

IN-N-OUT BURGER

PARKER & PINE FILING 1, AMENDMENT NO. 1

PARKER & PINE FILING NO. 1, LOT 1, LOCATED IN THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF PARKER, COUNTY OF DOUGLAS, STATE OF COLORADO

S PARKER ROAD & PINE LANE, ARVADA COLORADO

CONSTRUCTION DOCUMENTS

PROJECT CONTACTS:

RECORD OWNER
EVI PARKER COLORADO, LLC
2710 E CAMELBACK ROAD, SUITE 210
PHOENIX, AZ 85016
TEL: (602) 468-6100
CONTACT: RYAN AMATO

DEVELOPER/APPLICANT

IN-N-OUT BURGERS
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ENGINEER/CONSULTANT

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GREENWOOD VILLAGE, CO 80111
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LANDSCAPE/CONSULTANT

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SURVEY

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EMAIL: LYLEBISSEGER@GALLOWAYUS.COM

MUNICIPAL & UTILITY CONTACTS:

ENGINEERING

TOWN OF PARKER – ENGINEERING
20120 E. MAIN STREET
PARKER, CO 80138
TEL: (303) 840-3546
CONTACT: ALEX MESTDAGH

STORM SEWER

TOWN OF PARKER – PUBLIC WORKS
20120 E. MAIN STREET
PARKER, CO 80138
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CONTACT: MICHAEL GRABCZYK
EMAIL: MGRABCZYK@PARKERONLINE.ORG

FIRE

SOUTH METRO FIRE RESCUE AUTHORITY
9195 E. MINERAL AVE.
CENTENNIAL, CO 80122
TEL: (720) 989-2244
CONTACT: RANDY CAPRA

WATER & SANITARY SEWER

PARKER WATER AND SANITATION DISTRICT
1800 E. WOODMAN DRIVE
PARKER, CO 80134
TEL: (303) 941-4627
CONTACT: JAROD BAYLIE
EMAIL: PWS@ENGINEERINGPWS.ORG

ELECTRIC

CORE ELECTRICAL COOPERATIVE
5496 NORTH US HIGHWAY 85
SEWALA, CO 80135
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CABLE/TELEPHONE

CENTURYLINK
CONTACT: WILLIAM BENSON, FIELD ENGINEER
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NATURAL GAS

XCEL ENERGY
1123 WEST THIRD AVENUE
DENVER, CO 80223
CONTACT: BUILDERS CALL LINE
TEL: (800) 629-2121
EMAIL: BCL@XCELENERGY.COM

GENERAL CONSTRUCTION NOTES

- REQUIREMENTS SHOWN ON SITE PLAN SHALL GOVERN. DRAWINGS AND SPECIFICATIONS SHOWING OTHERWISE NOTWITHSTANDING. CONTRACTOR TO POINT OUT ANY DISCREPANCIES TO THE OWNERS REP. PRIOR TO BID.
- NO WORK IS TO BEGIN UNTIL ALL PERMITS HAVE BEEN OBTAINED.
- CONTRACTOR TO PROVIDE ALL EQUIPMENT AND PERSONNEL REQUIRED FOR FINAL CHECKOUT OF ALL FACILITIES BY OWNERS REPRESENTATIVE.
- ENTIRE INSTALLATION SHALL MEET ALL APPLICABLE CODES.
- VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE.
- ANY FILL MATERIAL REQUIRED TO BRING THE SITE TO GRADE SHALL BE CLEAN FILL DIRT APPROVED BY ENGINEER COMPLIANT TO THE RECOMMENDATIONS OF THE APPROVED GEOTECHNICAL REPORT.
- SET PROPERTY CORNER PINS IN CONCRETE. IF PROPERTY CORNERS ARE DESTROYED BY CONTRACTOR, THE CONTRACTOR SHALL BEAR THE EXPENSE OF RELOCATING CORNERS BY A REGISTERED SURVEYOR.
- THIS DESIGN IS BASED ON THE GEOTECHNICAL REPORT MPOIL-19-CO-02305-02 DATED APRIL 30, 2019 BY UNITED CONSULTING. A COPY OF THIS REPORT SHOULD BE ON-SITE AT ALL TIMES.
- GENERAL CONTRACTOR SHALL RECEIVE, UNLOAD, STORE AND UNCRATE ALL EQUIPMENT FURNISHED BY THE OWNER AND SHIPPED TO THE SITE. SEE SPECIFICATIONS FOR EQUIPMENT FURNISHED BY OWNER.
- GENERAL CONTRACTOR TO REFER TO STANDARD DETAILS INCLUDED IN THE SPECIFICATIONS FOR INSTALLING EQUIPMENT, INCLUDING PRODUCT DISPENSERS AND REMOTE READ-OUT EQUIPMENT.
- GENERAL CONTRACTOR TO PERFORM GENERAL YARD AND BUILDING CLEAN-UP AT COMPLETION OF WORK.
- SEE THE SITE SURVEY FOR SURVEY INFORMATION & LEGAL DESCRIPTION.
- ALL TOP OF CURB GRADES ARE 4" HIGHER THAN FINISH GRADES SHOWN ON DRIVE UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DEPOSITION OF ON-SITE SEDIMENTS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION. REFER TO EROSION CONTROL PLANS AND DETAILS FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE, AND AVAILABLE TO THE CITY, ITS AGENTS, OWNER OR CALLOWAY AT ALL TIMES. DIMENSIONS SHALL BE ANNOTATED ON AS-BUILT RECORD DRAWINGS. AS-BUILT DRAWINGS ARE REQUIRED PRIOR TO ISSUANCE OF FINAL PAYMENT. AS BUILT DRAWINGS WILL BE SUPPLIED TO OWNER AND CITY/TOWN PRIOR TO FINAL PAYMENT.
- GRADING/UTILITY CONTRACTOR TO COMPLETE GRADING BELOW FINISHED GRADE IN ACCORDANCE WITH PAVING RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED FOR THIS SITE, SHOWN TO TOLERANCE OF ± 0.1" IN ALL PAVING AREAS.
- GENERAL CONTRACTOR TO PROVIDE BARRICADE PROTECTION WITH FLASHING LIGHTS AROUND ALL FOOTINGS, EXCAVATIONS AND ALL OFFSITE WORK.
- CONTRACTOR RESPONSIBLE FOR ALL WORK NECESSARY FOR FINAL ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY, INCLUDING BUT NOT LIMITED TO AS-BUILT DRAWINGS, INSPECTIONS, TESTING REPORTS AND CERTIFICATIONS.
- SURVEYOR TO OBTAIN ADJACENT FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL MONUMENTS PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

STORM DRAINAGE INFRASTRUCTURE NOTES

- ALL STORM DRAINAGE IMPROVEMENTS ARE SUBJECT TO COMPLIANCE WITH THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, M & S STANDARDS, AND ALL STANDARD SPECIAL PROVISIONS CURRENTLY USED BY CDOT, WITH THE MODIFICATIONS SET FORTH IN THE TOWN OF PARKER'S STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL (SDECM), AS AMENDED.
- THE CONTRACTOR SHALL COMPLY WITH THE COLORADO WATER QUALITY CONTROL ACT (TITLE 25, ARTICLE 8 CRS), THE PROTECTION OF FISHING STREAMS TITLE 33, ARTICLE 5, CRS), THE "CLEAN WATER ACT" (33 USC 1344), CHERRY CREEK RESERVOIR CONTROL REGULATION NO. 72 (5 CCR 1002-72), THE REGULATION PROMULGATED, RESTRICTION OR PERMITS ISSUES, AND THE REQUIREMENTS PRESENTED IN THE SDECM REVISION TO SECTION 107 AND THE CONSTRUCTION BMP PLAN. IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND WATER QUALITY CONTROL LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, OR STATE AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- INSPECTIONS: CONSTRUCTION SHALL NOT BEGIN UNTIL A GRADING PERMIT HAS BEEN ISSUED FOR THE PROJECT. THE CONTRACTOR SHALL NOTIFY THE TOWN OF PARKER ENGINEERING DEPARTMENT (PUBLIC WORKS) TO SCHEDULE INSPECTIONS A MINIMUM OF 48 HOURS PRIOR TO THE CONSTRUCTION OF ALL DRAINAGE INFRASTRUCTURE (STORM SEWERS, INLETS, MANHOLES, ENERGY DISSIPATORS, RIPRAP, GROUNDED BOLLARDS, DETENTION POND OUTLET STRUCTURES, FOREBAYS, TRICKLE CHANNELS, ETC). FAILURE TO NOTIFY THE ENGINEERING DEPARTMENT FOR INSPECTIONS MAY RESULT IN NON-ACCEPTANCE OF THE INFRASTRUCTURE BY THE TOWN. URBAN DRAINAGE AND FLOOD CONTROL DISTRICT MUST ALSO BE NOTIFIED IN A SIMILAR MANNER FOR ALL MAINTENANCE ELOGIBLE DRAINAGE INFRASTRUCTURES (CONSULT WITH STORMWATER ENGINEERING DIVISION).
- STRUCTURAL BACKFILL (CDOT CLASS 1) SHALL BE COMPACTED TO CONFORM TO CDOT STANDARD SPECIFICATION 203.03. STRUCTURAL BACKFILL (CDOT CLASS 2) SHALL CONFORM TO CDOT STANDARD SPECIFICATION 203.07. AT THE CONTRACTOR'S OPTION, STRUCTURAL BACKFILL (SOLEECE) MEETING THE GRADATION REQUIREMENTS CONTAINED IN REVISION OF SECTION 206 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM, MAY BE SUBSTITUTED FOR STRUCTURE BACKFILL (CLASS 1) OR CLASS 2) FOR BACKFILLING OF CULVERT PIPES, STORM SEWER PIPES, MANHOLES AND INLET STRUCTURES; HOWEVER, THE TOP 2 FEET BELOW SUBGRADE ELEVATION SHALL BE THE REQUIRED EMBANKMENT MATERIAL.
- ALL EXCAVATIONS SHALL MEET OSHA REQUIREMENTS.
- TESTING: PROBATIONARY ACCEPTANCE OF STORM DRAINAGE IMPROVEMENTS WILL BE CONTINGENT UPON SATISFACTORY TESTING RESULTS. IN ALL CASES WHERE TESTS INDICATE COMPLETION LESS THAN THAT REQUIRED BY TOWN SPECIFICATIONS, ADDITIONAL COMPACTION AND TESTS WILL BE REQUIRED UNTIL THE SPECIFICATIONS ARE MET. FREQUENCY OF TESTING WILL BE AS FOLLOWS: 1 TEST FOR SUBGRADE AND 1 TEST FOR BACKFILL AT EVERY ABOVE GROUND APPURTENANCE (MANHOLES, INLETS, ETC) 1 TEST EVERY 200 LF OF MAINLINE TRENCH EVERY 1 FOOT OF BACKFILL LIFT AND WITHIN 1 FOOT FROM ALL STRUCTURES.
- ALLOWABLE STORM SEWER CONDUIT MATERIAL WITHIN THE TOWN OF PARKER SHALL BE LIMITED TO REINFORCED CONCRETE PIPE (RCP) CONFORMING TO CDOT STANDARD SPECIFICATION 706.02.
- ALL RCP JOINTS SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM C443. RUBBER GASKETS SHALL BE USED ON ALL PIPE JOINTS CONFORMING TO ASTM C443. ALL RCP SECTIONS SHALL BE JOINED IN SUCH A MANNER THAT THE ENDS ARE FULLY ENTERED AND THE INNER SURFACES ARE REASONABLE FLUSH. AVERAGE JOINT GAP THAT EXCEEDS 3/8 INCH SHALL BE FILLED WITH AN APPROVED FLEXIBLE PLASTIC SEALANT.
- JOINT RESTRAINTS AND TOE-WALLS, CONFORMING TO CDOT M&S STANDARD PLAN NO. M-601-11 SHALL BE USED ON ALL RCP FLARED END SECTION OUTFALLS.
- EPOXY COATED REBAR SHALL BE USED AS REINFORCING STEEL ON ALL STORM INLETS AND STRUCTURES. REFERENCE CDOT M&S STANDARD PLAN NO. M-604-10, 11, 12, AND 13.
- CDOT CLASS D CONCRETE SHALL BE USED FOR ALL CONCRETE STRUCTURES.
- PRE-CAST INLETS AND MANHOLE BASES SHALL NOT BE USED WITHIN THE TOWN OF PARKER RIGHT-OF-WAY, WITH THE EXCEPTION OF CDOT TYPE C AND D INLETS.
- TWO (2) MANHOLE ACCESS POINTS ARE REQUIRED ON ALL TYPE "B" CURBS INLETS GREATER THAN OR EQUAL TO 10" (10) FEET IN LENGTH AS PRESENTED IN CDOT M&S STANDARD PLAN NO. M-604-12.
- ALL GROUTING (BOULDERS, RIPRAP) SHALL BE IN ACCORDANCE WITH THE REVISION OF SECTION 506 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM.
- ALL BOULDERS AND RIPRAP SHALL BE SELECTED AND PLACED IN ACCORDANCE WITH THE REVISION OF SECTION 506 OF THE CDOT STANDARD SPECIFICATIONS AS PRESENTED IN THE SDECM.
- CONTRACTOR SHALL REFER TO THE TOWN OF PARKER'S CONSTRUCTION BEST MANAGEMENT PRACTICES DETAILS AND NOTES FOR ALL REQUIREMENTS RELATING TO RE-VEGETATION, SEDIMENT AND EROSION CONTROL, REQUIREMENTS FOR CONSTRUCTION ACTIVITIES.
- PIPE BELLS SHALL NOT BE CAST INTO MANHOLE BASES OR INLETS.

GENERAL NOTES

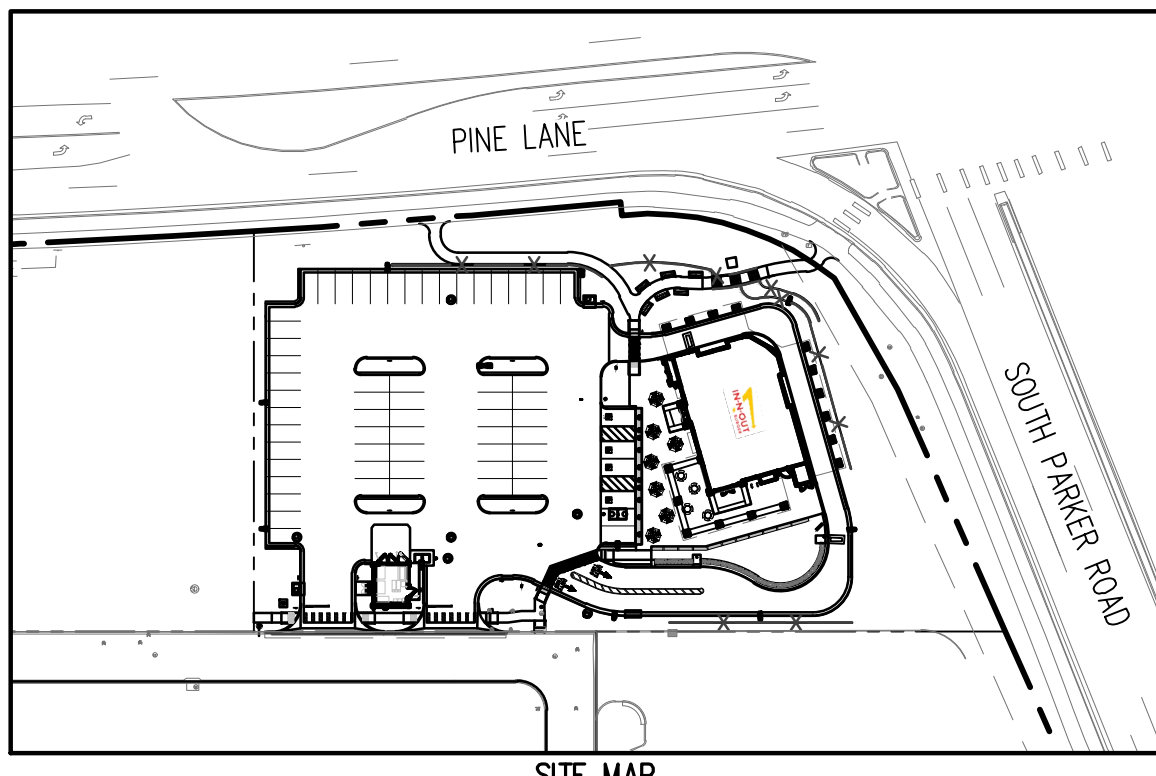
- CONTRACTOR SHALL BE RESPONSIBLE FOR RAZING AND REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- SAFETY NOTICE TO CONTRACTOR:** IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- ALL CONSTRUCTION WITHIN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT MAINTENANCE ENGINEER.
- ALL SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE RELEVANT UTILITY COMPANY OR REGULATORY AUTHORITY, AND THE SPECIFICATIONS FOR THE CONSTRUCTION OF THE EXISTING IMPROVEMENTS WHICH ARE BEING ALTERED OR REPLACED. CONTRACTOR SHALL CONTACT THE ENGINEER FOR SPECIFICATION SECTIONS FOR ITEMS SUCH AS LANDSCAPING AND IRRIGATION THAT ARE AFFECTED BY THE WORK BUT NOT COMPLETELY DETAILED OR SPECIFIED ON THESE PLANS.

NOTES TO CONTRACTOR

- THE CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD WITH THE DATE WHEN CONSTRUCTION IS TO BEGIN.
- THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION STAKING AND LAYOUT.
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE ENGINEER OF RECORD OF ANY DEVIATIONS DURING CONSTRUCTION AND SHALL REPORT THEM IMMEDIATELY.
- CONTRACTOR IS REQUIRED TO KEEP REDLINE AS-BUILTS AND TO PROVIDE THOSE TO MURPHY UPON COMPLETION.
- CONTRACTOR IS RESPONSIBLE FOR UNDERSTANDING THE AS-BUILT AND CERTIFICATE OF OCCUPANCY (C.O.) REQUIREMENTS FOR THE ISSUING AUTHORITY.
- IF AN ELEVATION CERTIFICATE OR AS-BUILT SURVEY IS REQUIRED BY THE ISSUING AUTHORITY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION THE SCHEDULING OF THE SURVEY WITH THE CIVIL CONSULTANT PRIOR TO DEADLINE FOR OBTAINING THE C.O. AND AFTER NECESSARY COMPLETED WORK TO BE SHOWN ON SURVEY. THE AS-BUILT SURVEY FOR THE PROJECT IS THE RESPONSIBILITY OF THE CONTRACTOR.



VICINITY MAP
SCALE: 1"=1000'



SITE MAP
SCALE: 1"=100'

Sheet List Table

SHEET NUMBER	SHEET COUNT	SHEET TITLE
CO.0	1	COVER SHEET
CO.1	2	CONSTRUCTION NOTES
CI.0	3	SITE PLAN
CI.1	4	HORIZONTAL CONTROL PLAN
CI.2	5	SIGNAGE & STRIPING PLAN
CI.3	6	SITE DETAILS
CI.4	7	SITE DETAILS
CI.5	8	SITE DETAILS
CI.6	9	SITE DETAILS
CI.7	10	SITE DETAILS
CO.2	11	GRADING PLAN
CO.2.1	12	GRADING DETAILS
CO.2.2	13	GRADING DETAILS
CO.2.3	14	RETAINING WALL DETAILS
CO.2.4	15	CBMP PLAN INITIAL
CO.2.5	16	CBMP PLAN INTERIM AND FINAL
CO.2.6	17	CBMP DETAILS
CO.2.7	18	CBMP DETAILS
CO.2.8	19	CBMP DETAILS
CO.2.9	20	CBMP DETAILS
CO.2.10	21	CBMP DETAILS
CO.2.11	22	CBMP DETAILS
CO.2.12	23	CBMP DETAILS
CO.2.13	24	CBMP DETAILS
CO.2.14	25	CBMP DETAILS
CO.2.15	26	CBMP DETAILS
CO.3	27	STORM PLAN & PROFILE
CO.3.1	28	STORM PLAN & PROFILE
CO.3.2	29	STORM PLAN & PROFILE
CO.3.3	30	ROOF DRAIN PLAN
CO.3.4	31	STORM DETAILS
CO.3.5	32	STORM DETAILS
CO.4	33	OVERALL UTILITY PLAN
CO.5	34	LANDSCAPE PLAN
CO.5.1	35	LANDSCAPE NOTES
CO.5.2	36	LANDSCAPE DETAILS

SIGHT DISTANCE CERTIFICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE PROPOSED SUBDIVISION, PARKER & PINE FILING NO. 1, LOT 1, IS DESIGNED IN ACCORDANCE WITH THE TOWN OF PARKER SIGHT DISTANCE CRITERIA AND WITH AASHTO POLICY ON GEOMETRIC DESIGN OF HIGHWAY AND STREETS.

REGISTERED PROFESSIONAL ENGINEER (LICENSE NO.) (DATE)

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORTS, FINAL DEVELOPMENT PLANS, SPECIAL REVIEWS, GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING (DATE)

AGENCY APPROVALS

BUILDING PERMIT – TOWN OF PARKER	xx/xx/2023
PWSO – TOWN OF PARKER	xx/xx/2023
FIRE REVIEW – TOWN OF PARKER	xx/xx/2023
HEALTH DEPARTMENT – TOWN OF PARKER	xx/xx/2023
SITE PLAN SUBMITTAL – TOWN OF PARKER	xx/xx/2023
STATE UNDERGROUND STORAGE TANKS PERMIT	xx/xx/2023
APEN PERMIT	xx/xx/2023
STATE STORMWATER PERMIT	xx/xx/2023
CBMP – TOWN OF PARKER	xx/xx/2023

LEGAL DESCRIPTION

LOT 1, PARKER & PINE FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO

BENCHMARK

PUBLISHED BENCHMARK: ELEVATIONS ARE BASED ON A DOUGLAS COUNTY CONTROL MONUMENT, STATION NAME: ORAIN, BEING A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRAINWAY, 84 FEET SOUTH OF A DOUBLE 36 IN CULVERT, 25 FEET WEST OF THE EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.

ELEVATION = 5734.25 FEET (NAVD 88) PUBLISHED BY DOUGLAS COUNTY

BASIS OF BEARING

BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST BEARS N001°51'E, MONUMENTED BY THE SOUTHWEST CORNER OF SAID SECTION 10, BEING A 3-1/4 INCH ALUMINUM CAP STAMPED "LS 19003", AND MONUMENTED BY THE WEST QUARTER CORNER OF SAID SECTION 10, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 225617", AS SHOWN HEREON.

CAUTION – NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION. **Know what's below. Call before you dig.**
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-Holing OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



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IN-N-OUT BURGER
CONSTRUCTION DOCUMENTS
PARKER & PINE FILING NO. 1, LOT 1
PARKER, CO 80134

#	Date	Issue / Description	Init.
	12/21/2022	1ST CD SUBMITTAL	PJD
	03/17/2023	2ND CD SUBMITTAL	PJD
	04/28/2023	3RD CD SUBMITTAL	PJD
	06/16/2023	4TH CD SUBMITTAL	PJD

Project No: INC00001420
Drawn By: JNE
Checked By: PJD
Date: 06/16/2023

COVER SHEET

CO.0

Sheet 1 of 36

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IN-N-OUT BURGER
CONSTRUCTION DOCUMENTS
PARKER & PINE FILING NO. 1, LOT 1

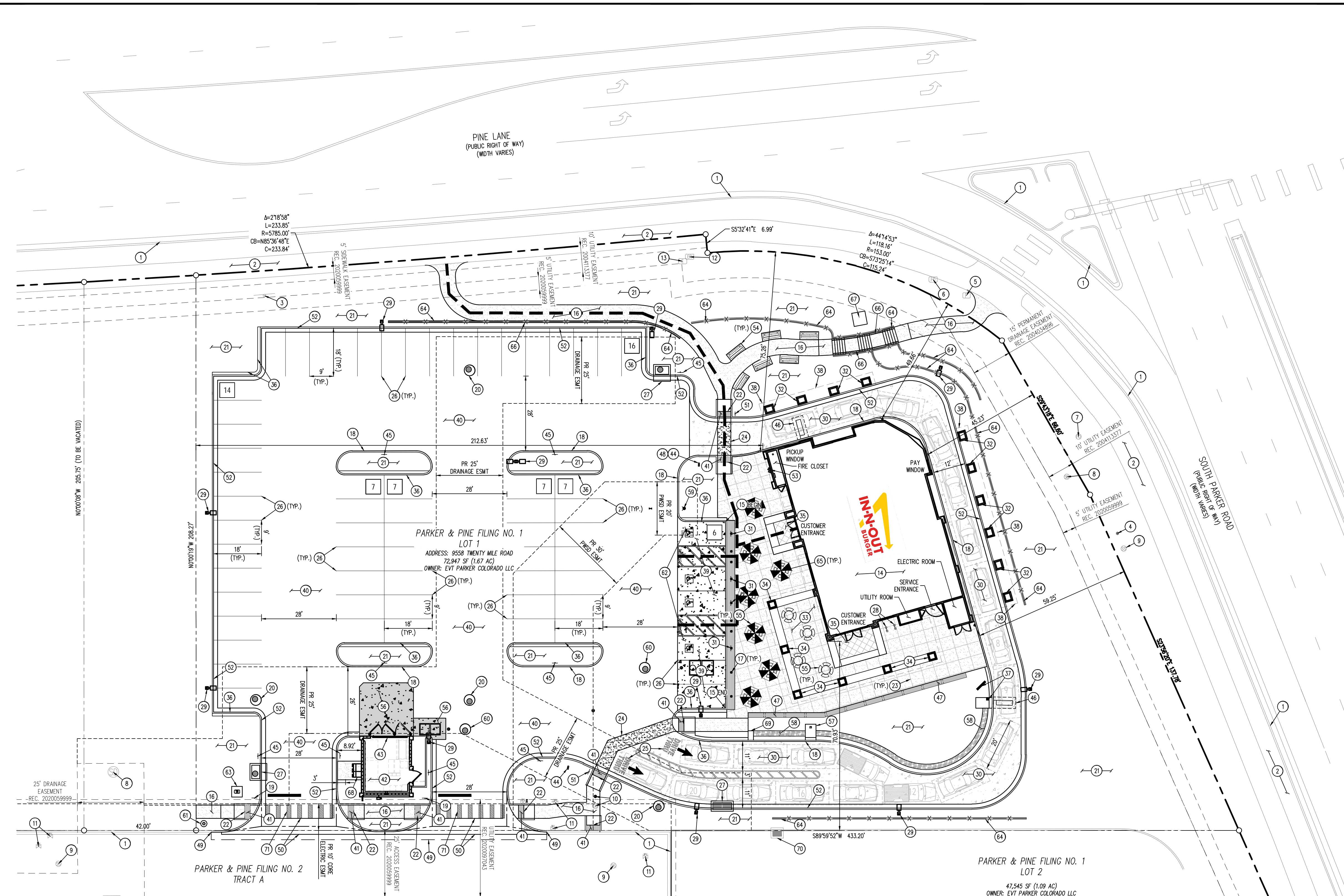
PARKER, CO 80134

#	Date	Issue / Description	Init.
1	12/21/2022	1ST CD SUBMITTAL	PJD
2	03/17/2023	2ND CD SUBMITTAL	PJD
3	04/26/2023	3RD CD SUBMITTAL	PJD
4	06/16/2023	4TH CD SUBMITTAL	PJD

Project No: IN000014-20
Drawn By: JINE
Checked By: PJD
Date: 06/16/2023

SITE PLAN

C1.0
Sheet 3 of 36



IN-N-OUT BURGER PARKING SPACE DETAILED SUMMARY TABLE

DESCRIPTION	REQUIRED	PROPOSED
1. STANDARD SPACE (1 PER 100 SF NLA)	37	61
2. ACCESSIBLE SPACE	-	4 (2 VAN)
3. TOTAL	39	65
4. IN-N-OUT BURGER DRIVE THRU VEHICLE QUEUE	-	21
5. SHORT-TERM BICYCLE PARKING WITHIN DESIGNATED BIKE RACK	2	2

SITE LEGEND

- PROPERTY LINE
- - - EXISTING LOT LINE
- - - PROPOSED LOT LINE
- - - EXISTING EASEMENT
- - - PROPOSED SAWCUT LINE
- - - PROPOSED ACCESSIBLE ROUTE
- ▨ PROPOSED STANDARD CONCRETE PAVEMENT
- ▨ PROPOSED 5" HEAVY DUTY CONCRETE-COLORED BLACK
- ▨ PROPOSED HEAVY-DUTY CONCRETE PAVEMENT
- ▨ PROPOSED 7" HEAVY DUTY CONCRETE PAD-COLORED BLACK
- ▨ PROPOSED ASPHALT PAVEMENT
- EXISTING CURB AND GUTTER
- EXISTING SIGN TO REMAIN
- EXISTING BOLLARD TO REMAIN
- EXISTING FIBER OPTIC BOX TO REMAIN
- EXISTING FIBER OPTIC PEDESTAL TO REMAIN
- EXISTING FIBER OPTIC MANHOLE TO REMAIN
- EXISTING SANITARY SEWER MANHOLE TO REMAIN
- EXISTING SANITARY SEWER CLEANOUT TO REMAIN
- EXISTING STORM SEWER MANHOLE TO REMAIN
- EXISTING WATER VALVE TO REMAIN
- EXISTING WATER VALVE TO REMAIN
- EXISTING ELECTRIC PEDESTAL TO REMAIN
- EXISTING ELECTRIC BOX TO REMAIN
- PROPOSED REMOTE FDC
- PROPOSED FIRE HYDRANT
- PARKING COUNT
- SURVEY MONUMENT

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TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

LEGAL DESCRIPTION
LOT 1, PARKER & PINE FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO

BENCHMARK
PUBLISHED BENCHMARK: ELEVATIONS ARE BASED ON A DOUGLAS COUNTY CONTROL MONUMENT, STATION NAME: CRAIN, BEING A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN CULVERT, 25 FEET WEST OF THE EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.
ELEVATION = 5734.25 FEET (NAVD 88) PUBLISHED BY DOUGLAS COUNTY

BASIS OF BEARING
BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST BEARS N001°7'51"E, MONUMENTED BY THE SOUTHWEST CORNER OF SAID SECTION 10, BEING A 3-1/4" INCH ALUMINUM CAP STAMPED "LS 19003", AND MONUMENTED BY THE WEST QUARTER CORNER OF SAID SECTION 10, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 22561", AS SHOWN HEREON.

CAUTION - NOTICE TO CONTRACTOR
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- SCHEDULE**
- 1 EXISTING CURB AND GUTTER TO REMAIN
 - 2 EXISTING SIDEWALK TO REMAIN
 - 3 EXISTING SIGN TO REMAIN
 - 4 EXISTING BOLLARD TO REMAIN
 - 5 EXISTING FIBER OPTIC BOX TO REMAIN
 - 6 EXISTING FIBER OPTIC PEDESTAL TO REMAIN
 - 7 EXISTING FIBER OPTIC MANHOLE TO REMAIN
 - 8 EXISTING STORM DRAIN MANHOLE TO REMAIN
 - 9 EXISTING SANITARY SEWER MANHOLE TO REMAIN
 - 10 EXISTING SANITARY SEWER CLEANOUT TO BE REMOVED AND REPLACED
 - 11 EXISTING WATER VALVE TO REMAIN
 - 12 EXISTING ELECTRIC PEDESTAL TO REMAIN
 - 13 EXISTING ELECTRIC BOX TO REMAIN
 - 14 PROPOSED 3879 SF IN-N-OUT BURGER RESTAURANT, REF BUILDING PLANS
 - 15 PROPOSED 0" CONCRETE CURB (REF DET 24, SHT C1.4)
 - 16 PROPOSED 6" THICK 4,000 PSI REINFORCED ON-SITE CONCRETE SIDEWALK OVER 6" MINIMUM THICK 95% COMPACTED CLASS 2 AGGREGATE BASE OVER 12" MINIMUM THICK SUBGRADE SOIL MOISTURE CONDITIONED TO AT LEAST OPTIMUM MOISTURE CONTENT COMPACTED TO AT LEAST 95% OF ITS MAXIMUM DENSITY. REINFORCEMENT TO CONSIST OF NO. 3 REBAR AT 18" O.C. EACH WAY AT MID-HEIGHT OF SLAB

- 17 PROPOSED WHITE DECORATIVE BOLLARD (REF DET 2, SHT C1.3)
- 18 PROPOSED PRIVATE 6" PLANTER CURB (REF DET 24, SHT C1.4)
- 19 PROPOSED "STOP" SIGN, MUTCD R1-1
- 20 PROPOSED STORM SEWER MANHOLE (REF STORM SEWER PLANS)
- 21 PROPOSED LANDSCAPED AREA (REF LANDSCAPE PLAN)
- 22 PROPOSED ADA RAMP WITH DETECTABLE WARNING
- 23 PROPOSED CONCRETE SAWCUT JOINT (REF DET 9, SHT C1.3)
- 24 PROPOSED COLORED CONCRETE CROSSWALK (REF DET 27, SHT C1.5)
- 25 PROPOSED DIRECTIONAL MARKING (REF DET 5, SHT C1.3)
- 26 PROPOSED 9'X18" STANDARD PARKING STALL W/4" SOLID WHITE STRIPING (REF DET 26, SHT C1.4)
- 27 PROPOSED STORM SEWER INLET; REF STORM SEWER PLANS
- 28 PROPOSED BICYCLE RACK
- 29 PROPOSED SITE LIGHTS (REF PHOTOMETRIC PLAN SHT ####)
- 30 PROPOSED MIN 6" THICK 4,000 PSI REINFORCED HEAVY-DUTY CONCRETE OVER 6" MINIMUM THICK 95% COMPACTED CLASS 2 AGGREGATE BASE OVER 12" MINIMUM THICK SUBGRADE SOIL MOISTURE CONDITIONED TO AT LEAST OPTIMUM MOISTURE CONTENT COMPACTED TO AT LEAST 95% OF ITS MAXIMUM DENSITY. REINFORCEMENT TO CONSIST OF NO. 3 REBAR AT 18" O.C. EACH WAY AT MID-HEIGHT OF SLAB (REF DET 16, SHT C1.4) REFER TO GEOTECHNICAL REPORT FOR PAVEMENT SPECIFICATIONS
- 31 PROPOSED ADA SIGNAGE W/ PAINTED WHITE POLE (REF DET 3, SHT C1.3)
- 32 PROPOSED DRIVE THRU CANOPY COLUMN (REF ARCHITECTURAL PLANS)

- 33 PROPOSED OUTDOOR SEATING AREA (REF ARCHITECTURAL PLANS)
- 34 PROPOSED OUTDOOR SEATING CANOPY COLUMN (REF ARCHITECTURAL PLANS)
- 35 PROPOSED DECORATIVE CONCRETE JOINT PATTERN AT CUSTOMER ENTRY (REF DET 18 & 19, SHT C1.4)
- 36 PROPOSED 6" PLANTER CURB W/ 12" SIDEWALK (REF DET 25, SHT C1.4)
- 37 PROPOSED IN-N-OUT MENU BOARD AND SPEAKER BOX
- 38 PROPOSED IN-N-OUT DRIVE THRU CANOPY (REF ARCHITECTURAL PLANS)
- 39 PROPOSED HEAVY-DUTY CONCRETE PAVED COLORED JET BLACK PER DAVIS COLORS #860 (LIQUID DOSE RATE: 9 LBS PER 94 LB SACK OF CEMENT) FOR PARKING LOT - MIN 6" THICK 4,000 PSI REINFORCED HEAVY-DUTY CONCRETE OVER 6" MINIMUM THICK 95% COMPACTED CLASS 2 AGGREGATE BASE OVER 12" MINIMUM THICK SUBGRADE SOIL MOISTURE CONDITIONED TO AT LEAST OPTIMUM MOISTURE CONTENT COMPACTED TO AT LEAST 95% OF ITS MAXIMUM DENSITY. REINFORCEMENT TO CONSIST OF NO. 3 REBAR AT 18" O.C. EACH WAY AT MID-HEIGHT OF SLAB (REF GEOTECHNICAL REPORT FOR SPECIFICATIONS) (REF DET 16, SHT C1.4)
- 40 PROPOSED ASPHALT PAVEMENT - 4.5" THICK OVER 6" MINIMUM THICK 95% COMPACTED CLASS 2 AGGREGATE BASE OVER 12" MINIMUM THICK SUBGRADE SOIL MOISTURE CONDITIONED TO AT LEAST 95% OF ITS MAXIMUM DENSITY. REINFORCEMENT TO CONSIST OF NO. 3 REBAR AT 18" O.C. EACH WAY AT MID-HEIGHT OF SLAB (REF GEOTECHNICAL REPORT FOR SPECIFICATIONS) (REF DET 22, SHT C1.4)
- 41 INSTALL 3" WIDE ADA ACCESSIBLE TRUNCATED DOME DETECTABLE WARNING STRIP. CONTRACTOR TO PROVIDE SAMPLE TO BUILDING INSPECTOR FOR APPROVAL PRIOR TO INSTALLATION. (REF DET 15, SHT C1.4)
- 42 PROPOSED CONCRETE BLOCK TRASH ENCLOSURE, ROOF COVERED TRASH, RECYCLE BIN, TRASH COMPACTOR AND STORAGE CONTAINER ENCLOSURE, NOT SUBJECT TO STORM WATER RUN-OFF, PER DETS SHOWN ON THE ARCHITECTURAL BUILDING PLANS.
- 43 PROPOSED 12" WIDE BY 13" LONG CONCRETE TRENCH DRAIN AT THE SPECIFIED ELEVATIONS SHOWN ON SHT C2.1. INSTALL TRAFFIC RATED GRATE SECURED TO PROTECT AGAINST THEFT PER PLUMBING PLANS. TRENCH DRAIN NOT SUBJECT TO STORM WATER RUN-OFF.
- 44 PROPOSED IN-N-OUT DRIVE THRU SIGNAGE

- 45 PROPOSED FIRE LANE SIGN (REF DET 7, SHT C1.3)
- 46 PROPOSED VEHICLE DETECTOR LOOP. INSTALL (2) LOOPS, 12" FROM FACE OF CURB; FIRST LOOP TO BE 2" BELOW TOP OF PAVEMENT, SECOND LOOP TO BE 1" BELOW THE FIRST. NO REBAR WITHIN 12" OF LOOPS
- 47 PROPOSED SEAT WALL (REF DET 12, SHT C1.3)
- 48 PROPOSED "THANK YOU" SIGN
- 49 PROPOSED SAWCUT EXISTING ASPHALT PAVEMENT
- 50 PROPOSED 6" CONCRETE CROSSSPAN (REF DET 17, SHT C1.4)
- 51 PROPOSED "PEDESTRIAN CROSSING" SIGN
- 52 PROPOSED PRIVATE 6" CURB W/ 18" GUTTER (REF DET 20, SHT C1.4)
- 53 PROPOSED FIRE DEPARTMENT CONNECTION
- 54 PROPOSED BENCH SEATING (REF LANDSCAPE ARCHITECTURAL PLANS)
- 55 PROPOSED COVERED SEATING TABLE (REF ARCHITECTURAL PLANS)
- 56 PROPOSED HEAVY-DUTY CONCRETE PAD COLORED JET BLACK PER DAVIS COLORS #860 (LIQUID DOSE RATE: 9 LBS PER 94 LB SACK OF CEMENT) IN FRONT OF TRASH ENCLOSURE - MIN 7" THICK 4,000 PSI REINFORCED HEAVY-DUTY CONCRETE OVER 6" MINIMUM THICK 95% COMPACTED CLASS 2 AGGREGATE BASE OVER 12" MINIMUM THICK SUBGRADE SOIL MOISTURE CONDITIONED TO AT LEAST OPTIMUM MOISTURE CONTENT COMPACTED TO AT LEAST 95% OF ITS MAXIMUM DENSITY. REINFORCEMENT TO CONSIST OF NO. 3 REBAR AT 18" O.C. EACH WAY AT MID-HEIGHT OF SLAB (PER GEOTECHNICAL RECOMMENDATIONS. REFER TO GEOTECHNICAL REPORT FOR FURTHER PAVEMENT SPECIFICATIONS)
- 57 PROPOSED CONCRETE PAD WITH UMBRELLA
- 58 PROPOSED ASSOCIATE WALKWAY (REF DET 14, SHT C1.3)
- 59 PROPOSED FIRE HYDRANT

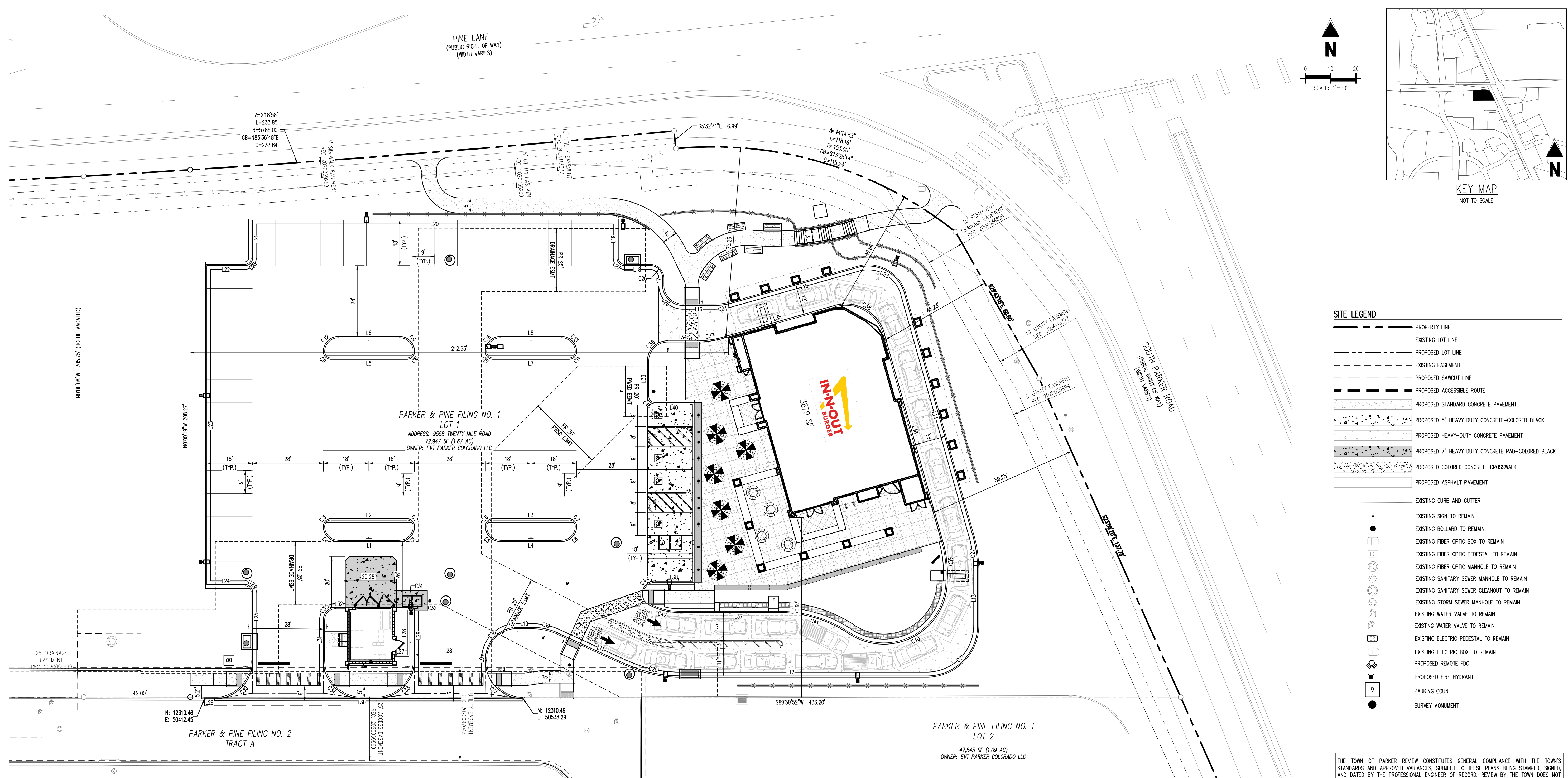
- 60 NOT USED
- 61 PROPOSED 1.5" IRRIGATION TAP & METER
- 62 PROPOSED 9'X18" ADA PARKING STALL AND PAINTED ACCESS AISLE WITH 4" SOLID BLUE STRIPING 2" O.C. @ 45° ANGLE (REF DET 6, SHT C1.3 AND DET 26, SHT C1.4)
- 63 EXISTING ELECTRIC TRANSFORMER ON CONCRETE PAD TO REMAIN
- 64 PROPOSED RETAINING WALL
- 65 PROPOSED SEATING TABLE WITH UMBRELLA
- 66 PROPOSED HANDRAILS
- 67 PROPOSED PUBLIC ART AREA
- 68 PROPOSED SANITARY MANHOLE

PRELIMINARY
NOT FOR BIDDING
NOT FOR CONSTRUCTION

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IN-N-OUT BURGER
CONSTRUCTION DOCUMENTS
PARKER & PINE FILING NO. 1, LOT 1
PARKER, CO 80134



SITE LEGEND

- PROPERTY LINE
- - - EXISTING LOT LINE
- - - PROPOSED LOT LINE
- - - EXISTING EASEMENT
- - - PROPOSED SAWTOOTH LINE
- - - PROPOSED ACCESSIBLE ROUTE
- ▨ PROPOSED STANDARD CONCRETE PAVEMENT
- ▨ PROPOSED 5" HEAVY DUTY CONCRETE-COLORED BLACK
- ▨ PROPOSED HEAVY-DUTY CONCRETE PAVEMENT
- ▨ PROPOSED 7" HEAVY DUTY CONCRETE PAD-COLORED BLACK
- ▨ PROPOSED COLORED CONCRETE CROSSWALK
- ▨ PROPOSED ASPHALT PAVEMENT
- ▨ EXISTING CURB AND GUTTER
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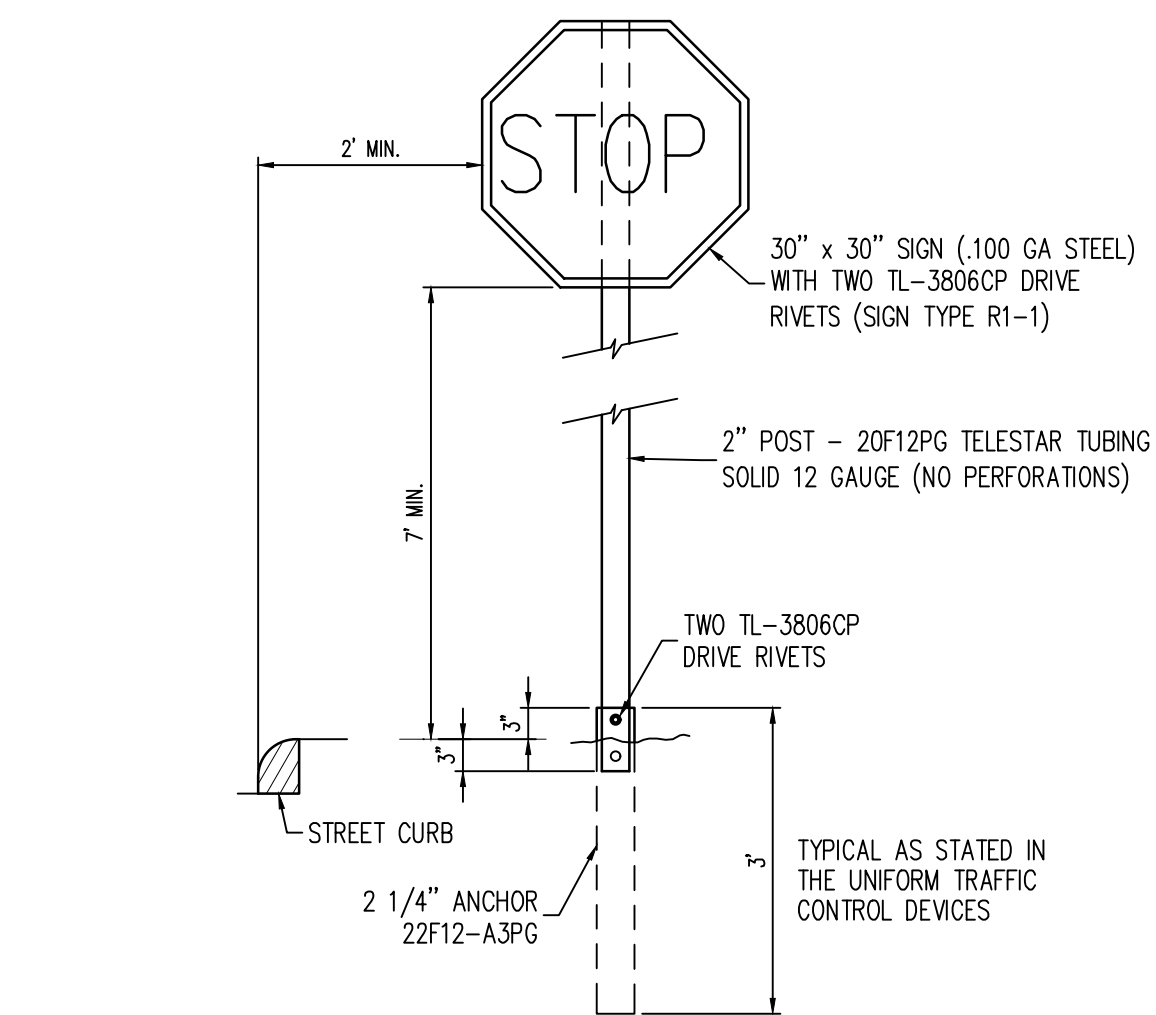
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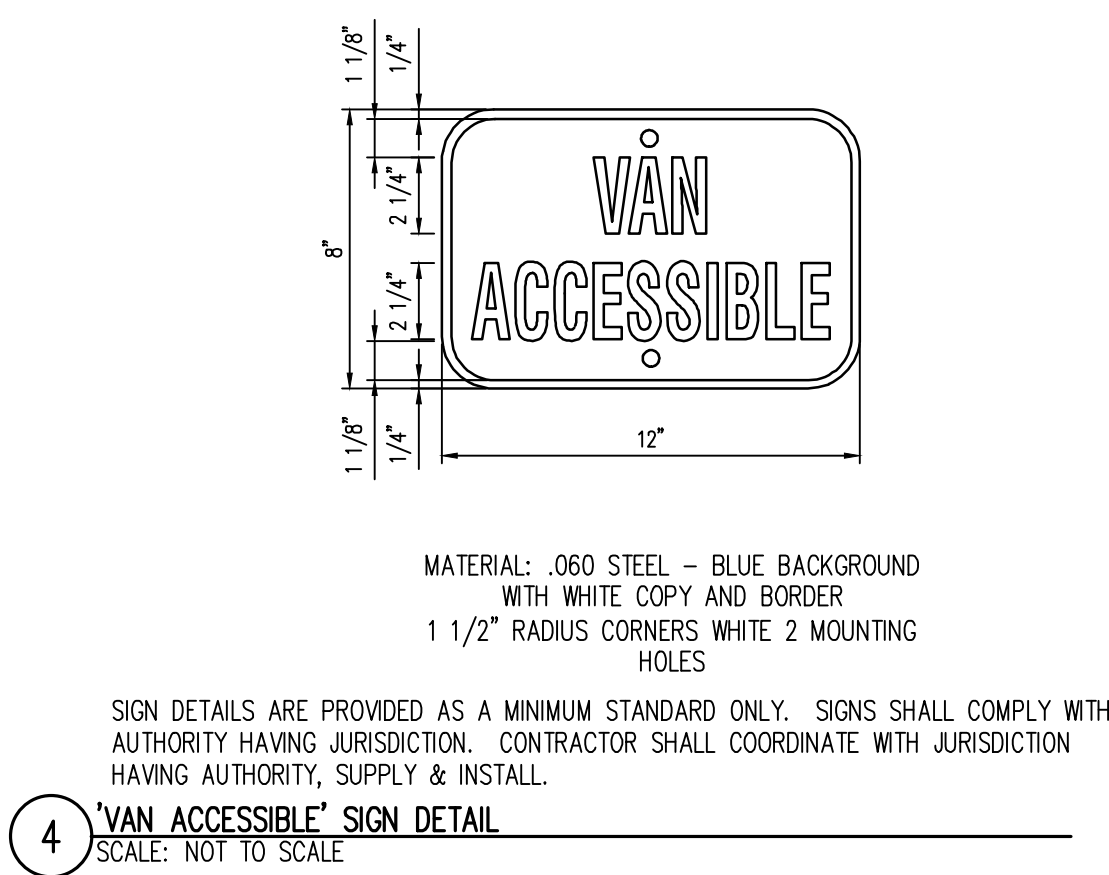
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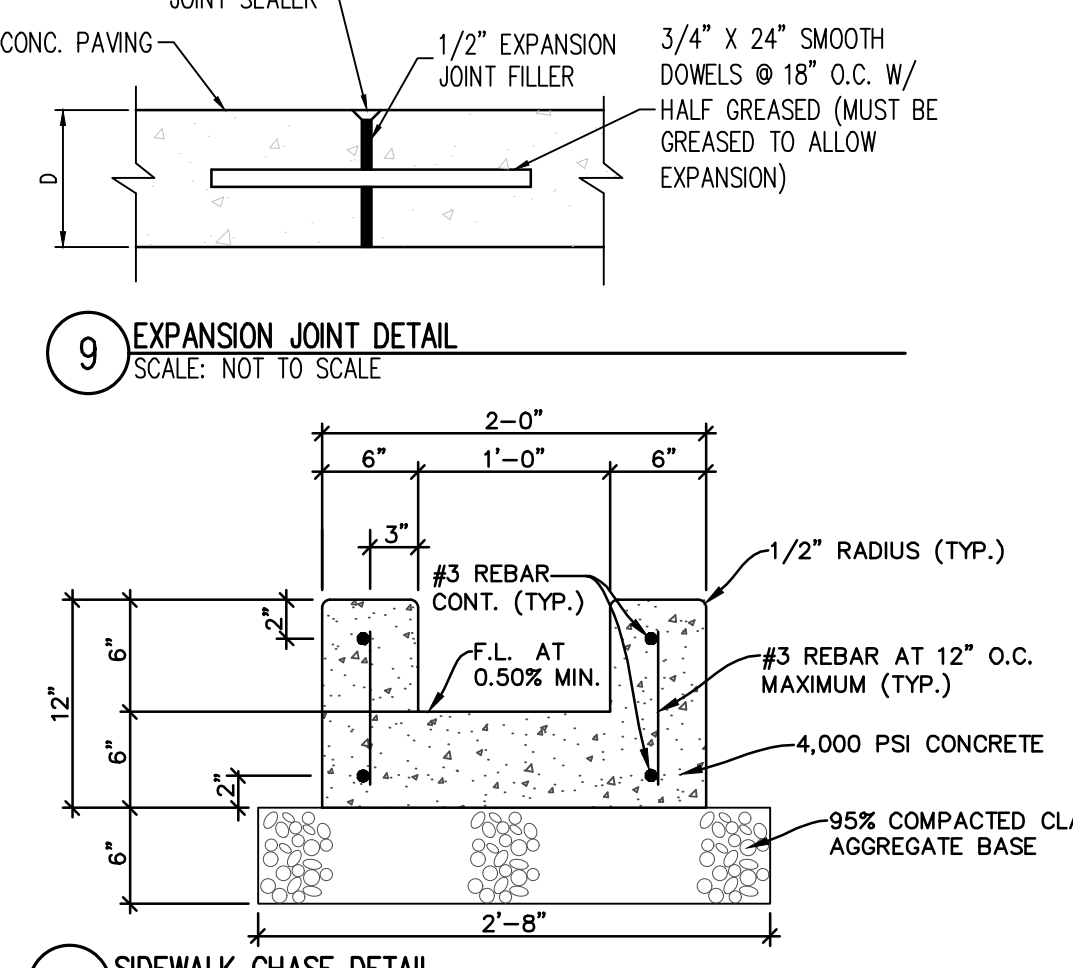
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C1	12372.536 50489.341	9.43	6.00	N45°01'15.29"E	90°03'16"	8.49	C12	12447.532 50469.338	9.43	6.00	N45°01'15.29"E	90°03'16"	8.49	C20	12324.011 50579.159	21.43	50.66	S77°43'15.47"E	24°14'17"	21.27	L19	12484.538 50575.342	15.00		N0°00'08"W			L29	12345.233 50495.345	19.59		S0°00'07"E			C33	12499.538 50575.341	144.00		S89°59'52"W			L30	12310.645 50480.341	6.00		S0°00'08"E			C34	12310.647 50474.339	23.57	15.00	S45°00'34.37"W	90°01'24"	21.22	C35	12310.645 50480.341	6.00		N89°58'44"W			C36	12310.647 50474.339	23.56	15.00	N44°59'18.76"W	89°58'50"	21.21	L31	12484.533 50431.339	4.71	3.00	S44°59'52.28"W	90°00'00"	4.24	C37	12325.646 50495.346	23.57	15.00	S89°59'52"W			L32	12325.646 50495.345	15.89		N0°00'08"E			C38	12325.646 50495.345	15.89		S89°59'52"W			L33	12325.646 50495.345	15.89		S89°59'52"W			C39	12325.646 50495.345	15.89		S89°59'52"W			L34	12325.646 50495.345	15.89		S89°59'52"W			C40	12325.646 50495.345	15.89		S89°59'52"W			L35	12325.646 50495.345	15.89		S89°59'52"W			C41	12325.646 50495.345	15.89		S89°59'52"W			L36	12325.646 50495.345	15.89		S89°59'52"W			C42	12325.646 50495.345	15.89		S89°59'52"W			L37	12325.646 50495.345	15.89		S89°59'52"W			C43	12325.646 50495.345	15.89		S89°59'52"W			L38	12325.646 50495.345	15.89		S89°59'52"W			C44	12325.646 50495.345	15.89		S89°59'52"W			L39	12325.646 50495.345	15.89		S89°59'52"W			C45	12325.646 50495.345	15.89		S89°59'52"W			L40	12325.646 50495.345	15.89		S89°59'52"W			C46	12325.646 50495.345	15.89		S89°59'52"W			L41	12325.646 50495.345	15.89		S89°59'52"W			C47	12325.646 50495.345	15.89		S89°59'52"W			L42	12325.646 50495.345	15.89		S89°59'52"W			C48	12325.646 50495.345	15.89		S89°59'52"W			L43	12325.646 50495.345	15.89		S89°59'52"W			C49	12325.646 50495.345	15.89		S89°59'52"W			L44	12325.646 50495.345	15.89		S89°59'52"W			C50	12325.646 50495.345	15.89		S89°59'52"W			L45	12325.646 50495.345	15.89		S89°59'52"W			C51	12325.646 50495.345	15.89		S89°59'52"W			L46	12325.646 50495.345	15.89		S89°59'52"W			C52	12325.646 50495.345	15.89		S89°59'52"W			L47	12325.646 50495.345	15.89		S89°59'52"W			C53	12325.646 50495.345	15.89		S89°59'52"W			L48	12325.646 50495.345	15.89		S89°59'52"W			C54	12325.646 50495.345	15.89		S89°59'52"W			L49	12325.646 50495.345	15.89		S89°59'52"W			C55	12325.646 50495.345	15.89		S89°59'52"W			L50	12325.646 50495.345	15.89		S89°59'52"W			C56	12325.646 50495.345	15.89		S89°59'52"W			L51	12325.646 50495.345	15.89		S89°59'52"W			C57	12325.646 50495.345	15.89		S89°59'52"W			L52	12325.646 50495.345	15.89		S89°59'52"W			C58	12325.646 50495.345	15.89		S89°59'52"W			L53	12325.646 50495.345	15.89		S89°59'52"W			C59	12325.646 50495.345	15.89		S89°59'52"W			L54	12325.646 50495.345	15.89		S89°59'52"W			C60	12325.646 50495.345	15.89		S89°59'52"W			L55	12325.646 50495.345	15.89		S89°59'52"W			C61	12325.646 50495.345	15.89		S89°59'52"W			L56	12325.646 50495.345	15.89		S89°59'52"W			C62	12325.646 50495.345	15.89		S89°59'52"W			L57	12325.646 50495.345	15.89		S89°59'52"W			C63	12325.646 50495.345	15.89		S89°59'52"W			L58	12325.646 50495.345	15.89		S89°59'52"W			C64	12325.646 50495.345	15.89		S89°59'52"W			L59	12325.646 50495.345	15.89		S89°59'52"W			C65	12325.646 50495.345	15.89		S89°59'52"W			L60	12325.646 50495.345	15.89		S89°59'52"W			C66	12325.646 50495.345	15.89		S89°59'52"W			L61	12325.646 50495.345	15.89		S89°59'52"W			C67	12325.646 50495.345	15.89		S89°59'52"W			L62	12325.646 50495.345	15.89		S89°59'52"W			C68	12325.646 50495.345	15.89		S89°59'52"W			L63	12325.646 50495.345	15.89		S89°59'52"W			C69	12325.646 50495.345	15.89		S89°59'52"W			L64	12325.646 50495.345	15.89		S89°59'52"W			C70	12325.646 50495.345	15.89		S89°59'52"W			L65	12325.646 50495.345	15.89		S89°59'52"W			C71	12325.646 50495.345	15.89		S89°59'52"W			L66	12325.646 50495.345	15.89		S89°59'52"W			C72	12325.646 50495.345	15.89		S89°59'52"W			L67	12325.646 50495.345	15.89		S89°59'52"W			C73	12325.646 50495.345	15.89		S89°59'52"W			L68	12325.646 50495.345	15.89		S89°59'52"W			C74	12325.646 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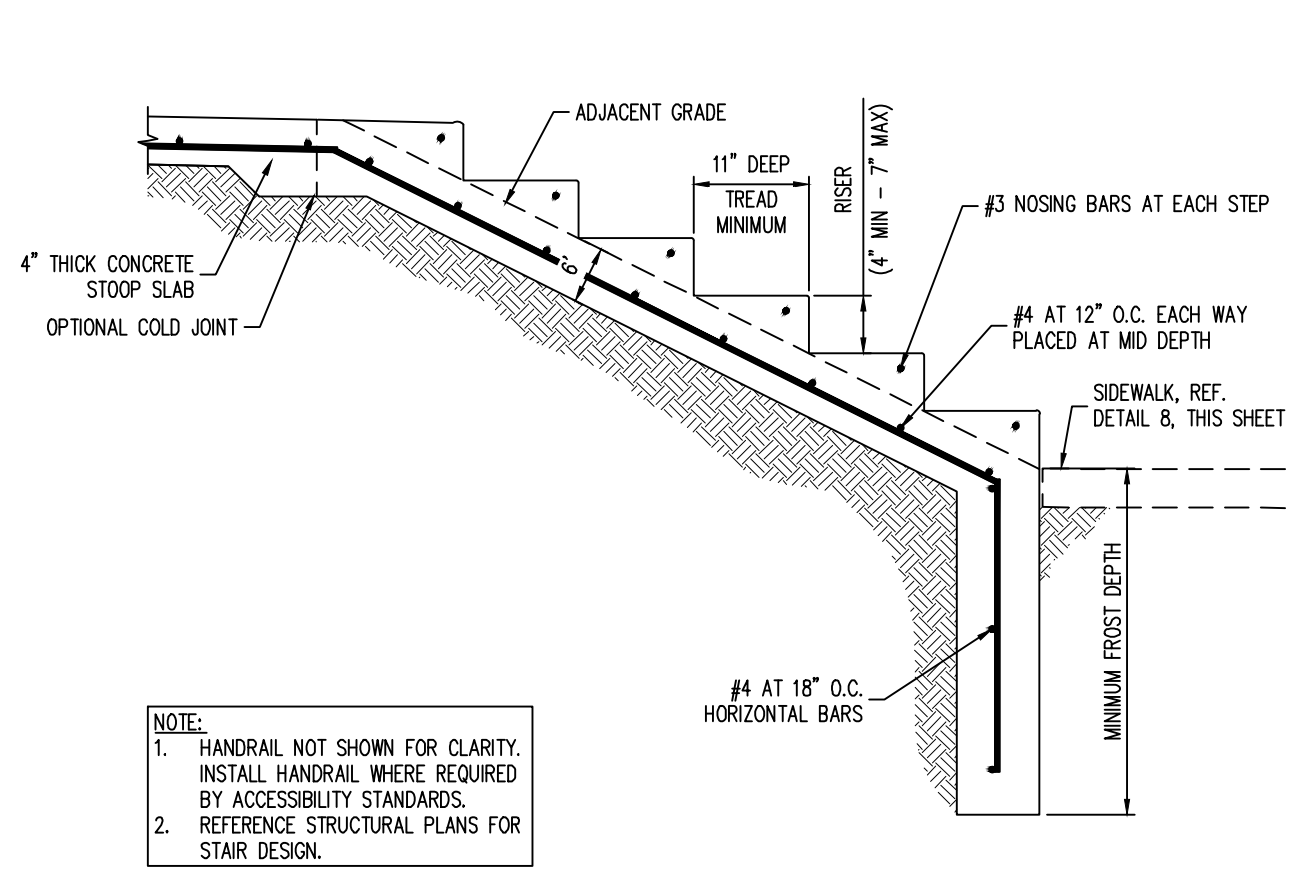
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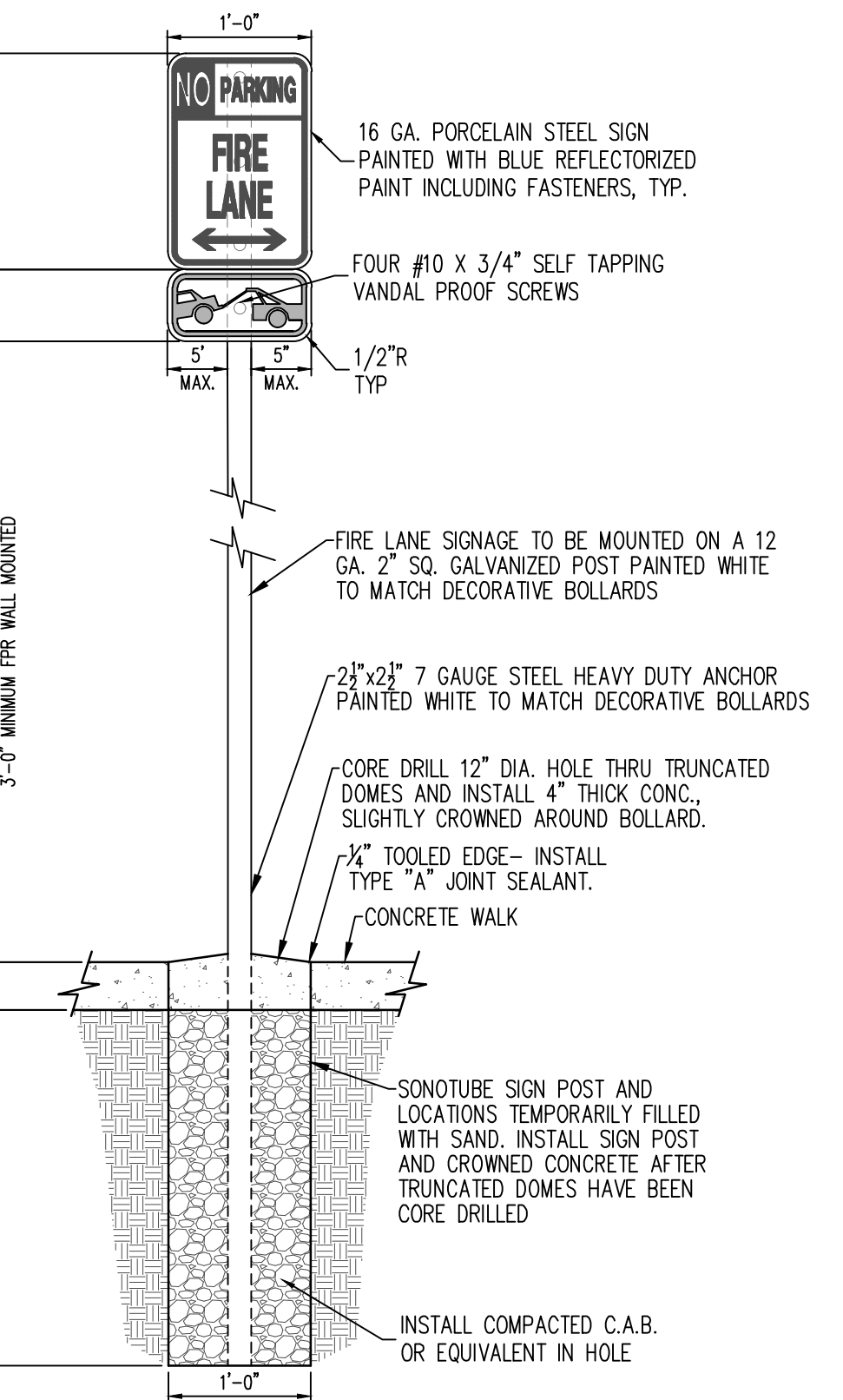
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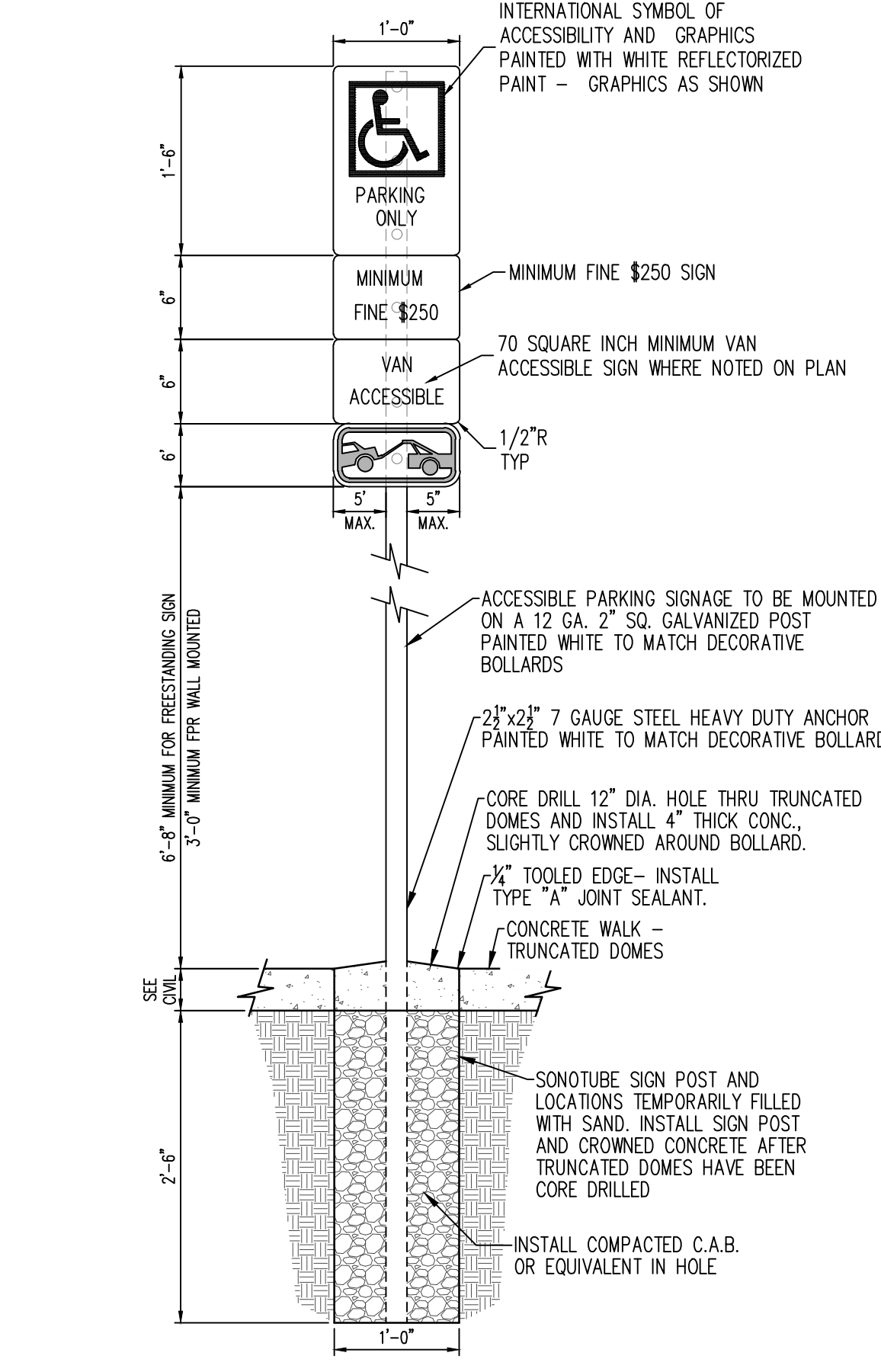
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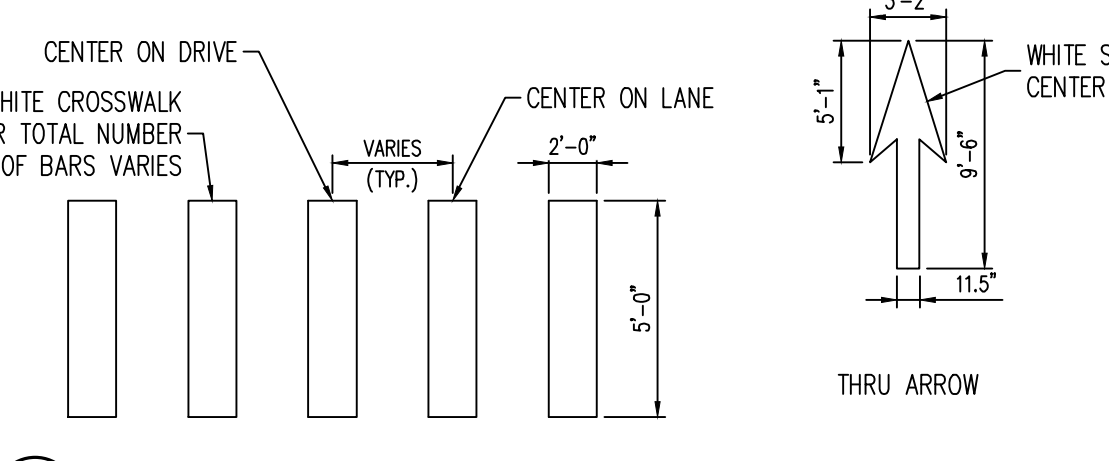
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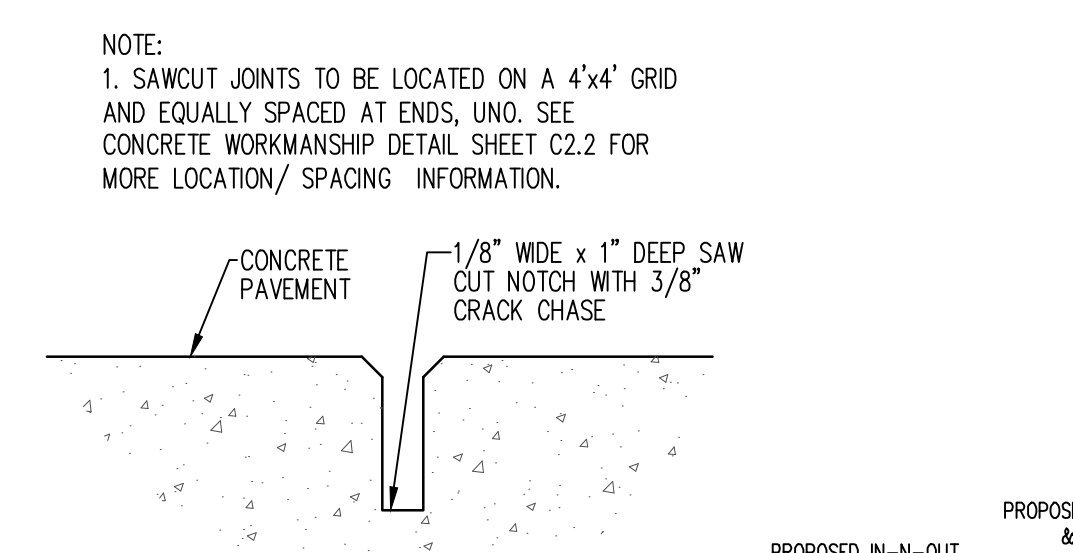
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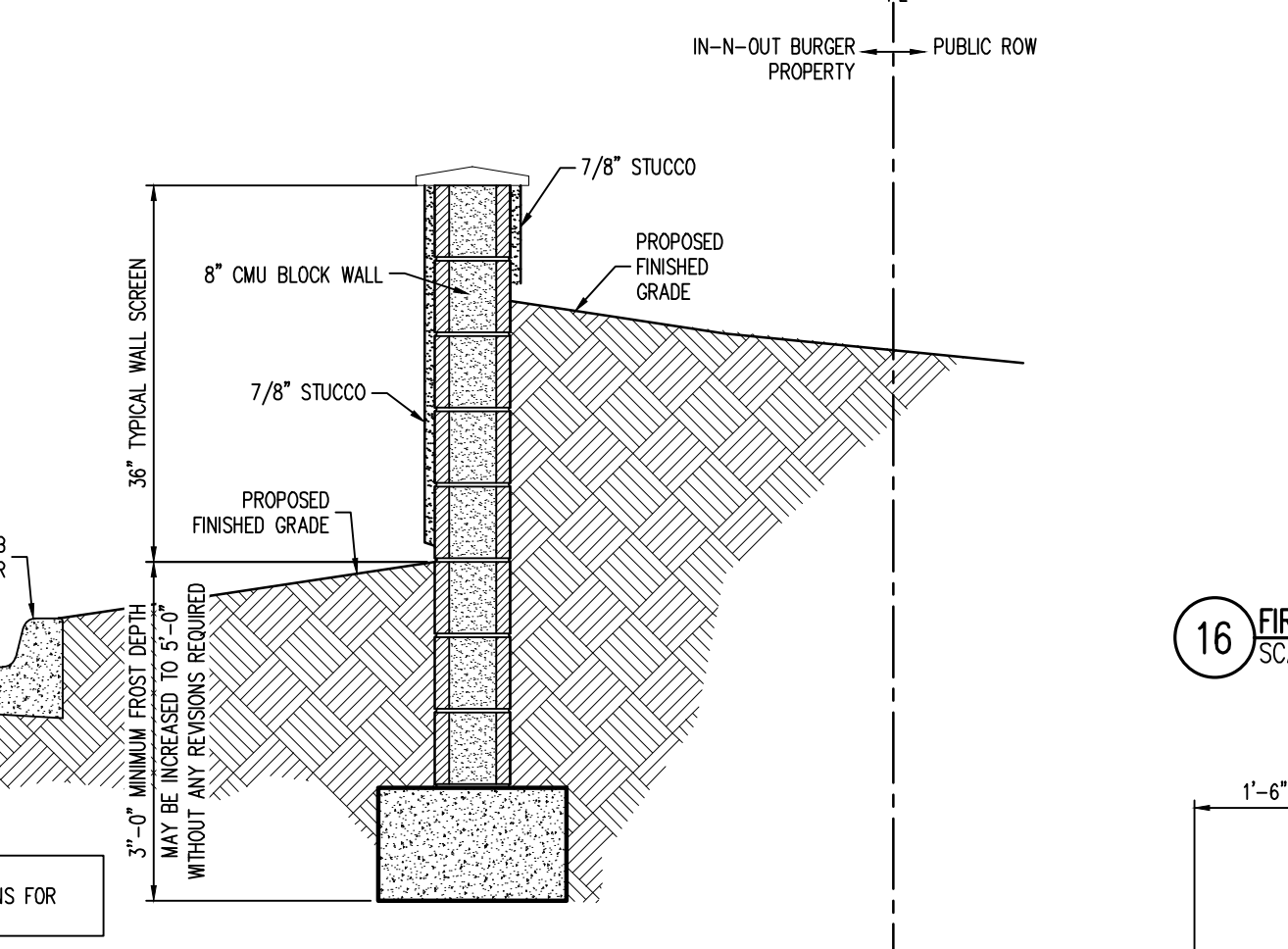
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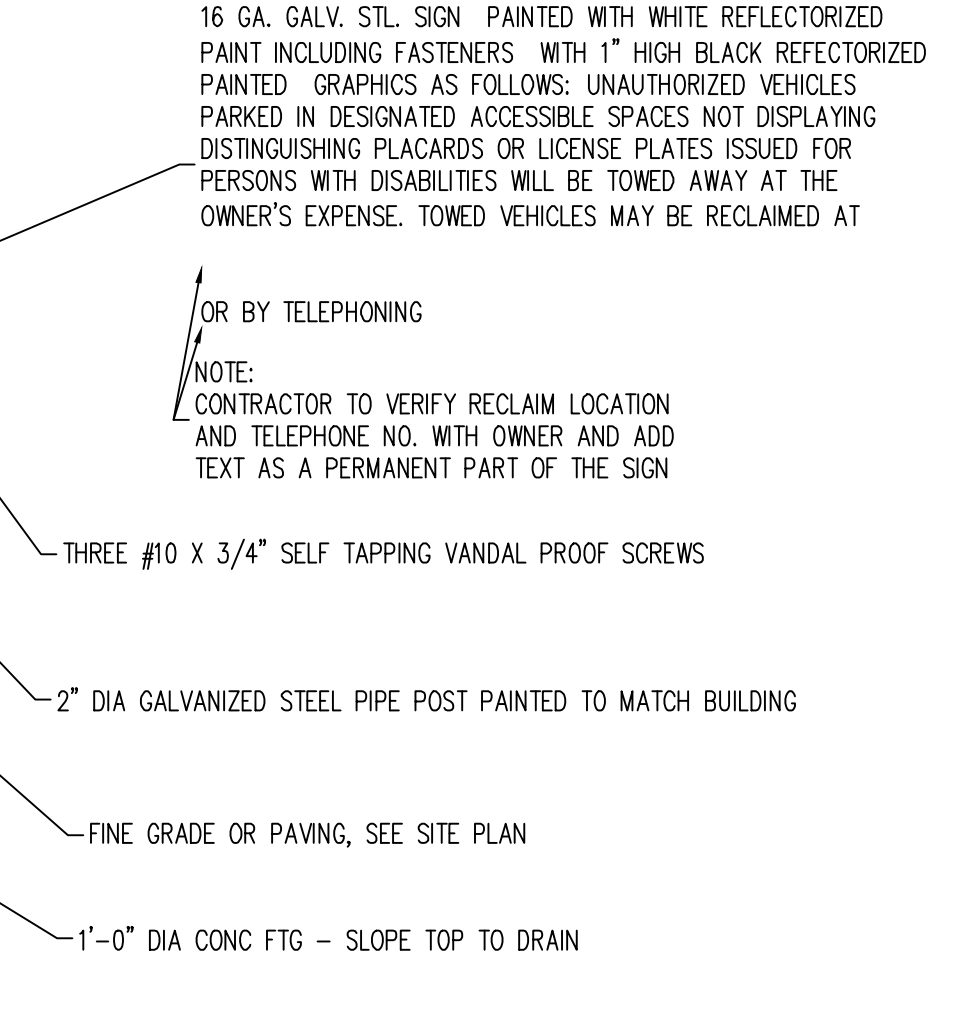
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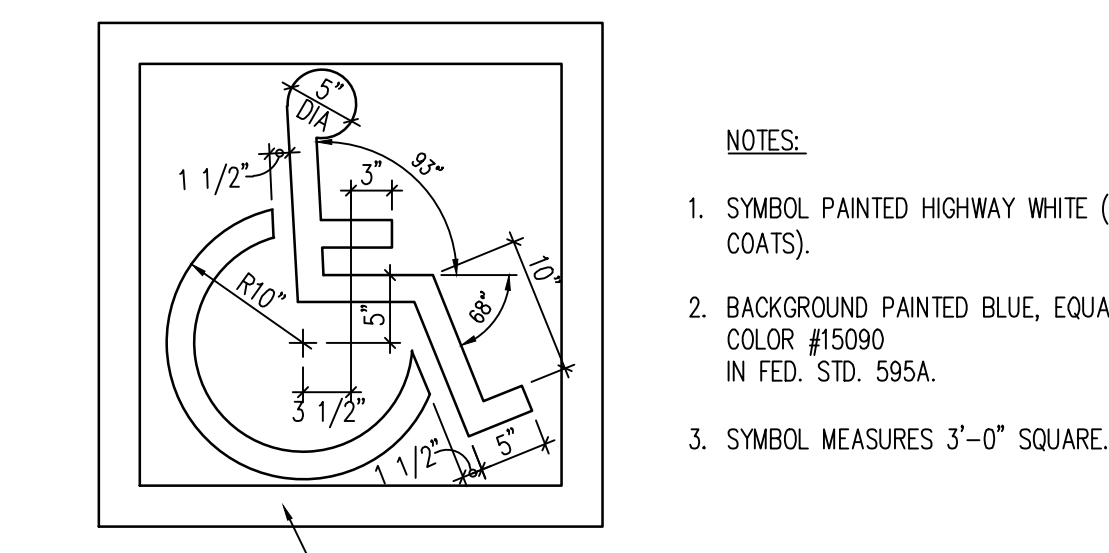
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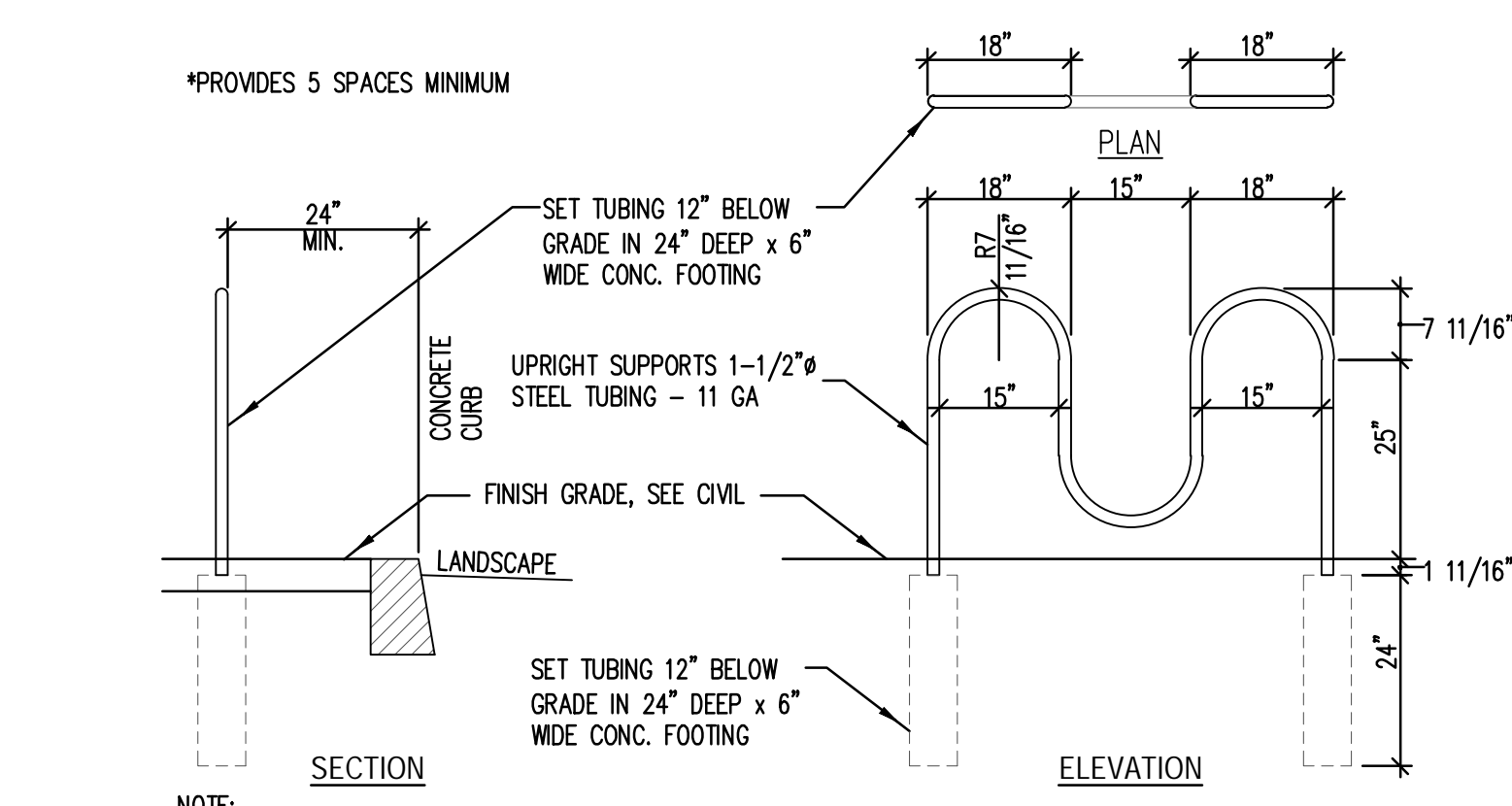
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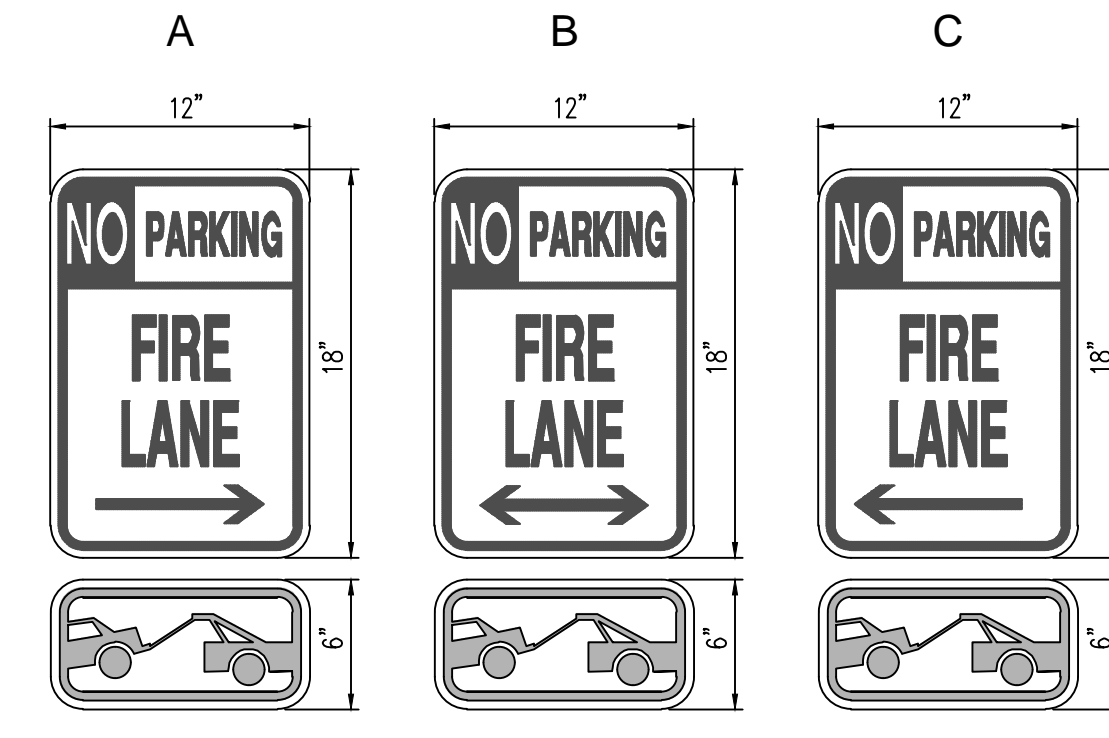
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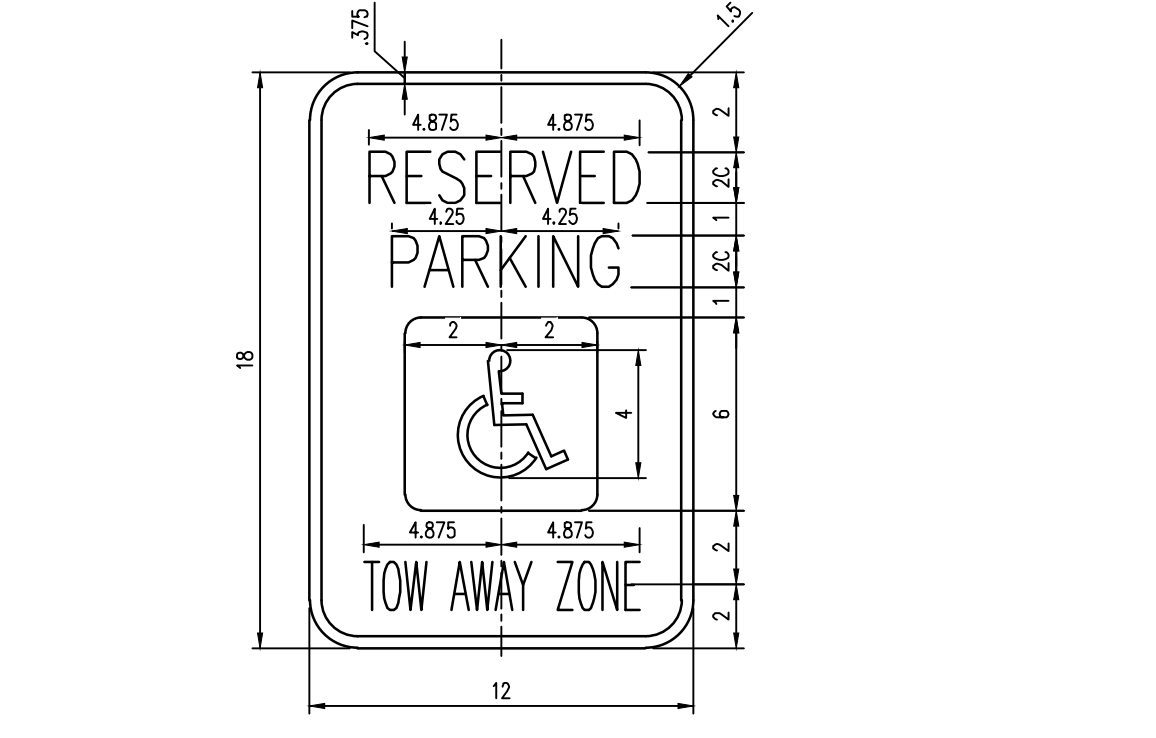
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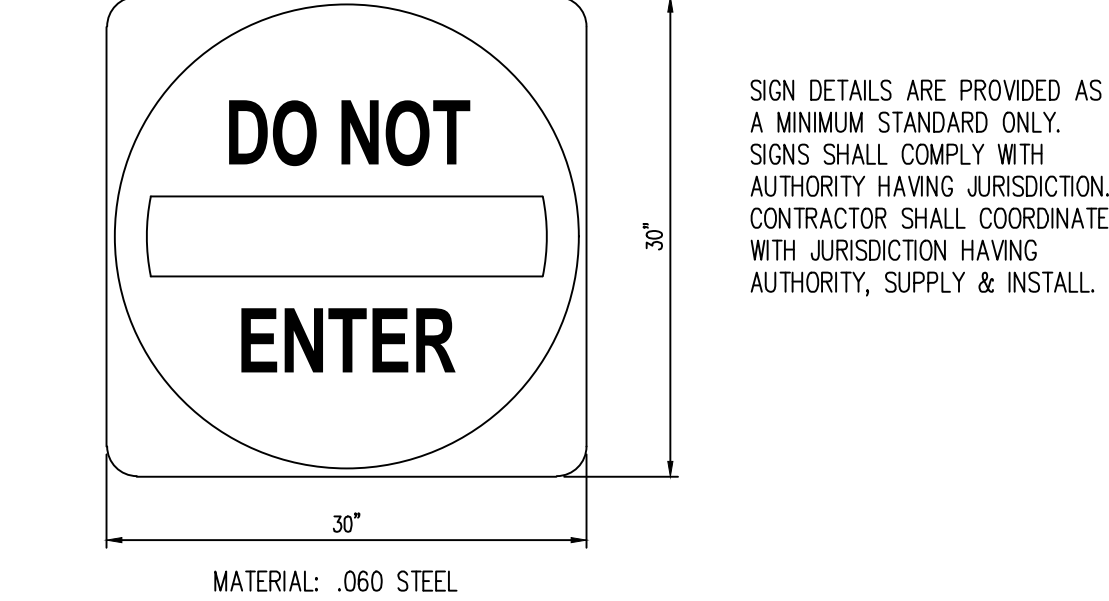
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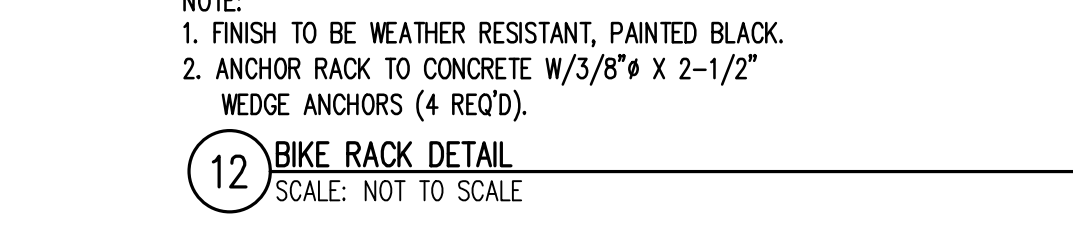
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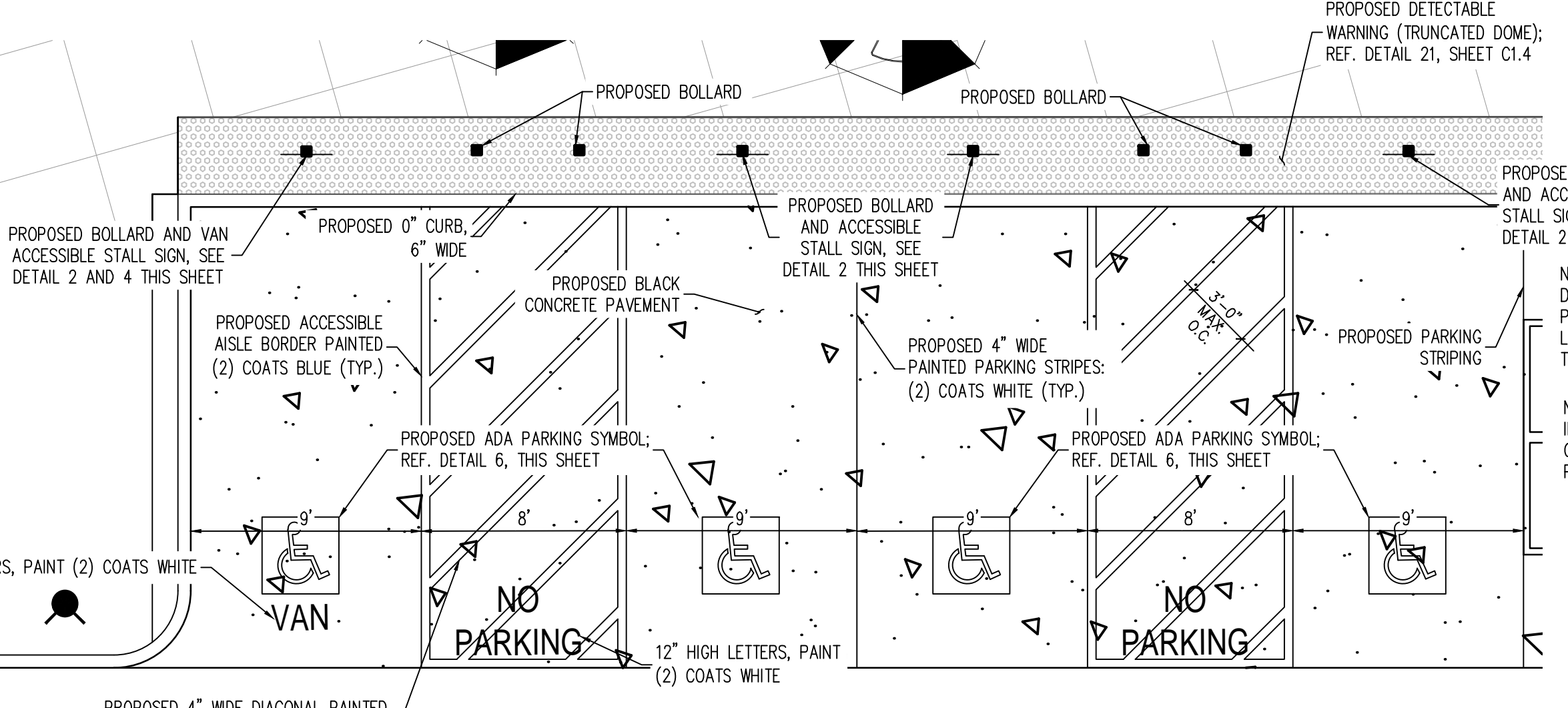
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SCALE: NOT TO SCALE



15 TYPICAL ACCESSIBLE STALL
SCALE: NOT TO SCALE



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IN-N-OUT BURGER
CONSTRUCTION DOCUMENTS
PARKER & PINE FILING NO. 1, LOT 1
PARKER, CO 80134

#	Date	Issue / Description	Init.
1	12/21/2022	1ST CD SUBMITTAL	PJD
2	03/17/2023	2ND CD SUBMITTAL	PJD
3	04/26/2023	3RD CD SUBMITTAL	PJD
4	06/16/2023	4TH CD SUBMITTAL	PJD

Project No.	IN000014-20
Drawn By:	JNE
Checked By:	PJD
Date:	06/16/2023

SITE DETAILS

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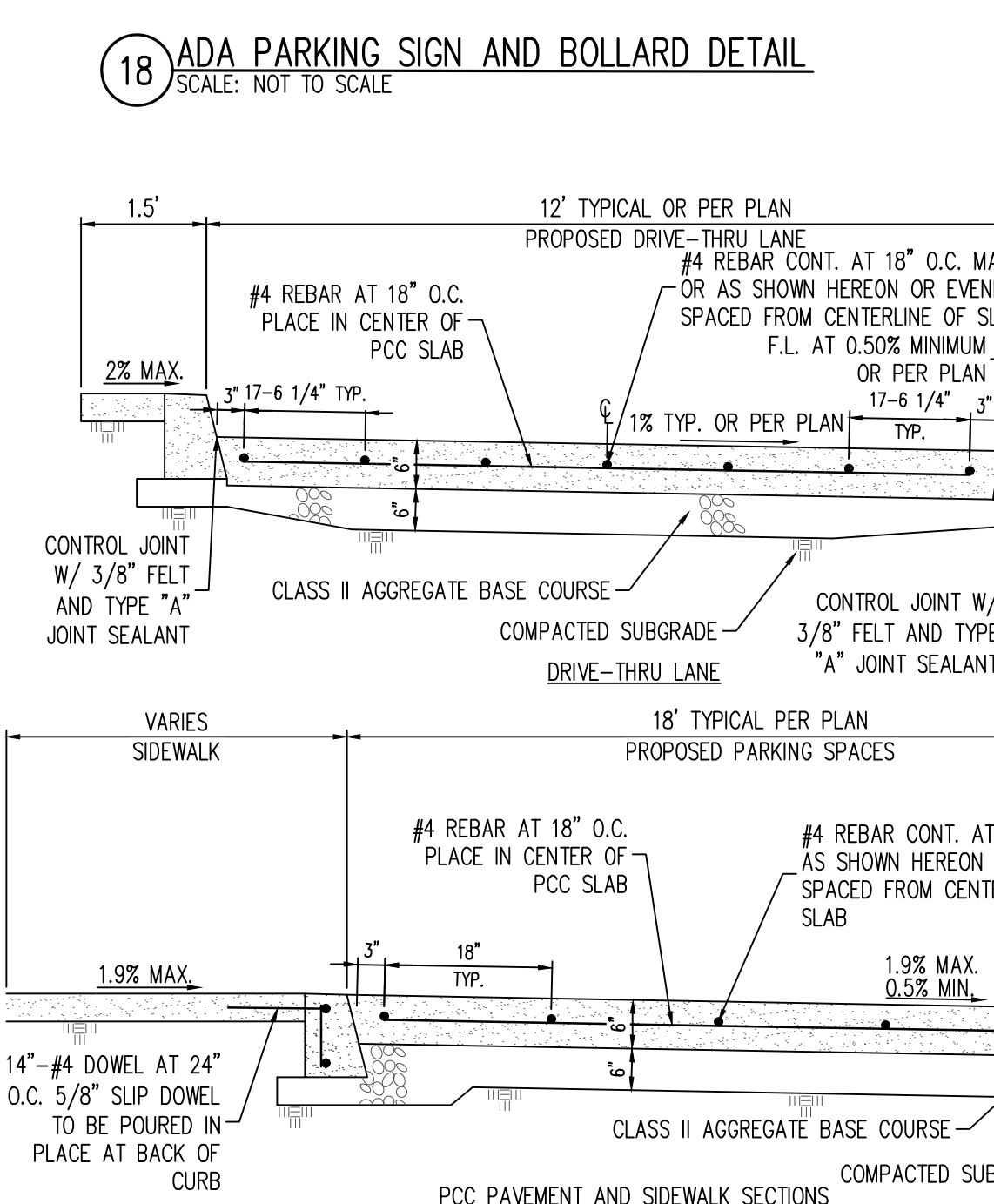
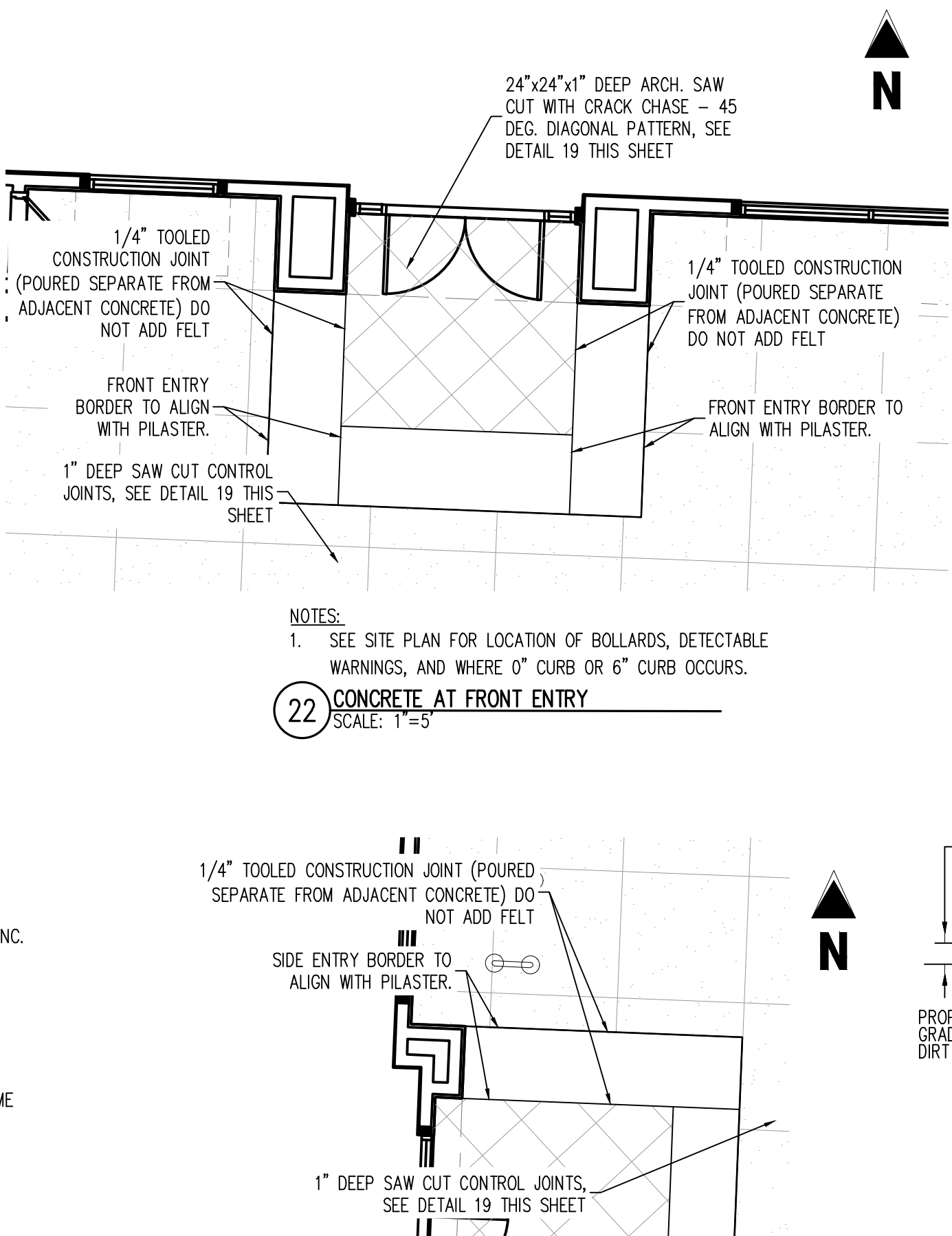
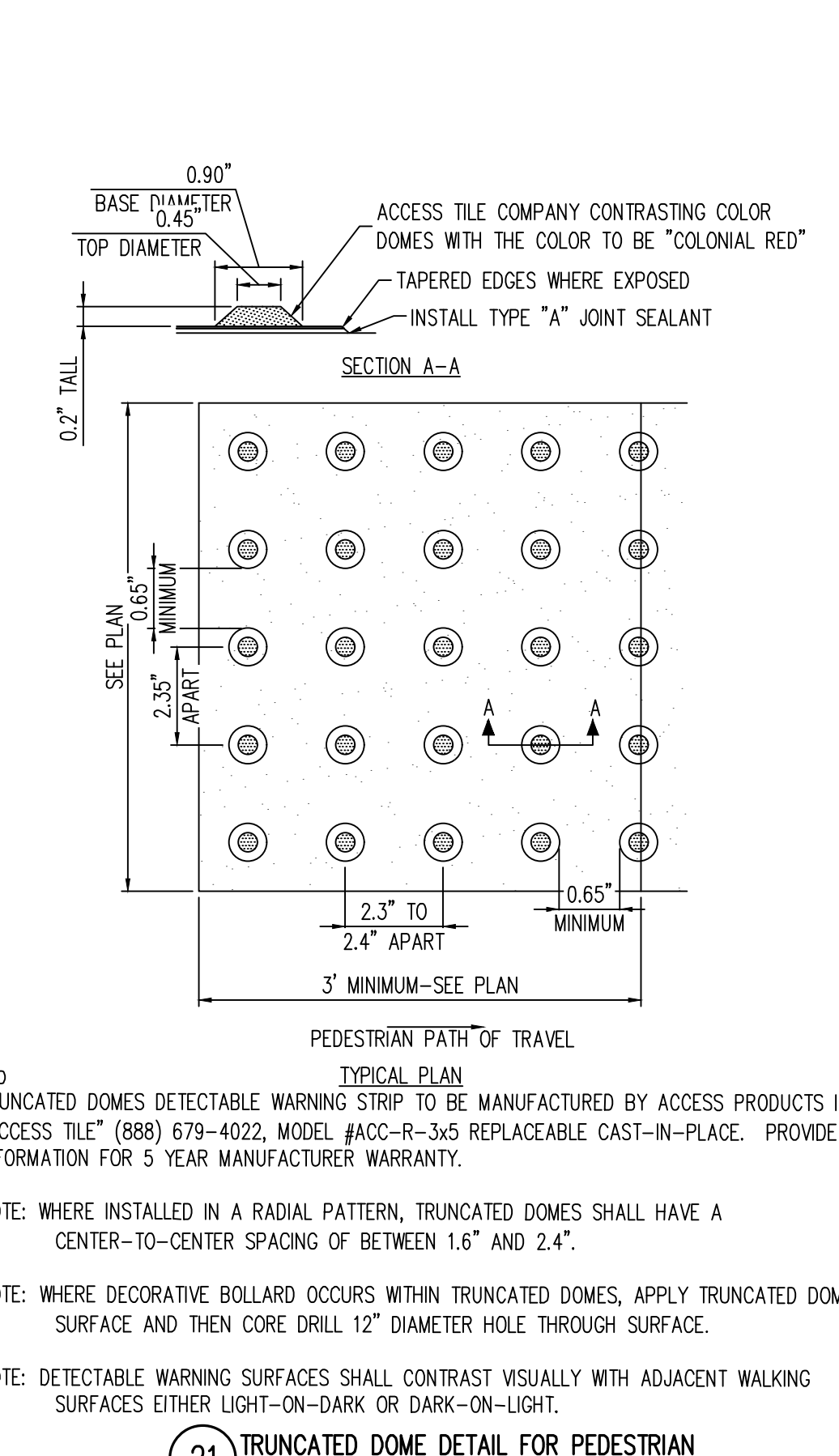
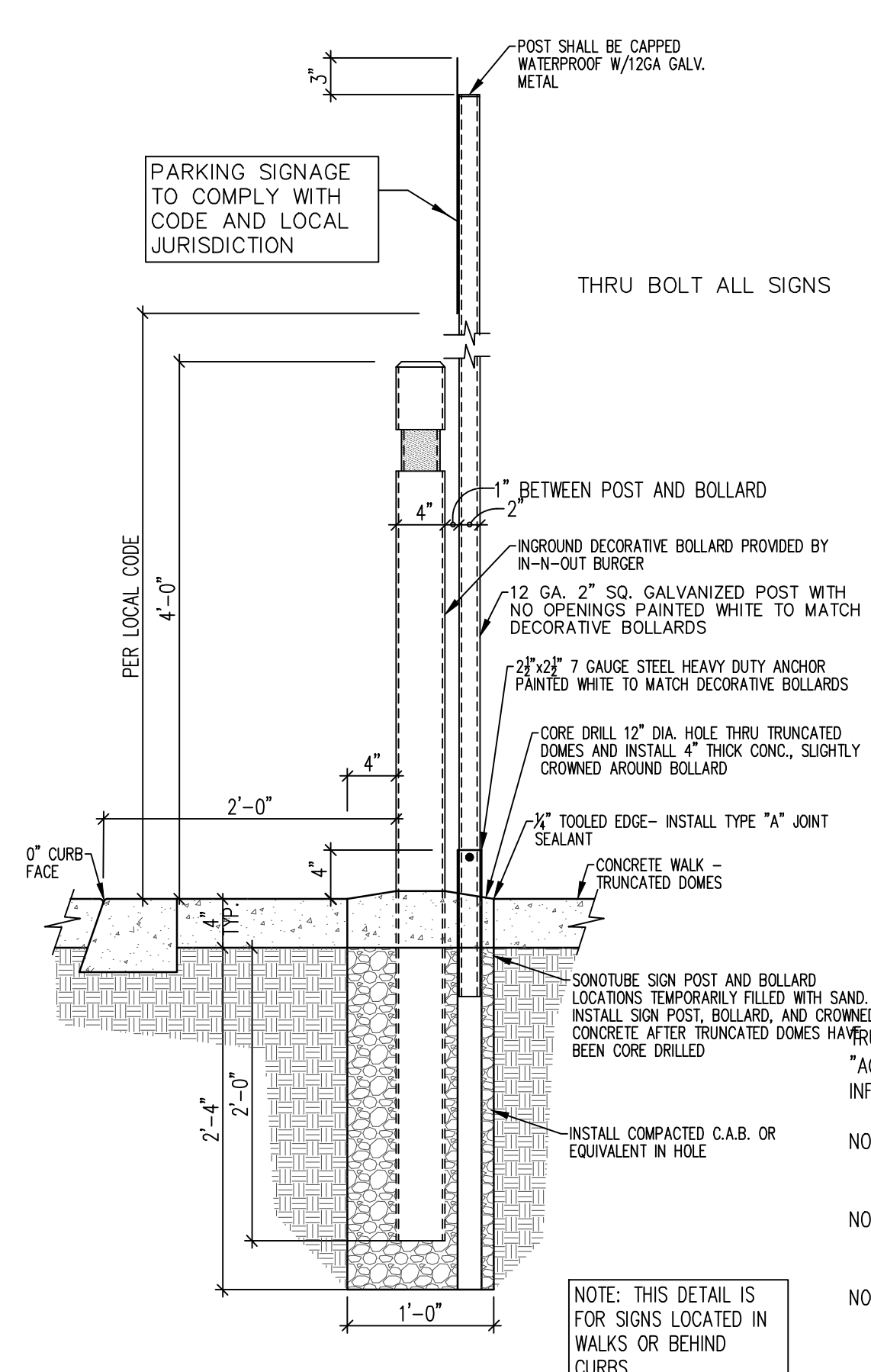


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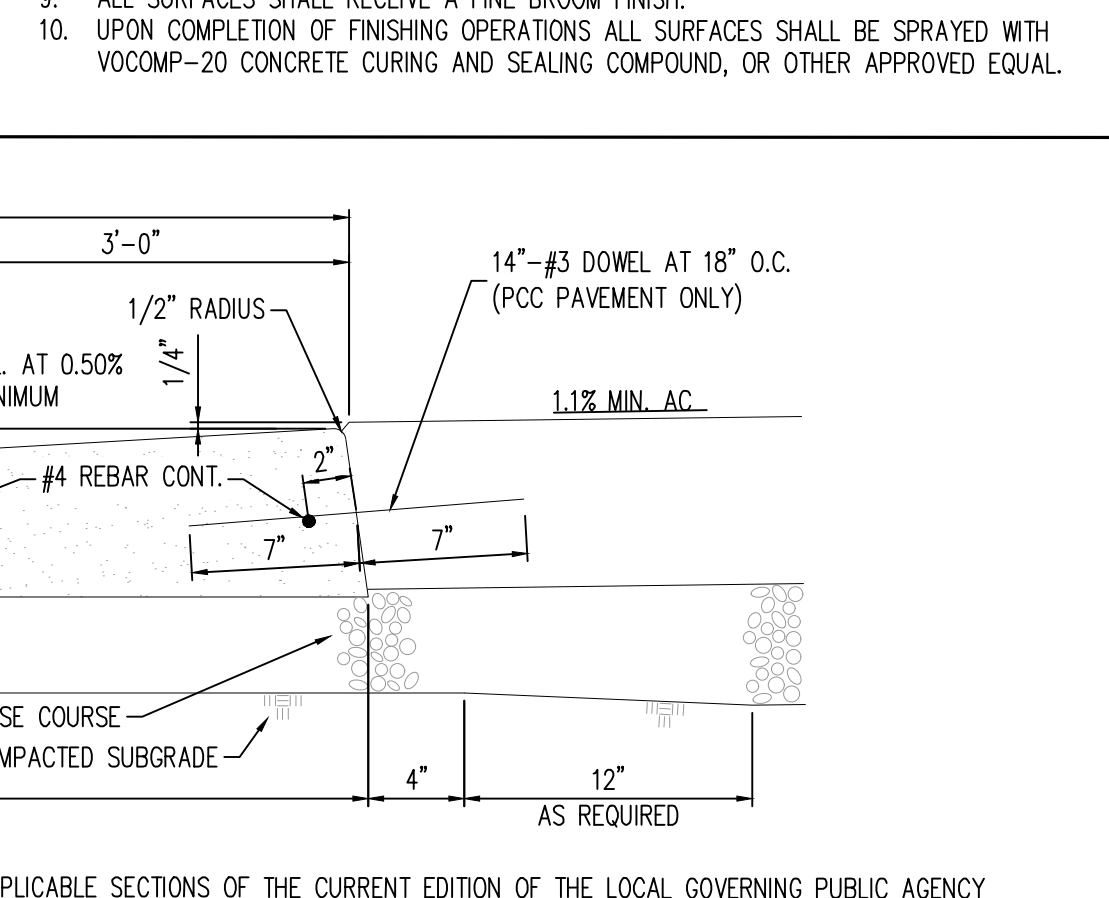
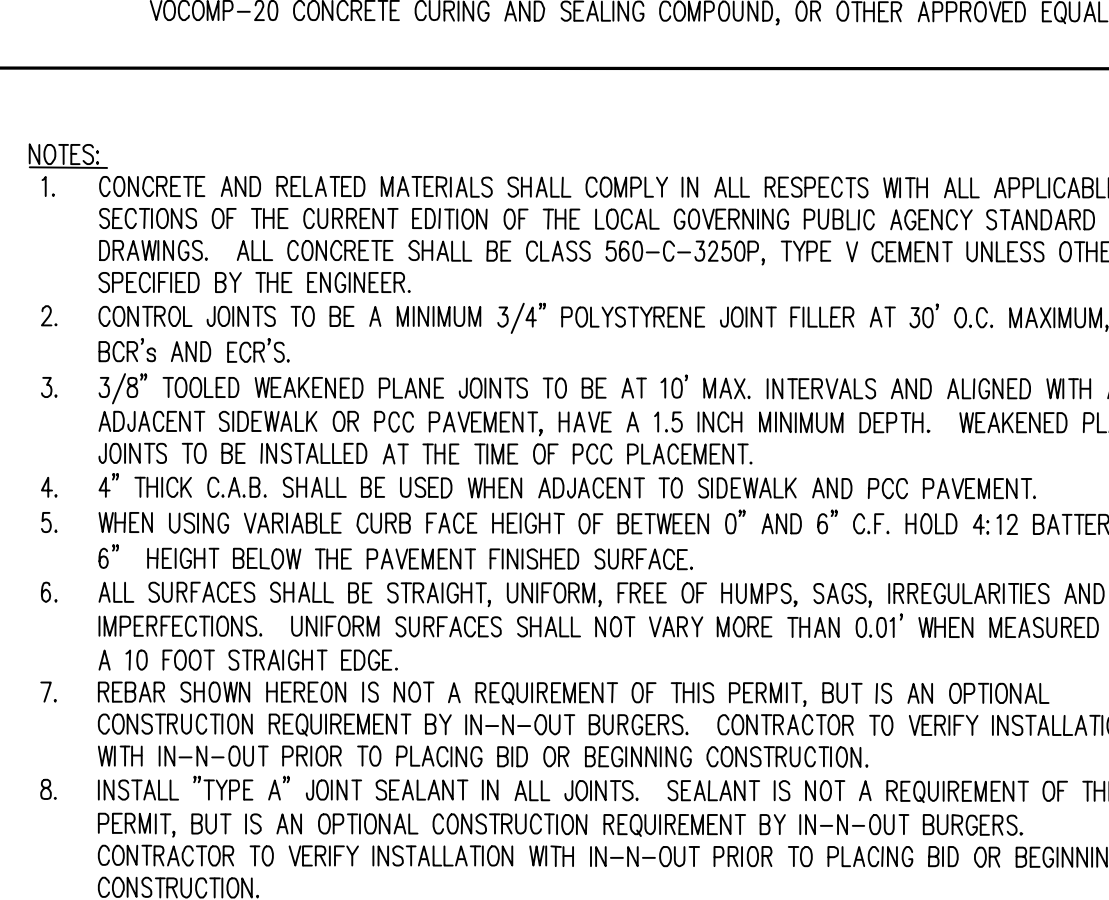
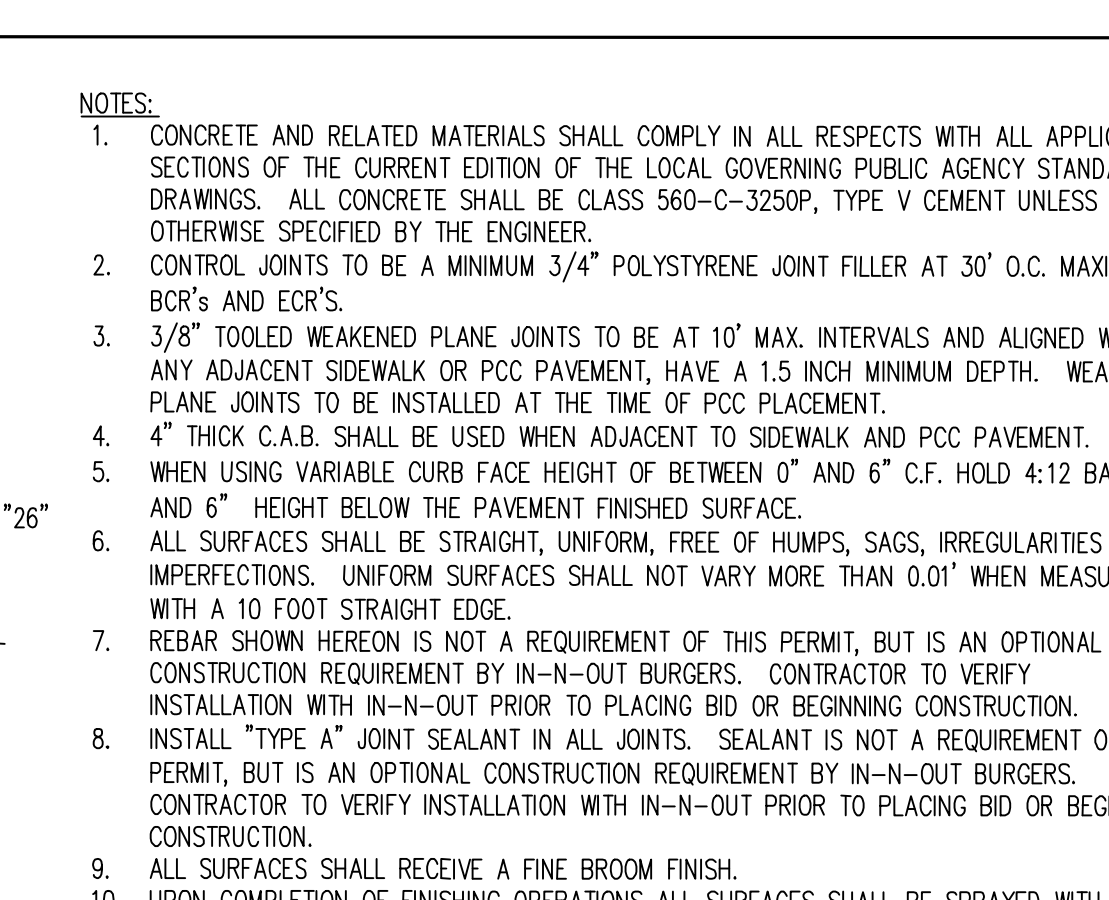
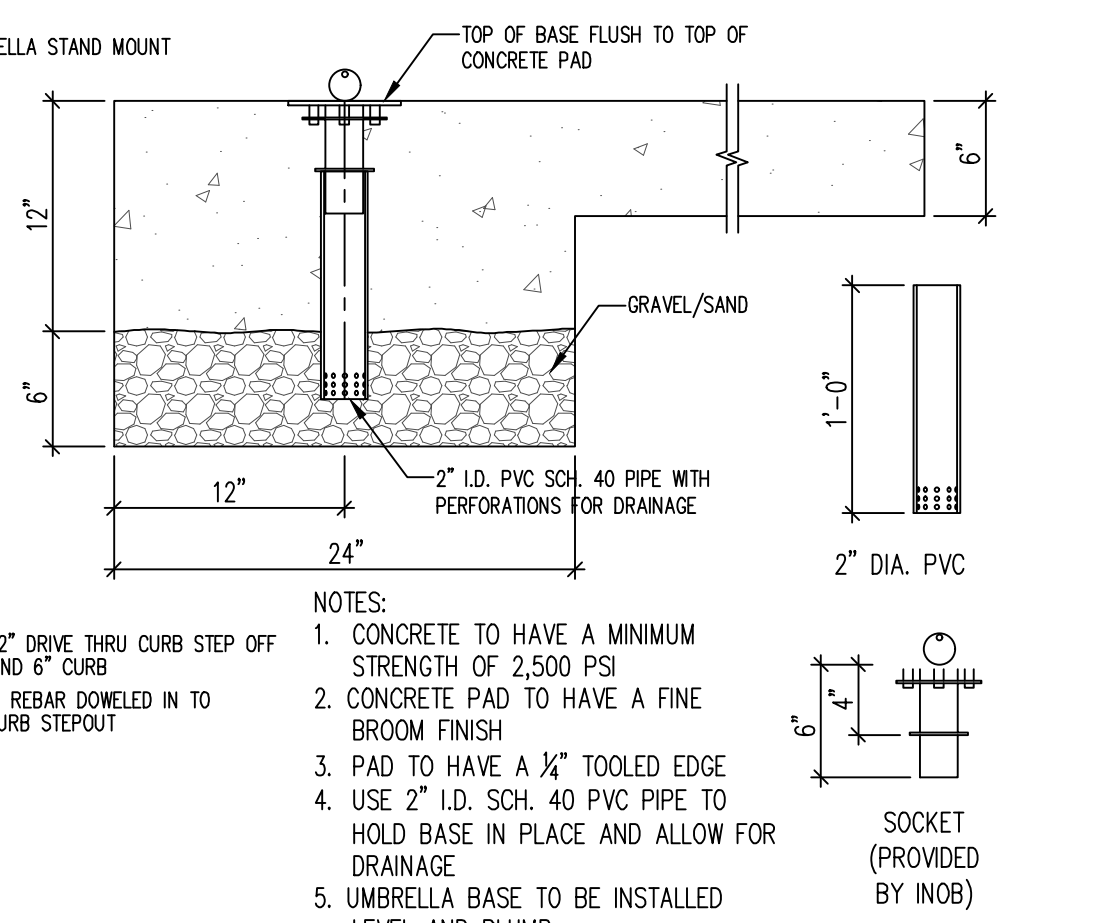
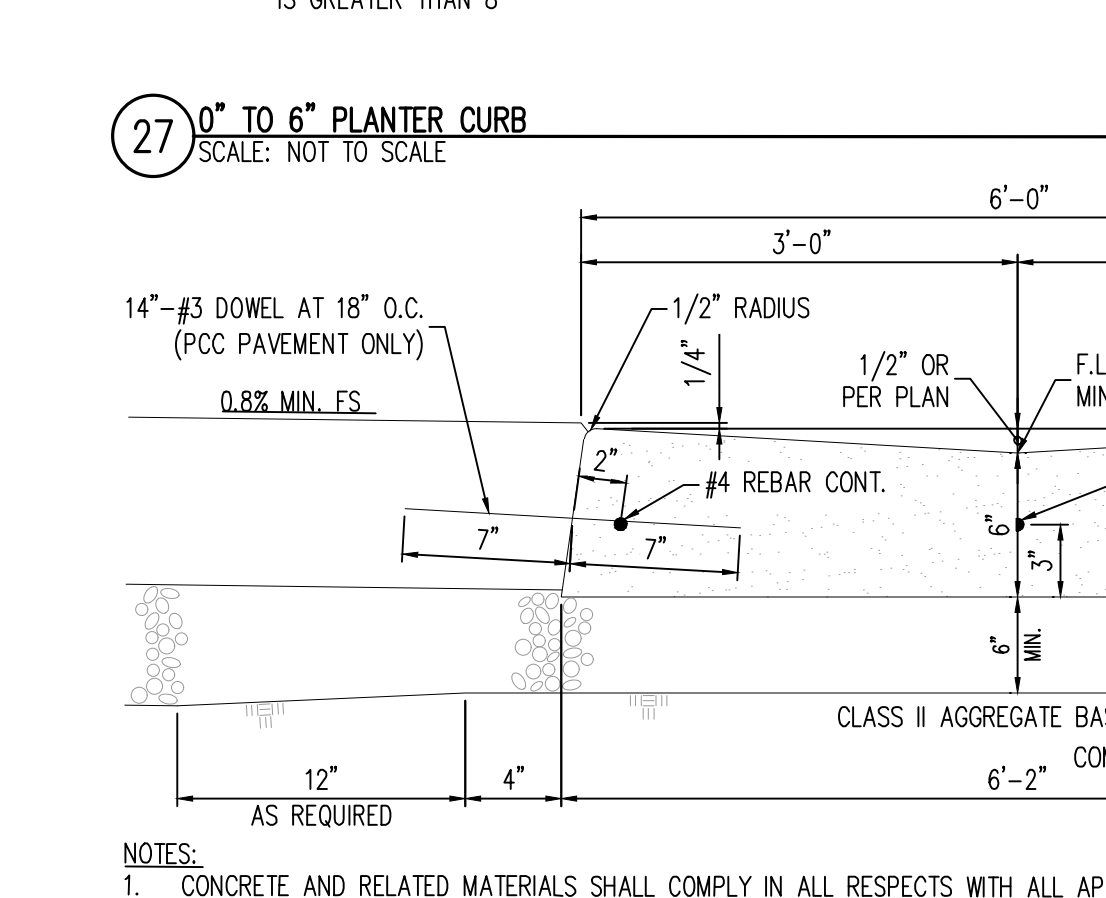
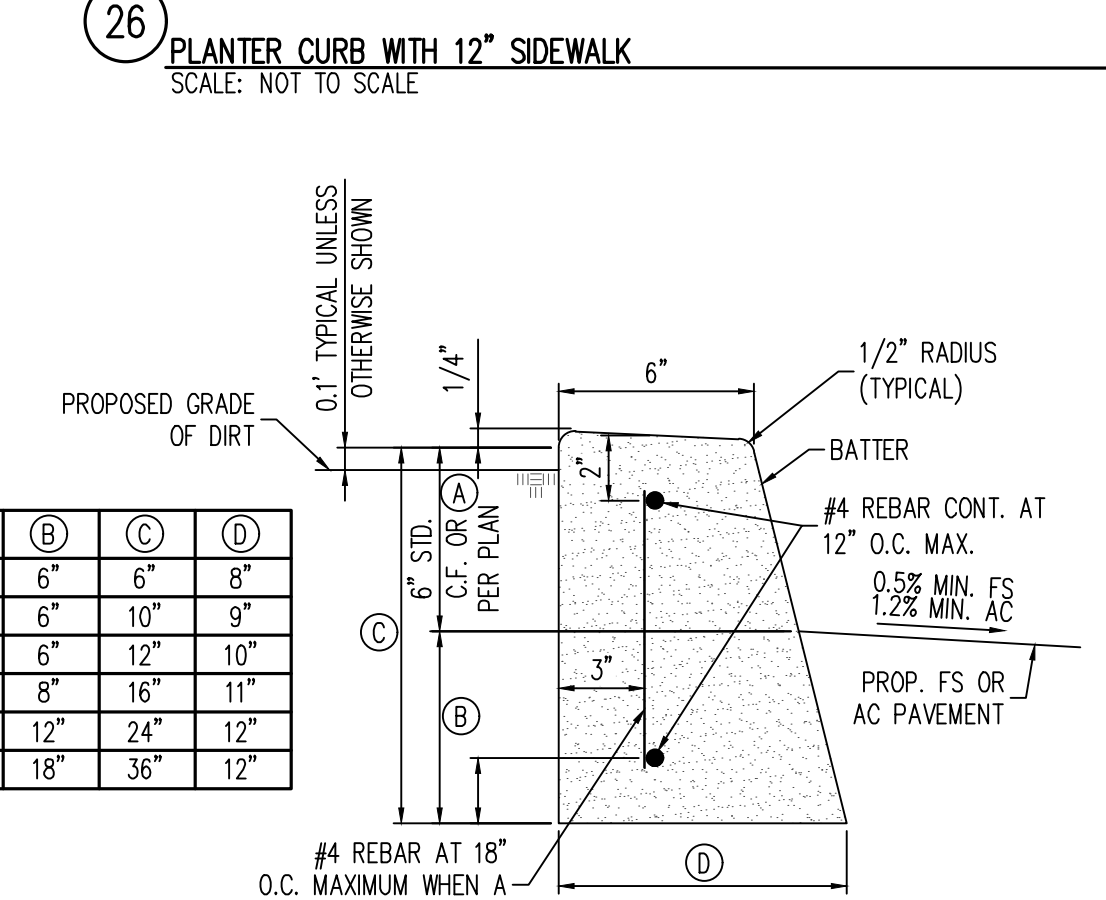
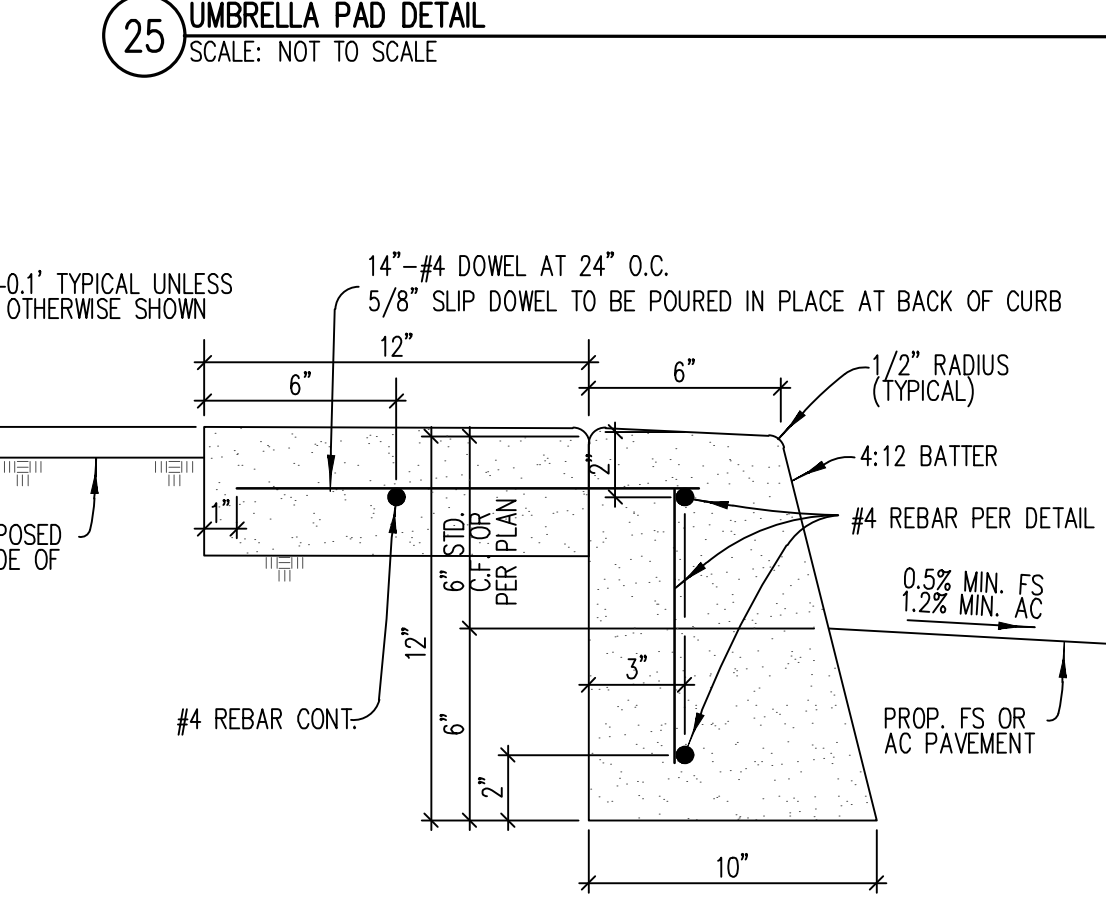
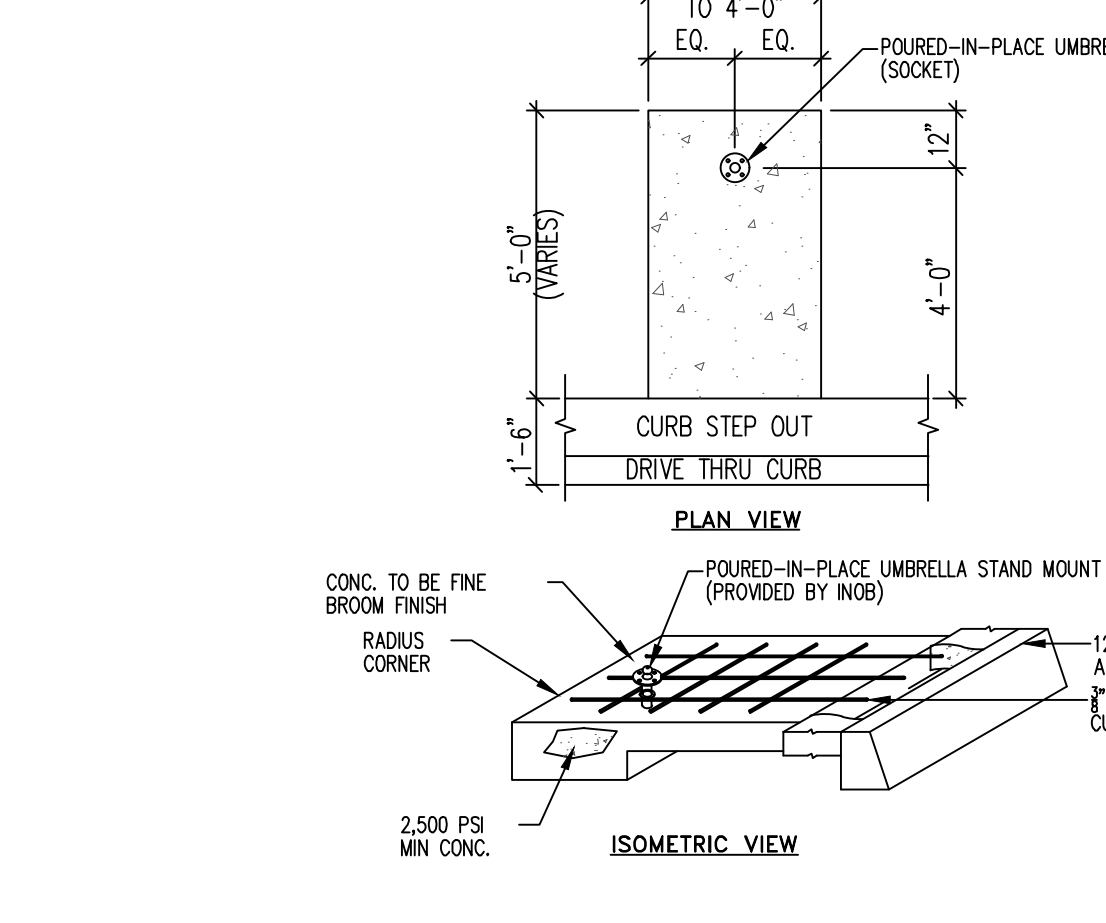
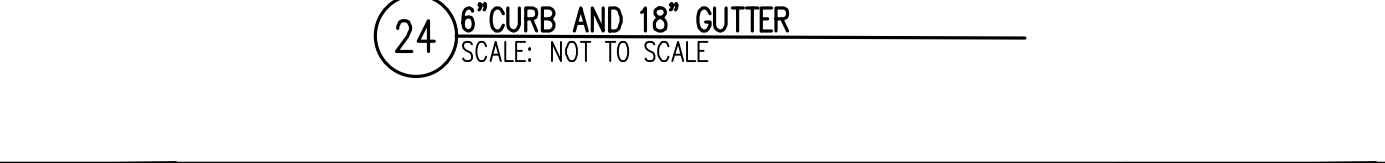
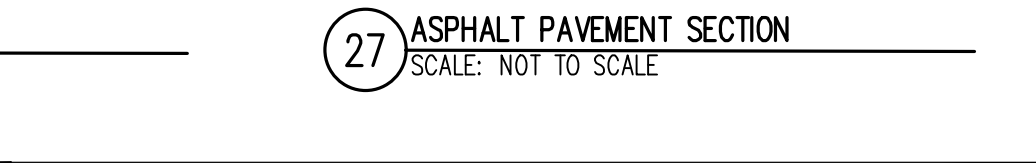
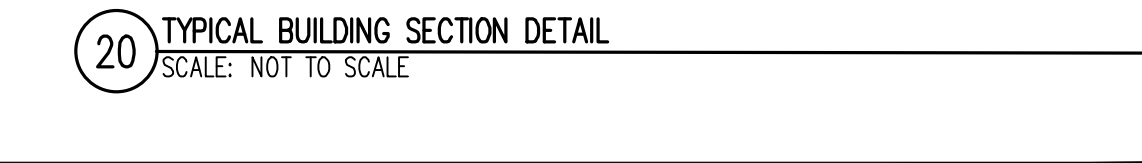
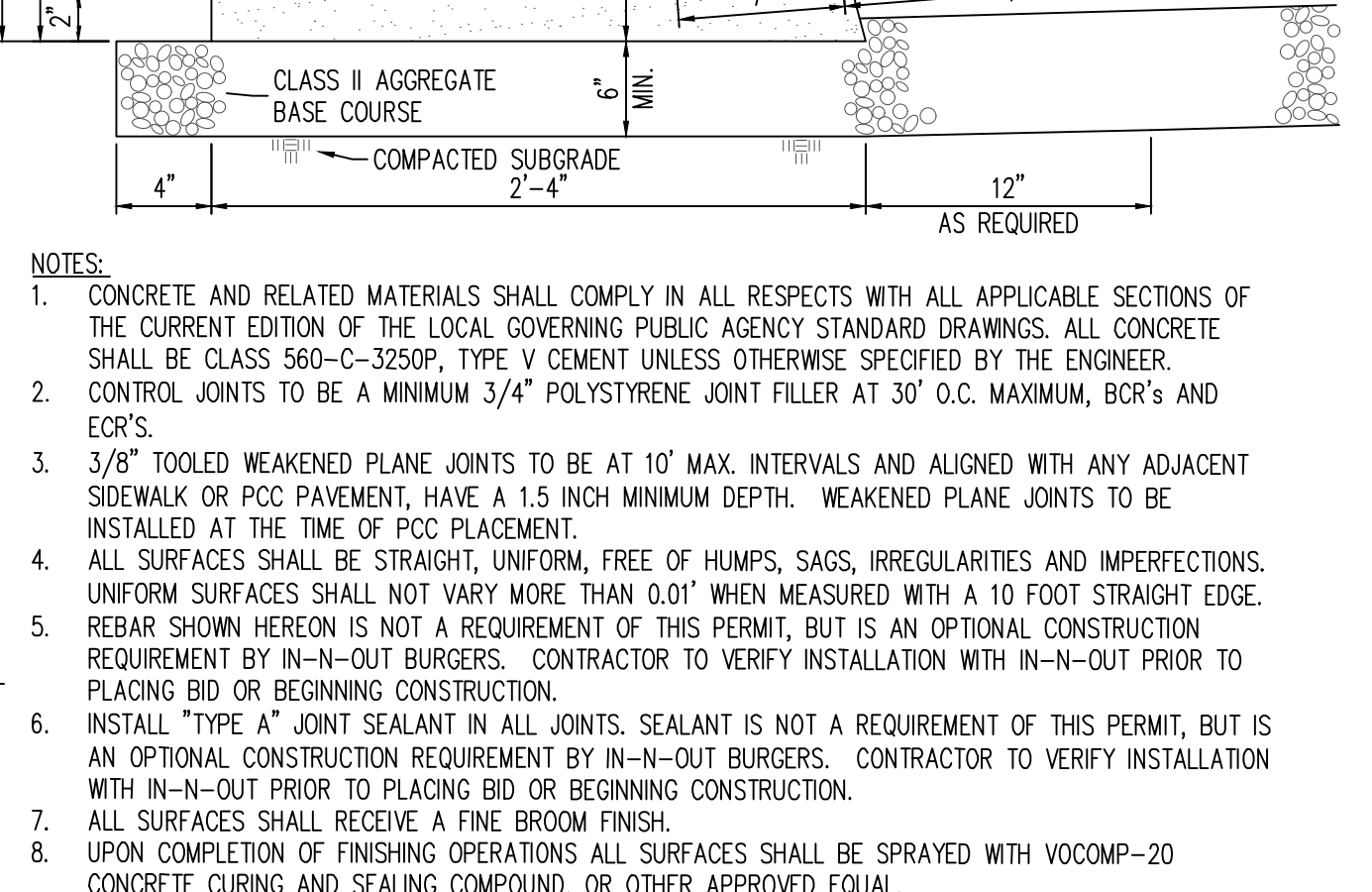
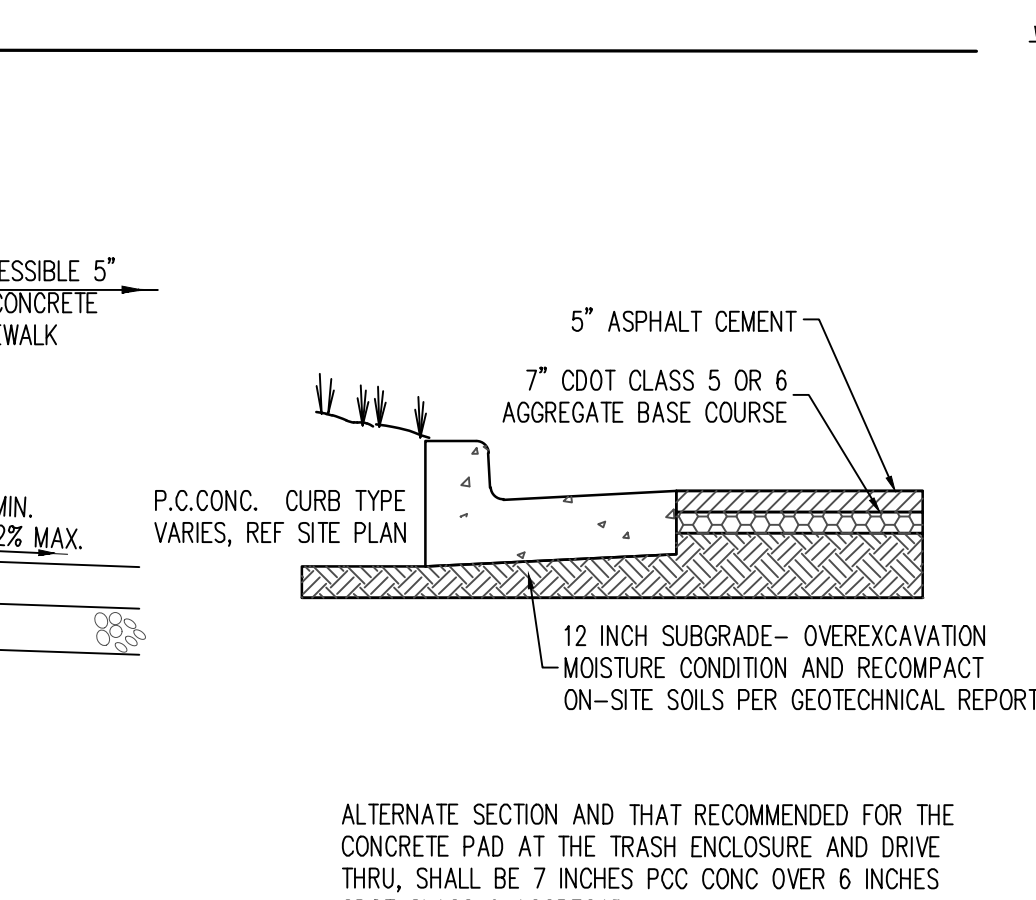
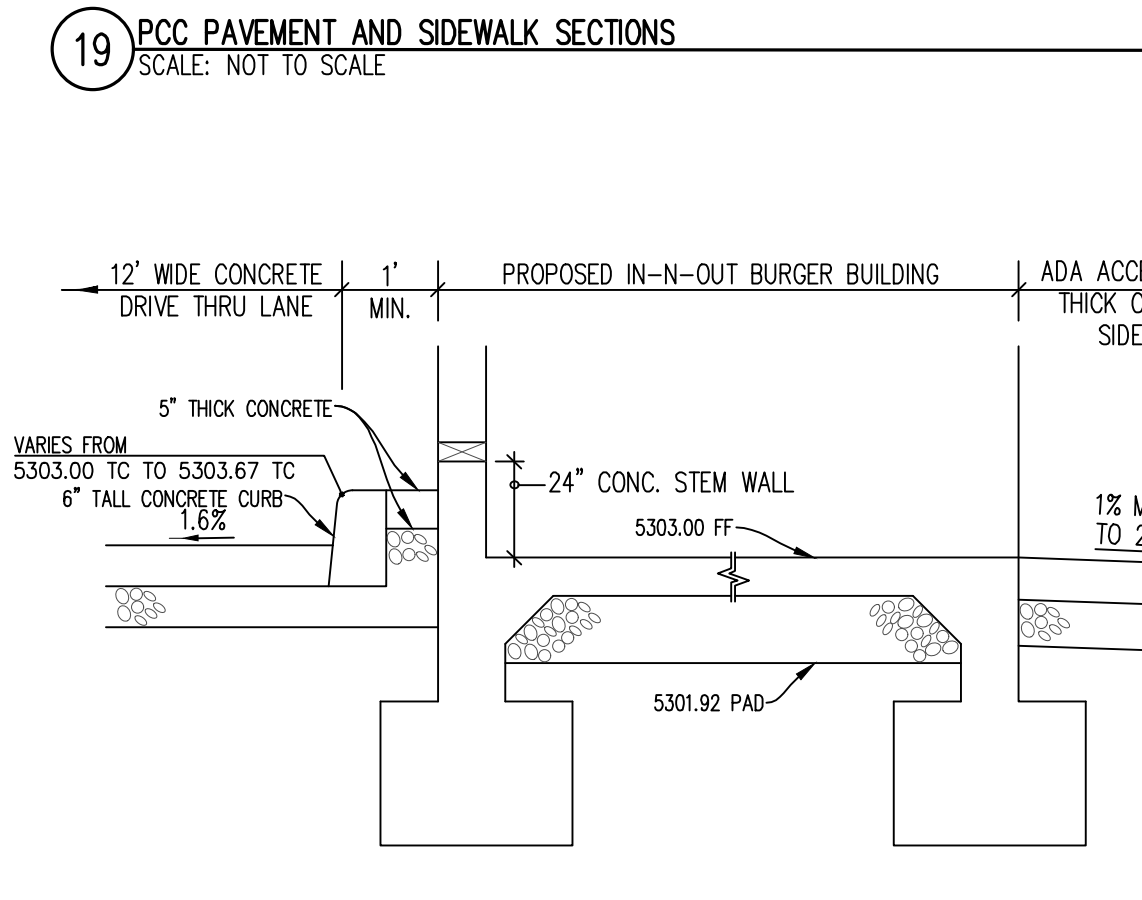
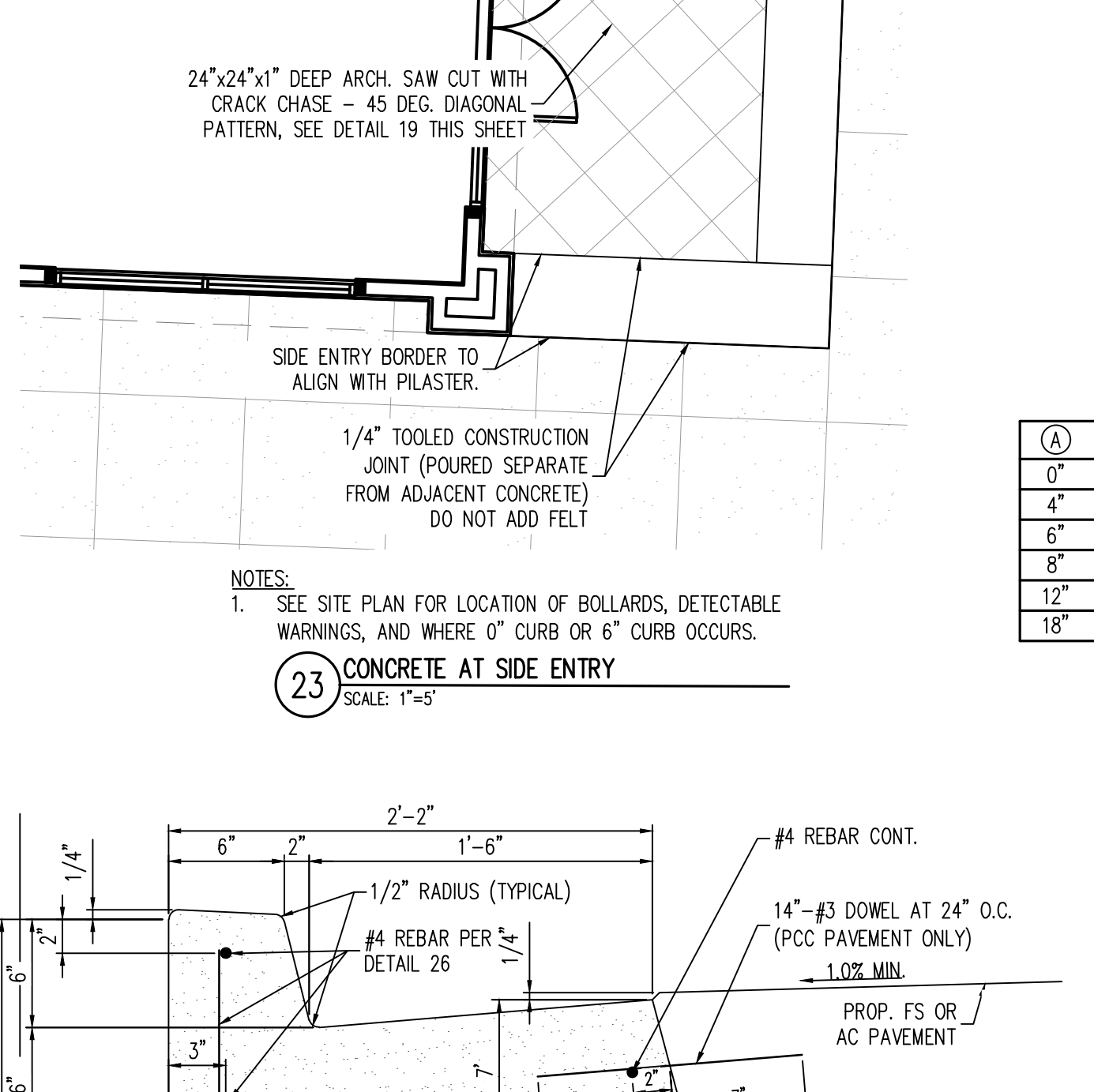
Project No: IN000014.20
Drawn By: JNE
Checked By: PJD
Date: 06/16/2023

SITE DETAILS



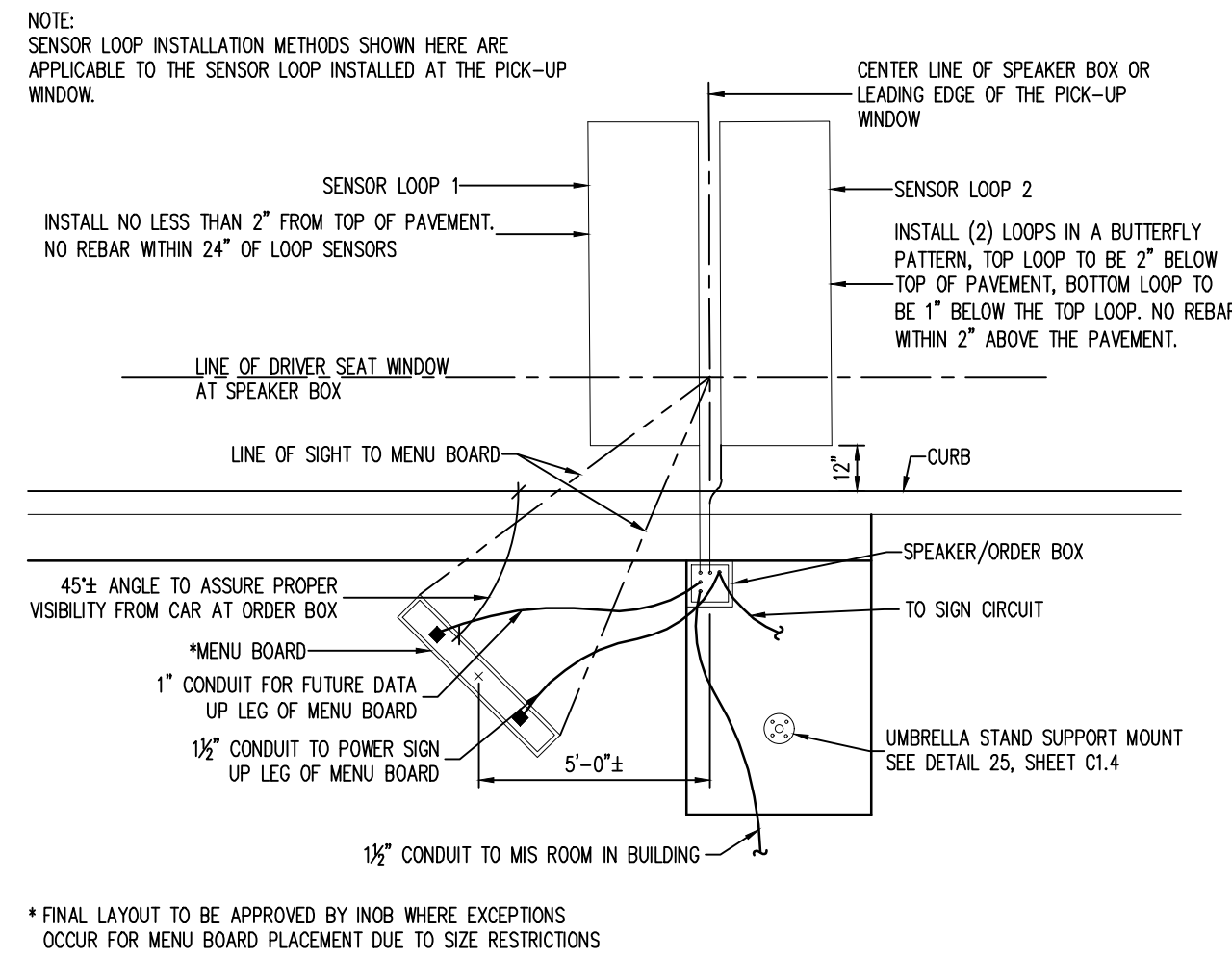
NOTES:

1. CONCRETE AND RELATED MATERIALS SHALL COMPLY IN ALL RESPECTS WITH ALL APPLICABLE SECTIONS OF THE CURRENT EDITION OF THE LOCAL GOVERNING PUBLIC AGENCY STANDARD DRAWINGS. ALL CONCRETE SHALL BE CLASS 560-C-3250P, TYPE V CEMENT UNLESS OTHERWISE SPECIFIED BY THE ENGINEER.
2. CONTROL JOINTS TO BE A MINIMUM 3/4\" POLYSTYRENE JOINT FILLER AT 30' O.C. MAXIMUM, BCR'S AND ECR'S.
3. 3/8\" TOoled WEAKENED PLANE JOINTS TO BE AT 10' MAX. INTERVALS AND ALIGNED WITH ANY ADJACENT CURB OR PCC PAVEMENT, HAVE A 1.5 INCH MINIMUM DEPTH AND THEY SHALL BE INSTALLED AT THE TIME OF PCC PLACEMENT.
4. ALL SURFACES SHALL BE STRAIGHT, UNIFORM, FREE OF HUMPS, SAGS, IRREGULARITIES AND IMPERFECTIONS. UNIFORM SURFACES SHALL NOT VARY MORE THAN 0.01\" WHEN MEASURED WITH A 10 FOOT STRAIGHT EDGE.
5. REBAR SHOWN HEREON IS NOT A REQUIREMENT OF THIS PERMIT, BUT IS AN OPTIONAL CONSTRUCTION REQUIREMENT BY IN-N-OUT BURGERS. CONTRACTOR TO VERIFY INSTALLATION WITH IN-N-OUT PRIOR TO PLACING BID OR BEGINNING CONSTRUCTION.
6. INSTALL \"TYPE A\" JOINT SEALANT IN ALL JOINTS. SEALANT IS NOT A REQUIREMENT OF THIS PERMIT, BUT IS AN OPTIONAL CONSTRUCTION REQUIREMENT BY IN-N-OUT BURGERS. CONTRACTOR TO VERIFY INSTALLATION WITH IN-N-OUT PRIOR TO PLACING BID OR BEGINNING CONSTRUCTION.
7. ALL SURFACES SHALL RECEIVE A FINE BROOM FINISH.
8. UPON COMPLETION OF FINISHING OPERATIONS ALL SURFACES SHALL BE SPRAYED WITH VOCOMP-20 CONCRETE CURING AND SEALING COMPOUND, OR OTHER APPROVED EQUAL.
9. WHEN SIDEWALK ABUTS ANY BUILDING OR TRASH ENCLOSURE ENTRANCE AND WHEN PCC PAVEMENT ABUTS TRASH ENCLOSURE ENTRANCE INSTALL 14\"-#3 DOWEL AT 24\" O.C.

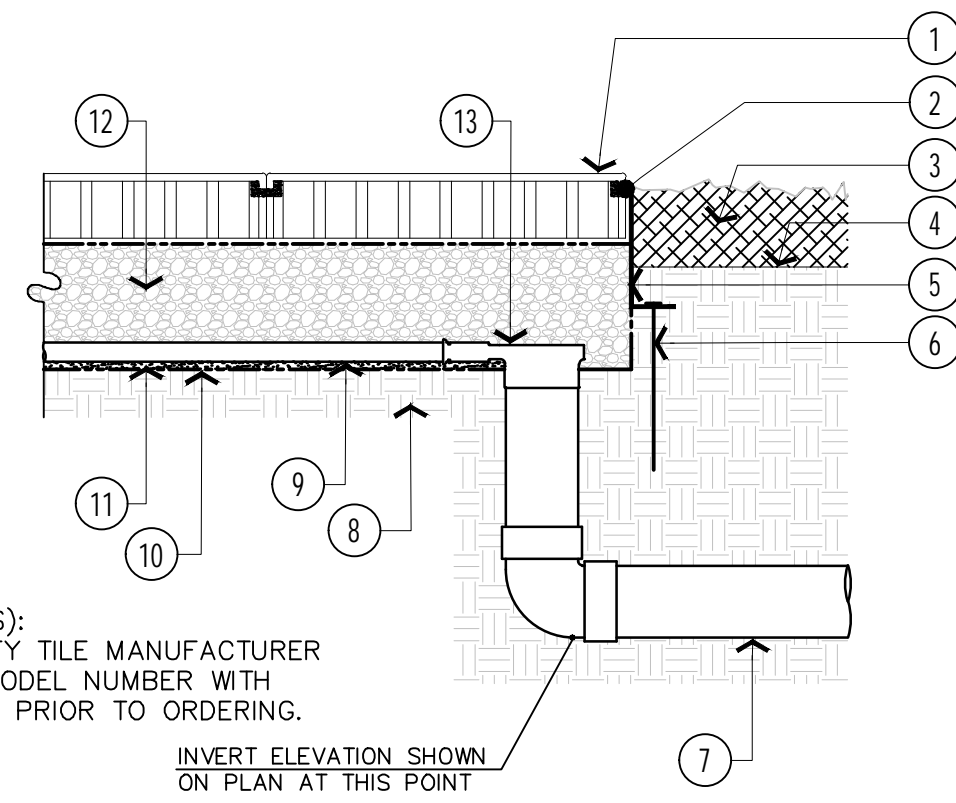


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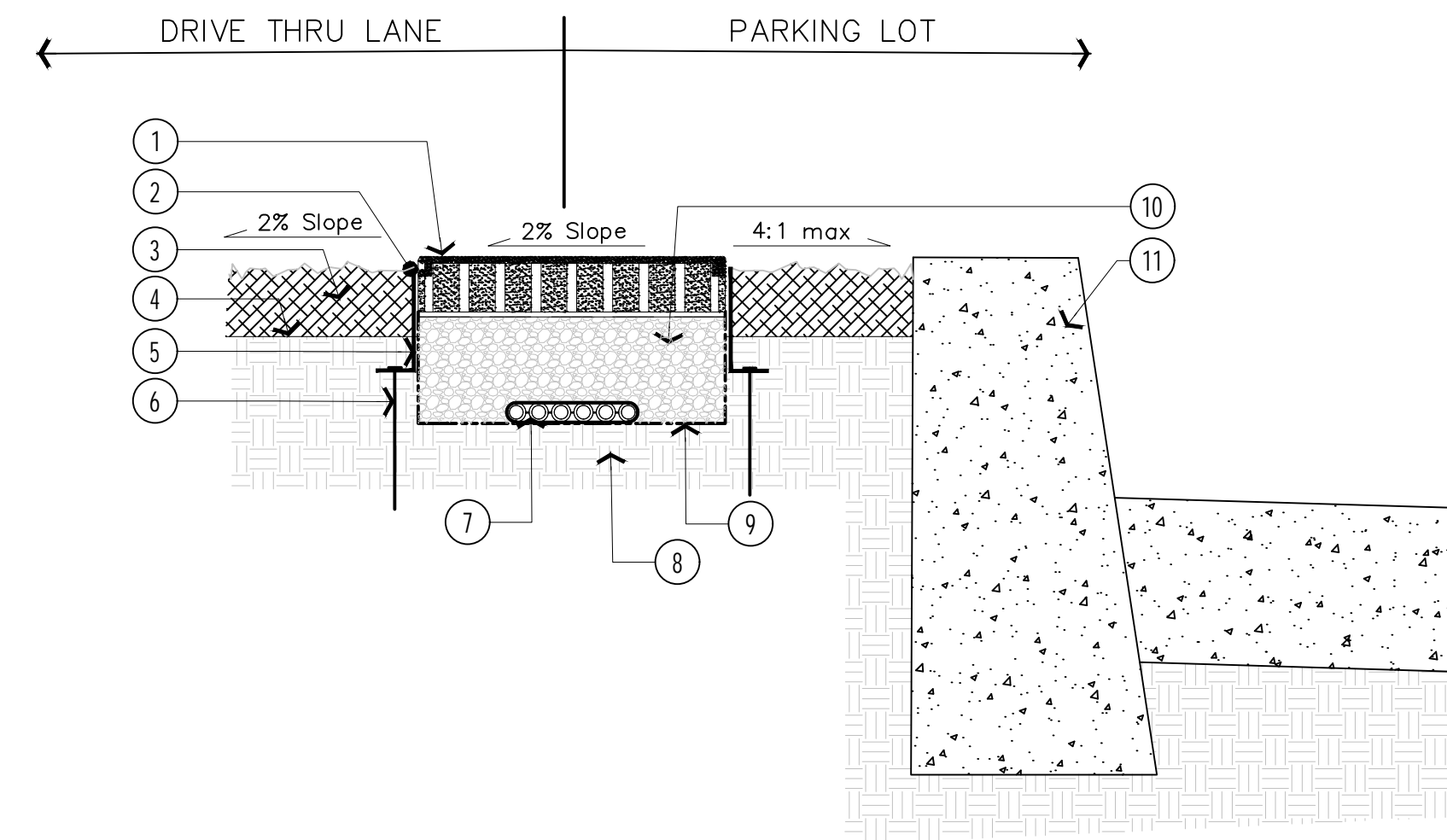


29 MENU BOARD, SPEAKER AND WHEEL DETECTOR LOOP PLACEMENT
SCALE: NOT TO SCALE



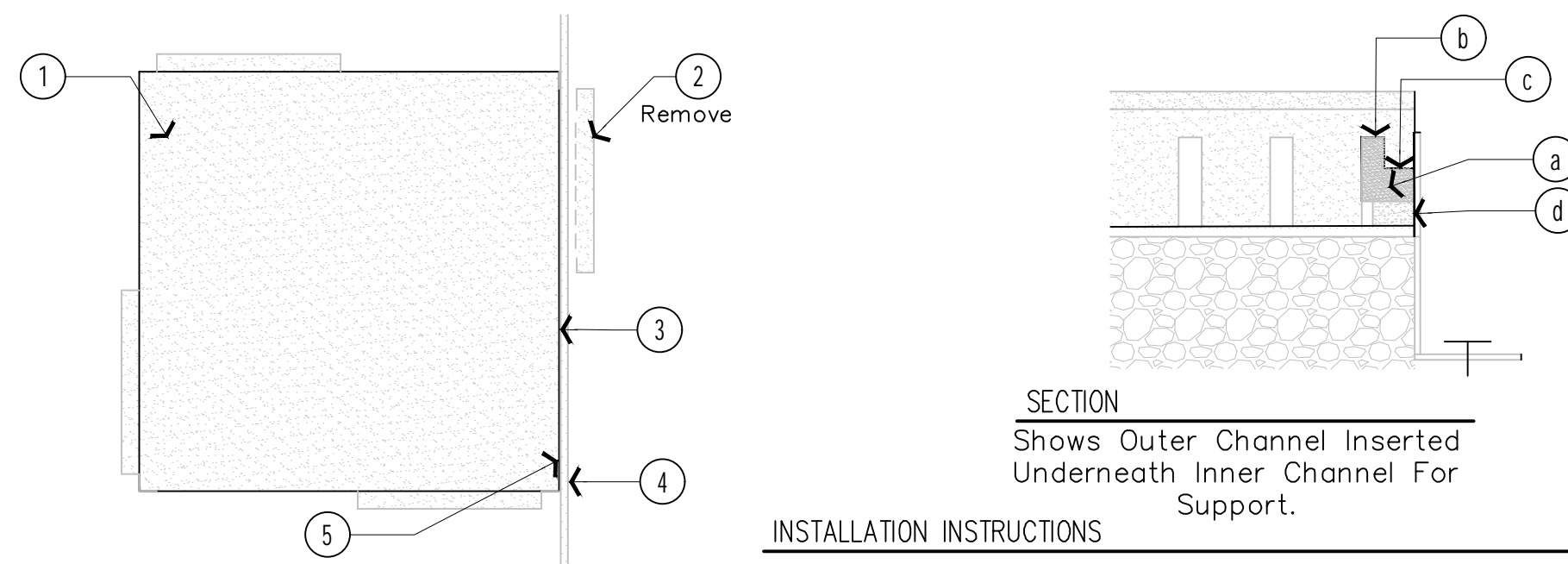
- LEGEND
- 1 RUBBER SAFETY SURFACING TILES (SEE SECTION).
 - 2 1/2" DIAMETER CONTINUOUS ADHESIVE BEAD ALONG LENGTH OF OUTSIDE FACE (FULL CONTACT).
 - 3 ADJACENT LANDSCAPE AREA / 2.5" MULCH OR OTHER SOIL COVERING. REFER TO PLANS.
 - 4 FINISH GRADE PER CIVIL PLANS.
 - 5 PERMALOC ASPHALT EDGE ALUMINUM RESTRAINT 4"x3" (COLOR: BLACK DURAFLEX) SET @ OR 1/2" MAX BELOW TOP OF PAVER.
 - 6 3/8" X 10" SPIRAL STEEL SPIKE @ 12" O.C. MIN. ADD EXTRA STAKES IN BETWEEN AS NEEDED FOR EXTRA STABILITY.
 - 7 4" SDR 35 PVC DRAINAGE PIPE, CONNECTED TO UNDERGROUND STORM DRAIN. INSTALL AT LOCATIONS PER PLAN AND AT LOW POINTS IF DIFFERENT.
 - 8 IN SOIL CONDITIONS THAT PREVENT A TIGHT SPIKE HOLD, REMOVE 12" OF SOIL AND REPLACE WITH CLAY LOAM COMPACTED TO 90% RELATIVE COMPACTION MINIMUM.
 - 9 MULTI-FLOW FLAT PANEL DRAIN BY VERICORE 6" MODEL, RUN LONGITUDINALLY ALONG ENTIRE WALK AND CONNECT TO ALL UNDERGROUND STORM DRAIN OUTLETS.
 - 10 SOIL SEPARATION FABRIC; ENCASE DRAINAGE AGGREGATE ON ALL SIDES. MIRAFI N OR EQUAL.
 - 11 1/2" SAND BEDDING (COARSE ANGULAR WASHED), COMPACT TO 90% RELATIVE COMPACTION MIN.
 - 12 4" MINIMUM 95% COMPACTED GRANULAR A (TYPE I, DRAINAGE AGGREGATE (3/4" MINUS) COMPACTION SHALL BE ACHIEVED WITH A VIBRATORY PLATE OR EQUAL MECHANICAL MEANS.
 - 13 MULTI-FLOW 6" SIDE OUTLET TO 3" SOLID PRODUCT #06043 OR #06053. INSTALL AT LOCATIONS PER PLAN AND AT LOW POINTS IF DIFFERENT.

A MULTI-FLOW DRAIN OUTLET TO UNDERGROUND STORM DRAIN NOT TO SCALE



- LEGEND
- 1 RUBBER SAFETY SURFACING TILES (SEE SECTION).
 - 2 1/2" DIAMETER CONTINUOUS ADHESIVE BEAD ALONG LENGTH OF OUTSIDE FACE (FULL CONTACT).
 - 3 ADJACENT LANDSCAPE AREA / 2.5" MULCH OR OTHER SOIL COVERING. REFER TO PLANS.
 - 4 FINISH GRADE PER CIVIL PLANS.
 - 5 PERMALOC ASPHALT EDGE ALUMINUM RESTRAINT 4"x3" (COLOR: BLACK DURAFLEX) SET @ OR 1/2" MAX BELOW TOP OF PAVER.
 - 6 3/8" X 10" SPIRAL STEEL SPIKE @ 12" O.C. MIN. ADD EXTRA STAKES IN BETWEEN AS NEEDED FOR EXTRA STABILITY.
 - 7 MULTI-FLOW FLAT PANEL DRAIN BY VERICORE 6" MODEL, RUN LONGITUDINALLY ALONG ENTIRE WALK. STOP @ ALL DRAIN DAYLIGHT COLLECTION AREAS. DRAIN SOCK SHALL OVER HANG OPENINGS TO PREVENT DEBRIS FROM ENTERING ENDS.
 - 8 IN SOIL CONDITIONS THAT PREVENT A TIGHT SPIKE HOLD, REMOVE 12" OF SOIL AND REPLACE WITH CLAY LOAM COMPACTED TO 90% RELATIVE COMPACTION MINIMUM.
 - 9 SOIL SEPARATION FABRIC; ENCASE DRAINAGE AGGREGATE ON ALL SIDES. MIRAFI N OR EQUAL.
 - 10 4" MINIMUM 95% COMPACTED GRANULAR A (TYPE I, DRAINAGE AGGREGATE (3/4" MINUS) COMPACTION SHALL BE ACHIEVED WITH A VIBRATORY PLATE OR EQUAL MECHANICAL MEANS.
 - 11 ELEVATED CURB AS NEEDED TO ACCOMMODATE 4:1 MAX CROSS SLOPE OF PLANTER, REFER TO CIVIL PLANS.

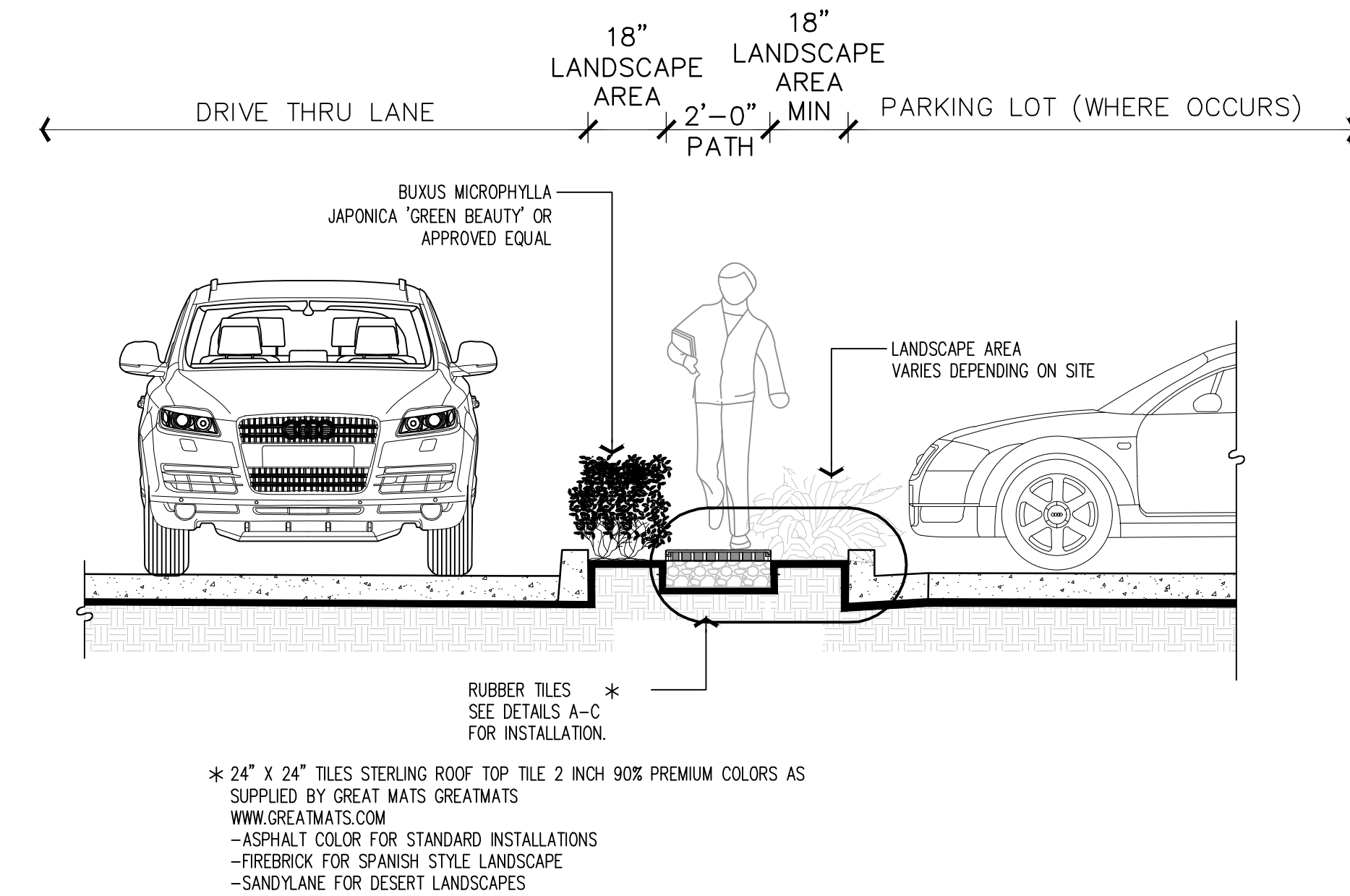
B SECTION AT SLOPE CONDITIONS NOT TO SCALE



- LEGEND
- 1 SAFETY SURFACING TILES (SEE SECTION)
 - 2 OUTER CHANNEL.
 - 3 INNER CHANNEL.
 - 4 VERTICAL SURFACE (ALUMINUM EDGING)
 - 5 APPLY ADHESIVE AGAINST TILE EDGE AND TO ALUMINUM EDGING/ CURB HARDSCAPE FACE (SEE SECTION FOR INSTALLATION INSTRUCTIONS).
- INSTALLATION INSTRUCTIONS
1. CUT OUTER CHANNEL (a) FLUSH WITH EDGE OF TILE TO ALLOW INSTALLATION AGAINST VERTICAL SURFACE.
 2. ROTATE AND INSERT OUTER CHANNEL (a) UNDERNEATH ADJACENT INNER CHANNEL (b).
 3. APPLY 1/2" DIAMETER CONTINUOUS BEAD OF SOFTILE ADHESIVE AT EACH CONNECTION JOINT (c) AND TO ALUMINUM EDGING/ CURB HARDSCAPE FACE TO HOLD OUTER CHANNEL IN PLACE (d).

C TILE AGAINST EDGE - INSTALLATION DETAIL NOT TO SCALE

30 ASSOCIATE PATH DETAIL
SCALE: NOT TO SCALE



SECTION
SCALE: 3/8"=1'-0"

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IN-N-OUT BURGER
CONSTRUCTION DOCUMENTS
PARKER & PINE FILING NO. 1, LOT 1

PARKER, CO 80134

#	Date	Issue / Description	Int.
1	12/21/2022	1ST CD SUBMITTAL	PJD
2	03/17/2023	2ND CD SUBMITTAL	PJD
3	04/26/2023	3RD CD SUBMITTAL	PJD
4	06/16/2023	4TH CD SUBMITTAL	PJD

Project No:	INO00014.20
Drawn By:	JNE
Checked By:	PJD
Date:	06/16/2023

SITE DETAILS

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CONSTRUCTION DOCUMENTS
PARKER & PINE FILING NO. 1, LOT 1

PARKER, CO 80134

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3	04/28/2023	3RD CD SUBMITTAL	PJD
4	06/16/2023	4TH CD SUBMITTAL	PJD

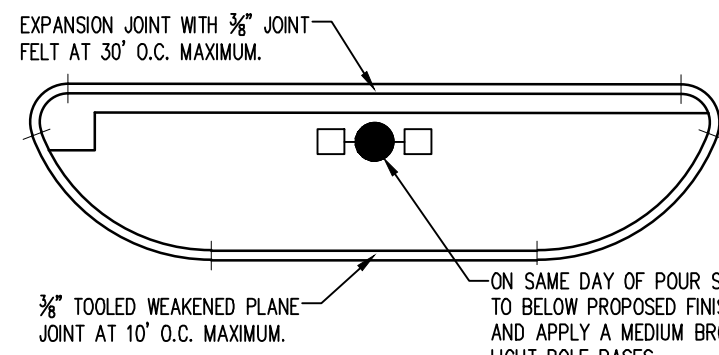
Project No:	INC000014.20
Drawn By:	JNE
Checked By:	PJD
Date:	06/16/2023

SITE DETAILS

C1.6

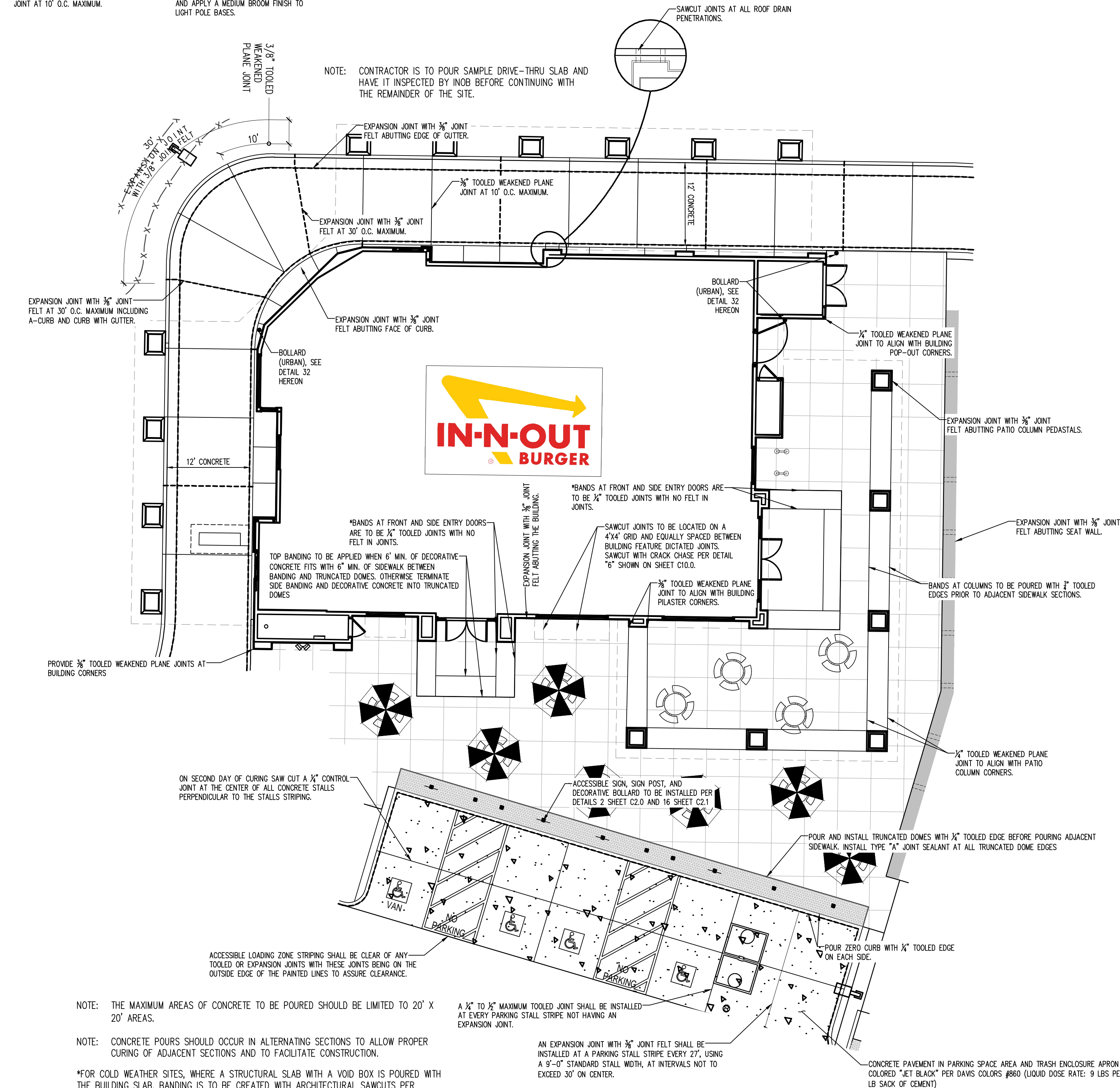
Sheet 9 of 36

NOTE: CONTRACTOR IS TO POUR SAMPLE PLANTER CURB AND HAVE IT INSPECTED BY INOB BEFORE CONTINUING WITH THE REMAINDER OF THE SITE.



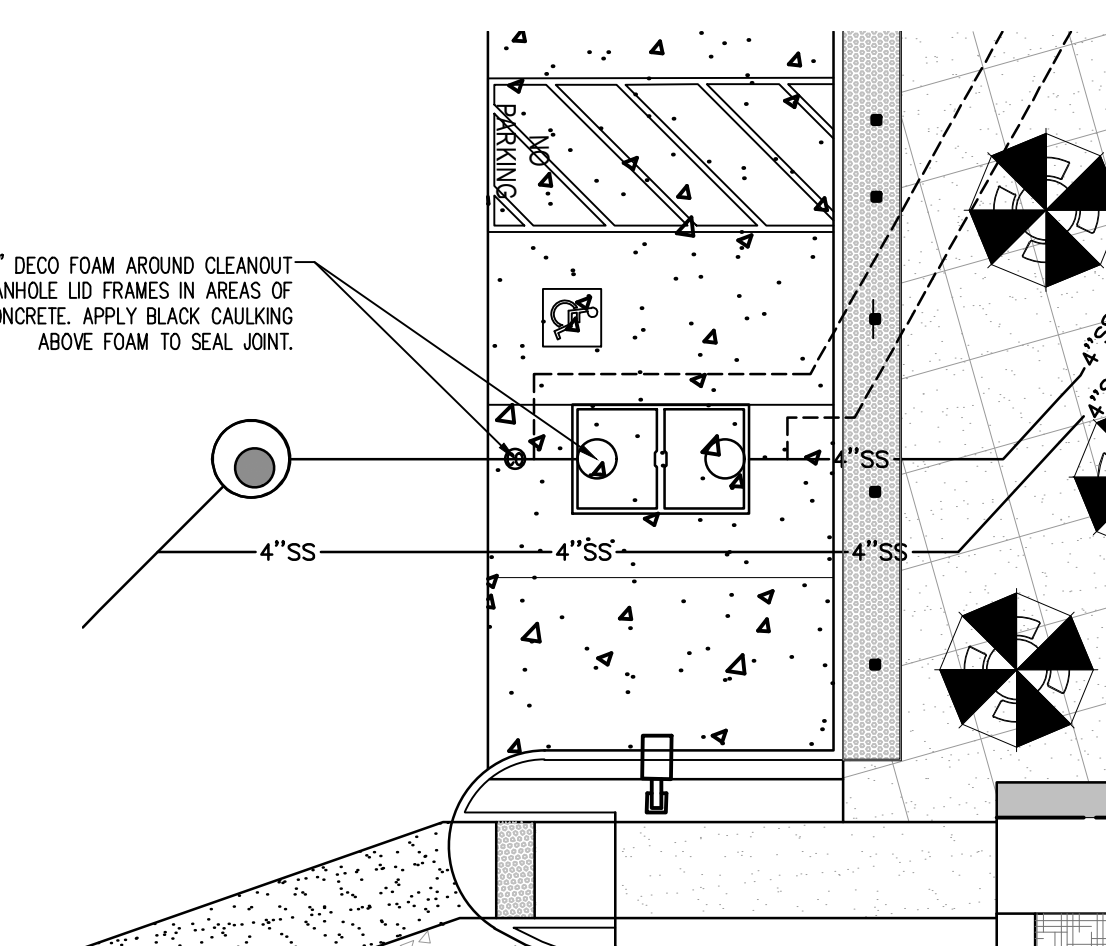
ON SAME DAY OF POUR STRIP SONOTUBE TO BELOW PROPOSED FINISHED GRADE AND APPLY A MEDIUM BROOM FINISH TO LIGHT POLE BASES.

NOTE: CONTRACTOR IS TO POUR SAMPLE DRIVE-THRU SLAB AND HAVE IT INSPECTED BY INOB BEFORE CONTINUING WITH THE REMAINDER OF THE SITE.

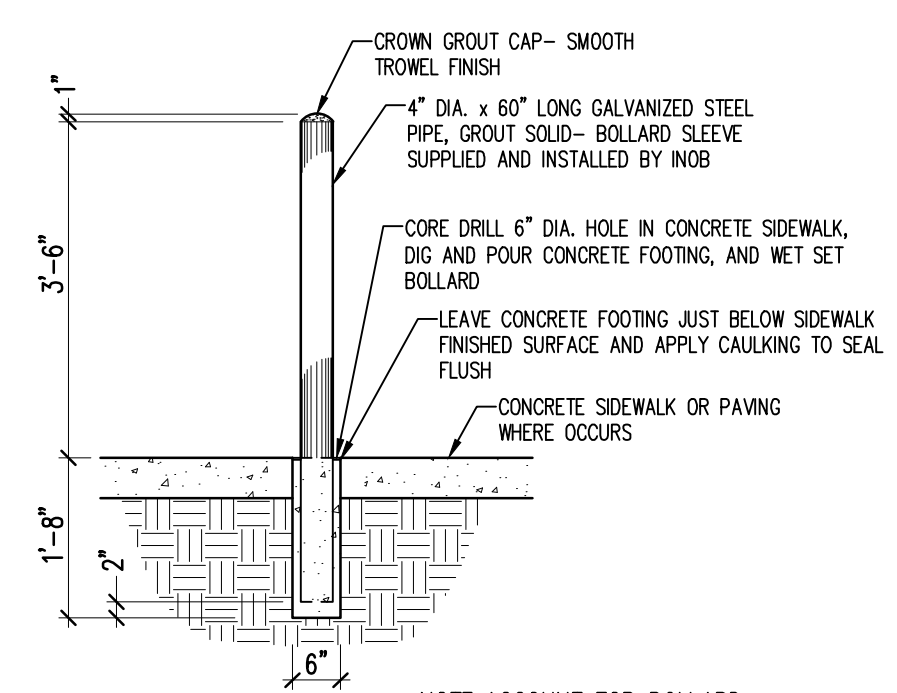
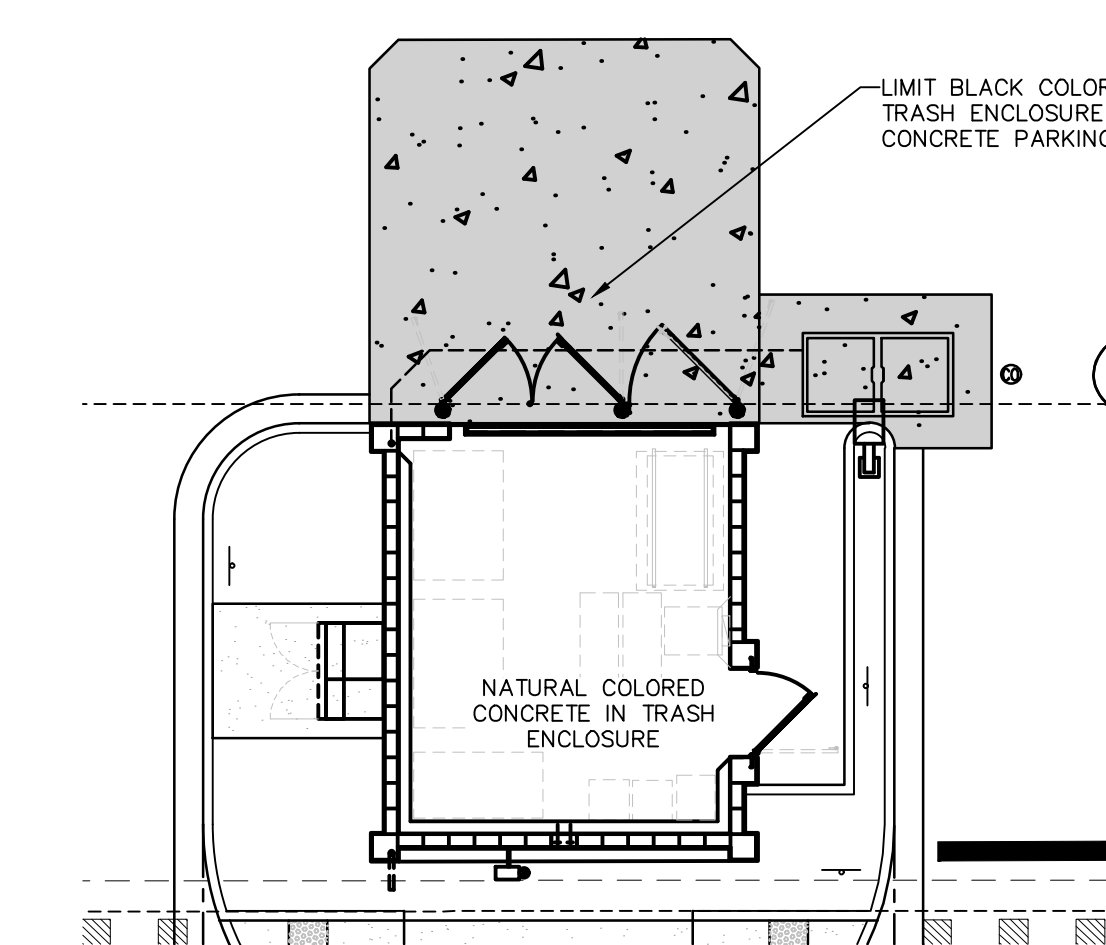


31 CONCRETE WORKMANSHIP DETAILS
SCALE: 1" = 10'

PROVIDE 3/8" DECO FOAM AROUND CLEANOUT AND MANHOLE LID FRAMES IN AREAS OF BLACK CONCRETE. APPLY BLACK CAULKING ABOVE FOAM TO SEAL JOINT.



LIMIT BLACK COLORED CONCRETE TO TRASH ENCLOSURE APRON AND CONCRETE PARKING STALLS.



32 BOLLARD DETAIL
SCALE: NOT TO SCALE

IN-N-OUT BURGER PROCESS FOR CONCRETE PLACEMENT

- PRIOR TO PLACEMENT OF STEEL REINFORCEMENT, ANY ADDITIONAL MATERIALS ADDED FOR FINE GRADING MUST BE PLACED WITH THE PROPER MOISTURE CONTENT AND ROLLED/COMPACTED TO THE SATISFACTION OF THE TESTING LAB.
- CONCRETE MIX AGGREGATE TO BE 1"x#4 TO MEET ASTM C-33 SIZE #57 SPECIFICATION.
- CONCRETE IS TO BE BOOM PUMPED WHEN POSSIBLE, OR PUMPED USING A 3" LINE TRAILER PUMP.
- REDWOOD IS NOT ALLOWED IN THE CONCRETE. 3/8" FIBER BOARD/FELT WITH A ZIP STRIP CAP SHALL BE USED AT ALL EXPANSION JOINTS. (THIS MEANS THAT THE CONCRETE MUST BE POURED IN SECTIONS BETWEEN EXPANSION JOINTS AND SET WITH FORMS, THEN THE SECTIONS BETWEEN THE POURED AREAS SHALL BE POURED (CHECKER BOARD PATTERN).)
- AN EXPANSION JOINT WITH 3/8" JOINT FELT SHALL BE INSTALLED ABUTTING THE BUILDING AND PATIO COLUMNS. PROVIDE A 3/8" TOOLED JOINT 3/4" DEEP AT BUILDING CORNERS.
- ALL BROOMING (LIGHT FINISH) SHALL BE CONSISTENT IN APPEARANCE. ALL EFFORTS SHOULD BE MADE TO NOT HAVE OBVIOUS START/STOP POINTS.
- APPLY A MEDIUM BROOM FINISH TO LIGHT POLE BASES AFTER STRIPPING SONOTUBES TO BELOW PROPOSED FINISHED GRADE.
- ALL SAW CUTS CONTRACTION/CONTROL JOINTS SHALL BE CUT WITH A SOFF CUT (EARLY ENTRY) SAW, SHALL BE 3/8" WIDE CUTS (BLADE WIDTH) x 1" DEEP, UNLESS NOTED OTHERWISE, AND THEN BEVELED WITH A 3/8" BEVELED CRACK CHASE. SEE DETAIL "19" ON SHEET C1.4.
- AFTER CUTTING THE CONTRACTION/CONTROL JOINTS, ALL SAWDUST MUST BE SWEEPED/CLEANED UP IN A TIMELY MANNER.
- ALL HOLES FOR BOLLARDS MUST BE SONOTUBED WITH SAND BACKFILL. CONCRETE IS TO BE POURED AROUND SONOTUBES. AFTER TRUNCATED DOMES ARE IN PLACE, CORE DRILL THROUGH AT LOCATIONS OF SONOTUBES. REMOVE SAND AND PLACE BOLLARD, BACKFILL AND CONCRETE INFILL WITH A SLIGHT DOME TO IT. PROVIDE 1/2" TOOLED JOINT AROUND THE EDGE.
- WHEN A MANHOLE OR CLEANOUT LANDS IN ASPHALT PAVING, PROVIDE A 12" WIDE COLLAR AROUND THE OUTSIDE OF THE LID FRAME.
- TOOLING AND KEEPING THE CONCRETE EVEN WITH THE TOP OF CLEAN-OUTS, GREASE TRAP LIDS, ETC., SHALL BE PAID PARTICULAR ATTENTION. PROVIDE A 1/4" TOOLED JOINT TO THE CONCRETE AROUND LID FRAMES.
- WHEN APPLYING CURING AND SEALING COMPOUND, IT SHALL BE CONSISTENT IN APPEARANCE. ALL EFFORTS SHOULD BE MADE TO NOT HAVE OBVIOUS START/STOP POINTS. APPLICATION IS TO BE DONE PER MANUFACTURERS RECOMMENDATION WITH UNIFORM COVERAGE.
- THE FOLLOWING JOINTS SHALL BE USED IN THE BLACK CONCRETE PARKING STALLS:
 - AN EXPANSION JOINT WITH 3/8" JOINT FELT SHALL BE INSTALLED AT A PARKING STALL STRIPE EVERY 27' USING A 9'-0" STANDARD STALL WIDTH AT INTERVALS NOT TO EXCEED 30' ON CENTER.
 - A 1/4" TO 1/2" MAXIMUM TOOLED JOINT SHALL BE INSTALLED AT EVERY PARKING STALL STRIPE NOT HAVING AN EXPANSION JOINT.
 - ON SECOND DAY OF CURING SAW CUT A 1/4" CONTROL JOINT AT THE CENTER OF ALL STALLS PERPENDICULAR TO THE STALLS STRIPING.
 - ACCESSIBLE LOADING ZONE STRIPING SHALL BE CLEAR OF ANY TOOLED OR EXPANSION JOINTS WITH THESE JOINTS BEING ON THE OUTSIDE EDGE OF THE PAINTED LINES TO ASSURE CLEARANCE.

NOTE: THE MAXIMUM AREAS OF CONCRETE TO BE POURED SHOULD BE LIMITED TO 20' X 20' AREAS.

NOTE: CONCRETE POURS SHOULD OCCUR IN ALTERNATING SECTIONS TO ALLOW PROPER CURING OF ADJACENT SECTIONS AND TO FACILITATE CONSTRUCTION.

*FOR COLD WEATHER SITES, WHERE A STRUCTURAL SLAB WITH A VOID BOX IS POURED WITH THE BUILDING SLAB, BANDING IS TO BE CREATED WITH ARCHITECTURAL SAWCUTS PER DETAIL "19" SHOWN ON SHEET C1.4. COORDINATE CONCRETE WORK WITH THE CONSTRUCTION OF THE STRUCTURAL SLAB PER DETAILS SHOWN ON THE STRUCTURAL DRAWINGS.

A 1/4" TO 1/2" MAXIMUM TOOLED JOINT SHALL BE INSTALLED AT EVERY PARKING STALL STRIPE NOT HAVING AN EXPANSION JOINT.

AN EXPANSION JOINT WITH 3/8" JOINT FELT SHALL BE INSTALLED AT A PARKING STALL STRIPE EVERY 27', USING A 9'-0" STANDARD STALL WIDTH, AT INTERVALS NOT TO EXCEED 30' ON CENTER.

CONCRETE PAVEMENT IN PARKING SPACE AREA AND TRASH ENCLOSURE APRON COLORED "JET BLACK" PER DAVIS COLORS #860 (LIQUID DOSE RATE: 9 LBS PER 94 LB SACK OF CEMENT)

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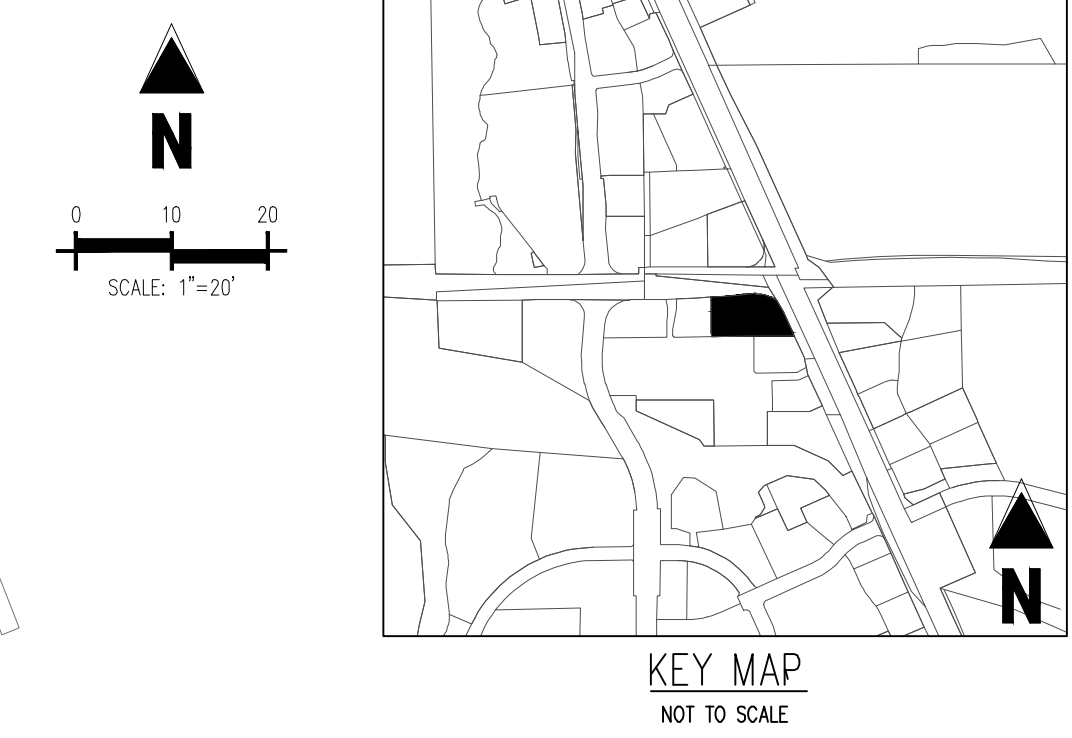
IN-N-OUT BURGER
CONSTRUCTION DOCUMENTS
PARKER & PINE FILING NO. 1, LOT 1
PARKER, CO 80134

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	03/17/2023	2ND CD SUBMITTAL	PJD
	04/26/2023	3RD CD SUBMITTAL	PJD
	06/16/2023	4TH CD SUBMITTAL	PJD

Project No: IN000001420
Drawn By: JNE
Checked By: PJD
Date: 06/16/2023

GRADING PLAN

C2.0
Sheet 11 of 36



GRADING LEGEND

---	PROPERTY LINE
---	EXISTING LOT LINE
---	PROPOSED LOT LINE
---	EXISTING EASEMENT
---	PROPOSED SAWTOOTH LINE
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	EXISTING CURB & GUTTER
---	PROPOSED CURB & GUTTER
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER (12" AND GREATER)
---	PROPOSED STORM SEWER (LESS THAN 12")
---	PROPOSED DAYLIGHT LINE
---	LIMITS OF DISTURBANCE / LIMIT OF CONSTRUCTION
---	BOTTOM OF EXCAVATION PLANE
---	EXISTING SIGN TO REMAIN
---	EXISTING BOLLARD TO REMAIN
---	EXISTING FIBER OPTIC BOX TO REMAIN
---	EXISTING FIBER OPTIC PEDESTAL TO REMAIN
---	EXISTING FIBER OPTIC MANHOLE TO REMAIN
---	EXISTING SANITARY SEWER MANHOLE TO REMAIN
---	EXISTING SANITARY SEWER CLEANOUT TO REMAIN
---	EXISTING STORM SEWER MANHOLE TO REMAIN
---	EXISTING WATER VALVE TO REMAIN
---	EXISTING ELECTRIC PEDESTAL TO REMAIN
---	EXISTING ELECTRIC BOX TO REMAIN
---	PROPOSED REMOTE FDC
---	PROPOSED FIRE HYDRANT
---	SURVEY MONUMENT
---	PROPOSED SPOT ELEVATION
---	FINISHED FLOOR
---	FINISHED GRADE
---	MATCH EXISTING
---	LOW POINT
---	HIGH POINT
---	TOP OF WALL
---	BOTTOM OF WALL (AT GRADE)

RETAINING WALL NOTES

1. ALL RETAINING WALL DETAILS TO BE FOUND ON SHEET C2.3

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

LEGAL DESCRIPTION

LOT 1, PARKER & PINE FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO

BENCHMARK

PUBLISHED BENCHMARK: ELEVATIONS ARE BASED ON A DOUGLAS COUNTY CONTROL MONUMENT, STATION NAME: CRAIN, BEING A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN CURBVERT, 25 FEET WEST OF THE EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY DENCE.

ELEVATION = 5734.25 FEET (NAVD 88) PUBLISHED BY DOUGLAS COUNTY

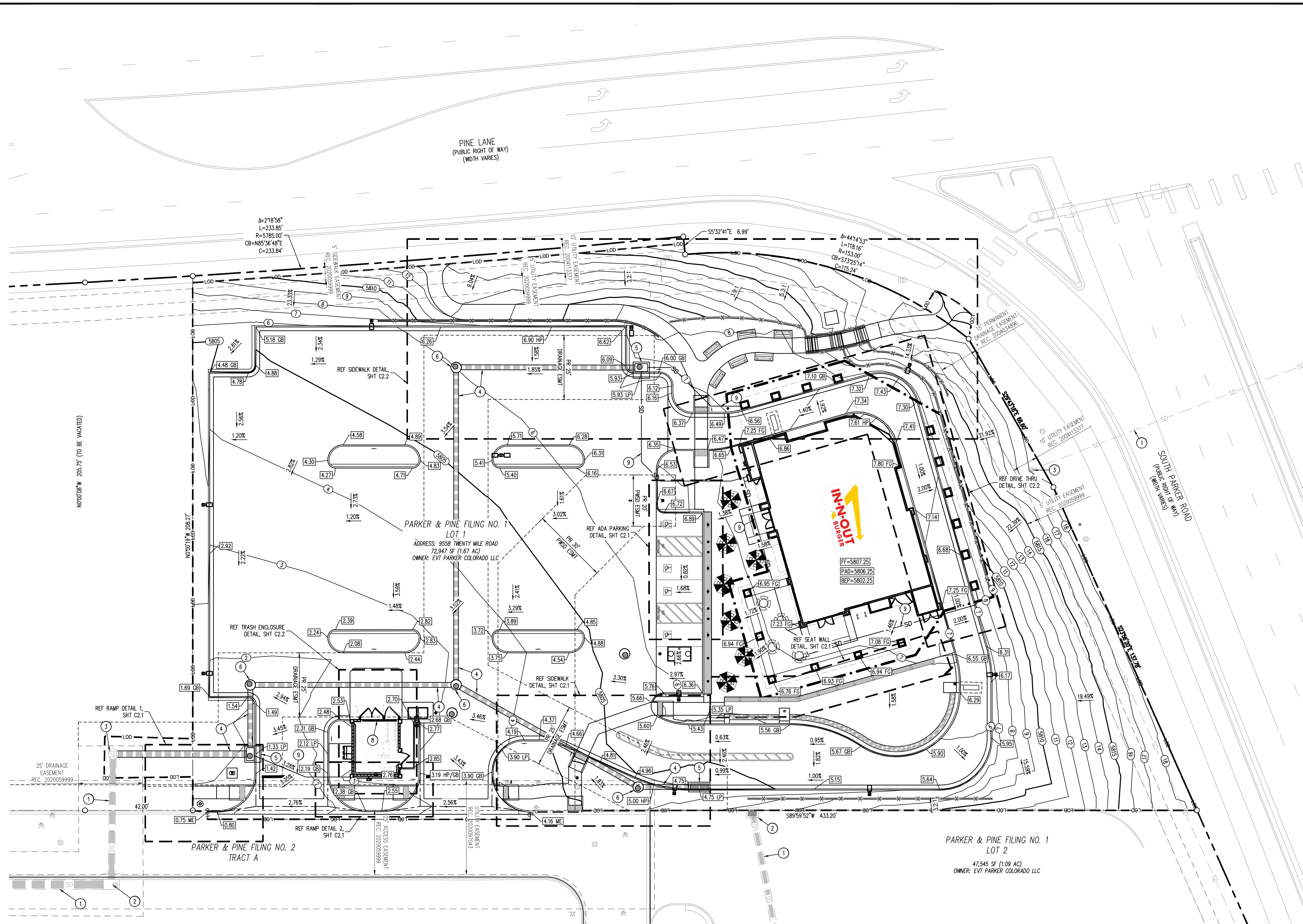
BASIS OF BEARING

BASES OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST BEARS N001°17'51"E, MONUMENTED BY THE SOUTHWEST CORNER OF SAID SECTION 10, BEING A 3-1/4 INCH ALUMINUM CAP STAMPED "LS 19003", AND MONUMENTED BY THE WEST QUARTER CORNER OF SAID SECTION 10, BEING A 3-1/4 INCH ALUMINUM CAP STAMPED "PLS 22561", AS SHOWN HEREON.

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



GRADING SCHEDULE

- EXISTING STORM SEWER
- EXISTING STORM SEWER INLET
- EXISTING STORM SEWER MANHOLE
- PROPOSED STORM SEWER (PRIVATE)
- PROPOSED STORM SEWER INLET (PRIVATE)
- PROPOSED STORM SEWER MANHOLE (PRIVATE)
- PROPOSED STORM SEWER ROOF DRAIN
- PROPOSED CONCRETE TRENCH DRAIN
- PROPOSED ROOF DRAIN

EARTHWORK SUMMARY

EARTHWORK VOLUMES COMPARED PROPOSED FINISHED GRADE TO EXISTING GRADE AND DOES NOT ACCOUNT FOR MATERIAL VOLUMES DUE TO PAVEMENT DEPOT, CONCRETE DEPTH, ETC.
UNADJUSTED CUT = 6,713.16 CU. YD.
UNADJUSTED FILL = 55.73 CU. YD.
NET CUT/FILL = 6,657.43 CU. YD. <FILL>
TOTAL DISTURBED AREA = 2.167 ACRES

GRADING NOTES

- ADD 5.800 TO ALL SPOT GRADE ELEVATIONS.
- REQUIREMENTS SHOWN ON SITE PLAN SHALL GOVERN, DRAWINGS AND SPECIFICATIONS SHOWING OTHERWISE NOTWITHSTANDING. CONTRACTOR TO POINT OUT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BID.
- CONTRACTOR MUST OBTAIN ALL STATE AND CITY STORM WATER DISCHARGE AND EROSION CONTROL PERMITS PRIOR TO ANY DISTURBANCE AND/OR GRADING ACTIVITY.
- ALL FILL IN OLD TANK AREAS, OLD BASEMENTS, CESSPOOLS, OTHER EXCAVATIONS AND INSIDE BUILDING TO BE APPROVED BY GEOTECHNICAL ENGINEER.
- FINAL GRADES ARE SUBJECT TO MINOR CHANGE BY COMPANY REPRESENTATIVE. NO GRADE CHANGES IN EXCESS OF 0.05' WITHOUT COMPANY APPROVAL.
- ANY FILL MATERIAL REQUIRED TO BRING THE SITE TO GRADE SHALL BE CLEAN FILL DIRT APPROVED BY GEOTECHNICAL ENGINEER AND SHALL BE PLACED AND COMPACTED PER GEOTECHNICAL REPORT RECOMMENDATIONS.
- SET PROPERTY CORNER PINS IN CONCRETE. IF PROPERTY CORNERS ARE DESTROYED BY CONTRACTOR, THE CONTRACTOR SHALL BEAR THE EXPENSE OF RELOCATION CORNERS BY A REGISTERED SURVEYOR.
- THIS DESIGN IS BASED ON A GEOTECHNICAL INVESTIGATION. A COPY OF THIS REPORT IS AVAILABLE FOR INSPECTION BY THE CONTRACTORS.
- ALL SPOT GRADES ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DEPOSITION OF ONSITE SEDIMENTS ONTO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION.
- ALL LANDSCAPING AREAS SHALL BE GRADED TO WITHIN 0.10' WITH COMPANY APPROVED TOP SOIL TO A MINIMUM 6" DEPTH.
- GENERAL CONTRACTOR TO PROVIDE BARRICADE PROTECTION WITH FLASHING LIGHTS AROUND ALL FOOTINGS, EXCAVATIONS AND ALL OFFSITE WORK.
- PROPOSED FLOWLINE ELEVATION DOES NOT TAKE INTO ACCOUNT GUTTER DEPRESSION AT INLET.
- THE GRADING SHOWN IS PRELIMINARY AND IS TO BE FINALIZED IN THE CONSTRUCTION DRAWINGS.

SOIL PREPARATION AND PAVEMENT DESIGN NOTE
SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS: GEOTECHNICAL ENGINEERING EXPLORATION AND ANALYSIS: PROPOSED IN-N-OUT BURGER SOUTH PARKER RD & PINE LANE
GEOTECHNICAL ENGINEER: _____
PROJECT NO: _____ DATE: _____
THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

P:\Projects\2023\11-2023-Parker & Pine\CD\11-2023-Parker & Pine - Construction\11-2023-Parker & Pine - Grading\11-2023-Parker & Pine - Grading - C2.0.dwg

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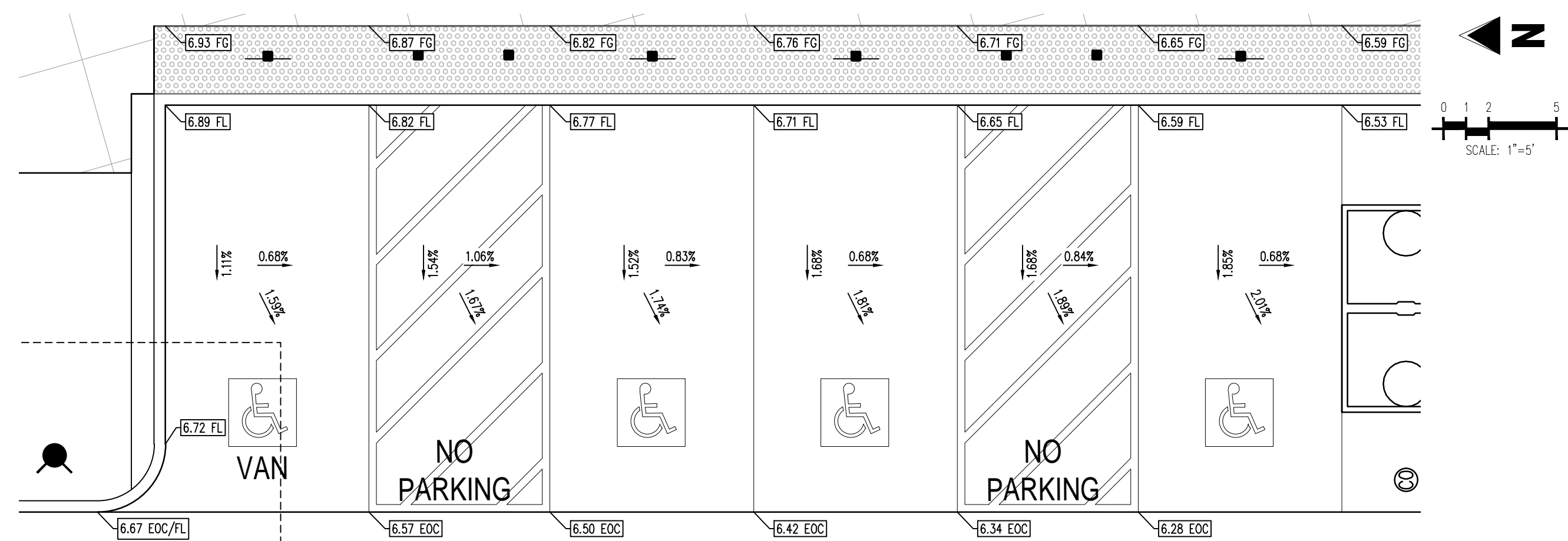


IN-N-OUT BURGER
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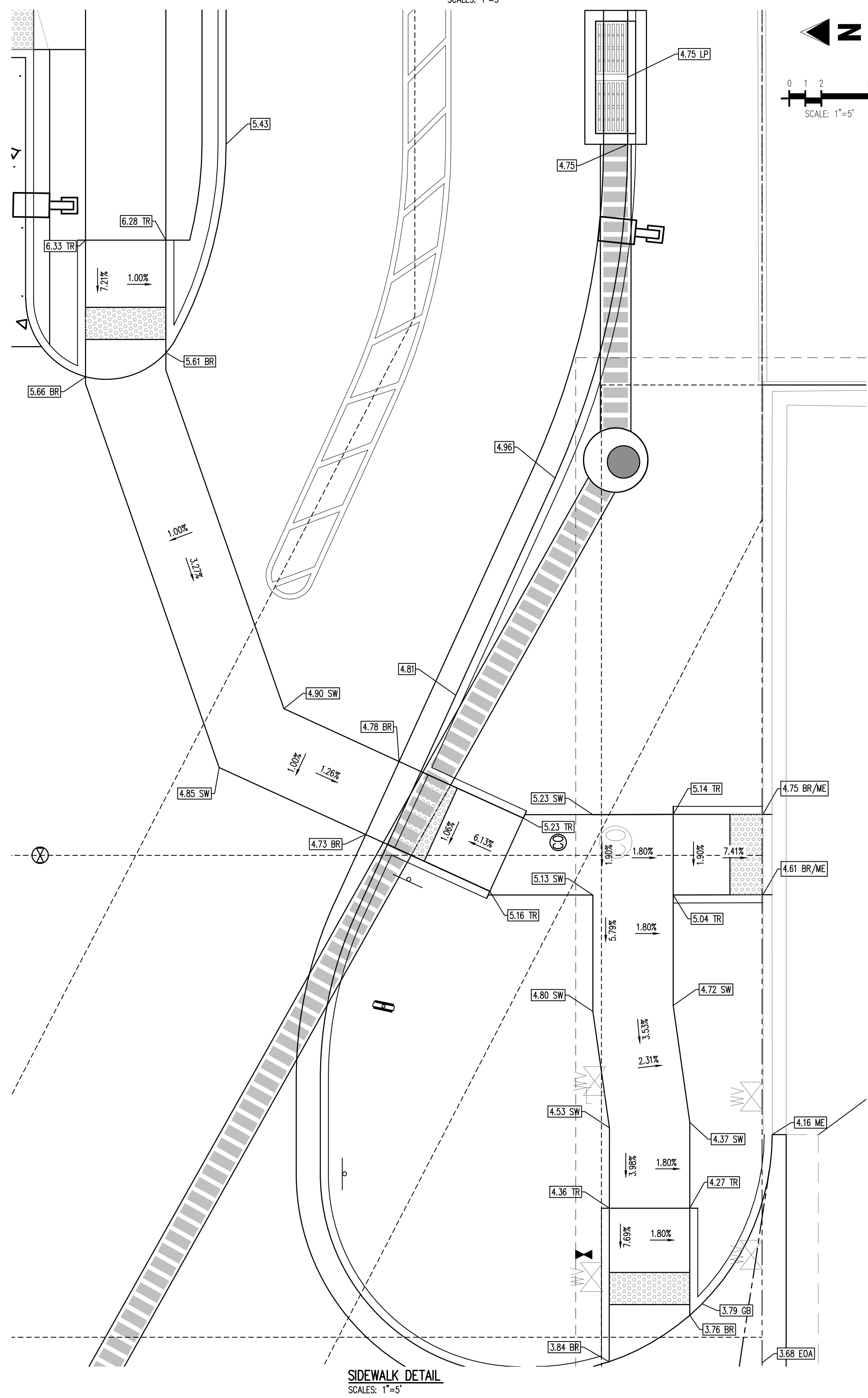
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Project No:	IN0000014-20
Drawn By:	JNE
Checked By:	PJD
Date:	06/16/2023

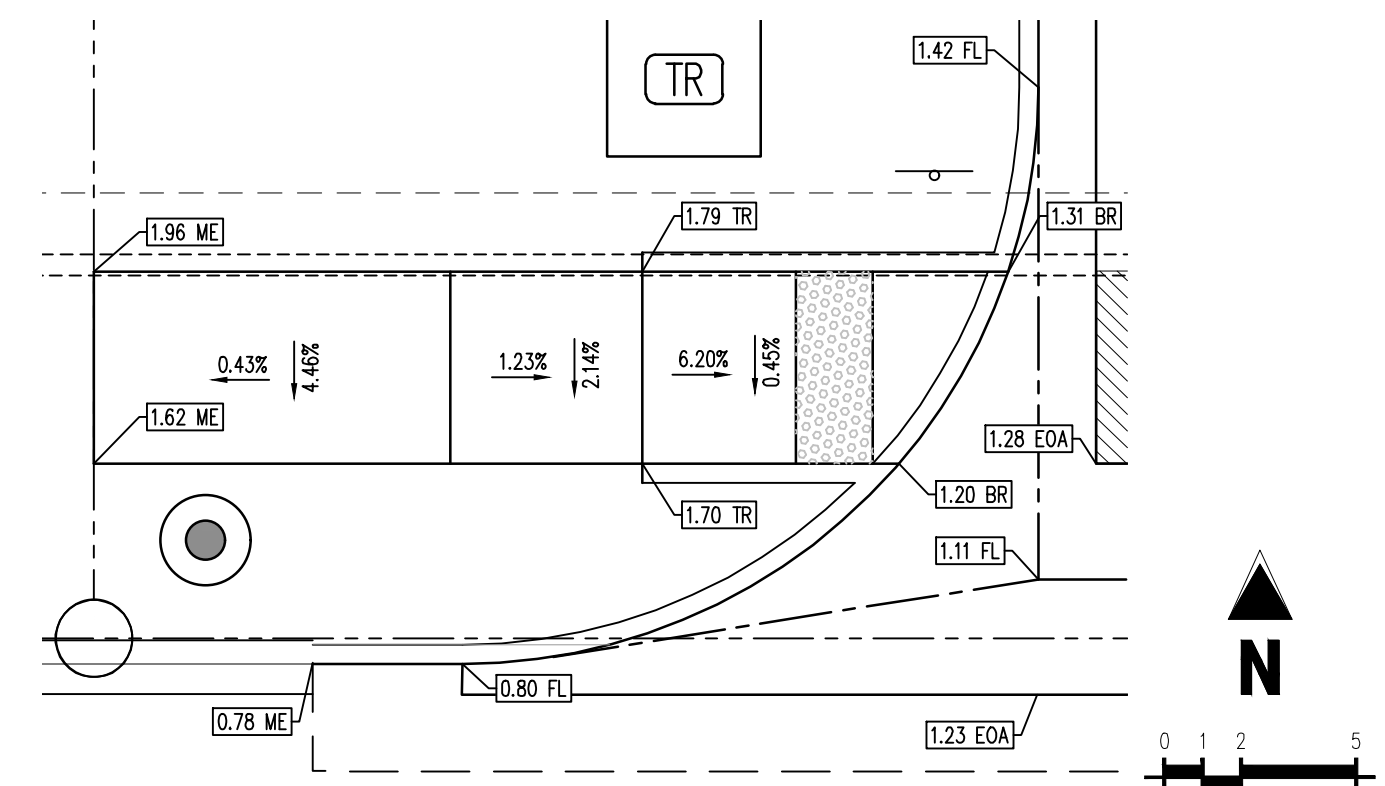
GRADING DETAILS



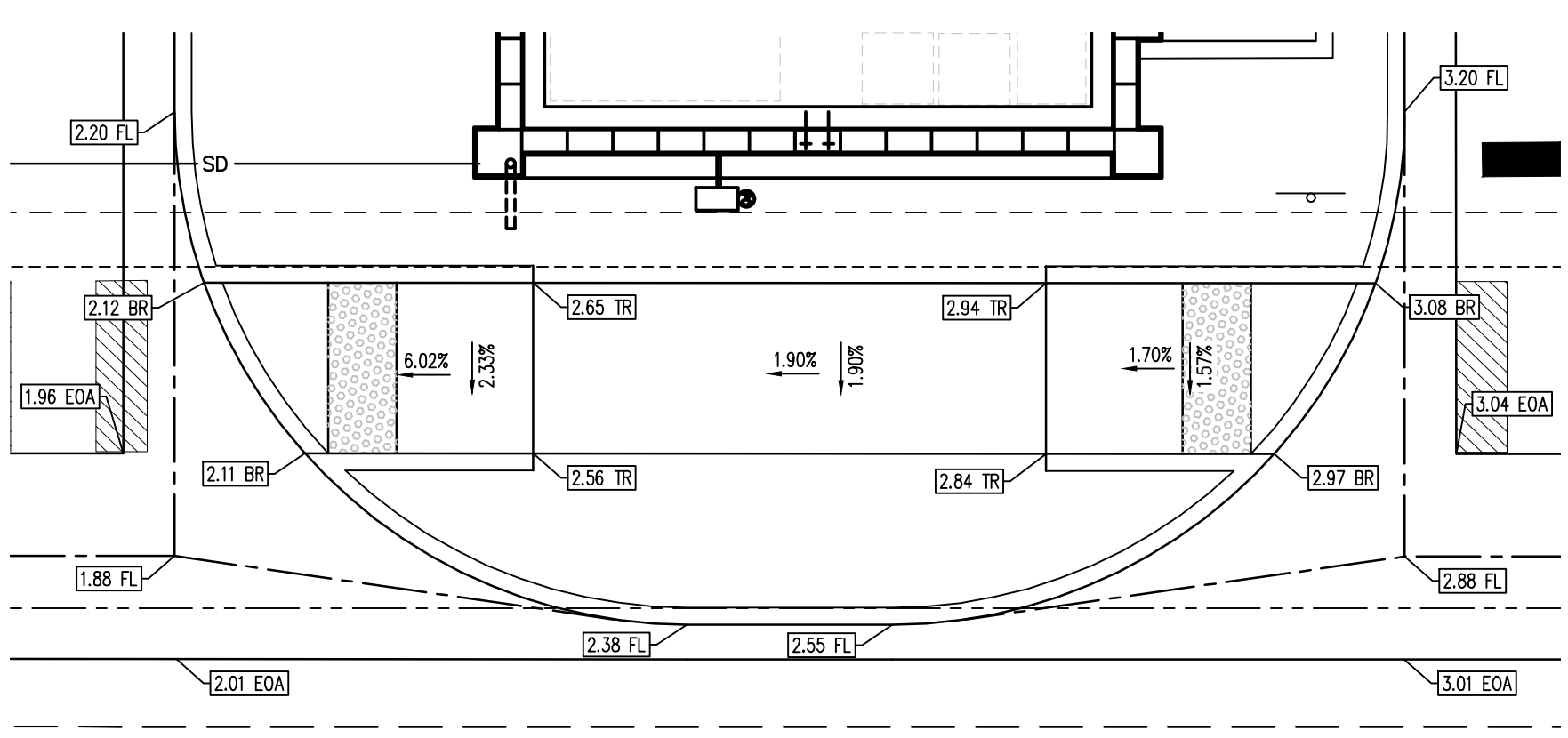
ADA PARKING DETAIL
SCALE: 1"=5'



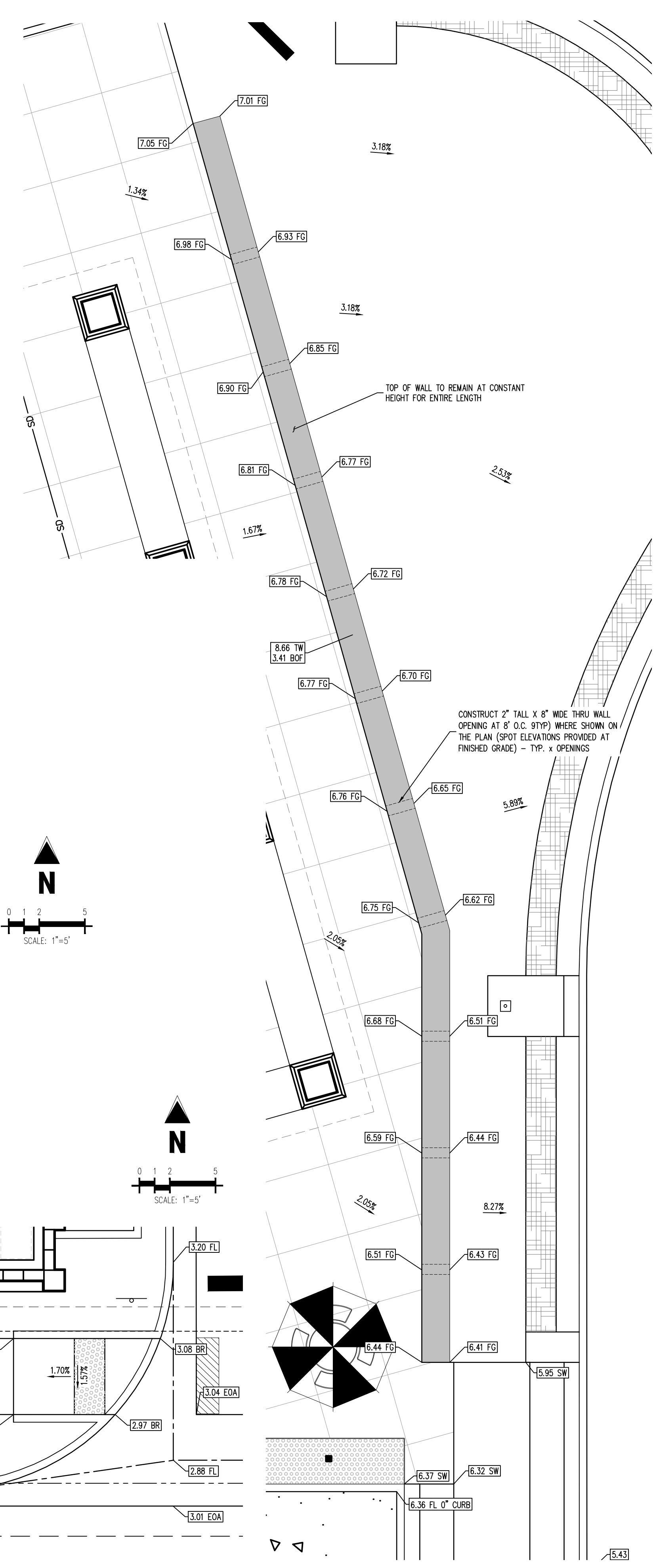
SIDEWALK DETAIL
SCALE: 1"=5'



RAMP DETAIL 1
SCALE: 1"=5'



RAMP DETAIL 2
SCALE: 1"=5'



SEAT WALL DETAIL
SCALE: 1"=5'

SOIL PREPARATION AND PAVEMENT DESIGN NOTE
SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS: GEOTECHNICAL ENGINEERING EXPLORATION AND ANALYSIS: PROPOSED IN-N-OUT BURGER SOUTH PARKER RD & PINE LANE.
PROJECT NO: DATE:
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- GRADING NOTES**
- ADD 5,800 TO ALL SPOT GRADE ELEVATIONS.
 - REQUIREMENTS SHOWN ON SITE PLAN SHALL GOVERN DRAWINGS AND SPECIFICATIONS SHOWING OTHERWISE NOTWITHSTANDING. CONTRACTOR TO POINT OUT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BID.
 - CONTRACTOR MUST OBTAIN ALL STATE AND CITY STORM WATER DISCHARGE AND EROSION CONTROL PERMITS PRIOR TO ANY DISTURBANCE AND/OR GRADING ACTIVITY.
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 - SET PROPERTY CORNER PINS IN CONCRETE. IF PROPERTY CORNERS ARE DESTROYED BY CONTRACTOR, THE CONTRACTOR SHALL BEAR THE EXPENSE OF RELOCATION CORNERS BY A REGISTERED SURVEYOR.
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 - ALL LANDSCAPING AREAS SHALL BE GRADED TO WITHIN 0.10' WITH COMPANY APPROVED TOP SOIL TO A MINIMUM 6" DEPTH.
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TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

LEGAL DESCRIPTION
LOT 1, PARKER & PINE FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO

BENCHMARK
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ELEVATION = 5734.25 FEET (NAVD 88) PUBLISHED BY DOUGLAS COUNTY

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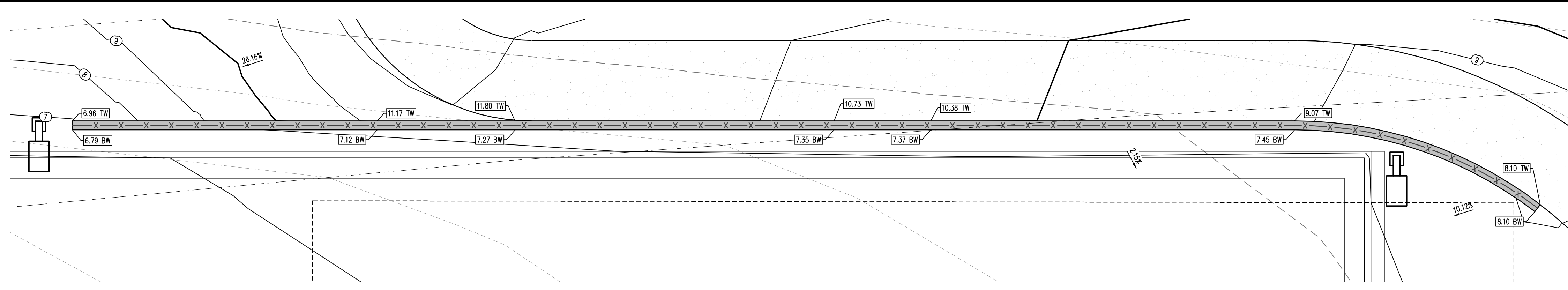
IN-N-OUT BURGER
CONSTRUCTION DOCUMENTS
PARKER & PINE FILING NO. 1, LOT 1
PARKER, CO 80134

#	Date	Issue / Description	Init.
1	12/21/2022	1ST CD SUBMITTAL	PJD
2	03/12/2023	2ND CD SUBMITTAL	PJD
3	04/26/2023	3RD CD SUBMITTAL	PJD
4	06/16/2023	4TH CD SUBMITTAL	PJD

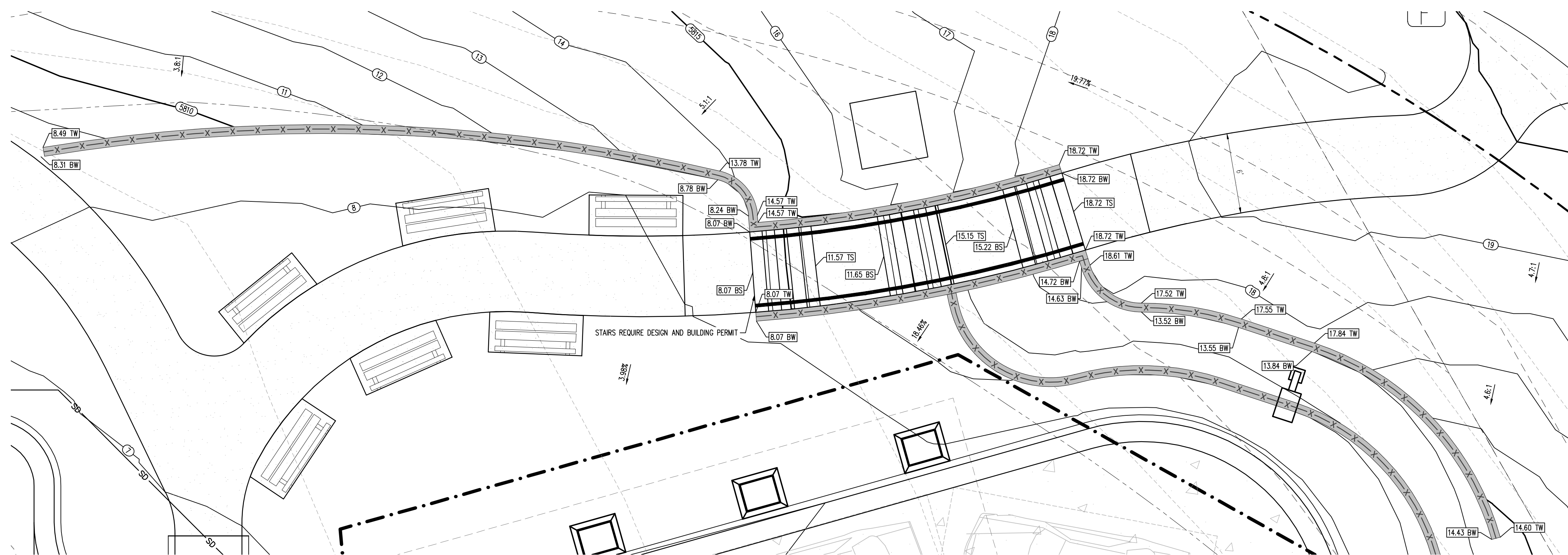
Project No:	IN0000014-20
Drawn By:	JNE
Checked By:	PJD
Date:	06/16/2023

RETAINING WALL DETAILS

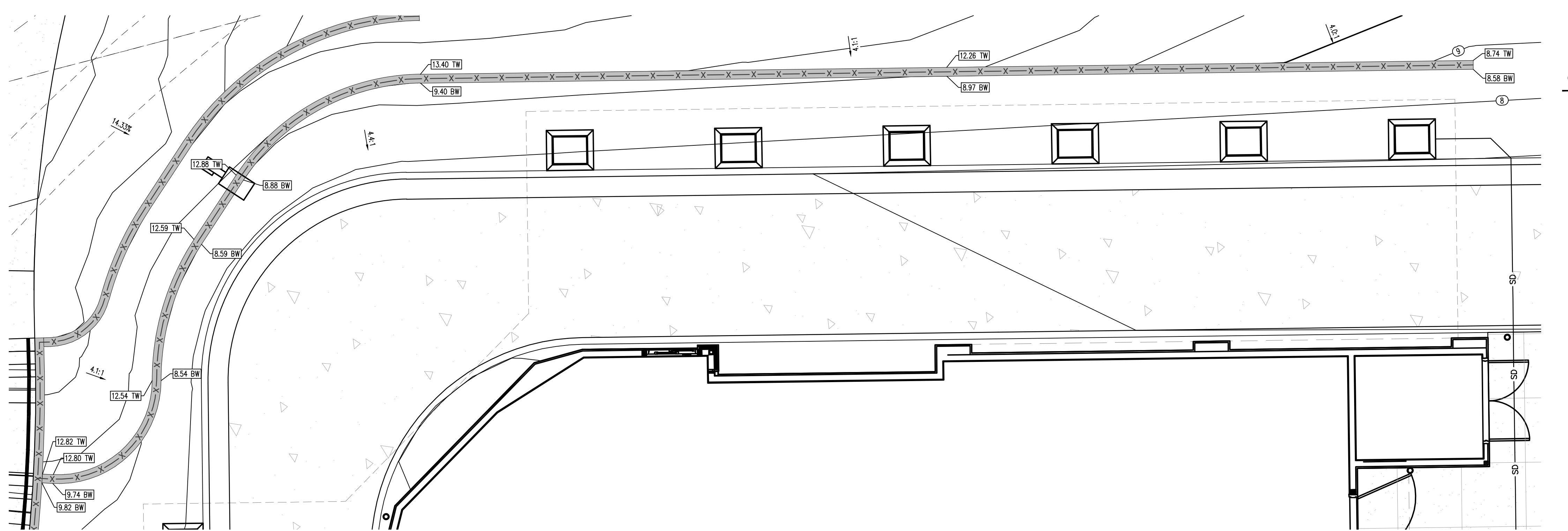
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Sheet 14 of 36



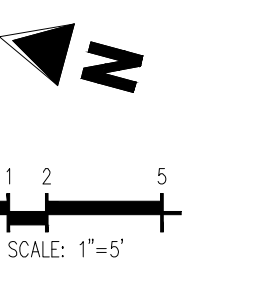
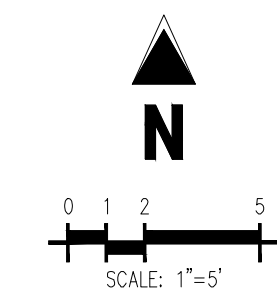
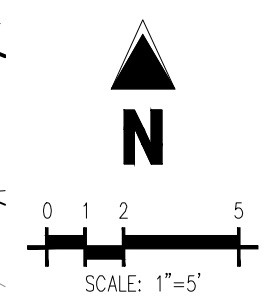
RETAINING WALL 1 DETAIL
SCALES: 1"=5'



RETAINING WALL 2 AND 3 DETAIL
SCALES: 1"=5'



RETAINING WALL 4 DETAIL
SCALES: 1"=5'



SOIL PREPARATION AND PAVEMENT DESIGN NOTE
SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS: GEOTECHNICAL ENGINEERING EXPLORATION AND ANALYSIS: PROPOSED IN-N-OUT BURGER SOUTH PARKER RD & PINE LANE.
GEOTECHNICAL ENGINEER:
PROJECT NO: DATE:
THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

- GRADING NOTES**
- ADD 5,800 TO ALL SPOT GRADE ELEVATIONS.
 - REQUIREMENTS SHOWN ON SITE PLAN SHALL GOVERN DRAWINGS AND SPECIFICATIONS SHOWING OTHERWISE NOTWITHSTANDING. CONTRACTOR TO POINT OUT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BID.
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FROM: IN-N-OUT BURGER (PARKER & PINE) FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO. © 2023 Galloway Engineering, Inc. All Rights Reserved.

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IN-N-OUT BURGER
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PARKER & PINE FILING NO. 1, LOT 1

PARKER, CO 80134

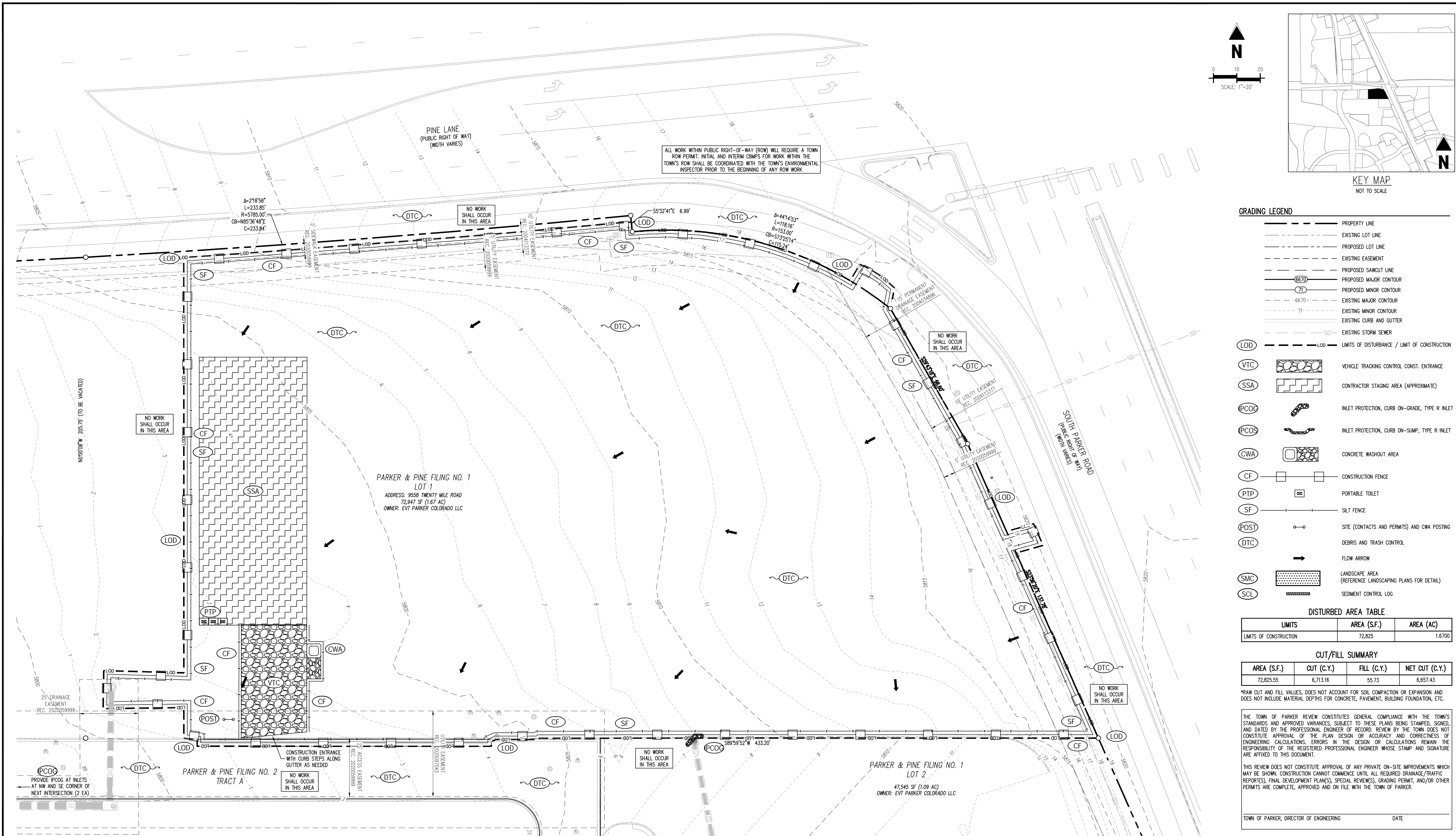
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TOWN OF PARKER, DIRECTOR OF ENGINEERING	DATE

Project No: IN0000014-20
Drawn By: JINE
Checked By: PJD
Date: 06/16/2023

CBMP PLAN INITIAL

C2.4
Sheet 15 of 36



GRADING LEGEND

---	PROPERTY LINE
---	EXISTING LOT LINE
---	PROPOSED LOT LINE
---	EXISTING EASEMENT
---	PROPOSED SAWTOOTH LINE
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	EXISTING CURB AND GUTTER
---	EXISTING STORM SEWER
---	LIMITS OF DISTURBANCE / LIMIT OF CONSTRUCTION
---	VEHICLE TRACKING CONTROL CONST. ENTRANCE
---	CONTRACTOR STAGING AREA (APPROXIMATE)
---	INLET PROTECTION, CURB ON-GRADE, TYPE R INLET
---	INLET PROTECTION, CURB ON-SUMP, TYPE R INLET
---	CONCRETE WASHOUT AREA
---	CONSTRUCTION FENCE
---	PORTABLE TOILET
---	SILT FENCE
---	SITE (CONTACTS AND PERMITS) AND CWA POSTING
---	DEBRIS AND TRASH CONTROL
---	FLOW ARROW
---	LANDSCAPE AREA (REFERENCE LANDSCAPING PLANS FOR DETAIL)
---	SEDIMENT CONTROL LOG

DISTURBED AREA TABLE

LIMITS	AREA (S.F.)	AREA (AC)
LIMITS OF CONSTRUCTION	72,825	1.6700

CUT/FILL SUMMARY

AREA (S.F.)	CUT (C.Y.)	FILL (C.Y.)	NET CUT (C.Y.)
72,825.55	6,713.16	55.73	6,657.43

*RAW CUT AND FILL VALUES. DOES NOT ACCOUNT FOR SOIL COMPACTION OR EXPANSION AND DOES NOT INCLUDE MATERIAL DEPTHS FOR CONCRETE, PAVEMENT, BUILDING FOUNDATION, ETC.

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STORMWATER MANAGEMENT PLAN NOTES

- THE CONTRACTOR AND/OR AUTHORIZED AGENTS SHALL REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATE IN, THE FLOW LINES AND PUBLIC RIGHTS OF WAYS OF THE TOWN AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE. DEVELOPMENT OR CONSTRUCTION PROJECT. SAID REMOVAL SHALL BE CONDUCTED IN A TIMELY MANNER.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT FUNCTION AS INTENDED. THE REQUIREMENTS OF THIS PLAN SHALL BE THE OBLIGATION OF THE PERMIT HOLDER UNTIL SUCH TIME AS THE PLAN IS PROPERLY COMPLETED AND THE PERMIT IS RELEASED.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION, EXCAVATION, TRENCHING, BORING, GRADING OR OTHER CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, ETC., RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
- THE CONTRACTOR SHALL LOCATE, INSTALL, AND MAINTAIN ALL WATER QUALITY EROSION CONTROL MEASURES AND AS INDICATED IN THE APPROVED STORMWATER MANAGEMENT PLAN.
- ROUGH-CUT STREETS SHALL BE MILDRED WITHIN 14 DAYS OF THE COMPLETION OF OVERLIT GRADING UNLESS A LAYER OF AGGREGATE ROAD BASE OR ASPHALT PAVING IS TO BE APPLIED TO SAID ROUGH-CUT STREETS WITHIN 14 DAYS.
- THE DEVELOPER, GENERAL CONTRACTOR, GRADING CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL ENSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THIS SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF THE MATERIAL DURING TRANSPORT ON PUBLIC RIGHTS OF WAY.
- SOILS THAT WILL BE STOCKPILED FOR MORE THAN 30 DAYS SHALL BE PROTECTED FROM WIND AND WATER EROSION WITHIN 14 DAYS OF STOCKPILE CONSTRUCTION. IF STOCKPILES ARE LOCATED WITHIN 100 FEET OF A DRAINAGEWAY, ADDITIONAL SEDIMENT CONTROLS SUCH AS TEMPORARY DIKES OR SILT FENCE SHALL BE REQUIRED.
- APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR OF THE DURATION OF THIS PROJECT. ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM A CONTROL MEASURE WHEN THE SEDIMENT OR DEBRIS ADVERSELY IMPACTS THE FUNCTIONING OF THE CONTROL MEASURE.
- CONSTRUCTION SEQUENCING MAY NECESSITATE RELOCATION OR TEMPORARY REMOVAL OF THE CONTROL MEASURES SHOWN HEREON. THE CONTRACTOR MAY RELOCATE CONTROL MEASURES INCLUDING VTC, SSA AND CONSTRUCTION TRAILERS AT THEIR DISCRETION. THE CONTROL MEASURES SHALL BE RESTORED AT SUCH A TIME AS THEY WILL NO LONGER INTERFERE WITH THE WORK. THE SITE COPY OF THE DRAWINGS SHALL BE MARKED UP ACCORDINGLY, AND A RECORD OF CONTROL MEASURE MODIFICATIONS KEPT IN THE SITE INSPECTION LOG.
- ALL EROSION AND SEDIMENT CONTROL PRACTICES AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THE SWMP MUST BE MAINTAINED IN EFFECTIVE OPERATION CONDITION. PROPER SELECTION AND INSTALLATION OF CONTROL MEASURES AND IMPLEMENTATION OF COMPREHENSIVE INSPECTION AND MAINTENANCE PROCEDURES IN ACCORDANCE WITH THE SWMP SHOULD BE ADEQUATE TO MEET THIS CONDITION. CONTROL MEASURES THAT ARE NOT ADEQUATELY MAINTAINED IN ACCORDANCE WITH GOOD ENGINEER, HYDROLOGIC, AND POLLUTION CONTROL PRACTICES, INCLUDING REMOVAL OF COLLECTED SEDIMENT OUTSIDE THE ACCEPTABLE TOLERANCES OF THE CONTROL MEASURES ARE CONSIDERED TO BE NO LONGER OPERATING EFFECTIVELY AND MUST BE ADDRESSED.

INITIAL EROSION CONTROL NOTES

- INSTALL THE SWPPP INFORMATION SIGN AND POST REQUIRED DOCUMENTS NEAR THE PLANNED CONSTRUCTION EXIT, AND WITHIN EASY ACCESS TO THE GENERAL PUBLIC WITHOUT ENTERING THE SITE.
- STAKE/FLAG/PAIN THE LOD (WHERE STAKING IS NOT POSSIBLE/PRACTICAL, THE LOD MUST BE CONSPICUOUSLY, AND PROMINENTLY, MARKED TO DENOTE THE BOUNDARY). LOD MUST REMAIN CONSPICUOUSLY MARKED THROUGHOUT THE ENTIRE CONSTRUCTION PROJECT.
- INSTALL INLET PROTECTION ON EXISTING INLETS WITHIN LOD.
- INSTALL TEMPORARY ROCK SOCK DOWN GRADIENT FROM TEMPORARY STRIPING ACTIVITIES.
- BLACK OUT STRIPING THAT CONFLICTS WITH TEMPORARY STRIPING, PAINT TEMPORARY STRIPING AND INSTALL CONSTRUCTION FENCE AND JERSEY BARRIERS.
- INSTALL PERIMETER SEDIMENT CONTROL MEASURES IN THE VICINITY OF, AND DOWN GRADIENT FROM, THE LOCATION OF THE PLANNED CONSTRUCTION EXIT, CONSTRUCTION OFFICE TRAILER, AND TEMPORARY PARKING AND STORAGE AREAS. CLEAR ONLY THE MINIMUM AREA ABSOLUTELY NECESSARY TO INSTALL THESE PERIMETER CONTROL MEASURES.
- INSTALL STABILIZED CONSTRUCTION EXIT WITH SEDIMENT TRAP AND SET THE PROJECT OFFICE TRAILER.
- INSTALL REMAINING PERIMETER SEDIMENT CONTROL MEASURES AS SHOWN ON THE SITE MAPS. CLEAR ONLY THE MINIMUM AREA NECESSARY TO INSTALL PERIMETER CONTROL MEASURES.
- PREPARE TEMPORARY PARKING AND STORAGE AREA.
- STABILIZE SIDE SLOPES, BOTTOM AND ALL SIDES OF EMBANKMENTS OR SLOPES OF SEDIMENT TRAPS IMMEDIATELY UPON COMPLETION OF EACH, AS SPECIFIED IN THE SWPPP AND SEDIMENT TRAP DETAIL.

SANITARY AND SEPTIC WASTE NOTES

- PROVIDE CONVENIENT, WELL-MAINTAINED, AND PROPERLY LOCATED TOILET FACILITIES ON-SITE.
- LOCATE TOILET FACILITIES AWAY FROM STORM DRAIN INLETS AND WATERWAYS TO PREVENT ACCIDENTAL SPILLS AND CONTAMINATION OF STORMWATER.
- MAINTAIN CLEAN RESTROOM FACILITIES AND EMPTY PORTABLE TOILETS REGULARLY.
- WHERE POSSIBLE, PROVIDE SECONDARY CONTAINMENT PANS UNDER PORTABLE TOILETS.
- PROVIDE TIE-DOWNS AND STAKE-DOWNS FOR PORTABLE TOILETS.
- EDUCATE EMPLOYEES, SUBCONTRACTORS, AND SUPPLIERS ON LOCATIONS OF FACILITIES.
- TREAT OR DISPOSE OF SANITARY AND SEPTIC WASTE IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. DO NOT DISCHARGE OR BURY WASTEWATER AT THE CONSTRUCTION SITE.
- INSPECT FACILITIES FOR LEAKS. IF FOUND, REPAIR OR REPLACE IMMEDIATELY.
- SPECIAL CARE IS NECESSARY DURING MAINTENANCE (PUMP OUT) TO ENSURE THAT WASTE AND/OR BIOCODE ARE NOT SPILLED ON THE GROUND.

EROSION CONTROL COST ESTIMATE:

Description	Quantity	Unit	Unit Cost	Amount
SILT FENCE	1900	LF	\$6.00	\$11,400.00
INLET PROTECTION	4	EA	\$350.00	\$1,400.00
VEHICLE TRACK CTL	1	EA	\$3,075.00	\$3,075.00
TEMPORARY SEEDING	23700	SY	\$1.10	\$26,070.00
CONC WASH OUT	1	EA	\$760.00	\$760.00
STABILIZED STAGING AREA	1	EA	\$855.00	\$855.00
SUBTOTAL				\$43,560.00
40% MAINT FEE AND REPLACEMENT				\$17,424.00
TOTAL				\$60,984.00

GALLOWAY & COMPANY DOES NOT GUARANTEE THAT THE COST WILL NOT VARY FROM THESE OPINIONS OF PROBABLE COSTS.

GENERAL NOTES

- THE TRUE LOCATION OF THE PORTABLE TOILET PROTECTION (PTP) MAY BE DETERMINED BY THE TOWN AND THE EES.
- LOT PROTECTION (LP) IS REQUIRED ON COMMERCIAL LOTS WHEN COMPLETION OF LANDSCAPING IS NOT POSSIBLE.
- ANY BULK FUEL STORAGE REQUIRES A FIRE LIFE SAFETY PERMIT FROM THE TOWN PRIOR TO INSTALLATION. CONTACT RANDY CAPRA AT RCAPRA@PARKERONLINE.ORG OR 303-805-3163.
- THE VTC PAD FOR A CWA DOES NOT NEED TO CONFORM TO THE FORMAL VTC DETAIL.
- THE TRUE LOCATION OF THE CWA MAY BE DETERMINED BY THE TOWN AND EES.

PRELIMINARY
NOT FOR BIDDING
NOT FOR CONSTRUCTION

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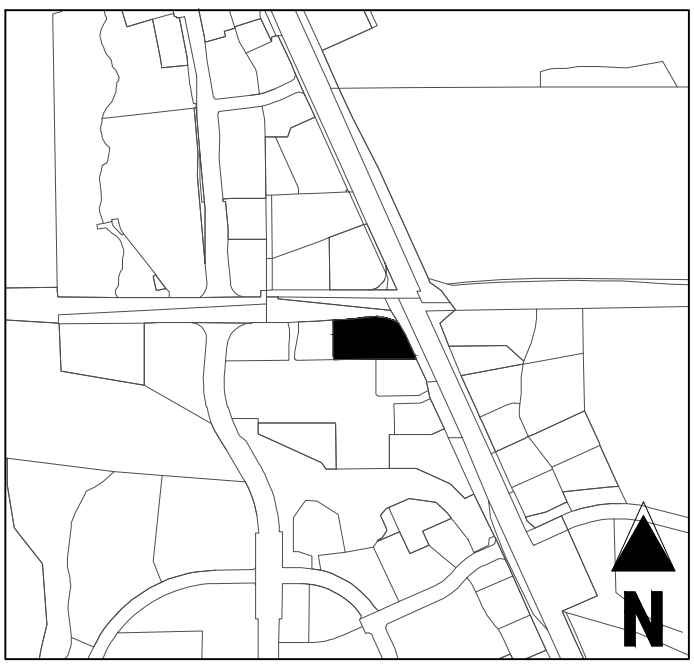
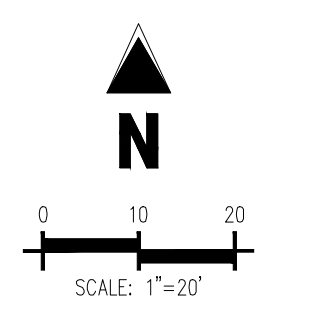
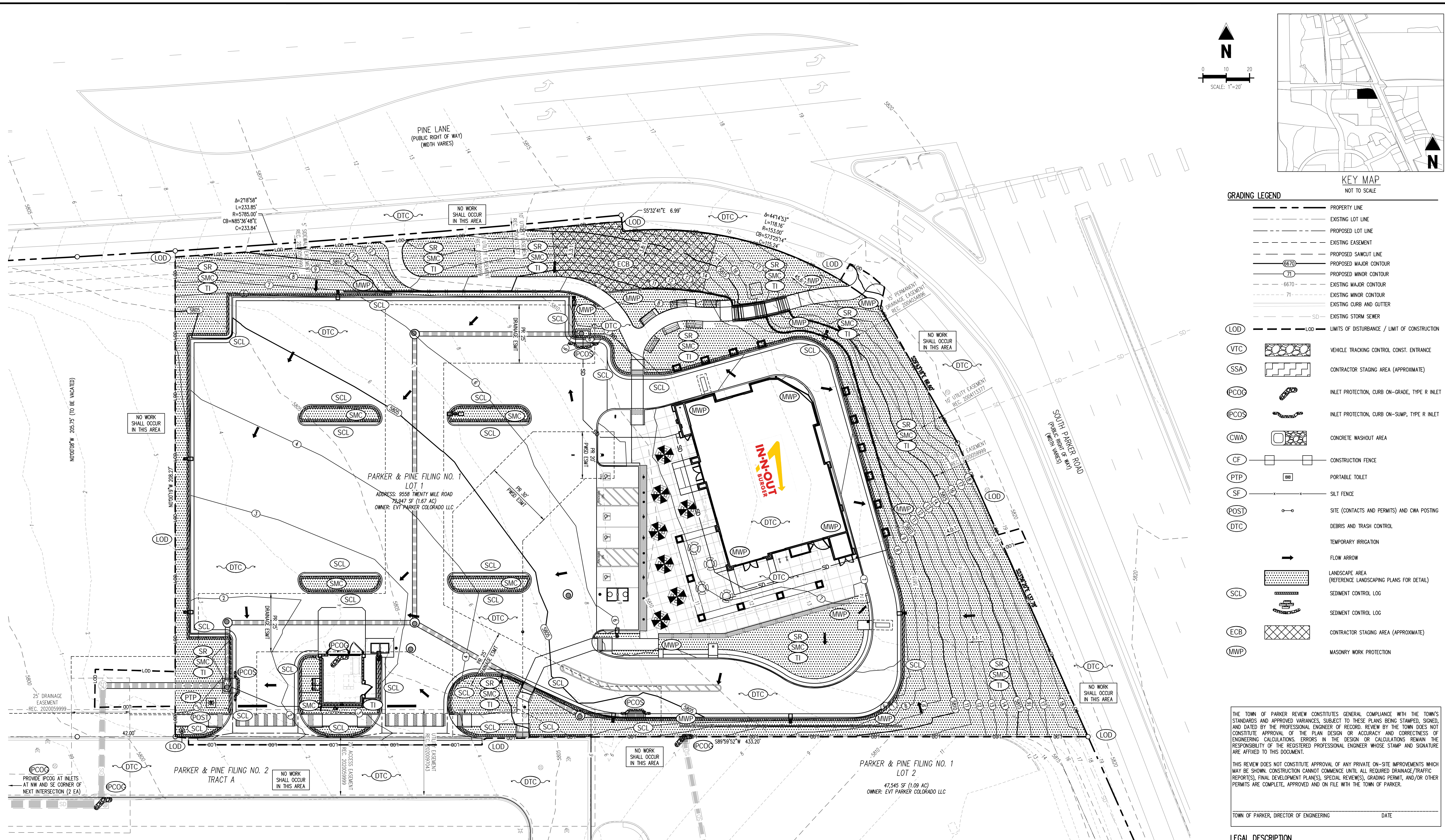
IN-N-OUT BURGER
CONSTRUCTION DOCUMENTS
PARKER & PINE FILING NO. 1, LOT 1
PARKER, CO 80134

#	Date	Issue / Description	Init.
1	12/21/2022	1ST CD SUBMITTAL	PJD
2	03/17/2023	2ND CD SUBMITTAL	PJD
3	04/26/2023	3RD CD SUBMITTAL	PJD
4	06/16/2023	4TH CD SUBMITTAL	PJD

Project No: IN000014-20
Drawn By: JINE
Checked By: PJD
Date: 06/16/2023

CBMP PLAN INTERIM AND FINAL

C2.5
Sheet 16 of 36



GRADING LEGEND

---	PROPERTY LINE
---	EXISTING LOT LINE
---	PROPOSED LOT LINE
---	EXISTING EASEMENT
---	PROPOSED SAWCUT LINE
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	EXISTING CURB AND GUTTER
---	EXISTING STORM SEWER
---	LOD - LIMITS OF DISTURBANCE / LIMIT OF CONSTRUCTION
VTC	VEHICLE TRACKING CONTROL CONST. ENTRANCE
SSA	CONTRACTOR STAGING AREA (APPROXIMATE)
PCOC	INLET PROTECTION, CURB ON-GRADE, TYPE R INLET
PCOS	INLET PROTECTION, CURB ON-SUMP, TYPE R INLET
CWA	CONCRETE WASHOUT AREA
CF	CONSTRUCTION FENCE
PTP	PORTABLE TOILET
SF	SILT FENCE
POST	SITE (CONTACTS AND PERMITS) AND OWA POSTING
DTC	DEBRIS AND TRASH CONTROL
---	TEMPORARY IRRIGATION
---	FLOW ARROW
---	LANDSCAPE AREA (REFERENCE LANDSCAPING PLANS FOR DETAIL)
SCL	SEDIMENT CONTROL LOG
---	SEDIMENT CONTROL LOG
ECB	CONTRACTOR STAGING AREA (APPROXIMATE)
MWP	MASONRY WORK PROTECTION

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

LEGAL DESCRIPTION
LOT 1, PARKER & PINE FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO

BENCHMARK
PUBLISHED BENCHMARK: ELEVATIONS ARE BASED ON A DOUGLAS COUNTY CONTROL MONUMENT, STATION NAME: CRAIN, BEING A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN CULVERT, 25 FEET WEST OF THE EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY CENTERLINE.

ELEVATION = 5734.25 FEET (NAVD 88) PUBLISHED BY DOUGLAS COUNTY

BASIS OF BEARING
BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST BEARS N001°7'51"E, MONUMENTED BY THE SOUTHWEST CORNER OF SAID SECTION 10, BEING A 3-1/4 INCH ALUMINUM CAP STAMPED "LS 19003", AND MONUMENTED BY THE WEST QUARTER CORNER OF SAID SECTION 10, BEING A 3-1/4" ALUMINUM CAP STAMPED "PLS 22561", AS SHOWN HEREON.

CAUTION - NOTICE TO CONTRACTOR
1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-Holing OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



- STORMWATER MANAGEMENT PLAN NOTES**
- THE CONTRACTOR AND/OR AUTHORIZED AGENTS SHALL REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATE IN, THE FLOW LINES AND PUBLIC RIGHTS OF WAYS OF THE TOWN AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE. DEVELOPMENT OR CONSTRUCTION PROJECT. SAID REMOVAL SHALL BE CONDUCTED IN A TIMELY MANNER.
 - ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT FUNCTION AS INTENDED. THE REQUIREMENTS OF THIS PLAN SHALL BE THE OBLIGATION OF THE PERMIT HOLDER UNTIL SUCH TIME AS THE PLAN IS PROPERLY COMPLETED AND THE PERMIT IS RELEASED.
 - THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION, EXCAVATION, TRENCHING, BORING, GRADING OR OTHER CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, ETC., RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
 - THE CONTRACTOR SHALL LOCATE, INSTALL, AND MAINTAIN ALL WATER QUALITY EROSION CONTROL MEASURES AND AS INDICATED IN THE APPROVED STORMWATER MANAGEMENT PLAN.
 - ROUGH-CUT STREETS SHALL BE MULCHED WITHIN 14 DAYS OF THE COMPLETION OF OVERLIT GRADING UNLESS A LAYER OF AGGREGATE ROAD BASE OR ASPHALT PAVING IS TO BE APPLIED TO SAID ROUGH-CUT STREETS WITHIN 14 DAYS.
 - THE DEVELOPER, GENERAL CONTRACTOR, GRADING CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL ENSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THIS SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF THE MATERIAL DURING TRANSPORT ON PUBLIC RIGHTS OF WAY.
 - SOILS THAT WILL BE STOCKPILED FOR MORE THAN 30 DAYS SHALL BE PROTECTED FROM WIND AND WATER EROSION WITHIN 14 DAYS OF STOCKPILE CONSTRUCTION. IF STOCKPILES ARE LOCATED WITHIN 100 FEET OF A DRAINAGEWAY, ADDITIONAL SEDIMENT CONTROLS SUCH AS TEMPORARY DIKES OR SILT FENCE SHALL BE REQUIRED.
 - APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR OF THE DURATION OF THIS PROJECT. ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM A CONTROL MEASURE WHEN THE SEDIMENT OR DEBRIS ADVERSELY IMPACTS THE FUNCTIONING OF THE CONTROL MEASURE.
 - CONSTRUCTION SEQUENCING MAY NECESSITATE RELOCATION OR TEMPORARY REMOVAL OF THE CONTROL MEASURES SHOWN HEREON. THE CONTRACTOR MAY RELOCATE CONTROL MEASURES INCLUDING VTC, SSA AND CONSTRUCTION TRAILERS AT THEIR DISCRETION. THE CONTROL MEASURES SHALL BE RESTORED AT SUCH A TIME AS THEY WILL NO LONGER IMPIDE THE WORK. THE SITE COPY OF THE DRAWINGS SHALL BE MARKED UP ACCORDINGLY, AND A RECORD OF CONTROL MEASURE MODIFICATIONS KEPT IN THE SITE INSPECTION LOG.
 - ALL EROSION AND SEDIMENT CONTROL PRACTICES AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THE SWMP MUST BE MAINTAINED IN EFFECTIVE OPERATION CONDITION. PROPER SELECTION AND INSTALLATION OF CONTROL MEASURES AND IMPLEMENTATION OF COMPREHENSIVE INSPECTION AND MAINTENANCE PROCEDURES IN ACCORDANCE WITH THE SWMP SHOULD BE ADEQUATE TO MEET THIS CONDITION. CONTROL MEASURES THAT ARE NOT ADEQUATELY MAINTAINED IN ACCORDANCE WITH GOOD ENGINEERING, HYDROLOGIC, AND POLLUTION CONTROL PRACTICES, INCLUDING REMOVAL OF COLLECTED SEDIMENT OUTSIDE THE ACCEPTABLE TOLERANCES OF THE CONTROL MEASURES ARE CONSIDERED TO BE NO LONGER OPERATING EFFECTIVELY AND MUST BE ADDRESSED.

- INTERIM EROSION CONTROL NOTES**
- BEGIN EXCAVATION AND INSTALLATION OF SANITARY SEWER LINE AND STUB WITHIN CONSTRUCTION FENCE.
 - PAVE DISTURBED AREA TO PRE-CONSTRUCTION CONDITION, REMOVE JERSEY BARRIERS, AND PAINT EXISTING STRIPING TO PRE-CONSTRUCTION CONDITION.
 - BEGIN DEMOLITION OF ASPHALT. (PHASE DEMOLITION TO THE EXTENT PRACTICAL TO MINIMIZE THE AMOUNT OF AREA DISTURBED AT ANY POINT IN TIME)
 - EXCAVATE AND SET TANKS AND USE SPOILS TO BUILD KIOSK PAD.
 - BEGIN GRADING THE SITE. START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
 - TEMPORARILY STABILIZE, THROUGHOUT CONSTRUCTION IMMEDIATELY FOLLOWING THE COMPLETION OF THE MOST RECENT LAND DISTURBING/GRADING ACTIVITY, ANY DISTURBED AREAS, INCLUDING MATERIAL STOCKPILES THAT ARE SCHEDULED OR LIKELY TO REMAIN INACTIVE FOR 14 DAYS OR MORE.
 - INSTALL UTILITIES, STORM SEWERS, CURBS AND GUTTERS.
 - INSTALL CONTROL MEASURES WITHIN OFF-SITE WORK AREAS PRIOR TO BEGINNING WORK IN THESE AREAS.
 - IMMEDIATELY PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO GRADE.
 - PREPARE SUBGRADE AS NECESSARY.
 - PREPARE SITE FOR PAVING.
 - PAVE SITE.
 - MAINTAIN APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES, PER BMP DETAILS.
 - COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
 - REMOVE TEMPORARY STRIPING AND PAINT PERMANENT STRIPING.
 - OBTAIN CONCURRENCE FROM CONSTRUCTION MANAGER (CM) AND THAT THE SITE HAS BEEN FULLY STABILIZED AND ALL CONSTRUCTION HAS BEEN COMPLETED.

- FINAL EROSION CONTROL NOTES**
- REMOVE ALL REMAINING EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (CONTROL MEASURES).
 - STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF TEMPORARY CONTROL MEASURES.
 - INSTALL PERMANENT SEED AND LANDSCAPING.
 - CONTINUE DAILY INSPECTIONS AND REPORTS UNTIL THE CM FINAL DAILY INSPECTION REPORT, MARKED "READY TO TERMINATE PERMIT", IS SIGNED BY THE CONSTRUCTION MANAGER AND SUBMITTED SWPPP PLACED IN THE JOB SITE BINDER.
 - PROVIDE OWNER WITH COMPLETE COPY OF JOBSITE BINDER.

GENERAL NOTES

- THE TRUE LOCATION OF THE PORTABLE TOILET PROTECTION (PTP) MAY BE DETERMINED BY THE TOWN AND THE EGS.
- LOT PROTECTION (LP) IS REQUIRED ON COMMERCIAL LOTS WHEN COMPLETION OF LANDSCAPING IS NOT POSSIBLE.
- ANY BULK FUEL STORAGE REQUIRES A FIRE LIFE SAFETY PERMIT FROM THE TOWN PRIOR TO INSTALLATION. CONTACT RANDY CAPRA AT RCAPRA@PARKERONLINE.ORG OR 303-805-3163.

EROSION CONTROL COST ESTIMATE:

Description	Quantity	Unit	Unit Cost	Amount
SILT FENCE	1,900	LF	\$6.00	\$11,400.00
INLET PROTECTION	4	EA	\$350.00	\$1,400.00
VEHICLE TRACK CTL	1	EA	\$3,075.00	\$3,075.00
TEMPORARY SEEDING	23,700	SY	\$1.10	\$26,070.00
CONC WASH OUT	1	EA	\$760.00	\$760.00
EROSION CONTROL BLANKET	188	SY	\$5.00	\$940.00
SEDIMENT CONTROL LOG	1,328	LF	\$6.00	\$7,968.00
STABILIZED STAGING AREA	1	EA	\$855.00	\$855.00
SUBTOTAL				\$52,468.00
40% MANT FEE AND REPLACEMENT				\$20,987.20
TOTAL				\$73,455.20

GALLOWAY & COMPANY DOES NOT GUARANTEE THAT THE COST WILL VARY FROM THESE OPINIONS OF PROBABLE COSTS.

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

	CD	CHECK DAM
	CF	CONSTRUCTION FENCE
	CP	CULVERT PROTECTION
	CWA	CONCRETE WASHOUT AREA
	D	DEWATERING
	DD	DIVERSION DITCH
	DP	DETENTION POND PROTECTION
	DTC	DEBRIS TRASH CONTROL
	ECB	EROSION CONTROL BLANKET
	IPAN	INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT
	IPAP	INLET PROTECTION FOR AREA INLETS IN PAVEMENT
	IPCOG	INLET PROTECTION, CURB ON-GRADE, TYPE R INLET
	IPCOS	INLET PROTECTION, CURB ON SUMP, TYPE R INLET

CBMP LEGEND
CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 3
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

	LP	LOT PROTECTION
	MWP	MASONRY WORK PROTECTION
	PTP	PORTABLE TOILET PROTECTION
	RCSC	ROUGH CUT STREET CONTROL
	RS	ROCK SOCK
	RSS	ROCK SOCK IN SWALE
	SB	STRAW BALE
	SCL	SEDIMENT CONTROL LOGS
	SF	SILT FENCE
	SMC	SEEDING, MULCHING AND CRIMPING
	SR	SURFACE ROUGHING
	SSA	STABILIZED STAGING AREA
	STP	SIDEWALK TRANSITION PROTECTION

CBMP LEGEND
CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 3
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

	TI	TEMPORARY IRRIGATION
	TSB	TEMPORARY SEDIMENT BASIN
	VTC	VEHICLE TRACKING CONTROL

CBMP LEGEND
CONSTRUCTION BEST MANAGEMENT PRACTICES 3 OF 3
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

- GRADING, DRILLING, CLEARING, EXCAVATING, BACK-FILLING, SOIL STRIPPING, SOIL IMPORTING EXPORTING OR ANY OTHER FORM OF SOIL DISTURBANCE SHALL NOT COMMENCE UNTIL A TOWN OF PARKER GRADING/EXCAVATION PERMIT HAS BEEN ISSUED.
- THE TOWN OF PARKER GRADING/EXCAVATION PERMIT IS VALID FOR A PERIOD OF 2 YEARS FROM THE DATE OF ISSUANCE. ANY LAPSE IN PERMIT COVERAGE MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER AND/OR FINES.
- ALL EROSION AND SEDIMENT CONTROL BMPs SHALL BE INSTALLED ACCORDING TO THE CBMP PLAN INSTALLATION NOTES AND DETAILS AND/OR PERMITTED VARIANCES. ALL MATERIALS, WORKMANSHIP AND INSTALLATION METHODS ARE SUBJECT TO INSPECTION BY THE TOWN'S INSPECTOR. THE TOWN OF PARKER RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS, WORKMANSHIP AND/OR INSTALLATION METHODS THAT DO NOT CONFORM TO THE CBMP PLAN AND/OR PERMITTED VARIANCES.
- THE EROSION CONTROL SUPERVISOR SHALL REVISE OR MODIFY THE EROSION AND SEDIMENT CONTROL MEASURES IF IT BECOMES APPARENT THAT THE ORIGINAL PLAN IS INADEQUATE, OR AS A RESULT OF DEFICIENCIES IDENTIFIED DURING INSPECTIONS PERFORMED BY THE TOWN'S INSPECTOR.
- THE INSTALLATION OF ADDITIONAL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) MAY BE REQUIRED OF THE EROSION CONTROL SUPERVISOR, PROPERTY OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS AT ANY TIME THROUGHOUT THE DURATION OF THE PROJECT CONSTRUCTION AND/OR SUBSEQUENT REVEGETATION PERIOD.
- THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE SITE REMAINS IN COMPLIANCE WITH THE NOTICE OF NUISANCE REPORTS (a.k.a. CONSTRUCTION SITE RUNOFF CONTROL INSPECTION REPORTS), APPROVED CBMP PLAN(S) AND THE TOWN OF PARKER STORM DRAINAGE AND ENVIRONMENTAL CRITERIA MANUAL.
- THE EROSION CONTROL SUPERVISOR SHALL BE READILY AVAILABLE TO DISCUSS AND CORRECT ANY PROBLEMS THAT MAY ARISE RELATING TO GRADING, EROSION AND SEDIMENT CONTROL.
- IF IT IS ANTICIPATED THAT ALL OR A PORTION OF THE PROJECT WILL OCCUR DURING SEASONS SUSCEPTIBLE TO SNOWFALL, THE USE OF CERTAIN EROSION AND SEDIMENT CONTROL BMPs ADJACENT TO PUBLIC ROADWAYS MAY NEED TO BE RECONSIDERED DUE TO THE NATURE OF SNOW REMOVAL OPERATIONS. AN APPROVED ALTERNATIVE MAY BE NECESSARY TO MINIMIZE DAMAGE FROM THESE OPERATIONS. THE TOWN OF PARKER ASSUMES NO RESPONSIBILITY FOR DAMAGE TO ANY BMPs AS A RESULT OF SNOW FLOWING AND SNOW REMOVAL.
- AREAS OF LAND DISTURBANCE EQUAL TO 40 ACRES OR GREATER SHALL NOT BE EXPOSED FOR MORE THAN 30 CONSECUTIVE DAYS WITHOUT TEMPORARY OR PERMANENT STABILIZATION.
- AUTHORIZED EXEMPTIONS MAY BE ALLOWED TO THE 40-ACRE LIMIT FOR REMOVAL AND STORAGE OF CUT MATERIAL WHERE (A) GEOTECHNICAL LIMITATIONS RESTRICT THE USE OF TEMPORARY OR PERMANENT STABILIZATION OF THE STORED MATERIAL (E.G., SWELLING SOILS, ROCK) AND (B) WHEN THE OWNER CAN DEMONSTRATE THAT THE 40-ACRE LIMIT IS PHYSICALLY AND/OR FINANCIALLY IMPRACTICABLE. FOR SITES GRANTED THIS EXEMPTION, A PHASING AND EARTHWORK QUANTITIES PLAN SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT AND APPROVED PRIOR TO THE COMMENCEMENT OF LAND DISTURBANCE ACTIVITIES. SUBMITTAL REQUIREMENTS INCLUDE:
 - PHASING PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
 - EARTHWORK QUANTITY PLAN SHOWING CUT AND FILL VOLUMES AND LOCATIONS FOR EACH PHASE AND PROJECT TOTALS.
 - BMP PLAN SHOWING SPECIFIC EROSION AND SEDIMENT CONTROLS FOR EACH PHASE.

CBMP GEN NOTES
CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 4
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

- ANY EROSION AND SEDIMENT CONTROL BMPs THAT ARE DAMAGED OR IN NEED OF MAINTENANCE OR REPLACEMENT SHALL BE CORRECTED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
- ALL DEFICIENCIES LISTED ON THE NOTICE OF NUISANCE FORM SHALL BE COMPLETED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES. ALL REQUIRED ACTIONS MUST BE IN THE CORRECTED FORM DURING THE FOLLOW-UP INSPECTION.
- THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR ENSURING THAT ALL STREETS, CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, PARKING LOTS, ALLEYS, TRICKLE CHANNELS, AND/OR OTHER IMPERVIOUS SURFACES IMPACTED BY CONSTRUCTION ACTIVITIES ARE THOROUGHLY CLEANED THROUGHOUT THE DAY IF THEY BECOME SOILED. THESE AREAS MUST ALSO BE THOROUGHLY CLEAN BEFORE THE END OF THE WORK DAY.
- BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS.
- ALL TRASH RECEPTACLES ON SITE SHALL BE FREE OF HOLES, CRACKS, GAPS, AND/OR OTHER PERMEABLE AREAS THAT MAY ALLOW FOR THE DISCHARGE OF POLLUTANTS.
- ALL TRASH RECEPTACLES ON SITE SHALL BE EMPTIED AT A FREQUENCY AS TO ENSURE THAT THE TRASH REMAINS CONFINED TO THE RECEPTACLE.
- ALL LOOSE TRASH AND LITTER ASSOCIATED WITH THE PROJECT MUST BE REMOVED AND PROPERLY DISCARDED ON A DAILY BASIS.
- ALL PORTABLE TOILETS SHALL BE STAKED DOWN AT ALL TIMES USING U-SHAPED REBAR STAKES. THE PORTABLE TOILETS SHALL ALSO BE PLACED A MINIMUM DISTANCE OF 10 FEET FROM ALL IMPERVIOUS SURFACES, INCLUDING, BUT NOT LIMITED TO STREETS CURBS, GUTTERS, SIDEWALKS AND PARKING LOTS.
- THE EROSION CONTROL SUPERVISOR SHALL MAINTAIN STRICT ADHERENCE TO THE LIMITS OF CONSTRUCTION AND PROPERTY LIMITS FOR ALL MATERIALS, VEHICLES AND EQUIPMENT. FAILURE TO ABIDE BY THIS REQUIREMENT MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER.
- ALL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE THROUGH THE APPROVED ACCESS POINT(S). A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT ALL APPROVED ACCESS POINTS TO THE SITE. EXCEPTIONS MAY BE CONSIDERED FOR CONSTRUCTION ACTIVITY OCCURRING IMMEDIATELY ADJACENT TO PAVED AREAS AND WHERE ALTERNATIVE BMPs ARE IMPLEMENTED. SUCH ACTIVITY MAY INCLUDE, BUT NOT BE LIMITED TO RESIDENTIAL CONSTRUCTION, UTILITY CONSTRUCTION, ETC.
- NO PERMANENT SLOPES GREATER THAN 3:1 ARE ALLOWED.
- ALL PERMANENT SLOPES STEEPER THAN 4:1 (HORIZONTAL TO VERTICAL) SHALL REQUIRE EROSION CONTROL BLANKET(S). TEMPORARY SLOPES IN TEMPORARY SEDIMENT BASINS THAT ARE STEEPER THAN 4:1 MAY REQUIRE EROSION CONTROL BLANKETS.
- THE EROSION CONTROL SUPERVISOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ADVERSE IMPACTS THAT OCCUR TO NEIGHBORING PROPERTIES. THE EROSION CONTROL SUPERVISOR MUST OBTAIN PERMISSION FROM LAND OWNERS PRIOR TO ENTERING SUCH PROPERTY.
- A WATER SOURCE SHALL BE AVAILABLE ON-SITE DURING CONSTRUCTION ACTIVITIES, AND UTILIZED TO MINIMIZE FUGITIVE DUST. ALTERNATIVE BMPs MAY BE REQUIRED IF INITIAL ATTEMPTS TO SUPPRESS DUST ARE UNSUCCESSFUL.

CBMP GEN NOTES
CONSTRUCTION BEST MANAGEMENT PRACTICES 2 OF 4
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

- ALL CHEMICAL OR HAZARDOUS MATERIAL SPILLS, INCLUDING CONCRETE WASHOUT WATER, WHICH MAY ENTER WATERS OF THE STATE OF COLORADO, WHICH INCLUDES BUT ARE NOT LIMITED TO, SURFACE WATER, GROUND WATER, DRY CULLETS OR STORM SEWERS LEADING TO SURFACE WATER, SHALL BE IMMEDIATELY REPORTED TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) PER 25-8-601, AND THE TOWN OF PARKER. RELEASES OF PETROLEUM PRODUCTS AND CERTAIN HAZARDOUS SUBSTANCES LISTED UNDER THE FEDERAL CLEAN WATER ACT (40 CFR PART 116) MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER AND THE CDPHE. SPILLS THAT POSE AN IMMEDIATE SAFETY HAZARD SHALL BE REPORTED TO 911.
- THE CLEANING OF CONCRETE TRUCKS AND EQUIPMENT IS RESTRICTED TO THE APPROVED CONCRETE WASHOUT LOCATION ON THE JOB SITE. CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO STATE WATERS OR STORM SEWER SYSTEMS.
- VEHICLE AND EQUIPMENT DEGREASING IS PROHIBITED ON THE JOB SITE.
- ALL DEWATERING ON SITE SHALL BE COORDINATED WITH THE TOWN'S INSPECTOR. A STATE PERMIT MAY BE REQUIRED FOR DEWATERING. THE EROSION CONTROL SUPERVISOR IS RESPONSIBLE FOR OBTAINING AND ADHERING TO ALL APPLICABLE PERMITS.
- HYDRAULIC SEEDING AND/OR HYDRAULIC MULCHING ARE ONLY ALLOWED IN AREAS UNDER TEMPORARY OR PERMANENT IRRIGATION OR FOR THE PURPOSE OF TEMPORARY SOIL STABILIZATION.
- APPLICABLE CONSTRUCTION BMPs SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL ALL LANDSCAPING HAS BEEN INSTALLED AND THE DESIRABLE VEGETATION HAS REACHED A POINT IN WHICH EROSION AND SEDIMENTATION IS NO LONGER A CONCERN AS DETERMINED BY THE TOWN'S INSPECTOR.
- GRADING SECURITY RELEASE REQUIREMENTS:
 - DEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H OR ITEM I (BELOW).
 - ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
 - UNIFORM PERENNIAL VEGETATION COVER HAS BEEN ESTABLISHED WITH AN INDIVIDUAL PLANT DENSITY OF AT LEAST SEVENTY PERCENT (70%) OF PRE-DISTURBANCE LEVELS.
 - ALL BMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
 - IF ANY EROSION IS PRESENT, IT IS INSIGNIFICANT AND IS NOT LEAVING THE SITE AND/OR LEADING INTO ANY ON-SITE DRAINAGE INFRASTRUCTURE THAT MAY CONVEY SURFACE WATER OFF SITE.
 - WEEDS REPRESENT NO MORE THAN FIFTY PERCENT (50%) OF THE TOTAL VEGETATION ON THE SITE.
 - NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
 - A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR ASSIGNMENT AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION AT THE TIME OF CLOSING TO ENSURE THAT THE NEW SITE OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.

CBMP GEN NOTES
CONSTRUCTION BEST MANAGEMENT PRACTICES 3 OF 4
Oct. 2013

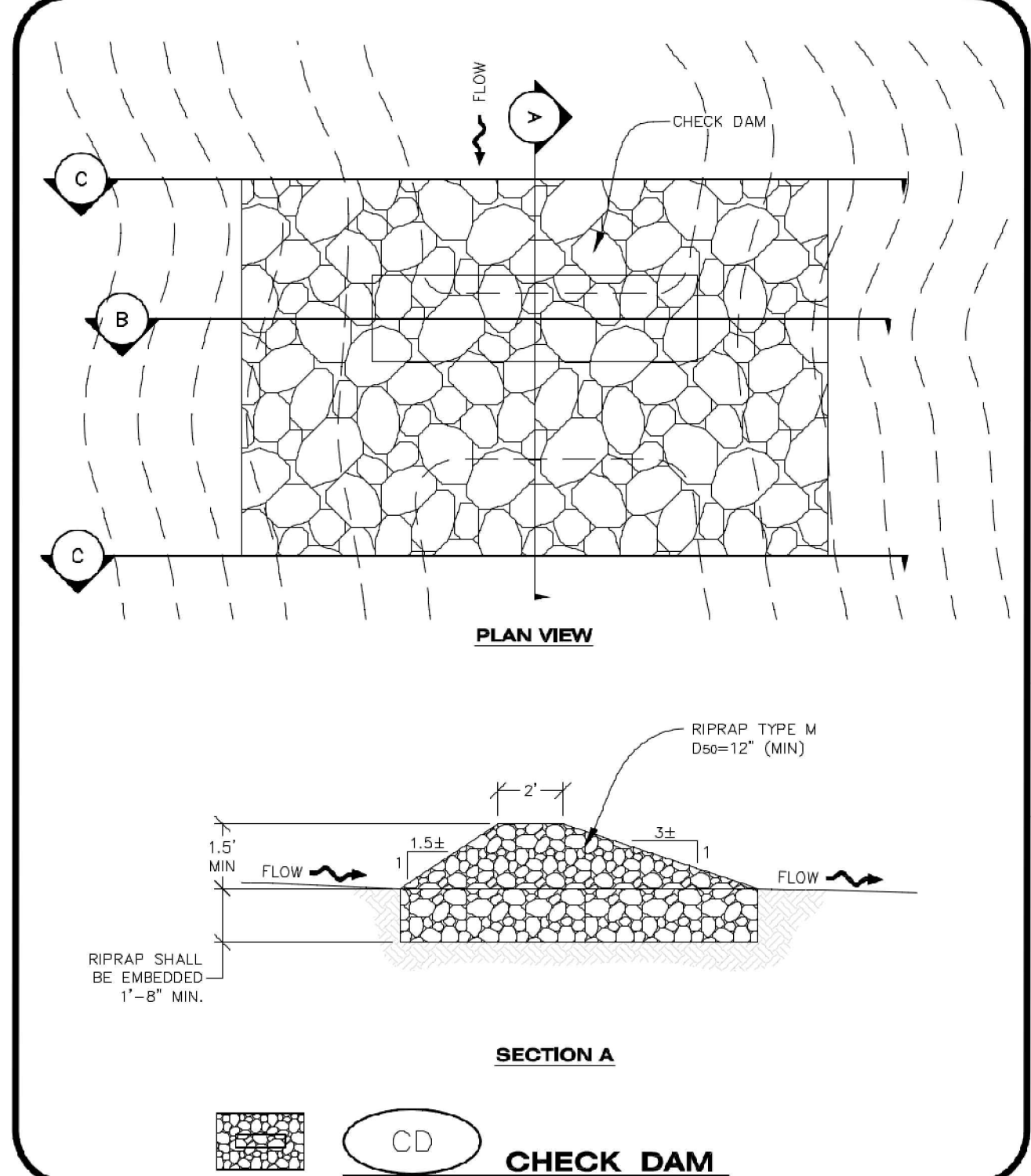
NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

- NONDEVELOPABLE PROPERTY: IN ORDER FOR THE GRADING SECURITY TO BE RELEASED, THE SITE MUST MEET ITEMS A-H AND I, OR ITEMS J AND K (BELOW).
 - ALL SOIL-DISTURBING ACTIVITIES ASSOCIATED WITH THE GRADING PERMIT HAVE PERMANENTLY CEASED.
 - ALL BMPs HAVE BEEN PROPERLY REMOVED FROM THE SITE.
 - EROSION IS NEGLIGIBLE IF EVEN PRESENT.
 - THE VEGETATION REPRESENTS A PERENNIAL STAND OF A DENSE, UNIFORM SURFACE OF GRASS WITH NO AREA GREATER THAN ONE (1) SQUARE FOOT THAT IS BARREN OF DESIRABLE VEGETATION. INFREQUENT, WIDELY SCATTERED AREAS WHERE NATIVE VEGETATION HAS NOT YET TAKEN HOLD MAY QUALIFY FOR ACCEPTANCE AT THE DISCRETION OF THE TOWN.
 - WEEDS REPRESENT NO MORE THAN TEN PERCENT (10%) OF THE TOTAL VEGETATION ON SITE.
 - NO WEEDS ARE PRESENT FROM LIST A OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - THE SITE IS PREDOMINANTLY FREE OF WEEDS FROM LIST B OF THE COLORADO NOXIOUS WEED LIST, AS AMENDED.
 - WEEDS ARE EVENLY DISTRIBUTED THROUGHOUT THE SITE WITH NO LARGE CONCENTRATIONS PRESENT.
 - A NEW GRADING PERMIT AND REPLACEMENT SECURITY HAS BEEN SUBMITTED AND APPROVED FOR THE APPLICABLE SITE OR THE GRADING PERMIT HAS BEEN ASSIGNED AS PROVIDED BY SECTION 11.10.150 OF THE TOWN OF PARKER MUNICIPAL CODE. IT IS THE PROPERTY OWNER'S OBLIGATION, AT THE TIME OF CLOSING ON THE SALE OF A SITE THAT IS SUBJECT TO A GRADING PERMIT, TO ENSURE THAT THE NEW PROPERTY OWNER HAS PROVIDED THE TOWN WITH A REPLACEMENT SECURITY.
 - ALL KNOWN DRAINAGE ISSUES ASSOCIATED WITH THE PROJECT HAVE BEEN MITIGATED AND A SUFFICIENT AMOUNT OF TIME HAS PASSED TO ENSURE THAT SUCH ISSUES HAVE BEEN CORRECTED. THIS REQUIREMENT DOES NOT INCLUDE THOSE DRAINAGE ISSUES ORIGINATING ON RESIDENTIAL LOTS.
- NOXIOUS WEEDS MUST BE CONTROLLED AS PROVIDED UNDER STATE LAW AND SECTION 6.01.260 OF THE TOWN OF PARKER MUNICIPAL CODE. FAILURE TO CONTROL NOXIOUS WEEDS ON THE SITE MAY CONSTITUTE A NUISANCE, SUBJECT TO THE PENALTIES CONTAINED IN THE CODE.

DEFINITIONS:
DEVELOPABLE PROPERTY MEANS ANY LAND THAT HAS BEEN GRADED AND IS PART OF A PLATTED LOT OR PLATTED TRACT OF RECORD, THAT WAS PLATTED FOR FUTURE DEVELOPMENT, INCLUDING RESIDENTIAL HOME CONSTRUCTION OR PUBLIC IMPROVEMENTS.
NONDEVELOPABLE PROPERTY MEANS LAND THAT HAS BEEN GRADED AND WILL NOT BE FURTHER DISTURBED AS PART OF ANY FUTURE DEVELOPMENT. EXAMPLES INCLUDE, BUT ARE NOT LIMITED TO: PARKS, OPEN SPACE, HOMEOWNER ASSOCIATION OR BUSINESS ASSOCIATION PLATTED TRACTS, DETENTION PONDS, AND DRAINAGEWAYS.
- FAILURE TO COMPLY WITH ANY OF THE REQUIREMENTS DESCRIBED IN THIS SECTION MAY RESULT IN THE ISSUANCE OF: A NOTICE OF INTENT TO ISSUE A STOP WORK ORDER, A STOP WORK ORDER AND/OR THE REMEDIES/PENALTIES DESCRIBED IN CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE.
- ANY PERSON CONVICTED OF VIOLATING ANY PROVISION OF THE TOWN OF PARKER, GRADING & EARTH MOVEMENT SECTION OF THE MUNICIPAL CODE SHALL BE GUILTY OF A MISDEMEANOR AND, UPON CONVICTION, BE PUNISHED BY A FINE OF NOT MORE THAN FOUR HUNDRED NINETY NINE DOLLARS (\$499.00) FOR EACH SEPARATE OFFENSE. EACH DAY A VIOLATION CONTINUES SHALL CONSTITUTE A SEPARATE OFFENSE. THE TOWN ALSO MAY SEEK IN MUNICIPAL COURT AN INJUNCTION, ABATEMENT, RESTITUTION OR ANY OTHER REMEDY TO PREVENT, ENJOIN, ABATE OR REMOVE THE VIOLATION. A PERSON CONVICTED OF VIOLATING CHAPTER 11.10 OF THE TOWN OF PARKER MUNICIPAL CODE SHALL BE LIABLE FOR THE ACTUAL COST OF REHABILITATING THE PROPERTY. THE COSTS MAY BE RECOVERED AS RESTITUTION IN MUNICIPAL COURT PROCEEDINGS OR IN A SEPARATE CIVIL ACTION.
- THE TOWN OF PARKER RESERVES THE RIGHT TO ALLOW MODIFICATIONS AND SUBSTITUTIONS TO THE CBMP NOTES AND DETAILS WHEN SUCH MODIFICATIONS AND SUBSTITUTIONS OFFER THE SAME LEVEL OF PROTECTION AS THE STANDARD REQUIREMENTS BASED UPON THE SPECIFIC SITUATION, AS DETERMINED BY TOWN STAFF. DUE TO THE INSIGNIFICANCE AND REGULARITY OF SUCH MODIFICATIONS AND SUBSTITUTIONS, THE APPROVAL OF SUCH VARIATIONS MAY NOT BE DOCUMENTED BY TOWN STAFF.

CBMP GEN NOTES
CONSTRUCTION BEST MANAGEMENT PRACTICES 4 OF 4
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CBMP CD
CONSTRUCTION BEST MANAGEMENT PRACTICES 1 OF 3
Oct. 2013

Galloway
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Greenwood Village, CO 80111
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GallowayUS.com

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CONSTRUCTION DOCUMENTS
PARKER & PINE FILING NO. 1, LOT 1
PARKER, CO 80134

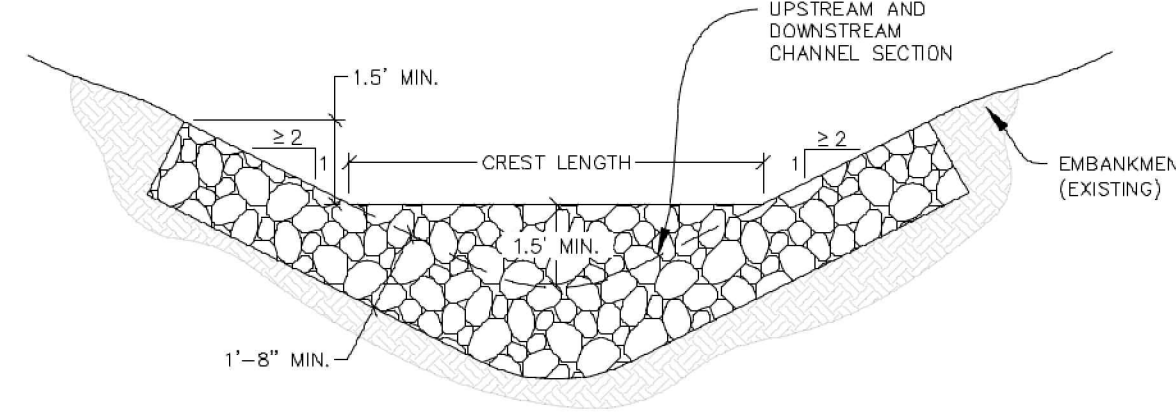
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1	12/21/2022	1ST CD SUBMITTAL	PJD
2	03/17/2023	2ND CD SUBMITTAL	PJD
3	04/26/2023	3RD CD SUBMITTAL	PJD
4	06/16/2023	4TH CD SUBMITTAL	PJD

Project No:	INC00001420
Drawn By:	JNE
Checked By:	PJD
Date:	06/16/2023

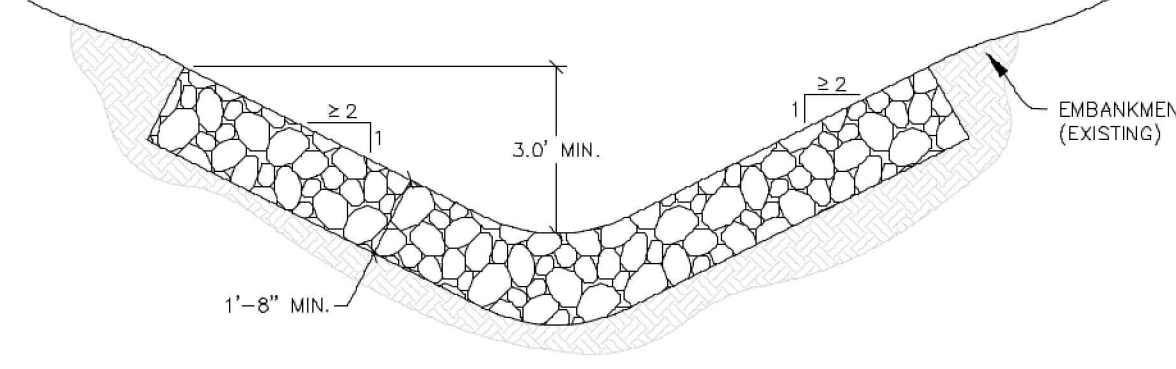
CBMP DETAILS

C2.6
Sheet 17 of 36

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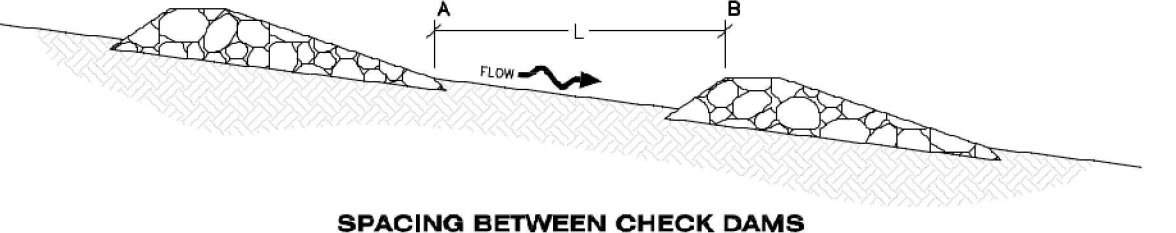
SECTION B



SECTION C

NOTE: SECTION C IS LOCATED IMMEDIATELY UPSTREAM AND DOWNSTREAM OF THE CHECK DAM. THEREFORE NO ROCK IS SHOWN WITHIN THE CHANNEL FLOW AREA.

L = THE DISTANCE SUCH THAT POINT A AND B ARE OF EQUAL ELEVATION.



SPACING BETWEEN CHECK DAMS



CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
CD
2 OF 3
Oct. 2013

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CHECK DAM INSTALLATION NOTES

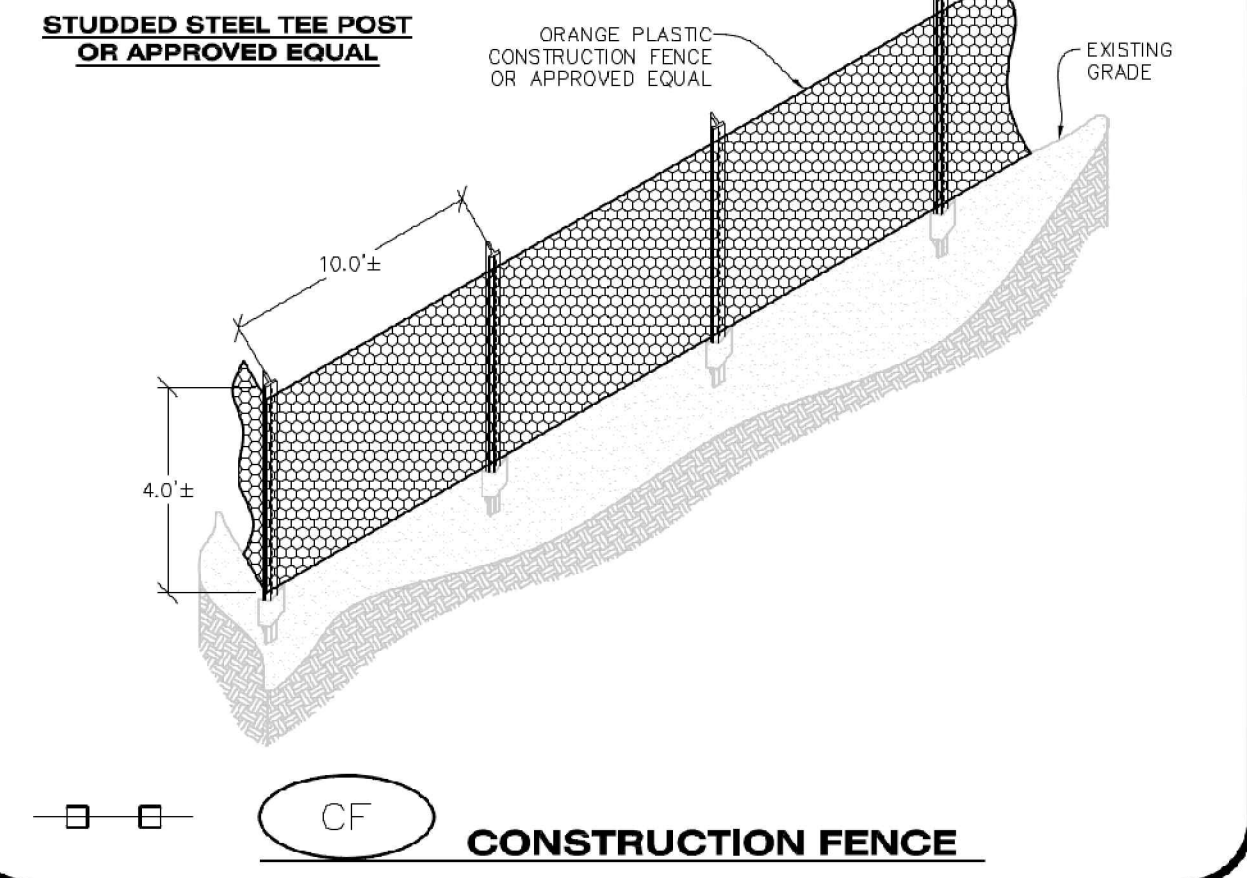
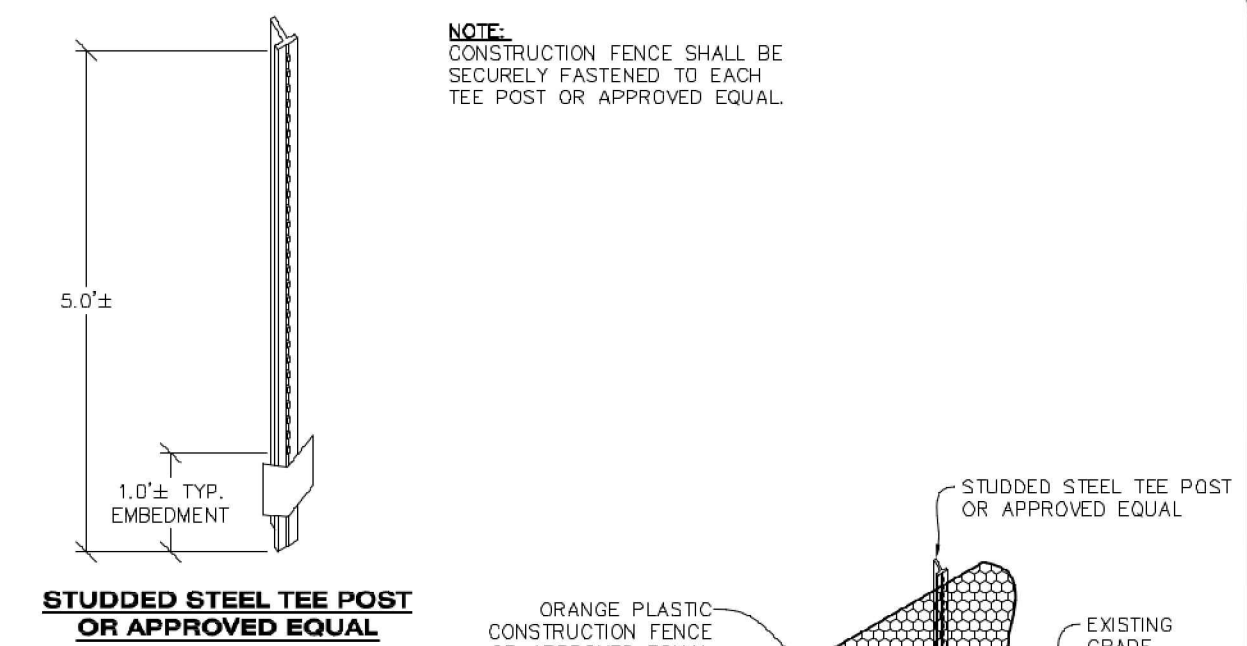
1. SEE PLAN VIEW FOR LOCATION(S) OF CHECK DAMS.
2. CHECK DAMS SHOWN ON CBMP PLAN SHALL BE INSTALLED WHEN DIRECTED BY THE TOWN'S INSPECTOR.
3. RIPRAP UTILIZED FOR CHECK DAMS SHALL HAVE A D50 MEDIAN STONE SIZE OF 12".
4. RIPRAP PAD SHALL BE TRENCHED INTO THE GROUND A MINIMUM OF 1'-8".
5. THE MAXIMUM SPACING BETWEEN CHECK DAMS SHOULD BE SUCH THAT THE BOTTOM OF THE UPSTREAM DAM IS AT THE SAME ELEVATION AS THE TOP OF THE DOWNSTREAM DAM AS SHOWN IN THE DETAIL.

CHECK DAM INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CHECK DAMS.
2. ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE CREST OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
3. CHECK DAMS SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
4. WHEN CHECK DAMS ARE REMOVED, THE TOWN'S INSPECTOR MAY REQUIRE EXCAVATIONS TO BE FILLED WITH SUITABLE COMPACTED TOPSOIL AND ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE CHECK DAMS BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
5. IN SOME INSTANCES, CHECK DAMS MAY REMAIN IN PLACE PERMANENTLY.

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
CD
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CONSTRUCTION FENCE

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
CF
1 OF 2
Oct. 2013

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CONSTRUCTION FENCE INSTALLATION NOTES

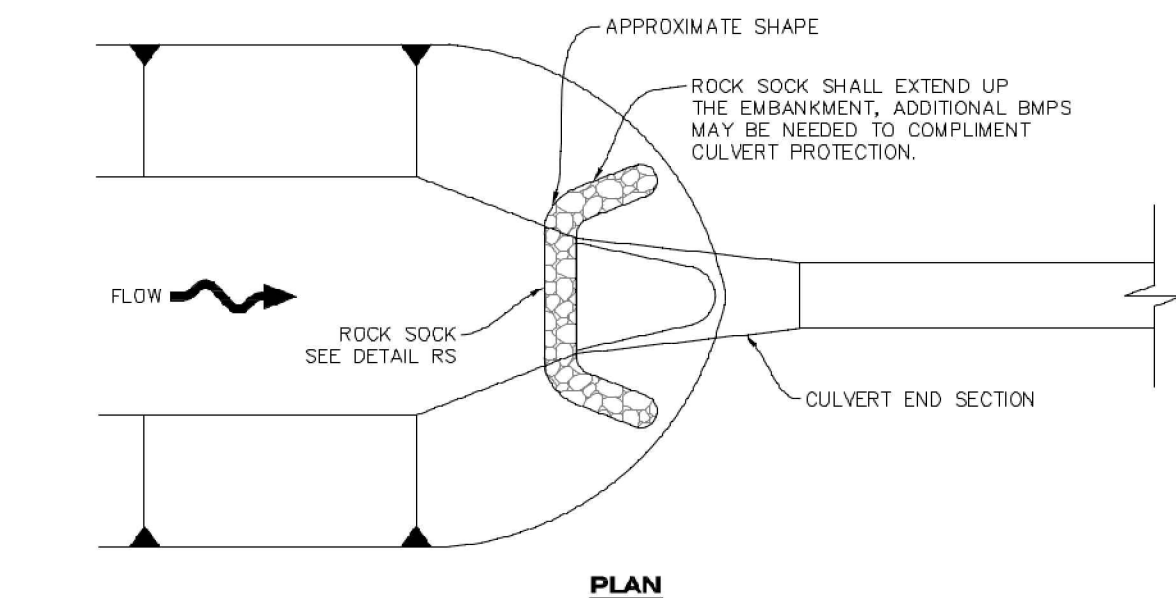
1. THE CONSTRUCTION FENCE SHALL BE SECURELY FASTENED TO EACH POST OR APPROVED EQUAL.

CONSTRUCTION FENCE INSPECTION AND MAINTENANCE NOTES

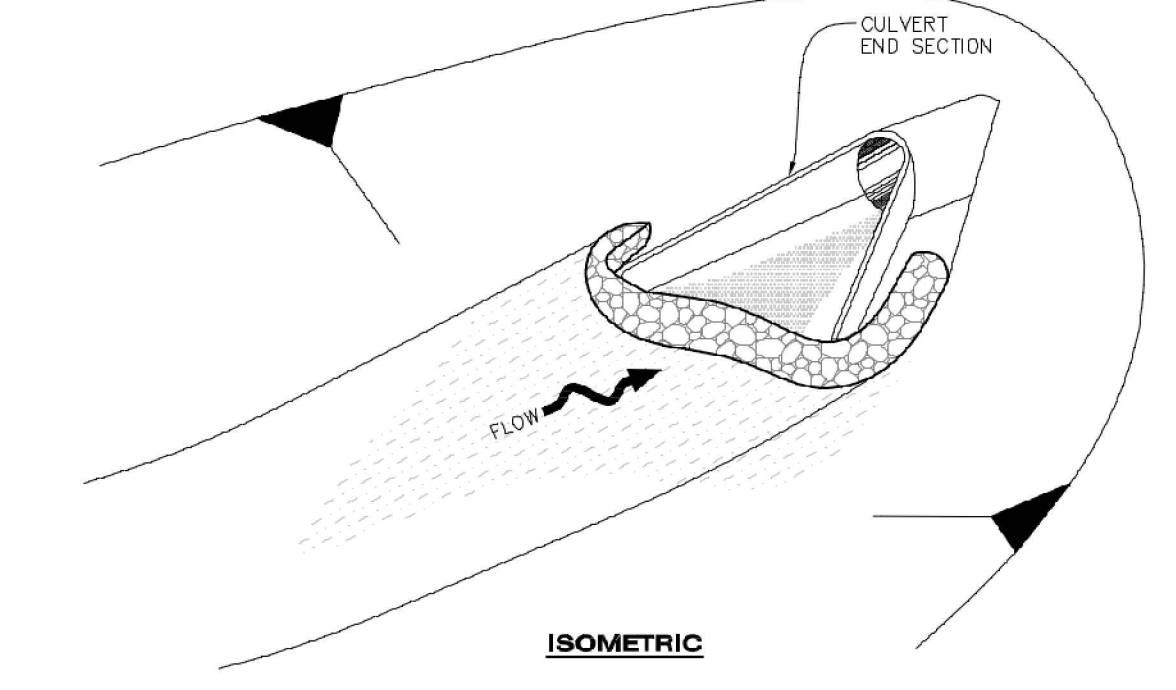
1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CONSTRUCTION FENCE AND MAKE ANY NECESSARY REPAIRS.
2. CONSTRUCTION FENCE SHALL BE REPAIRED WHEN THE FENCING MATERIAL FALLS OUT OF COMPLIANCE WITH THE NOTES AND DETAILS.

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
CF
2 OF 2
Oct. 2013

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PLAN



ISOMETRIC



CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
CP
1 OF 2
Oct. 2013

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CULVERT PROTECTION (INLET) INSTALLATION NOTES

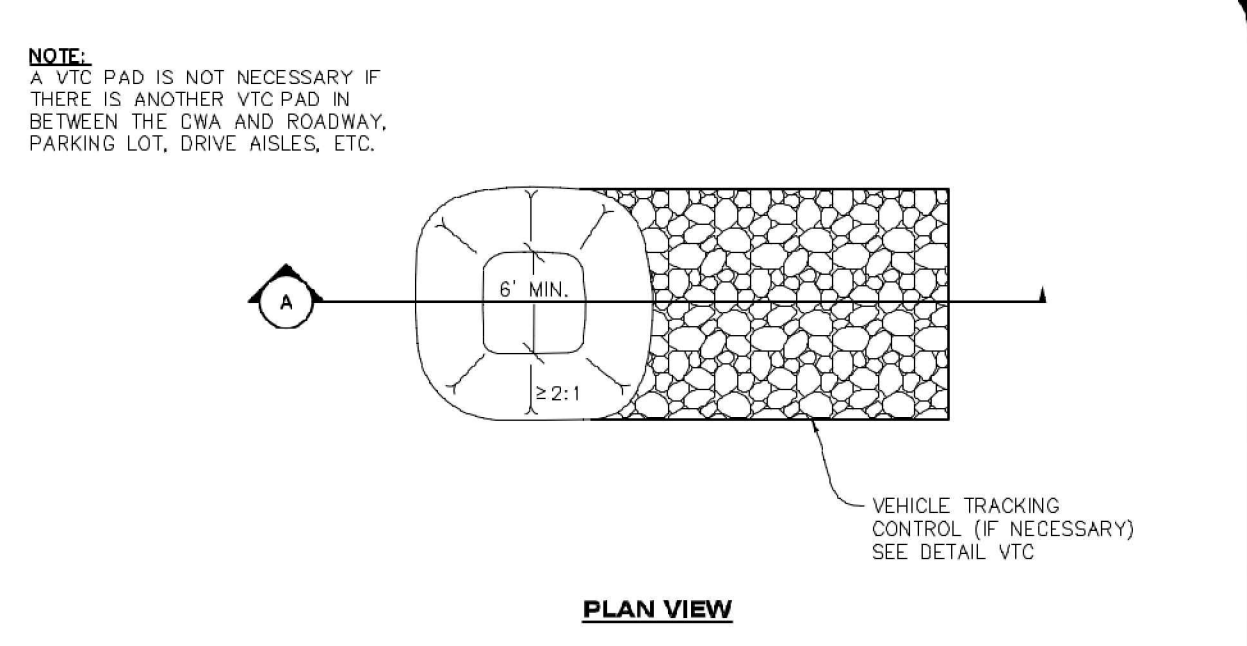
1. SEE PLAN VIEW FOR LOCATION(S) OF CULVERT PROTECTION (INLET).
2. ROCK SOCK SHALL BE CONSTRUCTED ACCORDING TO THE DETAIL (SEE DETAIL RS).
3. ROCK SOCK SHALL BE APPROXIMATELY 12" IN DIAMETER.
4. ROCK SOCK SHALL EXTEND ABOVE THE FLOW LINE ELEVATION ON BOTH SIDES OF THE CULVERT END SECTION.

CULVERT PROTECTION (INLET) INSPECTION AND MAINTENANCE NOTES

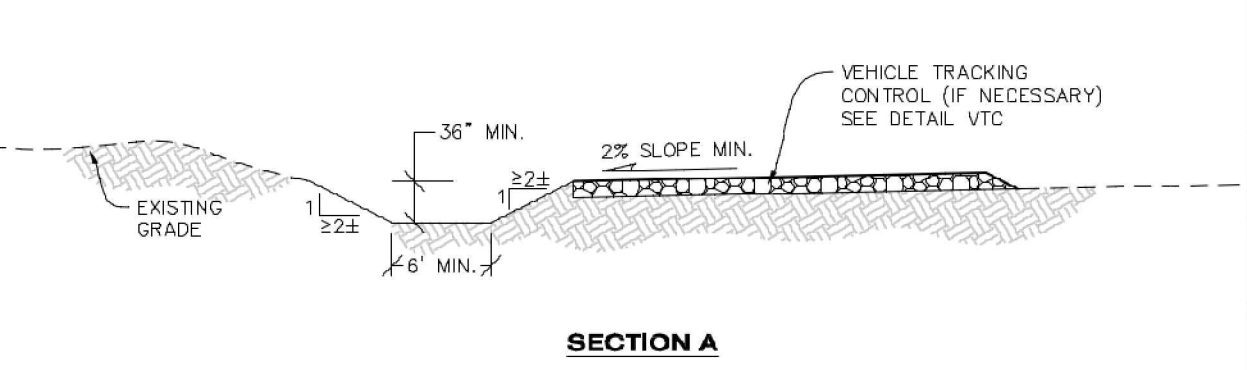
1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CULVERT PROTECTION (INLET).
2. AT A MINIMUM, ACCUMULATED SEDIMENT SHALL BE REMOVED ONCE SEDIMENT HAS REACHED A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE ROCK SOCK.
3. CULVERT PROTECTION (INLET) IS TO REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
4. WHEN THE CULVERT INLET PROTECTION IS REMOVED, THE TOWN'S INSPECTOR MAY REQUIRE ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE CULVERT INLET PROTECTION TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
CP
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PLAN VIEW



SECTION A



CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
CWA
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CONCRETE WASHOUT AREA INSTALLATION NOTES

1. CONCRETE WASHOUT AREAS SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
2. A VEHICLE TRACKING CONTROL PAD IS REQUIRED AT THE ACCESS POINT TO ALL CONCRETE WASHOUT AREAS WHEN NO OTHER VTC PAD EXISTS IN BETWEEN THE CWA AND THE ROADWAY.
3. IF GROUNDWATER IS ENCOUNTERED WHEN DIGGING THE PIT, A NEW LOCATION SHOULD BE SELECTED. IF NO OTHER LOCATION CAN BE FOUND, A ONE-PIECE IMPERVIOUS LINER SHALL BE REQUIRED ALONG THE BOTTOM AND SIDES OF THE SUBSURFACE PIT.

CONCRETE WASHOUT AREA INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CONCRETE WASHOUT AREA.
2. CONCRETE WASHOUT MATERIALS SHALL BE REMOVED BEFORE ITS CAPACITY HAS BEEN REACHED.
3. CONCRETE WASHOUT AREAS SHALL BE ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE AND ASSOCIATED WASH WATER.
4. CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE AS NECESSARY TO ENSURE ADEQUATE CAPACITY.
5. CONCRETE WASHOUT AREAS SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
6. WHEN CONCRETE WASHOUT AREAS ARE REMOVED, THE TOWN'S INSPECTOR MAY REQUIRE EXCAVATIONS TO BE FILLED WITH SUITABLE COMPACTED BACKFILL AND TOPSOIL, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE CONCRETE WASHOUT AREAS SHALL BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
CWA
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Oct. 2013

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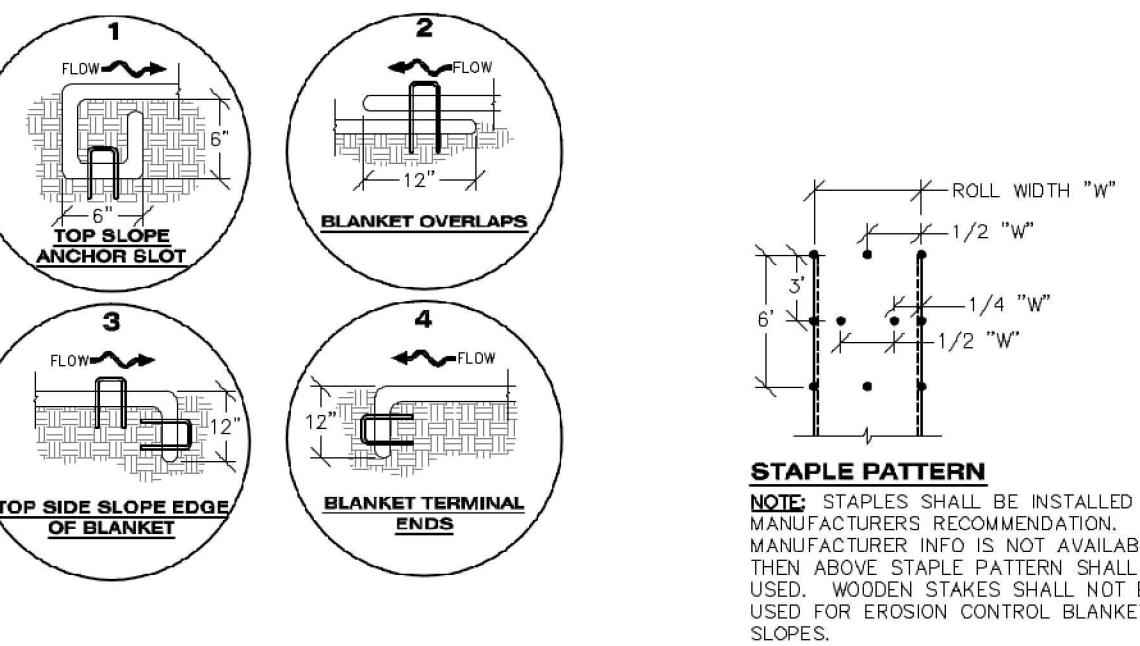
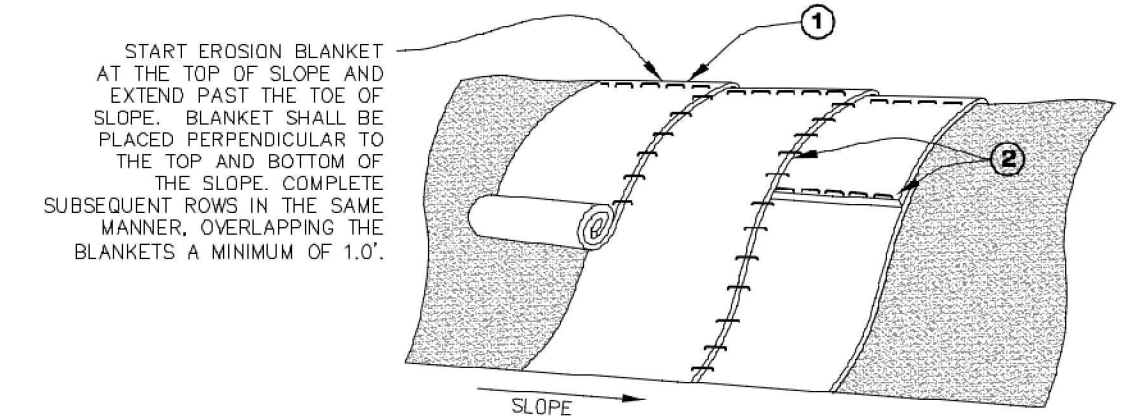
IN-N-OUT BURGER
CONSTRUCTION DOCUMENTS
PARKER & PINE FILING NO. 1, LOT 1
PARKER, CO 80134

#	Date	Issue / Description	Init.
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2	03/17/2023	2ND CD SUBMITTAL	PJD
3	04/26/2023	3RD CD SUBMITTAL	PJD
4	06/16/2023	4TH CD SUBMITTAL	PJD

Project No:	IN000014.20
Drawn By:	JNE
Checked By:	PJD
Date:	06/16/2023

CBMP DETAILS

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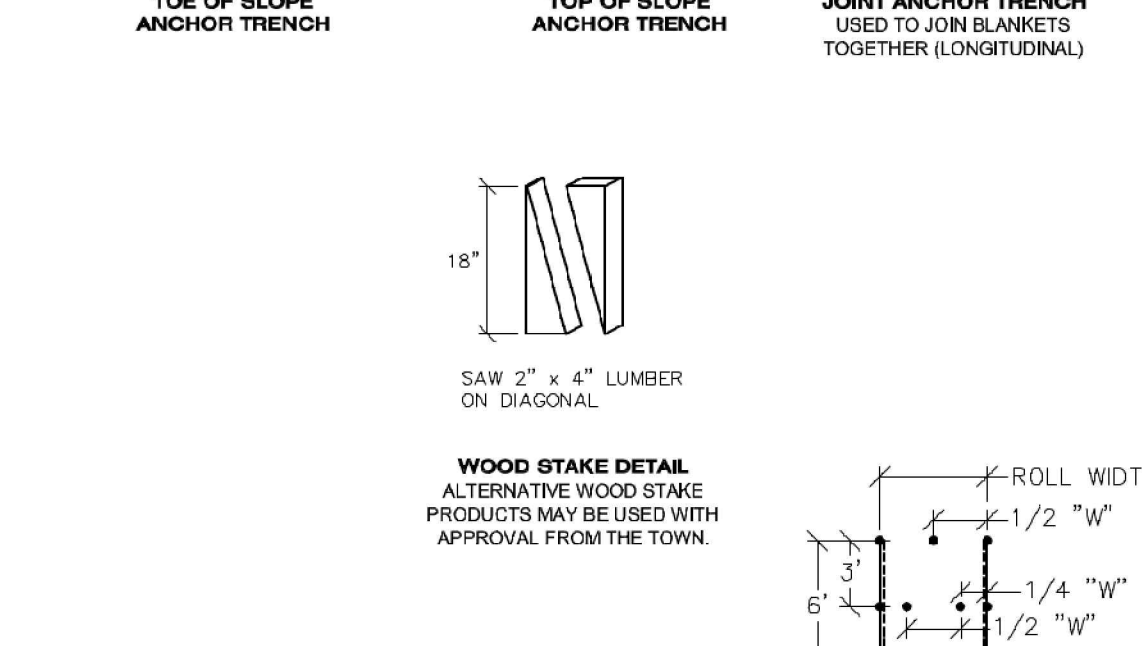
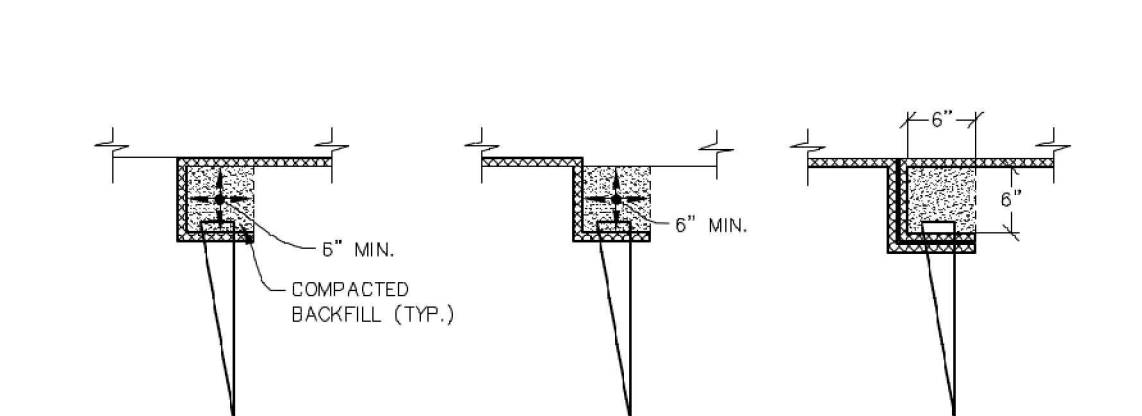


NOTE: WHEN NECESSARY, ALL SEEDING SHALL BE COMPLETED PRIOR TO THE PLACEMENT OF EROSION CONTROL BLANKETS. PLEASE SEE DETAIL SMC FOR SEEDING, MULCHING, AND CRIMPING REQUIREMENTS.

ECB EROSION CONTROL BLANKET (SLOPE)

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **ECB** 1 OF 3 Oct. 2013

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NOTE: WOOD STAKES SHALL BE INSTALLED SUCH THAT ONLY 1" IS EXPOSED ABOVE THE GROUND.

ECB EROSION CONTROL BLANKET (CHANNEL)

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **ECB** 2 OF 3 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

- EROSION CONTROL BLANKET INSTALLATION NOTES**
- SEE THE PLAN VIEW FOR THE LOCATION(S) OF THE EROSION CONTROL BLANKETS.
 - EROSION CONTROL BLANKETS USED FOR CHANNEL PROTECTION SHALL BE PROPERLY SELECTED BY THE DESIGN ENGINEER BASED ON CURRENT AND FUTURE FLOW RATES WITHIN THE CHANNEL BASED ON THESE CALCULATIONS. TURF REINFORCEMENT MATTING OR RIPRAP MAY BE NECESSARY IN LIEU OF EROSION CONTROL BLANKETS.
 - IMMEDIATELY PRIOR TO BLANKET INSTALLATION, SOIL SURFACE SHALL BE SMOOTH AND FREE OF ANY GAPS, VOIDS, WEEDS, ROCKS, STICKS, OR OTHER MISCELLANEOUS DEBRIS.
 - EROSION CONTROL BLANKET SHALL THEN BE INSTALLED ACCORDING TO THE DETAILED DRAWINGS.
 - ANY DAMAGED OR REMAINING STAPLES OR STAKES SHALL BE REMOVED FROM THE SITE.
 - ALL EROSION CONTROL BLANKETS FOR SLOPE PROTECTION INSTALLED IN THE TOWN SHALL BE DOUBLE NET, STRAW OR EXCELSIOR.
 - IN MOST CASES, EROSION CONTROL BLANKETS FOR SLOPE PROTECTION ARE TO REMAIN IN PLACE PERMANENTLY.

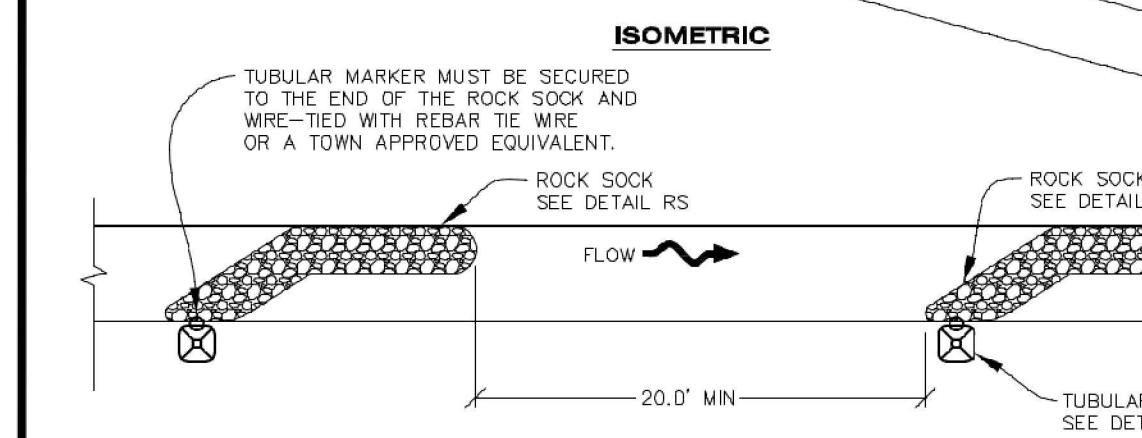
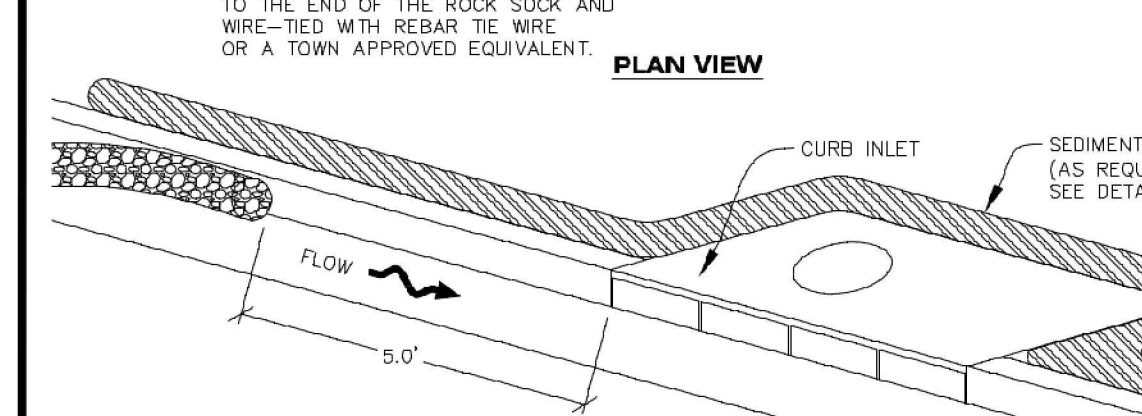
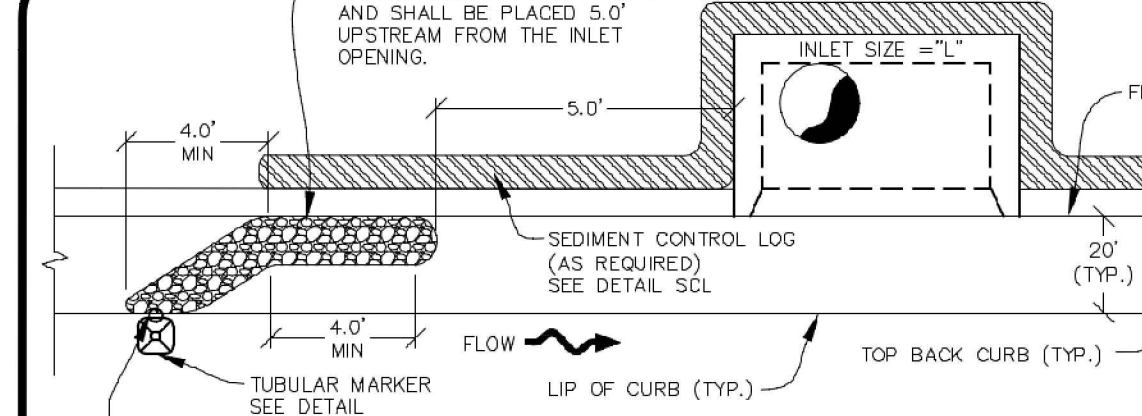
- EROSION CONTROL BLANKET MAINTENANCE NOTES**
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE EROSION CONTROL BLANKETS AND MAKE ANY NECESSARY REPAIRS.

MANUFACTURER	PRODUCT NAME
NDRTH AMERICAN GREEN	S150
APPROVED EQUAL	APPROVED EQUAL

IPCOG INLET PROTECTION, CURB ON-GRADE, TYPE R INLET

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **ECB** 3 OF 3 Oct. 2013

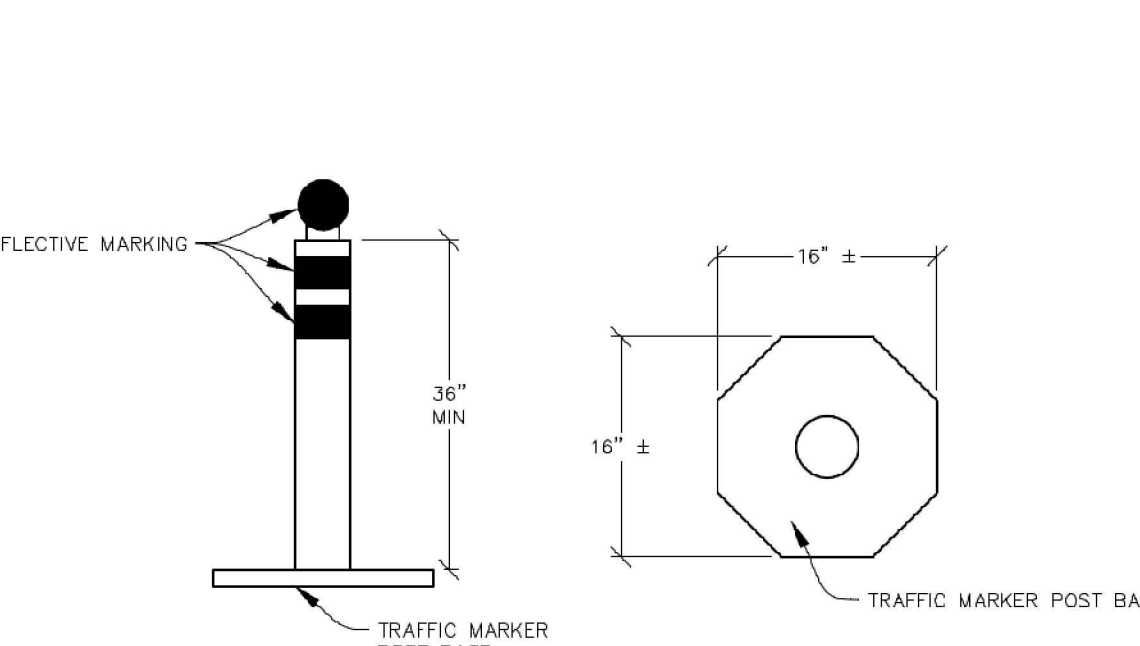
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IPCOG INLET PROTECTION, CURB ON-GRADE, TYPE R INLET

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **IPCOG** 1 OF 3 Oct. 2013

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TUBULAR TRAFFIC MARKER DETAIL

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **IPCOG** 2 OF 3 Oct. 2013

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- INLET PROTECTION, CURB ON-GRADE INSTALLATION NOTES**
- SEE CBMP PLAN FOR LOCATION(S) OF ON-GRADE INLET PROTECTION.
 - CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
 - ROCK SOCK FOR ON-GRADE INLET PROTECTION SHALL BE ONE CONTINUOUS PIECE.
 - ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL, SIZED TO KEEP ROCK FROM SPILLING OUT.
 - ROCK SOCK SHALL BE PLACED 5.0' UPHILL OF THE INLET OPENING.
 - TUBULAR MARKER SHALL BE A MINIMUM OF 3.0' HIGH WITH REFLECTIVE BANDS AND OCTAGON SHAPED BASES.
 - THE CURB INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE APPLICABLE INSTALLATION OF THE FIRST LIFT OF ASPHALT ON ROADWAYS DRAINING TO THE INLET.

ON-GRADE INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE ON-GRADE INLET PROTECTION.
- ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
- ON-GRADE INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

IPCOG INLET PROTECTION, CURB ON-GRADE, TYPE R INLET

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **IPCOG** 3 OF 3 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

- AREA INLET PROTECTION INSTALLATION NOTES**
- SEE PLAN VIEW FOR LOCATION(S) OF AREA INLET PROTECTION.
 - THE AREA INLET PROTECTION SHOWN ON CBMP PLANS SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE INSTALLATION OF NEW INLETS. AN INTERIM STYLE OF INLET PROTECTION MAY BE ALLOWED UNTIL THE INSTALLATION OF THE GUTTER AND/OR PAVEMENT.

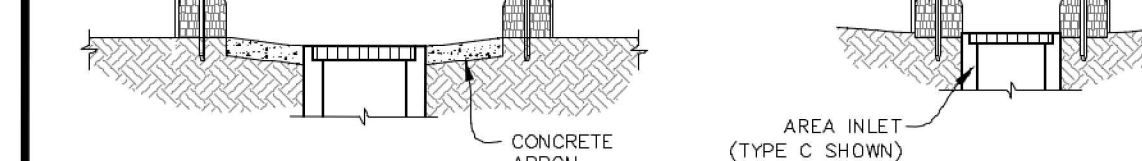
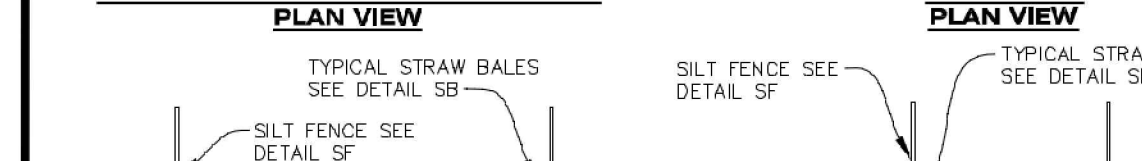
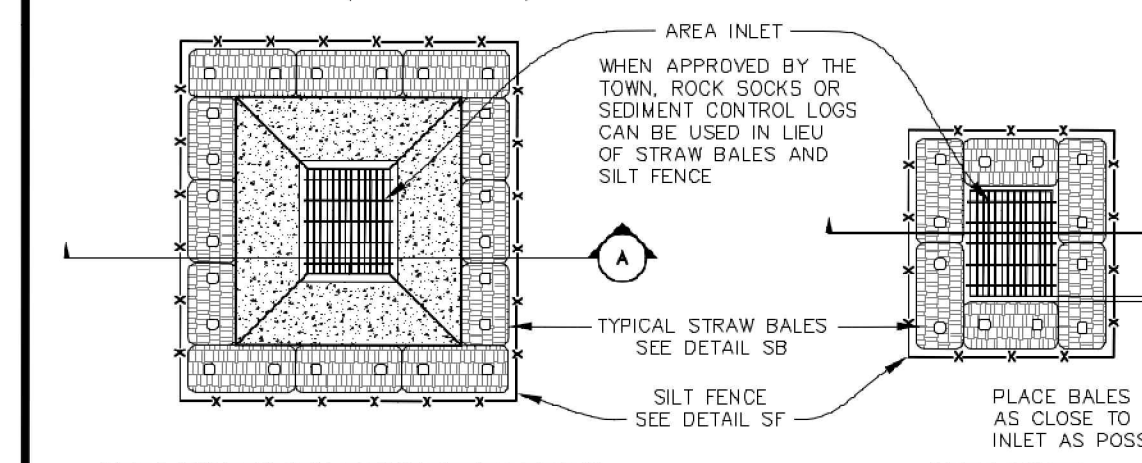
AREA INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE AREA INLET PROTECTION.
- AREA INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.
- WHEN THE AREA INLET PROTECTION IS REMOVED, ANY DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE AREA INLET PROTECTION MAY NEED TO BE ROUGHENED, SEEDED, MULCHED, AND CRIMPED PER THE TOWN'S SPECIFICATIONS (SEE DETAIL SMC).
- ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.

IPAN INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **IPA** 1 OF 1 Oct. 2013

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IPAN INLET PROTECTION FOR AREA INLETS NOT IN PAVEMENT

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES **IPAN** 1 OF 1 Oct. 2013

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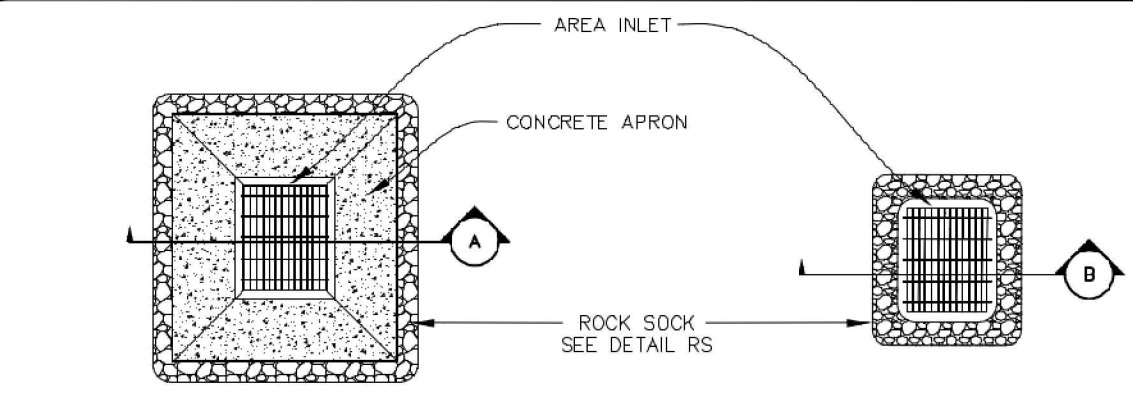
IN-N-OUT BURGER
CONSTRUCTION DOCUMENTS
PARKER & PINE FILING NO. 1, LOT 1
PARKER, CO 80134

#	Date	Issue / Description	Init.
1	12/21/2022	1ST CD SUBMITTAL	PJD
2	03/17/2023	2ND CD SUBMITTAL	PJD
3	04/26/2023	3RD CD SUBMITTAL	PJD
4	06/16/2023	4TH CD SUBMITTAL	PJD

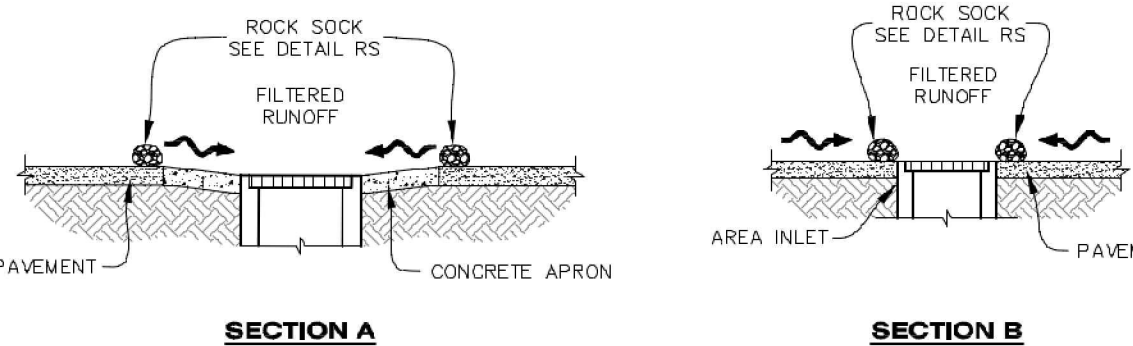
Project No: IN000014-20
Drawn By: JNE
Checked By: PJD
Date: 06/16/2023

CBMP DETAILS

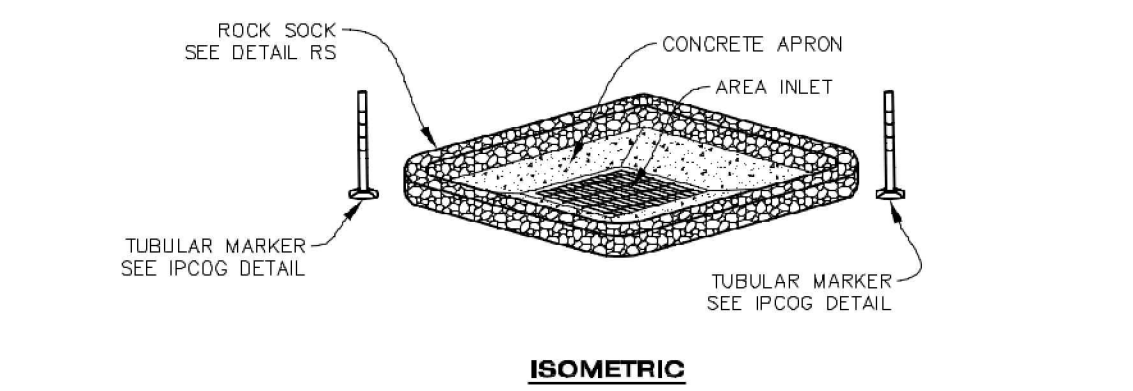
NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER



AREA INLET WITH CONCRETE APRON PLAN VIEW



SECTION A SECTION B

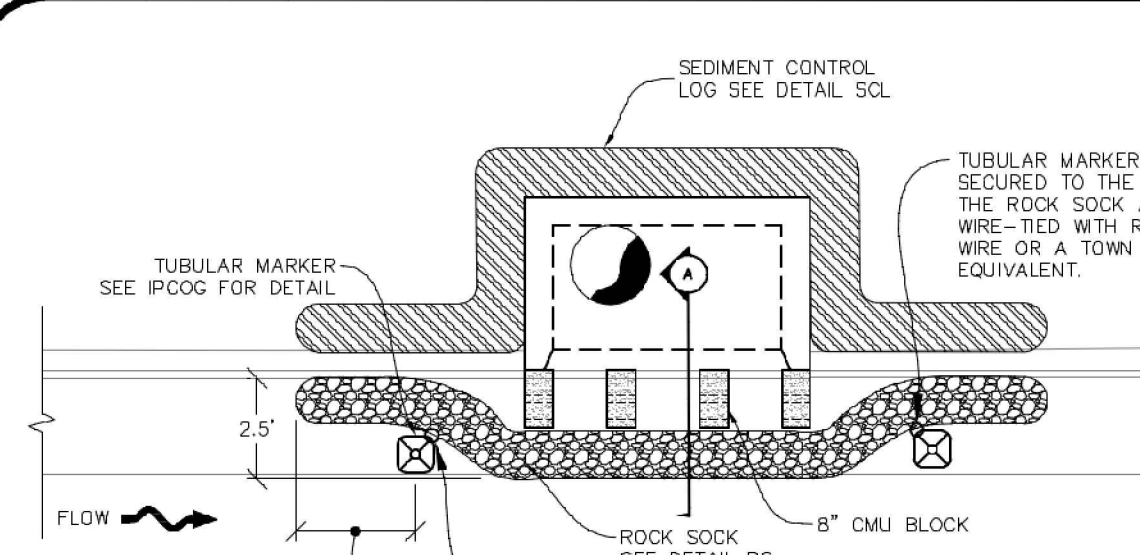


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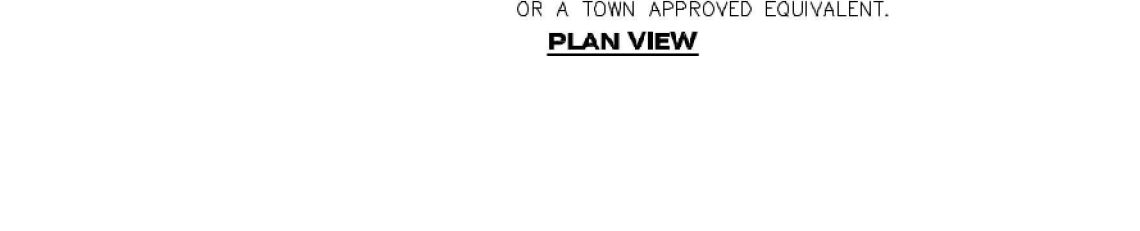
IPAP INLET PROTECTION FOR AREA INLETS IN PAVEMENT

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
IPAP 1 OF 1 Oct. 2013

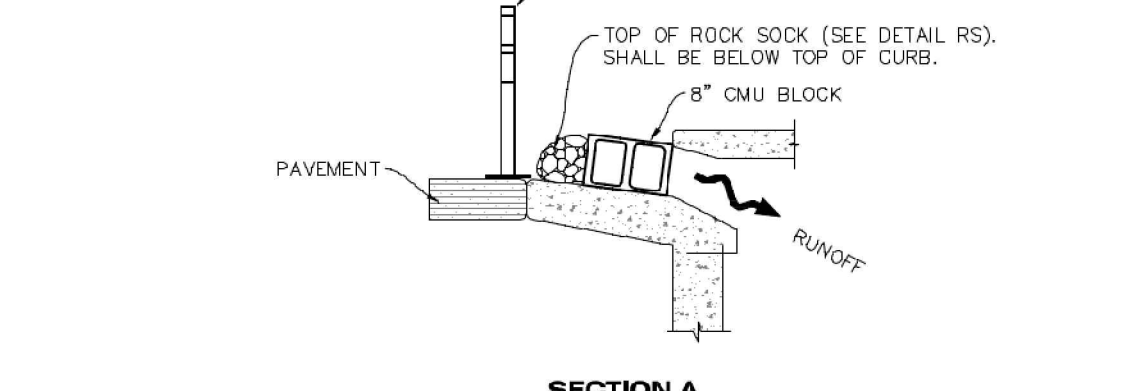
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PLAN VIEW



SECTION A



ISOMETRIC

IPCOS INLET PROTECTION, CURB ON SUMP, TYPE R INLET

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
IPCOS 1 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

CURB INLET PROTECTION INSTALLATION NOTES

- SEE CBMP PLAN FOR LOCATION(S) OF CURB INLET PROTECTION.
- CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).
- ROCK SOCK SHALL BE ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAPPED JOINTS (SEE DETAIL RS).
- ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL SIZED TO KEEP ROCK FROM SPILLING OUT.
- ROCK SOCK SHALL EXTEND 3.0' ALONG THE CURB BEYOND LOCATIONS WHERE IT RETURNS TO CONTACT CURB FACE.
- TUBULAR TRAFFIC MARKERS SHALL BE A MINIMUM OF 36" IN HEIGHT WITH REFLECTIVE BANDS AND OCTAGON SHAPED BASES.
- THE CURB INLET PROTECTION SHOWN ON CBMP PLAN SHALL BE INSTALLED ON EXISTING INLETS PRIOR TO ANY LAND DISTURBING ACTIVITIES OR IMMEDIATELY AFTER THE INSTALLATION OF THE FIRST LIFT OF ASPHALT ON ROADWAYS DRAINING TO THE CURB INLET. CMU BLOCKS OR THE ROCK SOCK SHALL BE USED AS INTERIM PROTECTION UNTIL THE FIRST LIFT OF ASPHALT IS INSTALLED.

CURB INLET PROTECTION INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE CURB INLET PROTECTION.
- ACCUMULATED SEDIMENT SHALL BE REMOVED AS SOON AS POSSIBLE, IMMEDIATELY IN MOST CASES.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.
- CURB INLET PROTECTION SHALL REMAIN IN PLACE AND PROPERLY MAINTAINED UNTIL VEGETATIVE COVER HAS REACHED A CONSISTENT DENSITY OF AT LEAST 70% OF FULL VEGETATIVE COVER AND EROSION AND SEDIMENTATION IS NO LONGER A POSSIBILITY AS DETERMINED BY THE TOWN'S INSPECTOR OR AS OTHERWISE DIRECTED BY THE TOWN'S INSPECTOR.

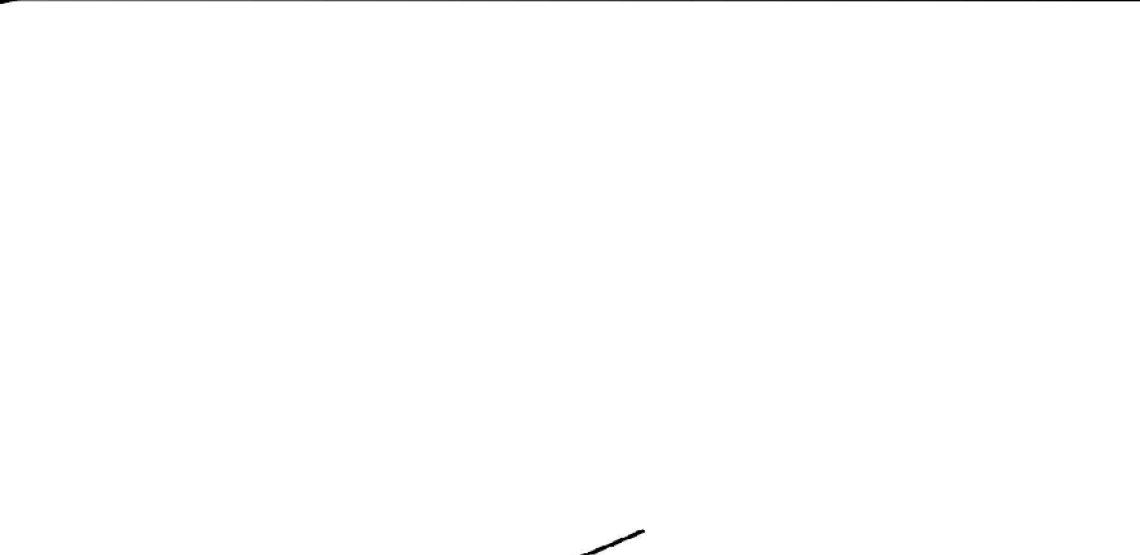
ISOMETRIC

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES

IPCOS 2 OF 2 Oct. 2013

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
IPCOS 2 OF 2 Oct. 2013

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PLAN VIEW



ISOMETRIC

LP LOT PROTECTION

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
LP 1 OF 2 Oct. 2013

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EROSION CONTROL BLANKET FOR LOT PROTECTION INSTALLATION NOTES

- ALL EROSION CONTROL BLANKETS FOR LOT PROTECTION INSTALLED IN THE TOWN SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:

MANUFACTURER	PRODUCT NAME
NORTH AMERICAN GREEN APPROVED EQUAL	S150 BN APPROVED EQUAL

- ALL EROSION CONTROL BLANKETS FOR LOT PROTECTION SHALL BE INSTALLED ACCORDING TO THE DETAIL DRAWINGS, WITH THE FOLLOWING ALLOWANCES AND ADDITIONS:

- THE TOWN WILL ALLOW THE USE OF BIODEGRADABLE, EROSION CONTROL BLANKET-SPECIFIC STAPLES, IN LIEU OF TRADITIONAL METAL STAPLES.
- ALL EROSION CONTROL BLANKET EDGES (SIDES AND ENDS) MUST OVERLAP THE ADJACENT BLANKET BY A MINIMUM OF 6-INCHES WITH THE UP-GRADIENT EDGES BEING PLACED ON TOP OF THE DOWN-GRADIENT EDGE OF THE ADJACENT BLANKET.
- THE EDGES (SIDES AND ENDS) OF THE EROSION CONTROL BLANKETS DO NOT NEED TO BE TRENCHED INTO THE GROUND ASSUMING THE SITE CONDITIONS WILL NOT CAUSE EROSION BENEATH THE BLANKETS. THESE ASSUMPTIONS WILL BE THE RESPONSIBILITY OF THE EROSION CONTROL SUPERVISOR. ON OCCASION, THE TOWN'S INSPECTOR MAY REQUEST TRENCHING BASED UPON SITE CONDITIONS.
- TOPSOIL PLACEMENT, SEEDING, AND MULCHING WILL NOT BE REQUIRED ON THE LOTS PRIOR TO THE INSTALLATION OF THE EROSION CONTROL BLANKET.

- ANY DAMAGED OR EXCESS STAPLES SHALL BE REMOVED FROM THE SITE FOLLOWING INSTALLATION.

- THE EROSION CONTROL BLANKETING REQUIRED AS PART OF THE LOT PROTECTION (LP) REQUIREMENT MUST BE INSTALLED OVER ALL UN-LANDSCAPED AREAS WITHIN EACH RESIDENTIAL, MULTI-FAMILY, AND COMMERCIAL LOT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY / TEMPORARY CERTIFICATE OF OCCUPANCY.

EROSION CONTROL BLANKET FOR LOT PROTECTION MAINTENANCE NOTES

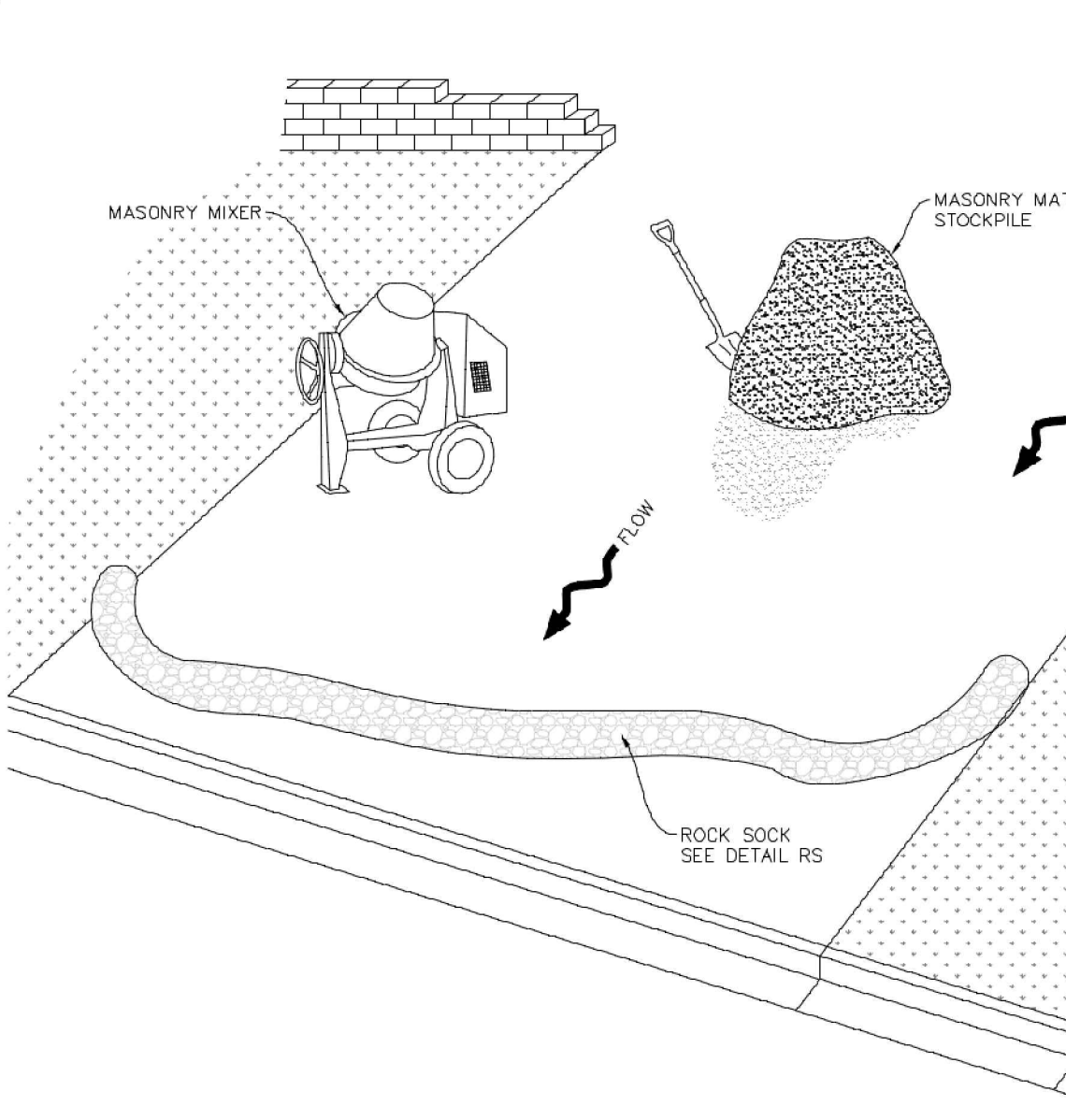
- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE EROSION CONTROL BLANKET FOR LOT PROTECTION.
- EROSION CONTROL BLANKETS FOR LOT PROTECTION ARE INTENDED TO REMAIN IN PLACE AND MAINTAINED UNTIL LANDSCAPING IS INSTALLED.

ISOMETRIC

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
LP 2 OF 2 Oct. 2013

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ISOMETRIC

MWP MASONRY WORK PROTECTION

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
MWP 1 OF 2 Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

MASONRY WORK PROTECTION INSTALLATION NOTES

- MASONRY WORK PROTECTION MAY NEED TO BE INSTALLED WHEN MASONRY WORK AND MIXING IS OCCURRING.

- A ROCK SOCK SHALL BE INSTALLED IN A CRESCENT SHAPE ON THE DOWNHILL SIDE OF THE MASONRY WORK AND MIXER.

- CRUSHED ROCK SHALL BE 2.0"-3.0" IN SIZE WITH A FRACTURED FACE (ALL SIDES).

- ROCK SOCK SHALL BE ONE CONTINUOUS PIECE OR SHALL BE CONSTRUCTED USING WIRE WRAPPED JOINTS (SEE DETAIL RS).

- ROCK SOCK SHALL BE CONSTRUCTED USING CHICKEN WIRE OR OTHER APPROVED MATERIAL, SIZED TO KEEP ROCK FROM SPILLING OUT.

MASONRY WORK PROTECTION INSPECTION AND MAINTENANCE NOTES

- THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE MASONRY WORK PROTECTION.

- ALL CONCRETE WASTE SHALL BE REGULARLY CLEANED AND PLACED IN THE CONCRETE WASH OUT AREA.

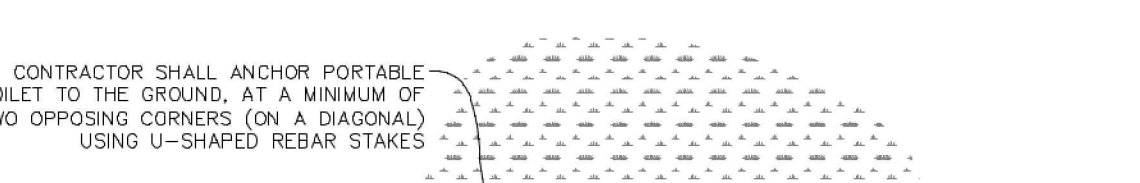
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED OR DAMAGED.

ISOMETRIC

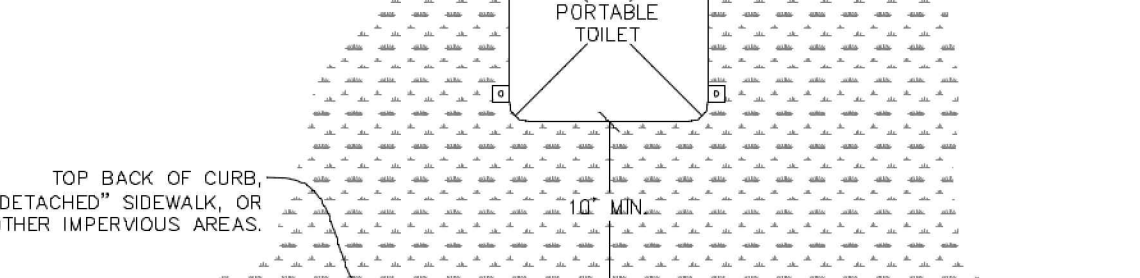
CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
MWP 2 OF 2 Oct. 2013

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PLAN VIEW



ISOMETRIC

PTP PORTABLE TOILET PROTECTION

CBMP CONSTRUCTION BEST MANAGEMENT PRACTICES
PTP 1 OF 2 Oct. 2013

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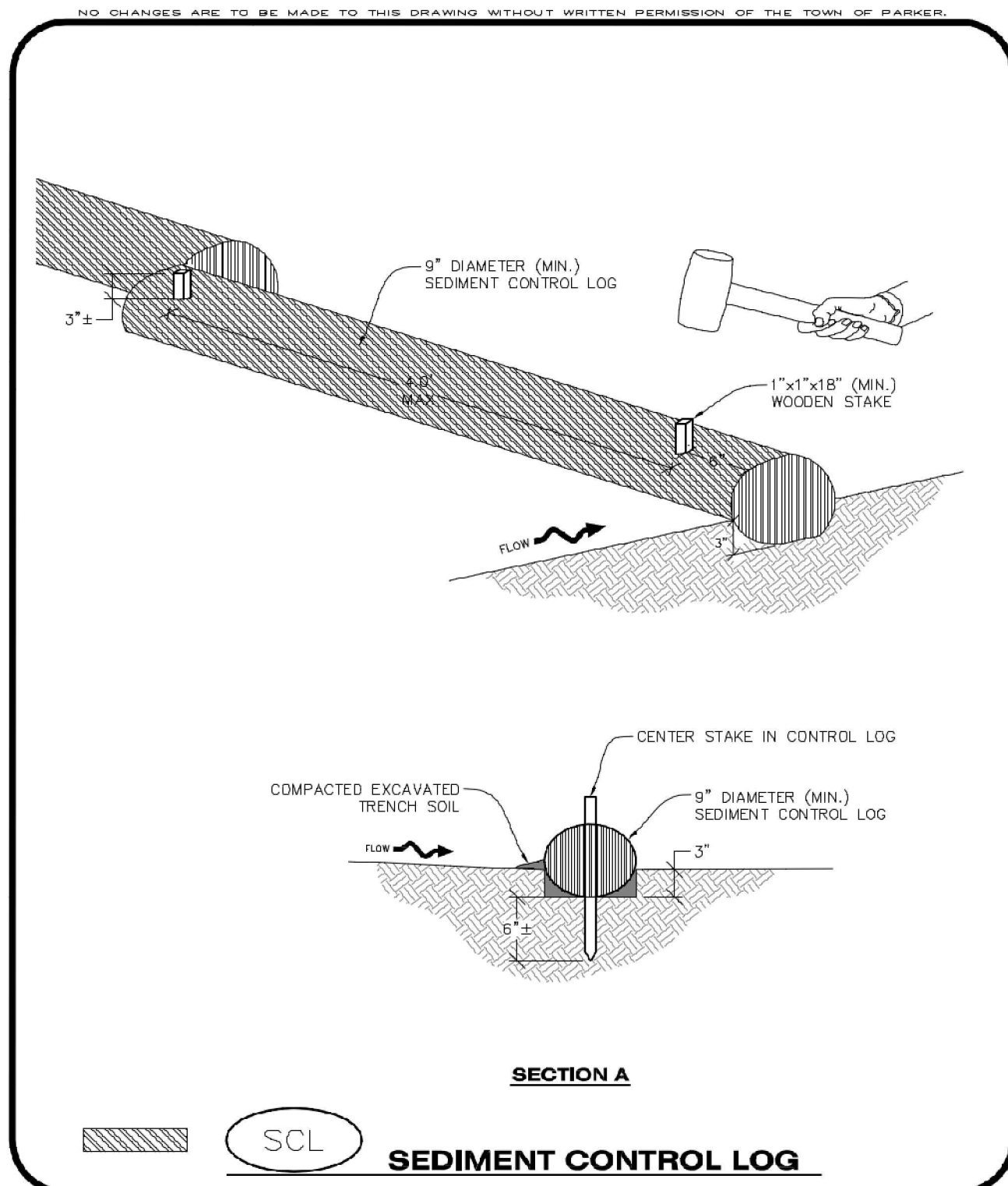


IN-N-OUT BURGER
 CONSTRUCTION DOCUMENTS
 PARKER & PINE FILING NO. 1, LOT 1
 PARKER, CO 80134

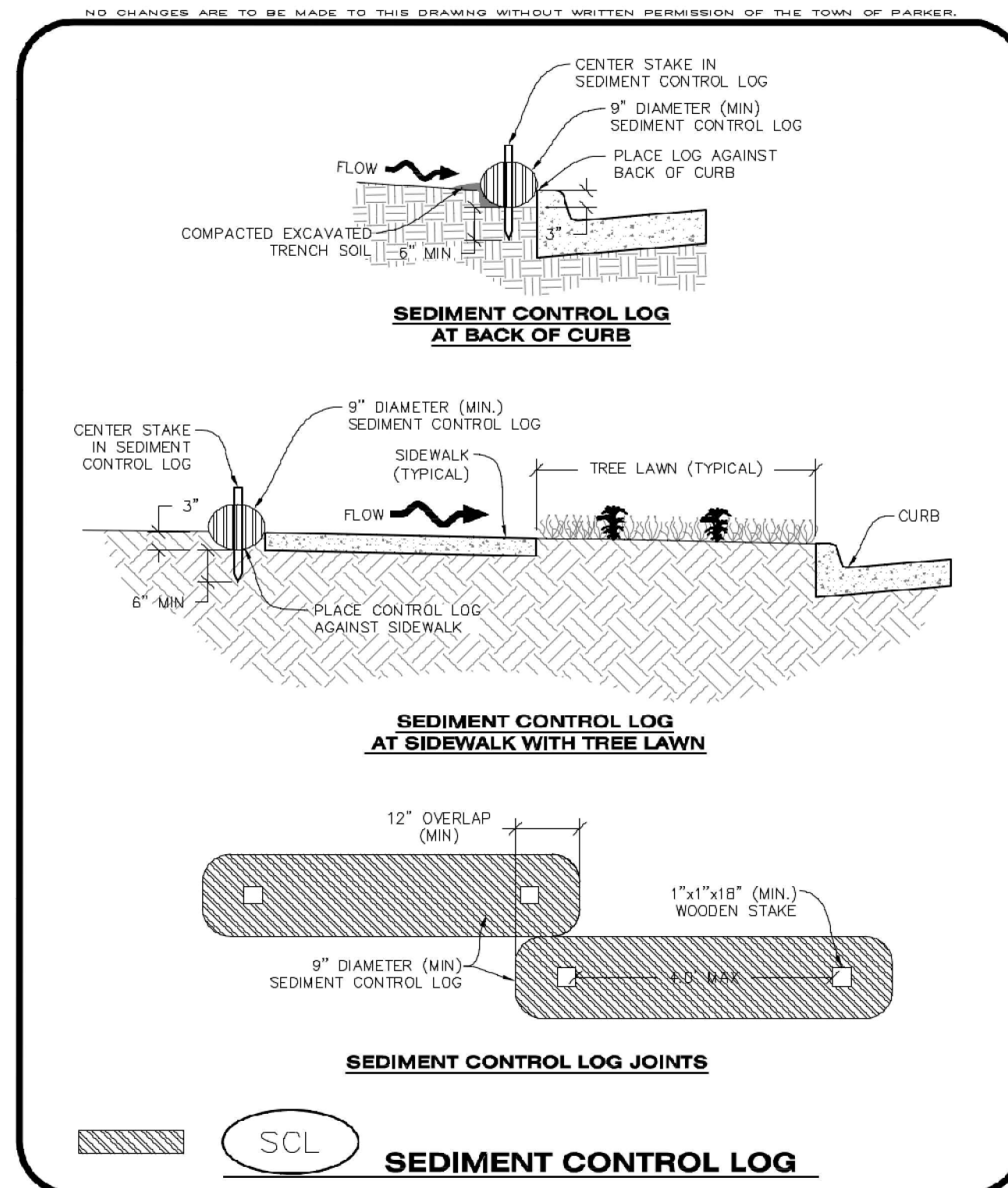
#	Date	Issue / Description	Init.
1	12/21/2022	1ST CD SUBMITTAL	PJD
2	03/17/2023	2ND CD SUBMITTAL	PJD
3	04/26/2023	3RD CD SUBMITTAL	PJD
4	06/16/2023	4TH CD SUBMITTAL	PJD

Project No: IN000014-20
 Drawn By: JNE
 Checked By: PJD
 Date: 06/16/2023

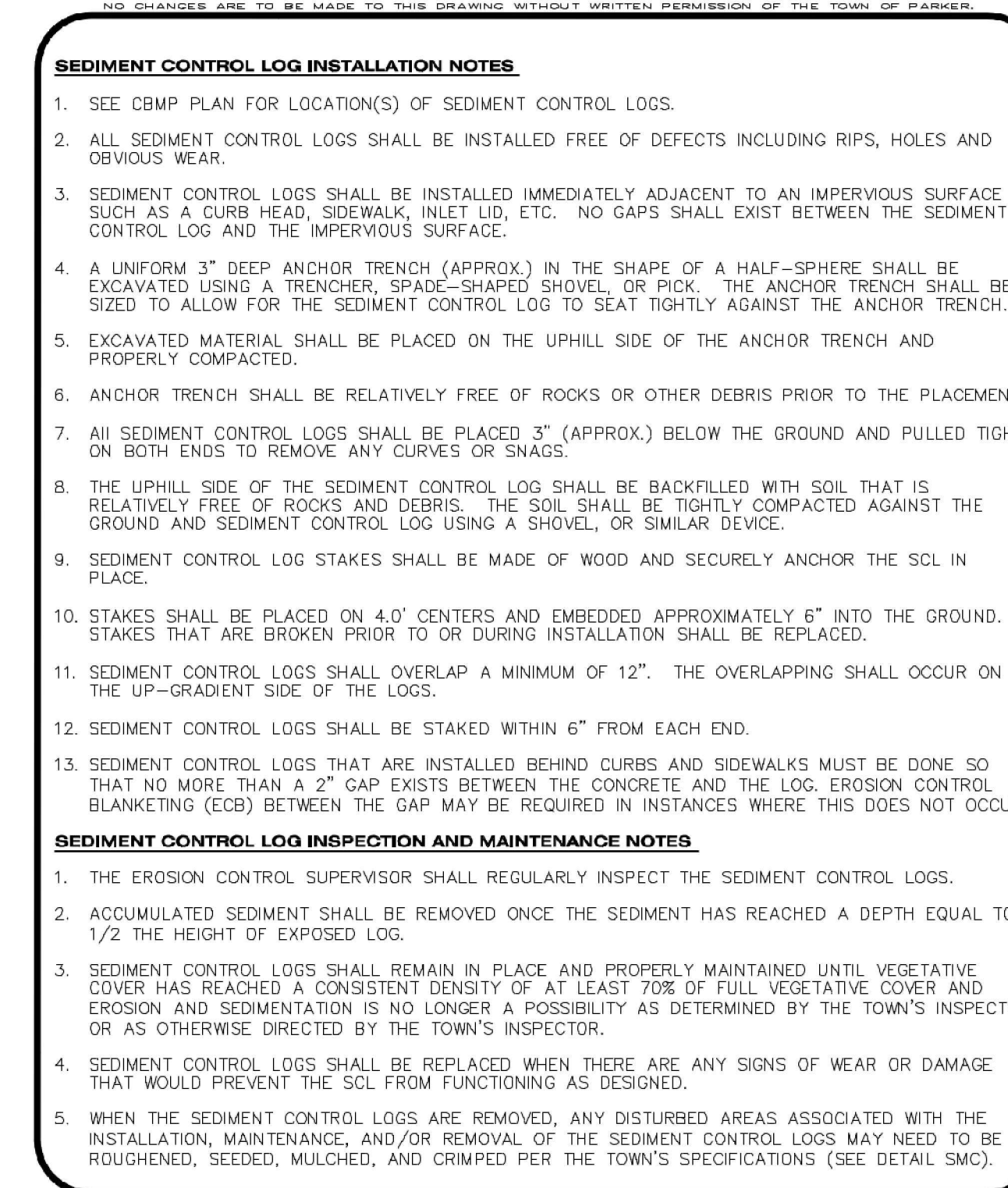
CBMP DETAILS



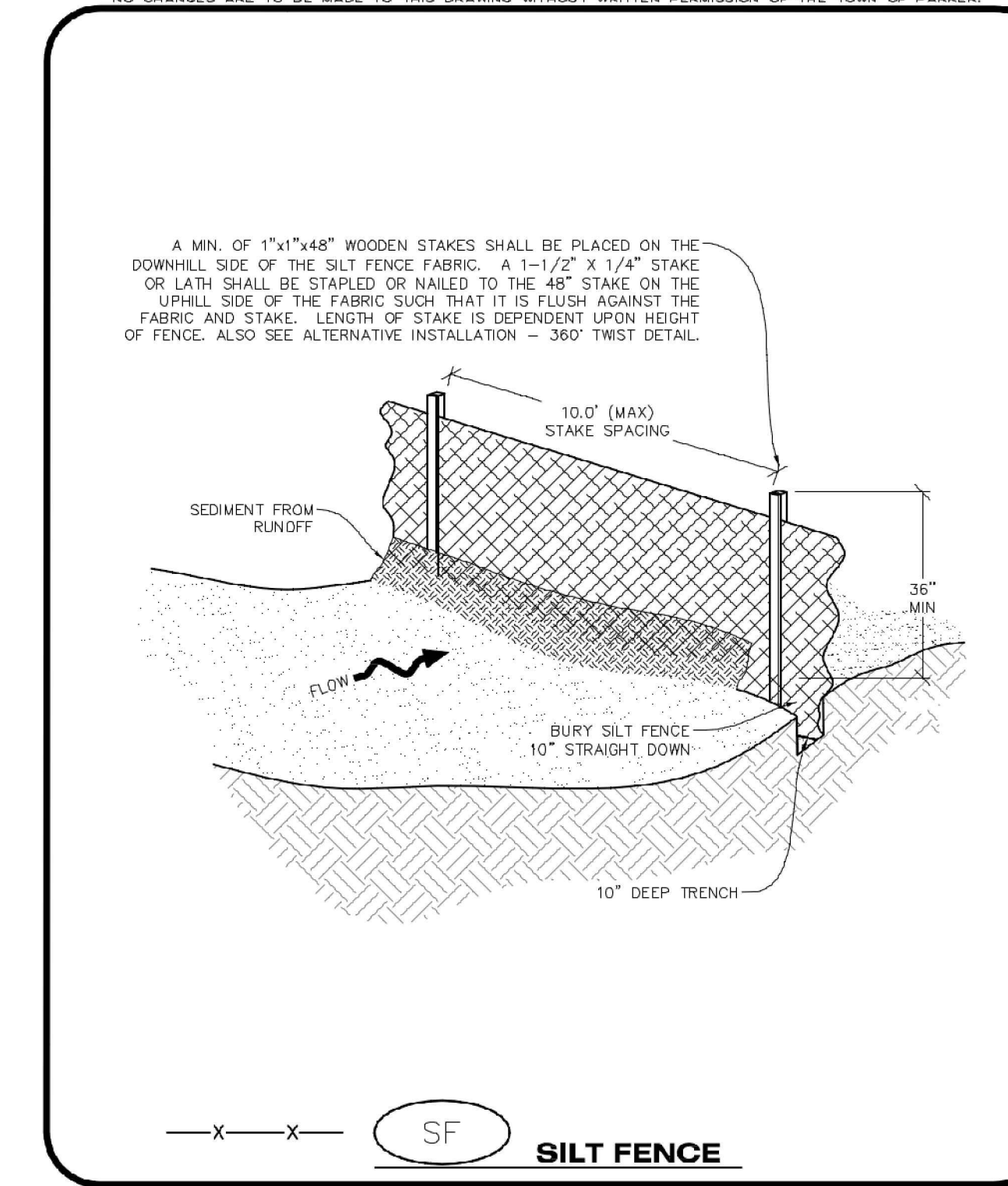
Parker COLORADO **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **SCL** 1 OF 3 Oct. 2013



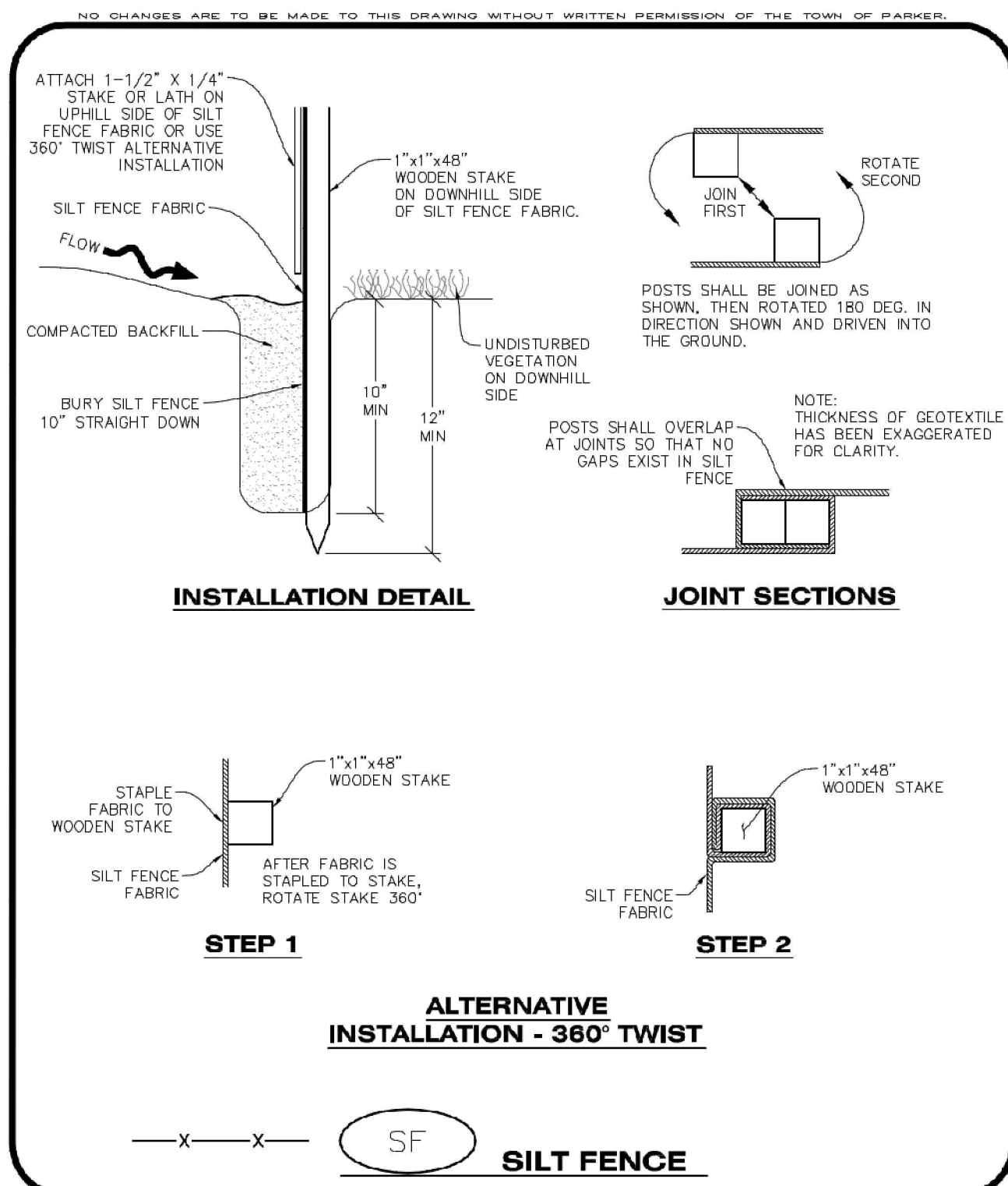
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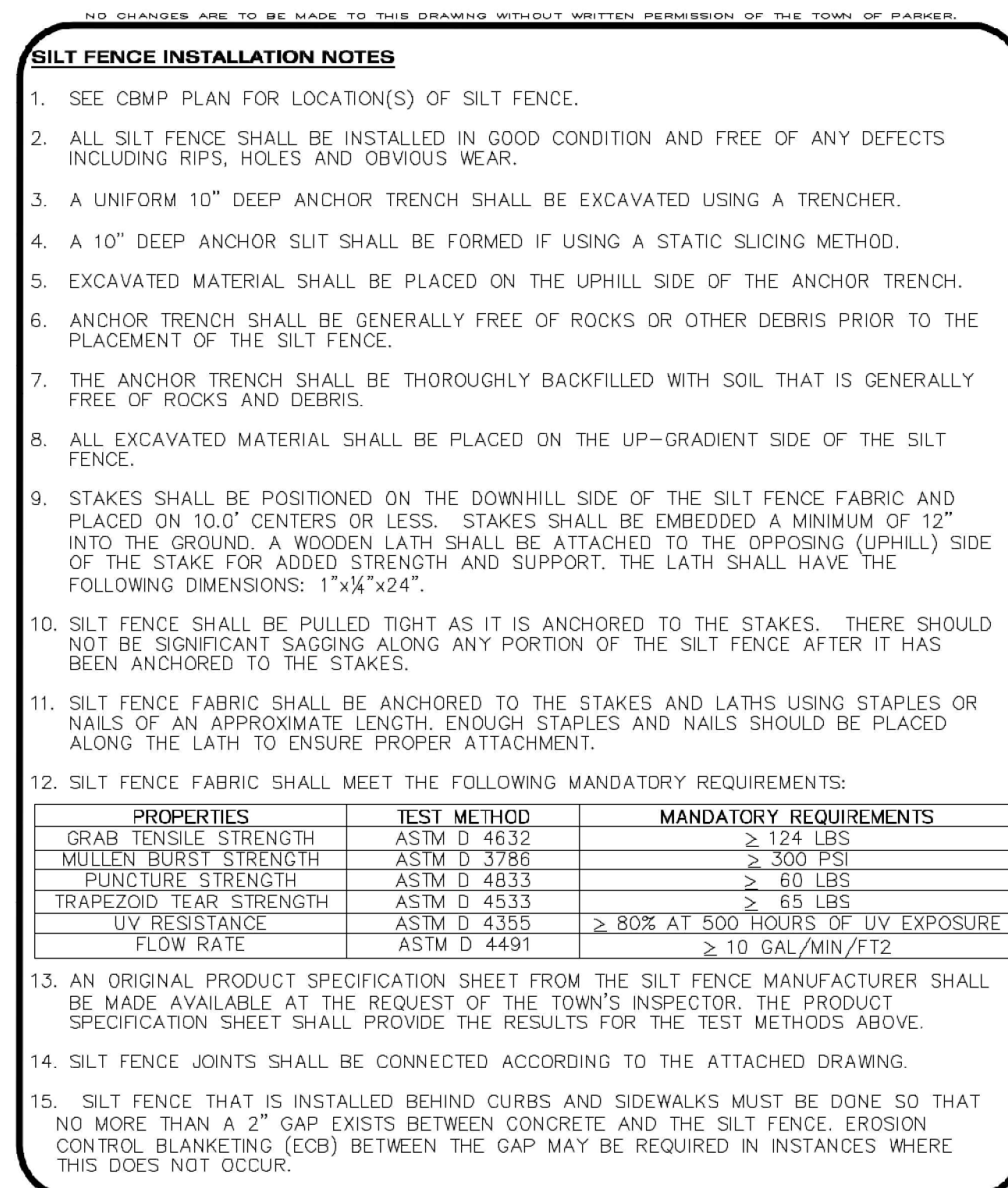
Parker COLORADO **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **SCL** 3 OF 3 Oct. 2013



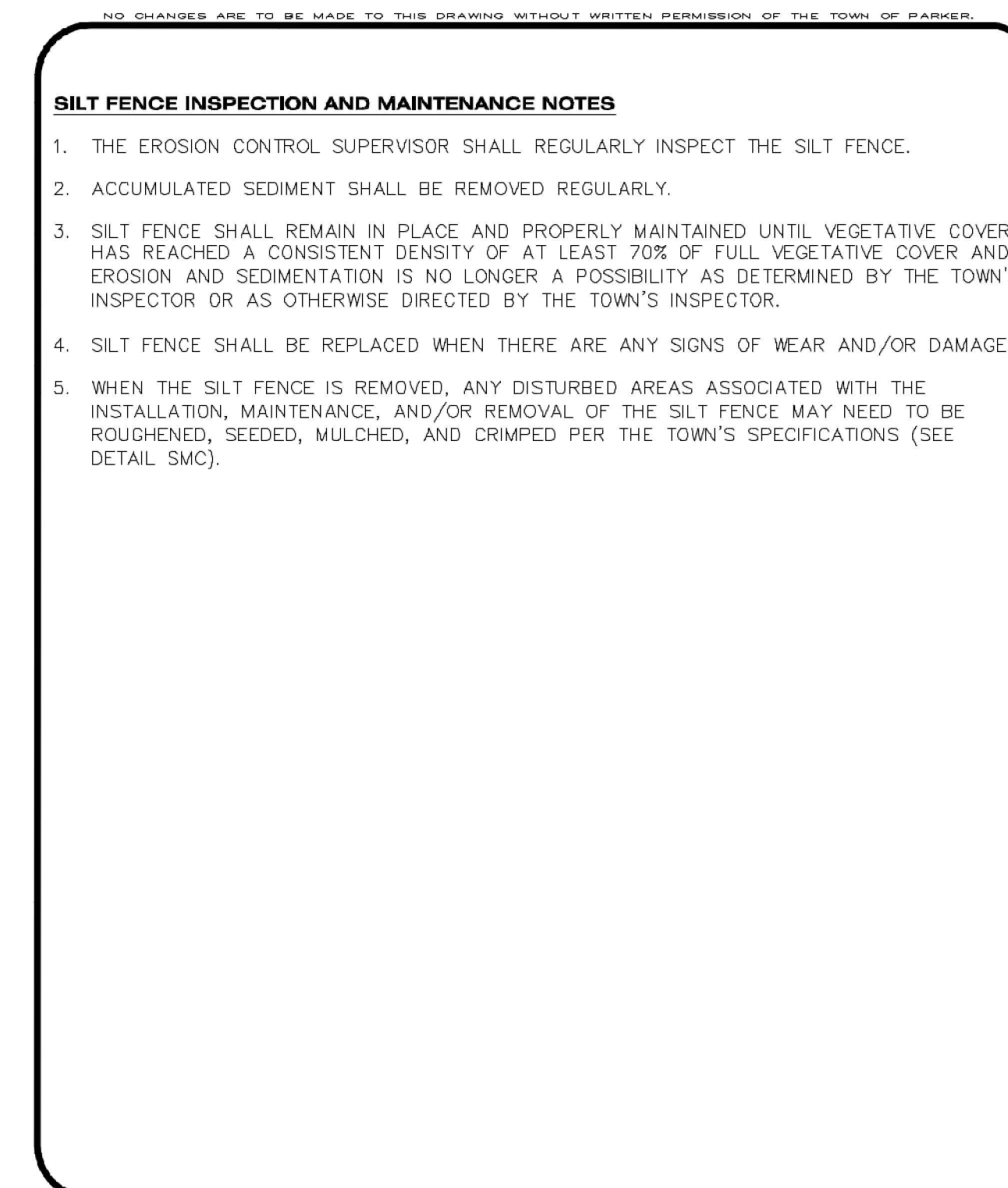
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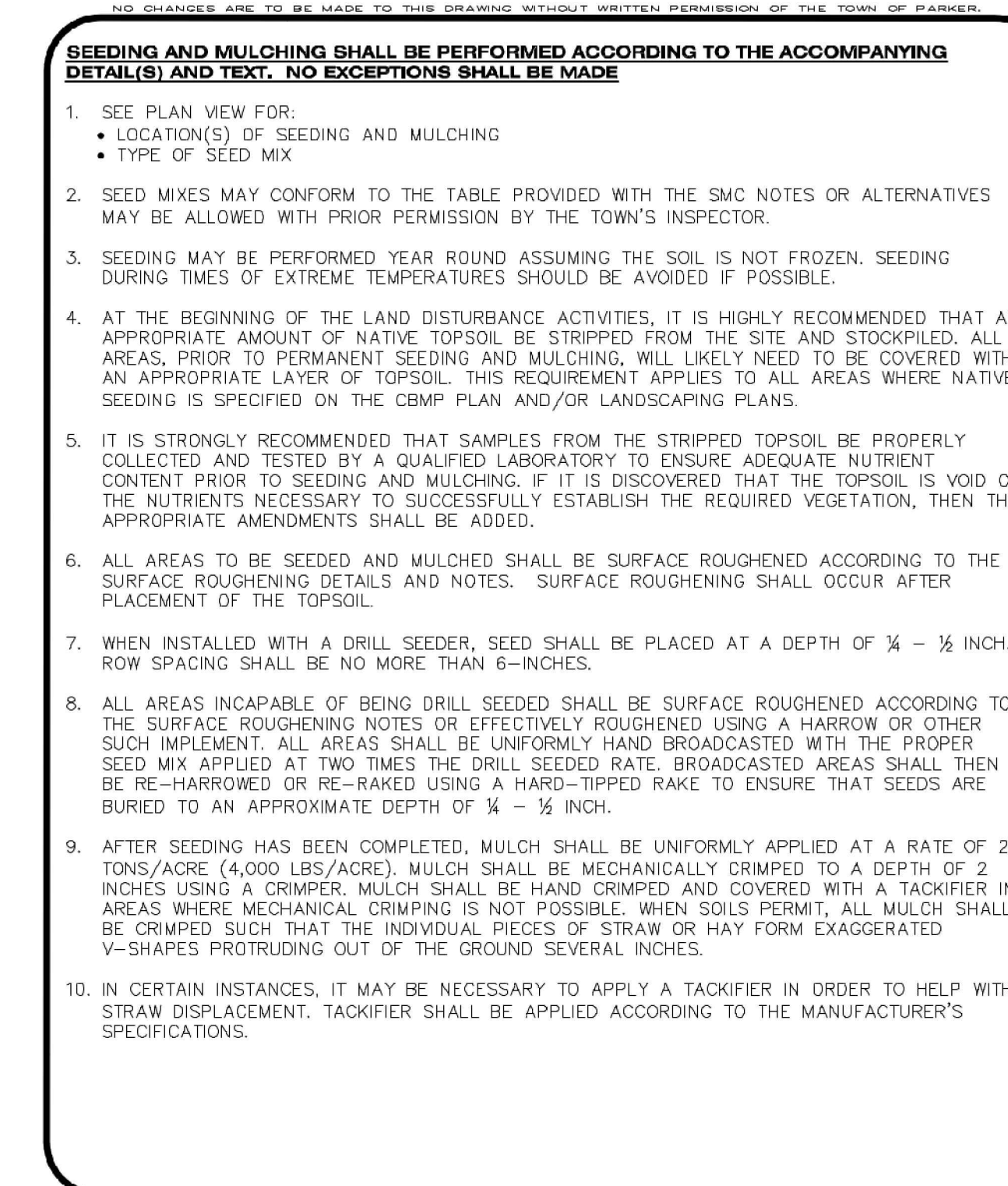
Parker COLORADO **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **SF** 2 OF 4 Oct. 2013



Parker COLORADO **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **SF** 3 OF 4 Oct. 2013



Parker COLORADO **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **SF** 4 OF 4 Oct. 2013



Parker COLORADO **CBMP** CONSTRUCTION BEST MANAGEMENT PRACTICES **SMC** 1 OF 3 Oct. 2013

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IN-N-OUT BURGER
CONSTRUCTION DOCUMENTS
PARKER & PINE FILING NO. 1, LOT 1
PARKER, CO 80134

#	Date	Issue / Description	Init.
1	12/21/2022	1ST CD SUBMITTAL	PJD
2	03/17/2023	2ND CD SUBMITTAL	PJD
3	04/26/2023	3RD CD SUBMITTAL	PJD
4	06/16/2023	4TH CD SUBMITTAL	PJD
5			
6			
7			
8			
9			
10			

Project No: INO0001420
Drawn By: JNE
Checked By: PJD
Date: 06/16/2023

CBMP DETAILS

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

SEEDING AND MULCHING MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE SEEDING AND MULCHING.
2. ANY SEEDING AND MULCHED AREAS THAT BECOME DAMAGED SHALL BE REPAIRED WITHIN THE TIME FRAME SPECIFIED BY THE TOWN'S INSPECTOR.

WEED MANAGEMENT

1. ALL HERBICIDES SHALL BE APPLIED BY COMMERCIAL PESTICIDE APPLICATORS LICENSED BY THE COLORADO DEPARTMENT OF AGRICULTURE AS QUALIFIED APPLICATORS. THE CONTRACTOR SHALL FURNISH DOCUMENTATION OF SUCH LICENSING PRIOR TO HERBICIDE APPLICATION.
2. HERBICIDE APPLICATION METHOD SHALL BE SUCH THAT PLANT GROWTH OUTSIDE THE DESIGNATED TREATMENT AREAS WILL NOT BE DAMAGED. ALL DAMAGE CAUSED BY IMPROPER HERBICIDE APPLICATION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
3. HERBICIDES SHALL BE APPLIED DURING THE APPROPRIATE SEASONS, WHEN TARGET PLANTS ARE ACTIVELY GROWING.
4. AFTER THE GRASS SEED IS ESTABLISHED, APPROPRIATE HERBICIDES SHALL BE APPLIED TO CONTROL THE REMAINING WEEDS TO ENSURE A TIMELY RETURN OF THE FINANCIAL SECURITY. PROPER TIMING OF HERBICIDE APPLICATIONS ARE NECESSARY TO ACHIEVE THE SUPPRESSION OF WEED SEED PRODUCTION AND DEPLETION OF WEED ROOT MASS. ULTIMATELY, THE HERBICIDES USED SHALL BE BASED UPON THE TARGET WEEDS.
5. HERBICIDE TREATMENTS SHALL CONTINUE AT AN APPROPRIATE RATE UNTIL IT IS EVIDENT THAT WEED GROWTH PRESENCE AND GROWTH IS MINIMAL AND MAY BE CONTROLLED THROUGH MOWING AND/OR ANNUAL HERBICIDE TREATMENT.

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

TOWN OF PARKER, SEED MIX 1

- 20% CANADA WILDRYE
- 15% CRESTED WHEATGRASS
- 15% SLENDER WHEATGRASS
- 10% ANNUAL RYEGRASS
- 10% SHEEP FESCUE
- 10% BIG BLUESTEM
- 10% SIDE-OATS GRAMA
- 5% CANADA BLUEGRASS
- 5% BLUE GRAMA

SEEDING RATE:

- DRILLED: 25 LBS/ACRE
- BROADCAST: 50 LBS/ACRE

TOWN OF PARKER, SEED MIX 2

- 22% SLENDER WHEATGRASS
- 18% SODAR STREAMBANK WHEATGRASS
- 13% ARIZONA FESCUE
- 13% BLUE GRAMA
- 12% BUFFALOGRASS
- 12% BARLEY OR OATS
- 5% SPIKE MUHLY
- 5% INDIAN RICEGRASS

SEEDING RATE:

- DRILLED: 25 LBS/ACRE
- BROADCAST: 50 LBS/ACRE

TOWN OF PARKER, SEED MIX 3 (LOW-GROWTH MIX)

- 25% EPHRAIM CRESTED WHEATGRASS
- 23% SHEEP FESCUE
- 18% PERENNIAL RYEGRASS
- 13% CANADA BLUEGRASS
- 12% BARLEY OR OATS
- 9% BLUE FESCUE

SEEDING RATE:

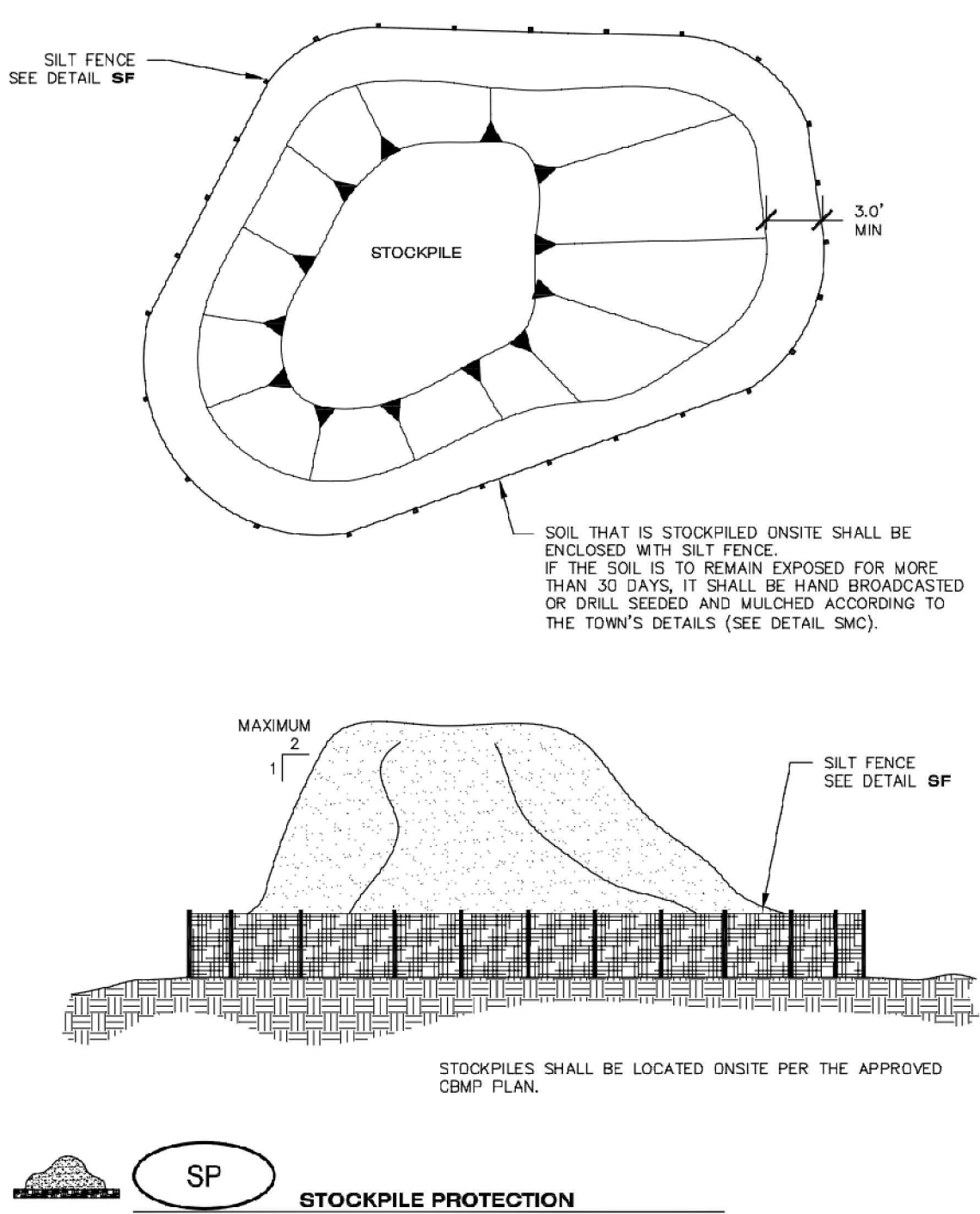
- DRILLED: 25 LBS/ACRE
- BROADCAST: 50 LBS/ACRE

SEED MIX 4:
OTHER SEED MIXES APPROVED BY THE TOWN OF PARKER

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
2 OF 3
Oct. 2013

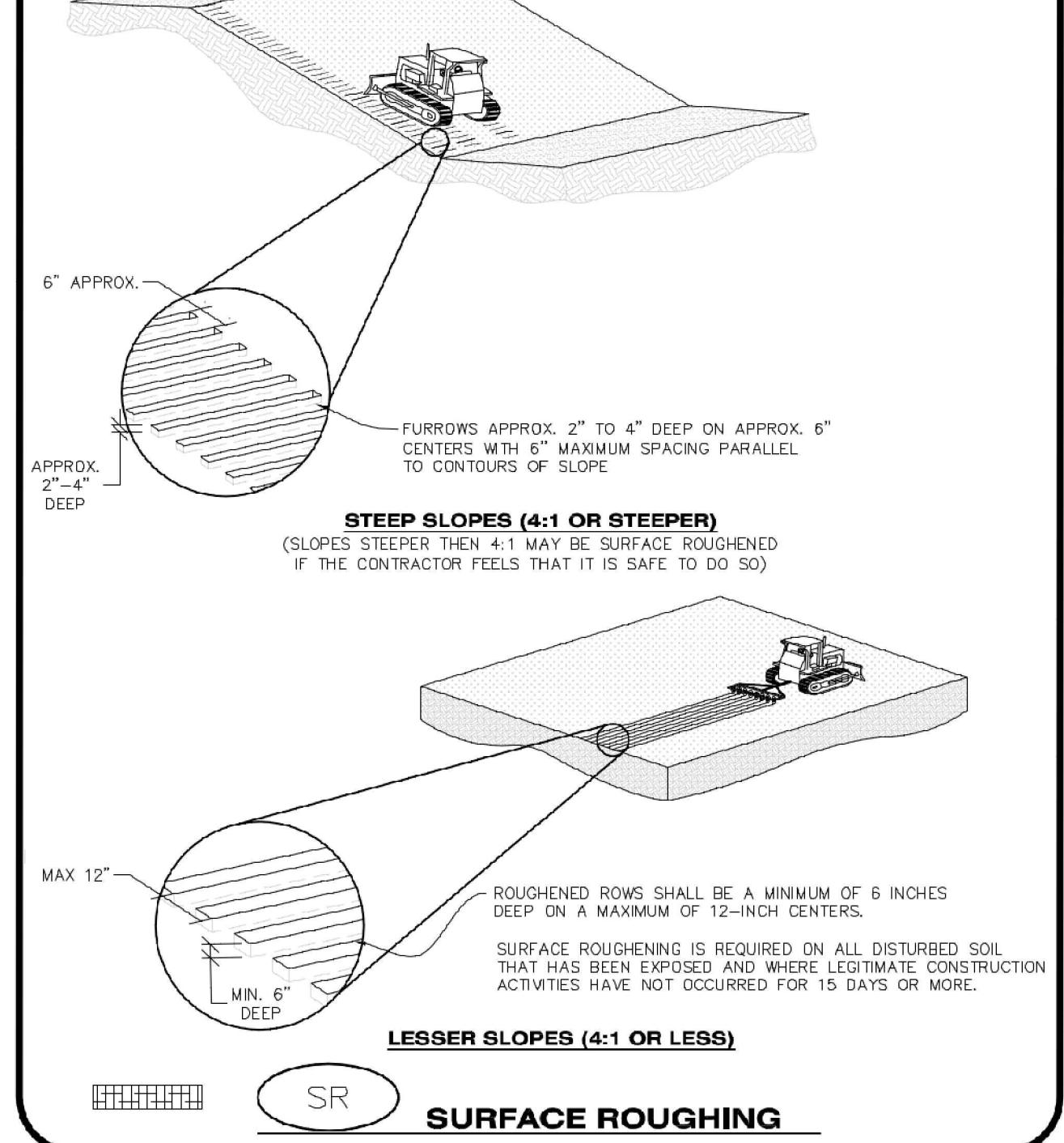
CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
3 OF 3
Oct. 2013

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CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
JUNE 2008

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CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
1 OF 2
Oct. 2013

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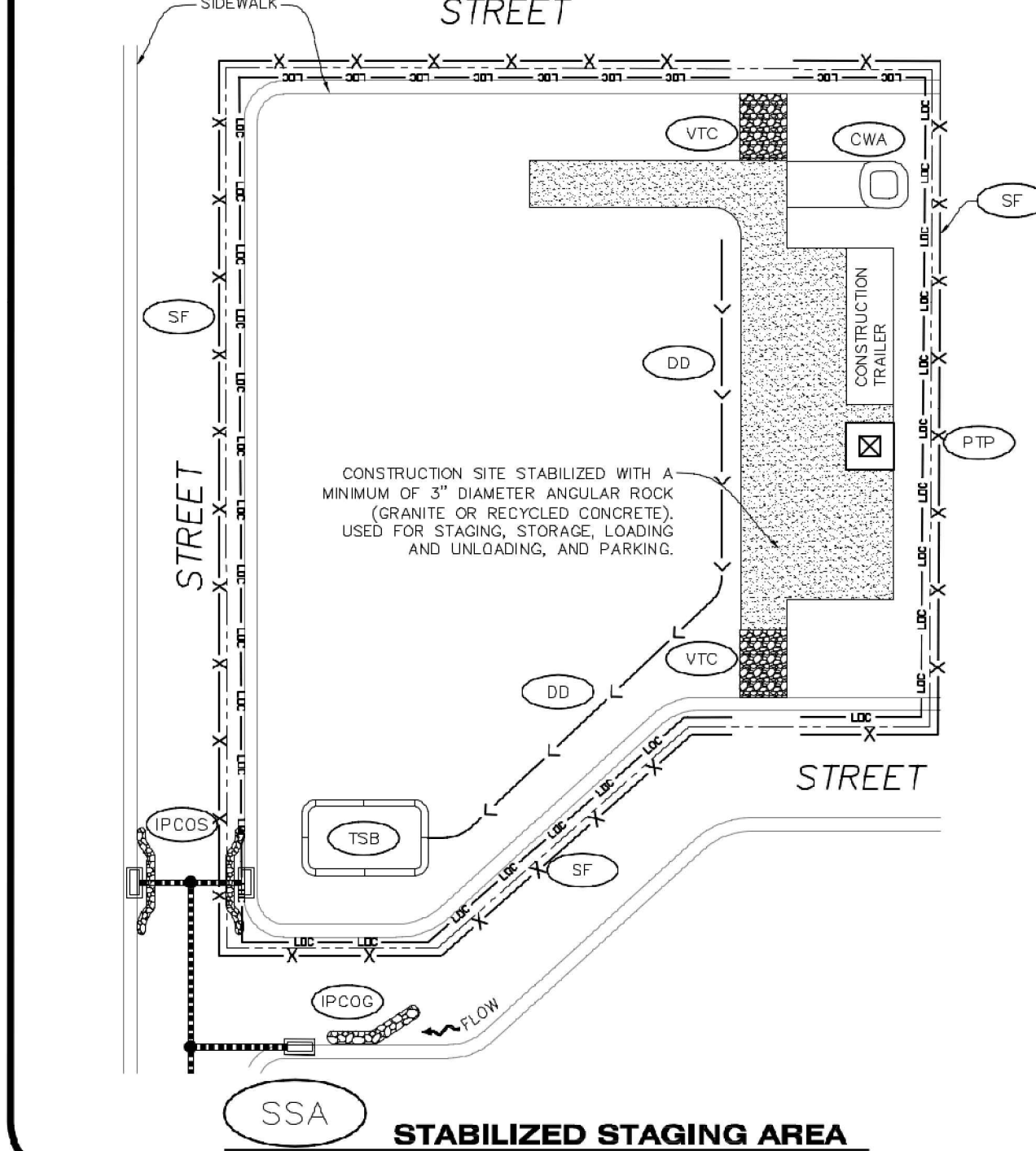
SURFACE ROUGHENING INSTALLATION NOTES

1. SEE CBMP PLAN FOR LOCATION(S) OF SURFACE ROUGHENING.
2. DISTURBED AREAS THAT REMAIN INACTIVE FOR 15 DAYS OR MORE MUST RECEIVE SURFACE ROUGHENING OR ANOTHER APPROVED BMP FROM THE SDCM. DETERMINATION OF JOB SITE INACTIVITY IS AT THE DISCRETION OF THE TOWN'S INSPECTOR.
3. FOR STEEP SLOPES (3:1 OR STEEPER), IT IS ACCEPTABLE TO "TRACK" THE SLOPES, ACCORDING TO THE CBMP DETAILS.
4. SCHEDULES FOR REQUIRING STABILIZATION MAY BE MODIFIED BY THE PERMITTEE TO ALLOW FOR SPECIAL CONSIDERATIONS SUCH AS STABILIZING ACCESS AREAS AND AREAS IN CLOSE PROXIMITY TO CONTINUING CONSTRUCTION.

SURFACE ROUGHENING INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL PROACTIVELY INSPECT THE SURFACE ROUGHENING.

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER



CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
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Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER

STABILIZED STAGING AREA INSTALLATION NOTES

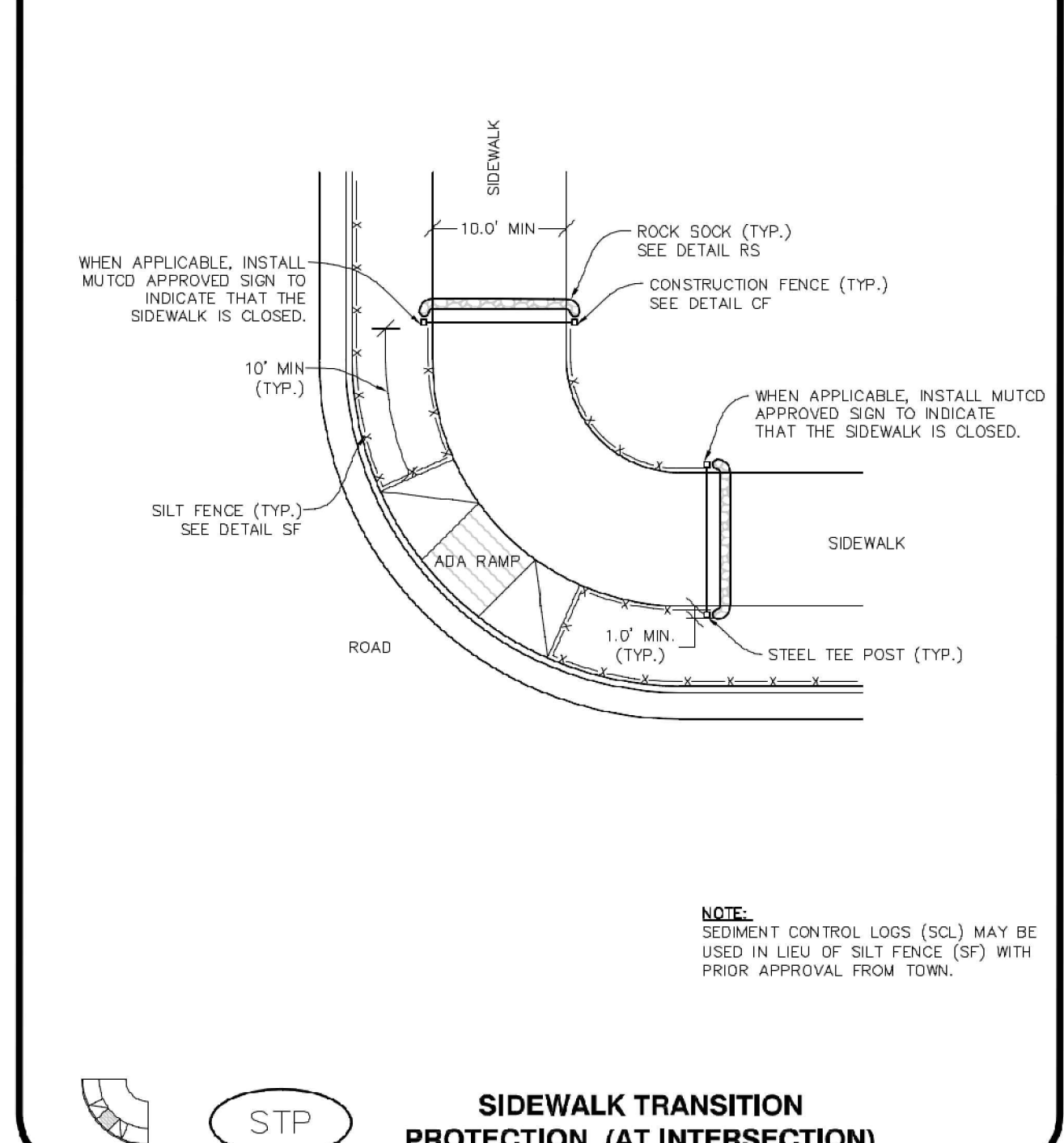
1. SEE CBMP PLAN FOR LOCATION OF STAGING AREA. CONTRACTOR MAY MODIFY LOCATION AND SIZE OF STABILIZED STAGING AREA WITH TOWN APPROVAL.
2. STABILIZED STAGING AREA SHALL BE LARGE ENOUGH TO FULLY CONTAIN PARKING, STORAGE, AND LOADING OPERATIONS.
3. THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM OF 3" DIAMETER OF ANGULAR ROCK (GRANITE OR RECYCLED CONCRETE).
4. SSA FOR SMALLER SITES MAY NOT BE PRACTICAL. IN THESE AND SIMILAR SITUATIONS, VARIANCES MAY BE PERMITTED BY THE TOWN.

STABILIZED STAGING AREA INSPECTION AND MAINTENANCE NOTES

1. THE EROSION CONTROL SUPERVISOR SHALL REGULARLY INSPECT THE STAGING AREA.
2. STABILIZED STAGING AREA SHALL BE ENLARGED AS NECESSARY TO CONTAIN PARKING, STORAGE, LOADING, AND UNLOADING.

CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
2 OF 2
Oct. 2013

NO CHANGES ARE TO BE MADE TO THIS DRAWING WITHOUT WRITTEN PERMISSION OF THE TOWN OF PARKER



CBMP
CONSTRUCTION BEST MANAGEMENT PRACTICES
1 OF 3
Oct. 2013



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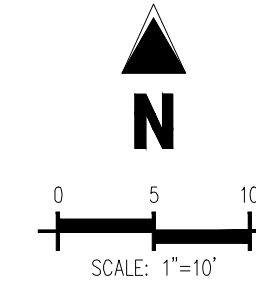
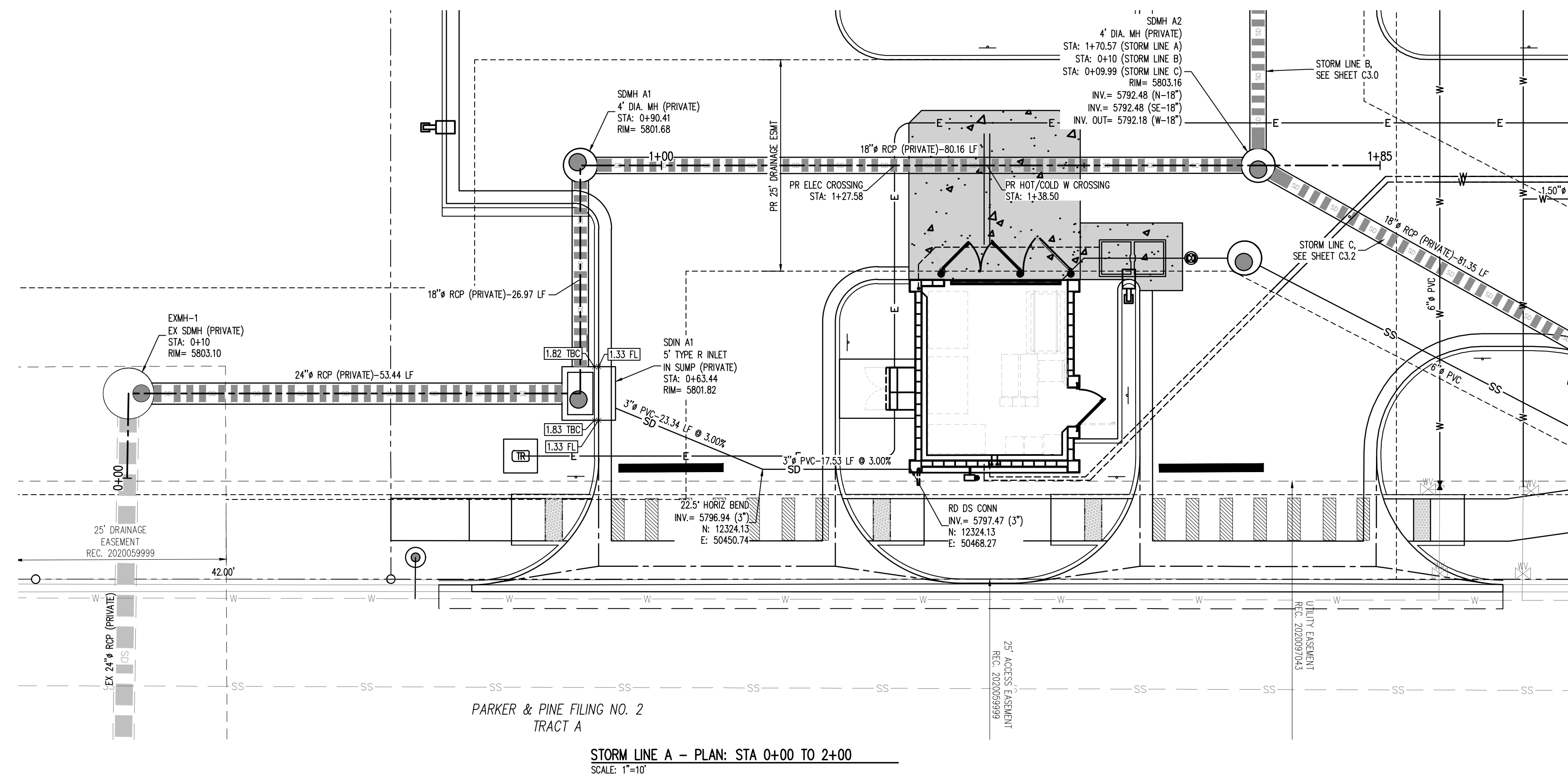


IN-N-OUT BURGER
CONSTRUCTION DOCUMENTS
PARKER & PINE FILING NO. 1, LOT 1
PARKER, CO 80134

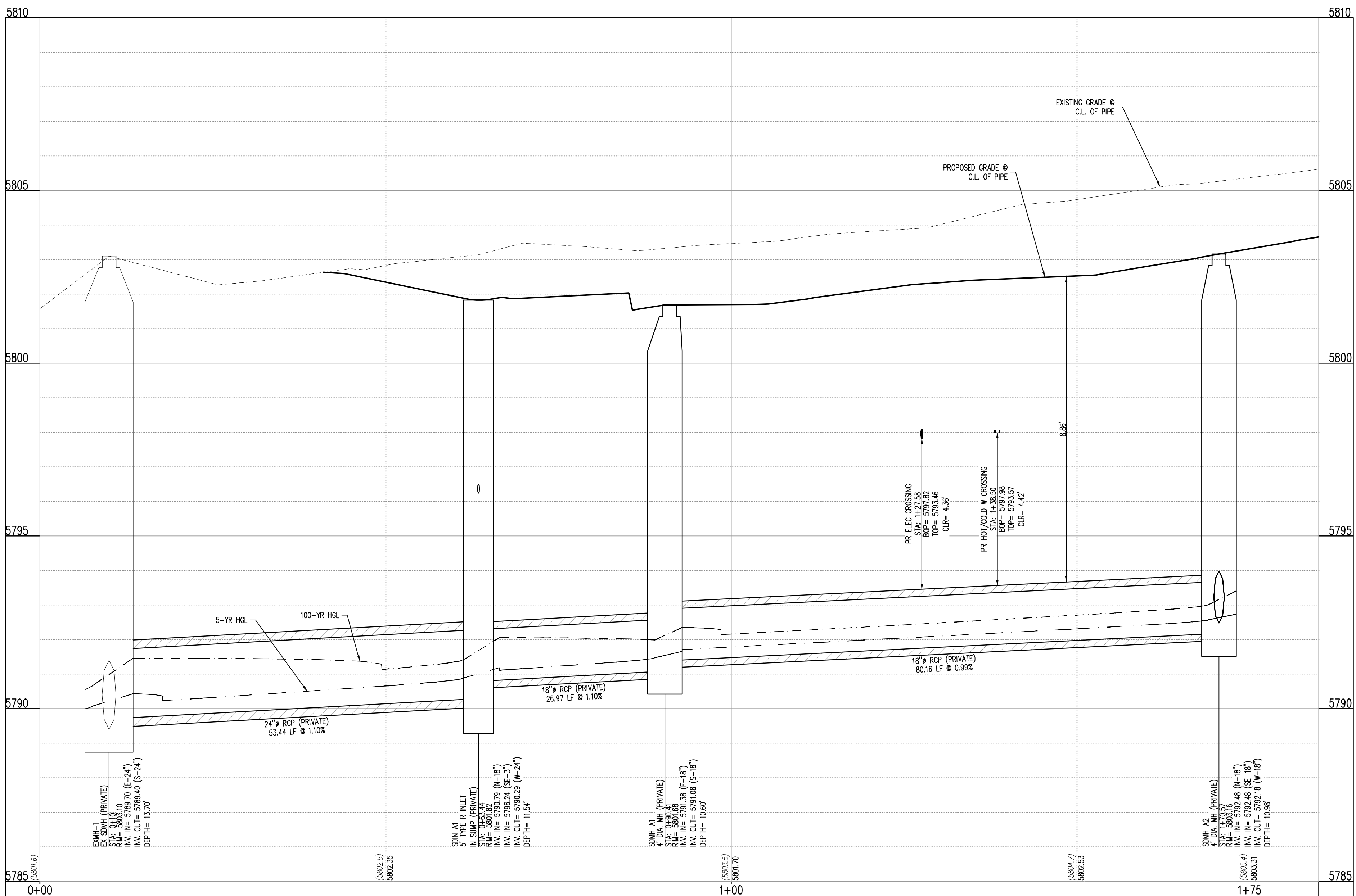
#	Date	Issue / Description	Init.
1	12/21/2022	1ST CD SUBMITTAL	PJD
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4	06/16/2023	4TH CD SUBMITTAL	PJD

Project No: IN000014-20
Drawn By: JNE
Checked By: PJD
Date: 06/16/2023

CBMP DETAILS



STORM LINE A - PLAN: STA 0+00 TO 2+00
SCALE: 1"=10'



STORM LINE A - PROFILE: STA 0+00 TO 2+00
SCALE: 1"=10' HORIZONTAL AND 1"=2' VERTICAL

STORM LEGEND

---	PROPERTY BOUNDARY LINE
---	EXISTING LOT LINE
---	PROPOSED LOT LINE
---	EXISTING EASEMENT
---	PROPOSED SAWMILL LINE
---	EXISTING TO REMAIN
---	PROPOSED NEW
□	EXISTING ELECTRICAL PULL BOX
□	EXISTING PAD MOUNTED TRANSFORMER
□	EXISTING LIGHT POLE
□	PROPOSED SITE LIGHTING
○	EXISTING SANITARY SEWER MANHOLE
○	EXISTING STORM SEWER MANHOLE
○	EXISTING WATER METER
○	EXISTING WATER VALVE
○	EXISTING FIRE HYDRANT
---	EXISTING CURB AND GUTTER
---	PROPOSED CURB AND GUTTER
---	EXISTING STORM DRAIN
---	PROPOSED STORM DRAIN (GREATER THAN 12" DIAMETER)
---	PROPOSED STORM DRAIN (LESS THAN 12" DIAMETER)
---	PROPOSED SANITARY SEWER (SIZE INDICATED ON PLAN)
---	PROPOSED WATER LINE (SIZE INDICATED ON PLAN)
---	PROPOSED ELECTRIC LINE

- NOTES:**
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TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

LEGAL DESCRIPTION
LOT 1, PARKER & PINE FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO

BENCHMARK
PUBLISHED BENCHMARK: ELEVATIONS ARE BASED ON A DOUGLAS COUNTY CONTROL MONUMENT, STATION NAME: CRAIN, BEING A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN CULVERT, 25 FEET WEST OF THE EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.

ELEVATION = 5734.25 FEET (NAVD 88) PUBLISHED BY DOUGLAS COUNTY

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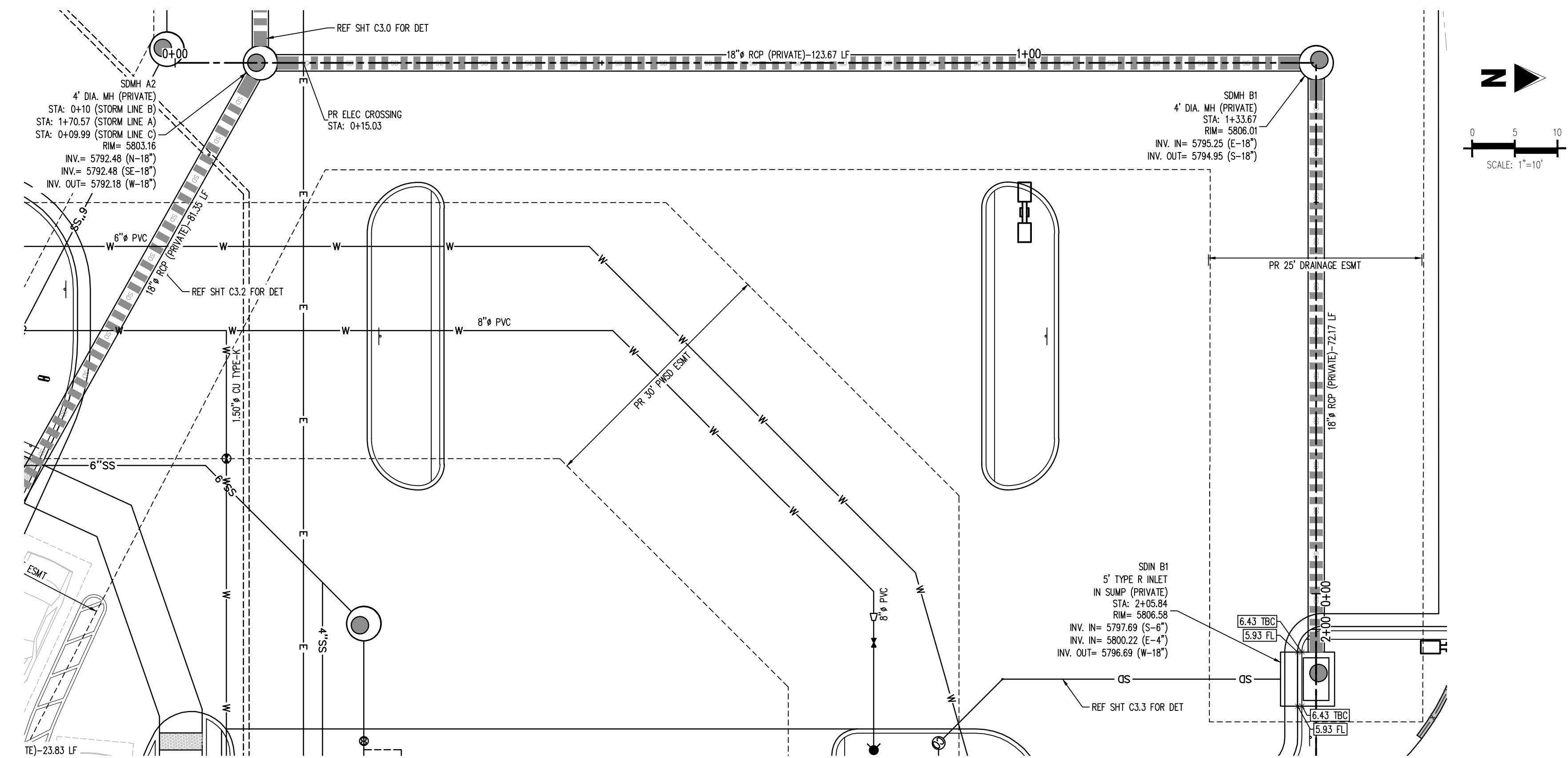
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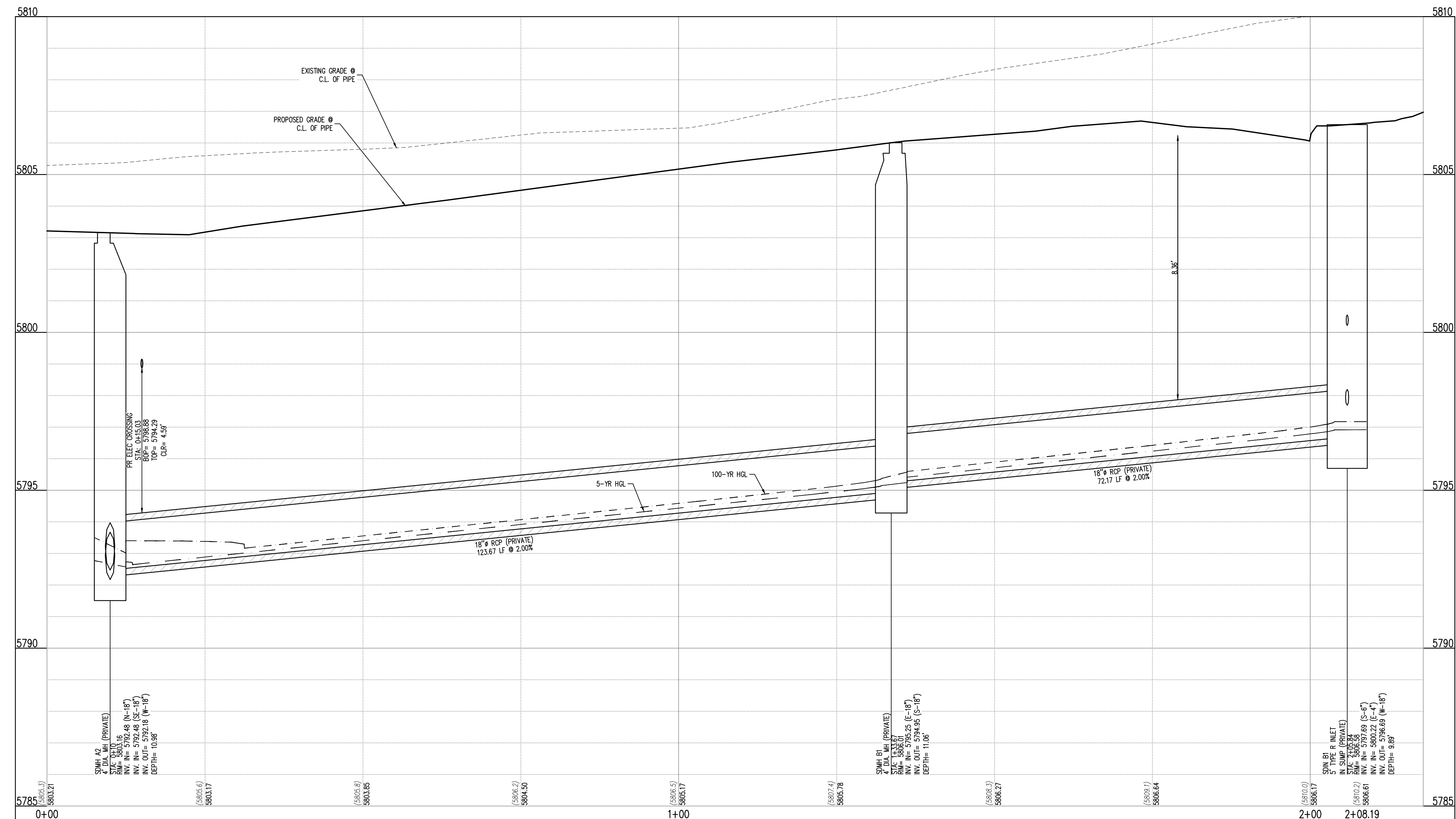
Project No: IN000014-20
Drawn By: JNE
Checked By: PJD
Date: 06/16/2023

STORM PLAN & PROFILE

C3.0
Sheet 27 of 36



STORM LINE B - PLAN: STA 0+00 TO 2+00
SCALE: 1"=10'



STORM LINE B - PROFILE: STA 0+00 TO 2+00
SCALE: 1"=10' HORIZONTAL AND 1"=2' VERTICAL

STORM LEGEND

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TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

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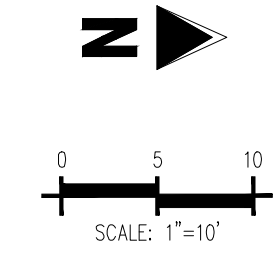
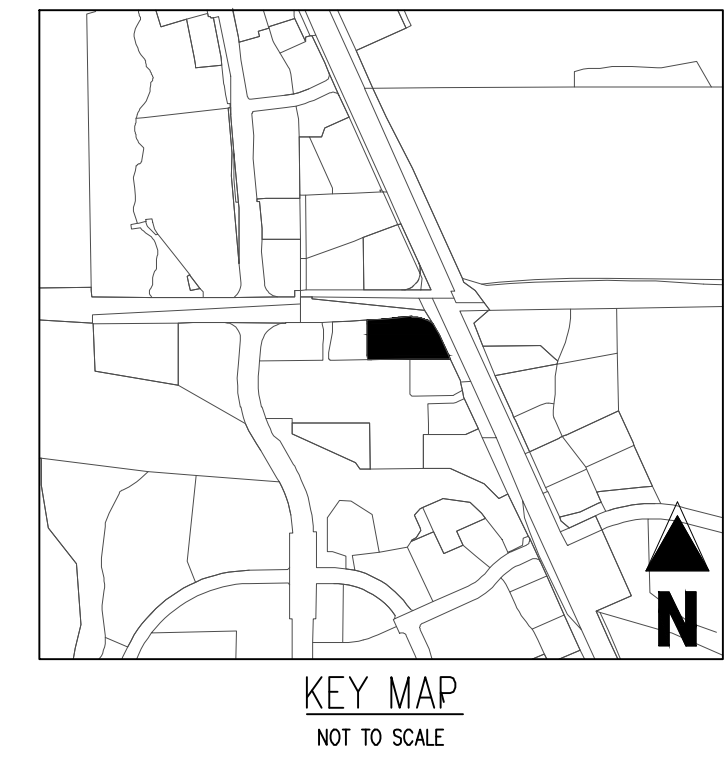
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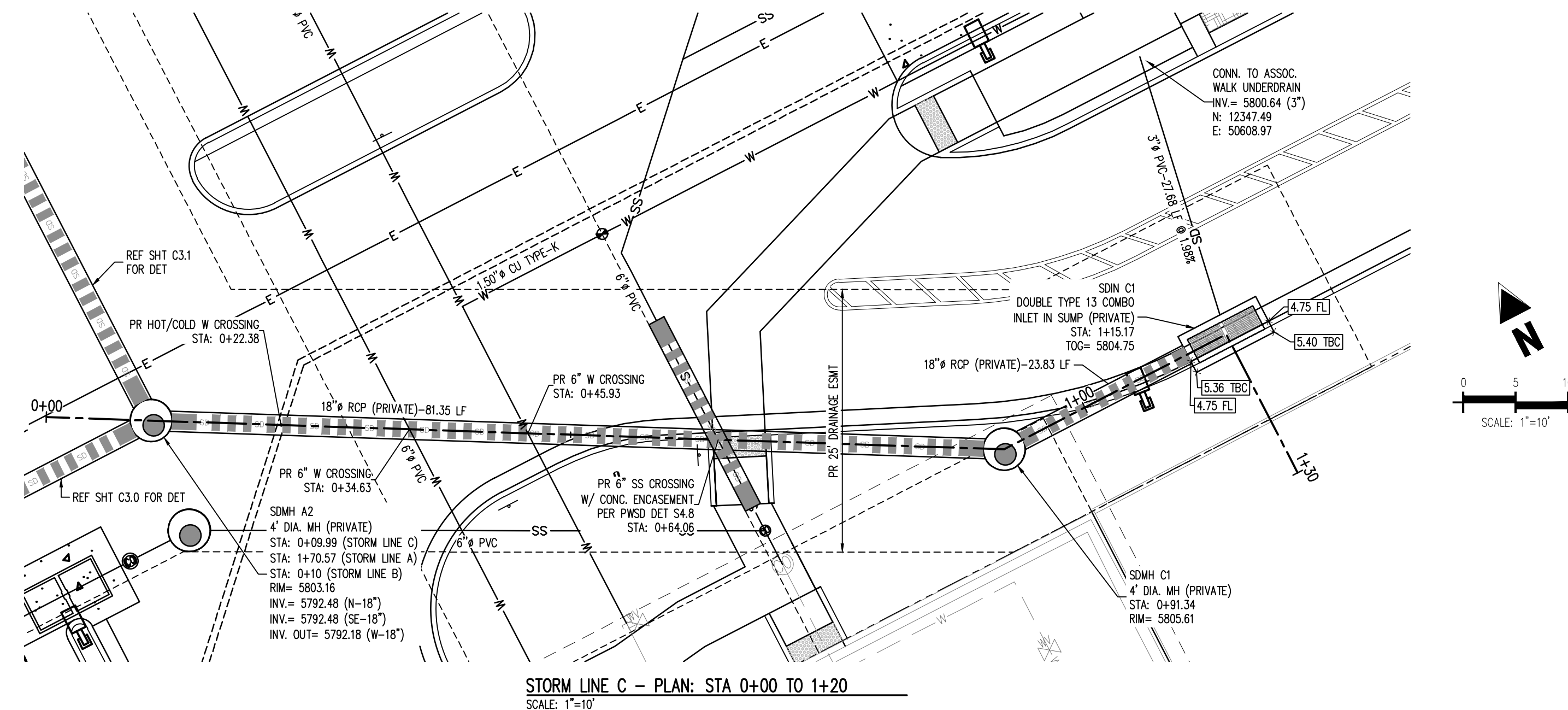


IN-N-OUT BURGER
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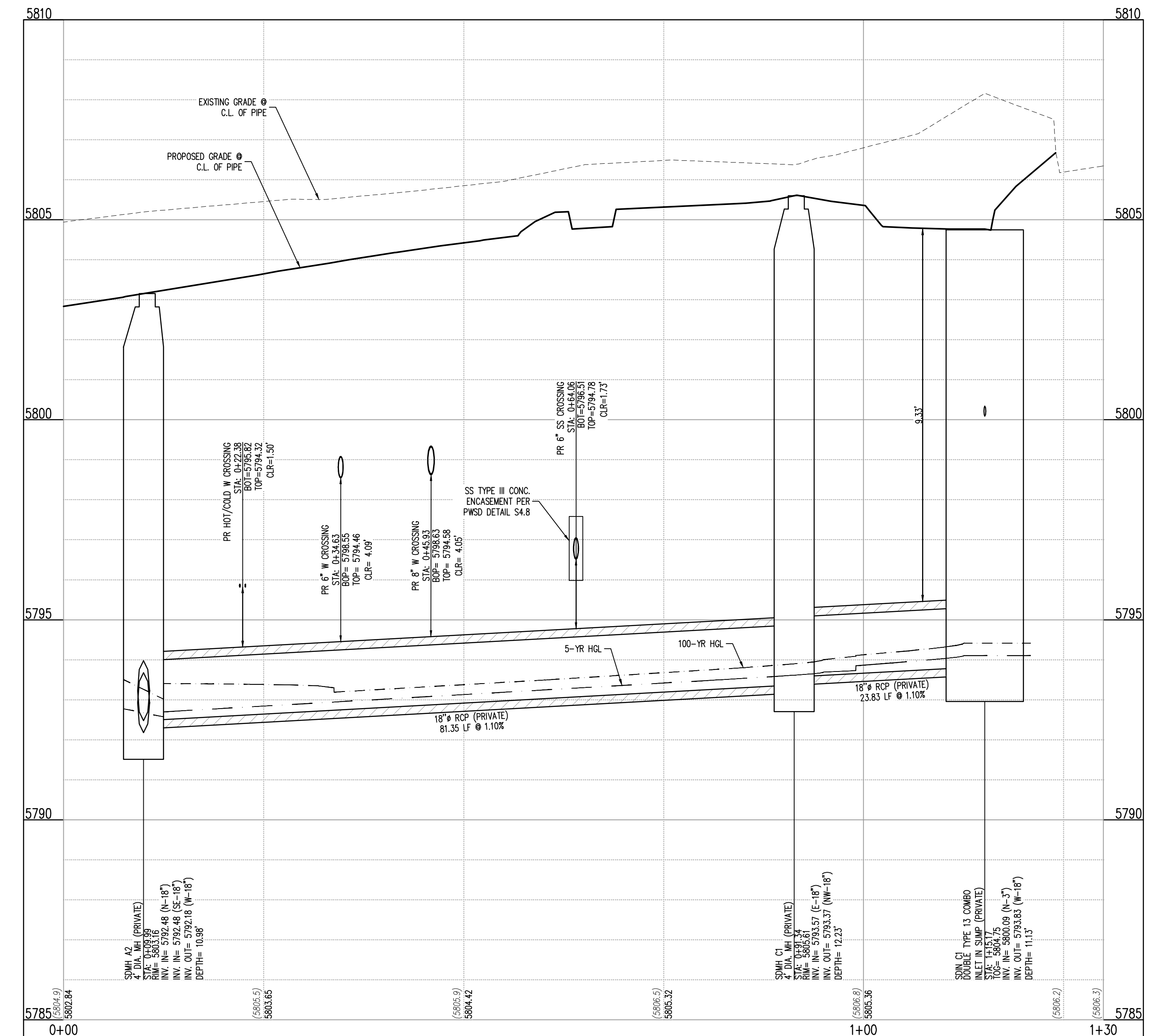
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Project No: IN000014-20
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STORM PLAN & PROFILE



STORM LINE C - PLAN: STA 0+00 TO 1+20
SCALE: 1"=10'



STORM LINE C - PROFILE: STA 0+00 TO 1+20
SCALES: 1"=10' HORIZONTAL AND 1"=2' VERTICAL

STORM LEGEND

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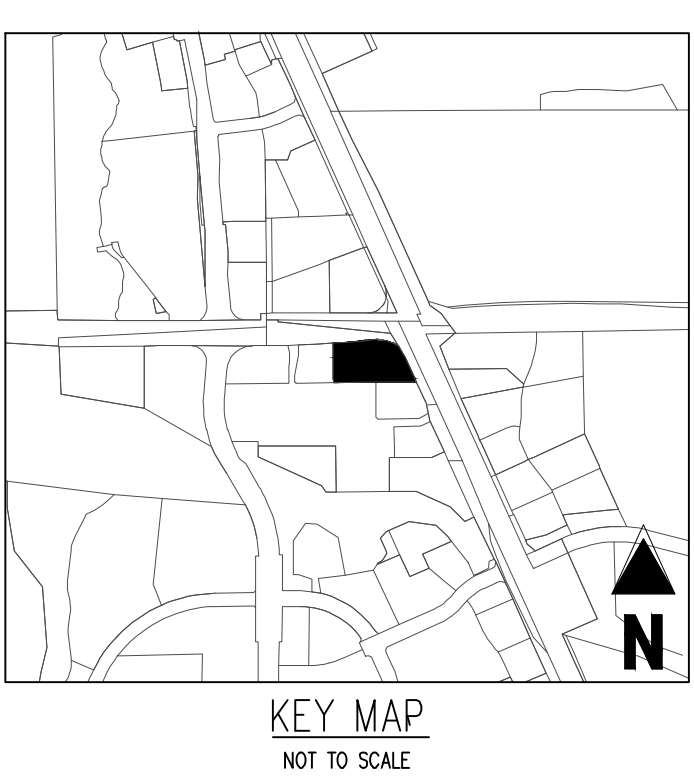
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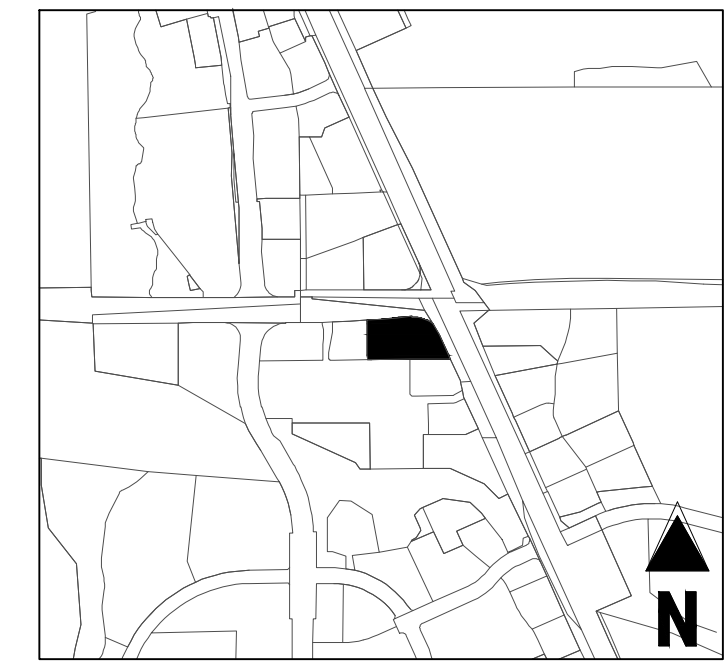


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Project No: IN0000014-20
Drawn By: JNE
Checked By:
Date: 06/16/2023

STORM PLAN & PROFILE



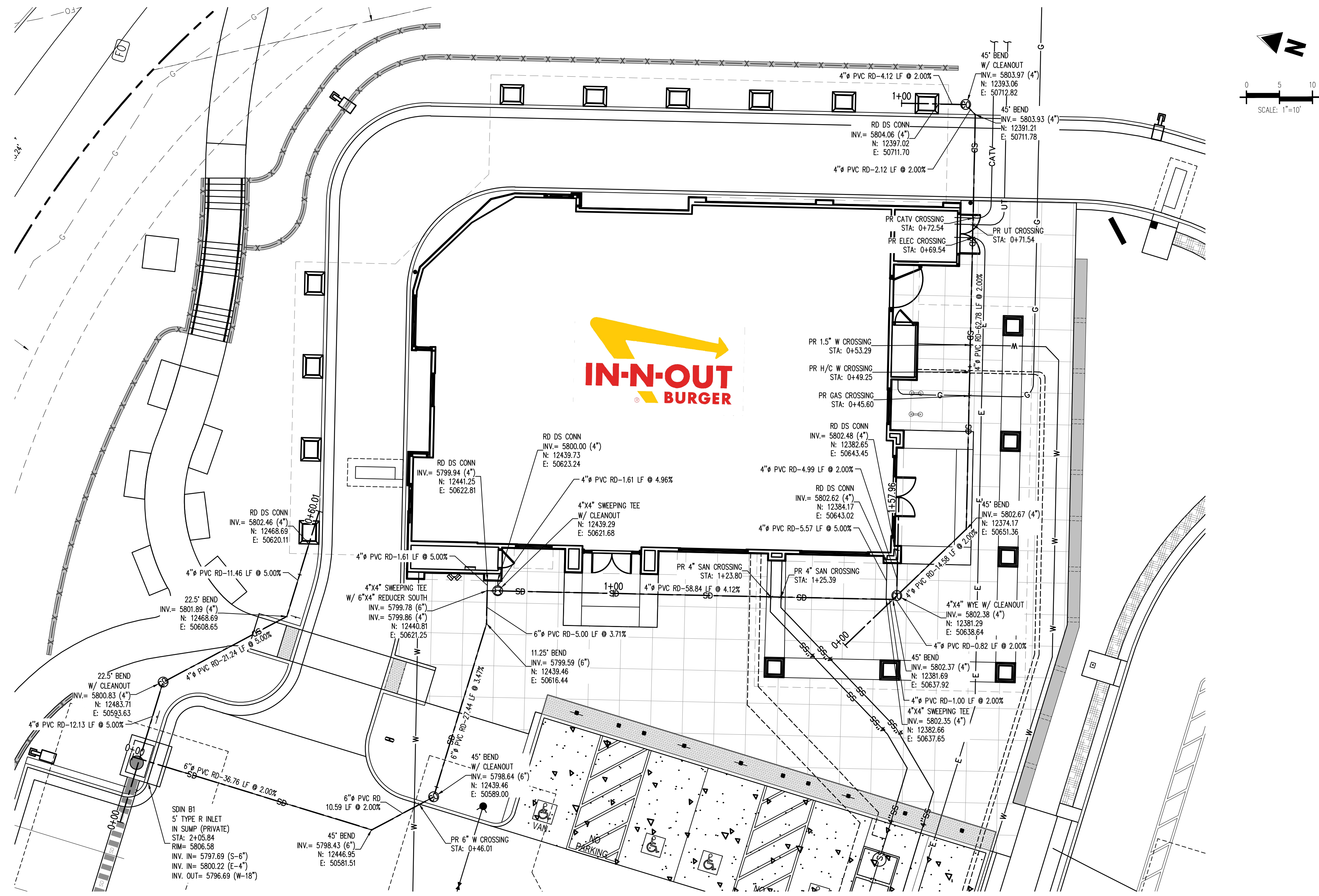
KEY MAP
NOT TO SCALE

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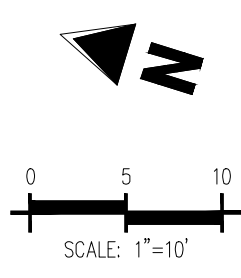
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ROOF DRAIN PLAN
SCALE: 1"=10'



STORM LEGEND

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 - ALL PROPOSED STORM SEWER IS PRIVATE.
 - STORM SEWER HORIZONTAL ALIGNMENT IS APPROXIMATE. STORM SEWER SHOWN ON PLANS IS CENTER OF STRUCTURE TO CENTER OF STRUCTURE. CONTRACTOR TO ADJUST STORM SEWER ALIGNMENT TO MIDPOINT OF INSIDE FACE OF BOX.
 - CONTRACTOR SHALL VERIFY LOCATION AND INVERTS OF EXISTING STORM SEWER AND NOTIFY ENGINEER OF CONFLICTS.
 - DRY UTILITY ELEVATIONS ARE APPROXIMATE AND NEED TO BE VERIFIED BY THE CONTRACTOR.
 - PROPOSED FLOWLINE ELEVATION DOES NOT TAKE INTO ACCOUNT GUTTER DEPRESSION AT INLETS. REF. TBC ELEVATIONS AT CURB INLETS.
 - TBC ELEVATIONS OF INLET STRUCTURES IN PROFILE VIEW ARE AT CL OF ALIGNMENT. REF. TBC PLAN ELEVATIONS.
 - ALL STORM SEWER CONNECTIONS TO PREFABRICATED INLETS OR MANHOLES MUST USE A REINFORCED CONCRETE COLLAR.
 - STRUCTURE STATION AND RIM ELEVATIONS ARE AT THE CENTER OF THE STRUCTURE. REFERENCE PLAN ELEVATIONS AND RIM GRADE LABELS.
 - DRY UTILITY CROSSING LOCATIONS & DEPTHS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF CONFLICTS. EXISTING UTILITY RELOCATIONS SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER.

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANTS. SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD, REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.

THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORT(S), FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

#	Date	Issue / Description	Init.
1	12/21/2022	1ST CD SUBMITTAL	PJD
2	03/17/2023	2ND CD SUBMITTAL	PJD
3	04/26/2023	3RD CD SUBMITTAL	PJD
4	06/16/2023	4TH CD SUBMITTAL	PJD

TOWN OF PARKER, DIRECTOR OF ENGINEERING _____ DATE _____

LEGAL DESCRIPTION
LOT 1, PARKER & PINE FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO

BENCHMARK
PUBLISHED BENCHMARK: ELEVATIONS ARE BASED ON A DOUGLAS COUNTY CONTROL MONUMENT, STATION NAME: CRAIN, BEING A BRASS DISK LOCATED AT 125 FEET NORTH OF THE CENTERLINE OF A DRIVEWAY, 84 FEET SOUTH OF A DOUBLE 36 IN CULVERT, 25 FEET WEST OF THE EDGE OF PARKER ROAD, AND 25 FEET EAST OF THE WEST RIGHT OF WAY FENCE.

ELEVATION = 5734.25 FEET (NAVD 88) PUBLISHED BY DOUGLAS COUNTY

BASIS OF BEARING
BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 6 SOUTH, RANGE 66 WEST BEARS N001°17'51"E, MONUMENTED BY THE SOUTHWEST CORNER OF SAID SECTION 10, BEING A 3-1/4 INCH ALUMINUM CAP STAMPED "LS 19003", AND MONUMENTED BY THE WEST QUARTER CORNER OF SAID SECTION 10, BEING A 3-1/4 INCH ALUMINUM CAP STAMPED "LS 22561", AS SHOWN HEREON.

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



Project No: IN00001420
Drawn By: JNE
Checked By: PJD
Date: 06/16/2023

ROOF DRAIN PLAN

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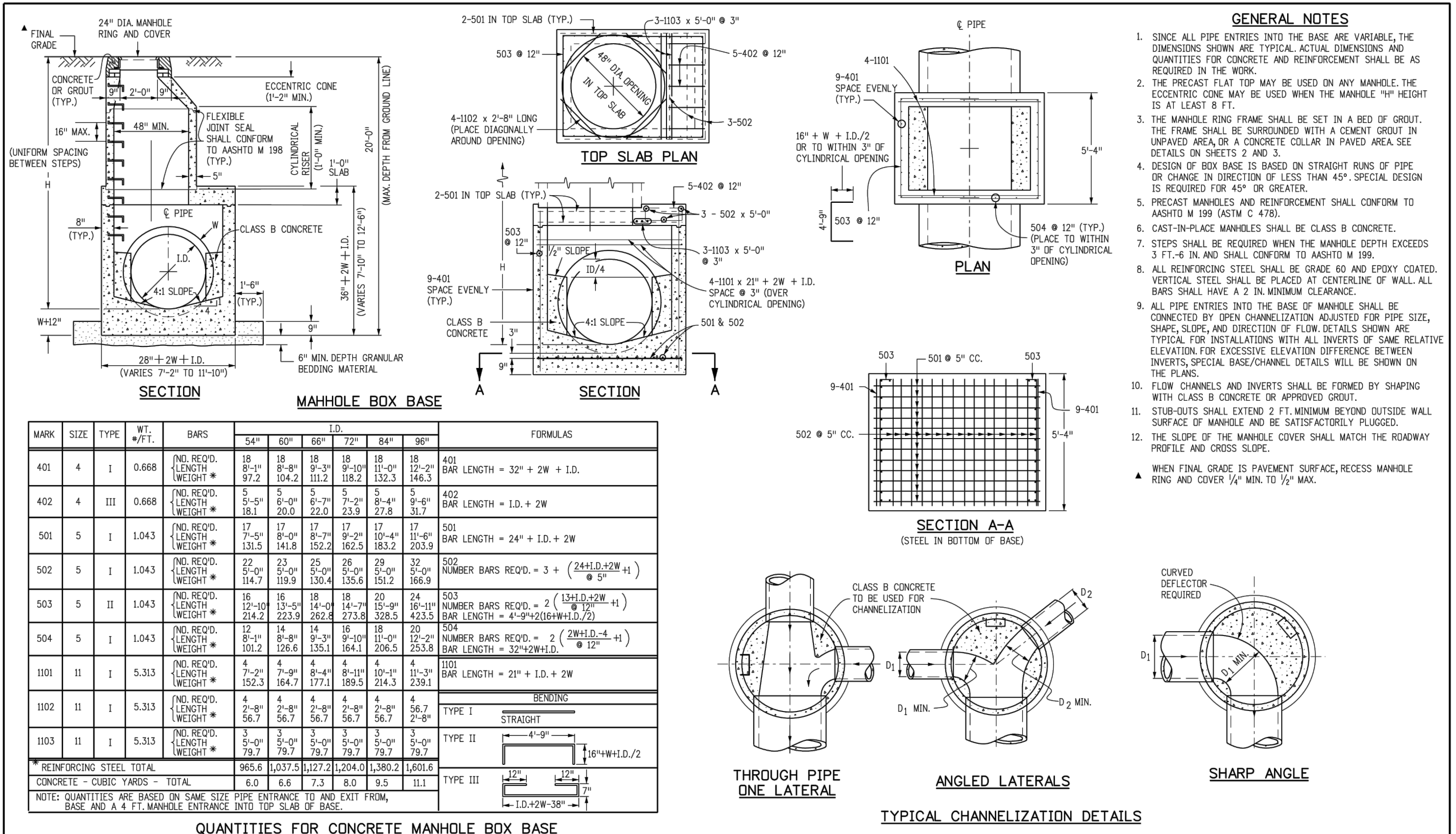


IN-N-OUT BURGER
CONSTRUCTION DOCUMENTS
PARKER & PINE FILING NO. 1, LOT 1
PARKER, CO 80134

#	Date	Issue / Description	Init.
	12/21/2022	1ST CD SUBMITTAL	PJD
	03/17/2023	2ND CD SUBMITTAL	PJD
	04/26/2023	3RD CD SUBMITTAL	PJD
	06/16/2023	4TH CD SUBMITTAL	PJD

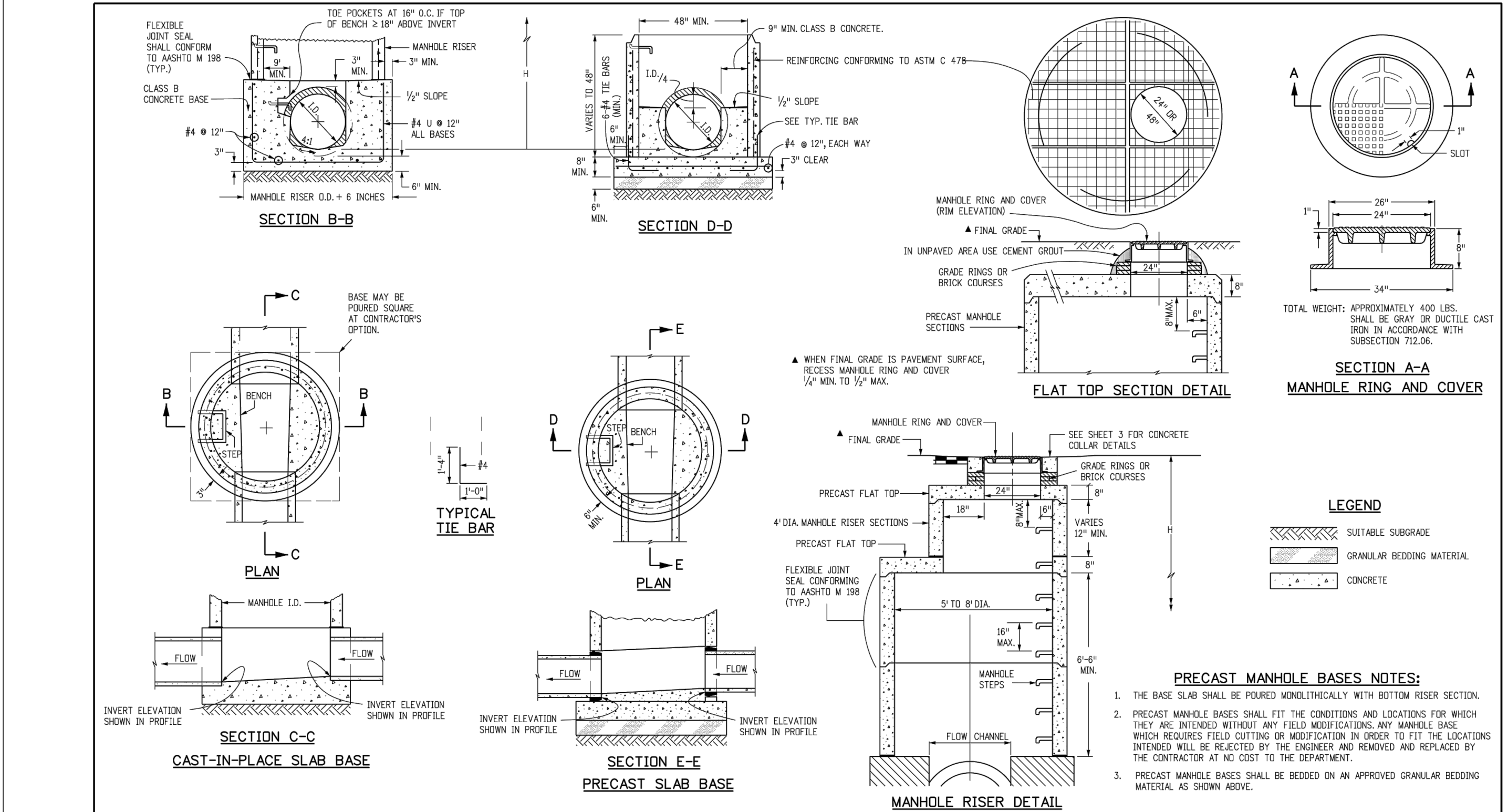
Project No: IN00001420
Drawn By: JNE
Checked By: PJD
Date: 06/16/2023

STORM DETAILS

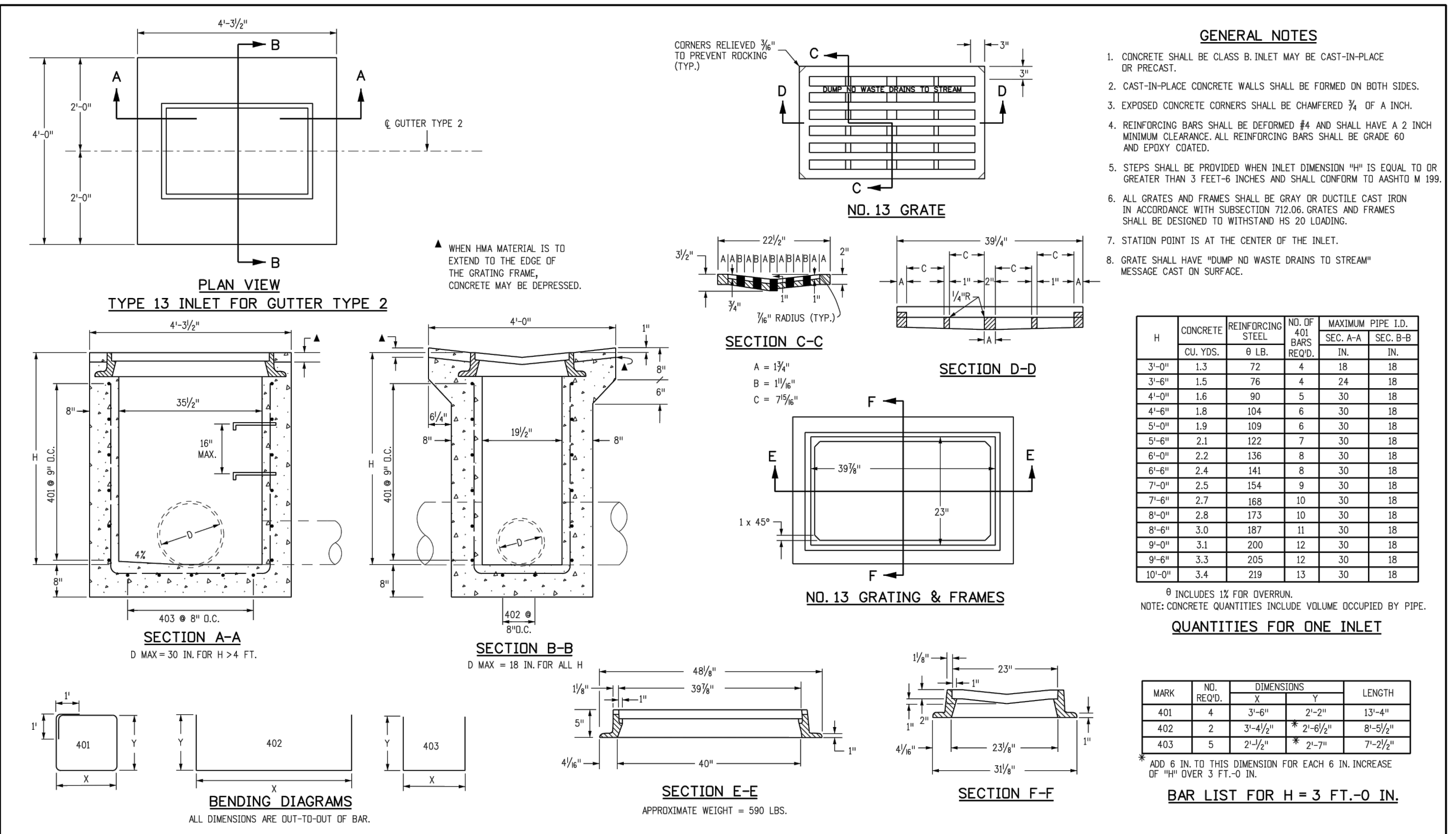


MARK	NO.	TYPE	WT. (LBS.)	BSWS	FORMULAS
401	4	I	0.668	18	401 BAR LENGTH = 32" + 2W + I.D.
402	4	III	0.668	18	402 BAR LENGTH = I.D. + 2W
501	5	I	1.043	17	501 BAR LENGTH = 24" + I.D. + 2W
502	5	I	1.043	17	502 NUMBER BARS REQ'D = 3 + (24+I.D.)/2W
503	5	II	1.043	17	503 NUMBER BARS REQ'D = 3 + (14+I.D.)/2W
504	5	I	1.043	17	504 NUMBER BARS REQ'D = 2 + (24+I.D.)/2W
1101	11	I	5.313	4	1101 BAR LENGTH = 21" + I.D. + 2W
1102	11	I	5.313	4	1102 TYPE I
1103	11	I	5.313	4	1103 TYPE II

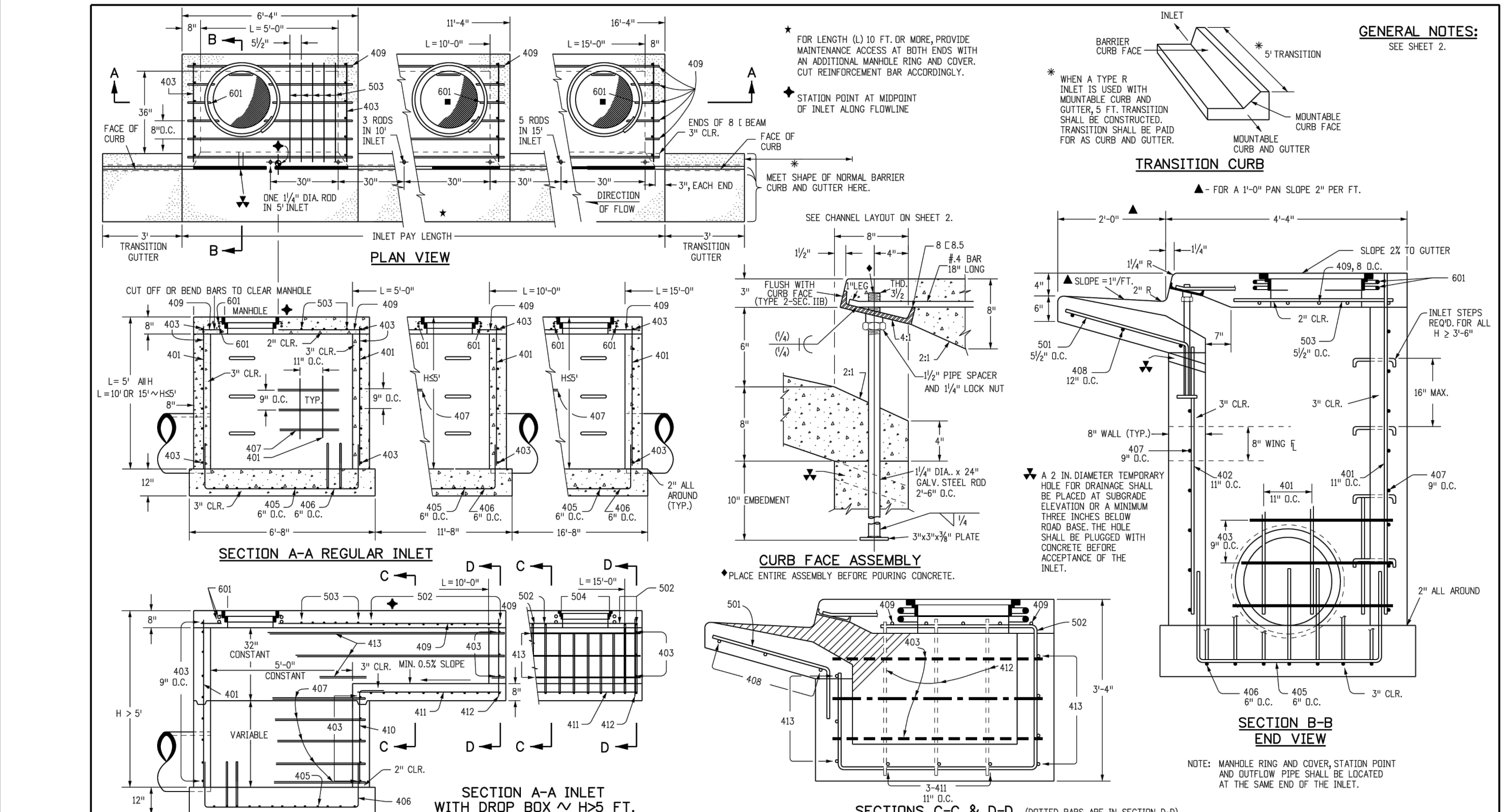
Computer File Information		Sheet Revisions		Colorado Department of Transportation		STANDARD PLAN NO.	
Creation Date: 07/31/19	Date:		Comments	2829 West Howard Place	M-604-20		
Designer Initials: JBK				CDOT HQ, 3rd Floor	Standard Sheet No. 1 of 3		
Last Modification Date: 07/31/19				Denver, CO 80204	Project Sheet Number:		
Detailer Initials: LTA				Phone: 303-757-9021 FAX: 303-757-9868			
CAD Ver: MicroStation V8 Scale: Not to Scale Units: English				Project Development Branch JBK	Issued by the Project Development Branch: July 31, 2019		



Computer File Information		Sheet Revisions		Colorado Department of Transportation		STANDARD PLAN NO.	
Creation Date: 07/31/19	Date:		Comments	2829 West Howard Place	M-604-20		
Designer Initials: JBK				CDOT HQ, 3rd Floor	Standard Sheet No. 2 of 3		
Last Modification Date: 07/31/19				Denver, CO 80204	Project Sheet Number:		
Detailer Initials: LTA				Phone: 303-757-9021 FAX: 303-757-9868			
CAD Ver: MicroStation V8 Scale: Not to Scale Units: English				Project Development Branch JBK	Issued by the Project Development Branch: July 31, 2019		



Computer File Information		Sheet Revisions		Colorado Department of Transportation		STANDARD PLAN NO.	
Creation Date: 07/31/19	Date:		Comments	2829 West Howard Place	M-604-13		
Designer Initials: JBK				CDOT HQ, 3rd Floor	Standard Sheet No. 1 of 1		
Last Modification Date: 07/31/19				Denver, CO 80204	Project Sheet Number:		
Detailer Initials: LTA				Phone: 303-757-9021 FAX: 303-757-9868			
CAD Ver: MicroStation V8 Scale: Not to Scale Units: English				Project Development Branch JBK	Issued by the Project Development Branch: July 31, 2019		



Computer File Information		Sheet Revisions		Colorado Department of Transportation		STANDARD PLAN NO.	
Creation Date: 07/31/19	Date:		Comments	2829 West Howard Place	M-604-12		
Designer Initials: JBK				CDOT HQ, 3rd Floor	Standard Sheet No. 1 of 2		
Last Modification Date: 07/31/19				Denver, CO 80204	Project Sheet Number:		
Detailer Initials: LTA				Phone: 303-757-9021 FAX: 303-757-9868			
CAD Ver: MicroStation V8 Scale: Not to Scale Units: English				Project Development Branch JBK	Issued by the Project Development Branch: July 31, 2019		

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IN-N-OUT BURGER
CONSTRUCTION DOCUMENTS
PARKER & PINE FILING NO. 1, LOT 1
PARKER, CO 80134

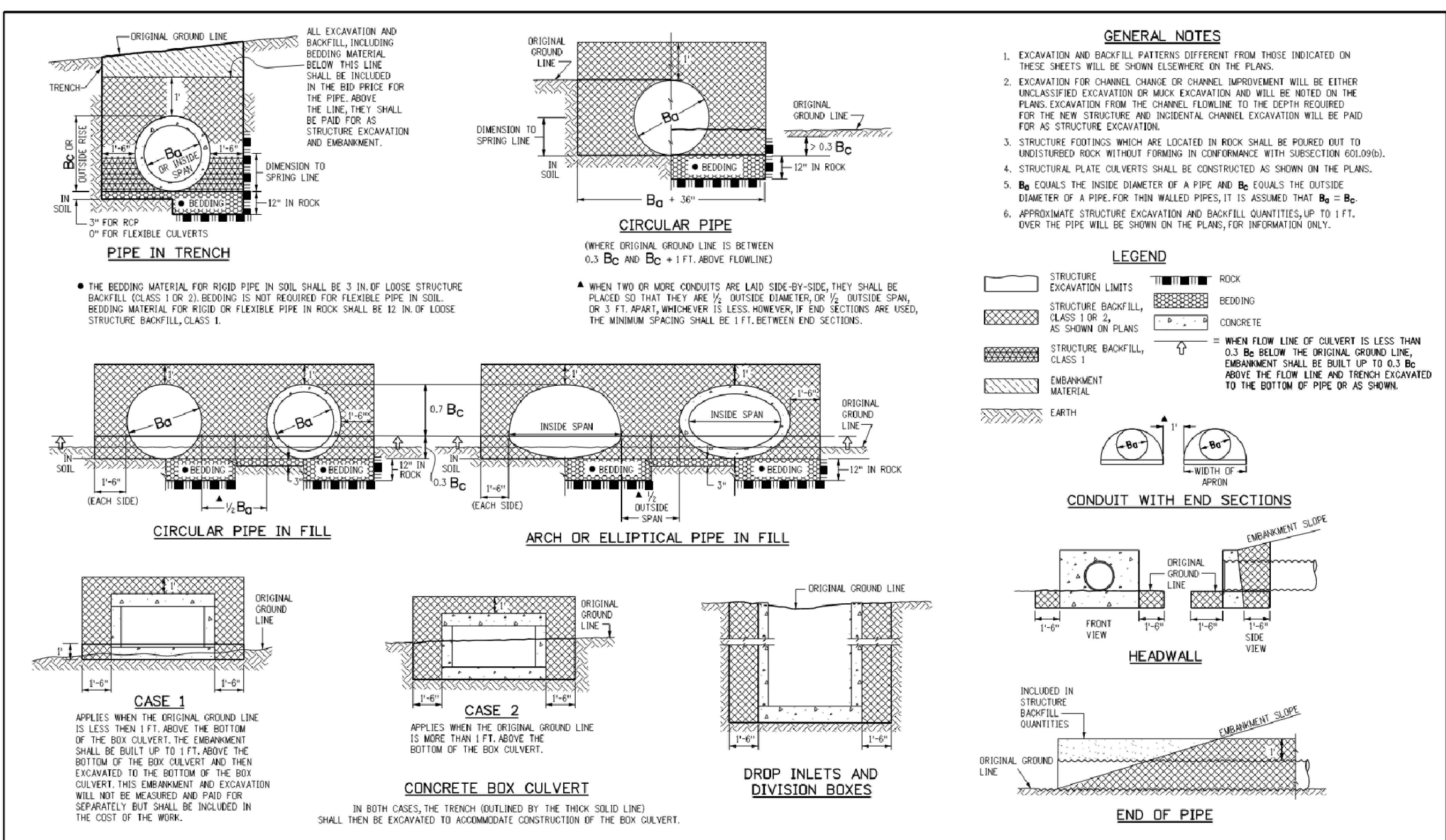
#	Date	Issue / Description	Init.
1	12/21/2022	1ST CD SUBMITTAL	PJD
2	03/17/2023	2ND CD SUBMITTAL	PJD
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4	06/16/2023	4TH CD SUBMITTAL	PJD

Project No:	INC00001420
Drawn By:	JNE
Checked By:	PJD
Date:	06/16/2023

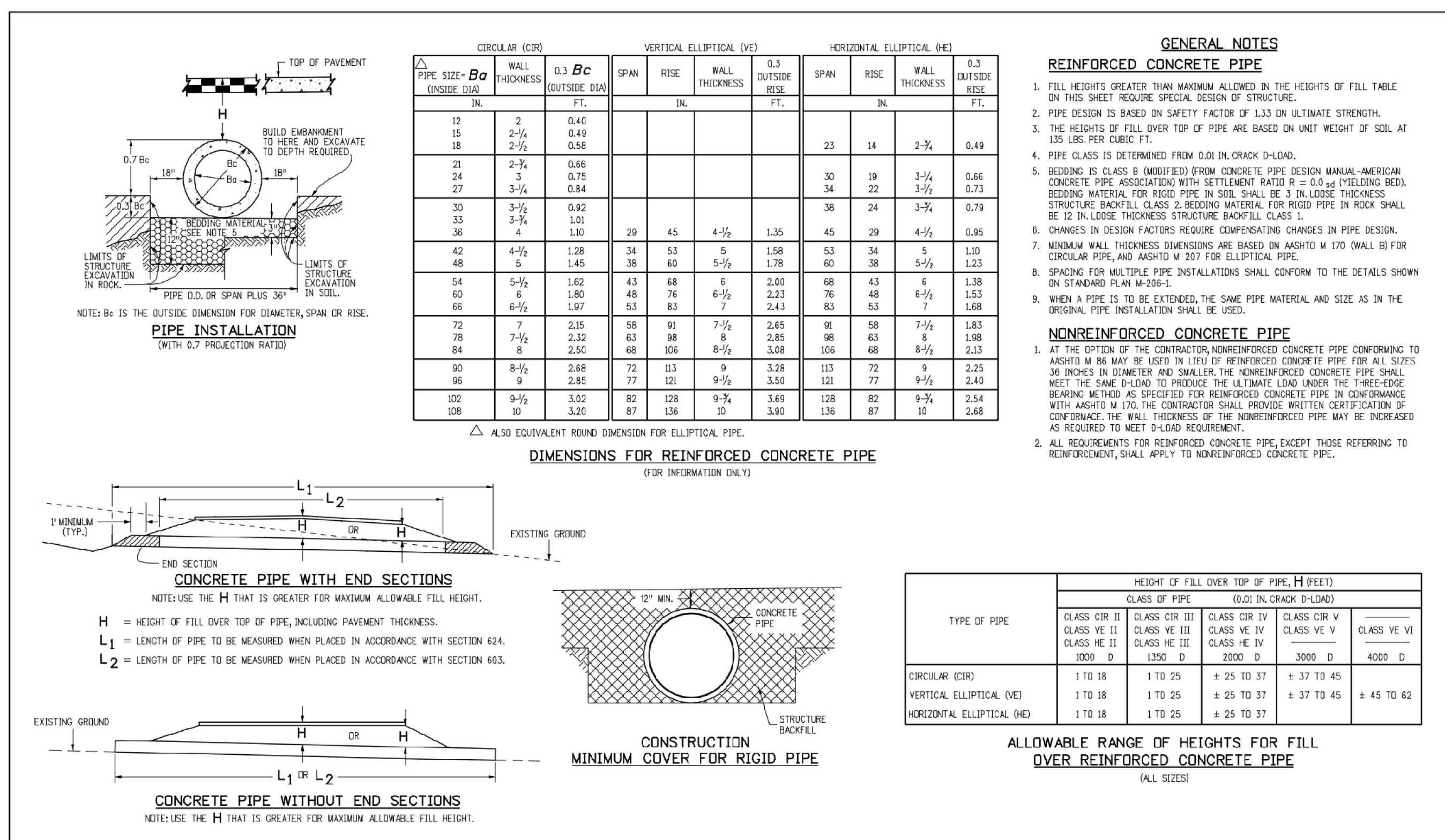
STORM DETAILS

C3.5

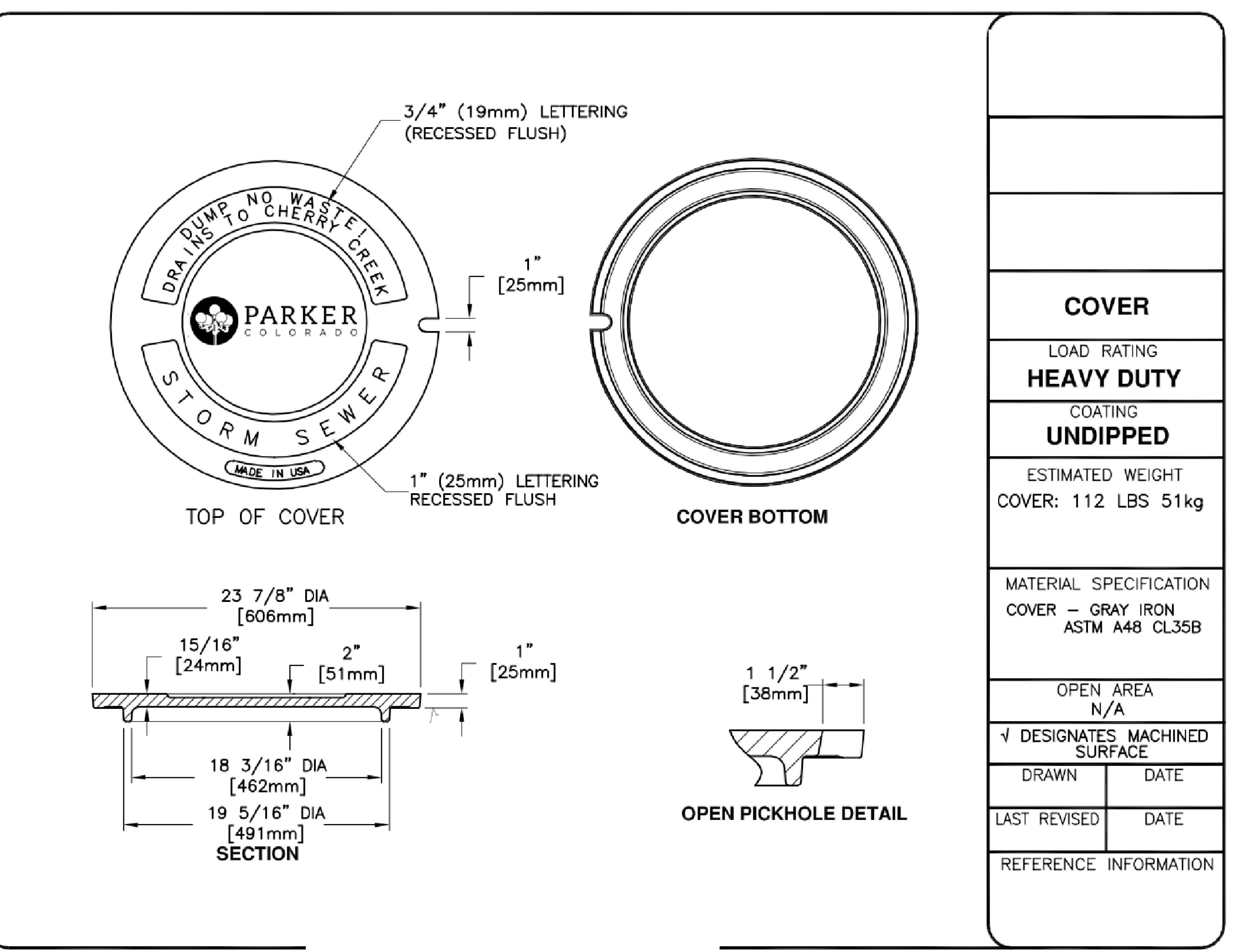
Sheet 32 of 36



Computer File Information	Sheet Revisions	Colorado Department of Transportation	EXCAVATION AND BACKFILL FOR STRUCTURES	STANDARD PLAN NO.
Creation Date: 07/31/19	Date: _____	2829 West Howard Place CDOT HQ, 3rd Floor Denver, CO 80204 Phone: 303-757-9021 FAX: 303-757-9868		M-206-1
Designer: JNE	Comments: _____	Project Development Branch		Standard Sheet No. 1 of 2
Last Modification Date: 07/31/19		JBK	Issued by the Project Development Branch July 31, 2019	Project Sheet Number:
Detailer: LTA				
CAD Ver: MicroStation V8 Scale: Not to Scale Units: English				



Computer File Information	Sheet Revisions	Colorado Department of Transportation	REINFORCED CONCRETE PIPE	STANDARD PLAN NO.
Creation Date: 07/31/19	Date: _____	2829 West Howard Place CDOT HQ, 3rd Floor Denver, CO 80204 Phone: 303-757-9021 FAX: 303-757-9868		M-603-2
Designer: JNE	Comments: _____	Project Development Branch		Standard Sheet No. 1 of 1
Last Modification Date: 07/31/19		JBK	Issued by the Project Development Branch July 31, 2019	Project Sheet Number:
Detailer: LTA				
CAD Ver: MicroStation V8 Scale: Not to Scale Units: English				



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IN-N-OUT BURGER
CONSTRUCTION DOCUMENTS
PARKER & PINE FILING NO. 1, LOT 1
PARKER, CO 80134

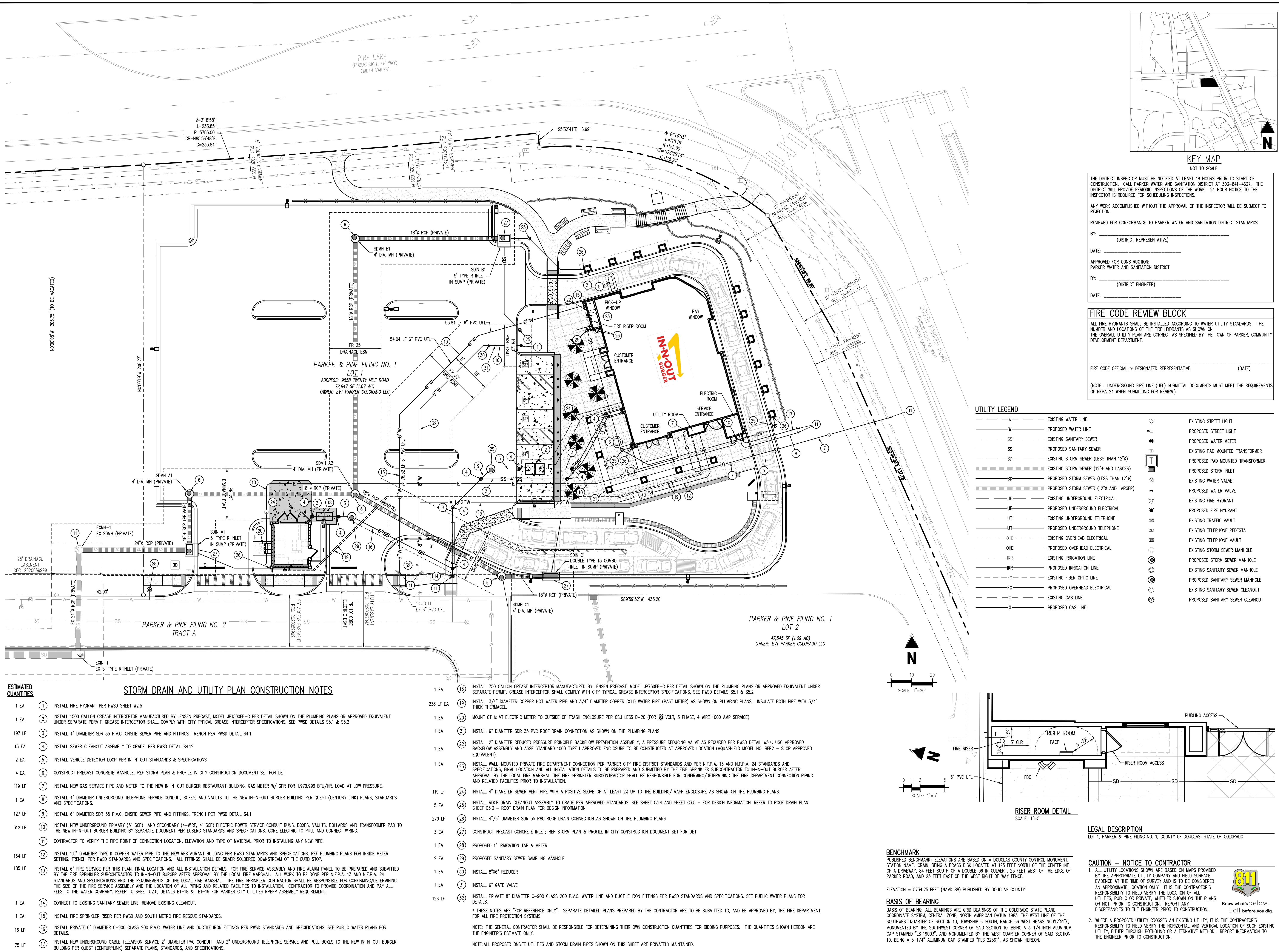
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Project No: IN000014.20
Drawn By: JNE
Checked By: PJD
Date: 06/18/2023

OVERALL UTILITY PLAN

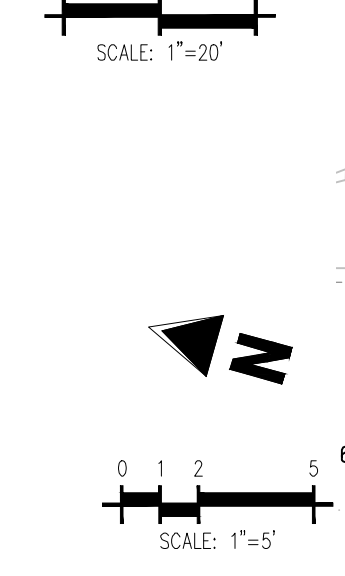
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Know what's below.
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- ESTIMATED QUANTITIES
- 1 EA 1 INSTALL FIRE HYDRANT PER PWSO SHEET W2.5
- 1 EA 2 INSTALL 1500 GALLON GREASE INTERCEPTOR MANUFACTURED BY JENSEN PRECAST, MODEL #P1500E-G PER DETAIL SHOWN ON THE PLUMBING PLANS OR APPROVED EQUIVALENT UNDER SEPARATE PERMIT. GREASE INTERCEPTOR SHALL COMPLY WITH CITY TYPICAL GREASE INTERCEPTOR SPECIFICATIONS, SEE PWSO DETAILS S5.1 & S5.2
- 197 LF 3 INSTALL 4" DIAMETER SDR 35 P.V.C. ON-SITE SEWER PIPE AND FITTINGS. TRENCH PER PWSO DETAIL S4.1.
- 13 EA 4 INSTALL SEWER CLEANOUT ASSEMBLY TO GRADE. PER PWSO DETAIL S4.12.
- 2 EA 5 INSTALL VEHICLE DETECTOR LOOP PER IN-N-OUT STANDARDS & SPECIFICATIONS
- 4 EA 6 CONSTRUCT PRECAST CONCRETE MANHOLE; REF STORM PLAN & PROFILE IN CITY CONSTRUCTION DOCUMENT SET FOR DET
- 119 LF 7 INSTALL NEW GAS SERVICE PIPE AND METER TO THE NEW IN-N-OUT BURGER RESTAURANT BUILDING. GAS METER W/ GPR FOR 1,979,999 BTU/HR. LOAD AT LOW PRESSURE.
- 1 EA 8 INSTALL 4" DIAMETER UNDERGROUND TELEPHONE SERVICE CONDUIT, BOXES, AND VAULTS TO THE NEW IN-N-OUT BURGER BUILDING PER QUEST (CENTURY LINK) PLANS, STANDARDS AND SPECIFICATIONS.
- 127 LF 9 INSTALL 6" DIAMETER SDR 35 P.V.C. ON-SITE SEWER PIPE AND FITTINGS. TRENCH PER PWSO DETAIL S4.1
- 312 LF 10 INSTALL NEW UNDERGROUND PRIMARY (5" SIZE) AND SECONDARY (4"-WIRE, 4" SIZE) ELECTRIC POWER SERVICE CONDUIT RUNS, BOXES, VAULTS, BOLLARDS AND TRANSFORMER PAD TO THE NEW IN-N-OUT BURGER BUILDING BY SEPARATE DOCUMENTS PER EUSER'S STANDARDS AND SPECIFICATIONS. CORE ELECTRIC TO PULL AND CONNECT WIRING.
- 11 CONTRACTOR TO VERIFY THE PIPE POINT OF CONNECTION LOCATION, ELEVATION AND TYPE OF MATERIAL PRIOR TO INSTALLING ANY NEW PIPE.
- 164 LF 12 INSTALL 1.5" DIAMETER TYPE K COPPER WATER PIPE TO THE NEW RESTAURANT BUILDING PER PWSO STANDARDS AND SPECIFICATIONS. REF PLUMBING PLANS FOR INSIDE METER SETTING. TRENCH PER PWSO STANDARDS AND SPECIFICATIONS. ALL FITTINGS SHALL BE SILVER SOLDERED DOWNSTREAM OF THE CURB STOP.
- 185 LF 13 INSTALL 6" FIRE SERVICE PER THIS PLAN. FINAL LOCATION AND ALL INSTALLATION DETAILS FOR FIRE SERVICE ASSEMBLY AND FIRE ALARM PANEL TO BE PREPARED AND SUBMITTED BY THE FIRE SPRINKLER SUBCONTRACTOR TO IN-N-OUT BURGER AFTER APPROVAL BY THE LOCAL FIRE MARSHAL. ALL WORK TO BE DONE PER N.F.P.A. 13 AND N.F.P.A. 24 STANDARDS AND SPECIFICATIONS AND THE REQUIREMENTS OF THE LOCAL FIRE MARSHAL. THE FIRE SPRINKLER CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING/DETERMINING THE SIZE OF THE FIRE SERVICE ASSEMBLY AND THE LOCATION OF ALL PIPING AND RELATED FACILITIES TO INSTALLATION. CONTRACTOR TO PROVIDE COORDINATION AND PAY ALL FEES TO THE WATER COMPANY. REFER TO SHEET U2.0, DETAILS B1-18 & B1-19 FOR PARKER CITY UTILITIES RPBFP ASSEMBLY REQUIREMENT.
- 1 EA 14 CONNECT TO EXISTING SANITARY SEWER LINE. REMOVE EXISTING CLEANOUT.
- 1 EA 15 INSTALL FIRE SPRINKLER RISER PER PWSO AND SOUTH METRO FIRE RESCUE STANDARDS.
- 16 LF 16 INSTALL PRIVATE 6" DIAMETER C-900 CLASS 200 P.V.C. WATER LINE AND DUCTILE IRON FITTINGS PER PWSO STANDARDS AND SPECIFICATIONS. SEE PUBLIC WATER PLANS FOR DETAILS.
- 75 LF 17 INSTALL NEW UNDERGROUND CABLE TELEVISION SERVICE 2" DIAMETER PVC CONDUIT AND 2" UNDERGROUND TELEPHONE SERVICE AND PULL BOXES TO THE NEW IN-N-OUT BURGER BUILDING PER QUEST (CENTURYLINK) SEPARATE PLANS, STANDARDS, AND SPECIFICATIONS.

- 1 EA 18 INSTALL 750 GALLON GREASE INTERCEPTOR MANUFACTURED BY JENSEN PRECAST, MODEL #P750E-G PER DETAIL SHOWN ON THE PLUMBING PLANS OR APPROVED EQUIVALENT UNDER SEPARATE PERMIT. GREASE INTERCEPTOR SHALL COMPLY WITH CITY TYPICAL GREASE INTERCEPTOR SPECIFICATIONS, SEE PWSO DETAILS S5.1 & S5.2
- 238 LF EA 19 INSTALL 3/4" DIAMETER COPPER HOT WATER PIPE AND 3/4" DIAMETER COPPER COLD WATER PIPE (PAST METER) AS SHOWN ON PLUMBING PLANS. INSULATE BOTH PIPE WITH 3/4" THICK THERMAZEAL.
- 1 EA 20 MOUNT CT & VT ELECTRIC METER TO OUTSIDE OF TRASH ENCLOSURE PER CSU LESS D-20 (FOR 200 VOLT, 3 PHASE, 4 WIRE 1000 AMP SERVICE)
- 1 EA 21 INSTALL 6" DIAMETER SDR 35 PVC ROOF DRAIN CONNECTION AS SHOWN ON THE PLUMBING PLANS
- 1 EA 22 INSTALL 2" DIAMETER REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION ASSEMBLY, A PRESSURE REDUCING VALVE AS REQUIRED PER PWSO DETAIL W5.4. USC APPROVED BACKFLOW ASSEMBLY AND ASSE STANDARD 1080 TYPE 1 APPROVED ENCLOSURE TO BE CONSTRUCTED AT APPROVED LOCATION (AQUASHIELD MODEL NO. BFP2 - S OR APPROVED EQUIVALENT).
- 1 EA 23 INSTALL WALL-MOUNTED PRIVATE FIRE DEPARTMENT CONNECTION PER PARKER CITY FIRE DISTRICT STANDARDS AND PER N.F.P.A. 13 AND N.F.P.A. 24 STANDARDS AND SPECIFICATIONS. FINAL LOCATION AND ALL INSTALLATION DETAILS TO BE PREPARED AND SUBMITTED BY THE FIRE SPRINKLER SUBCONTRACTOR TO IN-N-OUT BURGER AFTER APPROVAL BY THE LOCAL FIRE MARSHAL. THE FIRE SPRINKLER SUBCONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING/DETERMINING THE FIRE DEPARTMENT CONNECTION PIPING AND RELATED FACILITIES PRIOR TO INSTALLATION.
- 119 LF 24 INSTALL 4" DIAMETER SEWER VENT PIPE WITH A POSITIVE SLOPE OF AT LEAST 2% UP TO THE BUILDING/TRASH ENCLOSURE AS SHOWN ON THE PLUMBING PLANS.
- 5 EA 25 INSTALL ROOF DRAIN CLEANOUT ASSEMBLY TO GRADE PER APPROVED STANDARDS. SEE SHEET C3.4 AND SHEET C3.5 - FOR DESIGN INFORMATION. REFER TO ROOF DRAIN PLAN SHEET C3.3 - ROOF DRAIN PLAN FOR DESIGN INFORMATION.
- 279 LF 26 INSTALL 4"/6" DIAMETER SDR 35 PVC ROOF DRAIN CONNECTION AS SHOWN ON THE PLUMBING PLANS
- 3 EA 27 CONSTRUCT PRECAST CONCRETE INLET; REF STORM PLAN & PROFILE IN CITY CONSTRUCTION DOCUMENT SET FOR DET
- 1 EA 28 PROPOSED 1" IRRIGATION TAP & METER
- 2 EA 29 PROPOSED SANITARY SEWER SAMPLING MANHOLE
- 1 EA 30 INSTALL 8"x6" REDUCER
- 1 EA 31 INSTALL 6" GATE VALVE
- 126 LF 32 INSTALL PRIVATE 8" DIAMETER C-900 CLASS 200 P.V.C. WATER LINE AND DUCTILE IRON FITTINGS PER PWSO STANDARDS AND SPECIFICATIONS. SEE PUBLIC WATER PLANS FOR DETAILS.



BENCHMARK
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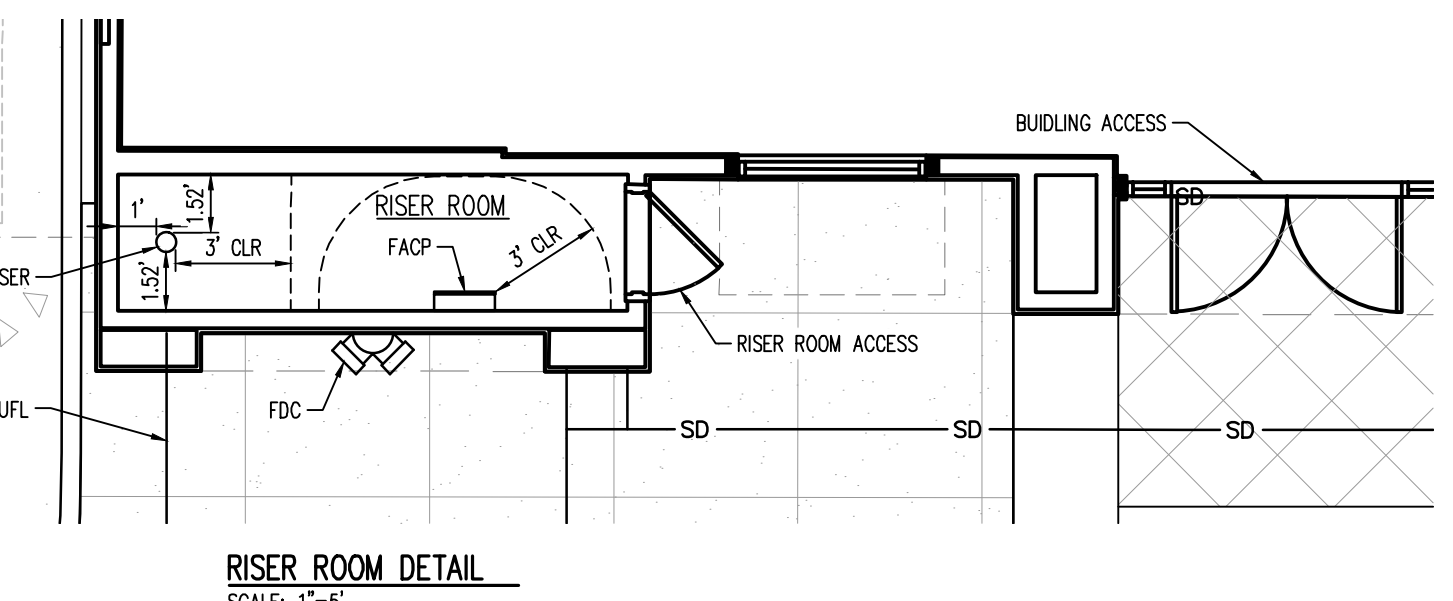
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NOTE: THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THEIR OWN CONSTRUCTION QUANTITIES FOR BIDDING PURPOSES. THE QUANTITIES SHOWN HEREON ARE THE ENGINEER'S ESTIMATE ONLY.

NOTE: ALL PROPOSED ON-SITE UTILITIES AND STORM DRAIN PIPES SHOWN ON THIS SHEET ARE PRIVATELY MAINTAINED.

UTILITY LEGEND

W	EXISTING WATER LINE	SL	EXISTING STREET LIGHT
W	PROPOSED WATER LINE	SL	PROPOSED STREET LIGHT
SS	EXISTING SANITARY SEWER	WM	PROPOSED WATER METER
SS	PROPOSED SANITARY SEWER	PT	EXISTING PAD MOUNTED TRANSFORMER
SD	EXISTING STORM SEWER (LESS THAN 12")	PT	PROPOSED PAD MOUNTED TRANSFORMER
SD	EXISTING STORM SEWER (12" AND LARGER)	SI	PROPOSED STORM INLET
SD	PROPOSED STORM SEWER (LESS THAN 12")	SV	EXISTING WATER VALVE
SD	PROPOSED STORM SEWER (12" AND LARGER)	SV	PROPOSED WATER VALVE
UE	EXISTING UNDERGROUND ELECTRICAL	EH	EXISTING FIRE HYDRANT
UE	PROPOSED UNDERGROUND ELECTRICAL	EH	PROPOSED FIRE HYDRANT
UT	EXISTING UNDERGROUND TELEPHONE	ETV	EXISTING TRAFFIC VAULT
UT	PROPOSED UNDERGROUND TELEPHONE	ETV	EXISTING TELEPHONE PEDESTAL
OHE	EXISTING OVERHEAD ELECTRICAL	ETV	EXISTING TELEPHONE VAULT
OHE	PROPOSED OVERHEAD ELECTRICAL	SM	EXISTING STORM SEWER MANHOLE
IR	EXISTING IRRIGATION LINE	SM	PROPOSED STORM SEWER MANHOLE
IR	PROPOSED IRRIGATION LINE	SM	EXISTING SANITARY SEWER MANHOLE
FO	EXISTING FIBER OPTIC LINE	SM	PROPOSED SANITARY SEWER MANHOLE
FO	PROPOSED OVERHEAD ELECTRICAL	SM	EXISTING SANITARY SEWER CLEANOUT
G	EXISTING GAS LINE	SM	PROPOSED SANITARY SEWER CLEANOUT
G	PROPOSED GAS LINE		



LEGAL DESCRIPTION
LOT 1, PARKER & PINE FILING NO. 1, COUNTY OF DOUGLAS, STATE OF COLORADO

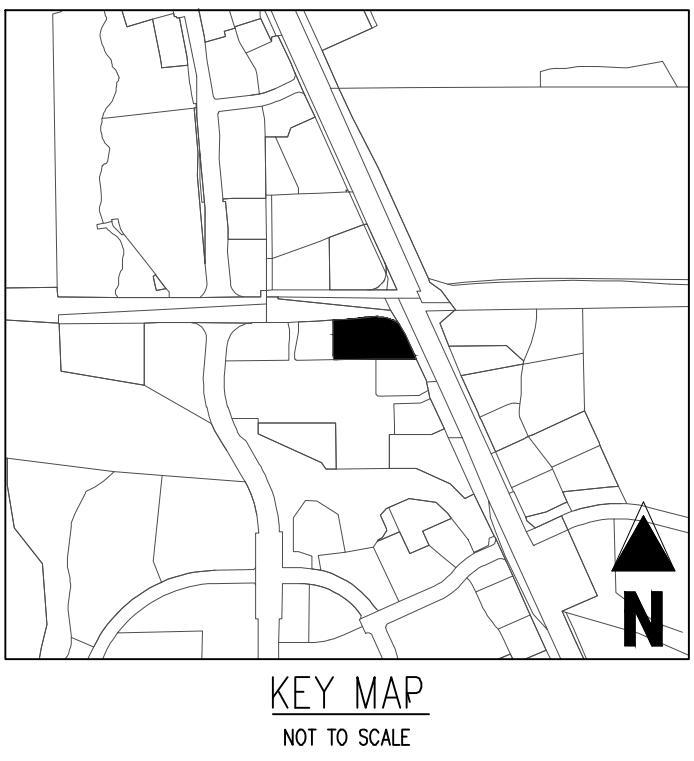
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811
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Call before you dig.

PLANTING NOTES

- GENERAL
1. ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, STANDARDS, AND SPECIFICATIONS.
2. LANDSCAPE DESIGN IS DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS...

- 16. AT A MINIMUM, ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT COMPOST AT A RATE OF 5.0 CUBIC YARDS AND AMMONIUM PHOSPHATE FERTILIZER AT A RATE OF 1.0 PER THOUSAND SQUARE FEET OF LANDSCAPE AREA.
17. ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS/ALL EVERGREENS SHALL BE UNSHEARED AND FULL TO THE GROUND; UNLESS OTHERWISE SPECIFIED, TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED...



PLANT SCHEDULE

Table with columns: DECIDUOUS TREES, EVERGREEN TREES, ORNAMENTAL TREES, UPRIGHT JUNIPERS, DECIDUOUS SHRUBS, EVERGREEN SHRUBS, ORNAMENTAL GRASSES, PERENNIALS, MULCH, SOD/SEED. Includes codes, quantities, common names, botanical names, and specifications.

TREE PROTECTION NOTES:

- 1. USE TOWN OF PARKER TREE PROTECTION NOTES (IF AVAILABLE). TREE PROTECTION NOTES BELOW SHALL BE USED FOR FURTHER INTEGRATION.
2. 'PROTECTED ZONE' FOR EXISTING TREES: BEFORE BEGINNING ANY DEMOTION OR CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL INSTALL TEMPORARY FENCING AROUND ALL EXISTING TREES WITHIN THE CONSTRUCTION ZONE THAT ARE TO BE SAVED...

IRRIGATION CONCEPT

- 1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE WATER SOURCE IF APPLICABLE.

LANDSCAPE GUARANTEE AND MAINTENANCE

- 1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDS AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.

UTILITY NOTES

- 1. THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
2. THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE...

PRELIMINARY
NOT FOR BIDDING
NOT FOR CONSTRUCTION

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IN-N-OUT BURGER
CONSTRUCTION DOCUMENTS
PARKER & PINE FILING NO. 1, LOT 1
PARKER, CO 80134

Table with columns: #, Date, Issue / Description, Init.
12/21/2022 1ST CD SUBMITTAL PJD
03/17/2023 2ND CD SUBMITTAL PJD
04/26/2023 3RD CD SUBMITTAL PJD
06/16/2023 4TH CD SUBMITTAL PJD

Project No: INC000014-20
Drawn By: KES
Checked By: JW
Date: 06/16/2023

LANDSCAPE NOTES

THE TOWN OF PARKER REVIEW CONSTITUTES GENERAL COMPLIANCE WITH THE TOWN'S STANDARDS AND APPROVED VARIANCES, SUBJECT TO THESE PLANS BEING STAMPED, SIGNED, AND DATED BY THE PROFESSIONAL ENGINEER OF RECORD. REVIEW BY THE TOWN DOES NOT CONSTITUTE APPROVAL OF THE PLAN DESIGN OR ACCURACY AND CORRECTNESS OF ENGINEERING CALCULATIONS. ERRORS IN THE DESIGN OR CALCULATIONS REMAIN THE RESPONSIBILITY OF THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT.
THIS REVIEW DOES NOT CONSTITUTE APPROVAL OF ANY PRIVATE ON-SITE IMPROVEMENTS WHICH MAY BE SHOWN. CONSTRUCTION CANNOT COMMENCE UNTIL ALL REQUIRED DRAINAGE/TRAFFIC REPORTS, FINAL DEVELOPMENT PLAN(S), SPECIAL REVIEW(S), GRADING PERMIT, AND/OR OTHER PERMITS ARE COMPLETE, APPROVED AND ON FILE WITH THE TOWN OF PARKER.

TOWN OF PARKER, DIRECTOR OF ENGINEERING DATE

