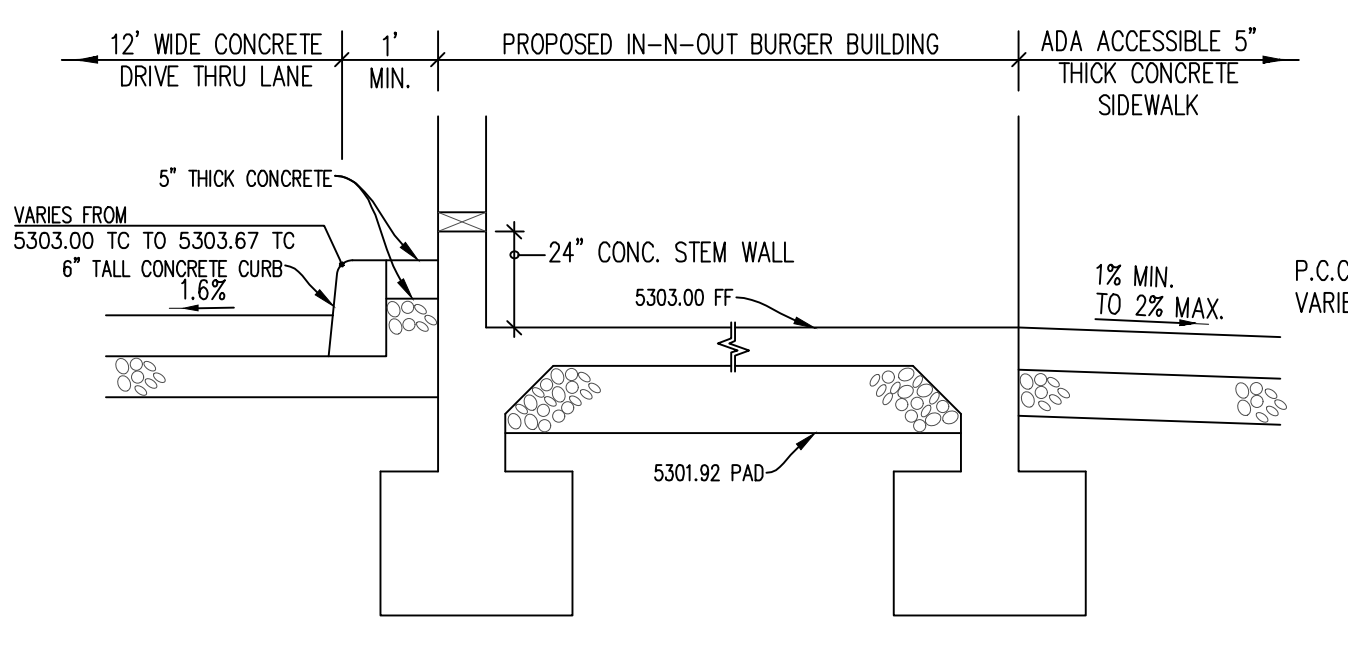
SITE DETAILS



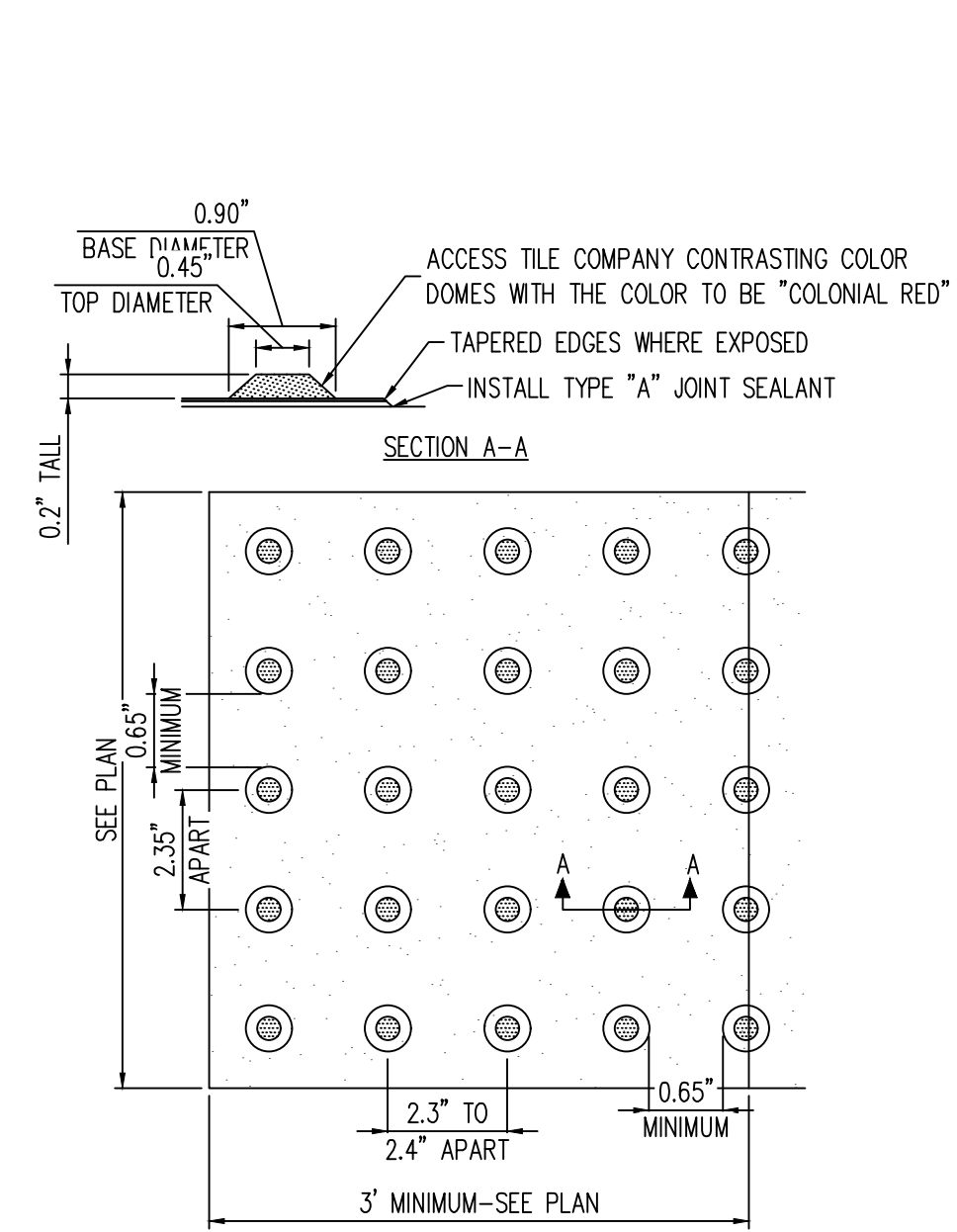
18 ADA PARKING SIGN AND BOLLARD DETAIL
SCALE: NOT TO SCALE



19 PCC PAVEMENT AND SIDEWALK SECTIONS
SCALE: NOT TO SCALE



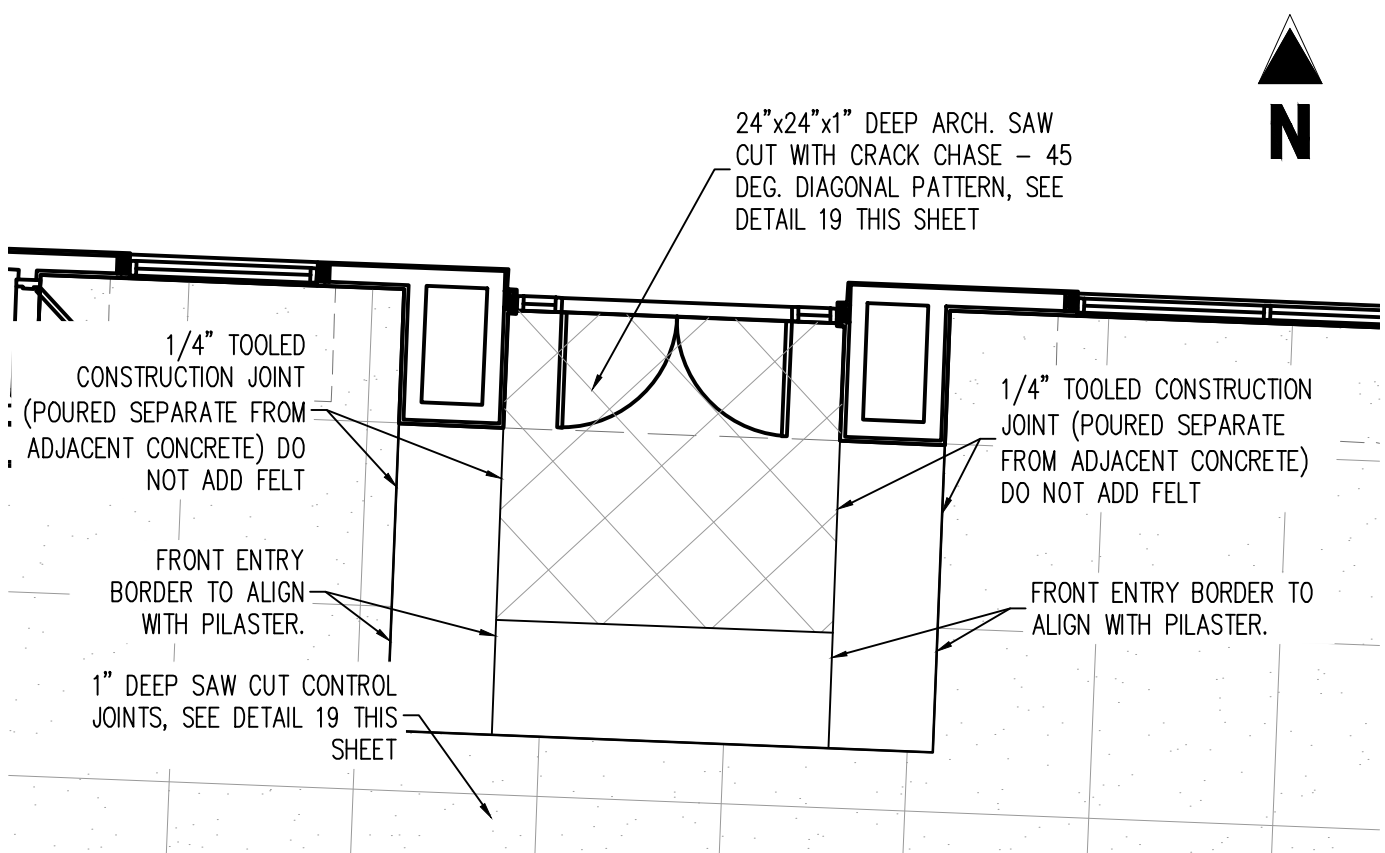
20 TYPICAL BUILDING SECTION DETAIL
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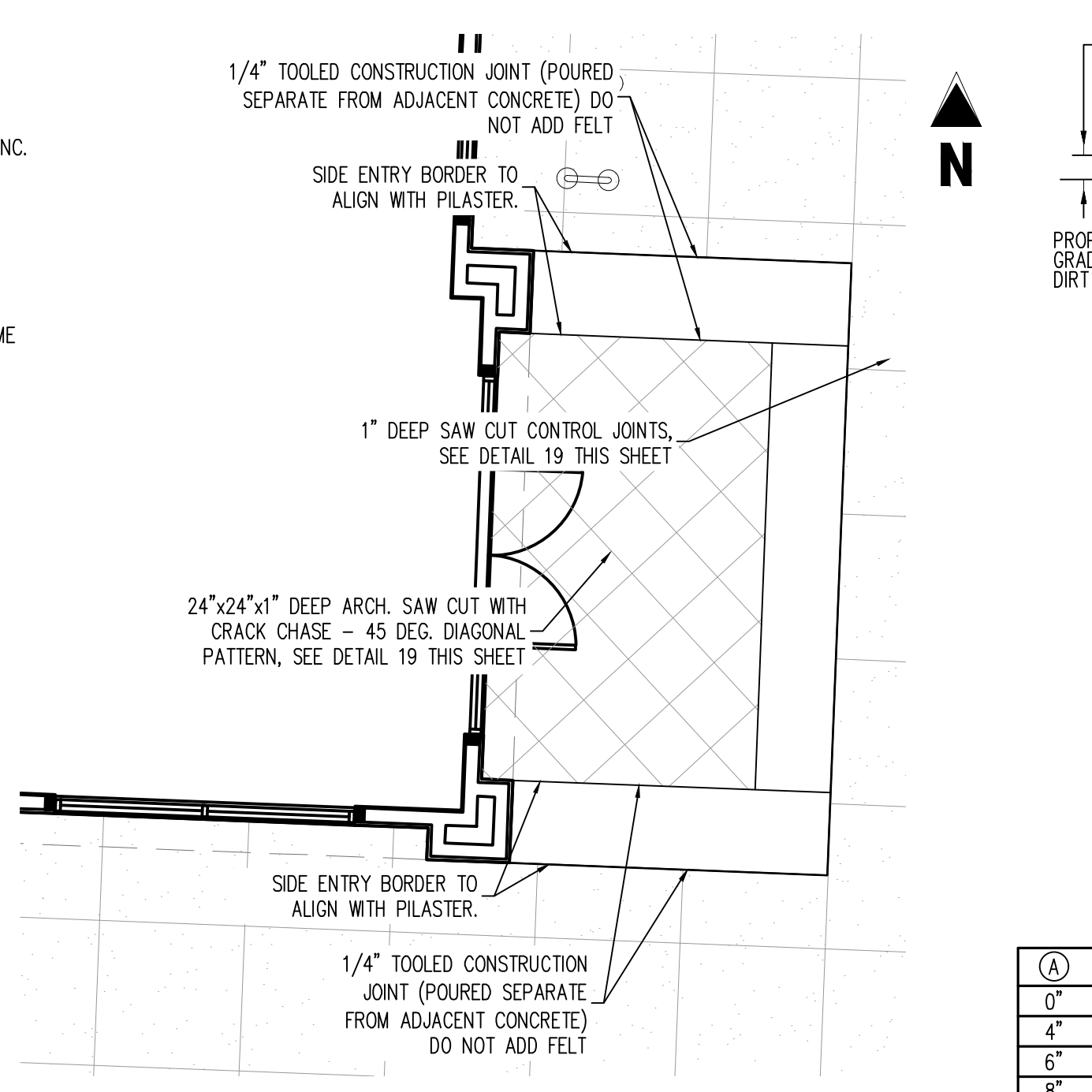
21 TRUNCATED DOME DETAIL FOR PEDESTRIAN ACCESS DETECTABLE WARNING STRIP
SCALE: NOT TO SCALE

- NOTES:**
1. CONCRETE AND RELATED MATERIALS SHALL COMPLY IN ALL RESPECTS WITH ALL APPLICABLE SECTIONS OF THE CURRENT EDITION OF THE LOCAL GOVERNING PUBLIC AGENCY STANDARD DRAWINGS. ALL CONCRETE SHALL BE CLASS 560-C-3250P, TYPE V CEMENT UNLESS OTHERWISE SPECIFIED BY THE ENGINEER.
 2. CONTROL JOINTS TO BE A MINIMUM 3/4" POLYSTYRENE JOINT FILLER AT 30' O.C. MAXIMUM, BCR'S AND ECR'S.
 3. 3/8" TOoled WEAKENED PLANE JOINTS TO BE AT 10' MAX. INTERVALS AND ALIGNED WITH ANY ADJACENT CURB OR PCC PAVEMENT, HAVE A 1.5 INCH MINIMUM DEPTH AND THEY SHALL BE INSTALLED AT THE TIME OF PCC PLACEMENT.
 4. ALL SURFACES SHALL BE STRAIGHT, UNIFORM, FREE OF HUMPS, SAGS, IRREGULARITIES AND IMPERFECTIONS. UNIFORM SURFACES SHALL NOT VARY MORE THAN 0.01" WHEN MEASURED WITH A 10 FOOT STRAIGHT EDGE.
 5. REBAR SHOWN HEREON IS NOT A REQUIREMENT OF THIS PERMIT, BUT IS AN OPTIONAL CONSTRUCTION REQUIREMENT BY IN-N-OUT BURGERS. CONTRACTOR TO VERIFY INSTALLATION WITH IN-N-OUT PRIOR TO PLACING BID OR BEGINNING CONSTRUCTION.
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 7. ALL SURFACES SHALL RECEIVE A FINE BROOM FINISH.
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 9. WHEN SIDEWALK ABUTS ANY BUILDING OR TRASH ENCLOSURE ENTRANCE AND WHEN PCC PAVEMENT ABUTS TRASH ENCLOSURE ENTRANCE INSTALL 14"-#3 DOWEL AT 24" O.C.

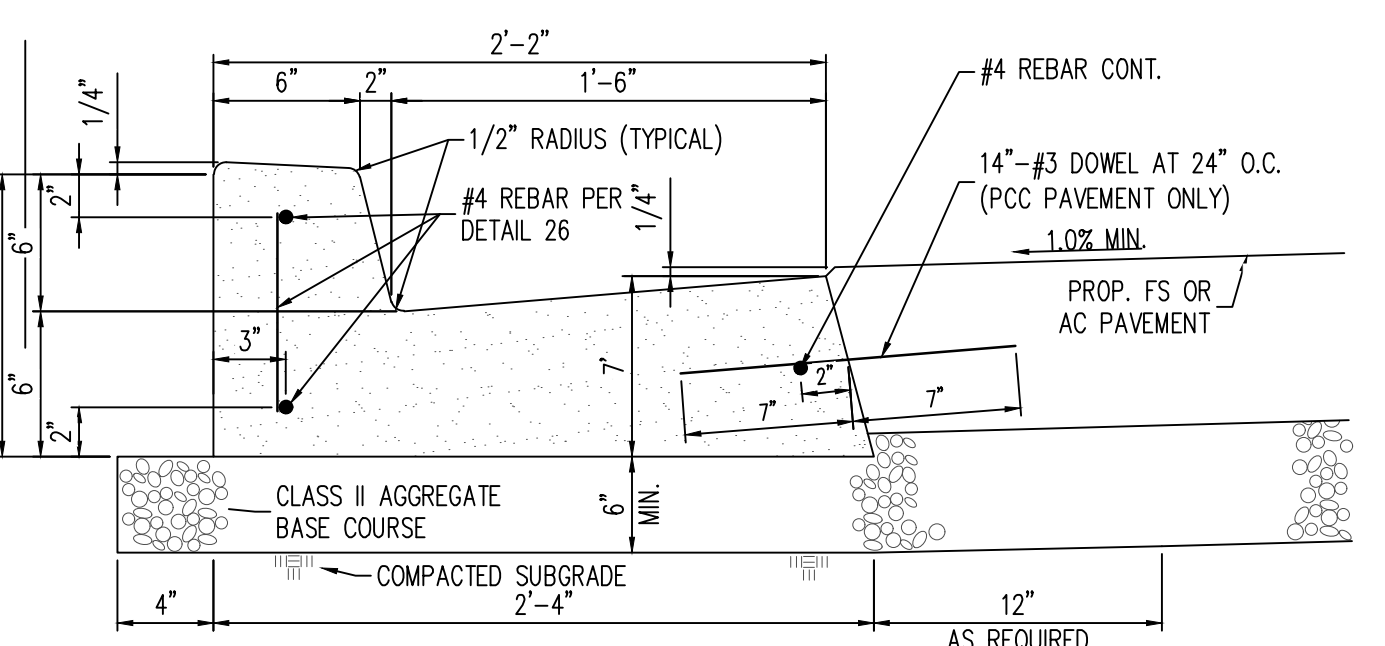
21 TRUNCATED DOME DETAIL FOR PEDESTRIAN ACCESS DETECTABLE WARNING STRIP
SCALE: NOT TO SCALE



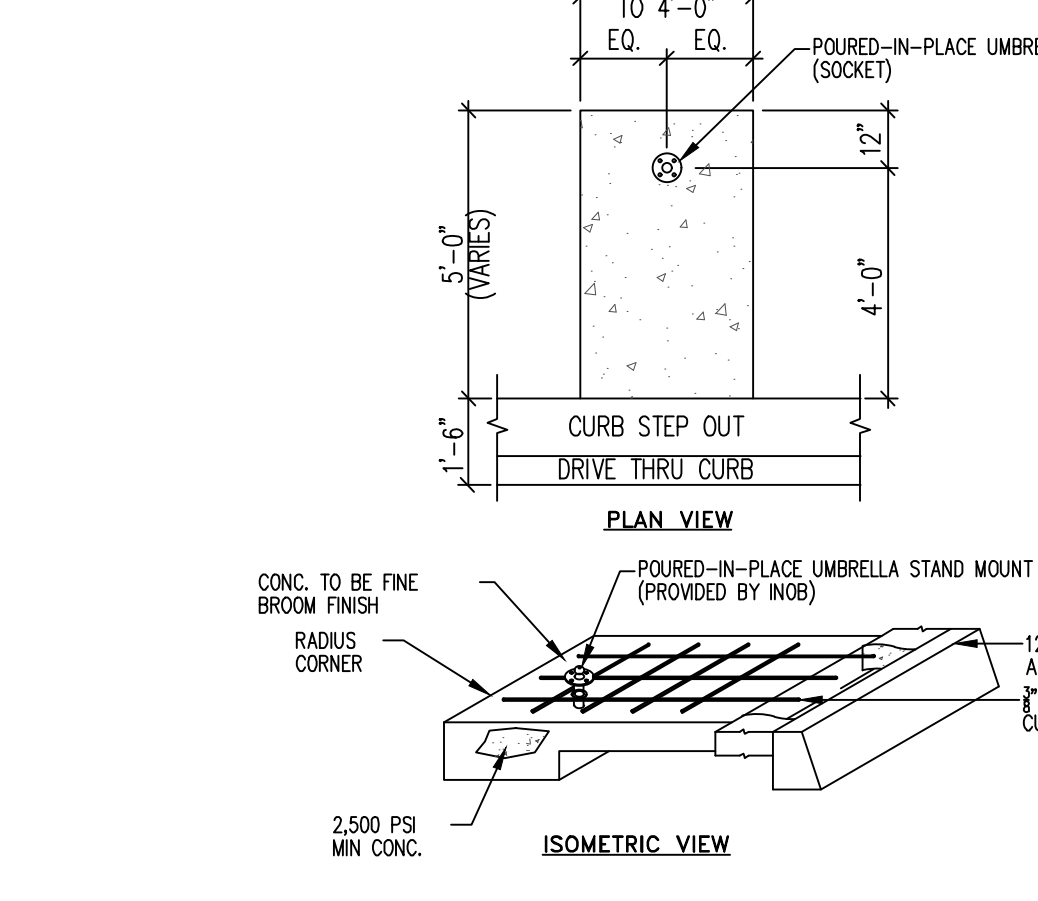
22 CONCRETE AT FRONT ENTRY
SCALE: 1"=5'



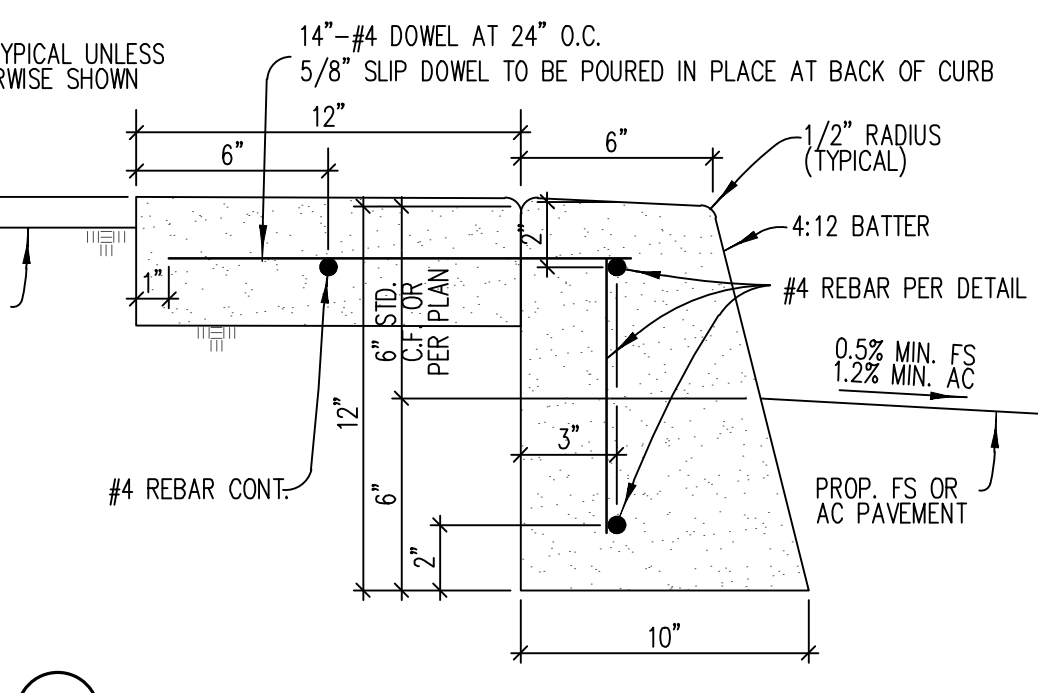
23 CONCRETE AT SIDE ENTRY
SCALE: 1"=5'



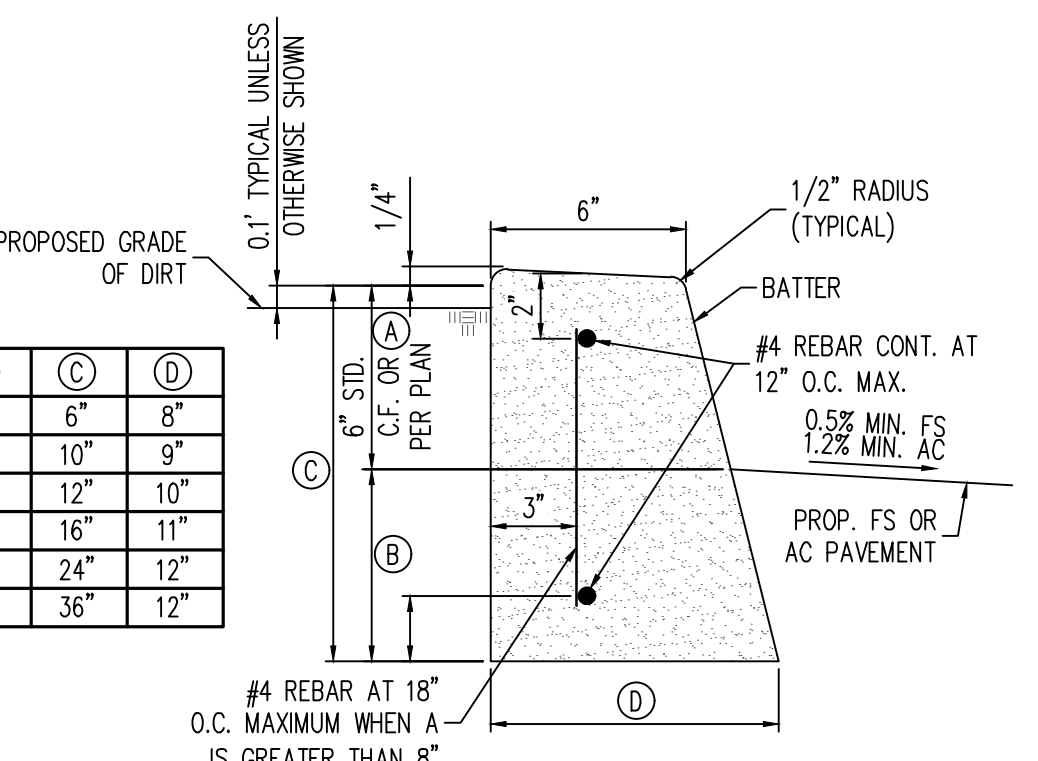
24 6\"/>



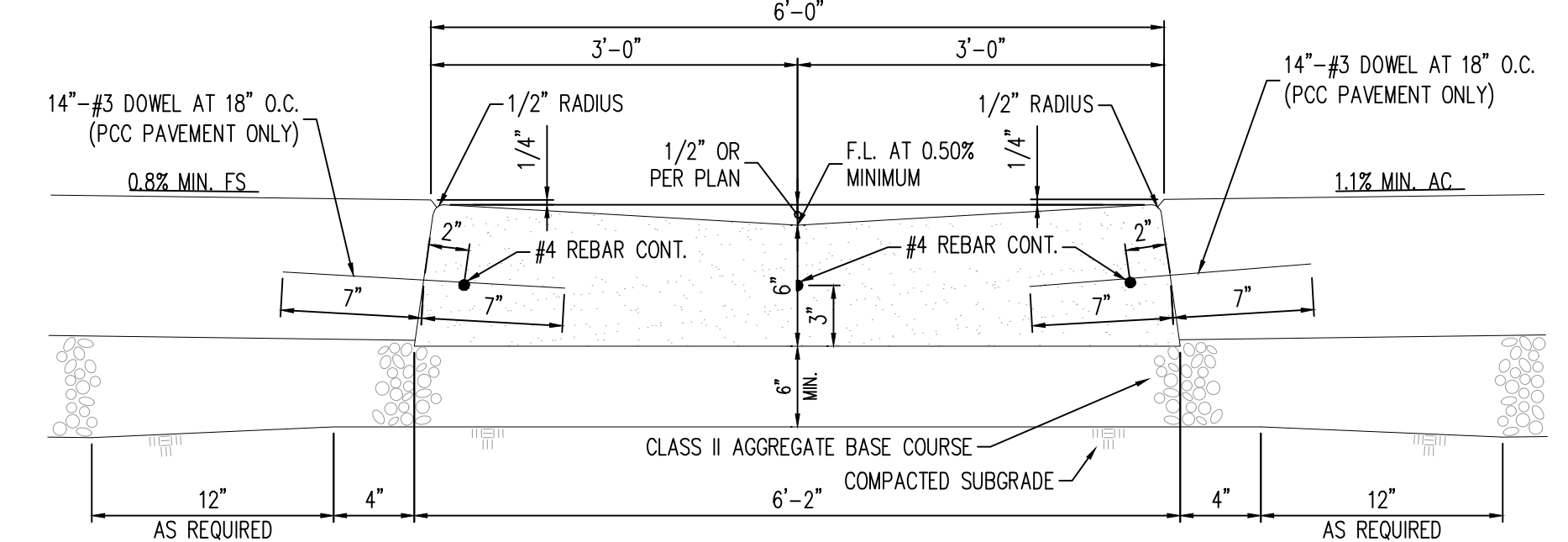
25 UMBRELLA PAD DETAIL
SCALE: NOT TO SCALE



26 PLANTER CURB WITH 12\"/>



27 0\"/>



28 6 FT WIDE CONCRETE CROSSPAN
SCALE: NOT TO SCALE

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 4. 4" THICK C.A.B. SHALL BE USED WHEN ADJACENT TO SIDEWALK AND PCC PAVEMENT.
 5. WHEN USING VARIABLE CURB FACE HEIGHT OF BETWEEN 0" AND 6" C.F. HOLD 4:12 BATTER AND 6" HEIGHT BELOW THE PAVEMENT FINISHED SURFACE.
 6. ALL SURFACES SHALL BE STRAIGHT, UNIFORM, FREE OF HUMPS, SAGS, IRREGULARITIES AND IMPERFECTIONS. UNIFORM SURFACES SHALL NOT VARY MORE THAN 0.01" WHEN MEASURED WITH A 10 FOOT STRAIGHT EDGE.
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PRELIMINARY
NOT FOR BIDDING
NOT FOR CONSTRUCTION

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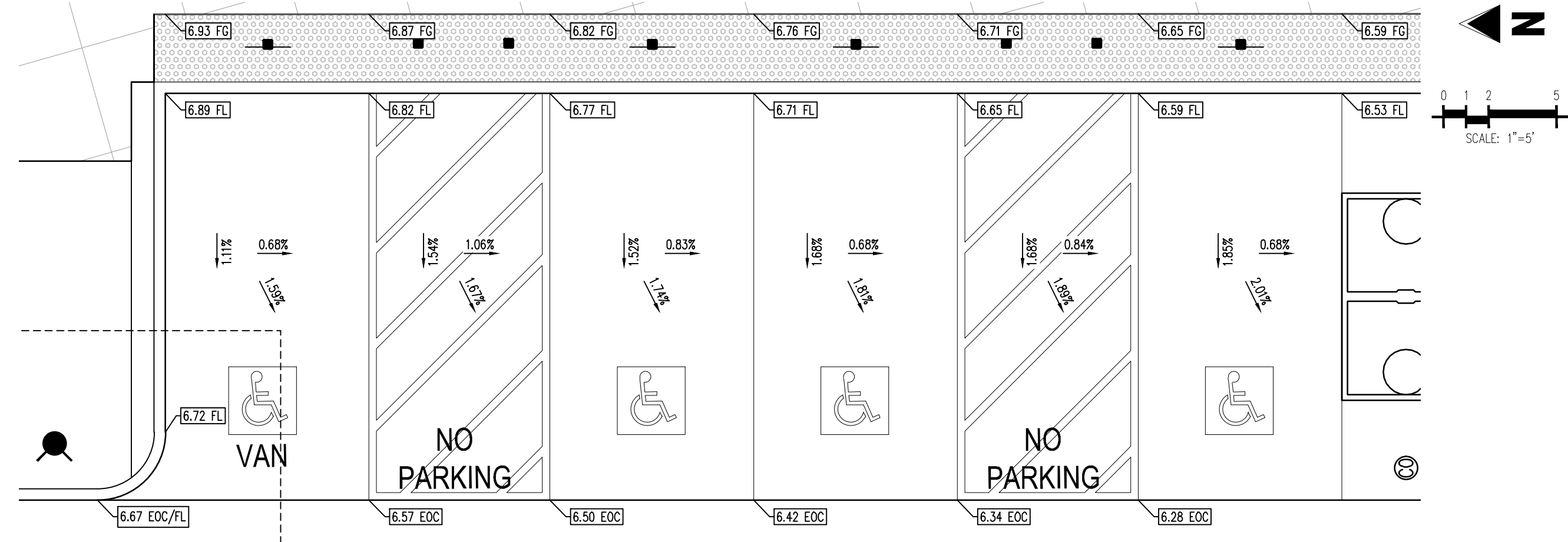
IN-N-OUT BURGER
CONSTRUCTION DOCUMENTS
PARKER & PINE FILING NO. 1, LOT 1
PARKER, CO 80134

#	Date	Issue / Description	Init.
1	12/21/2022	1ST CD SUBMITTAL	PJD
2	03/17/2023	2ND CD SUBMITTAL	PJD
3	04/26/2023	3RD CD SUBMITTAL	PJD

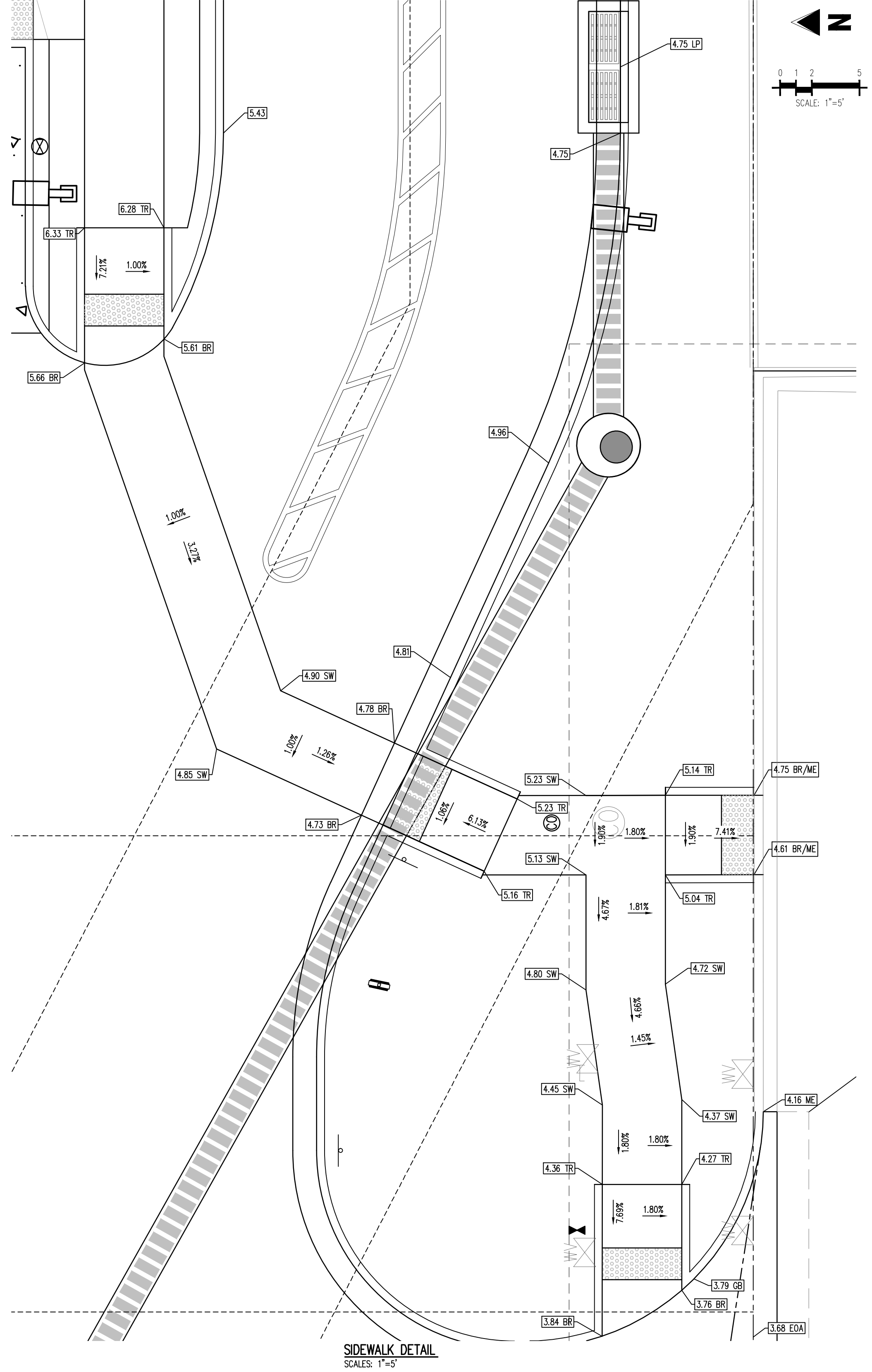
Project No: INV000014-20
Drawn By: JNE
Checked By: PJD
Date: 04/26/2023

GRADING DETAILS

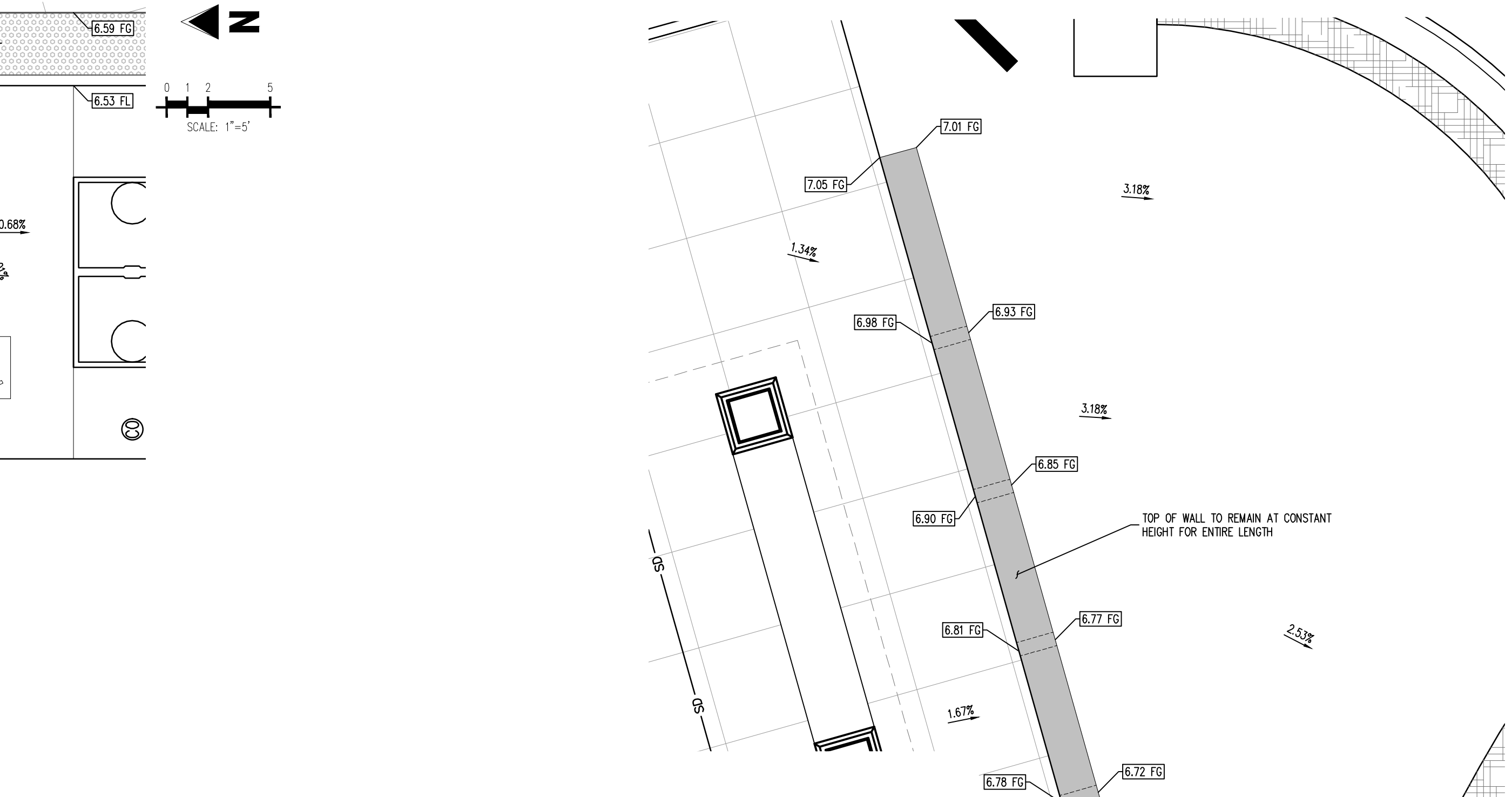
C2.1
Sheet 12 of 36



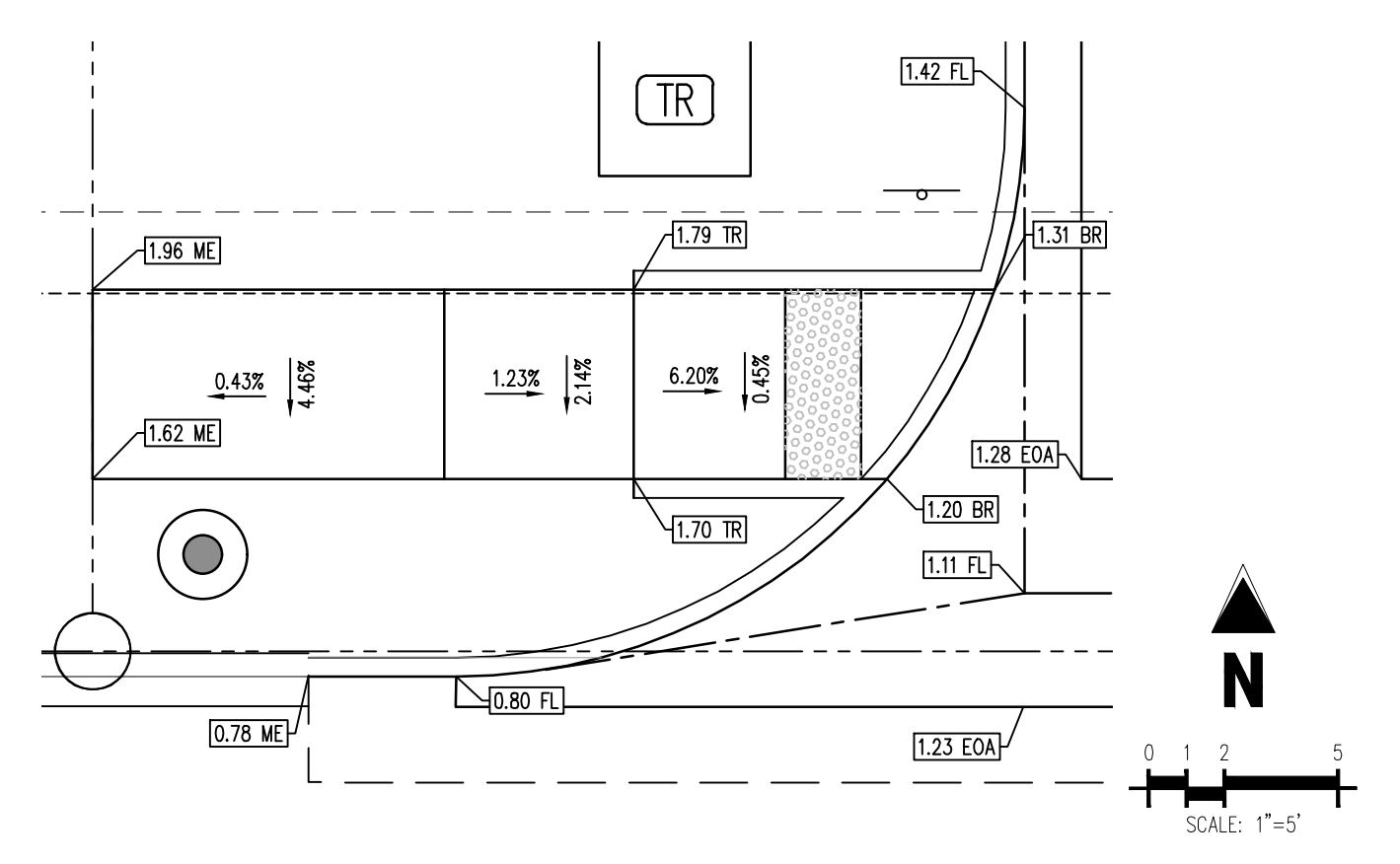
ADA PARKING DETAIL
SCALE: 1"=5'



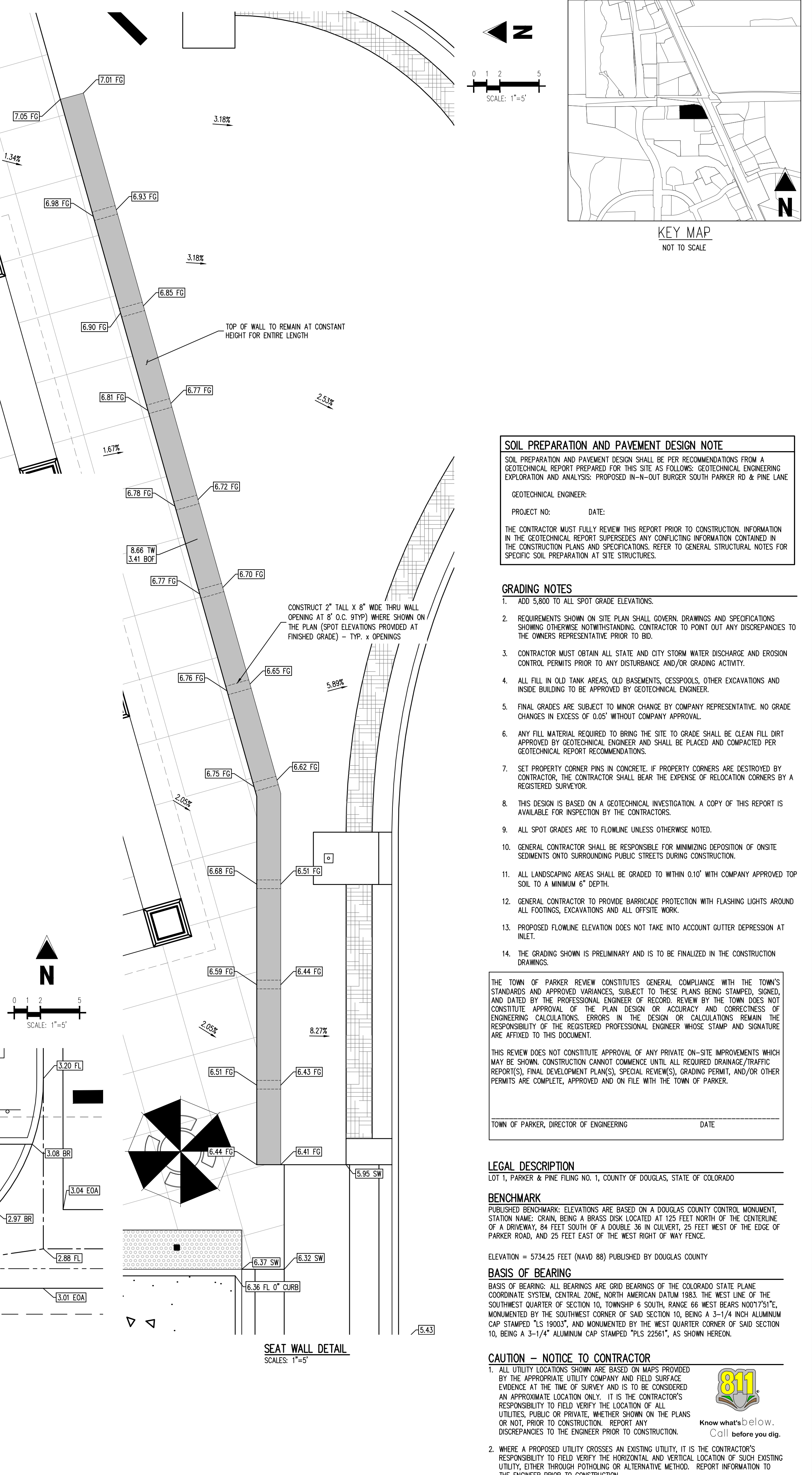
SIDEWALK DETAIL
SCALE: 1"=5'



RAMP DETAIL 1
SCALE: 1"=5'



RAMP DETAIL 2
SCALE: 1"=5'



SEAL WALL DETAIL
SCALE: 1"=5'

SOIL PREPARATION AND PAVEMENT DESIGN NOTE
SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS: GEOTECHNICAL ENGINEERING EXPLORATION AND ANALYSIS: PROPOSED IN-N-OUT BURGER SOUTH PARKER RD & PINE LANE.
GEOTECHNICAL ENGINEER: PROJECT NO: DATE:
THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

- GRADING NOTES**
- ADD 5,800 TO ALL SPOT GRADE ELEVATIONS.
 - REQUIREMENTS SHOWN ON SITE PLAN SHALL GOVERN DRAWINGS AND SPECIFICATIONS SHOWING OTHERWISE NOTWITHSTANDING. CONTRACTOR TO POINT OUT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BID.
 - CONTRACTOR MUST OBTAIN ALL STATE AND CITY STORM WATER DISCHARGE AND EROSION CONTROL PERMITS PRIOR TO ANY DISTURBANCE AND/OR GRADING ACTIVITY.
 - ALL FILL IN OLD TANK AREAS, OLD BASEMENTS, CESSPOOLS, OTHER EXCAVATIONS AND INSIDE BUILDING TO BE APPROVED BY GEOTECHNICAL ENGINEER.
 - FINAL GRADES ARE SUBJECT TO MINOR CHANGE BY COMPANY REPRESENTATIVE. NO GRADE CHANGES IN EXCESS OF 0.05' WITHOUT COMPANY APPROVAL.
 - ANY FILL MATERIAL REQUIRED TO BRING THE SITE TO GRADE SHALL BE CLEAN FILL DIRT APPROVED BY GEOTECHNICAL ENGINEER AND SHALL BE PLACED AND COMPACTED PER GEOTECHNICAL REPORT RECOMMENDATIONS.
 - SET PROPERTY CORNER PINS IN CONCRETE. IF PROPERTY CORNERS ARE DESTROYED BY CONTRACTOR, THE CONTRACTOR SHALL BEAR THE EXPENSE OF RELOCATION CORNERS BY A REGISTERED SURVEYOR.
 - THIS DESIGN IS BASED ON A GEOTECHNICAL INVESTIGATION. A COPY OF THIS REPORT IS AVAILABLE FOR INSPECTION BY THE CONTRACTORS.
 - ALL SPOT GRADES ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
 - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DEPOSITION OF ON-SITE SEDIMENTS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION.
 - ALL LANDSCAPING AREAS SHALL BE GRADED TO WITHIN 0.10' WITH COMPANY APPROVED TOP SOIL TO A MINIMUM 6" DEPTH.
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THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

LEGAL DESCRIPTION
LOT 1, PARKER & PINE FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO

BENCHMARK
PUBLISHED BENCHMARK: ELEVATIONS ARE BASED ON A DOUGLAS COUNTY CONTROL MONUMENT, STATION NAME: CRAIN, BEING A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN CULVERT, 25 FEET WEST OF THE EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.

ELEVATION = 5734.25 FEET (NAVD 88) PUBLISHED BY DOUGLAS COUNTY

BASIS OF BEARING
BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST BEARS N001°7'51"E, MONUMENTED BY THE SOUTHWEST CORNER OF SAID SECTION 10, BEING A 3-1/4" INCH ALUMINUM CAP STAMPED "LS 19003", AND MONUMENTED BY THE WEST QUARTER CORNER OF SAID SECTION 10, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 22561", AS SHOWN HEREON.

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



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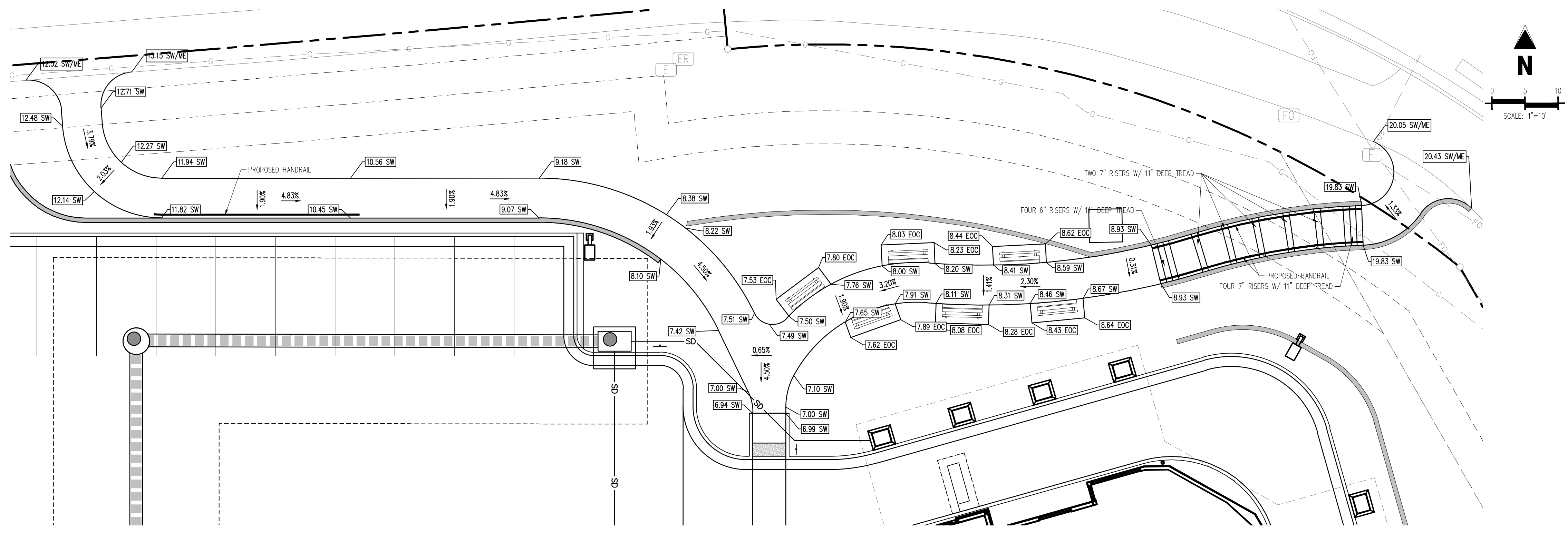
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Project No: INV000014-20
 Drawn By: JNE
 Checked By: PJD
 Date: 04/26/2023

GRADING DETAILS

C2.2
Sheet 13 of 36



SIDEWALK DETAIL
SCALE: 1"=10'

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LEGAL DESCRIPTION

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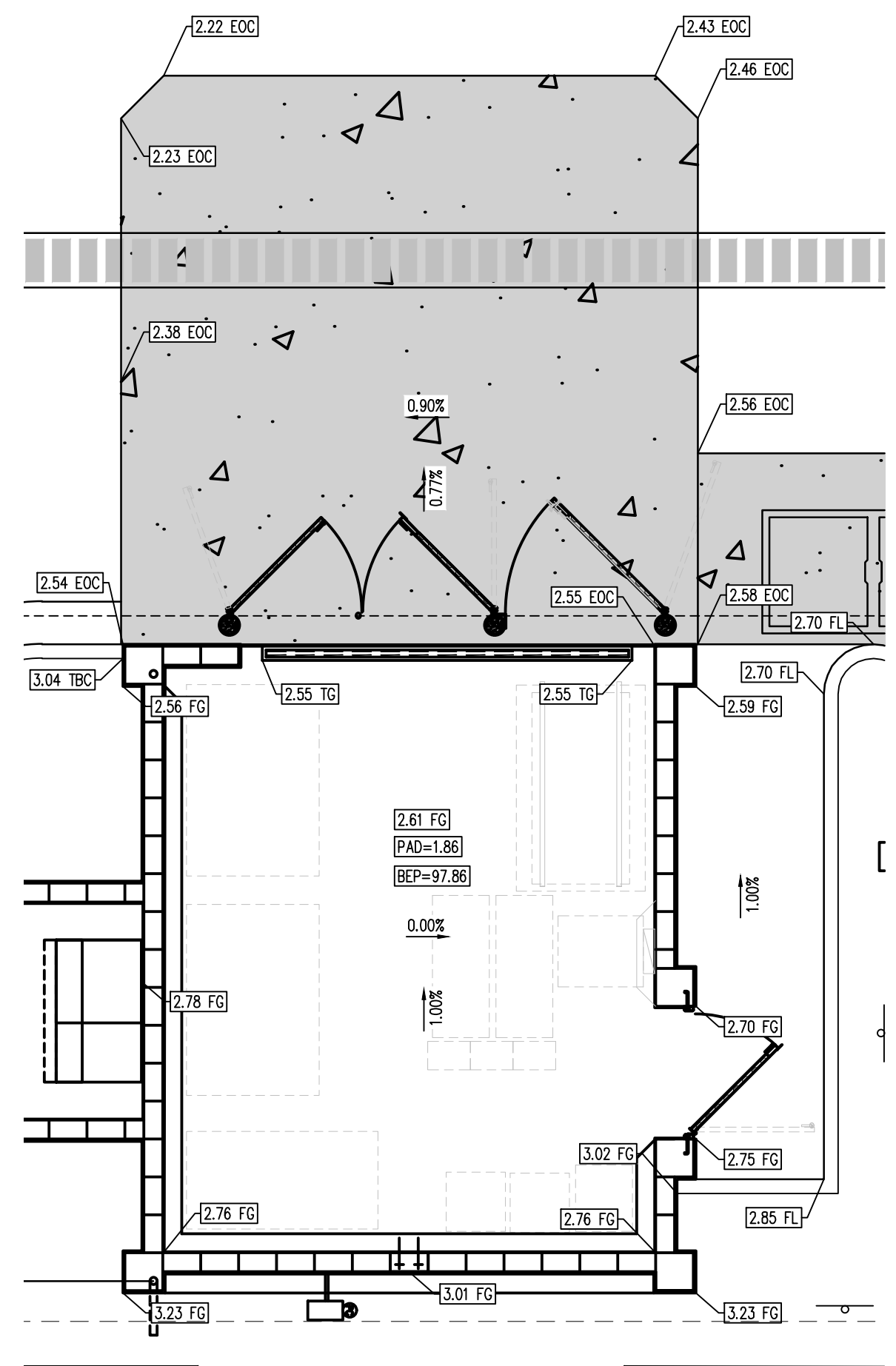
ELEVATION = 5734.25 FEET (NAVD 88) PUBLISHED BY DOUGLAS COUNTY

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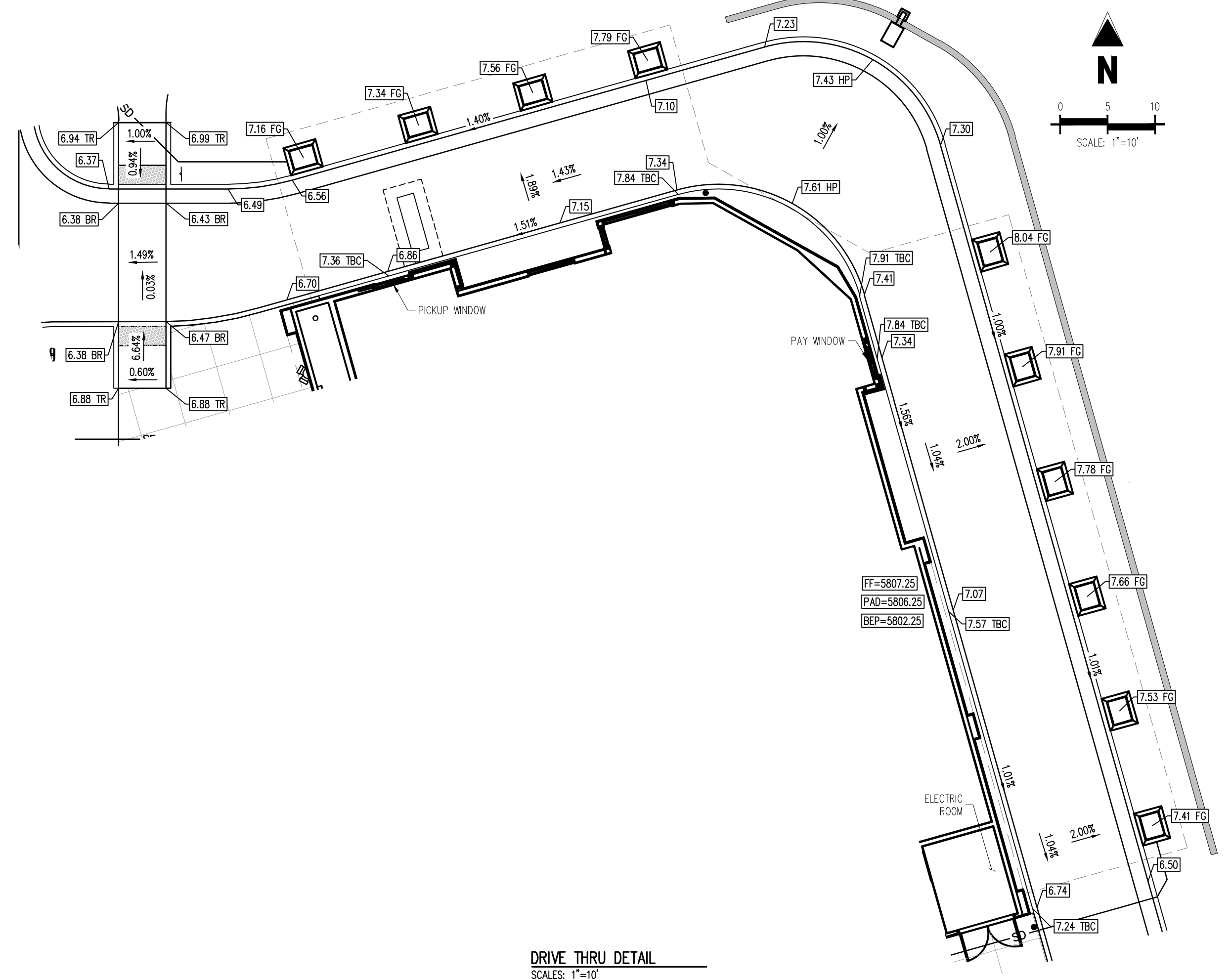
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- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



TRASH ENCLOSURE DETAIL
SCALE: 1"=5'



DRIVE THRU DETAIL
SCALE: 1"=10'

3/28/2023 10:00 AM C:\Users\jgalloway\OneDrive\Documents\Projects\2023\23-0001\23-0001.dwg (P) J. Galloway

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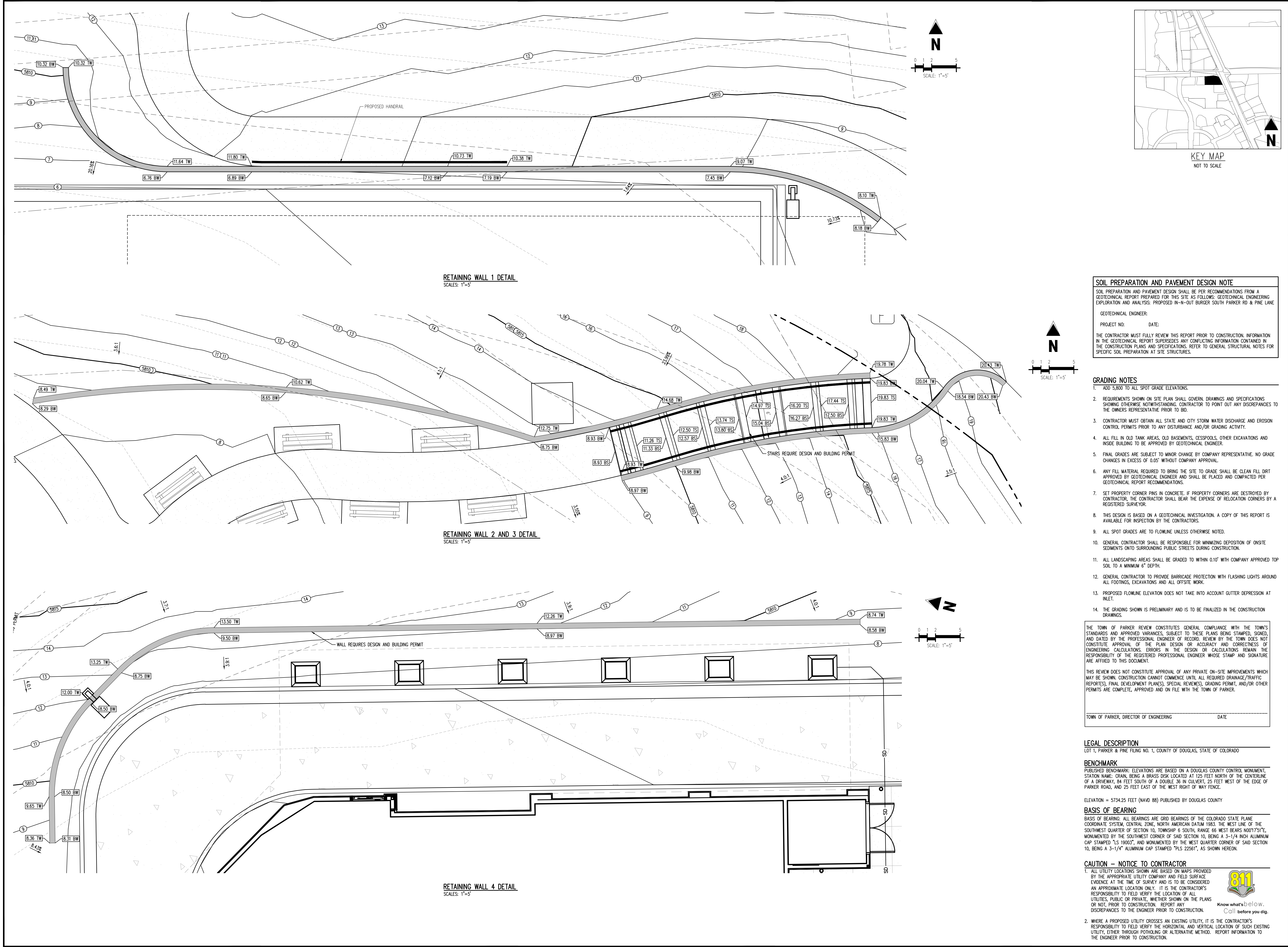
IN-N-OUT BURGER
CONSTRUCTION DOCUMENTS
PARKER & PINE FILING NO. 1, LOT 1
PARKER, CO 80134

#	Date	Issue / Description	Init.
1	12/21/2022	1ST CD SUBMITTAL	PJD
2	03/17/2023	2ND CD SUBMITTAL	PJD
3	04/26/2023	3RD CD SUBMITTAL	PJD

Project No:	INC000014-20
Drawn By:	JNE
Checked By:	PJD
Date:	04/26/2023

RETAINING WALL DETAILS

C2.3
Sheet 14 of 36



RETAINING WALL 1 DETAIL
SCALES: 1"=5'

RETAINING WALL 2 AND 3 DETAIL
SCALES: 1"=5'

RETAINING WALL 4 DETAIL
SCALES: 1"=5'

SOIL PREPARATION AND PAVEMENT DESIGN NOTE
SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS: GEOTECHNICAL ENGINEERING EXPLORATION AND ANALYSIS: PROPOSED IN-N-OUT BURGER SOUTH PARKER RD & PINE LANE.
GEOTECHNICAL ENGINEER: _____
PROJECT NO: _____ DATE: _____
THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

- GRADING NOTES**
- ADD 5,800 TO ALL SPOT GRADE ELEVATIONS.
 - REQUIREMENTS SHOWN ON SITE PLAN SHALL GOVERN DRAWINGS AND SPECIFICATIONS SHOWING OTHERWISE NOTWITHSTANDING. CONTRACTOR TO POINT OUT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BID.
 - CONTRACTOR MUST OBTAIN ALL STATE AND CITY STORM WATER DISCHARGE AND EROSION CONTROL PERMITS PRIOR TO ANY DISTURBANCE AND/OR GRADING ACTIVITY.
 - ALL FILL IN OLD TANK AREAS, OLD BASEMENTS, CESSPOOLS, OTHER EXCAVATIONS AND INSIDE BUILDING TO BE APPROVED BY GEOTECHNICAL ENGINEER.
 - FINAL GRADES ARE SUBJECT TO MINOR CHANGE BY COMPANY REPRESENTATIVE. NO GRADE CHANGES IN EXCESS OF 0.05' WITHOUT COMPANY APPROVAL.
 - ANY FILL MATERIAL REQUIRED TO BRING THE SITE TO GRADE SHALL BE CLEAN FILL DIRT APPROVED BY GEOTECHNICAL ENGINEER AND SHALL BE PLACED AND COMPACTED PER GEOTECHNICAL REPORT RECOMMENDATIONS.
 - SET PROPERTY CORNER PINS IN CONCRETE. IF PROPERTY CORNERS ARE DESTROYED BY CONTRACTOR, THE CONTRACTOR SHALL BEAR THE EXPENSE OF RELOCATION CORNERS BY A REGISTERED SURVEYOR.
 - THIS DESIGN IS BASED ON A GEOTECHNICAL INVESTIGATION. A COPY OF THIS REPORT IS AVAILABLE FOR INSPECTION BY THE CONTRACTORS.
 - ALL SPOT GRADES ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
 - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DEPOSITION OF ONSITE SEDIMENTS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION.
 - ALL LANDSCAPING AREAS SHALL BE GRADED TO WITHIN 0.10' WITH COMPANY APPROVED TOP SOIL TO A MINIMUM 6" DEPTH.
 - GENERAL CONTRACTOR TO PROVIDE BARRICADE PROTECTION WITH FLASHING LIGHTS AROUND ALL FOOTINGS, EXCAVATIONS AND ALL OFFSITE WORK.
 - PROPOSED FLOWLINE ELEVATION DOES NOT TAKE INTO ACCOUNT OUTER DEPRESSION AT INLET.
 - THE GRADING SHOWN IS PRELIMINARY AND IS TO BE FINALIZED IN THE CONSTRUCTION DRAWINGS.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.
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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

LEGAL DESCRIPTION
LOT 1, PARKER & PINE FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO

BENCHMARK
PUBLISHED BENCHMARK: ELEVATIONS ARE BASED ON A DOUGLAS COUNTY CONTROL MONUMENT, STATION NAME: CRAIN, BEING A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN CULVERT, 25 FEET WEST OF THE EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.
ELEVATION = 5734.25 FEET (NAVD 88) PUBLISHED BY DOUGLAS COUNTY

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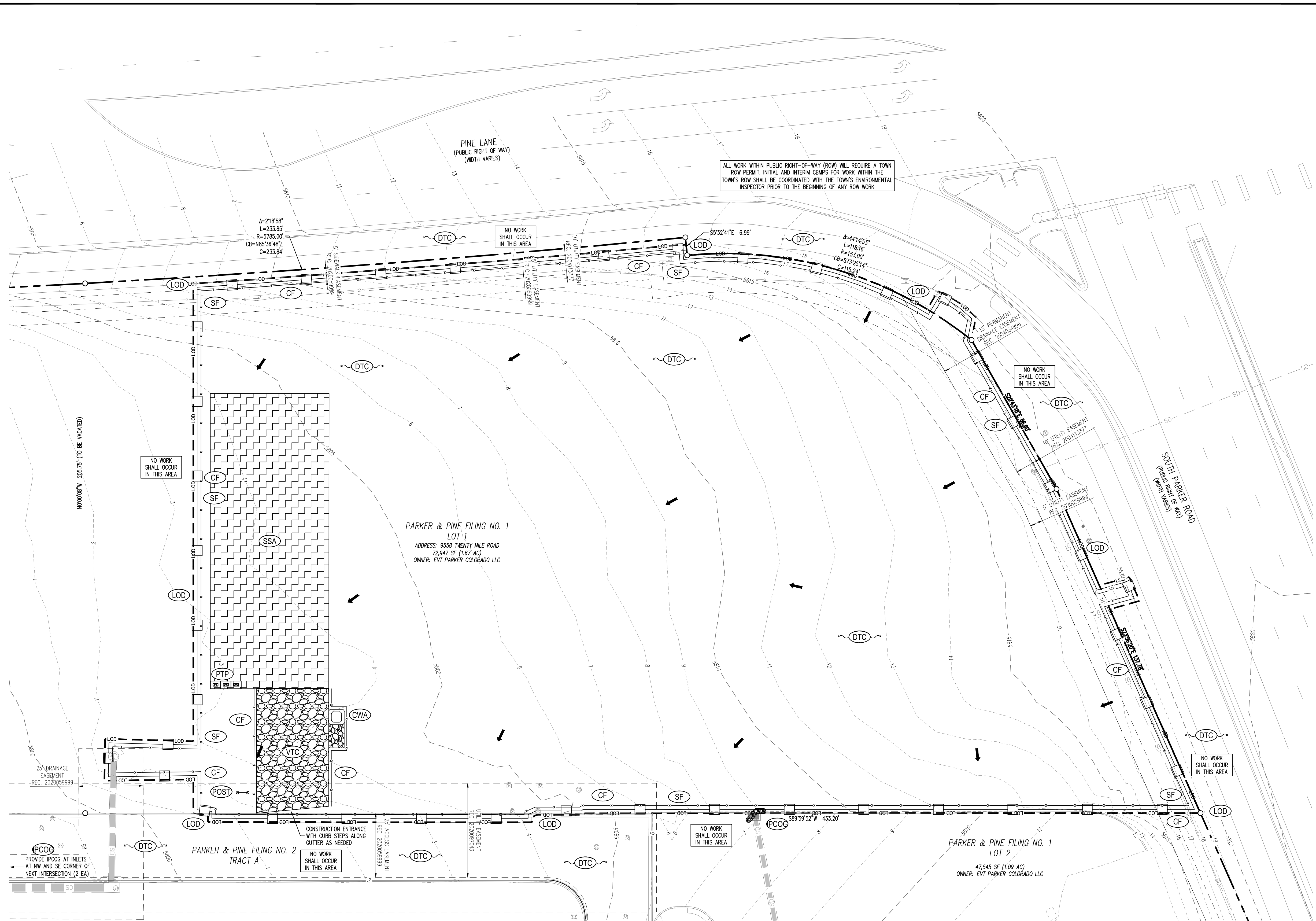


IN-N-OUT BURGER
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PARKER, CO 80134

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	04/26/2023	3RD CD SUBMITTAL	PJD

Project No: INC000014-20
Drawn By: JINE
Checked By: PJD
Date: 04/26/2023

CBMP PLAN INITIAL



GRADING LEGEND

---	PROPERTY LINE
---	EXISTING LOT LINE
---	PROPOSED LOT LINE
---	EXISTING EASEMENT
---	PROPOSED SAWTOOTH LINE
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	EXISTING CURB AND GUTTER
---	EXISTING STORM SEWER
---	LIMITS OF DISTURBANCE / LIMIT OF CONSTRUCTION
---	VEHICLE TRACKING CONTROL CONST. ENTRANCE
---	CONTRACTOR STAGING AREA (APPROXIMATE)
---	INLET PROTECTION, CURB ON-GRADE, TYPE R INLET
---	INLET PROTECTION, CURB ON-SUMP, TYPE R INLET
---	CONCRETE WASHOUT AREA
---	CONSTRUCTION FENCE
---	PORTABLE TOILET
---	SILT FENCE
---	SITE (CONTACTS AND PERMITS) AND CWA POSTING
---	DEBRIS AND TRASH CONTROL
---	FLOW ARROW
---	LANDSCAPE AREA (REFERENCE LANDSCAPING PLANS FOR DETAIL)
---	SEDIMENT CONTROL LOG

DISTURBED AREA TABLE

LIMITS	AREA (S.F.)	AREA (AC)
LIMITS OF CONSTRUCTION	72,825	1.6700

CUT/FILL SUMMARY

AREA (S.F.)	CUT (C.Y.)	FILL (C.Y.)	NET CUT (C.Y.)
72,825.55	6,713.16	55.73	6,657.43

*RAW CUT AND FILL VALUES. DOES NOT ACCOUNT FOR SOIL COMPACTION OR EXPANSION AND DOES NOT INCLUDE MATERIAL DEPTHS FOR CONCRETE, PAVEMENT, BUILDING FOUNDATION, ETC.

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- STORMWATER MANAGEMENT PLAN NOTES**
- THE CONTRACTOR AND/OR AUTHORIZED AGENTS SHALL REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATE IN, THE FLOW LINES AND PUBLIC RIGHTS OF WAYS OF THE TOWN AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE. DEVELOPMENT OR CONSTRUCTION PROJECT. SAID REMOVAL SHALL BE CONDUCTED IN A TIMELY MANNER.
 - ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT FUNCTION AS INTENDED. THE REQUIREMENTS OF THIS PLAN SHALL BE THE OBLIGATION OF THE PERMIT HOLDER UNTIL SUCH TIME AS THE PLAN IS PROPERLY COMPLETED AND THE PERMIT IS RELEASED.
 - THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION, EXCAVATION, TRENCHING, BORING, GRADING OR OTHER CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, ETC., RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
 - THE CONTRACTOR SHALL LOCATE, INSTALL, AND MAINTAIN ALL WATER QUALITY EROSION CONTROL MEASURES AND AS INDICATED IN THE APPROVED STORMWATER MANAGEMENT PLAN.
 - ROUGH-CUT STREETS SHALL BE MILDRED WITHIN 14 DAYS OF THE COMPLETION OF OVERLIT GRADING UNLESS A LAYER OF AGGREGATE ROAD BASE OR ASPHALT PAVING IS TO BE APPLIED TO SAID ROUGH-CUT STREETS WITHIN 14 DAYS.
 - THE DEVELOPER, GENERAL CONTRACTOR, GRADING CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL ENSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THIS SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF THE MATERIAL DURING TRANSPORT ON PUBLIC RIGHTS OF WAY.
 - SOILS THAT WILL BE STOCKPILED FOR MORE THAN 30 DAYS SHALL BE PROTECTED FROM WIND AND WATER EROSION WITHIN 14 DAYS OF STOCKPILE CONSTRUCTION. IF STOCKPILES ARE LOCATED WITHIN 100 FEET OF A DRAINAGEWAY, ADDITIONAL SEDIMENT CONTROLS SUCH AS TEMPORARY DIKES OR SILT FENCE SHALL BE REQUIRED.
 - APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR OF THE DURATION OF THIS PROJECT. ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM A CONTROL MEASURE WHEN THE SEDIMENT OR DEBRIS ADVERSELY IMPACTS THE FUNCTIONING OF THE CONTROL MEASURE.
 - CONSTRUCTION SEQUENCING MAY NECESSITATE RELOCATION OR TEMPORARY REMOVAL OF THE CONTROL MEASURES SHOWN HEREON. THE CONTRACTOR MAY RELOCATE CONTROL MEASURES INCLUDING VTC, SSA AND CONSTRUCTION TRAILERS AT THEIR DISCRETION. THE CONTROL MEASURES SHALL BE RESTORED AT SUCH A TIME AS THEY WILL NO LONGER IMPACT THE WORK. THE SITE COPY OF THE DRAWINGS SHALL BE MARKED UP ACCORDINGLY, AND A RECORD OF CONTROL MEASURE MODIFICATIONS KEPT IN THE SITE INSPECTION LOG.
 - ALL EROSION AND SEDIMENT CONTROL PRACTICES AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THE SWMP MUST BE MAINTAINED IN EFFECTIVE OPERATION CONDITION. PROPER SELECTION AND INSTALLATION OF CONTROL MEASURES AND IMPLEMENTATION OF COMPREHENSIVE INSPECTION AND MAINTENANCE PROCEDURES IN ACCORDANCE WITH THE SWMP SHOULD BE ADEQUATE TO MEET THIS CONDITION. CONTROL MEASURES THAT ARE NOT ADEQUATELY MAINTAINED IN ACCORDANCE WITH GOOD ENGINEER, HYDROLOGIC, AND POLLUTION CONTROL PRACTICES, INCLUDING REMOVAL OF COLLECTED SEDIMENT OUTSIDE THE ACCEPTABLE TOLERANCES OF THE CONTROL MEASURES ARE CONSIDERED TO BE NO LONGER OPERATING EFFECTIVELY AND MUST BE ADDRESSED.

- INITIAL EROSION CONTROL NOTES**
- INSTALL THE SWPPP INFORMATION SIGN AND POST REQUIRED DOCUMENTS NEAR THE PLANNED CONSTRUCTION EXIT, AND WITHIN EASY ACCESS TO THE GENERAL PUBLIC WITHOUT ENTERING THE SITE.
 - STAKE/FLAG/PAIN THE LOD (WHERE STAKING IS NOT POSSIBLE/PRACTICAL, THE LOD MUST BE CONSPICUOUSLY, AND PROMINENTLY, MARKED TO DENOTE THE BOUNDARY). LOD MUST REMAIN CONSPICUOUSLY MARKED THROUGHOUT THE ENTIRE CONSTRUCTION PROJECT.
 - INSTALL INLET PROTECTION ON EXISTING INLETS WITHIN LOD.
 - INSTALL TEMPORARY ROCK SOCK DOWN GRADIENT FROM TEMPORARY STRIPING ACTIVITIES.
 - BLACK OUT STRIPING THAT CONFLICTS WITH TEMPORARY STRIPING, PAINT TEMPORARY STRIPING AND INSTALL CONSTRUCTION FENCE AND JERSEY BARRIERS.
 - INSTALL PERIMETER SEDIMENT CONTROL MEASURES IN THE VICINITY OF, AND DOWN GRADIENT FROM, THE LOCATION OF THE PLANNED CONSTRUCTION EXIT, CONSTRUCTION OFFICE TRAILER, AND TEMPORARY PARKING AND STORAGE AREAS. CLEAR ONLY THE MINIMUM AREA ABSOLUTELY NECESSARY TO INSTALL THESE PERIMETER CONTROL MEASURES.
 - INSTALL STABILIZED CONSTRUCTION EXIT WITH SEDIMENT TRAP AND SET THE PROJECT OFFICE TRAILER.
 - INSTALL REMAINING PERIMETER SEDIMENT CONTROL MEASURES AS SHOWN ON THE SITE MAPS. CLEAR ONLY THE MINIMUM AREA NECESSARY TO INSTALL PERIMETER CONTROL MEASURES.
 - PREPARE TEMPORARY PARKING AND STORAGE AREA.
 - STABILIZE SIDE SLOPES, BOTTOM AND ALL SIDES OF EMBANKMENTS OR SLOPES OF SEDIMENT TRAPS IMMEDIATELY UPON COMPLETION OF EACH, AS SPECIFIED IN THE SWPPP AND SEDIMENT TRAP DETAIL.

- SANITARY AND SEPTIC WASTE NOTES**
- PROVIDE CONVENIENT, WELL-MAINTAINED, AND PROPERLY LOCATED TOILET FACILITIES ON-SITE.
 - LOCATE TOILET FACILITIES AWAY FROM STORM DRAIN INLETS AND WATERWAYS TO PREVENT ACCIDENTAL SPILLS AND CONTAMINATION OF STORMWATER.
 - MAINTAIN CLEAN RESTROOM FACILITIES AND EMPTY PORTABLE TOILETS REGULARLY.
 - WHERE POSSIBLE, PROVIDE SECONDARY CONTAINMENT PANS UNDER PORTABLE TOILETS.
 - PROVIDE TIE-DOWNS AND STAKE-DOWNS FOR PORTABLE TOILETS.
 - EDUCATE EMPLOYEES, SUBCONTRACTORS, AND SUPPLIERS ON LOCATIONS OF FACILITIES.
 - TREAT OR DISPOSE OF SANITARY AND SEPTIC WASTE IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. DO NOT DISCHARGE OR BURY WASTEWATER AT THE CONSTRUCTION SITE.
 - INSPECT FACILITIES FOR LEAKS. IF FOUND, REPAIR OR REPLACE IMMEDIATELY.
 - SPECIAL CARE IS NECESSARY DURING MAINTENANCE (PUMP OUT) TO ENSURE THAT WASTE AND/OR BIOCODE ARE NOT SPILLED ON THE GROUND.

EROSION CONTROL COST ESTIMATE:

Description	Quantity	Unit	Unit Cost	Amount
SILT FENCE	1900	LF	\$6.00	\$11,400.00
INLET PROTECTION	4	EA	\$350.00	\$1,400.00
VEHICLE TRACK CTL	1	EA	\$3,075.00	\$3,075.00
TEMPORARY SEEDING	23700	SY	\$1.10	\$26,070.00
CONC WASH OUT	1	EA	\$760.00	\$760.00
STABILIZED STAGING AREA	1	EA	\$855.00	\$855.00
SUBTOTAL				\$43,560.00
40% MANT FEE AND REPLACEMENT				\$17,424.00
TOTAL				\$60,984.00

GALLOWAY & COMPANY DOES NOT GUARANTEE THAT THE COST WILL NOT VARY FROM THESE OPINIONS OF PROBABLE COSTS.

GENERAL NOTES

- THE TRUE LOCATION OF THE PORTABLE TOILET PROTECTION (PTP) MAY BE DETERMINED BY THE TOWN AND THE EGS.
- LOT PROTECTION (LP) IS REQUIRED ON COMMERCIAL LOTS WHEN COMPLETION OF LANDSCAPING IS NOT POSSIBLE.
- ANY BULK FUEL STORAGE REQUIRES A FIRE LIFE SAFETY PERMIT FROM THE TOWN PRIOR TO INSTALLATION. CONTACT RANDY CAPRA AT RCAPRA@PARKERONLINE.ORG OR 303-805-3163.
- THE VTC PAD FOR A CWA DOES NOT NEED TO CONFORM TO THE FORMAL VTC DETAIL.
- THE TRUE LOCATION OF THE CWA MAY BE DETERMINED BY THE TOWN AND EGS.

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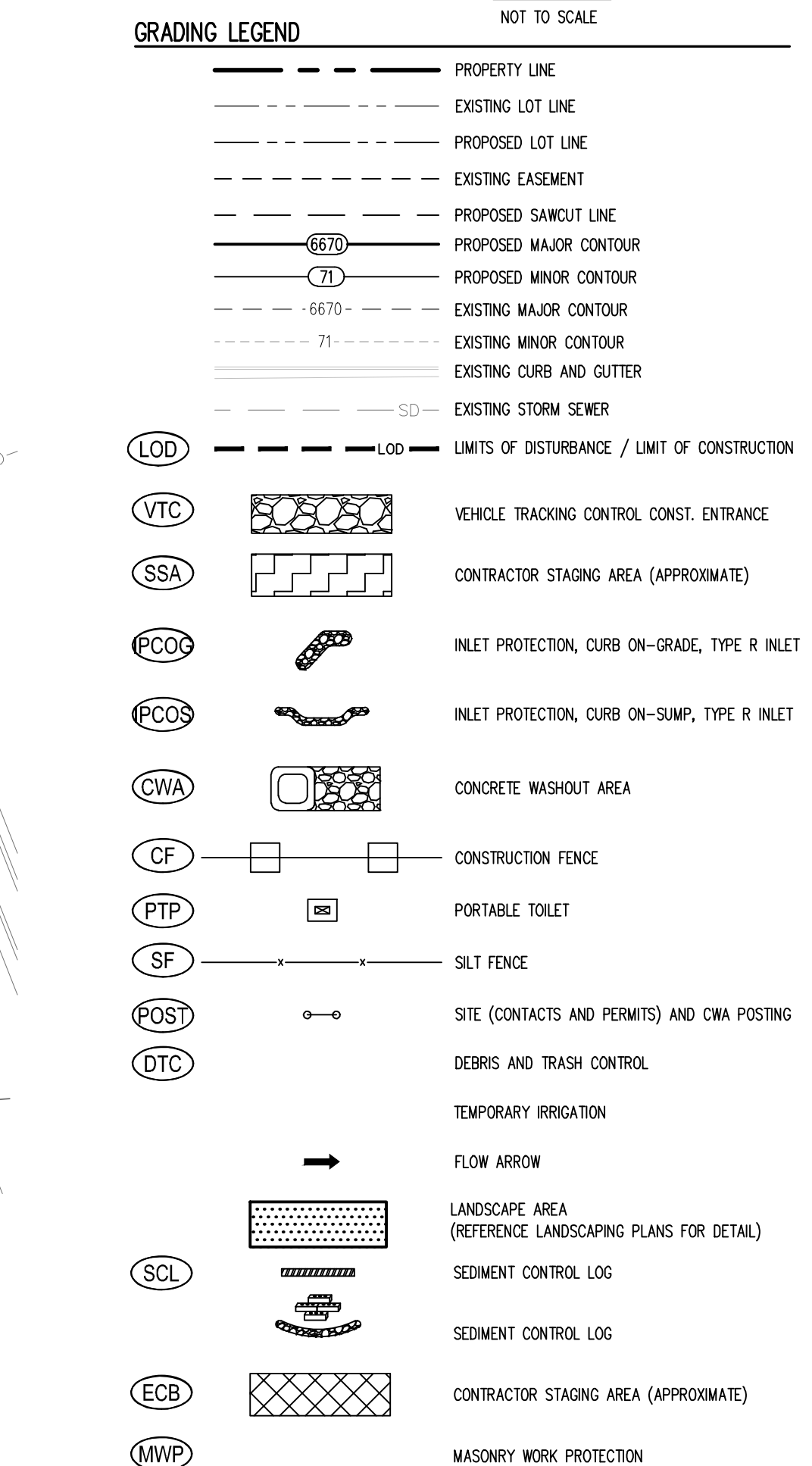
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Project No: INC000014-20
Drawn By: JINE
Checked By: PJD
Date: 04/28/2023

CBMP PLAN INTERIM AND FINAL

C2.5
Sheet 16 of 36



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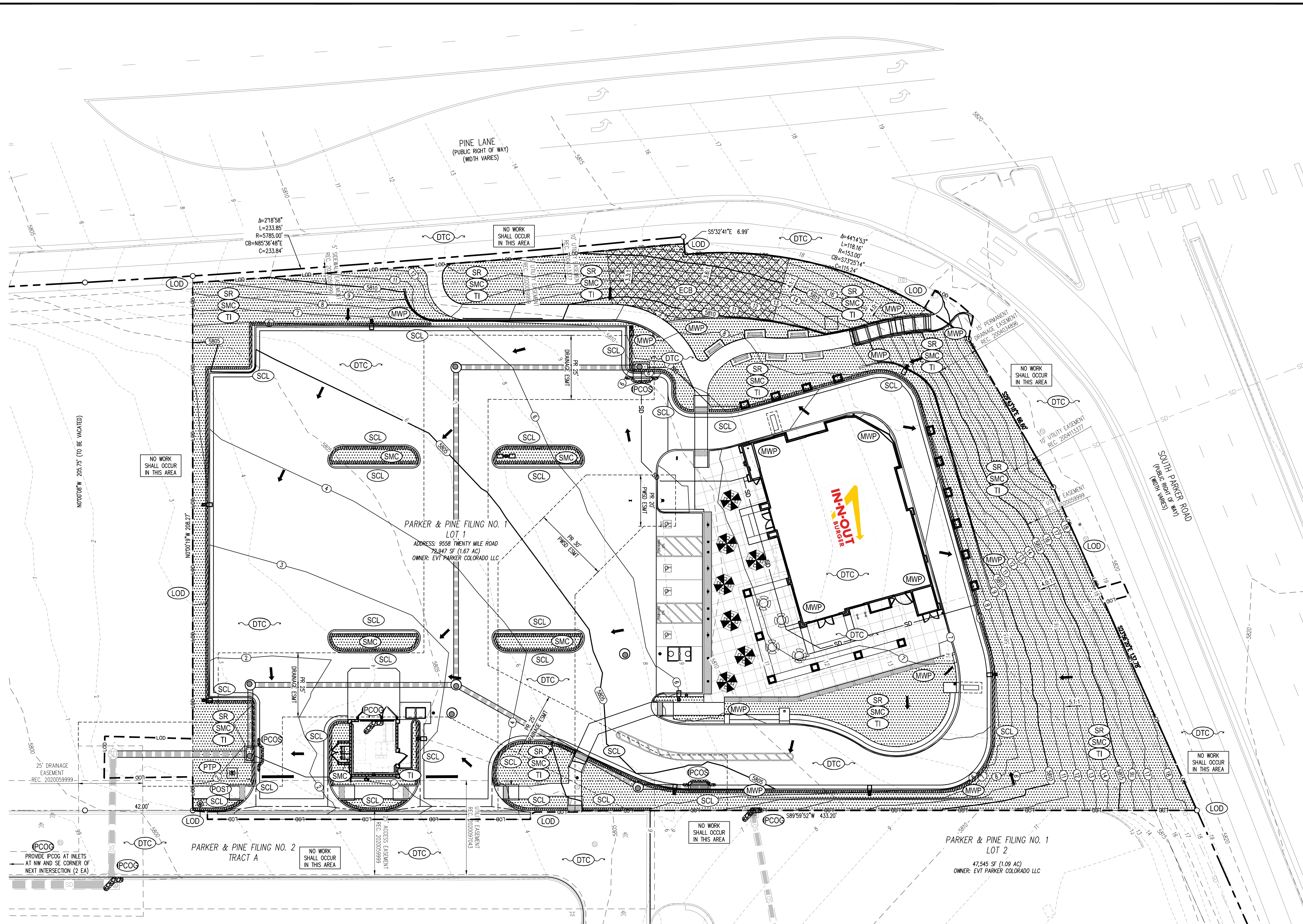
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CAUTION - NOTICE TO CONTRACTOR
1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



- STORMWATER MANAGEMENT PLAN NOTES**
- THE CONTRACTOR AND/OR AUTHORIZED AGENTS SHALL REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATE IN, THE FLOW LINES AND PUBLIC RIGHTS OF WAYS OF THE TOWN AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE. DEVELOPMENT OR CONSTRUCTION PROJECT. SAID REMOVAL SHALL BE CONDUCTED IN A TIMELY MANNER.
 - ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT FUNCTION AS INTENDED. THE REQUIREMENTS OF THIS PLAN SHALL BE THE OBLIGATION OF THE PERMIT HOLDER UNTIL SUCH TIME AS THE PLAN IS PROPERLY COMPLETED AND THE PERMIT IS RELEASED.
 - THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION, EXCAVATION, TRENCHING, BORING, GRADING OR OTHER CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, ETC., RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
 - THE CONTRACTOR SHALL LOCATE, INSTALL, AND MAINTAIN ALL WATER QUALITY EROSION CONTROL MEASURES AND AS INDICATED IN THE APPROVED STORMWATER MANAGEMENT PLAN.
 - ROUGH-CUT STREETS SHALL BE MULCHED WITHIN 14 DAYS OF THE COMPLETION OF OVERLIT GRADING UNLESS A LAYER OF AGGREGATE ROAD BASE OR ASPHALT PAVING IS TO BE APPLIED TO SAID ROUGH-CUT STREETS WITHIN 14 DAYS.
 - THE DEVELOPER, GENERAL CONTRACTOR, GRADING CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL ENSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THIS SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF THE MATERIAL DURING TRANSPORT ON PUBLIC RIGHTS OF WAY.
 - SOILS THAT WILL BE STOCKPILED FOR MORE THAN 30 DAYS SHALL BE PROTECTED FROM WIND AND WATER EROSION WITHIN 14 DAYS OF STOCKPILE CONSTRUCTION. IF STOCKPILES ARE LOCATED WITHIN 100 FEET OF A DRAINAGEWAY, ADDITIONAL SEDIMENT CONTROLS SUCH AS TEMPORARY DIKES OR SILT FENCE SHALL BE REQUIRED.
 - APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR OF THE DURATION OF THIS PROJECT. ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM A CONTROL MEASURE WHEN THE SEDIMENT OR DEBRIS ADVERSELY IMPACTS THE FUNCTIONING OF THE CONTROL MEASURE.
 - CONSTRUCTION SEQUENCING MAY NECESSITATE RELOCATION OR TEMPORARY REMOVAL OF THE CONTROL MEASURES SHOWN HEREON. THE CONTRACTOR MAY RELOCATE CONTROL MEASURES INCLUDING VTC, SSA AND CONSTRUCTION TRAILERS AT THEIR DISCRETION. THE CONTROL MEASURES SHALL BE RESTORED AT SUCH A TIME AS THEY WILL NO LONGER IMPIDE THE WORK. THE SITE COPY OF THE DRAWINGS SHALL BE MARKED UP ACCORDINGLY, AND A RECORD OF CONTROL MEASURE MODIFICATIONS KEPT IN THE SITE INSPECTION LOG.
 - ALL EROSION AND SEDIMENT CONTROL PRACTICES AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THE SWMP MUST BE MAINTAINED IN EFFECTIVE OPERATION CONDITION. PROPER SELECTION AND INSTALLATION OF CONTROL MEASURES AND IMPLEMENTATION OF COMPREHENSIVE INSPECTION AND MAINTENANCE PROCEDURES IN ACCORDANCE WITH THE SWMP SHOULD BE ADEQUATE TO MEET THIS CONDITION. CONTROL MEASURES THAT ARE NOT ADEQUATELY MAINTAINED IN ACCORDANCE WITH GOOD ENGINEERING, HYDROLOGIC, AND POLLUTION CONTROL PRACTICES, INCLUDING REMOVAL OF COLLECTED SEDIMENT OUTSIDE THE ACCEPTABLE TOLERANCES OF THE CONTROL MEASURES ARE CONSIDERED TO BE NO LONGER OPERATING EFFECTIVELY AND MUST BE ADDRESSED.

- INTERIM EROSION CONTROL NOTES**
- BEGIN EXCAVATION AND INSTALLATION OF SANITARY SEWER LINE AND STUB WITHIN CONSTRUCTION FENCE.
 - PAVE DISTURBED AREA TO PRE-CONSTRUCTION CONDITION, REMOVE JERSEY BARRIERS, AND PAINT EXISTING STRIPING TO PRE-CONSTRUCTION CONDITION.
 - BEGIN DEMOLITION OF ASPHALT. (PHASE DEMOLITION TO THE EXTENT PRACTICAL TO MINIMIZE THE AMOUNT OF AREA DISTURBED AT ANY POINT IN TIME)
 - EXCAVATE AND SET TANKS AND USE SPOILS TO BUILD KIOSK PAD.
 - BEGIN GRADING THE SITE. START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
 - TEMPORARILY STABILIZE, THROUGHOUT CONSTRUCTION IMMEDIATELY FOLLOWING THE COMPLETION OF THE MOST RECENT LAND DISTURBING/GRADING ACTIVITY, ANY DISTURBED AREAS, INCLUDING MATERIAL STOCKPILES THAT ARE SCHEDULED OR LIKELY TO REMAIN INACTIVE FOR 14 DAYS OR MORE.
 - INSTALL UTILITIES, STORM SEWERS, CURBS AND GUTTERS.
 - INSTALL CONTROL MEASURES WITHIN OFF-SITE WORK AREAS PRIOR TO BEGINNING WORK IN THESE AREAS.
 - IMMEDIATELY PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO GRADE.
 - PREPARE SUBGRADE AS NECESSARY.
 - PREPARE SITE FOR PAVING.
 - PAVE SITE.
 - MAINTAIN APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES, PER BMP DETAILS.
 - COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
 - REMOVE TEMPORARY STRIPING AND PAINT PERMANENT STRIPING.
 - OBTAIN CONCURRENCE FROM CONSTRUCTION MANAGER (CM) AND THAT THE SITE HAS BEEN FULLY STABILIZED AND ALL CONSTRUCTION HAS BEEN COMPLETED.

- FINAL EROSION CONTROL NOTES**
- REMOVE ALL REMAINING EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (CONTROL MEASURES).
 - STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF TEMPORARY CONTROL MEASURES.
 - INSTALL PERMANENT SEED AND LANDSCAPING.
 - CONTINUE DAILY INSPECTIONS AND REPORTS UNTIL THE CM FINAL DAILY INSPECTION REPORT, MARKED "READY TO TERMINATE PERMIT", IS SIGNED BY THE CONSTRUCTION MANAGER AND SUBMITTED SWPPP PLACED IN THE JOB SITE BINDER.
 - PROVIDE OWNER WITH COMPLETE COPY OF JOBSITE BINDER.

- GENERAL NOTES**
- THE TRUE LOCATION OF THE PORTABLE TOILET PROTECTION (PTP) MAY BE DETERMINED BY THE TOWN AND THE EGS.
 - LOT PROTECTION (LP) IS REQUIRED ON COMMERCIAL LOTS WHEN COMPLETION OF LANDSCAPING IS NOT POSSIBLE.
 - ANY BULK FUEL STORAGE REQUIRES A FIRE LIFE SAFETY PERMIT FROM THE TOWN PRIOR TO INSTALLATION. CONTACT RANDY CARRA AT RCARRA@PARKERONLINE.ORG OR 303-805-3163.

EROSION CONTROL COST ESTIMATE:

Description	Quantity	Unit	Unit Cost	Amount
SILT FENCE	1,900	LF	\$6.00	\$11,400.00
INLET PROTECTION	4	EA	\$350.00	\$1,400.00
VEHICLE TRACK CTL	1	EA	\$3,075.00	\$3,075.00
TEMPORARY SEEDING	23,700	SY	\$1.10	\$26,070.00
CONC WASH OUT	1	EA	\$760.00	\$760.00
EROSION CONTROL BLANKET	188	SY	\$5.00	\$940.00
SEDIMENT CONTROL LOG	1,328	LF	\$6.00	\$7,968.00
STABILIZED STAGING AREA	1	EA	\$855.00	\$855.00
SUBTOTAL				\$52,468.00
40% MANT FEE AND REPLACEMENT				\$20,987.20
TOTAL				\$73,455.20

GALLOWAY & COMPANY DOES NOT GUARANTEE THAT THE COST WILL VARY FROM THESE OPINIONS OF PROBABLE COSTS.

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	CD	CHECK DAM
	CF	CONSTRUCTION FENCE
	CP	CULVERT PROTECTION
	CWA	CONCRETE WASHOUT AREA
	D	DEWATERING
	DD	DIVERSION DITCH
	DP	DETENTION POND PROTECTION
	DTC	DEBRIS TRASH CONTROL
	ECB	EROSION CONTROL BLANKET
	IPAN	INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT
	IPAP	INLET PROTECTION FOR AREA INLETS IN PAVEMENT
	IPCOG	INLET PROTECTION, CURB ON-GRADE, TYPE R INLET
	IPCOS	INLET PROTECTION, CURB ON SUMP, TYPE R INLET

CBMP LEGEND
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	LP	LOT PROTECTION
	MWP	MASONRY WORK PROTECTION
	PTP	PORTABLE TOILET PROTECTION
	RCSC	ROUGH CUT STREET CONTROL
	RS	ROCK SOCK
	RSS	ROCK SOCK IN SWALE
	SB	STRAW BALE
	SCL	SEDIMENT CONTROL LOGS
	SF	SILT FENCE
	SMC	SEEDING, MULCHING AND CRIMPING
	SR	SURFACE ROUGHING
	SSA	STABILIZED STAGING AREA
	STP	SIDEWALK TRANSITION PROTECTION

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	TI	TEMPORARY IRRIGATION
	TSB	TEMPORARY SEDIMENT BASIN
	VTC	VEHICLE TRACKING CONTROL

CBMP LEGEND
CONSTRUCTION BEST MANAGEMENT PRACTICES 3 OF 3
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NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

- GRADING, DRILLING, CLEARING, EXCAVATING, BACK-FILLING, SOIL STRIPPING, SOIL IMPORTING EXPORTING OR ANY OTHER FORM OF SOIL DISTURBANCE SHALL NOT COMMENCE UNTIL A TOWN OF PARKER GRADING/EXCAVATION PERMIT HAS BEEN ISSUED.
- THE TOWN OF PARKER GRADING/EXCAVATION PERMIT IS VALID FOR A PERIOD OF 2 YEARS FROM THE DATE OF ISSUANCE. ANY LAPSE IN PERMIT COVERAGE MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER AND/OR FINES.
- ALL EROSION AND SEDIMENT CONTROL BMPs SHALL BE INSTALLED ACCORDING TO THE CBMP PLAN INSTALLATION NOTES AND DETAILS AND/OR PERMITTED VARIANCES. ALL MATERIALS, WORKMANSHIP AND INSTALLATION METHODS ARE SUBJECT TO INSPECTION BY THE TOWN'S INSPECTOR. THE TOWN OF PARKER RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS, WORKMANSHIP AND/OR INSTALLATION METHODS THAT DO NOT CONFORM TO THE CBMP PLAN AND/OR PERMITTED VARIANCES.
- THE EROSION CONTROL SUPERVISOR SHALL REVIEW OR MODIFY THE EROSION AND SEDIMENT CONTROL MEASURES IF IT BECOMES APPARENT THAT THE ORIGINAL PLAN IS INADEQUATE, OR AS A RESULT OF DEFICIENCIES IDENTIFIED DURING INSPECTIONS PERFORMED BY THE TOWN'S INSPECTOR.
- THE INSTALLATION OF ADDITIONAL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) MAY BE REQUIRED OF THE EROSION CONTROL SUPERVISOR, PROPERTY OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS AT ANY TIME THROUGHOUT THE DURATION OF THE PROJECT CONSTRUCTION AND/OR SUBSEQUENT REVEGETATION PERIOD.
- THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE SITE REMAINS IN COMPLIANCE WITH THE NOTICE OF NUISANCE REPORTS (a.k.a. CONSTRUCTION SITE RUNOFF CONTROL INSPECTION REPORTS), APPROVED CBMP PLAN(S) AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
- THE EROSION CONTROL SUPERVISOR SHALL BE READILY AVAILABLE TO DISCUSS AND CORRECT ANY PROBLEMS THAT MAY ARISE RELATING TO GRADING, EROSION AND SEDIMENT CONTROL.
- IF IT IS ANTICIPATED THAT ALL OR A PORTION OF THE PROJECT WILL OCCUR DURING SEASONS SUSCEPTIBLE TO SNOWFALL, THE USE OF CERTAIN EROSION AND SEDIMENT CONTROL BMPs ADJACENT TO PUBLIC ROADWAYS MAY NEED TO BE RECONSIDERED DUE TO THE NATURE OF SNOW REMOVAL OPERATIONS. AN APPROVED ALTERNATIVE MAY BE NECESSARY TO MINIMIZE DAMAGE FROM THESE OPERATIONS. THE TOWN OF PARKER ASSUMES NO RESPONSIBILITY FOR DAMAGE TO ANY BMPs AS A RESULT OF SNOW FLOWING AND SNOW REMOVAL.
- AREAS OF LAND DISTURBANCE EQUAL TO 40 ACRES OR GREATER SHALL NOT BE EXPOSED FOR MORE THAN 30 CONSECUTIVE DAYS WITHOUT TEMPORARY OR PERMANENT STABILIZATION.
- AUTHORIZED EXEMPTIONS MAY BE ALLOWED TO THE 40-ACRE LIMIT FOR REMOVAL AND STORAGE OF CUT MATERIAL WHERE (A) GEOTECHNICAL LIMITATIONS RESTRICT THE USE OF TEMPORARY OR PERMANENT STABILIZATION OF THE STORED MATERIAL (E.G., SWELLING SOILS, ROCK) AND (B) WHEN THE OWNER CAN DEMONSTRATE THAT THE 40-ACRE LIMIT IS PHYSICALLY AND/OR FINANCIALLY IMPRACTICABLE. FOR SITES GRANTED THIS EXEMPTION, A PHASING AND EARTHWORK QUANTITIES PLAN SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT AND APPROVED PRIOR TO THE COMMENCEMENT OF LAND DISTURBANCE ACTIVITIES. SUBMITTAL REQUIREMENTS INCLUDE:
 - PHASING PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
 - EARTHWORK QUANTITY PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
 - BMP PLAN SHOWING SPECIFIC EROSION AND SEDIMENT CONTROLS FOR EACH PHASE.

CBMP GEN NOTES
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NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

- ANY EROSION AND SEDIMENT CONTROL BMPs THAT ARE DAMAGED OR IN NEED OF MAINTENANCE OR REPLACEMENT SHALL BE CORRECTED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
- ALL DEFICIENCIES LISTED ON THE NOTICE OF NUISANCE FORM SHALL BE COMPLETED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES. ALL REQUIRED ACTIONS MUST BE IN THE CORRECTED FORM DURING THE FOLLOW-UP INSPECTION.
- THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR ENSURING THAT ALL STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, ALLEYS, TRICKLE CHANNELS, AND/OR OTHER IMPERVIOUS SURFACES IMPACTED BY CONSTRUCTION ACTIVITIES ARE THOROUGHLY CLEANED THROUGHOUT THE DAY IF THEY BECOME SOILED. THESE AREAS MUST ALSO BE THOROUGHLY CLEAN BEFORE THE END OF THE WORK DAY.
- BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS.
- ALL TRASH RECEPTACLES ON SITE SHALL BE FREE OF HOLES, CRACKS, GAPS, AND/OR OTHER PERMEABLE AREAS THAT MAY ALLOW FOR THE DISCHARGE OF POLLUTANTS.
- ALL TRASH RECEPTACLES ON SITE SHALL BE EMPTIED AT A FREQUENCY AS TO ENSURE THAT THE TRASH REMAINS CONFINED TO THE RECEPTACLE.
- ALL LOOSE TRASH AND LITTER ASSOCIATED WITH THE PROJECT MUST BE REMOVED AND PROPERLY DISCARDED ON A DAILY BASIS.
- ALL PORTABLE TOILETS SHALL BE STAKED DOWN AT ALL TIMES USING U-SHAPED REBAR STAKES. THE PORTABLE TOILETS SHALL ALSO BE PLACED A MINIMUM DISTANCE OF 10 FEET FROM ALL IMPERVIOUS SURFACES, INCLUDING, BUT NOT LIMITED TO STREETS CURBS, GUTTERS, SIDEWALKS AND PARKING LOTS.
- THE EROSION CONTROL SUPERVISOR SHALL MAINTAIN STRICT ADHERENCE TO THE LIMITS OF CONSTRUCTION AND PROPERTY LIMITS FOR ALL MATERIALS, VEHICLES AND EQUIPMENT. FAILURE TO ABIDE BY THIS REQUIREMENT MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER.
- ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE THROUGH THE APPROVED ACCESS POINT(S). A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL APPROVED ACCESS POINTS TO THE SITE. EXCEPTIONS MAY BE CONSIDERED FOR CONSTRUCTION ACTIVITY OCCURRING IMMEDIATELY ADJACENT TO PAVED AREAS AND WHERE ALTERNATIVE BMPs ARE IMPLEMENTED. SUCH ACTIVITY MAY INCLUDE, BUT NOT BE LIMITED TO RESIDENTIAL CONSTRUCTION, UTILITY CONSTRUCTION, ETC.
- NO PERMANENT SLOPES GREATER THAN 3:1 ARE ALLOWED.
- ALL PERMANENT SLOPES STEEPER THAN 4:1 (HORIZONTAL TO VERTICAL) SHALL REQUIRE EROSION CONTROL BLANKET(S). TEMPORARY SLOPES IN TEMPORARY SEDIMENT BASINS THAT ARE STEEPER THAN 4:1 MAY REQUIRE EROSION CONTROL BLANKETS.
- THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ADVERSE IMPACTS THAT OCCUR TO NEIGHBORING PROPERTIES. THE EROSION CONTROL SUPERVISOR MUST OBTAIN PERMISSION FROM LAND OWNERS PRIOR TO ENTERING SUCH PROPERTY.
- A WATER SOURCE SHALL BE AVAILABLE ON-SITE DURING CONSTRUCTION ACTIVITIES, AND UTILIZED TO MINIMIZE FUGITIVE DUST. ALTERNATIVE BMPs MAY BE REQUIRED IF INITIAL ATTEMPTS TO SUPPRESS DUST ARE UNSUCCESSFUL.

CBMP GEN NOTES
CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 4
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NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

- ALL CHEMICAL OR HAZARDOUS MATERIAL SPILLS, INCLUDING CONCRETE WASHOUT WATER, WHICH MAY ENTER WATERS OF THE STATE OF COLORADO, WHICH INCLUDES BUT ARE NOT LIMITED TO, SURFACE WATER, GROUND WATER, DRY CULLETS OR STORM SEWERS LEADING TO SURFACE WATER, SHALL BE IMMEDIATELY REPORTED TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) PER 25-8-601, AND THE TOWN OF PARKER. RELEASES OF PETROLEUM PRODUCTS AND CERTAIN HAZARDOUS SUBSTANCES LISTED UNDER THE FEDERAL CLEAN WATER ACT (40 CFR PART 116) MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER AND THE CDPHE. SPILLS THAT POSE AN IMMEDIATE SAFETY HAZARD SHALL BE REPORTED TO 911.
- THE CLEANING OF CONCRETE TRUCKS AND EQUIPMENT IS RESTRICTED TO THE APPROVED CONCRETE WASHOUT LOCATION ON THE JOB SITE. CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO STATE WATERS OR STORM SEWER SYSTEMS.
- VEHICLE AND EQUIPMENT DEGREASING IS PROHIBITED ON THE JOB SITE.
- ALL DEWATERING ON SITE SHALL BE COORDINATED WITH THE TOWN'S INSPECTOR. A STATE PERMIT MAY BE REQUIRED FOR DEWATERING. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR OBTAINING AND ADHERING TO ALL APPLICABLE PERMITS.
- HYDRAULIC SEEDING AND/OR HYDRAULIC MULCHING ARE ONLY ALLOWED IN AREAS UNDER TEMPORARY OR PERMANENT IRRIGATION OR FOR THE PURPOSE OF TEMPORARY SOIL STABILIZATION.
- APPLICABLE CONSTRUCTION BMPs SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL ALL LANDSCAPING HAS BEEN INSTALLED AND THE DESIRABLE VEGETATION HAS REACHED A POINT IN WHICH EROSION AND SEDIMENTATION IS NO LONGER A CONCERN AS DETERMINED BY THE TOWN'S INSPECTOR.
- GRADING SECURITY RELEASE REQUIREMENTS:
 - DEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H OR ITEM I (BELOW).
 - ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
 - UNIFORM PERENNIAL VEGETATION COVER HAS BEEN ESTABLISHED WITH AN INDIVIDUAL PLANT DENSITY OF AT LEAST SEVENTY PERCENT (70%) OF PRE-DISTURBANCE LEVELS.
 - ALL BMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
 - IF ANY EROSION IS PRESENT, IT IS INSIGNIFICANT AND IS NOT LEAVING THE SITE AND/OR LEADING INTO ANY ON-SITE DRAINAGE INFRASTRUCTURE THAT MAY CONVEY SURFACE WATER OFF SITE.
 - WEEDS REPRESENT NO MORE THAN FIFTY PERCENT (50%) OF THE TOTAL VEGETATION ON THE SITE.
 - NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
 - A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR ASSIGNMENT AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION AT THE TIME OF CLOSING TO ENSURE THAT THE NEW SITE OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.

CBMP GEN NOTES
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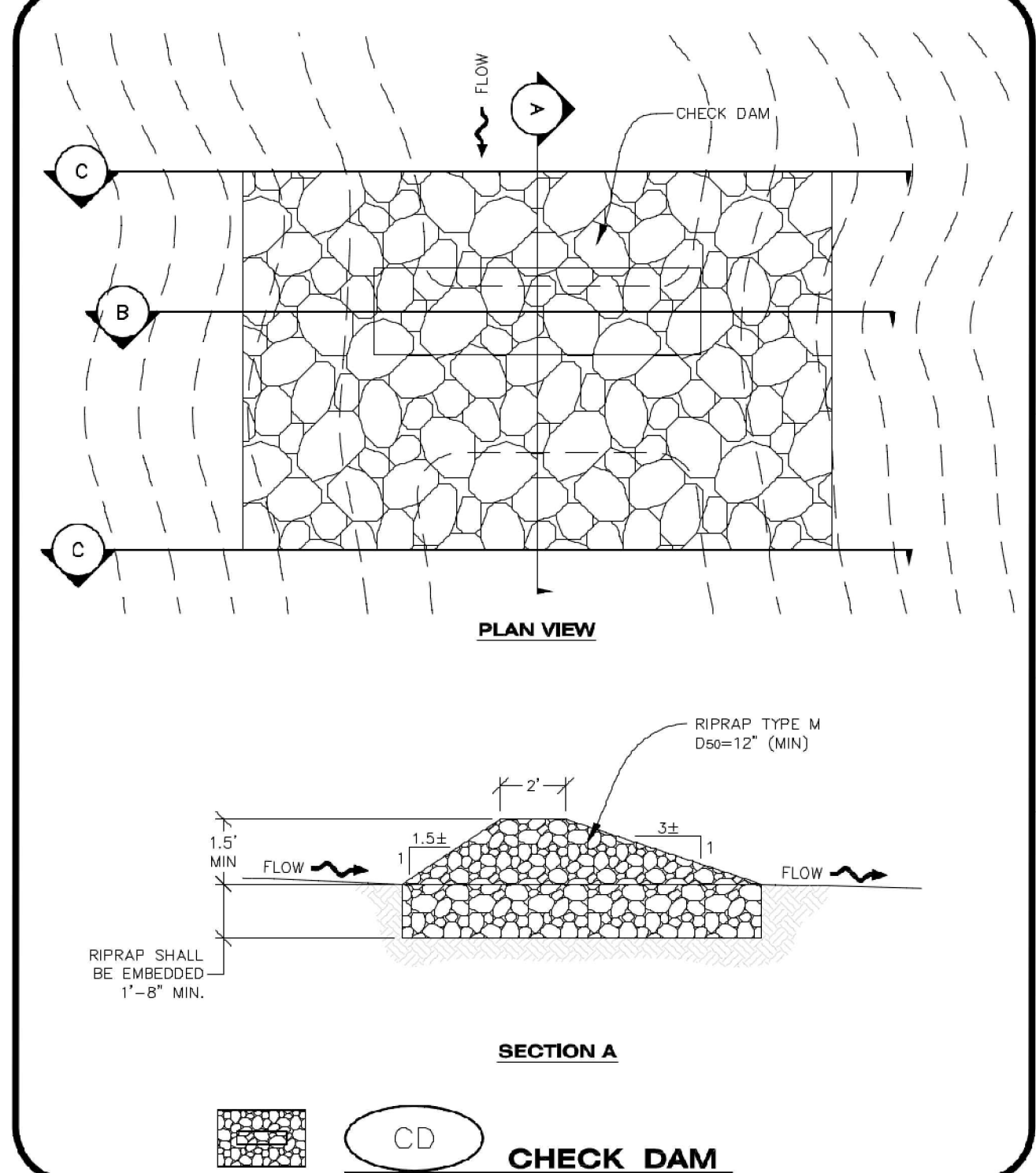
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- NONDEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H AND I, OR ITEMS J AND K (BELOW).
 - ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
 - ALL BMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
 - EROSION IS NEGLIGIBLE IF EVEN PRESENT.
 - THE VEGETATION REPRESENTS A PERENNIAL STAND OF A DENSE, UNIFORM SURFACE OF GRASS WITH NO AREA GREATER THAN ONE (1) SQUARE FOOT THAT IS BARREN OF DESIRABLE VEGETATION. INFREQUENT, WIDELY SCATTERED AREAS WHERE NATIVE VEGETATION HAS NOT YET TAKEN HOLD MAY QUALIFY FOR ACCEPTANCE AT THE DISCRETION OF THE TOWN.
 - WEEDS REPRESENT NO MORE THAN TEN PERCENT (10%) OF THE TOTAL VEGETATION ON SITE.
 - NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
 - A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR THE GRADING PERMIT HAS BEEN ASSIGNED AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION, AT THE TIME OF CLOSING ON THE SALE OF A SITE THAT IS SUBJECT TO A GRADING PERMIT, TO ENSURE THAT THE NEW PROPERTY OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.
 - ALL KNOWN DRAINAGE ISSUES ASSOCIATED WITH THE PROJECT HAVE BEEN MITIGATED AND A SUFFICIENT AMOUNT OF TIME HAS PASSED TO ENSURE THAT SUCH ISSUES HAVE BEEN CORRECTED. THIS REQUIREMENT DOES NOT INCLUDE THOSE DRAINAGE ISSUES ORIGINATING ON RESIDENTIAL LOTS.
- NOXIOUS WEEDS MUST BE CONTROLLED AS PROVIDED UNDER STATE LAW AND SECTION 6.01.260 OF THE TOWN OF PARKER MUNICIPAL CODE. FAILURE TO CONTROL NOXIOUS WEEDS ON THE SITE MAY CONSTITUTE A NUISANCE, SUBJECT TO THE PENALTIES CONTAINED IN THE CODE.

DEFINITIONS:
DEVELOPABLE PROPERTY MEANS ANY LAND THAT HAS BEEN GRADED AND IS PART OF A PLATTED LOT OR PLATTED TRACT OF RECORD, THAT WAS PLATTED FOR FUTURE DEVELOPMENT, INCLUDING RESIDENTIAL HOME CONSTRUCTION OR PUBLIC IMPROVEMENTS.
NONDEVELOPABLE PROPERTY MEANS LAND THAT HAS BEEN GRADED AND WILL NOT BE FURTHER DISTURBED AS PART OF ANY FUTURE DEVELOPMENT. EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO: PARKS, OPEN SPACE, HOMEOWNERS ASSOCIATION OR BUSINESS ASSOCIATION PLATTED TRACTS, DETENTION PONDS, AND DRAINAGEWAYS.
- FAILURE TO COMPLY WITH ANY OF THE REQUIREMENTS DESCRIBED IN THIS SECTION MAY RESULT IN THE ISSUANCE OF: A NOTICE OF INTENT TO ISSUE A STOP WORK ORDER, A STOP WORK ORDER AND/OR THE REMEDIES/PENALTIES DESCRIBED IN CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE.
- ANY PERSON CONVICTED OF VIOLATING ANY PROVISION OF THE TOWN OF PARKER, GRADING & EARTH MOVEMENT SECTION OF THE MUNICIPAL CODE SHALL BE GUILTY OF A MISDEMEANOR AND, UPON CONVICTION, BE PUNISHED BY A FINE OF NOT MORE THAN FOUR HUNDRED NINETY NINE DOLLARS (\$499.00) FOR EACH SEPARATE OFFENSE. EACH DAY A VIOLATION CONTINUES SHALL CONSTITUTE A SEPARATE OFFENSE. THE TOWN ALSO MAY SEEK IN MUNICIPAL COURT AN INJUNCTION, ABATEMENT, RESTITUTION OR ANY OTHER REMEDY TO PREVENT, ENJOIN, ABATE OR REMOVE THE VIOLATION. A PERSON CONVICTED OF VIOLATING CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE SHALL BE LIABLE FOR THE ACTUAL COST OF REHABILITATING THE PROPERTY. THE COSTS MAY BE RECOVERED AS RESTITUTION IN MUNICIPAL COURT PROCEEDINGS OR IN A SEPARATE CIVIL ACTION.
- THE TOWN OF PARKER RESERVES THE RIGHT TO ALLOW MODIFICATIONS AND SUBSTITUTIONS TO THE CBMP NOTES AND DETAILS WHEN SUCH MODIFICATIONS AND SUBSTITUTIONS OFFER THE SAME LEVEL OF PROTECTION AS THE STANDARD REQUIREMENTS BASED UPON THE SPECIFIC SITUATION, AS DETERMINED BY TOWN STAFF. DUE TO THE INSIGNIFICANCE AND REGULARITY OF SUCH MODIFICATIONS AND SUBSTITUTIONS, THE APPROVAL OF SUCH VARIATIONS MAY NOT BE DOCUMENTED BY TOWN STAFF.

CBMP GEN NOTES
CONSTRUCTION BEST MANAGEMENT PRACTICES 4 OF 4
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NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER



CBMP CD
CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 3
Oct. 2013

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IN-N-OUT BURGER
CONSTRUCTION DOCUMENTS
PARKER & PINE FILING NO. 1, LOT 1
PARKER, CO 80134

#	Date	Issue / Description	Init.
1	12/21/2022	1ST CD SUBMITTAL	PJD
2	03/17/2023	2ND CD SUBMITTAL	PJD
3	04/28/2023	3RD CD SUBMITTAL	PJD
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Project No: INC000014-20
Drawn By: JNE
Checked By: PJD
Date: 04/28/2023

CBMP DETAILS

C2.6
Sheet 17 of 36

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

START EROSION BLANKET AT THE TOP OF SLOPE AND EXTEND PAST THE TOE OF SLOPE. BLANKET SHALL BE PLACED PERPENDICULAR TO THE TOP AND BOTTOM OF THE SLOPE. COMPLETE SUBSEQUENT ROWS IN THE SAME MANNER, OVERLAPPING THE BLANKETS A MINIMUM OF 1.0'.

1. TOP SLOPE ANCHOR SLOT
2. BLANKET OVERLAPS
3. TOP SIDE SLOPE EDGE OF BLANKET
4. BLANKET TERMINAL ENDS

ROLL WIDTH "W"
1/2 "W"
1/4 "W"
1/2 "W"

STAPLE PATTERN
NOTE: STAPLES SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATION. IF MANUFACTURER'S INFO IS NOT AVAILABLE THEN ABOVE STAPLE PATTERN SHALL BE USED. WOODEN STAPLES SHALL NOT BE USED FOR EROSION CONTROL BLANKET ON SLOPES.

NOTE: WHEN NECESSARY, ALL SEEDING SHALL BE COMPLETED PRIOR TO THE PLACEMENT OF EROSION CONTROL BLANKETS. PLEASE SEE DETAIL SMC FOR SEEDING, MULCHING, AND CRIMPING REQUIREMENTS.

ECB EROSION CONTROL BLANKET (SLOPE)

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 3 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

TOE OF SLOPE ANCHOR TRENCH
TOP OF SLOPE ANCHOR TRENCH
JOINT ANCHOR TRENCH USED TO JOIN BLANKETS TOGETHER (LONGITUDINAL)

6" MIN.
6" MIN.
6" MIN.

COMPACTED BACKFILL (TYP.)

18"

SAW 2" x 4" LUMBER ON DIAGONAL

WOOD STAKE DETAIL
ALTERNATIVE WOOD STAKE PRODUCTS MAY BE USED WITH APPROVAL FROM THE TOWN.

ROLL WIDTH "W"
1/2 "W"
1/4 "W"
1/2 "W"

STAKING PATTERN
NOTE: STAPLES SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATION. IF MANUFACTURER'S INFO IS NOT AVAILABLE THEN ABOVE STAKING PATTERN SHALL BE USED. STAPLES SHALL NOT BE USED FOR EROSION CONTROL BLANKET IN CHANNELS.

NOTE: 1. WOOD STAKES SHALL BE INSTALLED SUCH THAT ONLY 1" IS EXPOSED ABOVE THE GROUND.
2. WHEN NECESSARY, ALL SEEDING SHALL BE COMPLETED PRIOR TO THE PLACEMENT OF EROSION CONTROL BLANKETS. PLEASE SEE DETAIL SMC FOR SEEDING, MULCHING, AND CRIMPING REQUIREMENTS.

ECB EROSION CONTROL BLANKET (CHANNEL)

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 3 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

EROSION CONTROL BLANKET INSTALLATION NOTES

- SEE THE PLAN VIEW FOR THE LOCATION(S) OF THE EROSION CONTROL BLANKETS.
- EROSION CONTROL BLANKETS USED FOR CHANNEL PROTECTION SHALL BE PROPERLY SELECTED BY THE DESIGN ENGINEER BASED ON CURRENT AND FUTURE FLOW RATES WITHIN THE CHANNEL BASED ON THESE CALCULATIONS. TURF REINFORCEMENT MATTING OR RIPRAP MAY BE NECESSARY IN LIEU OF EROSION CONTROL BLANKETS.
- IMMEDIATELY PRIOR TO BLANKET INSTALLATION, SOIL SURFACE SHALL BE SMOOTH AND FREE OF ANY GAPS, VOIDS, WEEDS, ROCKS, STICKS, OR OTHER MISCELLANEOUS DEBRIS.
- EROSION CONTROL BLANKET SHALL THEN BE INSTALLED ACCORDING TO THE DETAILED DRAWINGS.
- ANY DAMAGED OR REMAINING STAPLES OR STAKES SHALL BE REMOVED FROM THE SITE.
- ALL EROSION CONTROL BLANKETS FOR SLOPE PROTECTION INSTALLED IN THE TOWN SHALL BE DOUBLE NET, STRAW OR EXCELSIOR.
- IN MOST CASES, EROSION CONTROL BLANKETS FOR SLOPE PROTECTION ARE TO REMAIN IN PLACE PERMANENTLY.

EROSION CONTROL BLANKET MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE EROSION CONTROL BLANKETS AND MAKE ANY NECESSARY REPAIRS.

MANUFACTURER	PRODUCT NAME
NDRTH AMERICAN GREEN	S150
APPROVED EQUAL	APPROVED EQUAL

IPAN INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES 3 OF 3 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

ROCK SOCK (SEE DETAIL RS) SHALL BE PLACED TIGHTLY AGAINST CURB FACE AND SHALL BE PLACED 5.0' UPSTREAM FROM THE INLET OPENING.

4.0' MIN.
5.0'
INLET SIZE = "L"
FLOWLINE (TYP.)
SEDIMENT CONTROL LOG (AS REQUIRED) SEE DETAIL SCL
20' (TYP.)
LIP OF CURB (TYP.)
TOP BACK CURB (TYP.)
4.0' MIN.
FLOW
TUBULAR MARKER SEE DETAIL
TUBULAR MARKER MUST BE SECURED TO THE END OF THE ROCK SOCK AND WIRE-TIED WITH REBAR TIE WIRE OR A TOWN APPROVED EQUIVALENT.

PLAN VIEW

ISOMETRIC

TUBULAR MARKER MUST BE SECURED TO THE END OF THE ROCK SOCK AND WIRE-TIED WITH REBAR TIE WIRE OR A TOWN APPROVED EQUIVALENT.

ROCK SOCK SEE DETAIL RS
FLOW
20.0' MIN.
TUBULAR MARKER SEE DETAIL

PLAN VIEW FOR MULTIPLE ROCK SOCKS

IPCOG INLET PROTECTION, CURB ON-GRADE, TYPE R INLET

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 3 Oct. 2013

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REFLECTIVE MARKING
36" MIN.
TRAFFIC MARKER POST BASE
16" ±
16" ±
TRAFFIC MARKER POST BASE

ELEVATION
BASE

TUBULAR TRAFFIC MARKER DETAIL

IPCOG INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 3 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

INLET PROTECTION, CURB ON-GRADE INSTALLATION NOTES

- SEE CBMP PLAN FOR LOCATION(S) OF ON-GRADE INLET PROTECTION.
- CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
- ROCK SOCK FOR ON-GRADE INLET PROTECTION SHALL BE ONE CONTINUOUS PIECE.
- ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL, SIZED TO KEEP ROCK FROM SPILLING OUT.
- ROCK SOCK SHALL BE PLACED 5.0' UPHILL OF THE INLET OPENING.
- TUBULAR MARKER SHALL BE A MINIMUM OF 3.0' HIGH WITH REFLECTIVE BANDS AND OCTAGON SHAPED BASES.
- THE CURB INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE APPLICABLE INSTALLATION OF THE FIRST LIFT OF ASPHALT ON ROADWAYS DRAINING TO THE INLET.

ON-GRADE INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE ON-GRADE INLET PROTECTION.
- ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
- ON-GRADE INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

IPAN INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES 3 OF 3 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

AREA INLET PROTECTION INSTALLATION NOTES

- SEE PLAN VIEW FOR LOCATION(S) OF AREA INLET PROTECTION.
- THE AREA INLET PROTECTION SHOWN ON CBMP PLANS SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE INSTALLATION OF NEW INLETS. AN INTERIM STYLE OF INLET PROTECTION MAY BE ALLOWED UNTIL THE INSTALLATION OF THE GUTTER AND/OR PAVEMENT.

AREA INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE AREA INLET PROTECTION.
- AREA INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- WHEN THE AREA INLET PROTECTION IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE AREA INLET PROTECTION MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
- ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.

IPAN INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 1 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

THIS METHOD OF INLET PROTECTION SHALL NOT BE USED ON INLETS RECEIVING SIGNIFICANT FLOWS, SUCH AS IN CERTAIN SWALES/CHANNELS OR HIGHWAY MEDIANS. INLET PROTECTION FOR AREA INLETS IN PAVEMENT (SEE DETAIL IPAP) SHALL BE USED IN THESE CONDITIONS.

AREA INLET
WHEN APPROVED BY THE TOWN, ROCK SOCKS OR SEDIMENT CONTROL LOGS CAN BE USED IN LIEU OF STRAW BALES AND SILT FENCE

TYPICAL STRAW BALES SEE DETAIL SB
SILT FENCE SEE DETAIL SF
PLACE BALES AS CLOSE TO INLET AS POSSIBLE

AREA INLET WITH CONCRETE APRON
PLAN VIEW

TYPICAL STRAW BALES SEE DETAIL SB
SILT FENCE SEE DETAIL SF
CONCRETE APRON
AREA INLET

SECTION A

TYPICAL STRAW BALES SEE DETAIL SB
SILT FENCE SEE DETAIL SF
CONCRETE APRON
AREA INLET

SECTION B

TYPICAL STRAW BALES SEE DETAIL SB
SILT FENCE NOT SHOWN TO REVEAL INLET
CONCRETE APRON
AREA INLET

ISOMETRIC
ISOMETRIC

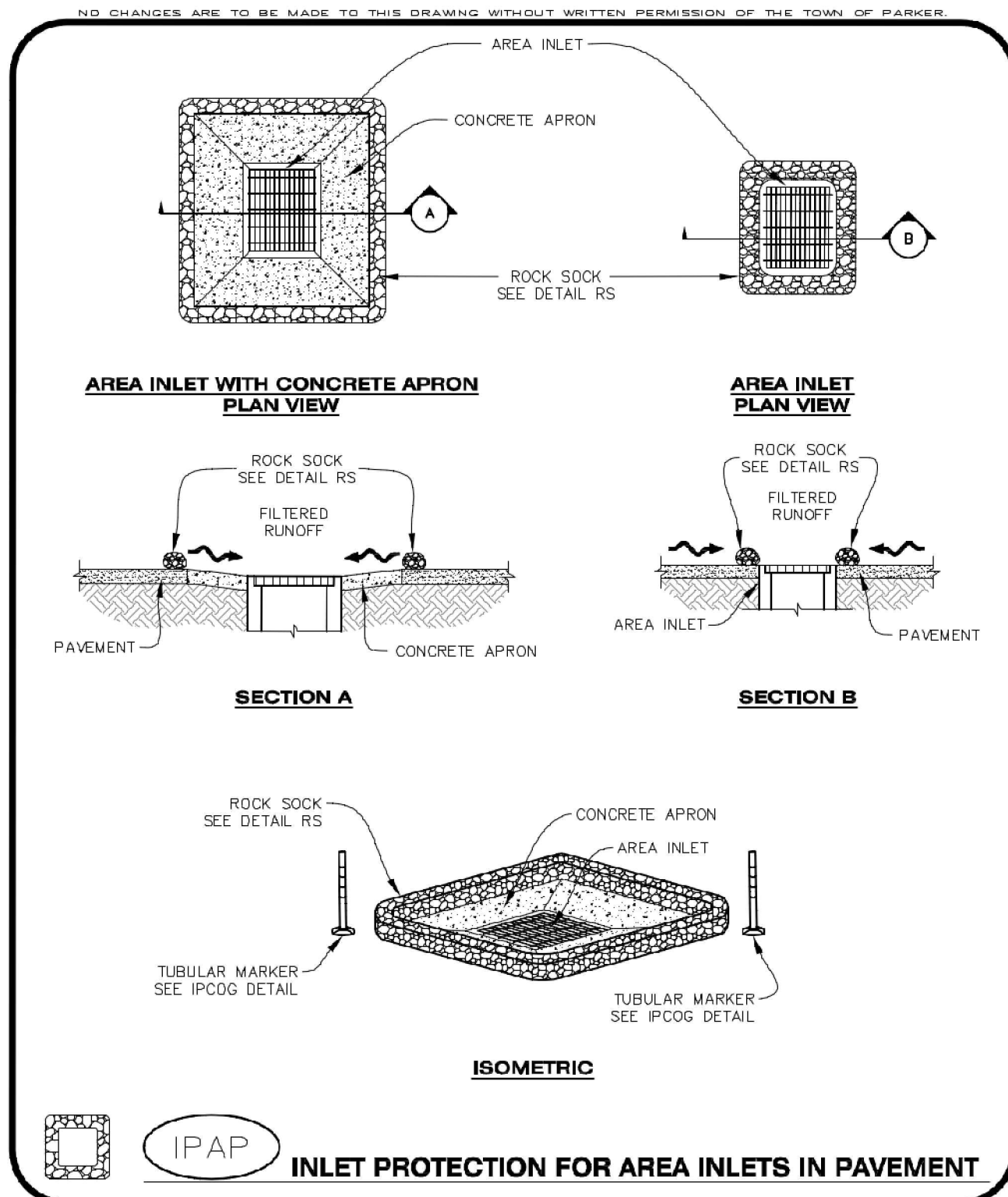
IPAN INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 1 Oct. 2013

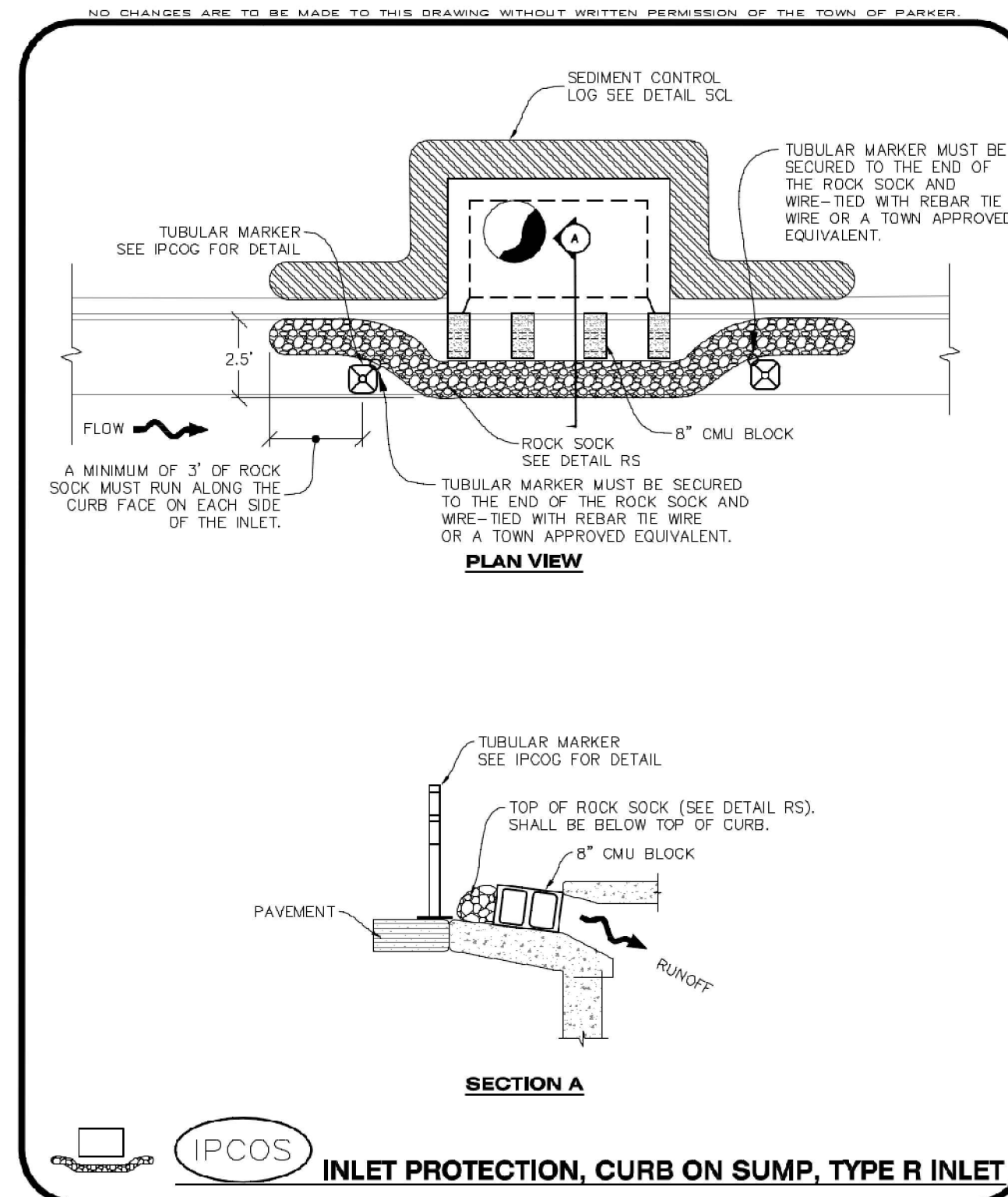
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Project No:	INC000014-20
Drawn By:	JNE
Checked By:	PJD
Date:	04/26/2023

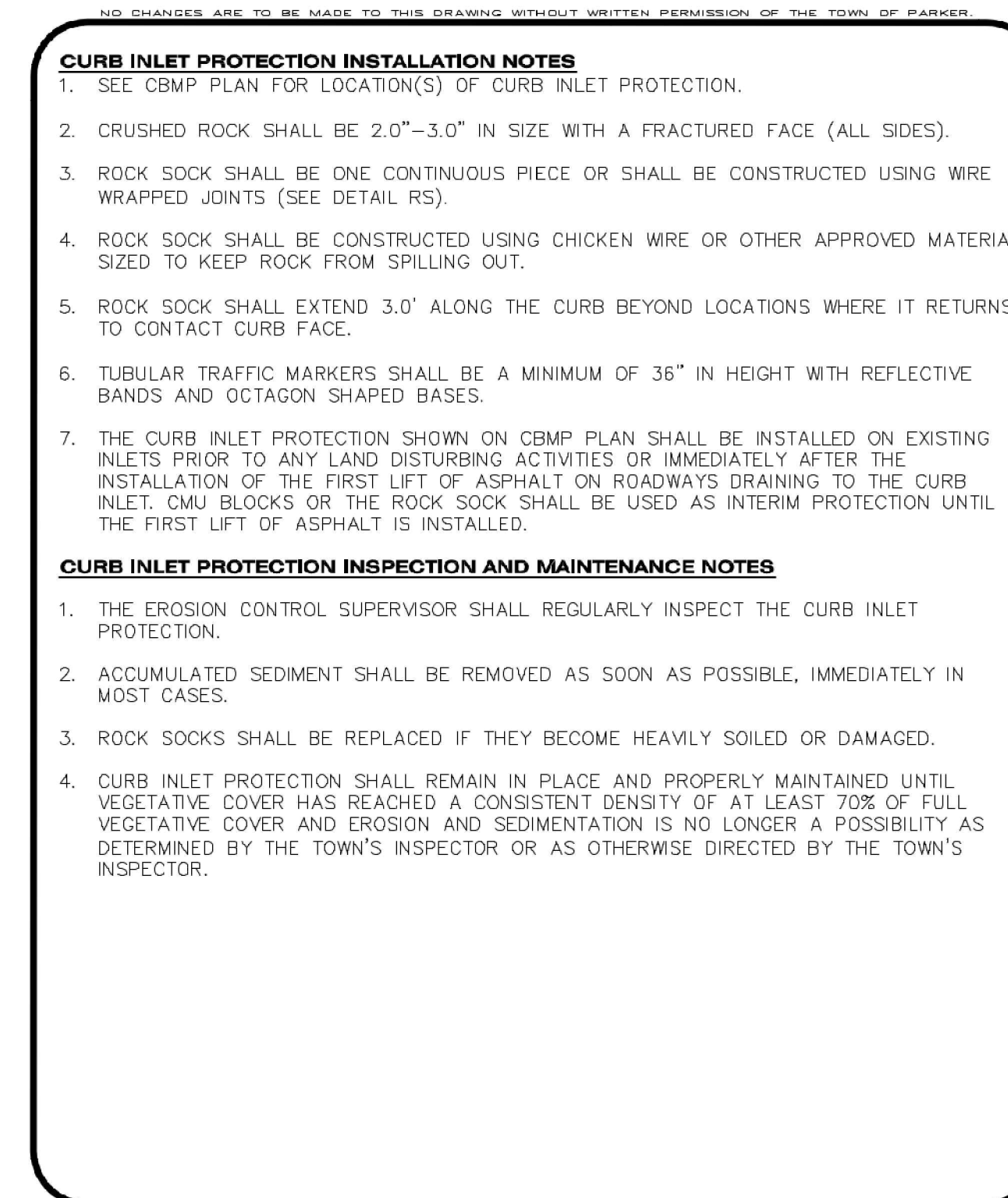
CBMP DETAILS



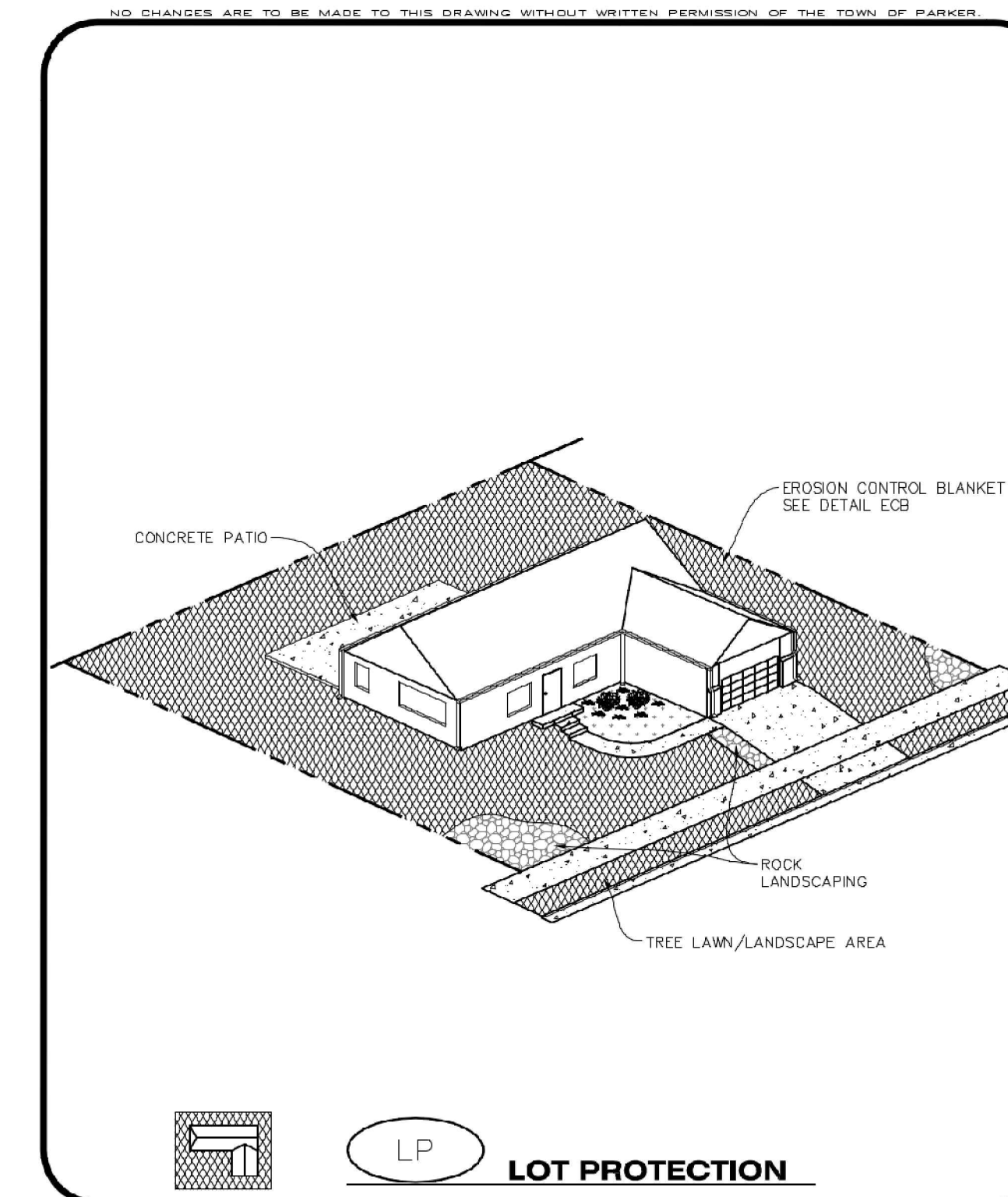
CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **IPAP** 1 OF 1 Oct. 2013



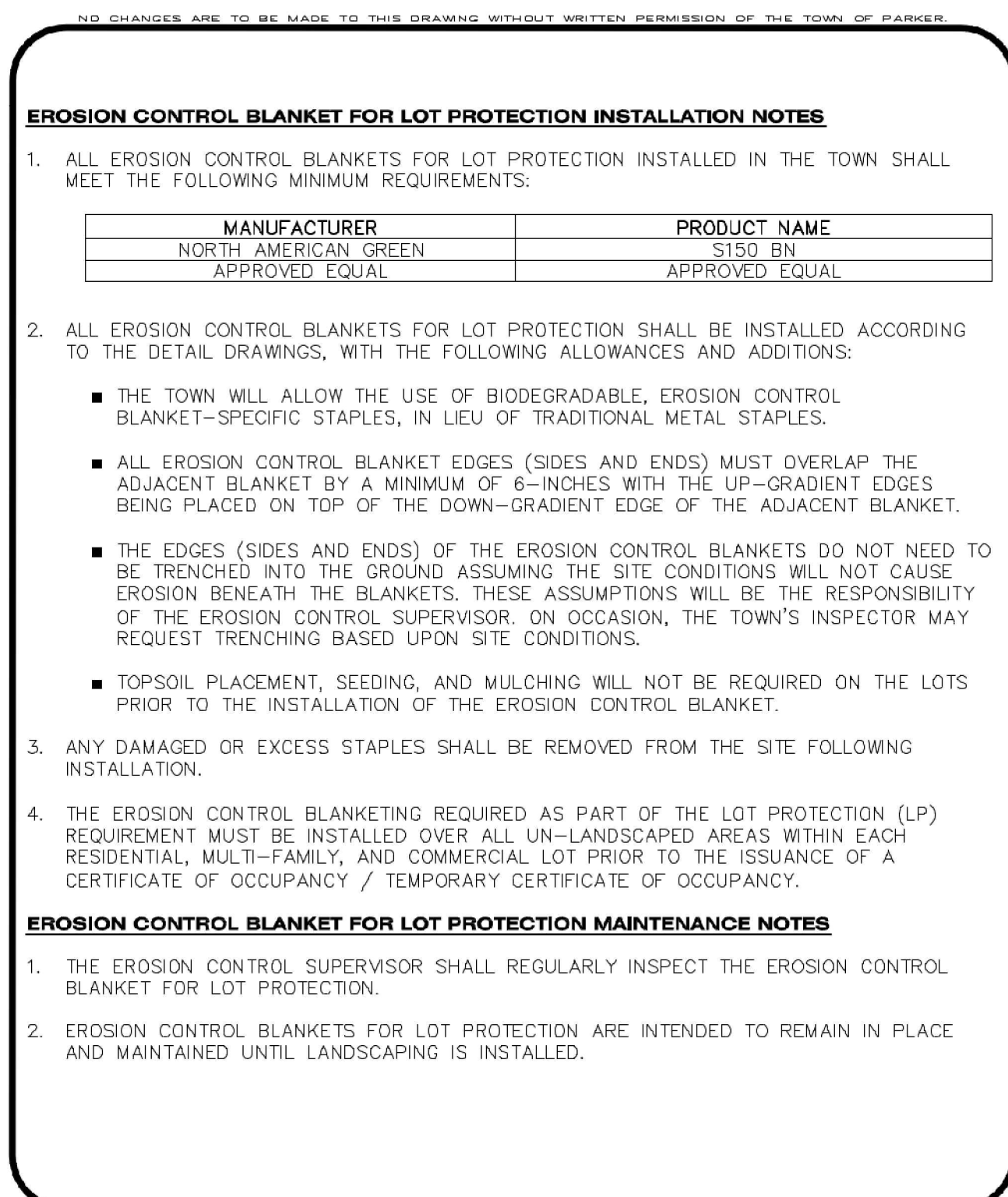
CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **IPCOS** 1 OF 2 Oct. 2013



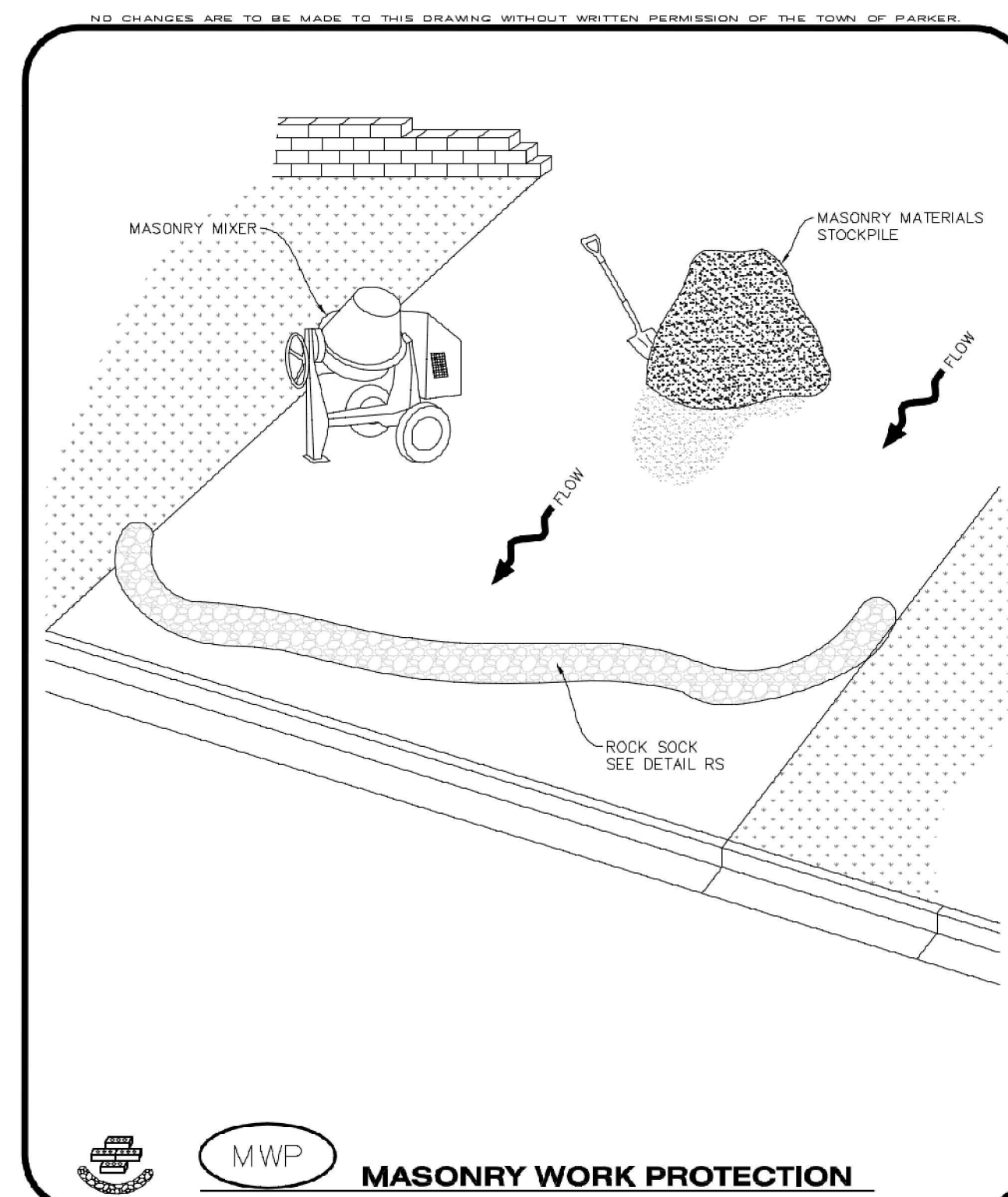
CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **IPCOS** 2 OF 2 Oct. 2013



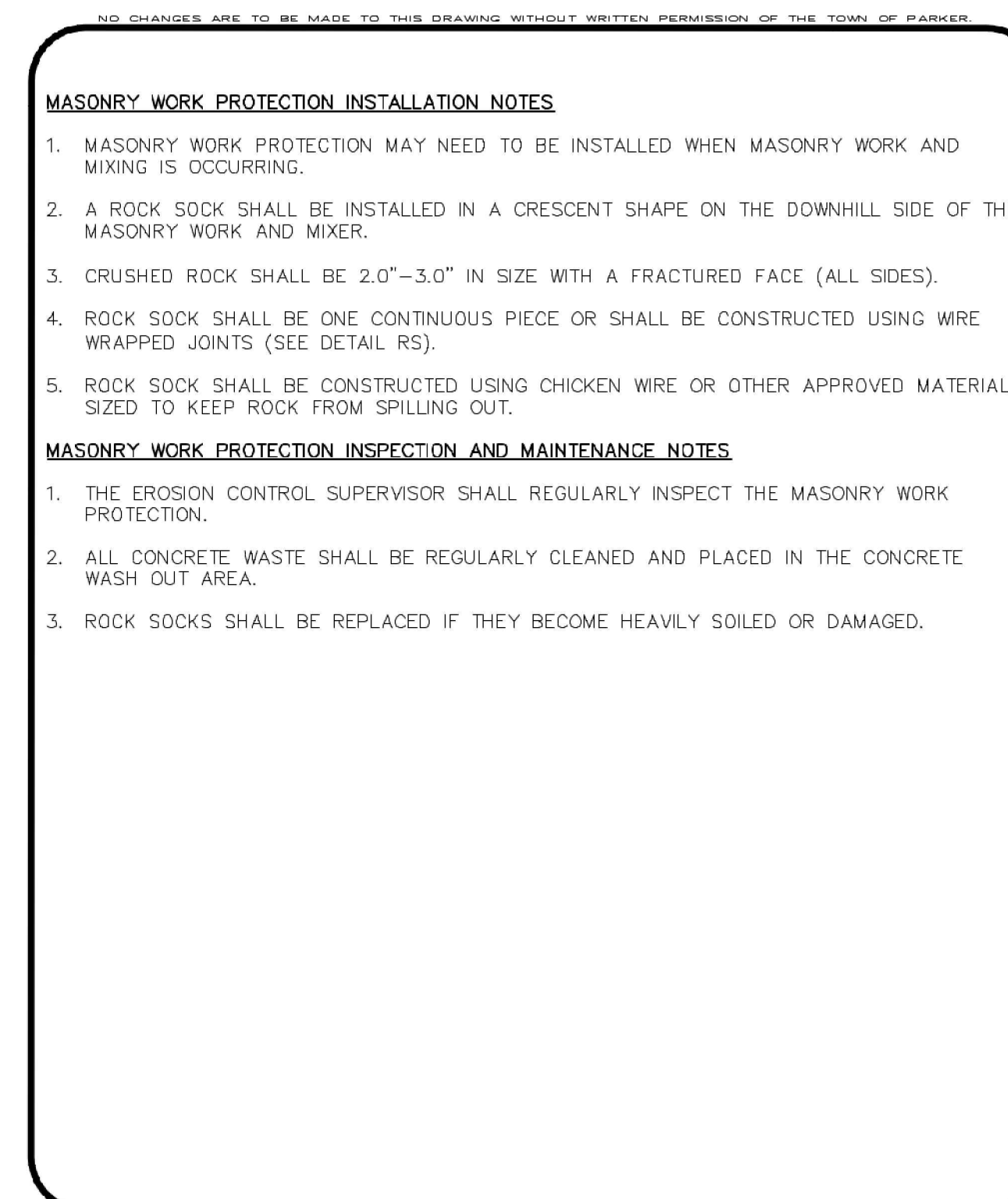
CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **LP** 1 OF 2 Oct. 2013



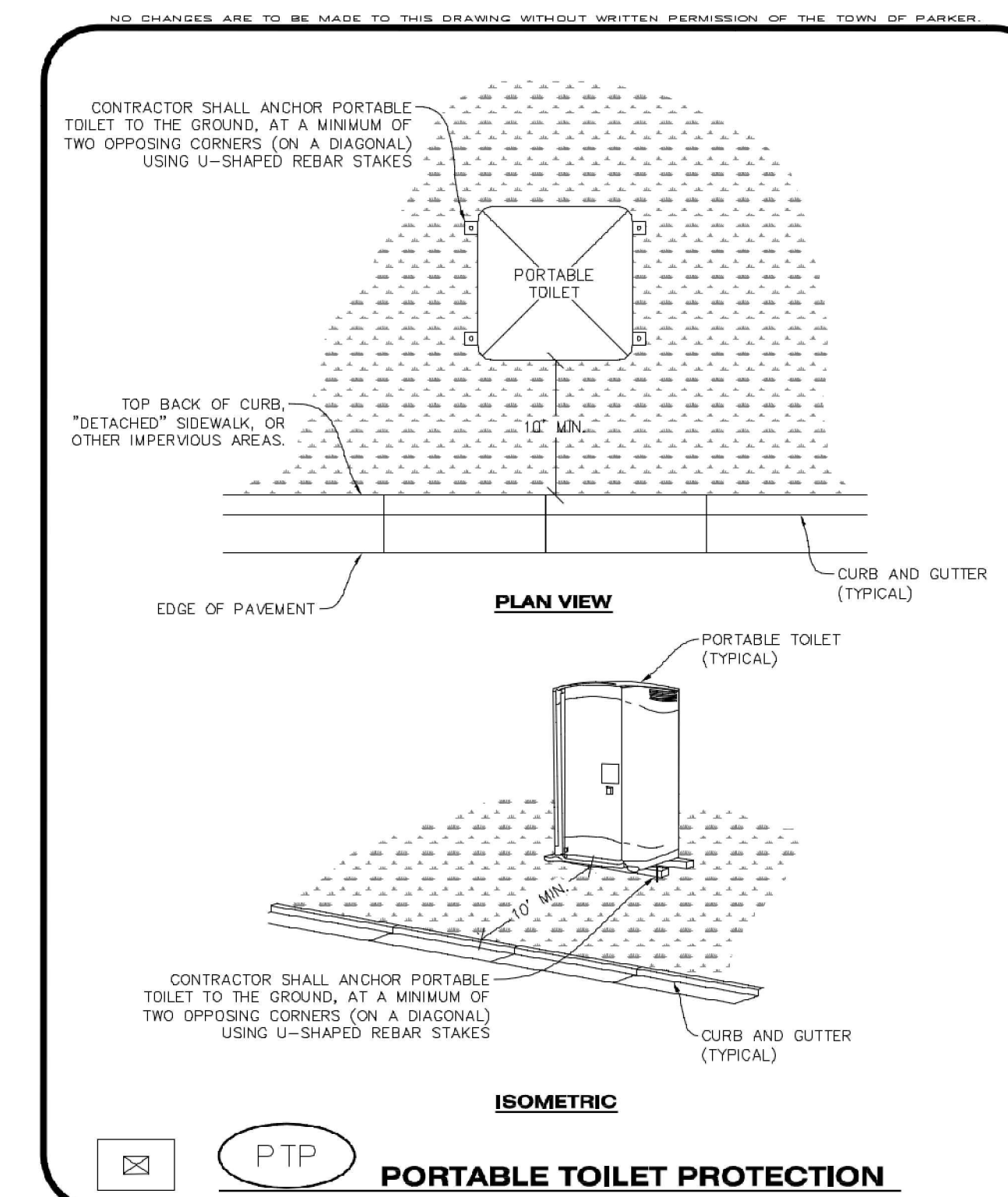
CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **LP** 2 OF 2 Oct. 2013



CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **MWP** 1 OF 2 Oct. 2013



CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **MWP** 2 OF 2 Oct. 2013



CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **PTP** 1 OF 2 Oct. 2013

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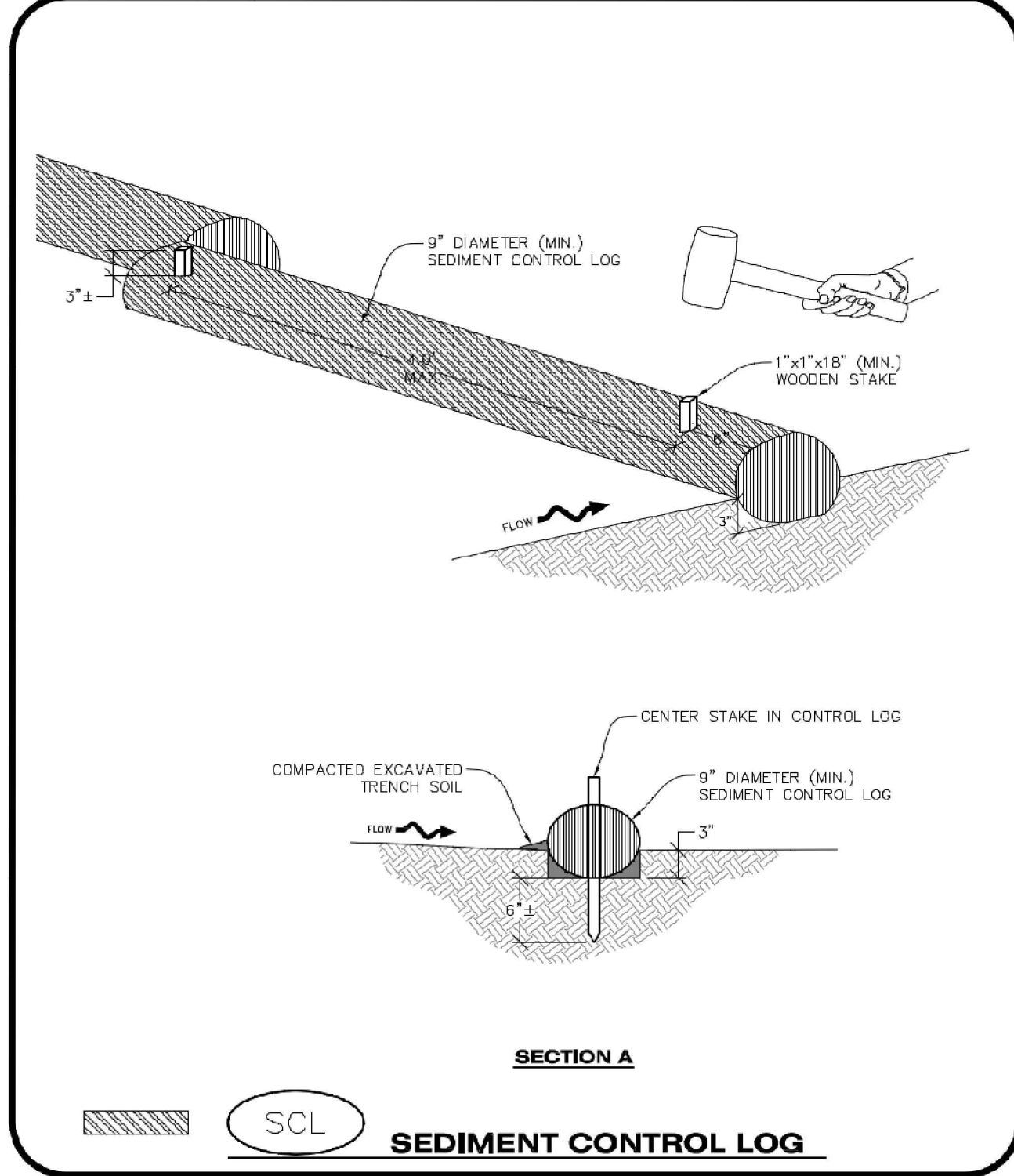
IN-N-OUT BURGER
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Project No: INC000014-20
Drawn By: JNE
Checked By: PJD
Date: 04/28/2023

CBMP DETAILS

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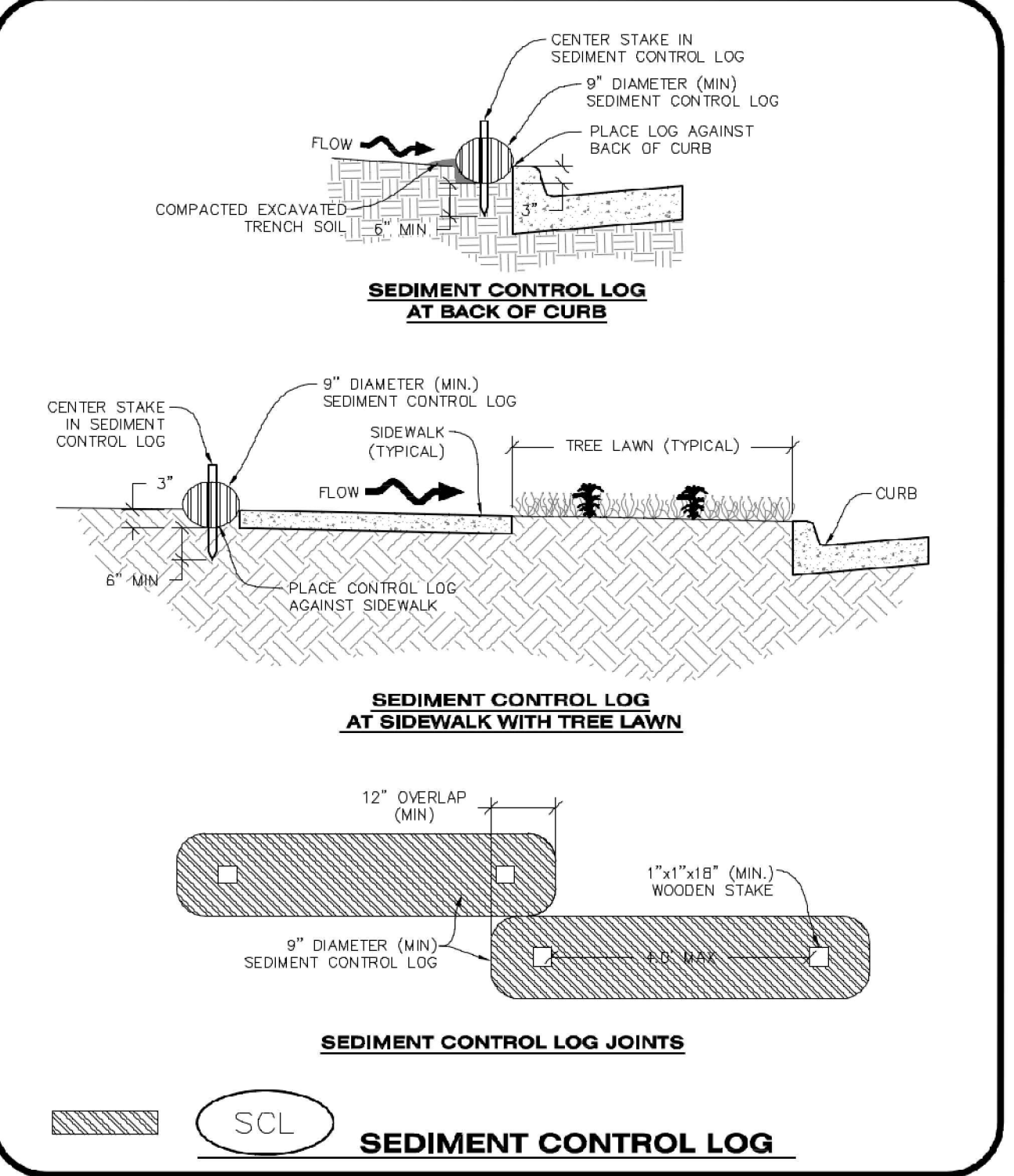


SECTION A
SCL SEDIMENT CONTROL LOG

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES

SCL 1 OF 3
Oct. 2013

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SEDIMENT CONTROL LOG JOINTS

SCL SEDIMENT CONTROL LOG

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES

SCL 2 OF 3
Oct. 2013

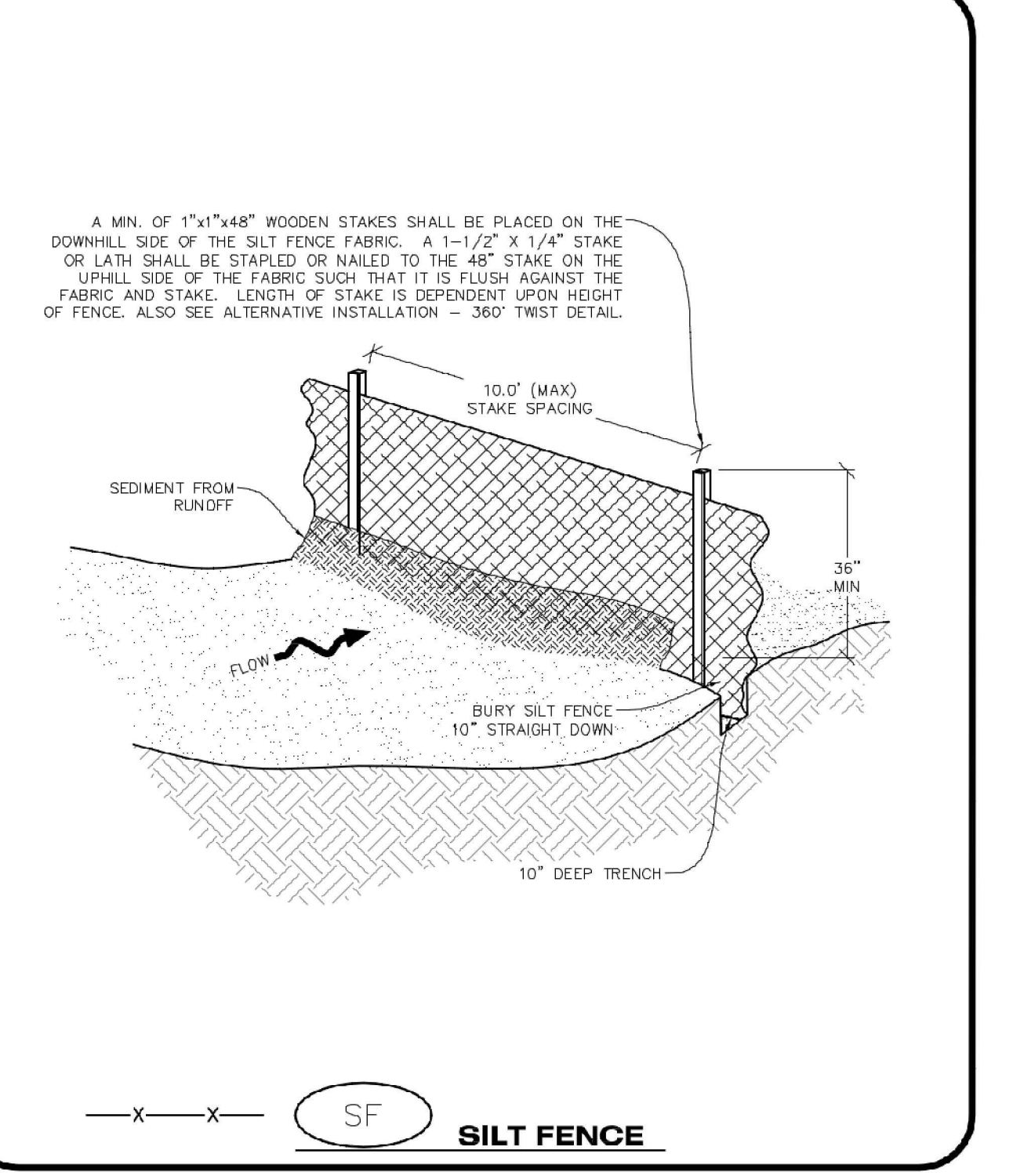
NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

- SEDIMENT CONTROL LOG INSTALLATION NOTES**
- SEE CBMP PLAN FOR LOCATION(S) OF SEDIMENT CONTROL LOGS.
 - ALL SEDIMENT CONTROL LOGS SHALL BE INSTALLED FREE OF DEFECTS INCLUDING RIPS, HOLES AND OBVIOUS WEAR.
 - SEDIMENT CONTROL LOGS SHALL BE INSTALLED IMMEDIATELY ADJACENT TO AN IMPERVIOUS SURFACE SUCH AS A CURB HEAD, SIDEWALK, INLET LID, ETC. NO GAPS SHALL EXIST BETWEEN THE SEDIMENT CONTROL LOG AND THE IMPERVIOUS SURFACE.
 - A UNIFORM 3" DEEP ANCHOR TRENCH (APPROX.) IN THE SHAPE OF A HALF-SPHERE SHALL BE EXCAVATED USING A TRENCHER, SPADE-SHAPED SHOVEL, OR PICK. THE ANCHOR TRENCH SHALL BE SIZED TO ALLOW FOR THE SEDIMENT CONTROL LOG TO SEAT TIGHTLY AGAINST THE ANCHOR TRENCH.
 - EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF THE ANCHOR TRENCH AND PROPERLY COMPACTED.
 - ANCHOR TRENCH SHALL BE RELATIVELY FREE OF ROCKS OR OTHER DEBRIS PRIOR TO THE PLACEMENT.
 - ALL SEDIMENT CONTROL LOGS SHALL BE PLACED 3" (APPROX.) BELOW THE GROUND AND PULLED TIGHT ON BOTH ENDS TO REMOVE ANY CURVES OR SNAGS.
 - THE UPHILL SIDE OF THE SEDIMENT CONTROL LOG SHALL BE BACKFILLED WITH SOIL THAT IS RELATIVELY FREE OF ROCKS AND DEBRIS. THE SOIL SHALL BE TIGHTLY COMPACTED AGAINST THE GROUND AND SEDIMENT CONTROL LOG USING A SHOVEL, OR SIMILAR DEVICE.
 - SEDIMENT CONTROL LOG STAKES SHALL BE MADE OF WOOD AND SECURELY ANCHOR THE SCL IN PLACE.
 - STAKES SHALL BE PLACED ON 4.0' CENTERS AND EMBEDDED APPROXIMATELY 6" INTO THE GROUND. STAKES THAT ARE BROKEN PRIOR TO OR DURING INSTALLATION SHALL BE REPLACED.
 - SEDIMENT CONTROL LOGS SHALL OVERLAP A MINIMUM OF 12". THE OVERLAPPING SHALL OCCUR ON THE UP-GRADE SIDE OF THE LOGS.
 - SEDIMENT CONTROL LOGS SHALL BE STAKED WITHIN 6" FROM EACH END.
 - SEDIMENT CONTROL LOGS THAT ARE INSTALLED BEHIND CURBS AND SIDEWALKS MUST BE DONE SO THAT NO MORE THAN A 2" GAP EXISTS BETWEEN THE CONCRETE AND THE LOG. EROSION CONTROL BLANKETING (ECB) BETWEEN THE GAP MAY BE REQUIRED IN INSTANCES WHERE THIS DOES NOT OCCUR.
- SEDIMENT CONTROL LOG INSPECTION AND MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SEDIMENT CONTROL LOGS.
 - ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE THE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF EXPOSED LOG.
 - SEDIMENT CONTROL LOGS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
 - SEDIMENT CONTROL LOGS SHALL BE REPLACED WHEN THERE ARE ANY SIGNS OF WEAR OR DAMAGE THAT WOULD PREVENT THE SCL FROM FUNCTIONING AS DESIGNED.
 - WHEN THE SEDIMENT CONTROL LOGS ARE REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE SEDIMENT CONTROL LOGS MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES

SCL 3 OF 3
Oct. 2013

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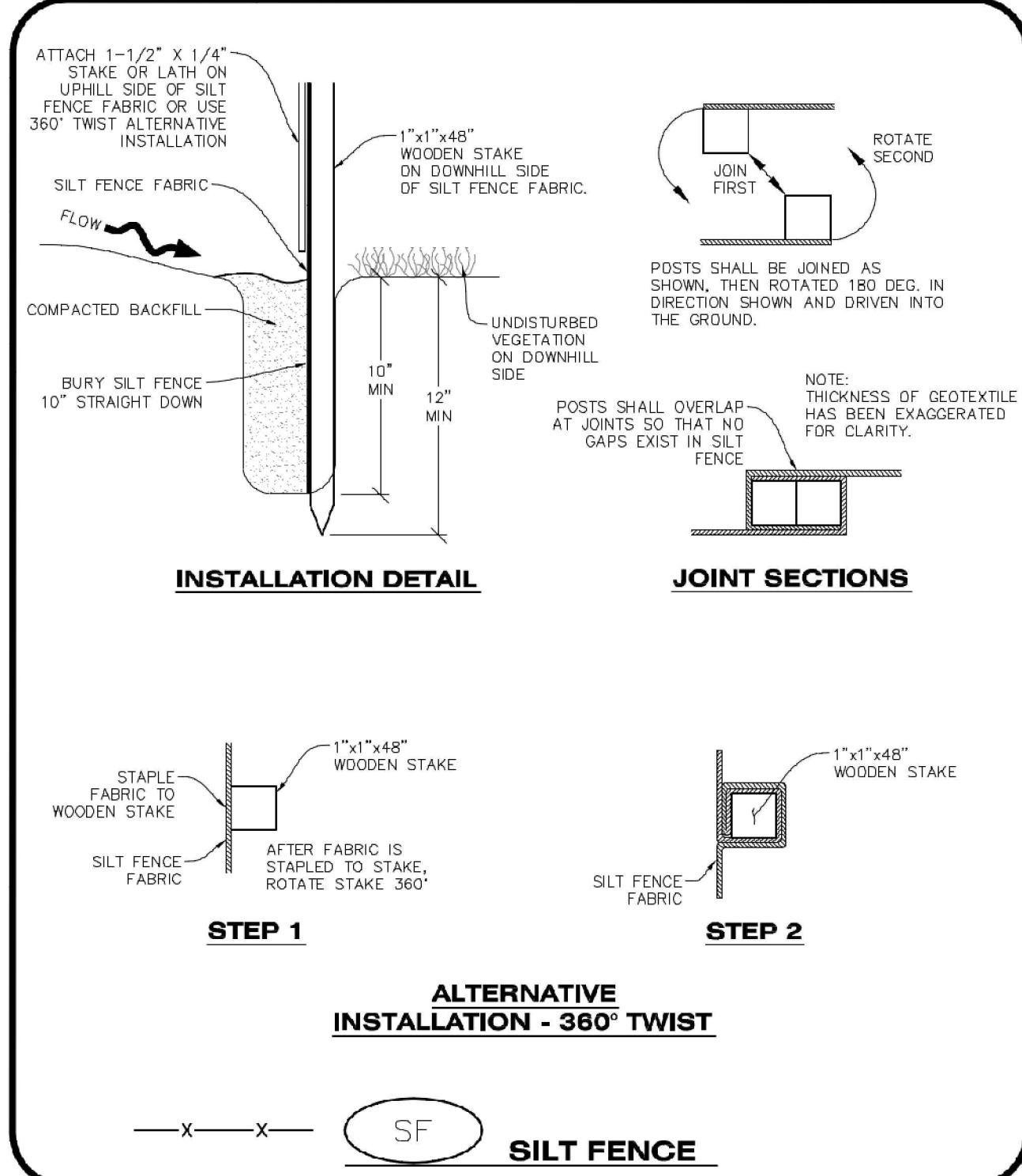


SILT FENCE

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES

SF 1 OF 4
Oct. 2013

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ALTERNATIVE INSTALLATION - 360° TWIST

SILT FENCE

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES

SF 2 OF 4
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

- SILT FENCE INSTALLATION NOTES**
- SEE CBMP PLAN FOR LOCATION(S) OF SILT FENCE.
 - ALL SILT FENCE SHALL BE INSTALLED IN GOOD CONDITION AND FREE OF ANY DEFECTS INCLUDING RIPS, HOLES AND OBVIOUS WEAR.
 - A UNIFORM 10" DEEP ANCHOR TRENCH SHALL BE EXCAVATED USING A TRENCHER.
 - A 10" DEEP ANCHOR SLIT SHALL BE FORMED IF USING A STATIC SLICING METHOD.
 - EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF THE ANCHOR TRENCH.
 - ANCHOR TRENCH SHALL BE GENERALLY FREE OF ROCKS OR OTHER DEBRIS PRIOR TO THE PLACEMENT OF THE SILT FENCE.
 - THE ANCHOR TRENCH SHALL BE THOROUGHLY BACKFILLED WITH SOIL THAT IS GENERALLY FREE OF ROCKS AND DEBRIS.
 - ALL EXCAVATED MATERIAL SHALL BE PLACED ON THE UP-GRADE SIDE OF THE SILT FENCE.
 - STAKES SHALL BE POSITIONED ON THE DOWNHILL SIDE OF THE SILT FENCE FABRIC AND PLACED ON 10.0' CENTERS OR LESS. STAKES SHALL BE EMBEDDED A MINIMUM OF 12" INTO THE GROUND. A WOODEN LATH SHALL BE ATTACHED TO THE OPPOSING (UPHILL) SIDE OF THE STAKE FOR ADDED STRENGTH AND SUPPORT. THE LATH SHALL HAVE THE FOLLOWING DIMENSIONS: 1"x4"x24".
 - SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD NOT BE SIGNIFICANT SAGGING ALONG ANY PORTION OF THE SILT FENCE AFTER IT HAS BEEN ANCHORED TO THE STAKES.
 - SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES AND LATHS USING STAPLES OR NAILS OF AN APPROXIMATE LENGTH. ENOUGH STAPLES AND NAILS SHOULD BE PLACED ALONG THE LATH TO ENSURE PROPER ATTACHMENT.
 - SILT FENCE FABRIC SHALL MEET THE FOLLOWING MANDATORY REQUIREMENTS:
- | PROPERTIES | TEST METHOD | MANDATORY REQUIREMENTS |
|-------------------------|-------------|-----------------------------------|
| GRAB TENSILE STRENGTH | ASTM D 4632 | ≥ 124 LBS |
| MULLEN BURST STRENGTH | ASTM D 3786 | ≥ 300 PSI |
| PUNCTURE STRENGTH | ASTM D 4833 | ≥ 60 LBS |
| TRAPEZOID TEAR STRENGTH | ASTM D 4833 | ≥ 65 LBS |
| UV RESISTANCE | ASTM D 4355 | ≥ 80% AT 500 HOURS OF UV EXPOSURE |
| FLOW RATE | ASTM D 4491 | ≥ 10 GAL/MIN/FT2 |
- AN ORIGINAL PRODUCT SPECIFICATION SHEET FROM THE SILT FENCE MANUFACTURER SHALL BE MADE AVAILABLE AT THE REQUEST OF THE TOWN'S INSPECTOR. THE PRODUCT SPECIFICATION SHEET SHALL PROVIDE THE RESULTS FOR THE TEST METHODS ABOVE.
 - SILT FENCE JOINTS SHALL BE CONNECTED ACCORDING TO THE ATTACHED DRAWING.
 - SILT FENCE THAT IS INSTALLED BEHIND CURBS AND SIDEWALKS MUST BE DONE SO THAT NO MORE THAN A 2" GAP EXISTS BETWEEN CONCRETE AND THE SILT FENCE. EROSION CONTROL BLANKETING (ECB) BETWEEN THE GAP MAY BE REQUIRED IN INSTANCES WHERE THIS DOES NOT OCCUR.

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES

SF 3 OF 4
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER.

- SILT FENCE INSPECTION AND MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SILT FENCE.
 - ACCUMULATED SEDIMENT SHALL BE REMOVED REGULARLY.
 - SILT FENCE SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
 - SILT FENCE SHALL BE REPLACED WHEN THERE ARE ANY SIGNS OF WEAR AND/OR DAMAGE.
 - WHEN THE SILT FENCE IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE SILT FENCE MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES

SF 4 OF 4
Oct. 2013

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- SEEDING AND MULCHING SHALL BE PERFORMED ACCORDING TO THE ACCOMPANYING DETAIL(S) AND TEXT. NO EXCEPTIONS SHALL BE MADE**
- SEE PLAN VIEW FOR:
 - LOCATION(S) OF SEEDING AND MULCHING
 - TYPE OF SEED MIX
 - SEED MIXES MAY CONFORM TO THE TABLE PROVIDED WITH THE SMC NOTES OR ALTERNATIVES MAY BE ALLOWED WITH PRIOR PERMISSION BY THE TOWN'S INSPECTOR.
 - SEEDING MAY BE PERFORMED YEAR ROUND ASSUMING THE SOIL IS NOT FROZEN. SEEDING DURING TIMES OF EXTREME TEMPERATURES SHOULD BE AVOIDED IF POSSIBLE.
 - AT THE BEGINNING OF THE LAND DISTURBANCE ACTIVITIES, IT IS HIGHLY RECOMMENDED THAT AN APPROPRIATE AMOUNT OF NATIVE TOPSOIL BE STRIPPED FROM THE SITE AND STOCKPILED. ALL AREAS, PRIOR TO PERMANENT SEEDING AND MULCHING, WILL LIKELY NEED TO BE COVERED WITH AN APPROPRIATE LAYER OF TOPSOIL. THIS REQUIREMENT APPLIES TO ALL AREAS WHERE NATIVE SEEDING IS SPECIFIED ON THE CBMP PLAN AND/OR LANDSCAPING PLANS.
 - IT IS STRONGLY RECOMMENDED THAT SAMPLES FROM THE STRIPPED TOPSOIL BE PROPERLY COLLECTED AND TESTED BY A QUALIFIED LABORATORY TO ENSURE ADEQUATE NUTRIENT CONTENT PRIOR TO SEEDING AND MULCHING. IF IT IS DISCOVERED THAT THE TOPSOIL IS VOID OF THE NUTRIENTS NECESSARY TO SUCCESSFULLY ESTABLISH THE REQUIRED VEGETATION, THEN THE APPROPRIATE AMENDMENTS SHALL BE ADDED.
 - ALL AREAS TO BE SEEDING AND MULCHED SHALL BE SURFACE ROUGHENED ACCORDING TO THE SURFACE ROUGHENING DETAILS AND NOTES. SURFACE ROUGHENING SHALL OCCUR AFTER PLACEMENT OF THE TOPSOIL.
 - WHEN INSTALLED WITH A DRILL SEEDER, SEED SHALL BE PLACED AT A DEPTH OF 1/4 - 1/2 INCH. ROW SPACING SHALL BE NO MORE THAN 6-INCHES.
 - ALL AREAS INCAPABLE OF BEING DRILL SEEDER SHALL BE SURFACE ROUGHENED ACCORDING TO THE SURFACE ROUGHENING NOTES OR EFFECTIVELY ROUGHENED USING A HARROW OR OTHER SUCH IMPLEMENT. ALL AREAS SHALL BE UNIFORMLY HAND BROADCASTED WITH THE PROPER SEED MIX APPLIED AT TWO TIMES THE DRILL SEEDER RATE. BROADCASTED AREAS SHALL THEN BE RE-HARROWED OR RE-RAKED USING A HARD-TIPPED RAKE TO ENSURE THAT SEEDS ARE BURIED TO AN APPROXIMATE DEPTH OF 1/4 - 1/2 INCH.
 - AFTER SEEDING HAS BEEN COMPLETED, MULCH SHALL BE UNIFORMLY APPLIED AT A RATE OF 2 TONS/ACRE (4,000 LBS/ACRE). MULCH SHALL BE MECHANICALLY CRIMPED TO A DEPTH OF 2 INCHES USING A CRIMPER. MULCH SHALL BE HAND CRIMPED AND COVERED WITH A TACKIFIER IN AREAS WHERE MECHANICAL CRIMPING IS NOT POSSIBLE. WHEN SOILS PERMIT, ALL MULCH SHALL BE CRIMPED SUCH THAT THE INDIVIDUAL PIECES OF STRAW OR HAY FORM EXAGGERATED V-SHAPES PROTRUDING OUT OF THE GROUND SEVERAL INCHES.
 - IN CERTAIN INSTANCES, IT MAY BE NECESSARY TO APPLY A TACKIFIER IN ORDER TO HELP WITH STRAW DISPLACEMENT. TACKIFIER SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES

SMC 1 OF 3
Oct. 2013



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Greenwood Village, CO 80111
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IN-N-OUT BURGER
CONSTRUCTION DOCUMENTS
PARKER & PINE FILING NO. 1, LOT 1
PARKER, CO 80134

#	Date	Issue / Description	Init.
1	12/21/2022	1ST CD SUBMITTAL	PJD
2	03/17/2023	2ND CD SUBMITTAL	PJD
3	04/26/2023	3RD CD SUBMITTAL	PJD
4			
5			
6			
7			
8			
9			
10			

Project No: INC000014-20
Drawn By: JNE
Checked By: PJD
Date: 04/26/2023

CBMP DETAILS

C2.12
Sheet 23 of 36

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

SEEDING AND MULCHING MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SEEDING AND MULCHING.
2. ANY SEEDING AND MULCHED AREAS THAT BECOME DAMAGED SHALL BE REPAIRED WITHIN THE TIME FRAME SPECIFIED BY THE TOWN'S INSPECTOR.

WEED MANAGEMENT

1. ALL HERBICIDES SHALL BE APPLIED BY COMMERCIAL PESTICIDE APPLICATORS LICENSED BY THE COLORADO DEPARTMENT OF AGRICULTURE AS QUALIFIED APPLICATORS. THE CONTRACTOR SHALL FURNISH DOCUMENTATION OF SUCH LICENSING PRIOR TO HERBICIDE APPLICATION.
2. HERBICIDE APPLICATION METHOD SHALL BE SUCH THAT PLANT GROWTH OUTSIDE THE DESIGNATED TREATMENT AREAS WILL NOT BE DAMAGED. ALL DAMAGE CAUSED BY IMPROPER HERBICIDE APPLICATION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
3. HERBICIDES SHALL BE APPLIED DURING THE APPROPRIATE SEASONS, WHEN TARGET PLANTS ARE ACTIVELY GROWING.
4. AFTER THE GRASS SEED IS ESTABLISHED, APPROPRIATE HERBICIDES SHALL BE APPLIED TO CONTROL THE REMAINING WEEDS TO ENSURE A TIMELY RETURN OF THE FINANCIAL SECURITY. PROPER TIMING OF HERBICIDE APPLICATIONS ARE NECESSARY TO ACHIEVE THE SUPPRESSION OF WEED SEED PRODUCTION AND DEPLETION OF WEED ROOT MASS. ULTIMATELY, THE HERBICIDES USED SHALL BE BASED UPON THE TARGET WEEDS.
5. HERBICIDE TREATMENTS SHALL CONTINUE AT AN APPROPRIATE RATE UNTIL IT IS EVIDENT THAT WEED GROWTH PRESENCE AND GROWTH IS MINIMAL AND MAY BE CONTROLLED THROUGH MOWING AND/OR ANNUAL HERBICIDE TREATMENT.

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TOWN OF PARKER, SEED MIX 1

- 20% CANADA WILDRYE
- 15% CRESTED WHEATGRASS
- 15% SLENDER WHEATGRASS
- 10% ANNUAL RYEGRASS
- 10% SHEEP FESCUE
- 10% BIG BLUESTEM
- 10% SIDE-OATS GRAMA
- 5% CANADA BLUEGRASS
- 5% BLUE GRAMA

SEEDING RATE:

- DRILLED: 25 LBS/ACRE
- BROADCAST: 50 LBS/ACRE

TOWN OF PARKER, SEED MIX 2

- 22% SLENDER WHEATGRASS
- 18% SODAR STREAMBANK WHEATGRASS
- 13% ARIZONA FESCUE
- 13% BLUE GRAMA
- 12% BUFFALOGRASS
- 12% BARLEY OR OATS
- 5% SPIKE MUHLY
- 5% INDIAN RICEGRASS

SEEDING RATE:

- DRILLED: 25 LBS/ACRE
- BROADCAST: 50 LBS/ACRE

TOWN OF PARKER, SEED MIX 3 (LOW-GROWTH MIX)

- 25% EPHRAIM CRESTED WHEATGRASS
- 23% SHEEP FESCUE
- 18% PERENNIAL RYEGRASS
- 13% CANADA BLUEGRASS
- 12% BARLEY OR OATS
- 9% BLUE FESCUE

SEEDING RATE:

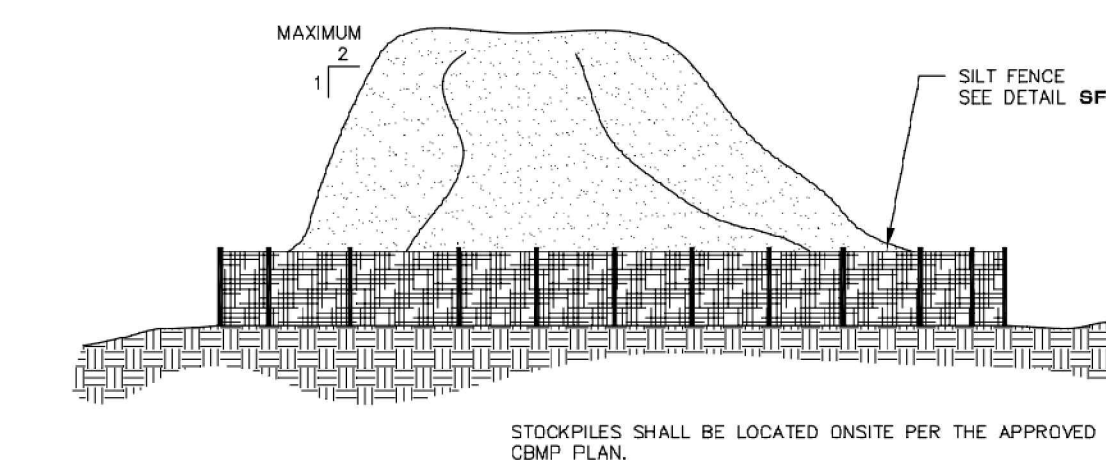
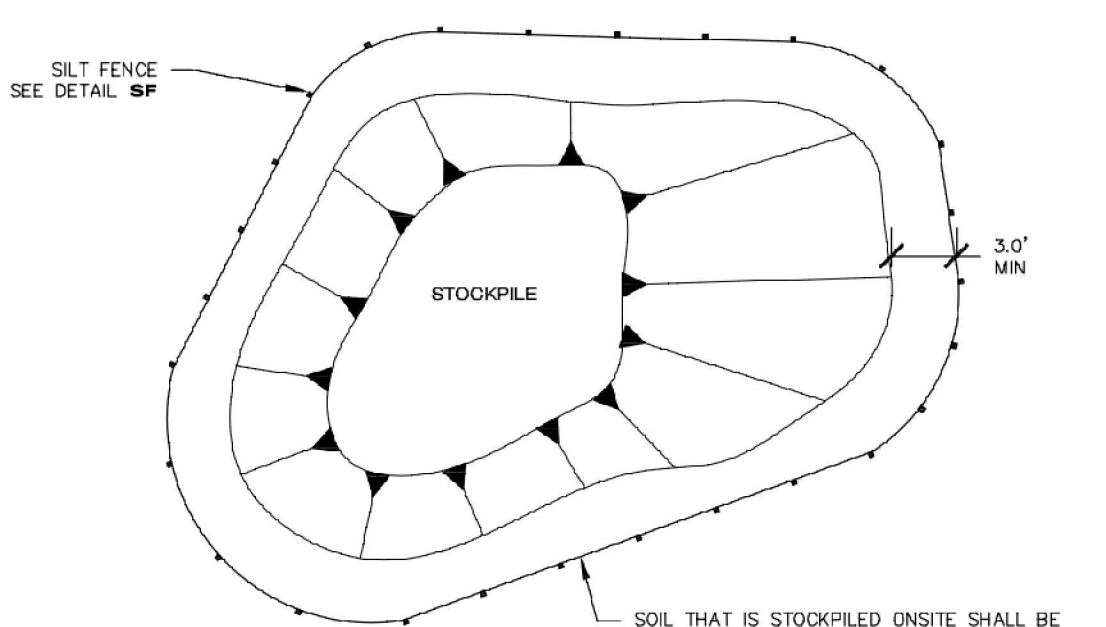
- DRILLED: 25 LBS/ACRE
- BROADCAST: 50 LBS/ACRE

SEED MIX 4:
OTHER SEED MIXES APPROVED BY THE TOWN OF PARKER

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
2 OF 3
Oct. 2013

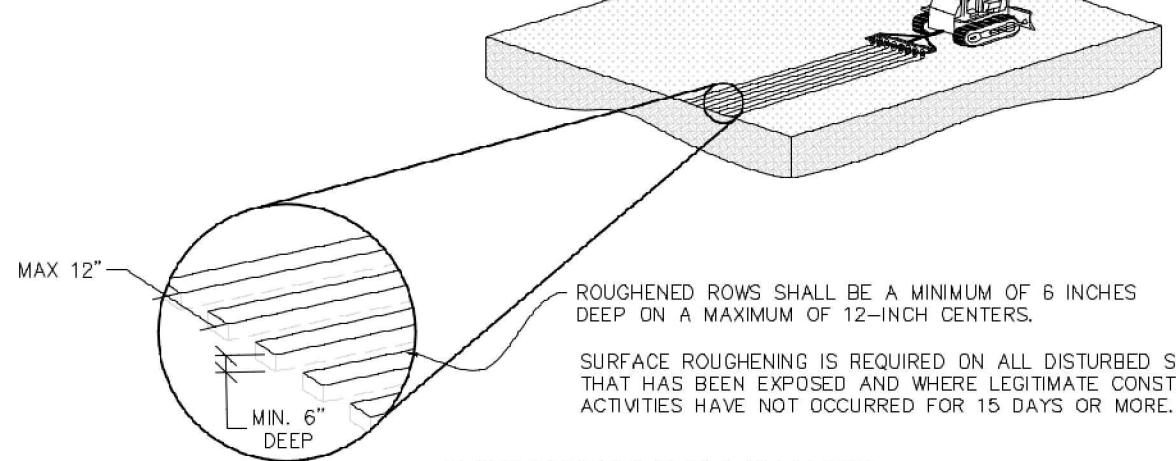
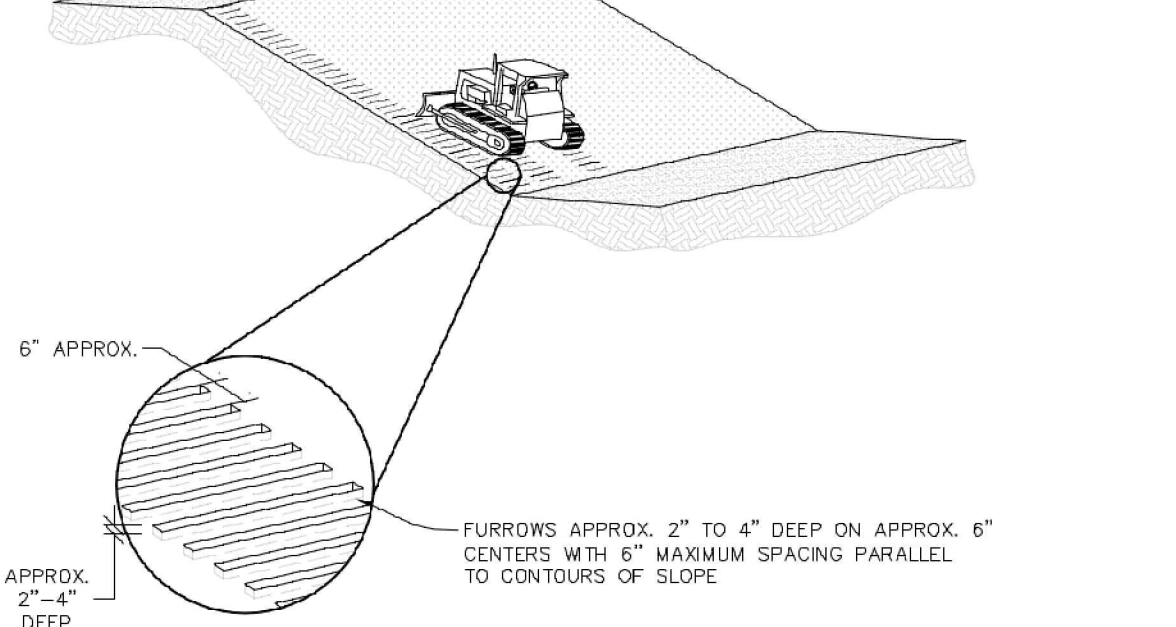
CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
3 OF 3
Oct. 2013

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CONSTRUCTION BEST MANAGEMENT PRACTICES
JUNE 2008

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CONSTRUCTION BEST MANAGEMENT PRACTICES
1 OF 2
Oct. 2013

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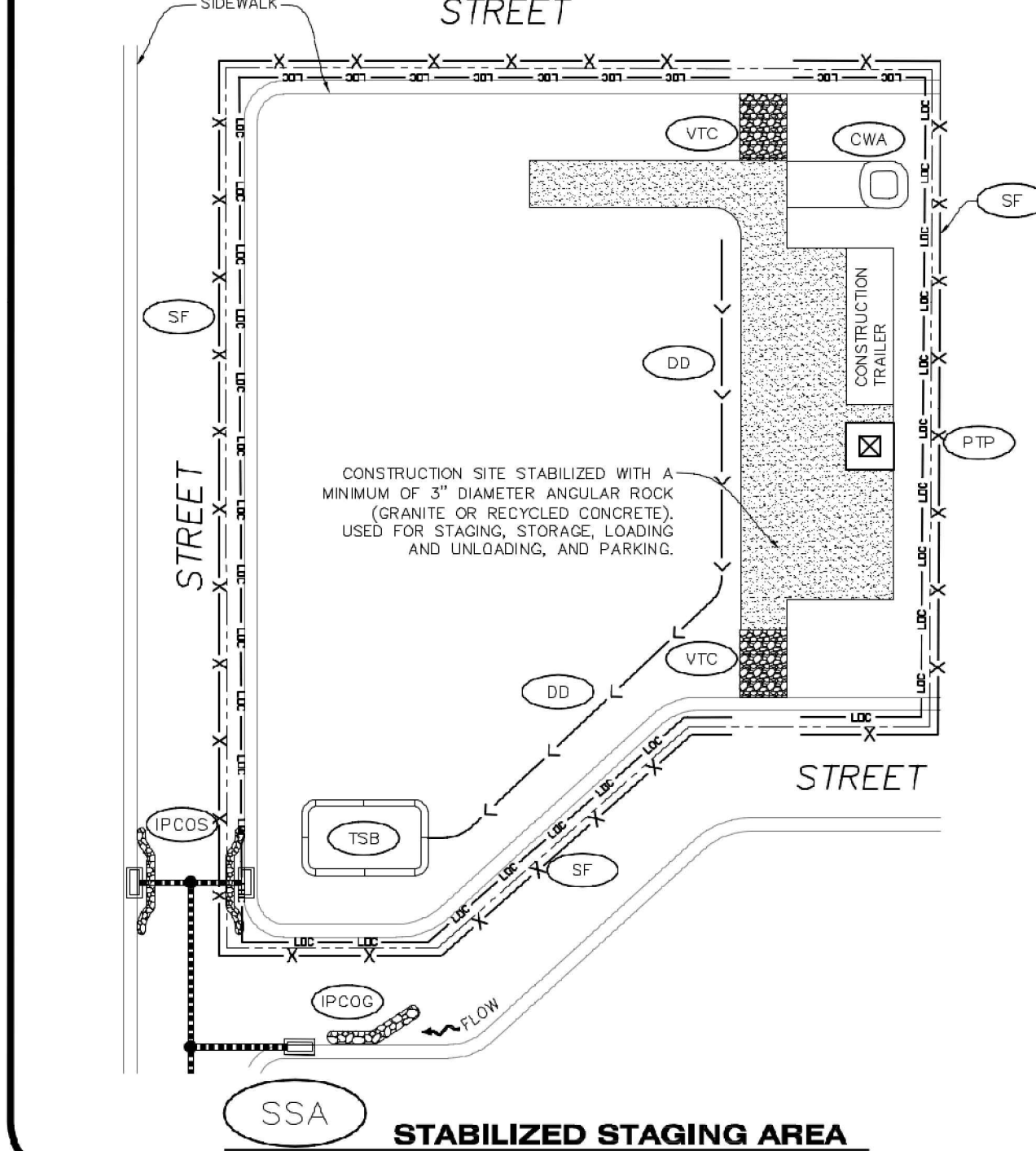
SURFACE ROUGHENING INSTALLATION NOTES

1. SEE CBMP PLAN FOR LOCATION(S) OF SURFACE ROUGHENING.
2. DISTURBED AREAS THAT REMAIN INACTIVE FOR 15 DAYS OR MORE MUST RECEIVE SURFACE ROUGHENING OR ANOTHER APPROVED BMP FROM THE SDECM. DETERMINATION OF JOB SITE INACTIVITY IS AT THE DISCRETION OF THE TOWN'S INSPECTOR.
3. FOR STEEP SLOPES (3:1 OR STEEPER), IT IS ACCEPTABLE TO "TRACK" THE SLOPES, ACCORDING TO THE CBMP DETAILS.
4. SCHEDULES FOR REQUIRING STABILIZATION MAY BE MODIFIED BY THE PERMITTEE TO ALLOW FOR SPECIAL CONSIDERATIONS SUCH AS STABILIZING ACCESS AREAS AND AREAS IN CLOSE PROXIMITY TO CONTINUING CONSTRUCTION.

SURFACE ROUGHENING INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL PROACTIVELY INSPECT THE SURFACE ROUGHENING.

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CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
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Oct. 2013

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STABILIZED STAGING AREA INSTALLATION NOTES

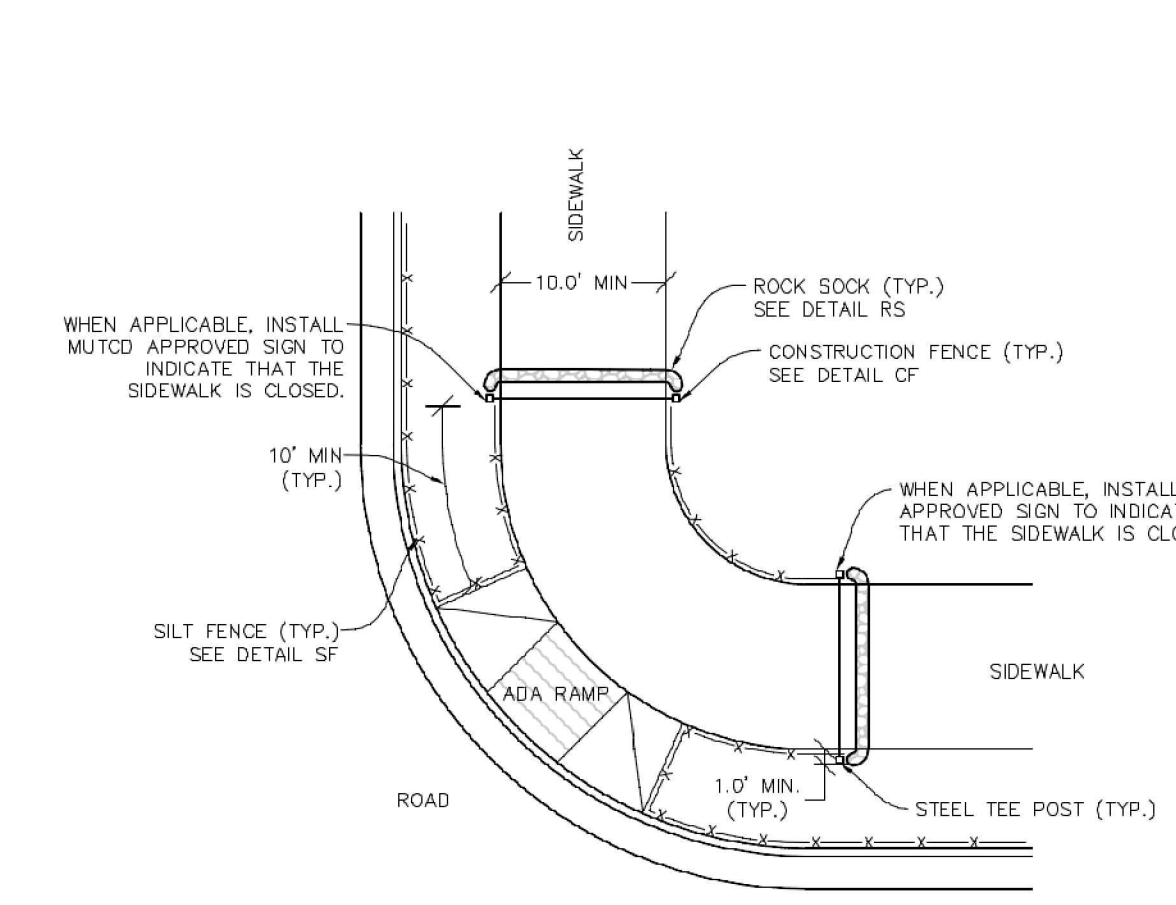
1. SEE CBMP PLAN FOR LOCATION OF STAGING AREA. CONTRACTOR MAY MODIFY LOCATION AND SIZE OF STABILIZED STAGING AREA WITH TOWN APPROVAL.
2. STABILIZED STAGING AREA SHALL BE LARGE ENOUGH TO FULLY CONTAIN PARKING, STORAGE, AND LOADING OPERATIONS.
3. THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM OF 3" DIAMETER OF ANGULAR ROCK (GRANITE OR RECYCLED CONCRETE).
4. SSA FOR SMALLER SITES MAY NOT BE PRACTICAL. IN THESE AND SIMILAR SITUATIONS, VARIANCES MAY BE PERMITTED BY THE TOWN.

STABILIZED STAGING AREA INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE STAGING AREA.
2. STABILIZED STAGING AREA SHALL BE ENLARGED AS NECESSARY TO CONTAIN PARKING, STORAGE, LOADING, AND UNLOADING.

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
2 OF 2
Oct. 2013

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NOTE: SEDIMENT CONTROL LOGS (SCL) MAY BE USED IN LIEU OF SILT FENCE (SF) WITH PRIOR APPROVAL FROM TOWN.

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
1 OF 3
Oct. 2013

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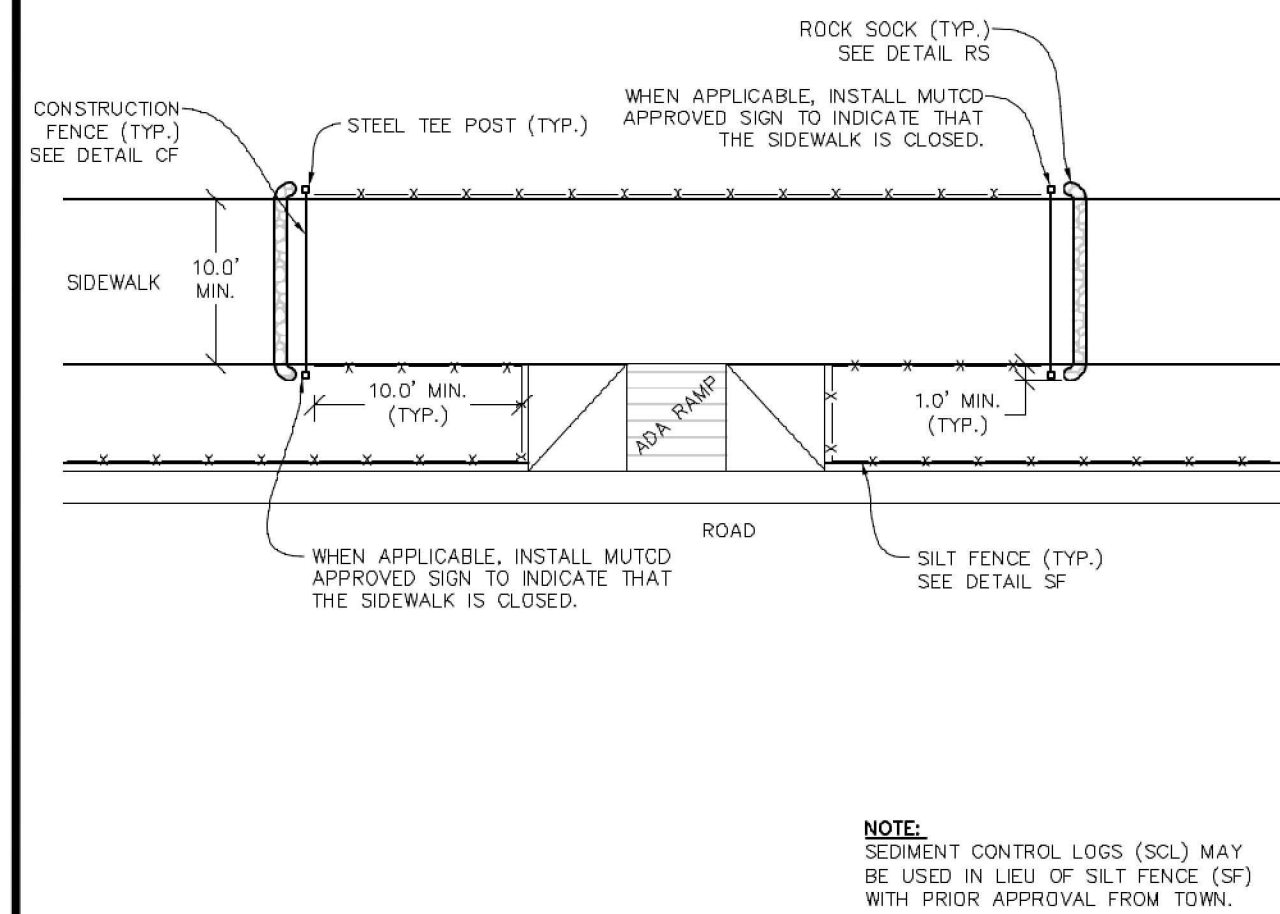
IN-N-OUT BURGER
CONSTRUCTION DOCUMENTS
PARKER & PINE FILING NO. 1, LOT 1
PARKER, CO 80134

#	Date	Issue / Description	Init.
1	12/21/2022	1ST CD SUBMITTAL	PJD
2	03/17/2023	2ND CD SUBMITTAL	PJD
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4			
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Project No: INC000014-20
Drawn By: JNE
Checked By: PJD
Date: 04/28/2023

CBMP DETAILS

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SIDWALK TRANSITION PROTECTION (ALONG STRAIGHT ROADWAY)

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
STP 2 OF 3 Oct. 2013

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- SIDWALK TRANSITION PROTECTION INSTALLATION NOTES**
1. SEE PLAN VIEW FOR LOCATION(S) OF SIDWALK TRANSITION PROTECTION.
 2. ROCK SOCK SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL (SEE DETAIL RS).
 3. SILT FENCE SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL (SEE DETAIL SF).
 4. CONSTRUCTION FENCE SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL (SEE DETAIL CF).
 5. SEDIMENT CONTROL LOGS MAY BE USED IN LIEU OF SILT FENCE WITH PRIOR APPROVAL FROM THE TOWN.

- SIDWALK TRANSITION PROTECTION INSPECTION & MAINTENANCE NOTES**
1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SIDWALK TRANSITION INSPECTION.

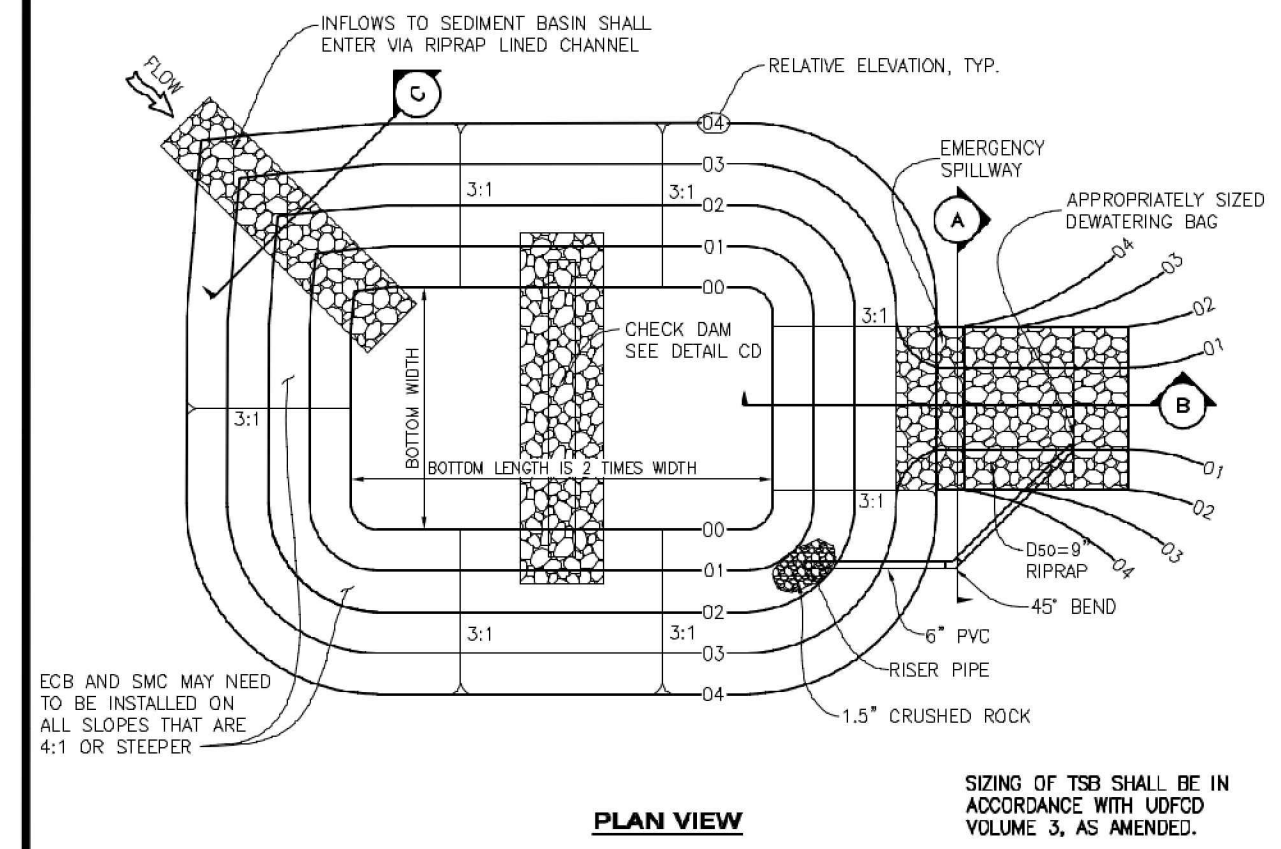
To allow for a proper and timely establishment of native grasses, temporary irrigation is required over all areas where permanent native seeding is proposed. This includes, but is not limited to: detention ponds, drainageways, park and trail areas, general open space, etc. In addition to the landscape plans, please show the temporary irrigation symbol (TI) on the CBMP Plan over all areas where permanent native seeding is proposed. As a reminder, when working within Parker Water and Sanitation District's (PWSO) jurisdiction, the following is required:

- Temporary irrigation for native seed must be supplied by a fire hydrant hook-up. Use of proposed/existing landscape irrigation taps is not allowed. Please indicate on the irrigation plans fire hydrants that are to be used for the temporary irrigation mainline and provide a detail for the connection. This detail should show the hydrant, PWSO water meter, a 2" backflow assembly, a 2" x 2" cam lock for fire department quick disconnect and a support system for all components
- The following note must be shown on the Irrigation plan set "Temporary irrigation for establishment of native vegetation must be installed above ground, and removed immediately after establishment is complete, or in no case, any longer than one growing season." PWSO may allow temporary irrigation to continue for one additional growing season with prior approval.
- The following note must be shown on the Irrigation plan set "All temporary irrigation components including but not limited to mainlines, laterals, valves, heads and quick couplers must be installed above ground."
- All temporary irrigation components including but not limited to mainlines, laterals, valves, heads and quick couplers must be clearly labeled on the plans.
- Provide detail drawings for all above ground components including but not limited to mainlines, laterals, valves, heads and quick couplers.

If the project is outside of PWSO's jurisdiction, check with the applicable water provider regarding their specific requirements for temporary irrigation.

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
STP 3 OF 3 Oct. 2013

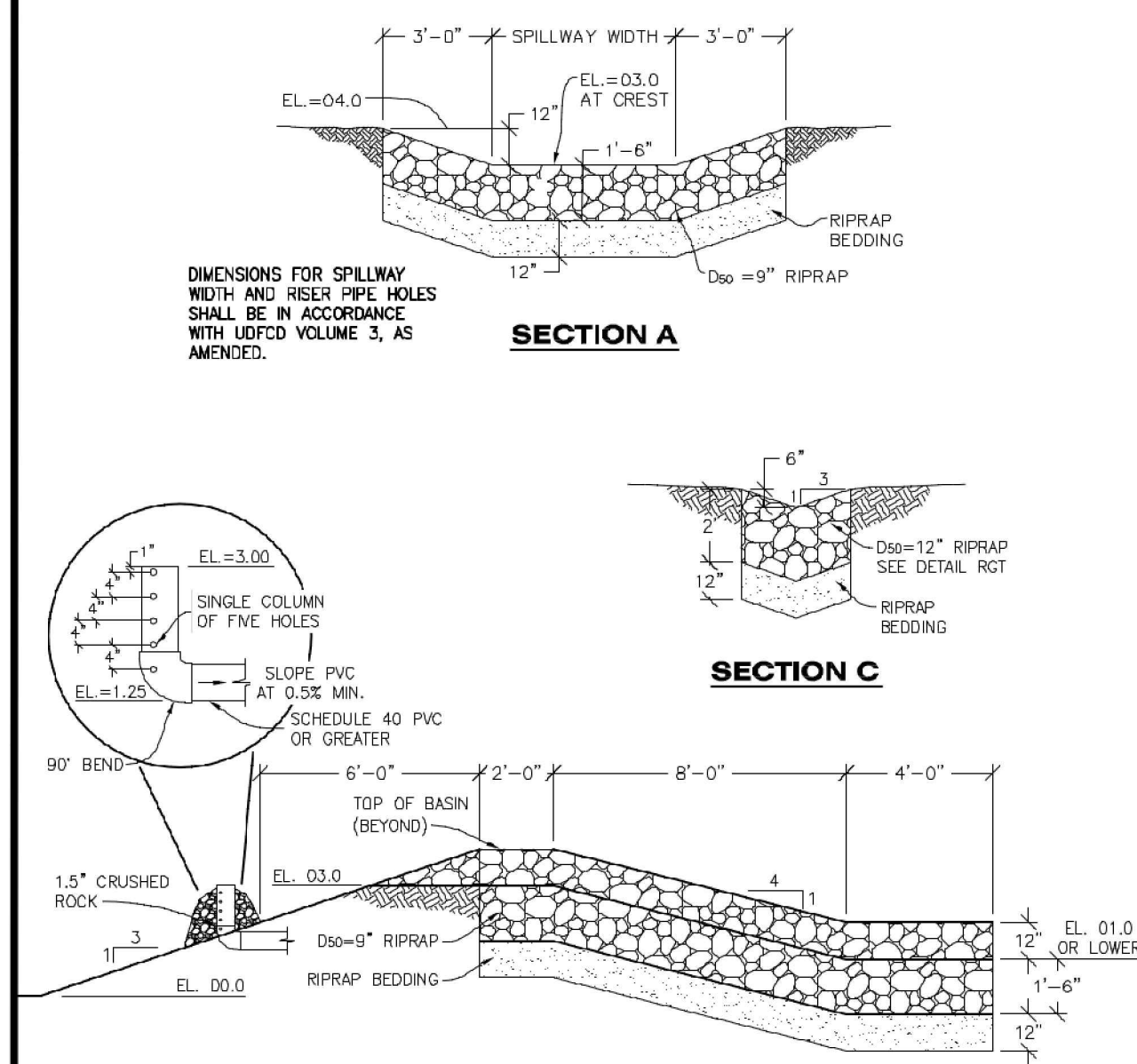
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TEMPORARY SEDIMENT BASIN

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
TSB 1 OF 3 Oct. 2013

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TEMPORARY SEDIMENT BASIN

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
TSB 2 OF 3 Oct. 2013

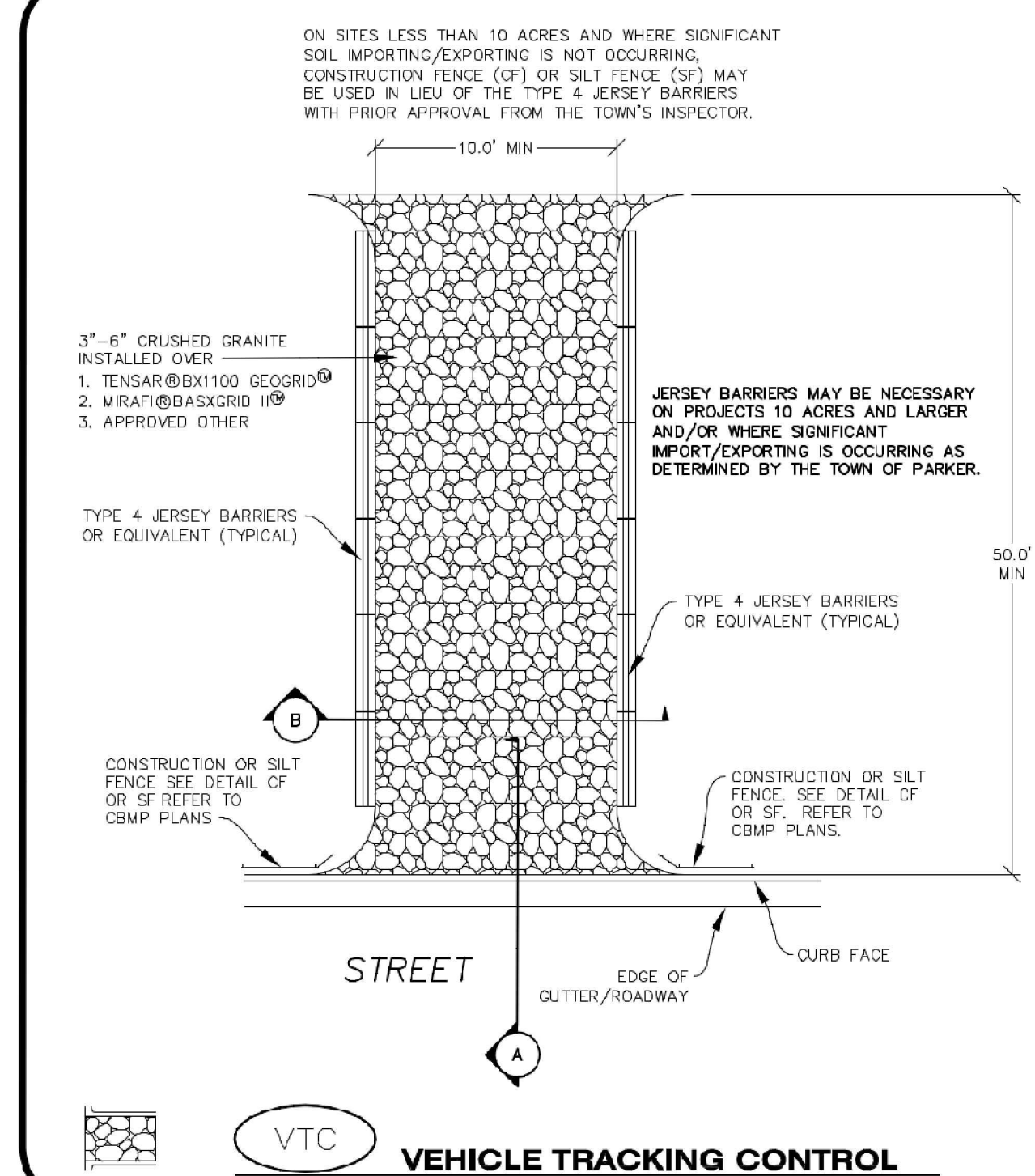
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- TEMPORARY SEDIMENT BASIN INSTALLATION NOTES**
1. SEE CBMP PLAN FOR LOCATION(S) OF SEDIMENT BASIN(S).
 2. THE TEMPORARY SEDIMENT BASIN(S) SHALL BE INSTALLED AND FUNCTIONING PRIOR TO ANY OTHER GRADING ACTIVITIES.
 3. THE EXACT DIMENSIONS AND DETAILS OF THE TEMPORARY SEDIMENT BASIN SHALL BE DETERMINED BY THE DESIGN ENGINEER, IN ACCORDANCE WITH UOFCO VOLUME 3, AS AMENDED.
 4. EMBANKMENT MATERIAL SHALL CONSIST OF SOIL FREE OF DEBRIS, ORGANIC MATERIAL, AND ROCKS OR CONCRETE GREATER THAN 3" AND SHALL HAVE A MINIMUM OF 15% BY WEIGHT PASSING THE NO. 200 SIEVE.
 5. EMBANKMENT MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 95% DENSITY, AND WITHIN +/- 2% OF OPTIMUM MOISTURE IN ACCORDANCE WITH ASTM D698.
 6. AN APPROPRIATELY SIZED DEWATERING BAG SHALL BE SECURED TO THE END OF THE DISCHARGE PIPE. THE DEWATERING BAG SHALL BE REPLACED ONCE SEDIMENT ACCUMULATION REACHES 50%.

- TEMPORARY SEDIMENT BASIN INSPECTION AND MAINTENANCE NOTES**
1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE TEMPORARY SEDIMENT BASIN.
 2. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN THE SEDIMENT REACHES A DEPTH OF 2.0', OR WITHIN 2.0' OF THE SPILLWAY CREST, OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
 3. SEDIMENT BASINS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL UPSTREAM VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR.

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
TSB 3 OF 3 Oct. 2013

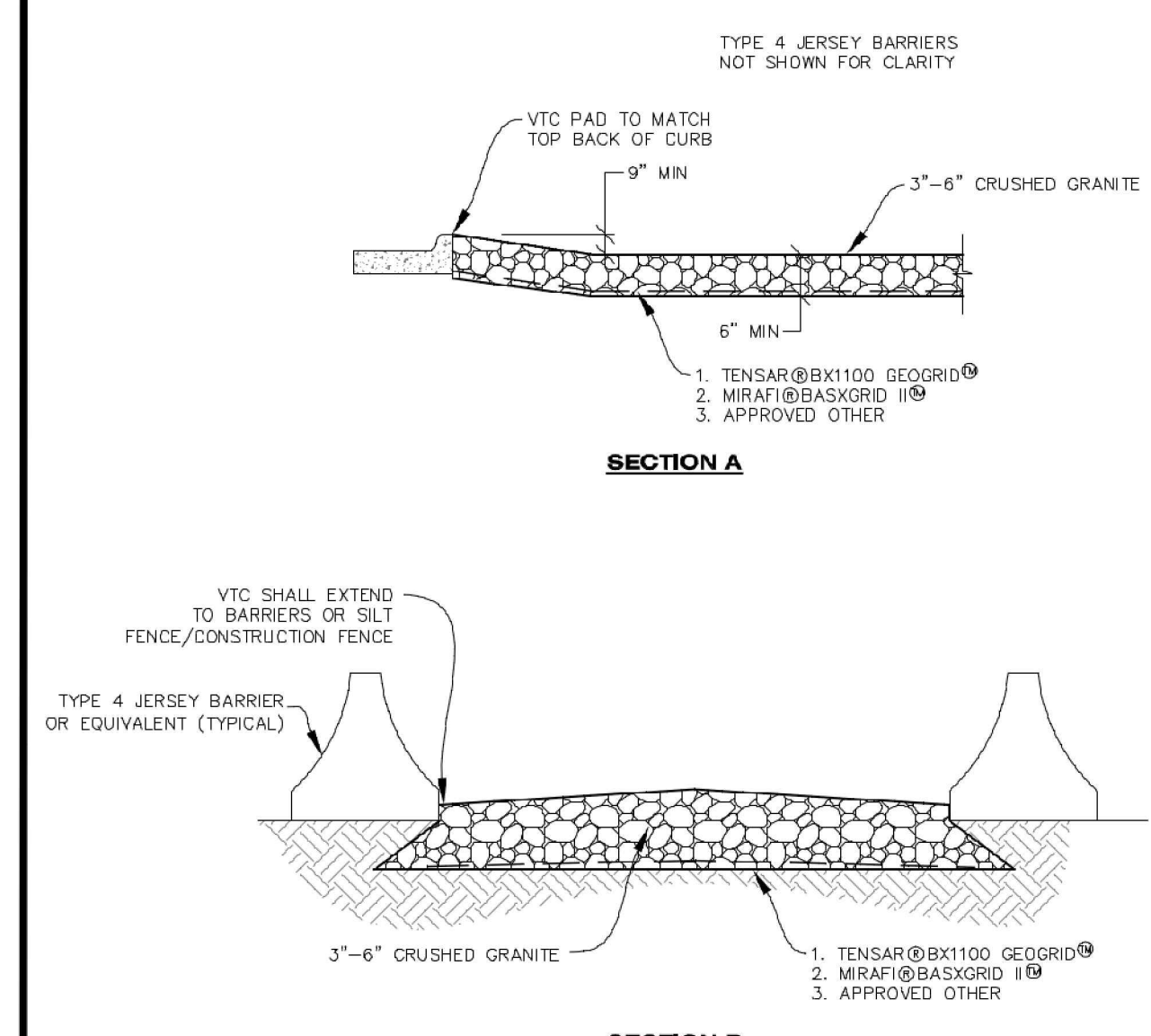
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VEHICLE TRACKING CONTROL

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
VTC 1 OF 3 Oct. 2013

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VEHICLE TRACKING CONTROL

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
VTC 2 OF 3 Oct. 2013

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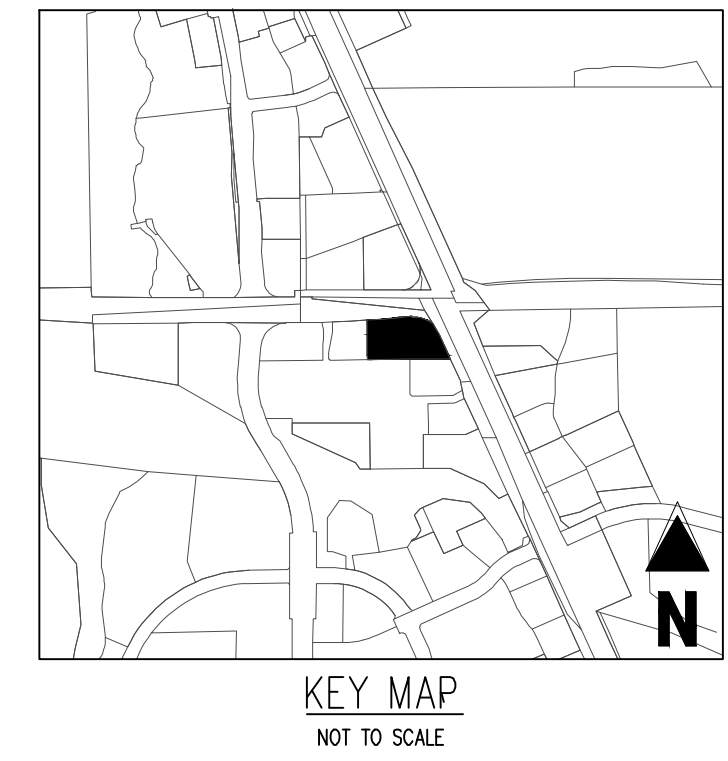
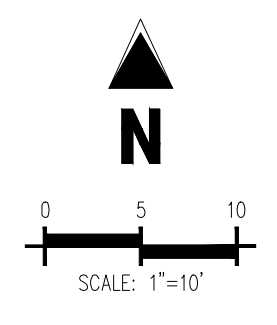
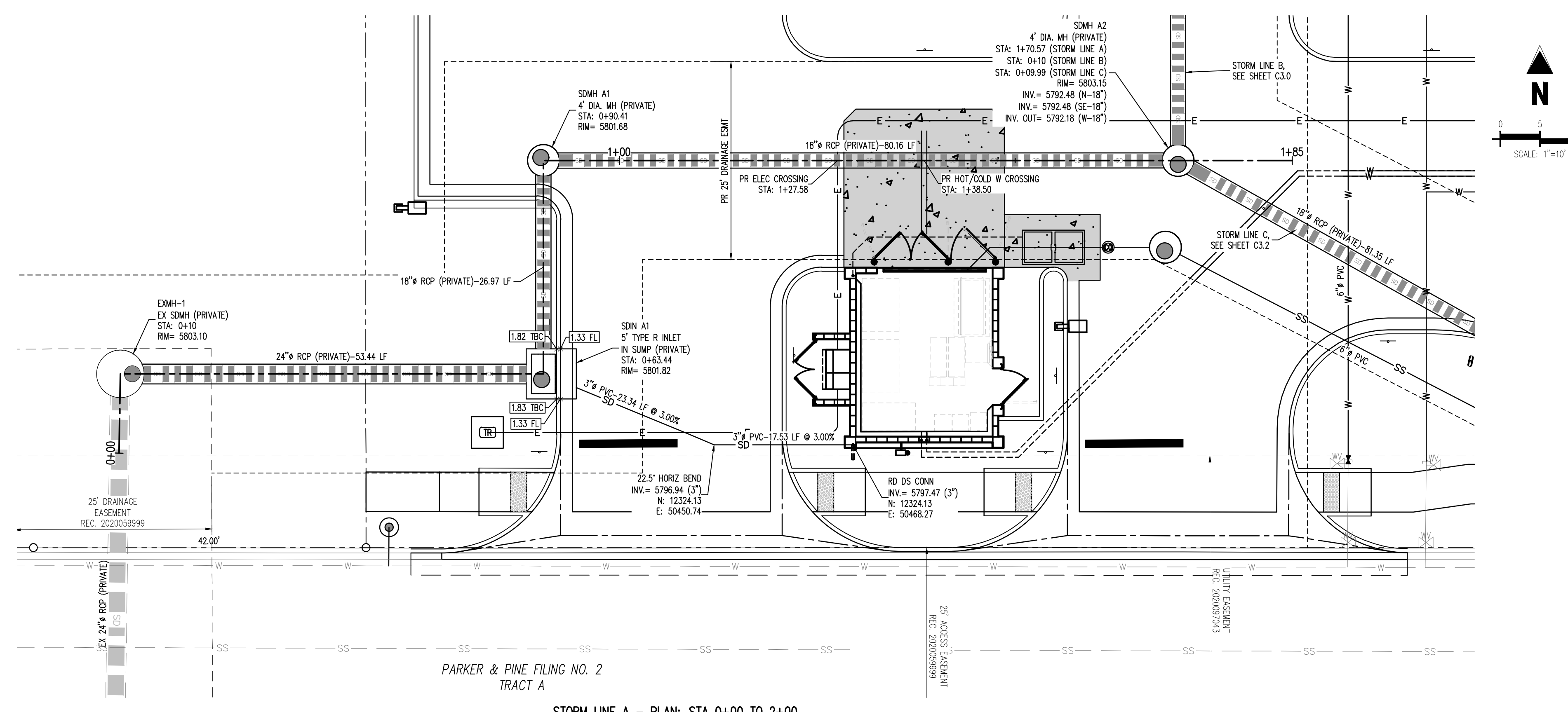


IN-N-OUT BURGER
CONSTRUCTION DOCUMENTS
PARKER & PINE FILING NO. 1, LOT 1
PARKER, CO 80134

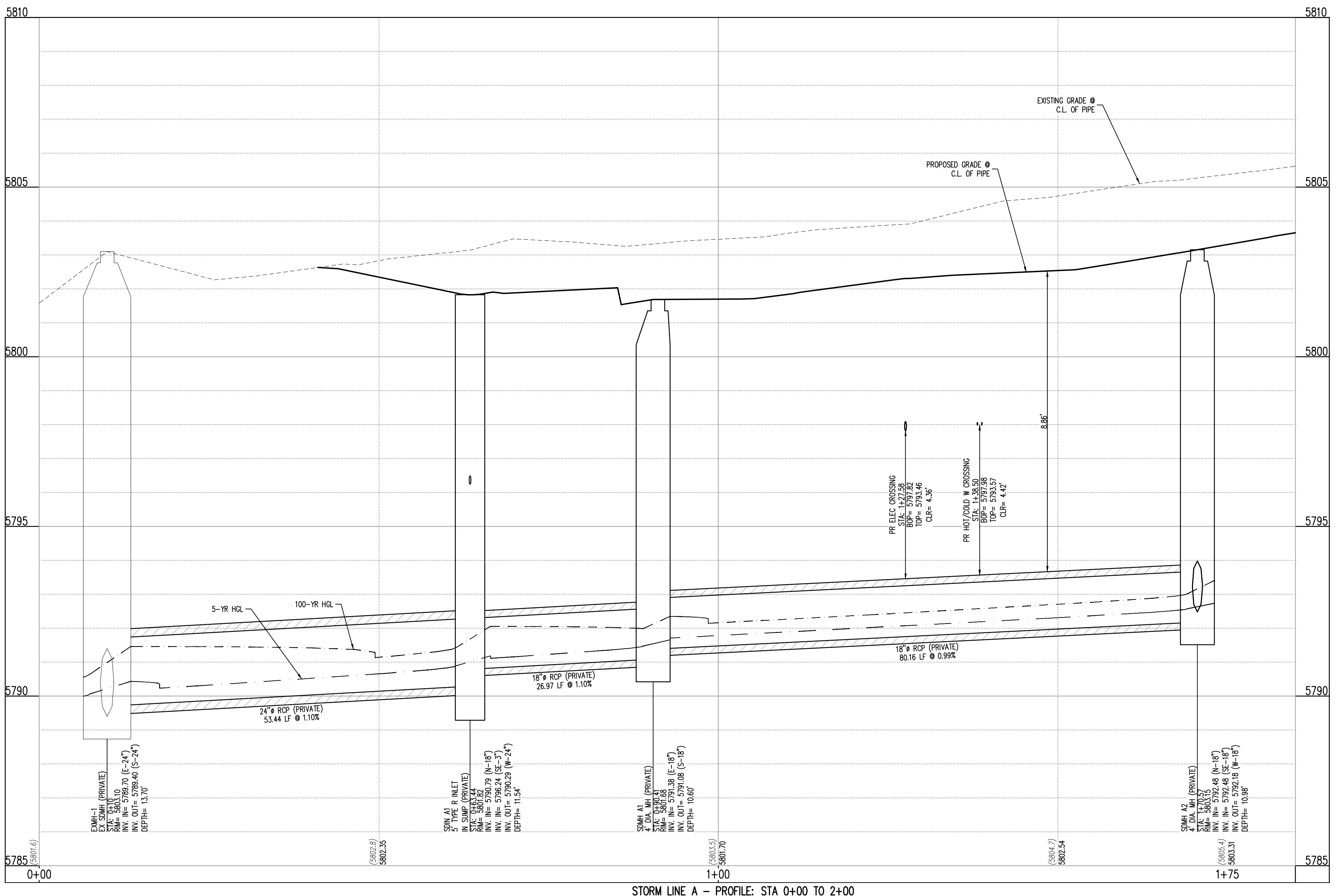
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3	04/26/2023	3RD CD SUBMITTAL	PJD

Project No: INC000014-20
Drawn By: JNE
Checked By: PJD
Date: 04/26/2023

CBMP DETAILS



STORM LINE A - PLAN: STA 0+00 TO 2+00
SCALE: 1"=10'



STORM LINE A - PROFILE: STA 0+00 TO 2+00
SCALE: 1"=10' HORIZONTAL AND 1"=2' VERTICAL

STORM LEGEND

---	PROPERTY BOUNDARY LINE
---	EXISTING LOT LINE
---	PROPOSED LOT LINE
---	EXISTING EASEMENT
---	PROPOSED SAWCUT LINE
---	EXISTING TO REMAIN
---	PROPOSED NEW
---	EXISTING ELECTRICAL PULL BOX
---	EXISTING PAD MOUNTED TRANSFORMER
---	EXISTING LIGHT POLE
---	PROPOSED SITE LIGHTING
---	EXISTING SANITARY SEWER MANHOLE
---	EXISTING STORM SEWER MANHOLE
---	EXISTING WATER METER
---	EXISTING WATER VALVE
---	EXISTING FIRE HYDRANT
---	EXISTING CURB AND GUTTER
---	PROPOSED CURB AND GUTTER
---	EXISTING STORM DRAIN
---	EXISTING WATER LINE
---	EXISTING SANITARY SEWER
---	PROPOSED STORM DRAIN (GREATER THAN 12" DIAMETER)
---	PROPOSED STORM DRAIN (LESS THAN 12" DIAMETER)
---	PROPOSED SANITARY SEWER (SIZE INDICATED ON PLAN)
---	PROPOSED WATER LINE (SIZE INDICATED ON PLAN)
---	PROPOSED ELECTRIC LINE

- NOTES:**
1. ALL RCP STORM SEWER PIPE SHALL BE CLASS III.
 2. ALL PROPOSED STORM SEWER IS PRIVATE.
 3. STORM SEWER HORIZONTAL ALIGNMENT IS APPROXIMATE. STORM SEWER SHOWN ON PLANS IS CENTER OF STRUCTURE TO CENTER OF STRUCTURE. CONTRACTOR TO ADJUST STORM SEWER ALIGNMENT TO MIDPOINT OF INSIDE FACE OF BOX.
 4. CONTRACTOR SHALL VERIFY LOCATION AND INVERTS OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF CONFLICTS.
 5. DRY UTILITY ELEVATIONS ARE APPROXIMATE AND NEED TO BE VERIFIED BY THE CONTRACTOR.
 6. PROPOSED FLOWLINE ELEVATION DOES NOT TAKE INTO ACCOUNT GUTTER DEPRESSION AT INLETS. REF. TBC ELEVATIONS AT CURB INLETS.
 7. TBC ELEVATIONS OF INLET STRUCTURES IN PROFILE VIEW ARE AT CL OF ALIGNMENT. REF. TBC PLAN ELEVATIONS.
 8. ALL STORM SEWER CONNECTIONS TO PREFABRICATED INLETS OR MANHOLES MUST USE A REINFORCED CONCRETE COLLAR.
 9. STRUCTURE STATION AND RM ELEVATIONS ARE AT THE CENTER OF THE STRUCTURE. REFERENCE PLAN ELEVATIONS AND RM GRADE LABELS.
 10. DRY UTILITY CROSSING LOCATIONS & DEPTHS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF CONFLICTS. EXISTING UTILITY RELOCATIONS SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

LEGAL DESCRIPTION
LOT 1, PARKER & PINE FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO

BENCHMARK
PUBLISHED BENCHMARK: ELEVATIONS ARE BASED ON A DOUGLAS COUNTY CONTROL MONUMENT, STATION NAME: CRAIN, BEING A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN CULVERT, 25 FEET WEST OF THE EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.

ELEVATION = 5734.25 FEET (NAVD 88) PUBLISHED BY DOUGLAS COUNTY

BASIS OF BEARING
BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST BEARS N001°17'51"E, MONUMENTED BY THE SOUTHWEST CORNER OF SAID SECTION 10, BEING A 3-1/4 INCH ALUMINUM CAP STAMPED "LS 19003", AND MONUMENTED BY THE WEST QUARTER CORNER OF SAID SECTION 10, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 22561", AS SHOWN HEREON.

CAUTION - NOTICE TO CONTRACTOR

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2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-Holing OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



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IN-N-OUT BURGER
CONSTRUCTION DOCUMENTS
PARKER & PINE FILING NO. 1, LOT 1
PARKER, CO 80134

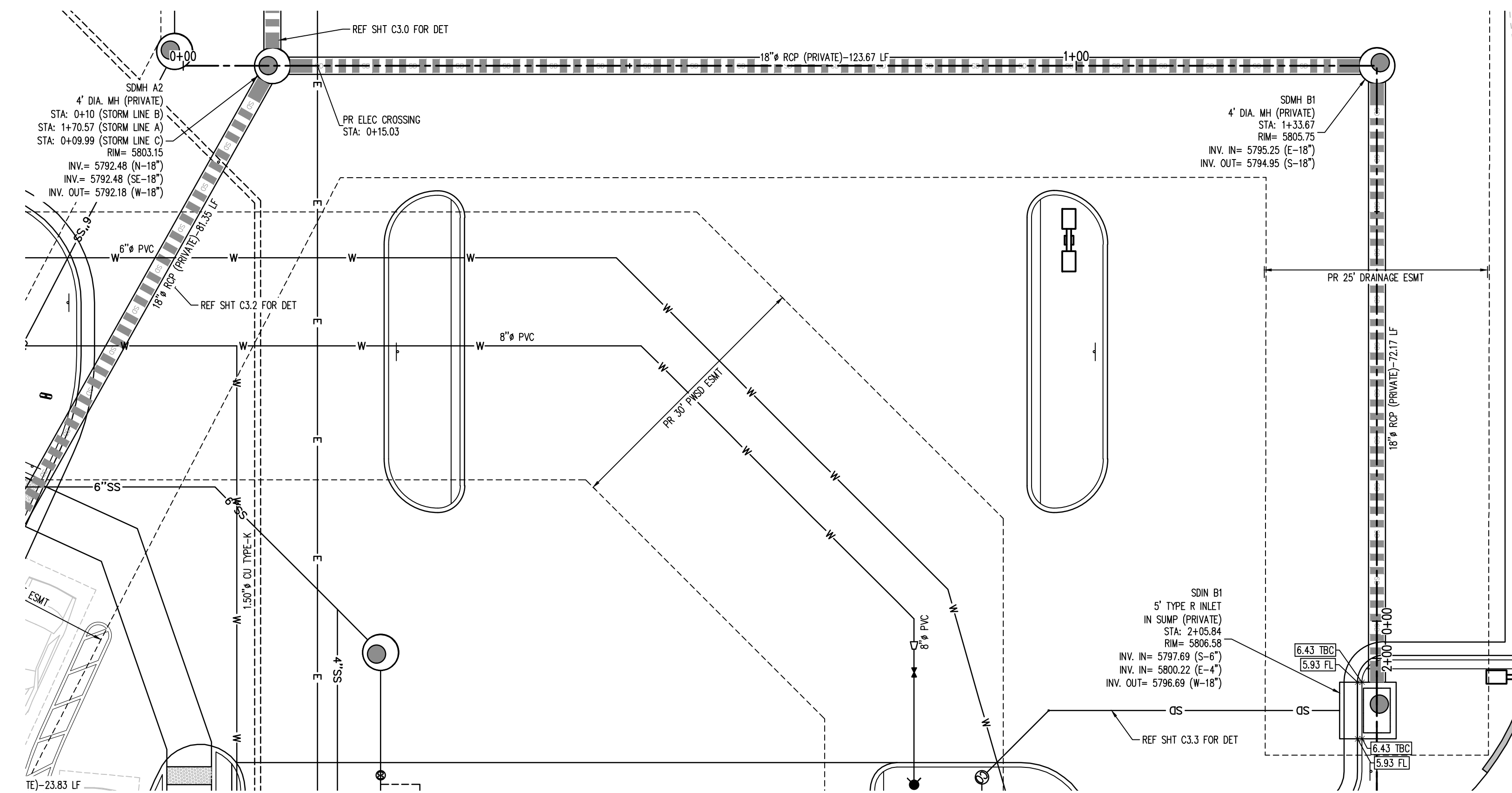
#	Date	Issue / Description	Int.
	12/21/2022	1ST CD SUBMITTAL	PJD
	03/17/2023	2ND CD SUBMITTAL	PJD
	04/28/2023	3RD CD SUBMITTAL	PJD

TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

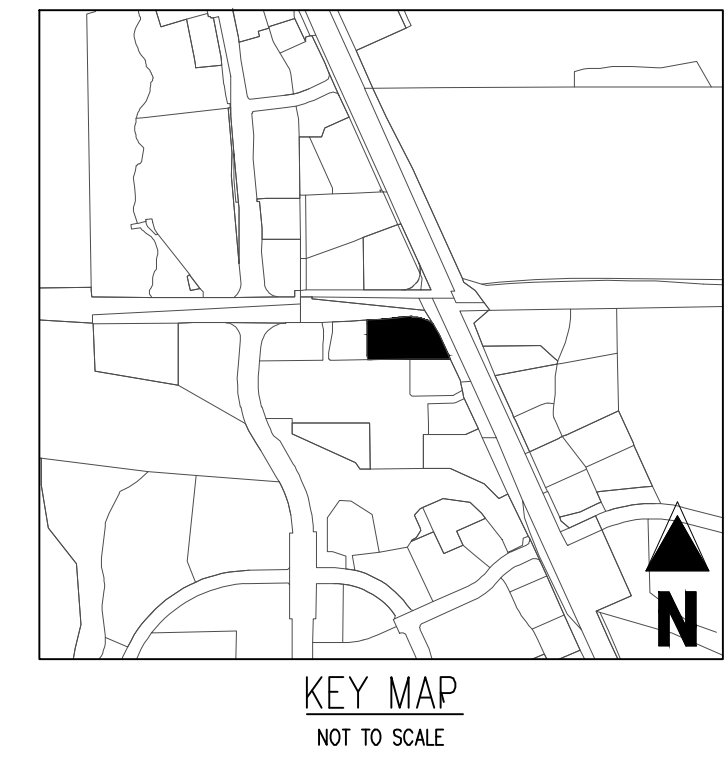
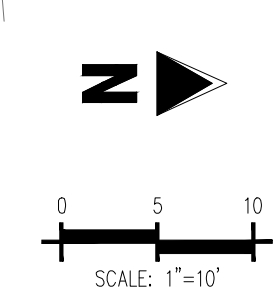
Project No: INC000014-20
Drawn By: JNE
Checked By: PJD
Date: 04/28/2023

STORM PLAN & PROFILE

C3.0
Sheet 27 of 36



STORM LINE B - PLAN: STA 0+00 TO 2+00
SCALE: 1"=10'



STORM LEGEND

---	PROPERTY BOUNDARY LINE
---	EXISTING LOT LINE
---	PROPOSED LOT LINE
---	EXISTING EASEMENT
---	PROPOSED SAWCUT LINE
---	EXISTING TO REMAIN
---	PROPOSED NEW
□	EXISTING ELECTRICAL PULL BOX
□	EXISTING PAD MOUNTED TRANSFORMER
□	EXISTING LIGHT POLE
□	PROPOSED SITE LIGHTING
○	EXISTING SANITARY SEWER MANHOLE
○	EXISTING STORM SEWER MANHOLE
○	EXISTING WATER METER
○	EXISTING WATER VALVE
○	EXISTING FIRE HYDRANT
---	EXISTING CURB AND GUTTER
---	PROPOSED CURB AND GUTTER
---	EXISTING STORM DRAIN
---	EXISTING WATER LINE
---	EXISTING SANITARY SEWER
---	PROPOSED STORM DRAIN (GREATER THAN 12" DIAMETER)
---	PROPOSED STORM DRAIN (LESS THAN 12" DIAMETER)
---	PROPOSED SANITARY SEWER (SIZE INDICATED ON PLAN)
---	PROPOSED WATER LINE (SIZE INDICATED ON PLAN)
---	PROPOSED ELECTRIC LINE

- NOTES:**
- ALL RCP STORM SEWER PIPE SHALL BE CLASS III.
 - ALL PROPOSED STORM SEWER IS PRIVATE.
 - STORM SEWER HORIZONTAL ALIGNMENT IS APPROXIMATE. STORM SEWER SHOWN ON PLANS IS CENTER OF STRUCTURE TO CENTER OF STRUCTURE. CONTRACTOR TO ADJUST STORM SEWER ALIGNMENT TO MIDPOINT OF INSIDE FACE OF BOX.
 - CONTRACTOR SHALL VERIFY LOCATION AND INVERTS OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF CONFLICTS.
 - DRY UTILITY ELEVATIONS ARE APPROXIMATE AND NEED TO BE VERIFIED BY THE CONTRACTOR.
 - PROPOSED PLOWLINE ELEVATION DOES NOT TAKE INTO ACCOUNT GUTTER DEPRESSION AT INLETS. REF. TBC ELEVATIONS AT CURB INLETS.
 - TBC ELEVATIONS OF INLET STRUCTURES IN PROFILE VIEW ARE AT CL OF ALIGNMENT. REF. TBC PLAN ELEVATIONS.
 - ALL STORM SEWER CONNECTIONS TO PREFABRICATED INLETS OR MANHOLES MUST USE A REINFORCED CONCRETE COLLAR.
 - STRUCTURE STATION AND RM ELEVATIONS ARE AT THE CENTER OF THE STRUCTURE. REFERENCE PLAN ELEVATIONS AND RM GRADE LABELS.
 - DRY UTILITY CROSSING LOCATIONS & DEPTHS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF CONFLICTS. EXISTING UTILITY RELOCATIONS SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER.

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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

LEGAL DESCRIPTION
LOT 1, PARKER & PINE FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO

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PUBLISHED BENCHMARK: ELEVATIONS ARE BASED ON A DOUGLAS COUNTY CONTROL MONUMENT, STATION NAME: CRAIN, BEING A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN CULVERT, 25 FEET WEST OF THE EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.

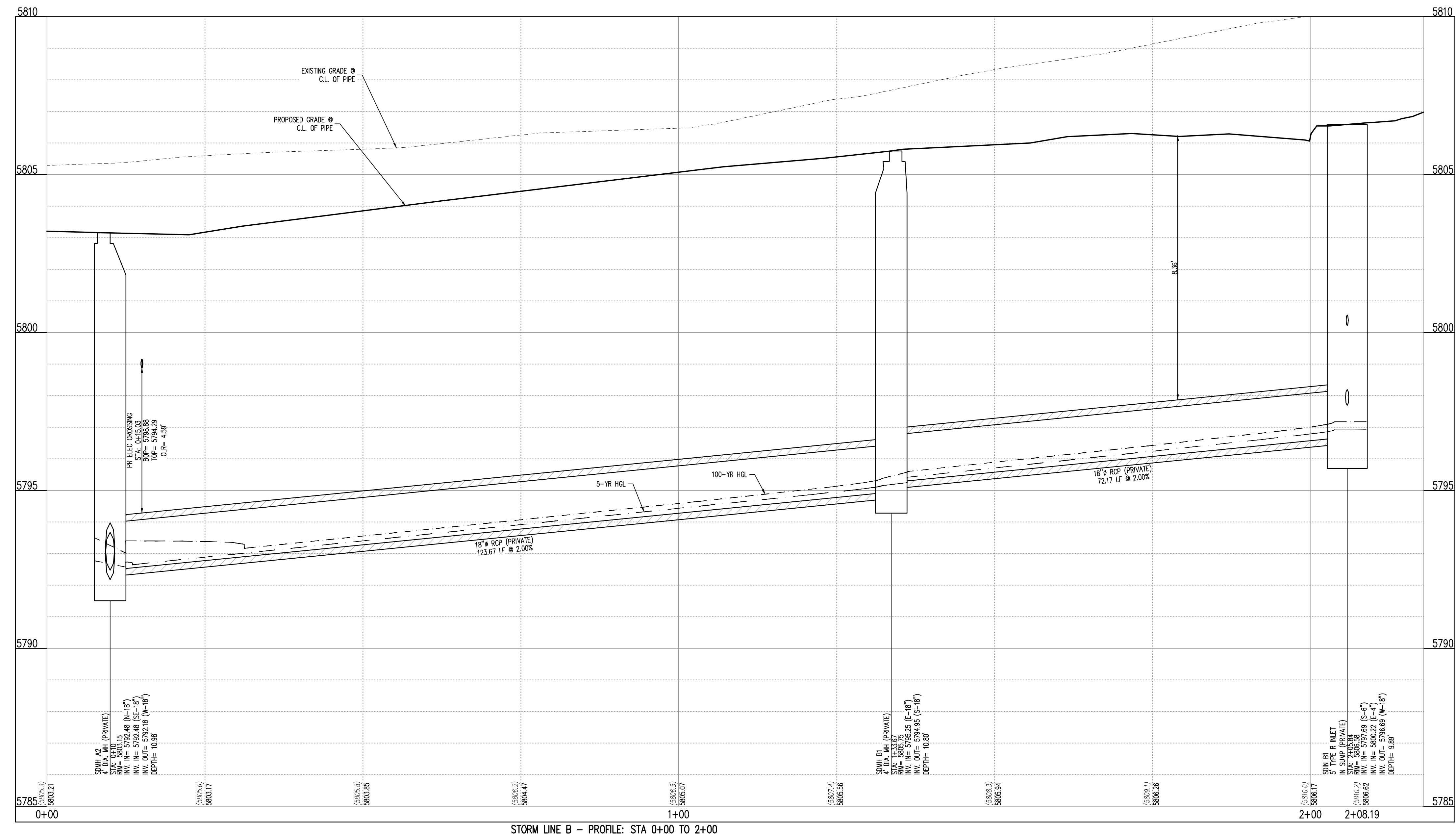
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BASIS OF BEARING
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STORM LINE B - PROFILE: STA 0+00 TO 2+00
SCALE: 1"=10' HORIZONTAL AND 1"=2' VERTICAL

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CONSTRUCTION DOCUMENTS
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PARKER, CO 80134

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2	03/17/2023	2ND CD SUBMITTAL	PJD
3	04/28/2023	3RD CD SUBMITTAL	PJD

TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

Project No: INC000014-20
Drawn By: JNE
Checked By: PJD
Date: 04/28/2023

STORM PLAN & PROFILE

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PARKER & PINE FILING NO. 1, LOT 1
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#	Date	Issue / Description	Init.
	12/21/2022	1ST CD SUBMITTAL	PJD
	03/17/2023	2ND CD SUBMITTAL	PJD
	04/26/2023	3RD CD SUBMITTAL	PJD

Project No: INC000014-20
Drawn By: JNE
Checked By: PJD
Date: 04/26/2023

STORM DETAILS

GENERAL NOTES

- SINCE ALL PIPE ENTRIES INTO THE BASE ARE VARIABLE, THE DIMENSIONS SHOWN ARE TYPICAL. APPROVED DIMENSIONS AND QUANTITIES FOR CONCRETE AND REINFORCEMENT SHALL BE AS REQUIRED IN THE WORK.
- THE PRECAST FLAT TOP MAY BE USED ON ANY MANHOLE. THE ECCENTRIC CONE MAY BE USED WHEN THE MANHOLE 1/4" HEIGHT IS AT LEAST 8 FT.
- THE MANHOLE RING FRAME SHALL BE SET IN A BED OF GROUT. THE FRAME SHALL BE SURROUNDED WITH A CEMENT GROUT IN UNPAVED AREA OR A CONCRETE COLLAR IN PAVED AREA. SEE DETAILS ON SHEETS 2 AND 3.
- DESIGN OF BOX BASE IS BASED ON STRAIGHT RINGS OF PIPE OR CONCRETE IN DIRECTION OF LESS THAN 45° SPECIAL DESIGN IS REQUIRED FOR 45° OR GREATER.
- PRECAST MANHOLES AND REINFORCEMENT SHALL CONFORM TO AASHTO M 199 (ASTM C 478).
- CAST-IN-PLACE MANHOLES SHALL BE CLASS B CONCRETE.
- STEPS SHALL BE REQUIRED WHEN THE MANHOLE DEPTH EXCEEDS 3 FT. 6 IN. AND SHALL CONFORM TO AASHTO M 199.
- ALL REINFORCING STEEL SHALL BE GRADE 60 AND EPOXY COATED. VERTICAL STEEL SHALL BE PLACED AT CENTERLINE OF WALL. ALL BARS SHALL HAVE A 2 IN. MINIMUM CLEARANCE.
- ALL PIPE ENTRIES INTO THE BASE OF MANHOLE SHALL BE CONNECTED BY OPEN CHANNELIZATION ADJUSTED FOR PIPE SIZE, SHAPE, SLOPE, AND DIRECTION OF FLOW. DETAILS SHOWN ARE TYPICAL FOR INSTALLATIONS WITH ALL INVERTS OF SAME RELATIVE ELEVATION. FOR EXCESSIVE ELEVATION DIFFERENCES BETWEEN INVERTS, SPECIAL BASE/CHANNEL DETAILS WILL BE SHOWN ON THE PLANS.
- FLOW CHANNELS AND INVERTS SHALL BE FORMED BY SHAPING WITH CLASS B CONCRETE OR APPROVED GROUT.
- STUB-OUTS SHALL EXTEND 2 FT. MINIMUM BEYOND OUTSIDE WALL SURFACE OF MANHOLE AND BE SATISFACTORILY PLAGGED.
- THE SLOPE OF THE MANHOLE COVER SHALL MATCH THE ROADWAY PROFILE AND CROSS SLOPE.
- WHEN FINAL GRADE IS PAVEMENT SURFACE, RECESS MANHOLE RING AND COVER 1/4" MIN. TO 1/2" MAX.

QUANTITIES FOR CONCRETE MANHOLE BOX BASE

MARK	NO.	TYPE	WT. (LBS.)	BSRS	FORMULAS
401	4	I	0.668	18	401 BAR LENGTH = 32" + 2W + I.D.
402	4	III	0.668	18	402 BAR LENGTH = I.D. + 2W
501	5	I	1.043	18	501 BAR LENGTH = 24" + I.D. + 2W
502	5	I	1.043	18	502 NUMBER BARS REQ'D = 3 + (24+I.D.)/2W
503	5	II	1.043	18	503 NUMBER BARS REQ'D = 3 + (14+I.D.)/2W
504	5	I	1.043	18	504 NUMBER BARS REQ'D = 2 + (24+I.D.)/2W
1101	11	I	5.313	18	1101 BAR LENGTH = 21" + I.D. + 2W
1102	11	I	5.313	18	1102 TYPE I
1103	11	I	5.313	18	1103 TYPE II

Computer File Information	Sheet Revisions	Colorado Department of Transportation	STANDARD PLAN NO.
Creation Date: 07/31/19	Date: _____	2829 West Howard Place CDOT HQ, 3rd Floor Denver, CO 80204 Phone: 303-757-9021 FAX: 303-757-9868	M-604-20
Designer Initials: JBK	Comments	Project Development Branch JBK	Standard Sheet No. 1 of 3
Last Modification Date: 07/31/19		Issued by the Project Development Branch: July 31, 2019	Project Sheet Number:
Detailer Initials: LTA			
CAD Ver: MicroStation V8 Scale: Not to Scale Units: English			

PRECAST MANHOLE BASES NOTES:

- THE BASE SLAB SHALL BE POURED MONOLITHICALLY WITH BOTTOM RISER SECTION.
- PRECAST MANHOLE BASES SHALL FIT THE CONDITIONS AND LOCATIONS FOR WHICH THEY ARE INTENDED WITHOUT ANY FIELD MODIFICATIONS. ANY MANHOLE BASE WHICH REQUIRES FIELD CUTTING OR MODIFICATION IN ORDER TO FIT THE LOCATIONS INTENDED WILL BE REJECTED BY THE ENGINEER AND REMOVED AND REPLACED BY THE CONTRACTOR AT NO COST TO THE DEPARTMENT.
- PRECAST MANHOLE BASES SHALL BE BEDDED ON AN APPROVED GRANULAR BEDDING MATERIAL AS SHOWN ABOVE.

QUANTITIES FOR CONCRETE MANHOLE BOX BASE

MARK	NO.	TYPE	WT. (LBS.)	BSRS	FORMULAS
401	4	I	0.668	18	401 BAR LENGTH = 32" + 2W + I.D.
402	4	III	0.668	18	402 BAR LENGTH = I.D. + 2W
501	5	I	1.043	18	501 BAR LENGTH = 24" + I.D. + 2W
502	5	I	1.043	18	502 NUMBER BARS REQ'D = 3 + (24+I.D.)/2W
503	5	II	1.043	18	503 NUMBER BARS REQ'D = 3 + (14+I.D.)/2W
504	5	I	1.043	18	504 NUMBER BARS REQ'D = 2 + (24+I.D.)/2W
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Designer Initials: JBK	Comments	Project Development Branch JBK	Standard Sheet No. 2 of 3
Last Modification Date: 07/31/19		Issued by the Project Development Branch: July 31, 2019	Project Sheet Number:
Detailer Initials: LTA			
CAD Ver: MicroStation V8 Scale: Not to Scale Units: English			

GENERAL NOTES

- CONCRETE SHALL BE CLASS B. INLET MAY BE CAST-IN-PLACE OR PRECAST.
- CAST-IN-PLACE CONCRETE WALLS SHALL BE FORMED ON BOTH SIDES.
- EXPOSED CONCRETE CORNERS SHALL BE CHAMFERED 3/4" OF A INCH.
- REINFORCING BARS SHALL BE DEFORMED #4 AND SHALL HAVE A 2 INCH MINIMUM CLEARANCE. ALL REINFORCING BARS SHALL BE GRADE 60 AND EPOXY COATED.
- STEPS SHALL BE PROVIDED WHEN INLET DIMENSION "H" IS EQUAL TO OR GREATER THAN 3 FEET-6 INCHES AND SHALL CONFORM TO AASHTO M 199.
- ALL GRATES AND FRAMES SHALL BE GRAY OR DUCTILE CAST IRON IN ACCORDANCE WITH SUBSECTION 712.06. GRATES AND FRAMES SHALL BE DESIGNED TO WITHSTAND HS 20 LOADING.
- STATION POINT IS AT THE CENTER OF THE INLET.
- GRATE SHALL HAVE "DUMP AND WASTE DRAINS TO STREAM" MESSAGE CAST ON SURFACE.

QUANTITIES FOR ONE INLET

MARK	NO.	CONCRETE	REINFORCING STEEL	NO. OF BARS	MAXIMUM PIPE I.D.
401	1	3'-0"	1.5	72	4 18
402	2	3'-6"	1.5	76	4 24
403	3	4'-0"	1.6	90	5 30
404	4	4'-6"	1.8	104	6 30
405	5	5'-0"	1.9	109	6 30
406	6	5'-6"	2.1	122	7 30
407	7	6'-0"	2.2	136	8 30
408	8	6'-6"	2.4	141	8 30
409	9	7'-0"	2.5	154	9 30
410	10	7'-6"	2.7	168	10 30
411	11	8'-0"	2.8	173	10 30
412	12	8'-6"	3.0	187	11 30
413	13	9'-0"	3.1	200	12 30
414	14	9'-6"	3.3	205	12 30
415	15	10'-0"	3.4	219	13 30

BAR LIST FOR H = 3 FT. - 0 IN.

MARK	NO.	DIMENSIONS	LENGTH
401	1	3'-0"	2'-2"
402	2	3'-4 1/2"	8'-5/8"
403	3	2'-3/4"	7'-2 1/2"

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Creation Date: 07/31/19	Date: _____	2829 West Howard Place CDOT HQ, 3rd Floor Denver, CO 80204 Phone: 303-757-9021 FAX: 303-757-9868	M-604-13
Designer Initials: JBK	Comments	Project Development Branch JBK	Standard Sheet No. 1 of 1
Last Modification Date: 07/31/19		Issued by the Project Development Branch: July 31, 2019	Project Sheet Number:
Detailer Initials: LTA			
CAD Ver: MicroStation V8 Scale: Not to Scale Units: English			

GENERAL NOTES:

- FOR LENGTH 10 FT. OR MORE, PROVIDE MAINTENANCE ACCESS AT BOTH ENDS WITH AN ADDITIONAL MANHOLE RING AND COVER. CUT REINFORCEMENT BAR ACCORDINGLY.
- STATION POINT AT MIDPOINT OF INLET ALONG FLOWLINE.
- MEET SHAPE OF NORMAL BARRIER CURB AND GUTTER HERE.
- WHEN A TYPE R INLET IS USED WITH MOUNTABLE CURB AND GUTTER, 5 FT. TRANSITION SHALL BE CONSTRUCTED. TRANSITION SHALL BE PAID FOR AS CURB AND GUTTER.
- FOR A 1'-0" PAN SLOPE 2" PER FT.
- A 2 IN. DIAMETER TEMPORARY HOLE FOR SPACING SHALL BE PLACED AT SUBGRADE ELEVATION OR A MINIMUM THREE INCHES BELOW ROAD BASE THE HOLE SHALL BE PLAGGED WITH CONCRETE BEFORE ACCEPTANCE OF THE INLET.
- PLACE ENTIRE ASSEMBLY BEFORE POURING CONCRETE.

QUANTITIES FOR ONE INLET

MARK	NO.	CONCRETE	REINFORCING STEEL	NO. OF BARS	MAXIMUM PIPE I.D.
401	1	3'-0"	1.5	72	4 18
402	2	3'-6"	1.5	76	4 24
403	3	4'-0"	1.6	90	5 30
404	4	4'-6"	1.8	104	6 30
405	5	5'-0"	1.9	109	6 30
406	6	5'-6"	2.1	122	7 30
407	7	6'-0"	2.2	136	8 30
408	8	6'-6"	2.4	141	8 30
409	9	7'-0"	2.5	154	9 30
410	10	7'-6"	2.7	168	10 30
411	11	8'-0"	2.8	173	10 30
412	12	8'-6"	3.0	187	11 30
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Designer Initials: JBK	Comments	Project Development Branch JBK	Standard Sheet No. 1 of 2
Last Modification Date: 07/31/19		Issued by the Project Development Branch: July 31, 2019	Project Sheet Number:
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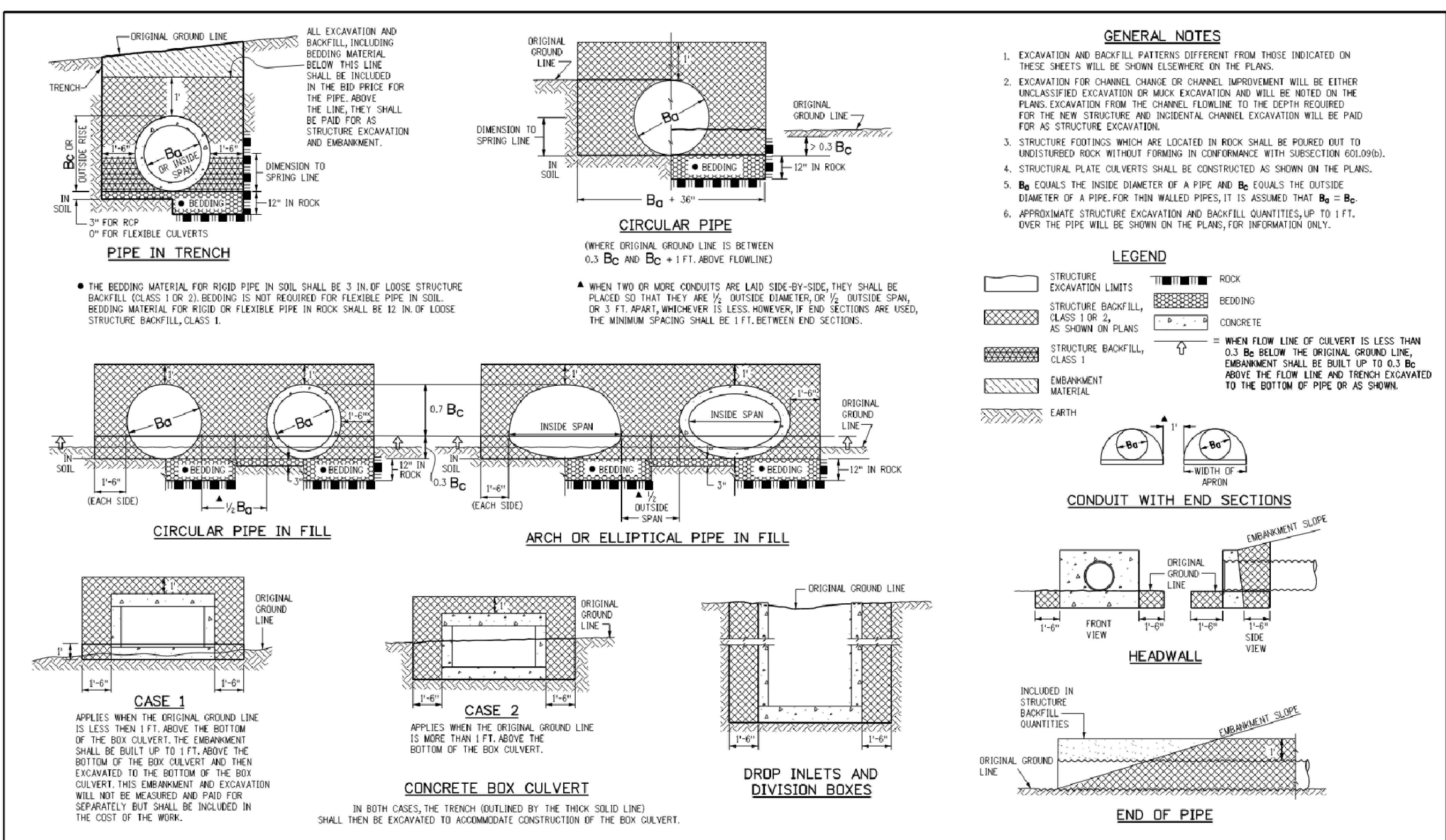
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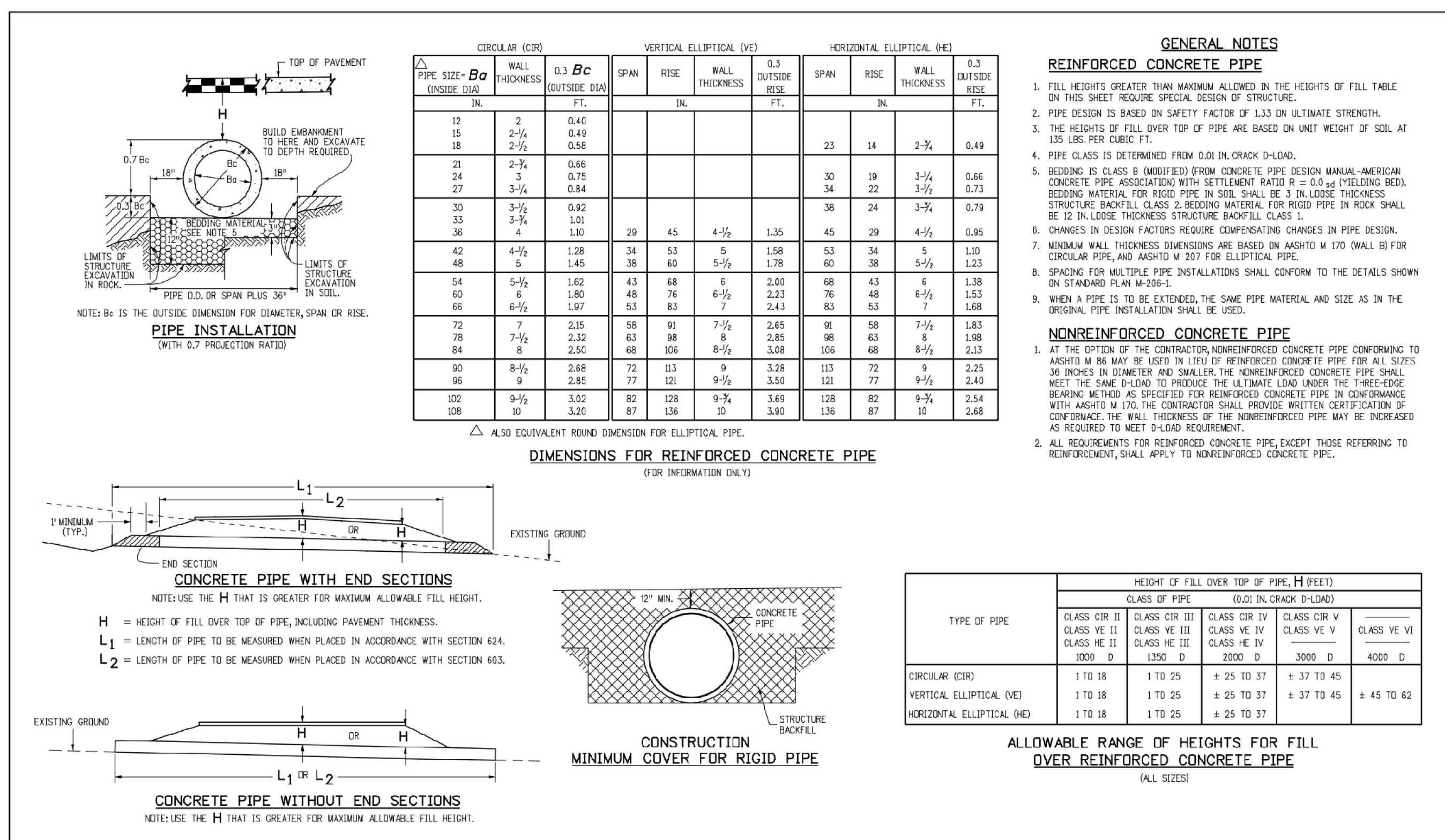
Project No:	INC000014-20
Drawn By:	JNE
Checked By:	PJD
Date:	04/28/2023

STORM DETAILS

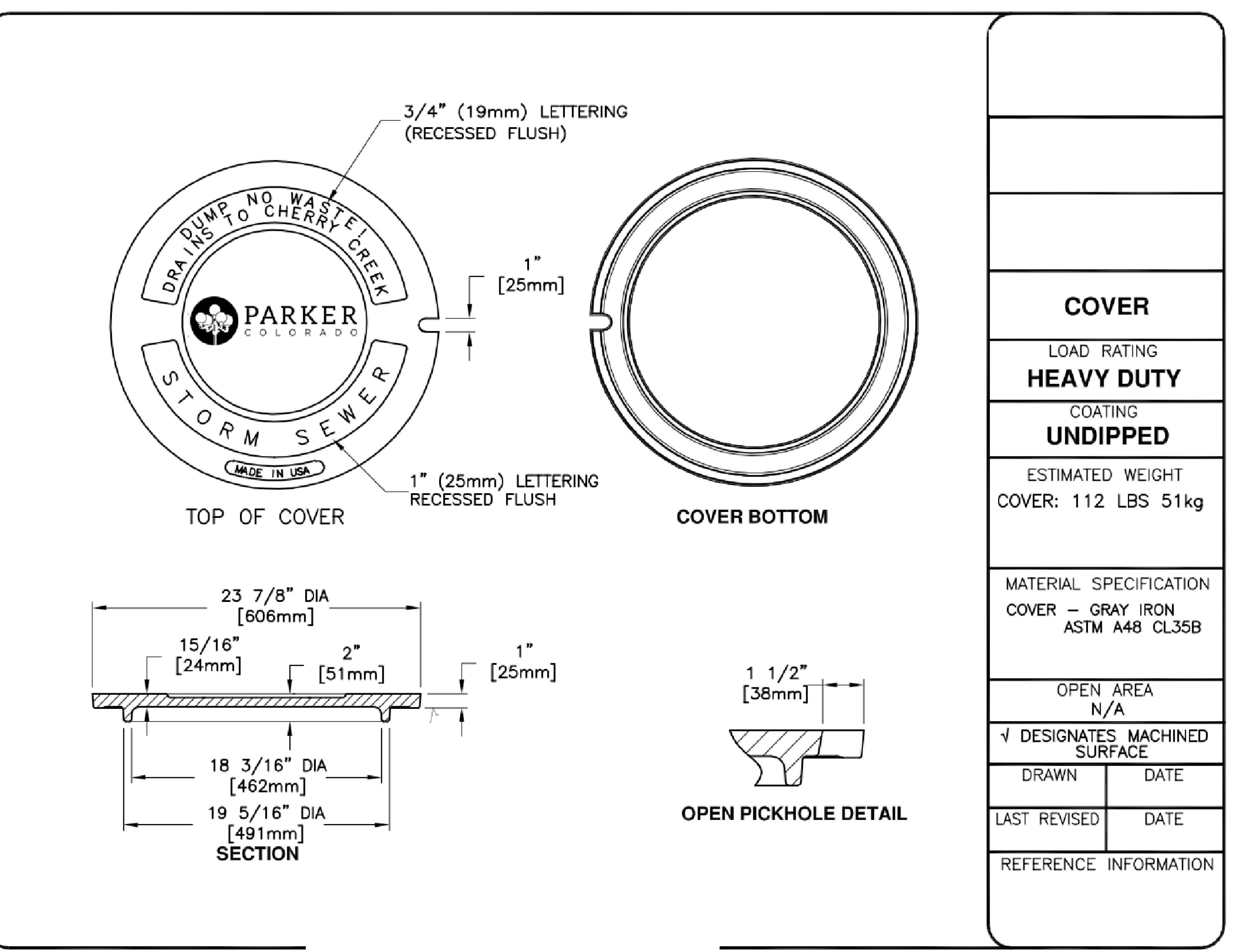
C3.5
Sheet 32 of 36



Computer File Information	Sheet Revisions	Colorado Department of Transportation	EXCAVATION AND BACKFILL FOR STRUCTURES	STANDARD PLAN NO.
Creation Date: 07/31/19	Date: _____	2829 West Howard Place CDOT HQ, 3rd Floor Denver, CO 80204 Phone: 303-757-9021 FAX: 303-757-9868		M-206-1
Designer Initials: JJK	Comments: _____	Project Development Branch		Standard Sheet No. 1 of 2
Last Modification Date: 07/31/19				Project Sheet Number: _____
Detailer Initials: LTA				
CAD Ver: MicroStation V8 Scale: Not to Scale Units: English				



Computer File Information	Sheet Revisions	Colorado Department of Transportation	REINFORCED CONCRETE PIPE	STANDARD PLAN NO.
Creation Date: 07/31/19	Date: _____	2829 West Howard Place CDOT HQ, 3rd Floor Denver, CO 80204 Phone: 303-757-9021 FAX: 303-757-9868		M-603-2
Designer Initials: JJK	Comments: _____	Project Development Branch		Standard Sheet No. 1 of 1
Last Modification Date: 07/31/19				Project Sheet Number: _____
Detailer Initials: LTA				
CAD Ver: MicroStation V8 Scale: Not to Scale Units: English				



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IN-N-OUT BURGER
CONSTRUCTION DOCUMENTS
PARKER & PINE FILING NO. 1, LOT 1
PARKER, CO 80134

#	Date	Issue / Description	Init.
1	12/21/2022	1ST CD SUBMITTAL	PJD
2	03/17/2023	2ND CD SUBMITTAL	PJD
3	04/28/2023	3RD CD SUBMITTAL	PJD

Project No: IN000014.20
Drawn By: JNE
Checked By: PJD
Date: 04/28/2023

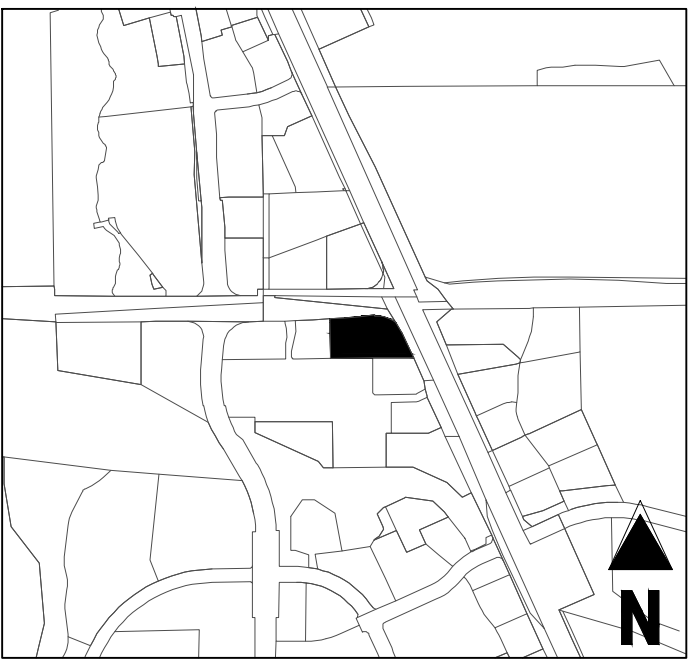
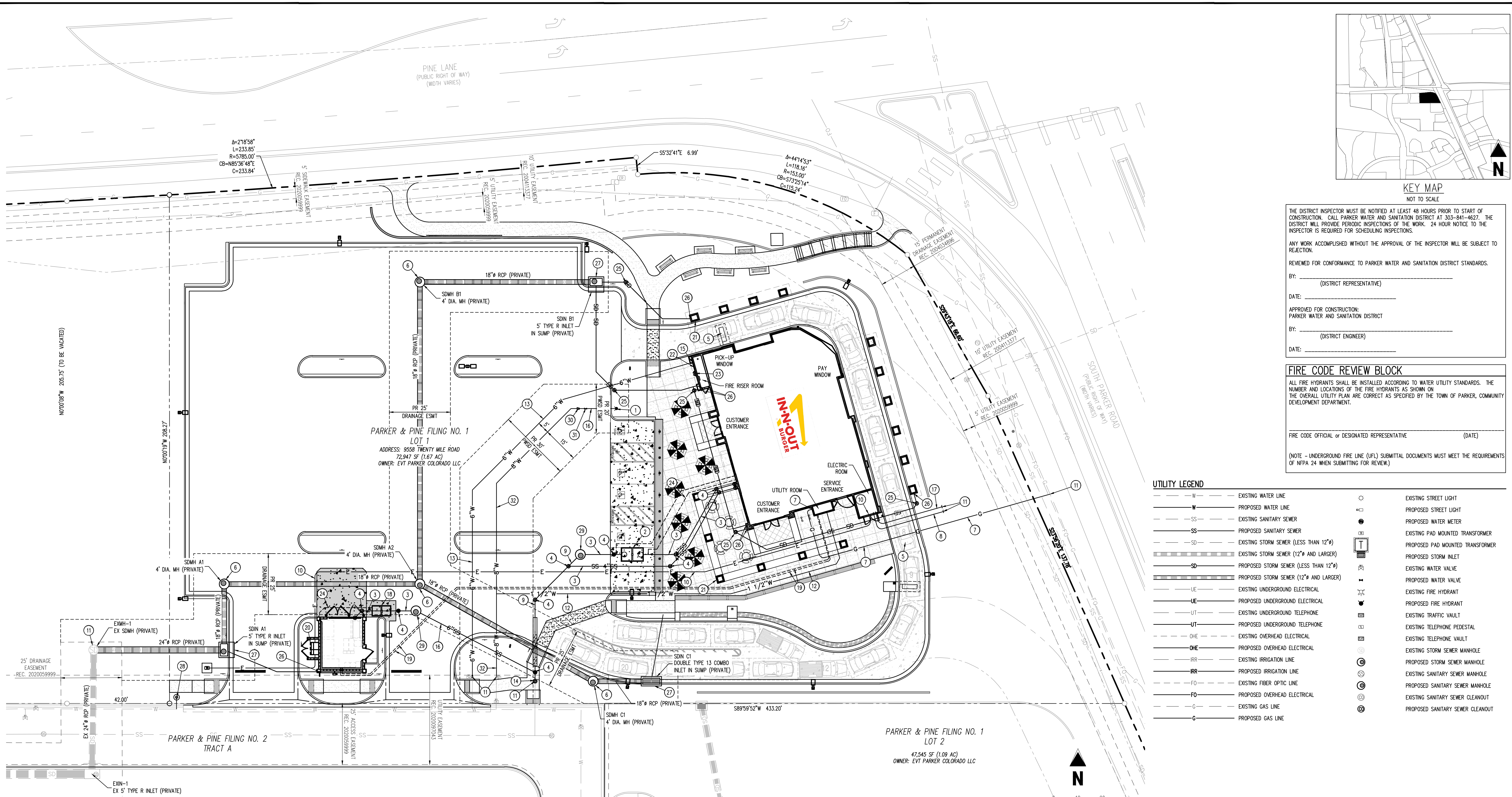
OVERALL UTILITY PLAN

LEGAL DESCRIPTION
LOT 1, PARKER & PINE FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO

CAUTION - NOTICE TO CONTRACTOR
1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

811
Know what's below.
Call before you dig.

C4.0
Sheet 33 of 9



THE DISTRICT INSPECTOR MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO START OF CONSTRUCTION. CALL PARKER WATER AND SANITATION DISTRICT AT 303-841-4627. THE DISTRICT WILL PROVIDE PERIODIC INSPECTIONS OF THE WORK. 24 HOUR NOTICE TO THE INSPECTOR IS REQUIRED FOR SCHEDULING INSPECTIONS.

ANY WORK ACCOMPLISHED WITHOUT THE APPROVAL OF THE INSPECTOR WILL BE SUBJECT TO REJECTION.

REVIEWED FOR CONFORMANCE TO PARKER WATER AND SANITATION DISTRICT STANDARDS.

BY: _____ (DISTRICT REPRESENTATIVE)

DATE: _____

APPROVED FOR CONSTRUCTION:
PARKER WATER AND SANITATION DISTRICT

BY: _____ (DISTRICT ENGINEER)

DATE: _____

FIRE CODE REVIEW BLOCK

ALL FIRE HYDRANTS SHALL BE INSTALLED ACCORDING TO WATER UTILITY STANDARDS. THE NUMBER AND LOCATIONS OF THE FIRE HYDRANTS AS SHOWN ON THE OVERALL UTILITY PLAN ARE CORRECT AS SPECIFIED BY THE TOWN OF PARKER, COMMUNITY DEVELOPMENT DEPARTMENT.

FIRE CODE OFFICIAL or DESIGNATED REPRESENTATIVE (DATE)

(NOTE - UNDERGROUND FIRE LINE (UFL) SUBMITTAL DOCUMENTS MUST MEET THE REQUIREMENTS OF NFPA 24 WHEN SUBMITTING FOR REVIEW.)

UTILITY LEGEND

W	EXISTING WATER LINE	SL	EXISTING STREET LIGHT
W	PROPOSED WATER LINE	SL	PROPOSED STREET LIGHT
SS	EXISTING SANITARY SEWER	WM	PROPOSED WATER METER
SS	PROPOSED SANITARY SEWER	PT	EXISTING PAD MOUNTED TRANSFORMER
SD	EXISTING STORM SEWER (LESS THAN 12")	PT	PROPOSED PAD MOUNTED TRANSFORMER
SD	EXISTING STORM SEWER (12" AND LARGER)	SI	PROPOSED STORM INLET
SD	PROPOSED STORM SEWER (LESS THAN 12")	SV	EXISTING WATER VALVE
SD	PROPOSED STORM SEWER (12" AND LARGER)	SV	PROPOSED WATER VALVE
UE	EXISTING UNDERGROUND ELECTRICAL	EH	EXISTING FIRE HYDRANT
UE	PROPOSED UNDERGROUND ELECTRICAL	EH	PROPOSED FIRE HYDRANT
UT	EXISTING UNDERGROUND TELEPHONE	TV	EXISTING TRAFFIC VAULT
UT	PROPOSED UNDERGROUND TELEPHONE	TV	EXISTING TELEPHONE PEDESTAL
OHE	EXISTING OVERHEAD ELECTRICAL	TV	EXISTING TELEPHONE VAULT
OHE	PROPOSED OVERHEAD ELECTRICAL	SM	EXISTING STORM SEWER MANHOLE
IRR	EXISTING IRRIGATION LINE	SM	PROPOSED STORM SEWER MANHOLE
IRR	PROPOSED IRRIGATION LINE	SM	EXISTING SANITARY SEWER MANHOLE
FO	EXISTING FIBER OPTIC LINE	SM	PROPOSED SANITARY SEWER MANHOLE
FO	PROPOSED OVERHEAD ELECTRICAL	SM	EXISTING SANITARY SEWER CLEANOUT
G	EXISTING GAS LINE	SM	PROPOSED SANITARY SEWER CLEANOUT
G	PROPOSED GAS LINE		

ESTIMATED QUANTITIES

STORM DRAIN AND UTILITY PLAN CONSTRUCTION NOTES

- 1 EA (1) INSTALL FIRE HYDRANT PER PWSO SHEET W2.5
- 1 EA (2) INSTALL 1500 GALLON GREASE INTERCEPTOR MANUFACTURED BY JENSEN PRECAST, MODEL #1500EE-G PER DETAIL SHOWN ON THE PLUMBING PLANS OR APPROVED EQUIVALENT UNDER SEPARATE PERMIT. GREASE INTERCEPTOR SHALL COMPLY WITH CITY TYPICAL GREASE INTERCEPTOR SPECIFICATIONS. SEE PWSO DETAILS S5.1 & S5.2
- 197 LF (3) INSTALL 4" DIAMETER SDR 35 P.V.C. ON-SITE SEWER PIPE AND FITTINGS. TRENCH PER PWSO DETAIL S4.1.
- 13 EA (4) INSTALL SEWER CLEANOUT ASSEMBLY TO GRADE. PER PWSO DETAIL S4.12.
- 2 EA (5) INSTALL VEHICLE DETECTOR LOOP PER IN-N-OUT STANDARDS & SPECIFICATIONS
- 4 EA (6) CONSTRUCT PRECAST CONCRETE MANHOLE; REF STORM PLAN & PROFILE IN CITY CONSTRUCTION DOCUMENT SET FOR DET
- 119 LF (7) INSTALL NEW GAS SERVICE PIPE AND METER TO THE NEW IN-N-OUT BURGER RESTAURANT BUILDING. GAS METER W/ GPR FOR 1,979,999 BTU/HR. LOAD AT LOW PRESSURE.
- 1 EA (8) INSTALL 4" DIAMETER UNDERGROUND TELEPHONE SERVICE CONDUIT, BOXES, AND VAULTS TO THE NEW IN-N-OUT BURGER BUILDING PER QUEST (CENTURY LINK) PLANS, STANDARDS AND SPECIFICATIONS.
- 127 LF (9) INSTALL 6" DIAMETER SDR 35 P.V.C. ON-SITE SEWER PIPE AND FITTINGS. TRENCH PER PWSO DETAIL S4.1
- 312 LF (10) INSTALL NEW UNDERGROUND PRIMARY (5" SIZE) AND SECONDARY (4"-WIRE, 4" SIZE) ELECTRIC POWER SERVICE CONDUIT RUNS, BOXES, VAULTS, BOLLARDS AND TRANSFORMER PAD TO THE NEW IN-N-OUT BURGER BUILDING BY SEPARATE DOCUMENTS PER EUSERC STANDARDS AND SPECIFICATIONS. CORE ELECTRIC TO PULL AND CONNECT WIRING.
- (11) CONTRACTOR TO VERIFY THE PIPE POINT OF CONNECTION LOCATION, ELEVATION AND TYPE OF MATERIAL PRIOR TO INSTALLING ANY NEW PIPE.
- 164 LF (12) INSTALL 1.5" DIAMETER TYPE K COPPER WATER PIPE TO THE NEW RESTAURANT BUILDING PER PWSO STANDARDS AND SPECIFICATIONS. REF PLUMBING PLANS FOR INSIDE METER SETTING. TRENCH PER PWSO STANDARDS AND SPECIFICATIONS. ALL FITTINGS SHALL BE SILVER SOLDERED DOWNSIDE OF THE CURB STOP.
- 183 LF (13) INSTALL 6" FIRE SERVICE PER THIS PLAN. FINAL LOCATION AND ALL INSTALLATION DETAILS FOR FIRE SERVICE ASSEMBLY AND FIRE ALARM PANEL TO BE PREPARED AND SUBMITTED BY THE FIRE SPRINKLER SUBCONTRACTOR TO IN-N-OUT BURGER AFTER APPROVAL BY THE LOCAL FIRE MARSHAL. ALL WORK TO BE DONE PER N.F.P.A. 13 AND N.F.P.A. 24 STANDARDS AND SPECIFICATIONS AND THE REQUIREMENTS OF THE LOCAL FIRE MARSHAL. THE FIRE SPRINKLER CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING/DETERMINING THE SIZE OF THE FIRE SERVICE ASSEMBLY AND THE LOCATION OF ALL PIPING AND RELATED FACILITIES TO INSTALLATION. CONTRACTOR TO PROVIDE COORDINATION AND PAY ALL FEES TO THE WATER COMPANY. REFER TO SHEET U2.0, DETAILS B1-18 & B1-19 FOR PARKER CITY UTILITIES RPB/F ASSEMBLY REQUIREMENT.
- 1 EA (14) CONNECT TO EXISTING SANITARY SEWER LINE. REMOVE EXISTING CLEANOUT.
- 1 EA (15) INSTALL FIRE SPRINKLER RISER PER PWSO AND SOUTH METRO FIRE RESCUE STANDARDS.
- 16 LF (16) INSTALL PRIVATE 6" DIAMETER C-900 CLASS 200 P.V.C. WATER LINE AND DUCTILE IRON FITTINGS PER PWSO STANDARDS AND SPECIFICATIONS. SEE PUBLIC WATER PLANS FOR DETAILS.
- 75 LF (17) INSTALL NEW UNDERGROUND CABLE TELEVISION SERVICE 2" DIAMETER PVC CONDUIT AND 2" UNDERGROUND TELEPHONE SERVICE AND PULL BOXES TO THE NEW IN-N-OUT BURGER BUILDING PER QUEST (CENTURYLINK) SEPARATE PLANS, STANDARDS, AND SPECIFICATIONS.

- 1 EA (18) INSTALL 750 GALLON GREASE INTERCEPTOR MANUFACTURED BY JENSEN PRECAST, MODEL #750EE-G PER DETAIL SHOWN ON THE PLUMBING PLANS OR APPROVED EQUIVALENT UNDER SEPARATE PERMIT. GREASE INTERCEPTOR SHALL COMPLY WITH CITY TYPICAL GREASE INTERCEPTOR SPECIFICATIONS. SEE PWSO DETAILS S5.1 & S5.2
- 238 LF EA (19) INSTALL 3/4" DIAMETER COPPER HOT WATER PIPE AND 3/4" DIAMETER COPPER COLD WATER PIPE (PAST METER) AS SHOWN ON PLUMBING PLANS. INSULATE BOTH PIPE WITH 3/4" THICK THERMACEL.
- 1 EA (20) MOUNT CT & VT ELECTRIC METER TO OUTSIDE OF TRASH ENCLOSURE PER CSU LESS D-20 (FOR 200 VOLT, 3 PHASE, 4 WIRE 1000 AMP SERVICE)
- 1 EA (21) INSTALL 6" DIAMETER SDR 35 PVC ROOF DRAIN CONNECTION AS SHOWN ON THE PLUMBING PLANS
- 1 EA (22) INSTALL 2" DIAMETER REDUCED PRESSURE PRINOPLE BACKFLOW PREVENTION ASSEMBLY, A PRESSURE REDUCING VALVE AS REQUIRED PER PWSO DETAIL W5.4. USC APPROVED BACKFLOW ASSEMBLY AND ASSE STANDARD 1080 TYPE 1 APPROVED ENCLOSURE TO BE CONSTRUCTED AT APPROVED LOCATION (AQUASHIELD MODEL NO. BFP2 - S OR APPROVED EQUIVALENT).
- 1 EA (23) INSTALL WALL-MOUNTED PRIVATE FIRE DEPARTMENT CONNECTION PER PARKER CITY FIRE DISTRICT STANDARDS AND PER N.F.P.A. 13 AND N.F.P.A. 24 STANDARDS AND SPECIFICATIONS. FINAL LOCATION AND ALL INSTALLATION DETAILS TO BE PREPARED AND SUBMITTED BY THE FIRE SPRINKLER SUBCONTRACTOR TO IN-N-OUT BURGER AFTER APPROVAL BY THE LOCAL FIRE MARSHAL. THE FIRE SPRINKLER SUBCONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING/DETERMINING THE FIRE DEPARTMENT CONNECTION PIPING AND RELATED FACILITIES PRIOR TO INSTALLATION.
- 119 LF (24) INSTALL 4" DIAMETER SEWER VENT PIPE WITH A POSITIVE SLOPE OF AT LEAST 2% UP TO THE BUILDING/TRASH ENCLOSURE AS SHOWN ON THE PLUMBING PLANS.
- 5 EA (25) INSTALL ROOF DRAIN CLEANOUT ASSEMBLY TO GRADE PER APPROVED STANDARDS. SEE SHEET C3.4 AND SHEET C3.5 - FOR DESIGN INFORMATION. REFER TO ROOF DRAIN PLAN SHEET C3.3 - ROOF DRAIN PLAN FOR DESIGN INFORMATION.
- 279 LF (26) INSTALL 4"/6" DIAMETER SDR 35 PVC ROOF DRAIN CONNECTION AS SHOWN ON THE PLUMBING PLANS
- 3 EA (27) CONSTRUCT PRECAST CONCRETE INLET; REF STORM PLAN & PROFILE IN CITY CONSTRUCTION DOCUMENT SET FOR DET
- 1 EA (28) PROPOSED 1" IRRIGATION TAP & METER
- 2 EA (29) PROPOSED SANITARY SEWER SAMPLING MANHOLE
- 1 EA (30) INSTALL 8"x6" REDUCER
- 1 EA (31) INSTALL 6" GATE VALVE
- 126 LF (32) INSTALL PRIVATE 8" DIAMETER C-900 CLASS 200 P.V.C. WATER LINE AND DUCTILE IRON FITTINGS PER PWSO STANDARDS AND SPECIFICATIONS. SEE PUBLIC WATER PLANS FOR DETAILS.

* THESE NOTES ARE "FOR REFERENCE ONLY". SEPARATE DETAILED PLANS PREPARED BY THE CONTRACTOR ARE TO BE SUBMITTED TO, AND BE APPROVED BY, THE FIRE DEPARTMENT FOR ALL FIRE PROTECTION SYSTEMS.

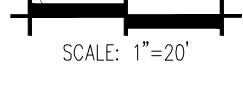
NOTE: THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THEIR OWN CONSTRUCTION QUANTITIES FOR BIDDING PURPOSES. THE QUANTITIES SHOWN HEREON ARE THE ENGINEER'S ESTIMATE ONLY.

NOTE: ALL PROPOSED ON-SITE UTILITIES AND STORM DRAIN PIPES SHOWN ON THIS SHEET ARE PRIVATELY MAINTAINED.

BENCHMARK
PUBLISHED BENCHMARK: ELEVATIONS ARE BASED ON A DOUGLAS COUNTY CONTROL MONUMENT. STATION NAME: GRAM, BEING A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36" IN CONDUIT, 25 FEET WEST OF THE EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.

ELEVATION = 5734.25 FEET (NAV 88) PUBLISHED BY DOUGLAS COUNTY

BASIS OF BEARING
BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST BEARS N007°51'E, MONUMENTED BY THE SOUTHWEST CORNER OF SAID SECTION 10, BEING A 3-1/4" INCH ALUMINUM CAP STAMPED 'LS 190037', AND MONUMENTED BY THE WEST QUARTER CORNER OF SAID SECTION 10, BEING A 3-1/4" ALUMINUM CAP STAMPED 'PLS 22661', AS SHOWN HEREON.



IN-N-OUT BURGER

PARKER & PINE FILING 1, AMENDMENT NO. 1

PARKER & PINE FILING NO. 1 IS LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

S PARKER ROAD & PINE LANE, ARVADA, COLORADO

SITE PLAN

PLANTING NOTES

- GENERAL
1. ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, STANDARDS, AND SPECIFICATIONS.
2. LANDSCAPE DESIGN IS DIAGRAMMATIC IN NATURE...
3. CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES...
4. ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE...
5. THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS...
6. LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED...
7. ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED AND CLEANED OUT PRIOR TO INSTALLATION...
8. FOR ALL INFORMATION ON SURFACE MATERIAL OF WALKS, DRIVES, AND PARKING LOTS, SEE THE SITE PLAN...
9. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO BEGINNING CONSTRUCTION...
10. WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED...
11. ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS...
12. LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY...
13. FINISH GRADING AND SOIL PREPARATION
CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT...
14. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED...
15. THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT...

- 16. AT A MINIMUM, ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT COMPOST AT A RATE OF 5.0 CUBIC YARDS AND AMMONIUM PHOSPHATE 15-20-0 AT A RATE OF 15 POUNDS PER THOUSAND SQUARE FEET...
17. ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS...
18. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE AND SHALL BE SPACED FORMALLY...
19. ALL TREES SHALL BE GUYED AND WOOD STAKED AS PER DETAILS...
20. ALL PLANT MATERIALS SHALL BE TRUE TO TYPE, SPECIES, QUALITY, AND FREE OF INJURY...
21. ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL...
22. ALL TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED CLEAR OF ALL BRANCHES...
23. ALL PLANT MATERIAL SHALL NOT BE PLANTED PRIOR TO INSTALLATION OF TOPSOIL...
24. ALL PLANT BEDS SHALL BE CONTAINED WITH STEEL EDGER...
25. THE DEVELOPER, HIS SUCCESSOR, OR ASSIGNEE SHALL BE RESPONSIBLE FOR ESTABLISHING AND CONTINUING A REGULAR PROGRAM OF MAINTENANCE...
26. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS...
27. LANDSCAPE CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPING MATERIALS...
28. AFTER ALL PLANTING IS COMPLETE, THE CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF MULCH...
29. ALL MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE...
30. INSTALL DEWITT PRO-5 WEED BARRIER FABRIC UNDER ALL ROCK MULCH SHRUB BEDS...
31. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT...
32. ALL PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH...
33. ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING...

Table with columns: DECIDUOUS TREES, EVERGREEN TREES, ORNAMENTAL TREES, UPRIGHT JUNIPERS, DECIDUOUS SHRUBS, ORNAMENTAL GRASSES, PERENNIALS, MULCH, SOD/SEED. Includes botanical names, codes, quantities, and specifications.

TREE PROTECTION NOTES:

- 1. USE TOWN OF PARKER TREE PROTECTION NOTES (IF AVAILABLE). TREE PROTECTION NOTES BELOW SHALL BE USED FOR FURTHER INTEGRATION.
2. "PROTECTED ZONE" FOR EXISTING TREES: BEFORE BEGINNING ANY DEMOTION OR CONSTRUCTION OPERATIONS...
3. TEMPORARY MULCH: TO ALLEVIATE SOIL COMPACTION IN ANTICIPATED AREAS OF HIGH CONSTRUCTION TRAFFIC...
4. NECESSARY WORK: WHEN IT BECOMES NECESSARY TO ENTER THE "PROTECTED ZONE"...
5. EVERY EFFORT SHALL BE MADE TO PRESERVE THE EXISTING GRADE AROUND PROTECTED TREES...
6. TRENCING WITHIN THE PROTECTED ZONE OF EXISTING TREES SHALL BE PERFORMED BY HAND...
7. WHERE ROOTS 1-12" IN DIAMETER OR LARGER MUST BE CUT DUE TO EXTENSIVE GRADE CHANGES...
8. WHERE TRENCING NEAR TREES HAS ALREADY OCCURRED FROM PREVIOUS CONSTRUCTION OPERATIONS...
9. POTENTIAL CONFLICTS: THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARBORIST SHOULD ANY POTENTIAL CONFLICTS ARISE...
10. PRUNING: PRUNE ONLY THE TREES THAT ARE INDICATED ON THE PLANS AS REQUIRING PRUNING...
11. LANDSCAPE AND IRRIGATION (NATIVE TREES ONLY): ANY FUTURE LANDSCAPE AND IRRIGATION SHOULD ADHERE TO THE FOLLOWING GUIDELINES:
A. NO IRRIGATION OR PLANTING SHOULD OCCUR CLOSER THAN 8'-10' FROM THE TRUNK.
B. WHERE IRRIGATION DOES OCCUR WITHIN THE PROTECTED ZONE, DRIP IRRIGATION SHOULD BE USED...
C. FINAL CUTS SHALL BE MADE JUST OUTSIDE THE SHOULDER RING AREA...
D. ALL TRIMMING CUTS SHALL BE PERFORMED IN SUCH A MANNER AS TO PROMOTE THE NATURAL GROWTH AND SHAPE OF EACH TREE SPECIES.
E. IMPROPER PRUNING METHODS INCLUDING, BUT NOT LIMITED TO, "TOPPING", "TIPPING", "HEADING BACK", "DEHORNING", AND "LIONTAILING" WILL NOT BE ALLOWED...
F. SHOULD THE CONTRACTOR REQUIRE MORE INFORMATION, THE CONTRACTOR SHALL CONTACT THE ISA AT (217) 355-9411...

IRRIGATION CONCEPT

- 1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION...
2. THE IRRIGATION SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES...
3. ALL NON-TURF/SEED PLANTED AREAS WILL BE DRIP IRRIGATED...
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE...
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER...

LANDSCAPE GUARANTEE AND MAINTENANCE

- 1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDS, AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE...
2. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS...
3. DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES...

UTILITY NOTES

- 1. THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT...
2. THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS...
3. THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT...

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES... TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE



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IN-N-OUT BURGER
SITE PLAN
PARKER & PINE FILING NO. 1, LOT 1
PARKER, CO 80134

Table with columns: #, Date, Issue / Description, Init.
12/21/2022 1ST CD SUBMITTAL PJD
04/26/2023 2ND SF SUBMITTAL PJD

Project No: INC000014-20
Drawn By: KES
Checked By: JW
Date: 04/26/2023

